

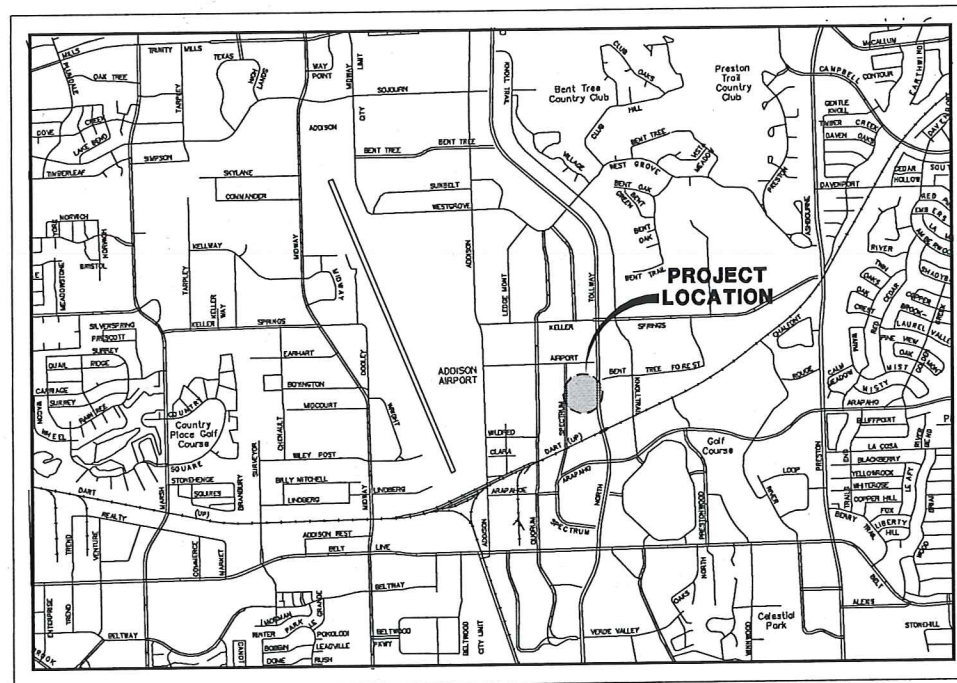
HARVARD PROPERTY TRUST, LLC

CONSTRUCTION PLANS FOR ALLEGRO PHASE 2

TOWN OF ADDISON

PW#: 2011-06

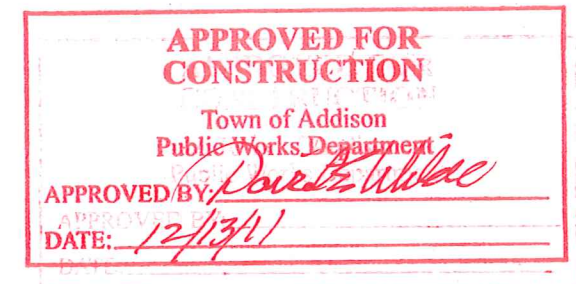
SHEET NO.	DESCRIPTION
1	GENERAL NOTES & DETAILS
2	DIMENSIONAL CONTROL & STRIPING PLAN
3	EROSION CONTROL PLAN
4	DRAINAGE AREA MAP & CALCULATIONS
4A	OFF-SITE DRAINAGE AREA MAP & CALCULATIONS
5	STORM SEWER, WATER & SANITARY SEWER PLAN
6	PAVING & GRADING PLAN
	FINAL PLAT (ALLEGRO PHASE 1) FOR REFERENCE ONLY



LOCATION MAP

G&A JOB NO. 1132-11

DECEMBER 2011



All responsibility for the adequacy of these plans remains with the Engineer who prepared them. In approving these plans, the Town of Addison makes no representation of adequacy of the work of the Design Engineer.

OWNER & APPLICANT:

HARVARD PROPERTY TRUST, LLC
15601 DALLAS PARKWAY
SUITE 600
ADDISON, TX. 75001
(214) 655-1600

ENGINEER:



ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.



6570 NAAMAN FOREST BLVD., SUITE 200, L.B. 2 GARLAND, TEXAS 75044

(972) 864-2333 (TEL)
(972) 864-2334 (FAX)

GENERAL NOTES:

- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE TOWN OF ADDISON STANDARDS AND SPECIFICATIONS AND THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENT (NCTCOG) STANDARDS AND SPECIFICATIONS, EXCEPT AS NOTED, IN THE EVENT OF A CONFLICT, THE TOWN OF ADDISON STANDARDS AND SPECIFICATIONS SHALL GOVERN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PUBLIC SAFETY DURING CONSTRUCTION AND WILL PROVIDE THE NECESSARY TRAFFIC BARRICADES AND WARNING SIGNAGE TO PROTECT THE CONSTRUCTION SITE. ALL BARRICADES, WARNING SIGNS, LIGHTS, DEVICES, ETC. FOR THE GUIDANCE AND PROTECTION OF TRAFFIC AND PEDESTRIANS MUST CONFORM TO THE 2006 TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, AS CURRENTLY AMENDED, BY THE TEXAS DEPARTMENT OF TRANSPORTATION.
- NO PERSON SHALL OPEN, TURN OFF, INTERFERE WITH, ATTACH ANY PIPE OR HOSE TO OR TAP ANY WATER MAIN BELONGING TO THE TOWN UNLESS DULY AUTHORIZED TO DO SO BY THE TOWN OF ADDISON PUBLIC WORKS DEPARTMENT. ARRANGEMENTS FOR CONSTRUCTION WATER SHALL BE MADE THROUGH THE TOWN OF ADDISON PUBLIC WORKS DEPARTMENT.
- CONTRACTOR SHALL MAINTAIN ADEQUATE SANITARY FACILITIES FOR USE BY WORKERS THROUGHOUT CONSTRUCTION.
- NO TRAFFIC SIGNS ARE TO BE RELOCATED OR REMOVED WITHOUT PRIOR APPROVAL OF THE TOWN OF ADDISON PUBLIC WORKS DEPARTMENT.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING FACILITIES FROM DAMAGE. ANY DAMAGE TO EXISTING FACILITIES RESULTING FROM CONSTRUCTION WORK SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THESE PLANS DO NOT EXTEND TO OR INCLUDE DESIGNS OR SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES, AGENT OR REPRESENTATIVES IN PERFORMANCE OF THE WORK. THE SEAL OF GRANTHAM & ASSOCIATES, INC. REGISTERED PROFESSIONAL ENGINEER(S) HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED IN THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS, INCLUDING THE PLANS AND SPECIFICATIONS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN NEAT AND ACCURATE PLANS OF RECORD.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ADEQUATE SITE DRAINAGE THROUGHOUT THE DURATION OF THIS PROJECT.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS BEFORE CONSTRUCTION BEGINS.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THAT ELECTRIC POWER AND TELEPHONE POLES ARE NOT DISTURBED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL KEEP EXCAVATED TRENCHES FREE OF GROUNDWATER DURING CONSTRUCTION. IF NECESSARY, THE CONTRACTOR SHALL UTILIZE DEWATERING IN ORDER TO CONTROL GROUNDWATER DURING CONSTRUCTION SUCH THAT IT DOES NOT AFFECT HIS CONSTRUCTION WORK. (NO SEPARATE PAY ITEM)
- EXISTING FACILITIES ARE SHOWN IN APPROXIMATE LOCATIONS PER INFORMATION AND RECORDS AVAILABLE. CONTRACTOR SHALL UNCOVER AND VERIFY HORIZONTAL AND VERTICAL LOCATION OF EXISTING FACILITIES PRIOR TO CONSTRUCTION.
- ALL DRIVEWAY AND PARKING SPOT ELEVATIONS ARE TO TOP OF CURB UNLESS OTHERWISE NOTED.
- REFER TO APPROVED LANDSCAPE ARCHITECTURAL PLANS FOR GRADES ON WALKS, BERMS, AND ALL OTHER LANDSCAPED AREAS.
- ALL EXCESS EXCAVATED MATERIAL AND STRIPPINGS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF IN A PROPER MANNER OFF THE PROJECT SITE.
- THE TOP 3 INCHES OF SOIL SHALL BE STRIPPED AND STOCKPILED ON THE SITE AND SPREAD OVER THE SITE AS TOP SOIL DURING FINAL GRADING.
- ALL FINISHED GRADES SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS. FINAL GRADES WITHIN 10 FEET OF STRUCTURES SHOULD SLOPE AWAY FROM STRUCTURES AT GRADE THAT MEETS THE GEOTECHNICAL REPORT RECOMMENDATIONS TO BE FURNISHED TO THE CONTRACTOR BY THE OWNER.
- ALL EXCAVATION SHALL BE UNCLASSIFIED EXCAVATION FOR PAYMENT PURPOSES.
- TRANSVERSE CONTRACTION JOINTS SHALL BE SPACED NO MORE THAN 12 FEET APART ON ALL PAVING.
- THE CONTRACTOR SHALL NOT PLACE FILL OR WASTE MATERIAL ON ANY PRIVATE PROPERTY WITHOUT PRIOR WRITTEN AGREEMENT WITH THE PROPERTY OWNER. IF THE CONTRACTOR PLACES EXCESS MATERIAL IN AREAS WITHOUT WRITTEN PERMISSION, HE WILL BE RESPONSIBLE FOR ALL DAMAGE RESULTING FROM SUCH FILL AND HE SHALL REMOVE THE MATERIAL AT HIS OWN EXPENSE.
- ALL REINFORCING STEEL AND DOWEL BARS IN PAVEMENT SHALL BE GRADE 60 AND SUPPORTED AND MAINTAINED AT THE CORRECT CLEARANCES BY THE USE OF BAR CHAIRS OR OTHER APPROVED SUPPORT.
- ALL PAVING TO BE REMOVED SHALL BE SAWCUT (FULL DEPTH) TO A NEAT LINE AND THEN REMOVED CAREFULLY TO AVOID DAMAGE TO REMAINING EDGE.

UTILITY CONTACTS:

THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OR HER OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO. THE CONTRACTOR SHALL MAINTAIN THE UTILITY LOCATION MARKINGS UNTIL THEY ARE NO LONGER NECESSARY.

CONTRACTOR SHALL CONTACT 1-800-DIG-TESS (344-8377) AND TOWN OF ADDISON PUBLIC WORKS DEPARTMENT 972-450-2871 PRIOR TO ANY EXCAVATION.

CONSTRUCTION NOTES:

- THE CONTRACTOR SHALL ADJUST ALL VALVE BOXES, METER BOXES, MANHOLES, AND OTHER UTILITY STRUCTURES TO GRADE AS NEEDED PRIOR TO AND AFTER CONSTRUCTION HAS BEEN COMPLETED.
- EROSION CONTROL SHALL START WITH INITIAL CONSTRUCTION AND BE PRACTICED THROUGHOUT THE PROJECT.
- CONTRACTOR SHALL KEEP PROJECT WORK SITE CLEAN AND ORDERLY. IT WILL BE UNACCEPTABLE TO ALLOW TRASH TO BLOW ONTO ADJACENT PROPERTIES. STRICT ATTENTION WILL BE PAID TO THIS ITEM. IF CONTRACTOR FAILS TO ADHERE TO THIS STIPULATION, OWNER OR THE TOWN OF ADDISON RESERVES THE RIGHT TO STOP WORK UNTIL TRASH IS CLEANED UP. THIS STOPPAGE OF WORK WILL NOT EXTEND THE ORIGINAL CONTRACT TIME.

PAVING GENERAL NOTES:

- GENERAL:**
PAVEMENT THICKNESS IS AS SHOWN IN ITEM 7. SUBGRADE DESIGN SHALL CONFORM TO TOWN OF ADDISON PUBLIC WORKS REQUIREMENTS IN ITEM 3, AND SHALL EXTEND 12" MIN. BEHIND THE BACK OF CURB.
- REINFORCED CONCRETE PAVEMENT:**
A. CONCRETE STRENGTH SHALL BE AS SHOWN IN ITEM 7 (NCTCOG LATEST EDITION).
B. ALL CURBS SHALL BE INTEGRAL WITH PAVEMENT AND SHALL BE OF THE SAME STRENGTH AS CONCRETE PAVEMENT.
C. DETAIL AND ARRANGEMENT OF PAVEMENT JOINTS, ALL TYPES, SHALL BE AS SHOWN ON THE TOWN STANDARD CONSTRUCTION DETAILS.
D. BAR LAPS SHALL BE THIRTY DIAMETERS.
E. REINFORCING STEEL SHALL BE #3 REBAR (3/8") ON 18" CENTERS FOR 8" OR LESS. #4 FOR 10" OR ABOVE
- SUBGRADE:**
SUBGRADE UNDER ALL PAVEMENT SHALL BE 6" THICK AND SHALL BE STABILIZED WITH AT LEAST 30 LBS. PER SQ. YD. HYDRATED LIME, COMPACTED TO A DENSITY NOT LESS THAN 95 PERCENT. LABORATORY TESTS MUST BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT FOR APPROVAL TO DETERMINE AMOUNT OF LIME REQUIRED. LABORATORY TEST MAY BE WAIVED PROVIDED AT LEAST 36 LBS. OF LIME PER SQ. YD. IS USED. SEE NCTCOG ITEM 301.2 "LIME TREATMENT". FLEXIBLE BASE (CRUSHED STONE/CONCRETE) PER NCTCOG ITEM 301.5 MAY BE SUBSTITUTED FOR LIME TREATMENT WITH THE APPROVAL OF THE TOWN ENGINEER.
- REBAR SHALL BE SUPPORTED BY BAR CHAIRS OR OTHER DEVICES APPROVED BY TOWN ENGINEER.
- NO TRAFFIC ON FINISHED SUBGRADE SHALL BE PERMITTED AFTER REINFORCING STEEL IS INSTALLED ABOVE SUBGRADE. NO TRAFFIC SHALL BE PERMITTED BEFORE OR DURING THE PLACING OF CONCRETE.
- CROSS SLOPE OF STRAIGHT CROWN STREETS SHALL BE 1/4" PER FOOT UNLESS APPROVED BY THE TOWN ENGINEER.
- PAVEMENT THICKNESS AND STRENGTHS SHALL BE AS FOLLOWS:
MAJOR ARTERIAL - 10" CLASS "P1" OR "P2."
MINOR ARTERIAL - 8" CLASS "P1" OR "P2."
COMMERCIAL/INDUSTRIAL COLLECTOR - 8" CLASS "P1" OR "P2."
RESIDENTIAL COLLECTOR - 8" CLASS "P1" OR "P2."
RESIDENTIAL LOCAL - 8" CLASS "P1" OR "P2."
SIDEWALK AND BFR'S-4"-CLASS "A"
DRIVE APPROACH-8"-CLASS "P2"
ALLEY-6" CLASS "P1" OR "P2."
- CONCRETE MIX DESIGN SHALL BE AS DEFINED BY NCTCOG 303.3.
- ALL MEDIANS AND PARKWAYS SHALL BE PROVIDED WITH BERMUDA GROUND COVER.
- ONCE A CURB ABUTTING A THOROUGHFARE HAS BEEN SAWCUT AND REMOVED, THE CONTRACTOR MUST REPLACE THE CONCRETE WITH A NEW POUR (I.E. DRIVEWAY) WITHIN 14 CALENDAR DAYS. LIQUIDATED DAMAGES WILL BE ASSESSED AT \$500 PER DAY FOR EACH CALENDAR DAY IN EXCESS OF 14 CALENDAR DAYS. PAYMENT SHALL BE MADE PRIOR TO ACCEPTANCE OR ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- ALL SIDEWALKS AND ACCESSIBLE ROUTES SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5% AND A MAXIMUM CROSS SLOPE OF 2%.
- ALLEYS AND DRIVEWAYS
A. CONCRETE FOR ALLEY RETURNS AND DRIVEWAYS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS IDENTICAL TO THAT SPECIFIED FOR THE STREET PAVEMENT OR BASE WHEN BUILT AS COMPONENTS OF A CONCRETE PAVING PROJECT. WHEN BUILT SEPARATELY, THE STRENGTH SHALL BE AS SPECIFIED ON THE CONSTRUCTION PLAN.
B. SPACING AND CONSTRUCTION OF JOINTS SHALL CONFORM TO PARABOLIC STREET PAVEMENT.

SANITARY SEWER NOTES

- ALL WASTEWATER PIPE SHALL BE P.V.C. SDR-35 OR SDR-26 PIPE. OTHER PIPES SHALL BE SUBJECT TO APPROVAL BY THE TOWN ENGINEER.
- WASTEWATER LATERALS SHALL INCLUDE 4" STANDARD WYE, 45° BEND, PIPE AND TWO CLEANOUTS AS PER DETAIL INSTALLED 10 FEET DOWNSTREAM FROM THE WATER MAIN SERVICE ON EACH LOT, UNLESS OTHERWISE INDICATED ON THE PLANS. 6" LATERALS REQUIRE MANHOLE AT MAIN SEWER PIPE.
- WASTEWATER PIPE JOINTS SHALL CONFORM TO ASTM DESIGNATIONS FOR P.V.C. PIPE.
- UNLESS OTHERWISE NOTED, ALL MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATION AND/OR SPECIAL PROVISIONS.
- IN THE EVENT AN ITEM IS NOT COVERED IN THE TOWN OF ADDISON SPECIFICATIONS, THE TOWN ENGINEER'S DECISION SHALL APPLY.
- DROP MANHOLE REQUIRED FOR GRADE DIFFERENCES OF 18" OR GREATER.
- TV CAMERA, MANDREL, AIR TEST AND VACUUM TEST SANITARY SEWER LINE/MANHOLE AFTER ALL UTILITIES HAVE BEEN INSTALLED.
- WASTEWATER LINE WILL BE RE-AIR TESTED AFTER PAVING AND ALL UTILITIES HAVE BEEN INSTALLED.
- TWENTY ONE (21) MONTHS INTO MAINTENANCE PERIOD, ALL WASTEWATER LINES WILL BE CAMERA INSPECTED FOR SAGS, SETTLEMENTS, SEPARATION, ETC..
- SHALLOWER PARALLEL LINE REQUIRED WHEN FLOW LINE OF WASTEWATER EXCEEDS 12 FT. DEPTH. VERTICAL DROP CONNECTIONS NOT PERMITTED.
- STEPS SHALL NOT BE INSTALLED IN MANHOLE.
- MANHOLE WALL SHALL BE CORE DRILLED FOR SEWER CONNECTIONS.
- THE INTERIOR OF ALL MANHOLES LOCATED IN A FLOOD PLAIN SHALL BE LINED WITH AN EPOXY COATING AND SHALL BE RAVEN LINING 405 OR APPROVED EQUAL, AT A MINIMUM THICKNESS OF 200 MILS.

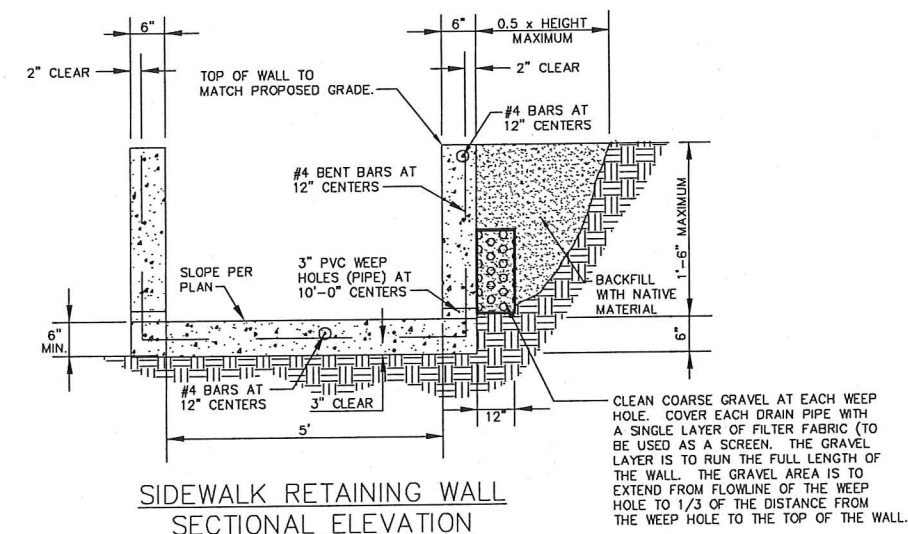
WATER GENERAL NOTES:

MATERIALS

- ALL WATER MAIN MATERIALS SHALL BE IN ACCORDANCE WITH THE TOWN OF ADDISON WATER SYSTEM REQUIREMENTS.
- ALL WATER MAINS TWELVE-INCH (12") IN DIAMETER AND SMALLER SHALL BE AWWA C900 PVC PRESSURE WITH CAST IRON O.D. OR WHEN PIPE PENETRATES METER VAULT WALLS IT SHALL BE DUCTILE IRON. PIPE JOINTS SHALL BE RUBBER RING AND INTEGRAL THICKENED BELL. ASSEMBLED WITH A FACTORY SUPPLIED LUBRICANT. WATER MAINS SHALL HAVE A MINIMUM CLASS RATING OF 150-PSI FOR DOMESTIC USE AND A MINIMUM CLASS RATING OF 200-PSI FOR FIRE LINE APPLICATIONS. JOINT MATERIAL FOR PVC SHALL CONFORM TO ASTM-F471.
- ALL FITTINGS SHALL BE DUCTILE IRON, FULL BODIED, MECHANICAL JOINT TYPE WITH RESTRAINING GLANDS AND HAVE A MINIMUM RATED WORKING PRESSURE OF 250 PSI. FITTINGS SHALL BE WRAPPED WITH 8-MIL POLY PRIOR TO BACKFILL.
- ALL VALVES AND FITTINGS SHALL HAVE CONCRETE THRUST BLOCKS INSTALLED. THRUST BLOCKING SHALL BE MINIMUM 3000 PSI CONCRETE AND BE ABLE TO WITHSTAND A MINIMUM 200 PSI PRESSURE TEST.

CONSTRUCTION

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF ADDISON WATER SYSTEM REQUIREMENTS.
- THE MINIMUM COVER TO THE TOP OF THE PIPE MUST VARY WITH THE VALVE STEM. IN GENERAL, THE MINIMUM COVER BELOW THE TOP OF CURB AT STREET TO BOP OF THE PIPE SHOULD BE AS FOLLOWS:
A. LINES LARGER THAN SIXTEEN-INCH (16") SHALL HAVE A MINIMUM OF SIX FEET (6') OF COVER WHICH IS SUFFICIENT TO ALLOW WATER AND SEWER AND OTHER UTILITIES TO GO OVER THE LARGE MAIN.
B. SIXTEEN-INCH (16") MAINS SHALL HAVE A MINIMUM COVER OF FIVE FEET (5').
C. TWELVE-INCH (12") AND SMALLER MAINS SHALL HAVE A MINIMUM COVER OF FOUR FEET (4').
- ALL WATER MAINS SHALL BE PURGED BY THE "POLY-PIG" METHOD, UNLESS OTHERWISE APPROVED BY THE PUBLIC WORKS DEPARTMENT.
- WATERLINES SHALL BE TESTED BOTH BACTERIOLOGICALLY AND HYDROSTATICALLY. WATER MAINS SHALL HYDROSTATICALLY TESTED AT 150 PSI FOR FOUR (4) HOURS. FIRE LINES SHALL BE HYDROSTATICALLY TESTED AT 200 PSI FOR TWO (2) HOURS.
- ALL BLEEDER LINES SHALL BE REMOVED UPON COMPLETION OF TESTING BY REMOVING THE CORPORATION STOP AND INSTALLING A BRASS PLUG.



SIDEWALK RETAINING WALL SECTIONAL ELEVATION

Grantham & Associates, Inc.
Civil Engineering & Surveying
"Serving with Integrity"

6570 NAAMAN FOREST BLVD., SUITE 200, L.B. 2
GARLAND, TEXAS 75044
(972) 864-2333 (TEL)
(972) 864-2334 (FAX)

1	2	3	4	5	6	NO.	DATE	REVISION	APPROV.

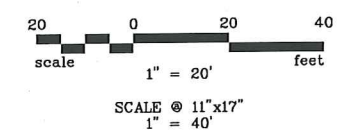
GRANTHAM & ASSOCIATES
F-005438

STATE OF TEXAS
101252
REGISTERED
PROFESSIONAL ENGINEER

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY:
P. CHRISTOPHER ROBINSON
ON 12/1/11
ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

CONSTRUCTION PLANS FOR ALLEGRO - PHASE 2
GENERAL NOTES & DETAILS
HARVARD PROPERTY TRUST, LLC

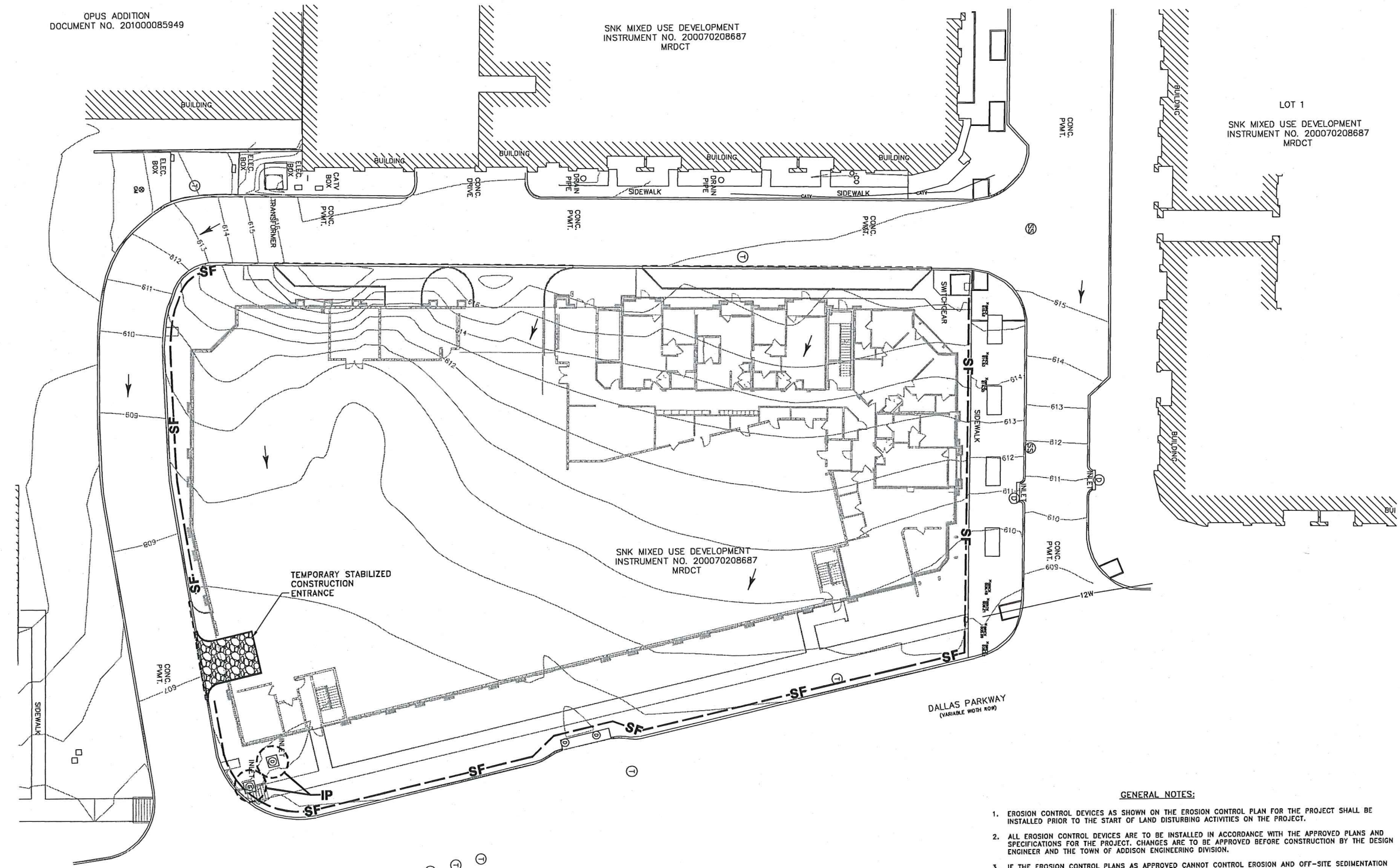
DATE:	DECEMBER 2011
SCALE:	
DRAWN BY:	G&A
DESIGN:	BRG
REVIEWED:	BRG
JOB NO.:	1132-11
DWG.:	1132GEN-NOTES



OPUS ADDITION
DOCUMENT NO. 201000085949

SNK MIXED USE DEVELOPMENT
INSTRUMENT NO. 200070208687
MRDCT

LOT 1
SNK MIXED USE DEVELOPMENT
INSTRUMENT NO. 200070208687
MRDCT



GENERAL NOTES:

1. EROSION CONTROL DEVICES AS SHOWN ON THE EROSION CONTROL PLAN FOR THE PROJECT SHALL BE INSTALLED PRIOR TO THE START OF LAND DISTURBING ACTIVITIES ON THE PROJECT.
2. ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS FOR THE PROJECT. CHANGES ARE TO BE APPROVED BEFORE CONSTRUCTION BY THE DESIGN ENGINEER AND THE TOWN OF ADDISON ENGINEERING DIVISION.
3. IF THE EROSION CONTROL PLANS AS APPROVED CANNOT CONTROL EROSION AND OFF-SITE SEDIMENTATION FROM THE PROJECT THE EROSION CONTROL PLAN WILL BE REVISED AND/OR ADDITIONAL EROSION CONTROL DEVICES WILL BE REQUIRED ON SITE.
4. IF OFF-SITE SOIL BORROW OR SPOIL SITES ARE USED IN CONJUNCTION WITH THIS PROJECT, THIS INFORMATION SHALL BE DISCLOSED AND SHOWN ON THE EROSION CONTROL PLAN. OFF-SITE BORROW AND SPOIL AREAS ARE CONSIDERED A PART OF THE PROJECT SITE AND THEREFORE SHALL COMPLY WITH THE TOWN OF ADDISON EROSION CONTROL REQUIREMENTS. THESE AREAS SHALL BE STABILIZED WITH PERMANENT GROUND COVER PRIOR TO FINAL APPROVAL OF THE PROJECT.
5. CONTRACTOR TO PREPARE AND IMPLEMENT SWPPP, CONSTRUCTION SITE NOTICE, NOTICE OF INTENT, NOTICE OF TERMINATION, ETC. AS REQUIRED BY TCEQ.

LEGEND

	SILT FENCE
	TEMPORARY STABILIZED CONSTRUCTION ENTRANCE
	INLET EROSION PROTECTION
	FLOW ARROWS

Grantham & Associates, Inc.
Civil Engineering & Surveying
"Serving with Integrity"

6570 NAAMAN FOREST BLVD., SUITE 200, LB. 2
GARLAND, TEXAS 75044

(972) 864-2333 (TEL)
(972) 864-2334 (FAX)

NO.	DATE	REVISION	APPROV.
1			
2			
3			
4			
5			
6			

GRANTHAM & ASSOCIATES
F-005435

STATE OF TEXAS
P. CHRISTOPHER ROBINSON
101252
REGISTERED PROFESSIONAL ENGINEER

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY:
P. CHRISTOPHER ROBINSON
ON 12/1/11

ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

**CONSTRUCTION PLANS FOR
ALLEGRO - PHASE 2
EROSION CONTROL PLAN
HARVARD PROPERTY TRUST, LLC**

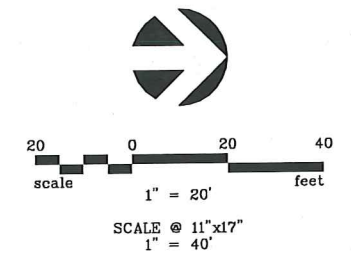
DATE: DECEMBER 2011
SCALE:
DRAWN BY: G&A
DESIGN: BRG
REVIEWED: BRG
JOB NO: 1132-11
DWG: 1132EROSION01

SHEET 3 OF 6

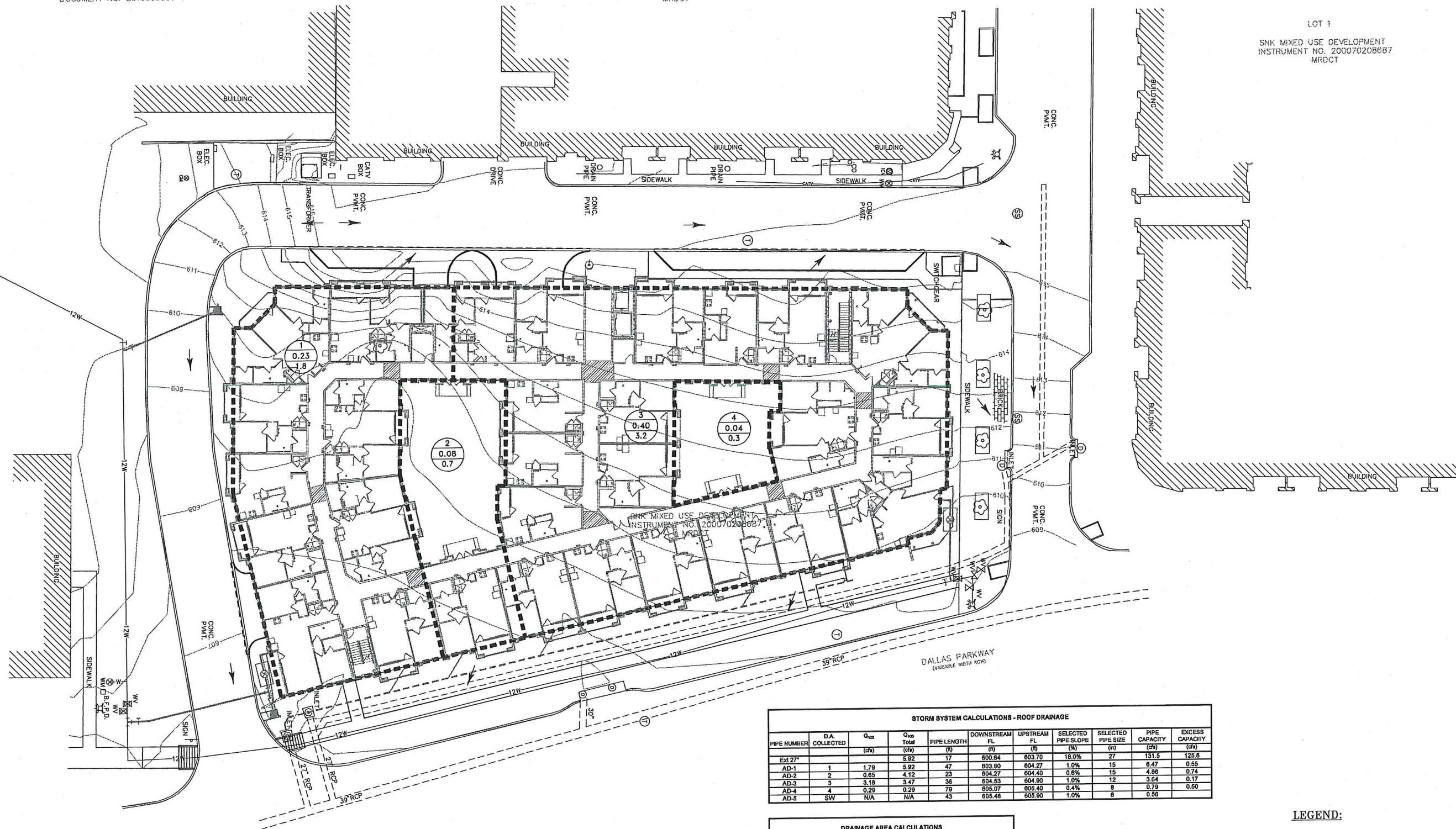
- NOTES:**
1. REFER TO SHEET 4A (ORIGINALLY SHEET 6 OF 11 FROM SNK MIXED USE DEVELOPMENT) FOR OFF-SITE DRAINAGE AREAS.
 2. MINOR REVISIONS TO PHASE 2 DRAINAGE AREAS SHOWN OF SHEET 4A DO NOT COMPROMISE CAPACITY OF EXISTING DALLAS PARKWAY STORM SEWER.

OPUS ADDITION
DOCUMENT NO. 201000085949

SNK MIXED USE DEVELOPMENT
INSTRUMENT NO. 200070208687
MRDCT



LOT 1
SNK MIXED USE DEVELOPMENT
INSTRUMENT NO. 200070208687
MRDCT



STORM SYSTEM CALCULATIONS - ROOF DRAINAGE

PIPE NUMBER	D.A. COLLECTED	Q ₁₀₀ (cfs)	Q ₁₀₀ Total (cfs)	PIPE LENGTH (ft)	DOWNSTREAM FL (ft)	UPSTREAM FL (ft)	SELECTED PIPE SLOPE (%)	SELECTED PIPE SIZE (in)	PIPE CAPACITY (cfs)	EXCESS CAPACITY (cfs)
Ext 27"			5.92	17	803.84	803.70	18.0%	27	131.5	125.6
AD-1	1	1.79	5.92	47	803.90	804.27	1.0%	15	8.47	0.55
AD-2	2	0.65	4.12	23	804.27	804.40	0.6%	15	4.86	0.74
AD-3	3	3.18	3.47	36	804.63	804.90	1.0%	12	3.64	0.17
AD-4	4	0.29	0.29	79	805.07	805.40	0.4%	8	0.79	0.80
AD-5	SW	N/A	N/A	43	805.48	805.90	1.0%	8	0.86	

DRAINAGE AREA CALCULATIONS

DRAINAGE AREA NO.	AREA (ACRES)	C	T _c (MINUTES)	1 100 YR (IN/HR)	Q (cfs) (100-YR)
1	0.23	0.90	10	8.74	1.8
2	0.08	0.90	10	8.74	0.7
3	0.40	0.90	10	8.74	3.2
4	0.04	0.90	10	8.74	0.3

LEGEND:

- PHASE 2 DRAINAGE AREAS
- ==== PROPOSED STORM
- ==== EXISTING STORM
- 1 → DRAINAGE AREA
- 1.66 → ACRES
- 8.0 → Q₁₀₀
- FLOW ARROW

Grantham & Associates, Inc.
Civil Engineering & Surveying
Serving with Integrity

6570 NAAMAN FOREST BLVD., SUITE 200, L.B. 2
GARLAND, TEXAS 75044

(972) 864-2333 (TEL)
(972) 864-2334 (FAX)

NO.	DATE	REVISION	APPROV.
1			
2			
3			
4			
5			
6			

GRANTHAM & ASSOCIATES
F-005438

STATE OF TEXAS
REGISTERED PROFESSIONAL ENGINEER
101252
P. CHRISTOPHER ROBINSON

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY P. CHRISTOPHER ROBINSON ON 12/1/11. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

CONSTRUCTION PLANS FOR ALLEGRO - PHASE 2 DRAINAGE AREA MAP

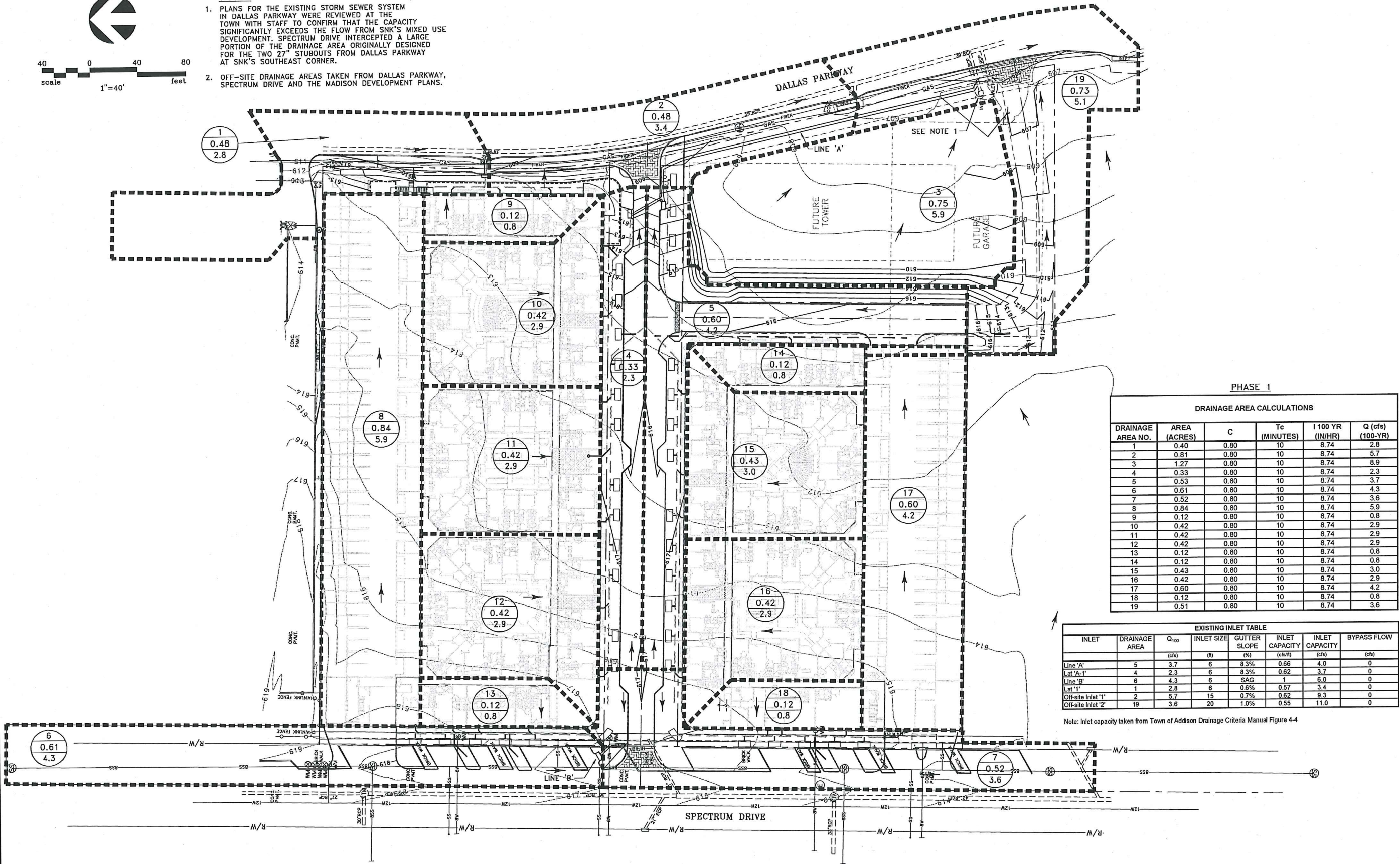
HARVARD PROPERTY TRUST, LLC

DATE: DECEMBER 2011
SCALE: 1"=20'
DRAWN BY: G&A
DESIGN: BRG
REVIEWED: BRG
JOB NO: 1132-11
DWG: 1132DRN-AREA

SHEET 4 OF 6



- NOTES:**
- PLANS FOR THE EXISTING STORM SEWER SYSTEM IN DALLAS PARKWAY WERE REVIEWED AT THE TOWN WITH STAFF TO CONFIRM THAT THE CAPACITY SIGNIFICANTLY EXCEEDS THE FLOW FROM SNK'S MIXED USE DEVELOPMENT. SPECTRUM DRIVE INTERCEPTED A LARGE PORTION OF THE DRAINAGE AREA ORIGINALLY DESIGNED FOR THE TWO 27" STUBOUTS FROM DALLAS PARKWAY AT SNK'S SOUTHEAST CORNER.
 - OFF-SITE DRAINAGE AREAS TAKEN FROM DALLAS PARKWAY, SPECTRUM DRIVE AND THE MADISON DEVELOPMENT PLANS.



PHASE 1

DRAINAGE AREA CALCULATIONS

DRAINAGE AREA NO.	AREA (ACRES)	C	Tc (MINUTES)	1 100 YR (IN/HR)	Q (cfs) (100-YR)
1	0.40	0.80	10	8.74	2.8
2	0.81	0.80	10	8.74	5.7
3	1.27	0.80	10	8.74	8.9
4	0.33	0.80	10	8.74	2.3
5	0.53	0.80	10	8.74	3.7
6	0.61	0.80	10	8.74	4.3
7	0.52	0.80	10	8.74	3.6
8	0.84	0.80	10	8.74	5.9
9	0.12	0.80	10	8.74	0.8
10	0.42	0.80	10	8.74	2.9
11	0.42	0.80	10	8.74	2.9
12	0.42	0.80	10	8.74	2.9
13	0.12	0.80	10	8.74	0.8
14	0.12	0.80	10	8.74	0.8
15	0.43	0.80	10	8.74	3.0
16	0.42	0.80	10	8.74	2.9
17	0.60	0.80	10	8.74	4.2
18	0.12	0.80	10	8.74	0.8
19	0.51	0.80	10	8.74	3.6

EXISTING INLET TABLE

INLET	DRAINAGE AREA	Q ₁₀₀ (cfs)	INLET SIZE (in)	GUTTER SLOPE (%)	INLET CAPACITY (cfs)	INLET CAPACITY (cfs)	BYPASS FLOW (cfs)
Line 'A'	5	3.7	6	8.3%	0.66	4.0	0
Let 'A-1'	4	2.3	6	8.3%	0.62	3.7	0
Line 'B'	6	4.3	6	SAG	1	6.0	0
Let '1'	1	2.8	6	0.6%	0.57	3.4	0
Off-site Inlet '1'	2	5.7	15	0.7%	0.62	9.3	0
Off-site Inlet '2'	19	3.6	20	1.0%	0.55	11.0	0

Note: Inlet capacity taken from Town of Addison Drainage Criteria Manual Figure 4-4

DRAINAGE AREA CALCULATIONS
REVISED FROM PHASE 1

DRAINAGE AREA NO.	AREA (ACRES)	C	Tc (MINUTES)	1 100 YR (IN/HR)	Q (cfs) (100-YR)
2	0.48	0.80	10	8.74	3.4
3	0.75	0.90	10	8.74	5.9
5	0.60	0.80	10	8.74	4.2
19	0.73	0.80	10	8.74	5.1

LEGEND:

- DRAINAGE AREAS
- ==== PROPOSED STORM
- ==== EXISTING STORM
- 1.66 → DRAINAGE AREA
- 8.0 → ACRES
- 8.0 → Q₁₀₀
- FLOW ARROW

Grantham & Associates, Inc.
Civil Engineering & Surveying
Serving with Integrity

(972) 844-2833 (TEL)
(972) 844-2334 (FAX)
4570 NAAMAN FOREST BLVD., SUITE 200, L.B. 2
GARLAND, TEXAS 75044

NO.	DATE	REVISION	APPROV.

GRANTHAM & ASSOCIATES
F-005438

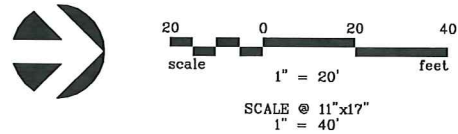
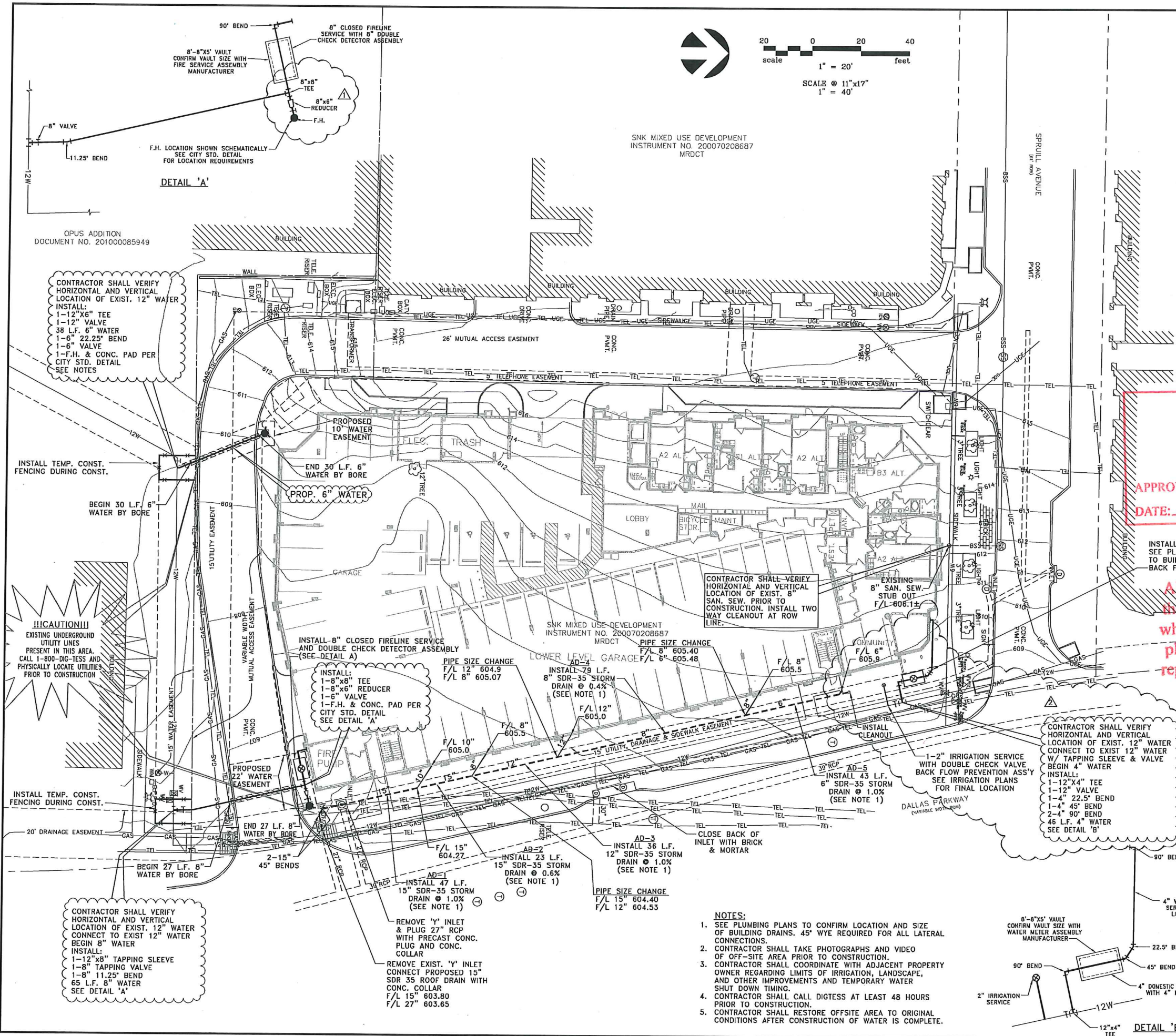
STATE OF TEXAS
P. CHRISTOPHER ROBINSON
101252
REGISTERED PROFESSIONAL ENGINEER

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY:
P. CHRISTOPHER ROBINSON
ON 12/1/11
ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

CONSTRUCTION PLANS FOR
ALLEGRO - PHASE 2
OFF-SITE DRAINAGE AREA MAP & CALCULATIONS
HARVARD PROPERTY TRUST, LLC

DATE: DECEMBER 2011
SCALE:
DRAWN BY: G&A
DESIGN: BRG
REVIEWED: BRG
JOB NO: 1132-11
DWG: 1057DRNAREA

SHEET
OF
4A OF 6



625	
620	
615	REMOVE EXIST. 'Y' INLET & PLUG PROPOSED 15" SDR 35 ROOF DRAIN WITH CONC. COLLAR
610	
605	EXIST. 27" RCP @ 18.12%
600	15" SDR-35 PVC @ 1.0%
595	F/L 27" 603.65 F/L 15" 603.80
590	
0+00	

APPROVED FOR CONSTRUCTION
SNK MIXED USE DEVELOPMENT
INSTRUMENT NO. 200070208687
MRDCT

Town of Addison
Public Works Department

APPROVED BY: *David St. Louis*
DATE: 2/15/12

All responsibility for the adequacy of these plans remains with the Engineer who prepared them. In approving these plans, the Town of Addison makes no representation of adequacy of the work of the Design Engineer.

625	
620	
615	
610	
605	
600	
595	
0+00	

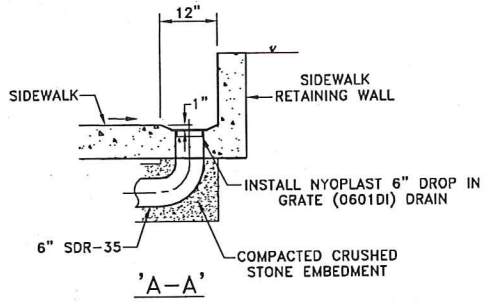
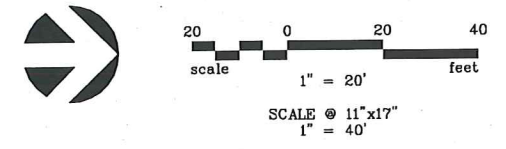
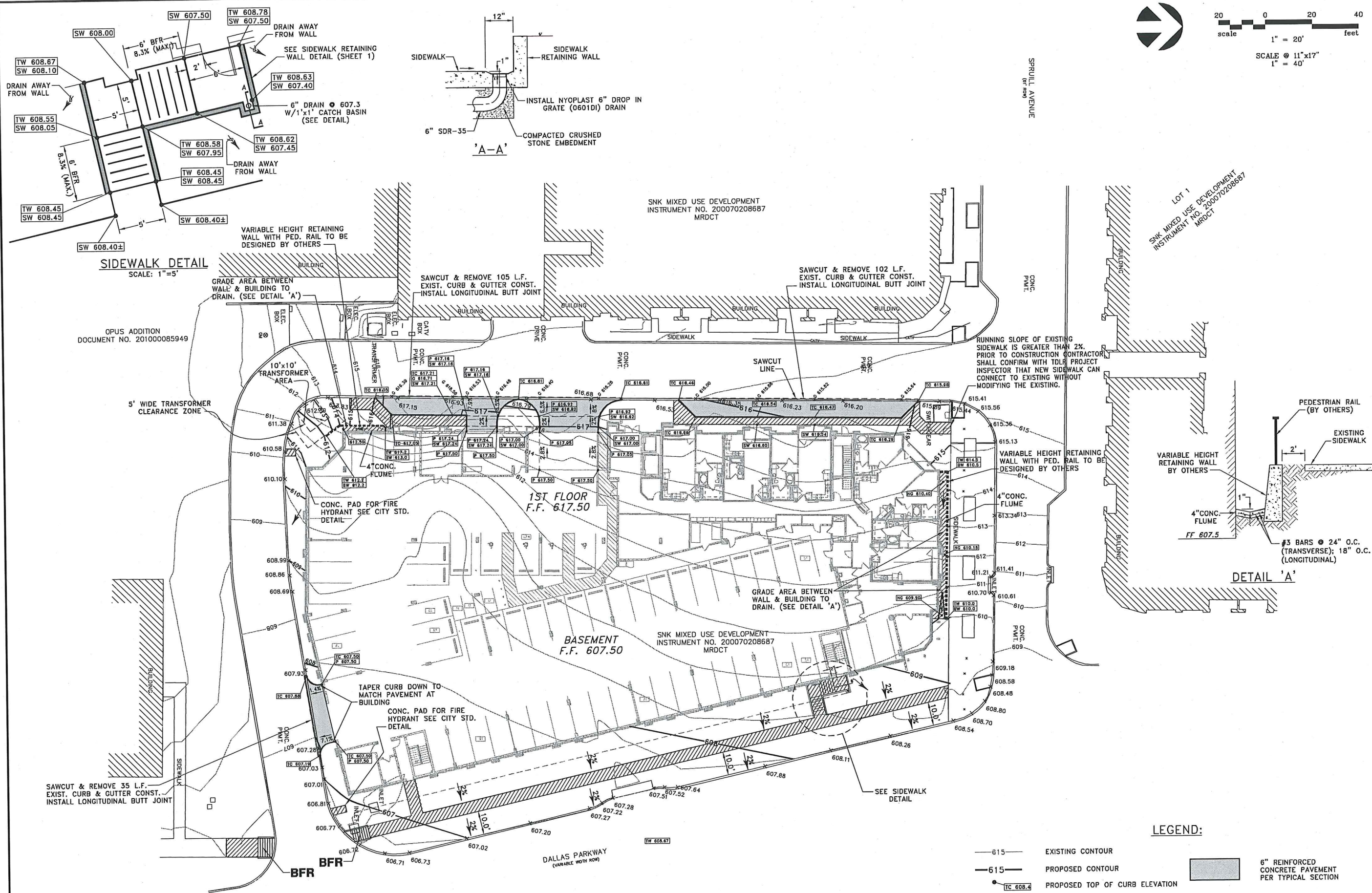
CONSTRUCTION PLANS FOR ALLEGRO - PHASE 2
STORM SEWER, WATER & SANTARY SEWER PLAN
HARVARD PROPERTY TRUST, LLC

DATE: DECEMBER 2011
SCALE: 1"=20'
DRAWN BY: G&A
DESIGN: BRG
REVIEWED: BRG
JOB NO: 1132-11
DWG: 1132UTILS

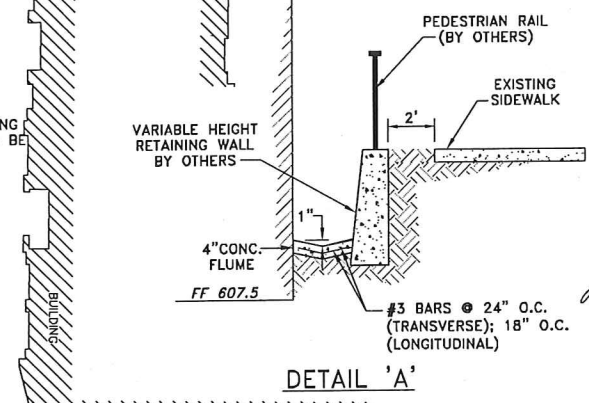
5 SHEET OF 6

GRANTHAM & ASSOCIATES, Inc.
Civil Engineering & Surveying
"Serving with Integrity"
4570 NAAMAN FOREST BLVD., SUITE 200, L.B. 2
GARLAND, TEXAS 75044
(972) 864-2333 (TEL)
(972) 864-2334 (FAX)

12/8/11	NOTE CORRECTED	PCR	NO.	DATE	REVISION	APPROV.
2/17/12	REVISED WATER LINE	PCR	3			
			4			
			5			
			6			



SIDEWALK DETAIL
SCALE: 1"=5'



DETAIL 'A'

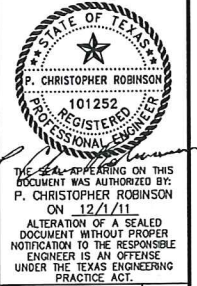
LEGEND:

— 615 —	EXISTING CONTOUR		6" REINFORCED CONCRETE PAVEMENT PER TYPICAL SECTION
- 615 -	PROPOSED CONTOUR		SIDEWALK PAVEMENT (REFER TO LANDSCAPE PLAN)
● TC 608.4	PROPOSED TOP OF CURB ELEVATION		BARRIER FREE RAMP
● P 608.4	PROPOSED TOP OF PAVEMENT		
● SW 608.4	PROPOSED SIDEWALK ELEVATION		
● TW 608.4	PROPOSED TOP OF WALL ELEVATION		
x 608.20	EXISTING ELEVATION		

NOTE:
1. REFER TO ARCHITECTURAL PLANS FOR WATERPROOFING DETAIL WHERE ADJACENT GROUND IS HIGH THAN BASEMENT F.F.

Grantham & Associates, Inc.
Civil Engineering & Surveying
"Serving with Integrity"
6570 NAAMAN FOREST BLVD., SUITE 200, L.B. 2
GARLAND, TEXAS 75044
(972) 864-2333 (TEL)
(972) 864-2334 (FAX)

NO.	DATE	REVISION	APPROV.
1			
2			
3			
4			
5			
6			



CONSTRUCTION PLANS FOR
ALLEGRO - PHASE 2
PAVING & GRADING PLAN
HARVARD PROPERTY TRUST, LLC

DATE: DECEMBER 2011
SCALE: 1"=20'
DRAWN BY: G&A
DESIGN: BRG
REVIEWED: BRG
JOB NO: 1132-11
DWG: 1132GRADING01

Exhibit "A"
Waterline Easement
0.004 Acre
181 Square Feet

SITUATED IN THE STATE OF TEXAS, COUNTY OF DALLAS, TOWN OF ADDISON, OUT OF THE G.W. FISHER SURVEY, ABSTRACT NUMBER 482, BEING PART OF LOT 3, OF THE SUBDIVISION ENTITLED "SNK MIXED USE DEVELOPMENT", OF RECORD IN INSTRUMENT NUMBER 20070208687, AS CONVEYED TO BEHRINGER HARVEST ADDISON CIRCLE LAND, LLC BY DEED OF RECORD IN INSTRUMENT NUMBER 201000306087, ALL REFERENCES BEING TO THE RECORDS OF THE RECORDER'S OFFICE, DALLAS COUNTY, TEXAS, AND MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING at a ½" Iron rod set at the southwesterly corner of said Lot 3 in the northerly line of the subdivision entitled "Opus Addition" of record in Instrument Number 201000085949;

THENCE North 90°00'00" East, with said northerly line, a distance of 64.54 to a point;

THENCE crossing said Lot 3 the following courses and distances:

North 00°00'00" West, a distance of 15.00 feet to the POINT OF BEGINNING for this description;

North 22°30'00" West, a distance of 13.00 feet to a point;

North 00°00'00" West, a distance of 4.99 feet to a point;

North 90°00'00" East, a distance of 10.00 feet to a point;

South 00°00'00" East, a distance of 3.00 feet to a point;

South 22°30'00" East, a distance of 15.15 feet to a point; and

South 90°00'00" West, a distance of 10.82 feet to the POINT OF BEGINNING, containing 0.004 acre (181 square feet) of land, more or less.

Iron rods set, where indicated, are ½ inch diameter, solid iron rods, 24 inches long with a plastic cap bearing the initials G & A placed on the top.

THE BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE PLAT OF "SNK MIXED USE DEVELOPMENT" AS REFERENCED ABOVE.

Matthew A. Kirk R.P.L.S. No. 5711
Grantham and Associates, Inc.

Date



Exhibit "B"
Waterline Easement
0.017 Acre
744 Square Feet

SITUATED IN THE STATE OF TEXAS, COUNTY OF DALLAS, TOWN OF ADDISON, OUT OF THE G.W. FISHER SURVEY, ABSTRACT NUMBER 482, BEING PART OF LOT 3, OF THE SUBDIVISION ENTITLED "SNK MIXED USE DEVELOPMENT", OF RECORD IN INSTRUMENT NUMBER 20070208687, AS CONVEYED TO BEHRINGER HARVEST ADDISON CIRCLE LAND, LLC BY DEED OF RECORD IN INSTRUMENT NUMBER 201000306087, ALL REFERENCES BEING TO THE RECORDS OF THE RECORDER'S OFFICE, DALLAS COUNTY, TEXAS, AND MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:

COMMENCING at a 1/2" Iron rod found at the southeasterly corner of said Lot 3 in the northerly line of the subdivision entitled "Opus Addition" of record in Instrument Number 201000085949;

THENCE South 90°00'00" West, with said northerly line, a distance of 15.12 feet to a point;

THENCE crossing said Lot 3 the following courses and distances:

With the arc of a curve to the left, (Delta = 01°25'07", Radius = 611.62 feet) a chord bearing and distance of North 07°55'07" West, 15.14 feet to the POINT OF BEGINNING for this description;

South 90°00'00" West, a distance of 22.26 feet to a point on the arc of a curve to the left;

With the arc of said curve, (Delta = 03°02'41", Radius = 589.62 feet) a chord bearing and distance of North 10°28'30" West, 31.33 feet to a point;

North 77°07'13" East, a distance of 22.00 feet to a point on the arc of a curve to the right;

With the arc of said curve, (Delta = 03°24'04", Radius = 611.62 feet) a chord bearing and distance of South 10°19'49" East, 36.30 feet to the POINT OF BEGINNING, containing 0.017 acre (744 square feet) of land, more or less.

THE BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE PLAT OF "SNK MIXED USE DEVELOPMENT" AS REFERENCED ABOVE.

Matthew A. Kirk R.P.L.S. No. 5711
Grantham and Associates, Inc.

Date _____

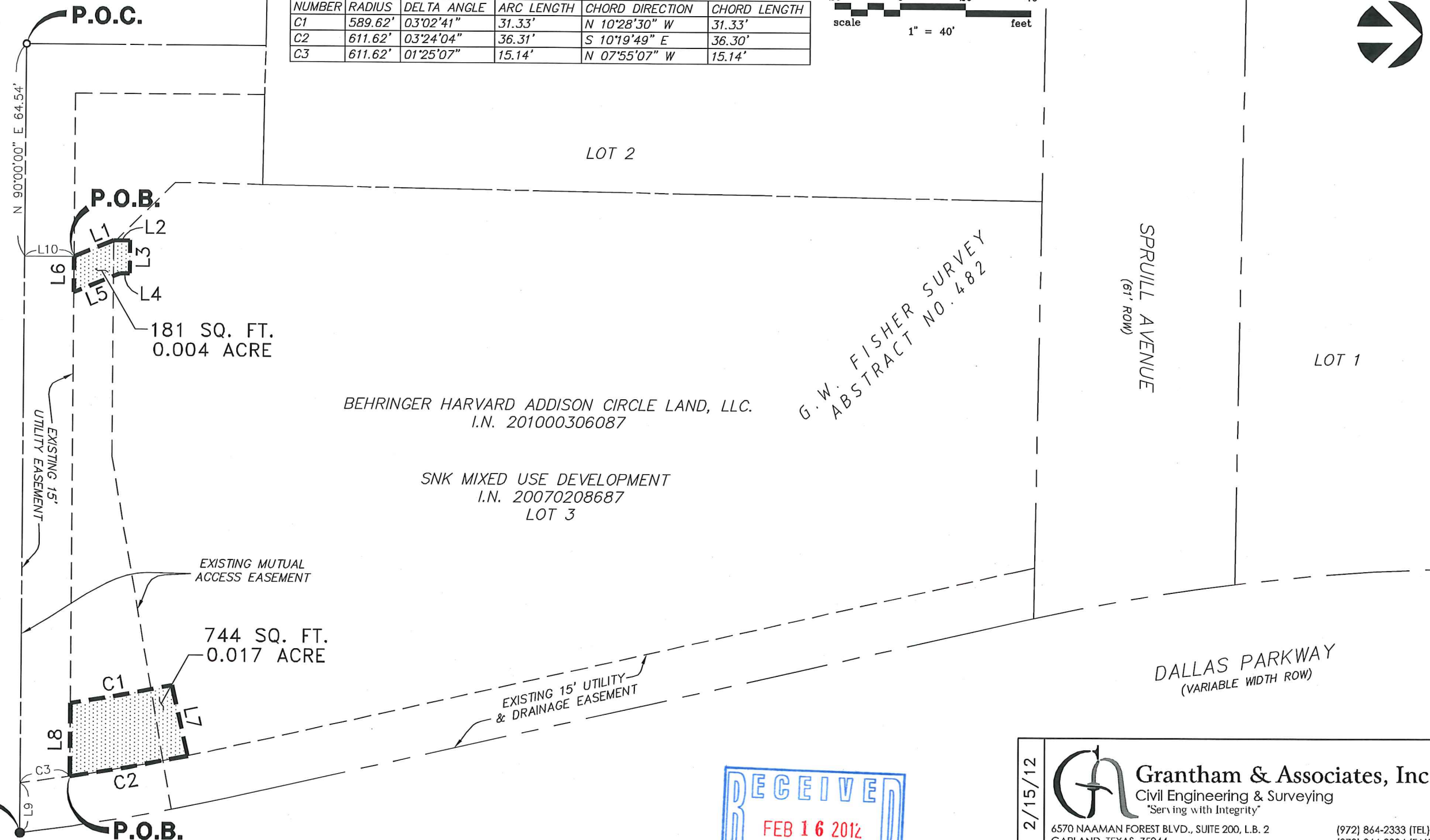
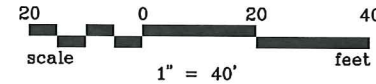


NOTE:

THE BEARINGS ON THIS PLAT ARE BASED ON THE PLAT OF SNK MIXED USE DEVELOPMENT, AN ADDITION TO THE TOWN OF ADDISON, ACCORDING TO THE MAP THEREOF RECORDED IN INSTRUMENT NUMBER 20070208687 OF THE MAP RECORDS OF DALLAS COUNTY, TEXAS.

CURVE TABLE:

NUMBER	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD DIRECTION	CHORD LENGTH
C1	589.62'	03°02'41"	31.33'	N 10°28'30" W	31.33'
C2	611.62'	03°24'04"	36.31'	S 10°19'49" E	36.30'
C3	611.62'	01°25'07"	15.14'	N 07°55'07" W	15.14'



OPUS ADDITION
D.N. 201000085949

BEHRINGER HARVARD ADDISON CIRCLE LAND, LLC.
I.N. 201000306087

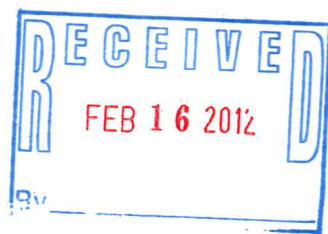
SNK MIXED USE DEVELOPMENT
I.N. 20070208687
LOT 3

LINE TABLE:


NUMBER	DIRECTION	DISTANCE
L1	N 22°30'00" W	13.00'
L2	N 00°00'00" W	4.99'
L3	N 90°00'00" E	10.00'
L4	S 00°00'00" E	3.00'
L5	S 22°30'00" E	15.15'
L6	S 90°00'00" W	10.82'
L7	N 77°07'13" E	22.00'
L8	S 90°00'00" W	22.26'
L9	S 90°00'00" W	15.12'
L10	N 00°00'00" W	15.00'

LEGEND

- = IRON ROD SET. IRON RODS, WHERE INDICATED, UNLESS OTHERWISE NOTED, ARE TO BE SET AND ARE IRON RODS, ONE HALF INCH IN DIAMETER, TWENTY FOUR INCHES LONG WITH A PLASTIC CAP PLACED ON THE TOP BEARING THE INITIALS G&A.
- = 1/2" IRON ROD FOUND

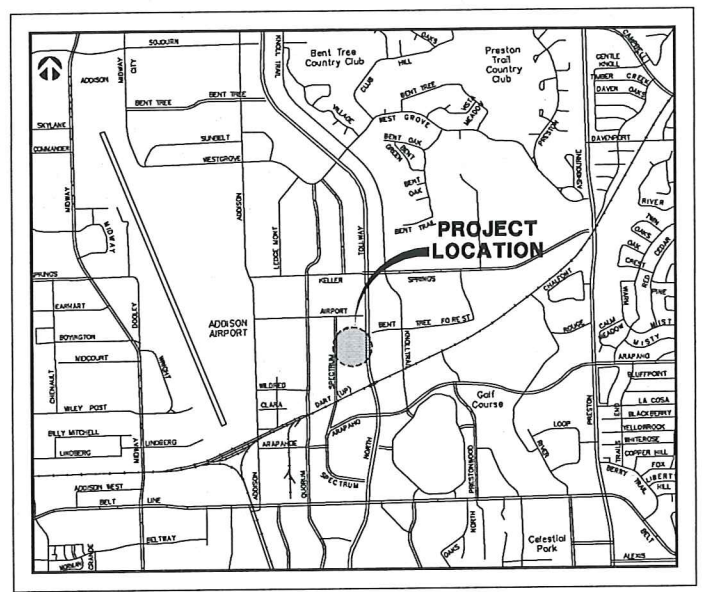
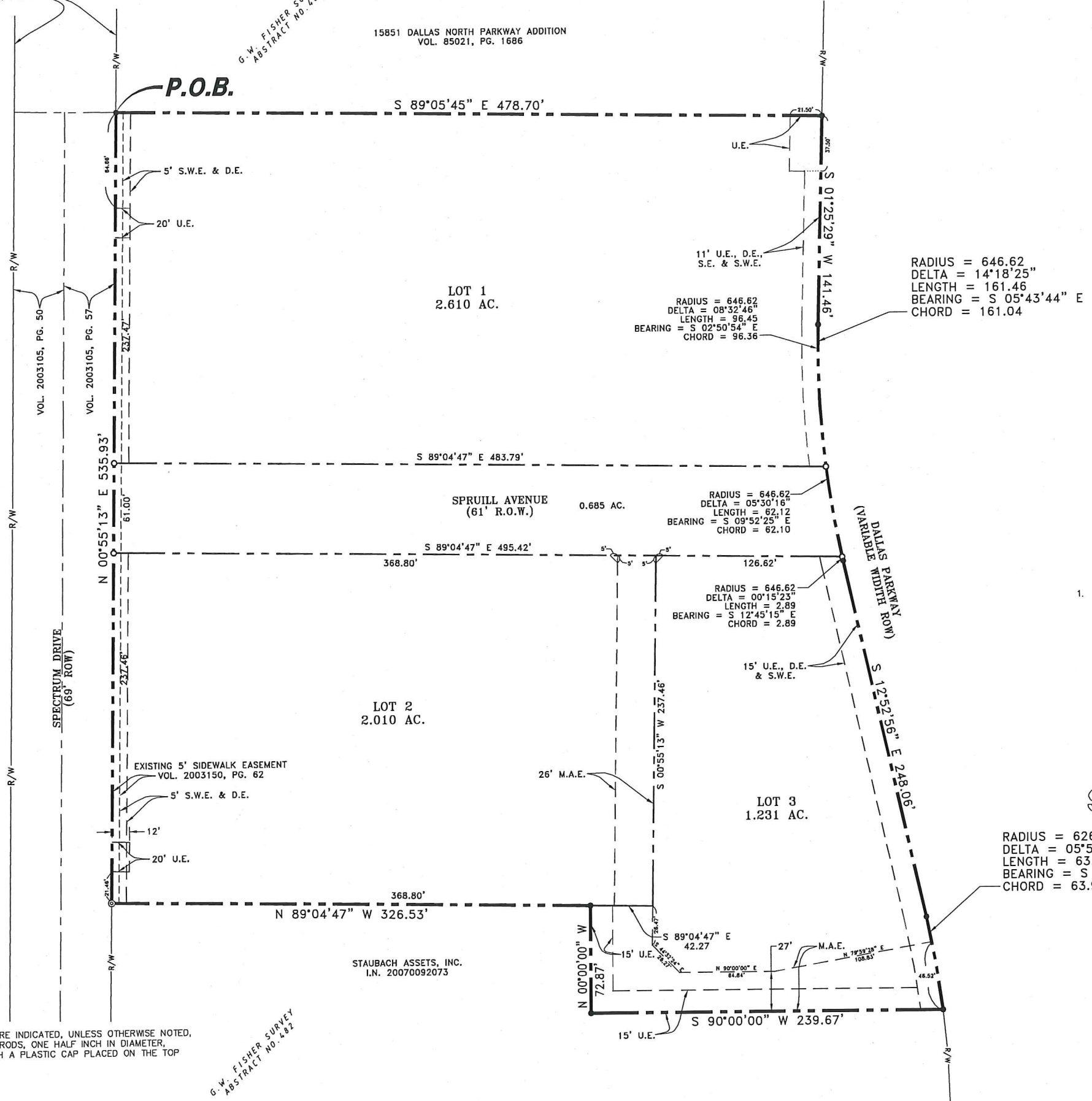
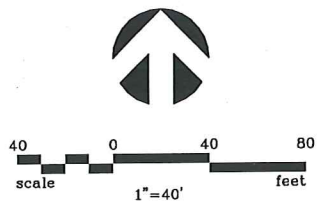


MATTHEW A. KIRK R.P.L.S. NO. 5711

1132ESMT01	2/15/12	 Grantham & Associates, Inc. Civil Engineering & Surveying "Serving with Integrity" 6570 NAAMAN FOREST BLVD., SUITE 200, L.B. 2 GARLAND, TEXAS 75044 (972) 864-2333 (TEL) (972) 864-2334 (FAX)
	WATERLINE EASEMENTS EXHIBIT "C"	
TOWN OF ADDISON		

G.W. FISHER SURVEY
ABSTRACT NO. 482

15851 DALLAS NORTH PARKWAY ADDITION
VOL. 85021, PG. 1686



Site Map
NOT TO SCALE

NOTES

- THE BEARINGS SHOWN ON THIS PLAT ARE BASED ON THE SAME MERIDIAN AS THE BEARINGS SHOW IN THE SPECIAL WARRANTY DEED GRANTING OWNERSHIP OF THE PLATTED AREA TO SNK ADDISON, LP, OF RECORD IN VOLUME 2005166, PAGE 50, SAID DEED ASSIGNING A BEARING OF NORTH 00°55'13" EAST TO THE EASTERLY RIGHT OF 'WAY LINE' OF SPECTRUM DRIVE.

FINAL PLAT
SNK MIXED USE DEVELOPMENT
6.536 ACRES

BEING A TRACT OF LAND OUT OF THE G.W.
FISHER SURVEY, ABSTRACT NO. 482,
IN THE TOWN OF ADDISON, DALLAS COUNTY, TEXAS.

LEGEND

- = IRON ROD SET. IRON RODS, WHERE INDICATED, UNLESS OTHERWISE NOTED, ARE TO BE SET AND ARE IRON RODS, ONE HALF INCH IN DIAMETER, TWENTY FOUR INCHES LONG WITH A PLASTIC CAP PLACED ON THE TOP BEARING THE INITIALS G&A.
- ⊗ = "X" FOUND CUT IN BRICK
- = 1/2" IRON ROD FOUND
- U.E. = UTILITY EASEMENT
- D.E. = DRAINAGE EASEMENT
- S.E. = STREET EASEMENT
- S.W.E. = SIDEWALK EASEMENT
- M.A.E. = MUTUAL ACCESS EASEMENT
- LOT LINE
- - - EASEMENT LINE (PROPOSED)
- EASEMENT LINE (EXISTING)
- ==== PROPERTY BOUNDARY

G.W. FISHER SURVEY
ABSTRACT NO. 482

Developer:
SNK DEVELOPMENT INC.
2522 MCKINNEY AVENUE
SUITE 201
DALLAS, TX. 75201
(214) 550-8005

Engineer/Surveyor:
g&a Grantham & Associates, Inc.
1919 S. Shiloh Road
Suite 440, LB B
Garland, Texas 75042
(972) 864-2333

MAY 24, 2007

OWNERS CERTIFICATE AND DEDICATION

Whereas SNK Addison, LP, owner of that 6.536 acres tract of land located in the State of Texas, County of Dallas, Town of Addison, out of the G.W. Fisher Survey, Abstract No. 482, said 6.536 acres being all of that tract of land conveyed to SNK Addison, LP by deed of record in Volume 2005166, Page 50 (all references being to the records of the Recorder's Office, Dallas County, Texas) and more particularly bounded and described as follows:

BEGINNING at a 1/2" iron rod found in the easterly right-of-way line of Spectrum Drive, at the southwesterly corner of the subdivision entitled "15851 Dallas North Parkway Addition", of record in Volume 85021, Page 1686;

THENCE South 89°05'45" East, with the southerly line of said subdivision, a distance of 478.70 feet to a 1/2" iron rod found in the westerly right-of-way line of Dallas Parkway;

THENCE with said westerly right of way line the following courses and distances:

South 01°25'29" West, a distance of 141.46 feet to a 1/2" iron rod found at a point of curvature to the left;

With the arc of said curve (Delta = 14°18'25", Radius = 646.62 feet) a chord bearing and distance of South 05°43'44" East, 161.04 feet to a 1/2" iron rod found;

South 12°52'56" East, a distance of 248.06 feet to a 1/2" iron rod found at a point of curvature to the right; and

With the arc of said curve (Delta = 05°50'57", Radius = 626.62 feet) a chord bearing and distance of South 09°57'32" East, 63.91 feet to a 1/2" iron rod found at the northeasterly corner of that tract conveyed to Staubach Assets, Inc. by deed of record in Instrument Number 20070092073;

THENCE with the boundary of said Staubach Assets, Inc. tract the following courses and distances:

South 90°00'00" West, a distance of 239.67 feet to a 1/2" iron rod found;

North 00°00'00" West, a distance of 72.87 feet to a 1/2" iron rod found; and

North 89°04'47" West, a distance of 326.53 feet to an "X" found cut in brick in the easterly right of way line of said Spectrum Drive;

THENCE North 00°55'13" East, with said easterly right-of-way line, a distance of 535.93 feet to the POINT OF BEGINNING, containing 6.536 acres of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That SNK Addison, L.P. does hereby adopt this plat designating the hereinabove property known as SNK MIXED USE DEVELOPMENT, an addition to the Town of Addison, Texas, and subject to the conditions, restrictions and reservations stated hereinafter, owner dedicates to the public use forever the streets and alleys shown thereon.

The easements shown on this plat are hereby reserved for the purposes as indicated, including, but not limited to, the installation and maintenance of water, sanitary sewer, storm sewer, drainage, election, telephone, gas and cable television. Owner shall have the right to use these easements, provided, however, that it does not unreasonably interfere or impede with the provision of the services to others. Said utility easements are hereby reserved by mutual use and accommodation of all public utilities using or desiring to use the same. An express easement of ingress and egress is hereby expressly granted on, over and across all such easements for the benefit of the provider of services for which easements are granted.

Any drainage and floodway easement shown hereon is hereby dedicated to the public's use forever, but including the following covenants with regards to maintenance responsibilities. The existing channels or creeks traversing the drainage and floodway easement will remain as an open channel, unless required to be enclosed by ordinance, at all times and shall be maintained by the individual owners of the lot or lots that are traversed by or adjacent to the drainage and floodway easement. The town will not be responsible for the maintenance and operation of said creek or creeks or for any damage or injury to private property or person that results from the flow of water along said creek, or for control of erosion. No obstruction to the natural flow of water runoff shall be permitted by construction of any type of building, fence or any other structure within the drainage and floodway easement. Provided, however, it is understood that in the event it becomes necessary for the town to channelize or consider erecting any type of drainage structure in order to improve the storm drainage, then in such event, the town shall have the right, but not the obligation, to enter upon the drainage and floodway easement at any point, or points, with all rights of ingress and egress to investigate, survey, erect, construct or maintain any drainage facility deemed necessary by the town for maintenance or efficiency of its respective system or service.

Water main and sanitary sewer easements shall also include additional area of working space for construction and maintenance of the systems. Additional easement area is also conveyed for installation and maintenance of manholes, cleanouts, fire hydrants, water services and sewer services from the main to curb or pavement line, and the descriptions of such additional easements herein granted shall be determined by their locations as installed.

This plat is approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Addison, Texas.

The construction plans shall be prepared by or under the supervision of a registered professional engineer in the State of Texas and shall bear his seal on each sheet.

The plans shall contain all necessary information for construction of the project, including screening walls. All materials specified shall conform to the standard specifications of the Town of Addison.

Each sheet of the plans shall contain a title block including space for the notation of revisions. This space is to be completed with each revision to the plan sheet and shall clearly note the nature of the revision and the date the revision was made.

After review of the plat and plans by the public works department and town engineer, the plat and plans shall be submitted to the planning and zoning commission and the city council for their consideration. If approved by those bodies, subject to changes, the engineer for the owner shall make all changes required. The director of public works or his designated agent will approve all plans and return sufficient approved sets of the plans to the engineer for the owner for use by the contractors. Each contractor shall maintain one set of the plans, stamped with town approval, on the project at all times during construction.

SNK ADDISON, LP

DERRICK TURNBULL, VICE PRESIDENT DATE

STATE OF TEXAS

DALLAS COUNTY

BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared Derrick Turnbull, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

GIVEN, UNDER MY HAND SEAL OF OFFICE this the _____ of _____, 2007

My commission expires: _____
Notary Public in and for Dallas County, Texas

CERTIFICATE OF APPROVAL

APPROVED THIS _____ DAY of _____, 2007, BY THE TOWN COUNCIL OF ADDISON, TEXAS.

MAYOR

SECRETARY

SURVEYORS CERTIFICATE

I, Matthew A. Kirk, a registered professional land surveyor in the State of Texas, do hereby certify that this plat was prepared from an actual survey of the land, and that the corner monuments shown hereon were found or properly placed under my direction and supervision in accordance with the Subdivision Regulations of the Town of Addison, Texas.

DATED THIS THE _____ DAY OF _____, 2007

RPLS #5711

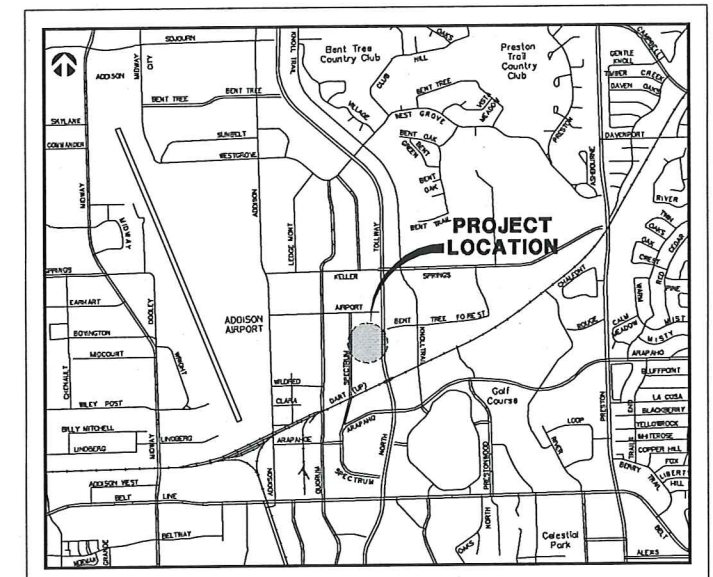
STATE OF TEXAS

DALLAS COUNTY

BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared Matthew A. Kirk, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

GIVEN, UNDER MY HAND SEAL OF OFFICE this the _____ of _____, 2007

My commission expires: _____
Notary Public in and for Dallas County, Texas



Site Map
NOT TO SCALE

FINAL PLAT
SNK MIXED USE DEVELOPMENT
6.536 ACRES

BEING A TRACT OF LAND OUT OF THE G.W.
FISHER SURVEY, ABSTRACT NO. 482
IN THE TOWN OF ADDISON, DALLAS COUNTY, TEXAS.

Developer:
SNK DEVELOPMENT INC.
2522 MCKINNEY AVENUE
SUITE 201
DALLAS, TX. 75201
(214) 550-8005

Engineer/Surveyor:
g&a Grantham & Associates, Inc.
1919 S. Shiloh Road
Suite 440, LB 8
Garland, Texas 75042
(972) 864-2333

MAY 24, 2007