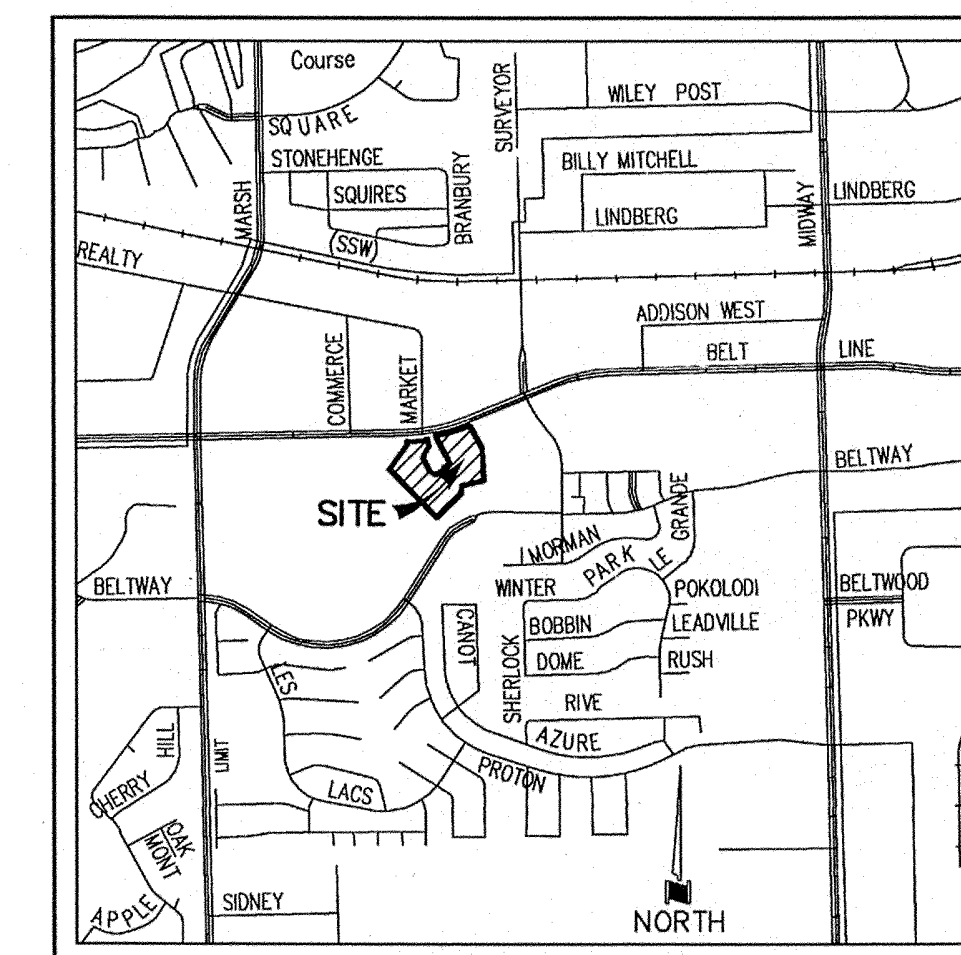


# CONSTRUCTION PLANS

# ASBURY CIRCLE

PW # 2006-005

TOWN OF ADDISON  
DALLAS COUNTY, TEXAS



LOCATION MAP  
NOT TO SCALE

**GENERAL CONSTRUCTION NOTES**

- A. PRIOR TO COMMENCING CONSTRUCTION, THREE SETS OF APPROVED CONSTRUCTION PLANS (CIVIL SET) SHALL BE PROVIDED TO THE TOWN OF ADDISON PUBLIC WORKS DEPARTMENT. THE OWNER OR THEIR AUTHORIZED REPRESENTATIVE SHALL CONVENE A PRE-CONSTRUCTION CONFERENCE AMONG THE TOWN OF ADDISON, THE CONSULTING ENGINEER(S), CONTRACTOR(S), UTILITY COMPANIES, AND ANY OTHER AFFECTED PARTIES, AT LEAST 48 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION. CONTACT THE ASSISTANT DIRECTOR OF PUBLIC WORKS OR THE PUBLIC WORKS INSPECTOR AT (972) 450-2871.
- B. THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FROM THE TOWN OF ADDISON PRIOR TO WORKING WITHIN THE PUBLIC RIGHT-OF-WAY.
- C. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ANY UTILITY COMPANY FOR LOCATION OF EXISTING FACILITIES IN OR NEAR THE WORK AREAS. THESE INCLUDE, BUT MAY NOT BE LIMITED TO THE FOLLOWING:  
 THE TOWN OF ADDISON  
 ONCOR ELECTRIC  
 AT&T  
 TIME WARNER CABLE  
 ATMOS GAS  
 MCI WORLDCOM  
 BROOKS CABLE  
 EXPLORER PIPELINE
- D. THE CONTRACTOR SHALL PROVIDE SUBMITTALS TO THE TOWN OF ADDISON, FOR APPROVAL OF ALL MATERIALS TO BE ADDED TO THE PUBLIC INFRASTRUCTURE, PRIOR TO INCORPORATING MATERIALS INTO THE JOB.
- E. THE UTILITY CONTRACTOR SHALL SUBMIT TO THE TOWN OF ADDISON AN APPROVED TRENCH SAFETY PLAN, SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF TEXAS, FOR THE INSTALLATION OF UTILITIES GREATER THAN FIVE (5) FEET IN DEPTH.
- F. THE CONTRACTOR/DEVELOPER SHALL VERIFY COMPLIANCE WITH NPDES AND SUBMIT A SWPPP AS PART OF THE CONSTRUCTION PLANS.
- G. A TRAFFIC CONTROL PLAN THAT COMPLIES WITH PART VI OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS SHALL BE SUBMITTED AS PART OF THE CONSTRUCTION PLANS.
- H. TEMPORARY OR PERMANENT BARRICADES SHALL REMAIN AT ALL POINTS OF INGRESS OR EGRESS TO PREVENT PUBLIC USE UNTIL THE WORK RECEIVES FINAL ACCEPTANCE.
- I. DURING CONSTRUCTION, THE OWNER SHALL PROVIDE A QUALIFIED GEOTECHNICAL LAB TO PERFORM APPROPRIATE TESTING DURING THE CONSTRUCTION, AT THE REQUEST OF THE TOWN OF ADDISON.

PRIOR TO FINAL ACCEPTANCE BY THE TOWN OF ADDISON, THE FOLLOWING ITEMS SHALL BE COMPLETED:

1. THE CONTRACTOR, AT THEIR EXPENSE, SHALL REPAIR ANY EXISTING PAVEMENT, CURB, IRRIGATION SYSTEM, LANDSCAPING, AND/OR SIDEWALKS DAMAGED OR REMOVED DUE TO CONSTRUCTION ACTIVITY.
2. LOT PINS SHALL BE INSTALLED AFTER CONSTRUCTION AND PRIOR TO FINAL ACCEPTANCE. CONCRETE MONUMENTS SHALL BE PLACED AS SHOWN ON THE FINAL PLAT AND IRON PINS SHALL BE PLACED AT BLOCK CORNERS, CURVE POINTS, AND ANGLE POINTS IN PUBLIC RIGHT-OF-WAY. CONCRETE MONUMENTS SHALL BE SIX (6) INCHES IN DIAMETER AND TWENTY-FOUR (24) INCHES LONG. AN IRON ROD ONE-HALF INCH IN DIAMETER SHALL BE EMBEDDED AT LEAST THREE (3) INCHES INTO THE MONUMENT AT THE EXACT INTERSECTION POINT OF THE MONUMENT. THE MONUMENT SHALL BE SET AT SUCH AN ELEVATION THAT AFTER CONSTRUCTION, THE TOP OF THE MONUMENT WILL BE NOT LESS THAN TWELVE (12) INCHES BELOW FINISHED GRADE.
3. THE CONTRACTOR SHALL STAMP A 2-INCH "W" AND A 2-INCH "S" IN THE CURB AT THE LOCATION OF THE WATER AND SEWER SERVICE LINES, RESPECTIVELY. A 2-INCH "C" SHALL MARK CONDUITS CROSSING PAVEMENT, AND A 2-INCH "V" SHALL MARK WATER VALVES, WITH THE "POINT" OF THE "V" TOWARD THE VALVE.
4. ALL EXISTING AND PROPOSED IMPROVEMENTS (VALVES, MANHOLES, FIRE HYDRANTS, WATER METERS, ETC.) SHALL BE ADJUSTED TO FINAL FINISHED GRADE BY THE CONTRACTOR.
5. ANY ADJACENT PROPERTIES AFFECTED BY THE CONSTRUCTION SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITION, OR BETTER.
6. A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS SHALL CERTIFY THAT THE PROJECT WAS CONSTRUCTED IN ACCORDANCE WITH THE PLANS SPECIFICATIONS APPROVED BY THE TOWN OF ADDISON.
7. THE OWNER SHALL PROVIDE ONE REPRODUCIBLE SET (MYLAR), TWO BLUE LINE SETS, AND ONE ELECTRONIC MEDIA (INTERGRAPH OR AUTOCAD, AND PDF) COPY OF THE DIMENSIONED "AS-BUILT" PLANS (DIMENSIONED, DATED, SEALED AND CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS).
8. A LIST OF MATERIALS AND APPURTENANCES INCLUDED IN THE PUBLIC INFRASTRUCTURE SHALL BE SUBMITTED. SQUARE FOOTAGE OF APPROACHES AND SIDEWALKS SHALL BE INCLUDED IN THIS LIST.
9. THE CONTRACTOR SHALL PROVIDE VERIFICATION OF COMPLETION OF ALL REQUIRED TESTS (PRESSURE, BACTERIOLOGICAL, BACKFLOW, VACUUM, MANDREL, VHS VIDEO OF SANITARY SEWER, ETC.)
10. A MAINTENANCE BOND SHALL BE SUBMITTED FOR THE PUBLIC INFRASTRUCTURE:  
 -100% FOR VALUATIONS LESS THAN OR EQUAL TO \$5,000.00  
 -\$5,000.00 FOR VALUATIONS > \$5,000.00 BY < \$50,000.00  
 -10% FOR VALUATIONS > \$50,000.00  
 THE BOND IS TYPICALLY SUBMITTED BY THE GENERAL CONTRACTOR, BUT MAY ALSO BE SUBMITTED BY THE PROPERTY OWNER. THE BOND SHALL BE FOR A PERIOD OF TWO YEARS BEGINNING WITH THE DATE OF FINAL ACCEPTANCE BY THE TOWN.
11. THE CONTRACTOR SHALL CALL (972) 450-2847 TO REQUEST A WALK-THROUGH INSPECTION OF THE PUBLIC INFRASTRUCTURE.
12. WATER AND SANITARY ACCOUNTS SHALL BE SET UP WITH UTILITY BILLING (972-450-7081) AND ALL NECESSARY DEPOSITS PAID BY THE PARTY RESPONSIBLE FOR THE WATER SERVICES.
13. ISSUES IDENTIFIED DURING THE FINAL WALK-THROUGH INSPECTION THAT REQUIRE REVISION, REPAIR, OR ADDITIONAL WORK MAY BE ADDRESSED IN A LETTER TO THE TOWN OF ADDISON. THE LETTER SHOULD BE SENT TO THE ATTENTION OF THE ASSISTANT DIRECTOR OF PUBLIC WORKS, PO BOX 9010, ADDISON, TEXAS 75001, ON OFFICIAL LETTERHEAD (OWNER/GENERAL CONTRACTOR), AND WILL INCLUDE A LIST OF THE ITEMS AND THE PROJECTED COMPLETION DATE. UPON RECEIPT OF SAID LETTER, THE PUBLIC WORKS INSPECTOR MAY SIGN OFF ON A "TEMPORARY" CERTIFICATE OF OCCUPANCY PROVIDED THERE IS NO ENDANGERMENT TO HEALTH OR SAFETY.
14. UPON COMPLETION OF ALL REQUIRED WORK IN A SATISFACTORY MANNER, AND RECEIPT OF ALL THE REQUIREMENTS LISTED ABOVE, THE PUBLIC WORKS INSPECTOR WILL SIGN OFF ON THE FULL CERTIFICATE OF OCCUPANCY. OTHER DEPARTMENTS OR AGENCIES MAY HAVE SEPARATE REQUIREMENTS NOT COVERED BY THE PUBLIC WORKS DEPARTMENT.

OWNER/DEVELOPER

ASHTON DALLAS RESIDENTIAL

13800 MONTFORT DRIVE SUITE 100  
(972) 490-3255 DALLAS, TEXAS 75240

ENGINEER

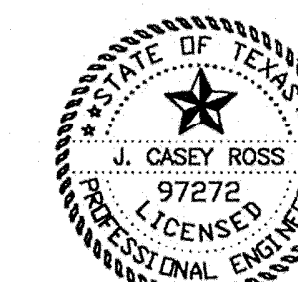
DOWDEY, ANDERSON & ASSOCIATES, INC.

5225 VILLAGE CREEK DRIVE SUITE 200  
(972) 931-0694 PLANO, TEXAS 75093

4500 MERCANTILE PLAZA DRIVE SUITE 234  
(817) 546-1712 FORT WORTH, TEXAS 76137

THESE CONSTRUCTION PLANS WERE PREPARED UNDER THE RESPONSIBLE SUPERVISION OF J. CASEY ROSS, LICENSED PROFESSIONAL ENGINEER NO. 97272.

*J. Casey Ross 10/4/07*



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AUGUST

06010



OWNER'S CERTIFICATE AND DEDICATION

STATE OF TEXAS §
COUNTY OF DALLAS §

WHEREAS ASHTON DALLAS RESIDENTIAL, L.L.C. is the owner of a tract of land located in the THOMAS L. CHENOWITH SURVEY, ABSTRACT NO. 273, Addison, Dallas County, Texas and being a part of LES LACS PLAZA SUBDIVISION, an Addition to the Town of Addison, Dallas County, Texas according to the Plat thereof recorded in Volume 83064, Page 2724, Map Records, Dallas County, Texas and being all of a tract of land described in Deed to PHCG Investments, recorded in Volume 93233, Page 3084, Deed Records, Dallas County, Texas and being all of Lot 2, Block A of SKIP BAILEY ADDITION, an Addition to the Town of Addison, Dallas County, Texas according to the Plat thereof recorded in Volume 2005125, Page 1, Map Records, Dallas County, Texas and being Lot 4R-1 of ADDISON TOWN CENTER, an Addition to the Town of Addison, Dallas County, Texas according to the Plat thereof recorded in Volume 94176, Page 1630, Map Records, Dallas County, Texas and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod found in the South right-of-way line of Belt Line Road, a variable width right-of way, at the Northeast corner of said LES LACS PLAZA SUBDIVISION and said PHCG tract;

THENCE South 25 degrees 08 minutes 43 seconds East, leaving said South right-of-way line and along the East line of said LES LACS PLAZA SUBDIVISION and said PHCG tract, a distance of 229.48 feet to a 1/2 inch iron rod with a yellow plastic cap found for corner;

THENCE South 00 degrees 55 minutes 55 seconds West, continuing along the East line of said LES LACS PLAZA SUBDIVISION and said PHCG tract, a distance of 284.37 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "DAA" set at the Southeast corner of said PHCG tract and the Northeast corner of ADDISON TOWN CENTER, an Addition to the Town of Addison, Dallas County, Texas according to the Plat thereof recorded in Volume 93237, Page 3840, Map Records, Dallas County, Texas;

THENCE South 79 degrees 49 minutes 35 seconds West, leaving the East line of said LES LACS PLAZA SUBDIVISION and along the common line of said PHCG tract and said ADDISON TOWN CENTER recorded in Volume 93237, Page 3840, Map Records, Dallas County, Texas, a distance of 195.38 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "DAA" set at the Southwest corner of said PHCG tract and the Southeast corner of said Lot 2;

THENCE South 10 degrees 12 minutes 12 seconds West, leaving said common line, a distance of 72.69 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "DAA" set for corner;

THENCE South 48 degrees 46 minutes 55 seconds West, a distance of 302.78 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "DAA" set for corner;

THENCE North 41 degrees 13 minutes 05 seconds West, a distance of 604.70 feet to an "X" set in concrete at the most Westerly corner of said Lot 2;

THENCE North 39 degrees 49 minutes 52 seconds East, a distance of 262.96 feet to an "X" found in concrete paving at the most Southerly Northwest corner of said Lot 2;

THENCE North 00 degrees 59 minutes 34 seconds East, a distance of 30.50 feet to a 1/2 inch iron rod found in said South right-of-way line of Belt Line Road at the most Northerly Northwest corner of said Lot 2;

THENCE Northerly and Easterly, along said South right-of-way line, the following three (3) courses and distances:

South 89 degrees 00 minutes 26 seconds East, a distance of 178.12 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "DAA" set for corner;

North 05 degrees 46 minutes 28 seconds West, a distance of 15.57 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "DAA" set for corner at the beginning of a non-tangent curve to the left having a central angle of 00 degrees 27 minutes 10 seconds, a radius of 1971.00 feet and a chord bearing and distance of North 83 degrees 13 minutes 33 seconds East, 15.58 feet;

Easterly, along said curve to the left, an arc distance of 15.58 feet to a 5/8 inch iron rod found with a yellow plastic cap at the Northwest corner of Lot 2R, Block A of PRINTEMPS ADDITION NO. 2, an Addition to the Town of Addison, Dallas County, Texas according to the Plat thereof recorded in Volume 93108, Page 3477, Map Records, Dallas County, Texas;

THENCE Southerly and Easterly, leaving said South right-of-way line and along the common line of said Lot 2 and said Lot 2R, the following eight (8) courses and distances:

South, a distance of 70.00 feet to a 1/2 inch iron rod found for corner;

South 33 degrees 06 minutes 17 seconds West, a distance of 84.83 feet to an "X" found in concrete paving;

South 10 degrees 42 minutes 39 seconds West, a distance of 34.00 feet to an "X" found in concrete paving;

South 25 degrees 08 minutes 13 seconds East, a distance of 120.82 feet to a 1/2 inch iron rod with a red plastic cap found for corner;

South 52 degrees 33 minutes 10 seconds East, a distance of 61.03 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "DAA" set for corner;

North 64 degrees 51 minutes 17 seconds East, a distance of 93.08 feet to a 1/2 inch iron rod with a red plastic cap found for corner;

North 25 degrees 08 minutes 43 seconds West, a distance of 18.00 feet to an "X" found in concrete paving;

North 64 degrees 51 minutes 17 seconds East, a distance of 69.48 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "DAA" set for corner in the West line of said LES LACS SUBDIVISION and said PHCG tract at the most Easterly Southeast corner of said Lot 2R;

THENCE North 25 degrees 08 minutes 43 seconds West, along the common line of said LES LACS SUBDIVISION and said PHCG tract, a distance of 282.81 feet to a 1/2 inch iron rod with a yellow plastic cap found in said South right-of-way line at the Northwest corner of said LES LACS SUBDIVISION and said PHCG tract and at the beginning of a non-tangent curve to the left having a central angle of 09 degrees 22 minutes 09 seconds, a radius of 1960.00 feet and a chord bearing and distance of North 76 degrees 19 minutes 50 seconds East, 320.15 feet;

THENCE Easterly, along said South right-of-way line and said curve to the left, an arc distance of 320.51 feet to the POINT OF BEGINNING and containing 8.140 acres of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS: That ASHTON DALLAS RESIDENTIAL, L.L.C. ("Owner") does hereby adopt this replat designating the herein above described property as ASBURY CIRCLE, an addition to the Town of Addison, Texas, and subject to the conditions, restrictions and reservations stated hereinafter, owner dedicates to the public use forever the streets and alleys shown thereon. The easement shown on this plat are hereby reserved for the purposes as indicated, including, but not limited to, the installation and maintenance of water, sanitary sewer, storm sewer, drainage, electric, telephone, gas and cable television. Owner shall have the right to use these easements, provided, however, that it does not unreasonably interfere or impede with the provision of the services to others. Said utility easements are hereby being reserved by mutual use and accommodation of all public utilities using or desiring to use the same. An express easement of ingress and egress is hereby expressly granted on, over and across all such easements for the benefit of the provider of services for which easements are granted.

Any drainage and floodway easement shown hereon is hereby dedicated to the public's use forever, but including the following covenants with regards to maintenance responsibilities. The existing channels or creeks traversing the drainage and floodway easement will remain as an open channel, unless required to be enclosed by ordinance, at all times and shall be maintained by the individual owners of the lot or lots that are traversed by or adjacent to the drainage and floodway easement. The town will not be responsible for the maintenance and operation of said creek or creeks or for any damage or injury of private property or person that results from the flow of water along said creek, or for the control of erosion. No obstruction to the natural flow of water runoff shall be permitted by construction of any type building, fence or any other structure within the drainage and floodway easement. Provided, however, it is understood that in the event it becomes necessary for the town to channelize or consider erecting any type of drainage structure in order to improve the storm drainage, then in such event, the town shall have the right, but not the obligation, to enter upon the drainage and floodway easement at any point, or points, with all rights of ingress and egress to investigate, survey, erect, construct or maintain any drainage facility deemed necessary by the town for maintenance or efficiency of its respective system or service. Water main and sanitary sewer easements shall also include additional area of working space for construction and maintenance of the systems. Additional easement area is also conveyed for installation and maintenance of manholes, cleanouts, fire hydrants, water service and sewer services from the main to curb or pavement line, and the descriptions of such additional easements herein granted shall be determined by their locations as installed.

This plat is approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Addison, Texas.

Witness my hand at Dallas, Texas this the \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

ASHTON DALLAS RESIDENTIAL, L.L.C.

Eric Robinson
Division President

STATE OF TEXAS §
COUNTY OF DALLAS §

BEFORE ME, the undersigned, a Notary Public, on this day personally appeared Eric Robinson, Division President of Ashton Dallas Residential, L.L.C., known to me to be the person and officer whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same as the act of said Limited Liability Company for the purpose and consideration therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Notary Public in and for the State of Texas

SURVEYOR'S CERTIFICATE

STATE OF TEXAS §
COUNTY OF COLLIN §

KNOW ALL MEN BY THESE PRESENTS:

That I, Sean Patton, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown hereon were found or properly placed under my personal supervision in accordance with the Platting Rules and Regulations of the Town of Addison, Texas.

Sean Patton
Registered Professional Land Surveyor
No. 5660

STATE OF TEXAS §
COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for the State of Texas on this day personally appeared Sean Patton, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Notary Public in and for the State of Texas

CERTIFICATE OF APPROVAL

APPROVED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS, ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

MAYOR

CITY SECRETARY

73 LOTS ~ 8.140 ACRES
REPLAT
ASBURY CIRCLE
TOWN OF ADDISON
THOMAS L. CHENOWITH SURVEY, ABSTRACT NO. 273
DALLAS COUNTY, TEXAS
AUGUST 2008 SCALE: 1"=40'
OWNER
ASHTON DALLAS RESIDENTIAL, L.L.C.
8111 LBJ FREEWAY SUITE 1500
972-301-6600 DALLAS, TEXAS 75251
ENGINEER
DOWDEY, ANDERSON & ASSOCIATES, INC.
5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694

ASBURY CIRCLE

ASBURY CIRCLE

REVISED:

DOCUMENT NO. \_\_\_\_\_

2 OF 2

5/17/08 8:22-08 06010

OWNER'S CERTIFICATE AND DEDICATION

STATE OF TEXAS §
COUNTY OF DALLAS §

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BEGINNING at a 1/2 inch iron rod found in the South right-of-way line of Belt Line Road, a variable width right-of-way, at the Northeast corner of said Addition and said PHCG tract;

THENCE South 25 degrees 08 minutes 43 seconds East, leaving said South right-of-way line and along the East line of said LES LACS PLAZA SUBDIVISION and said PHCG tract, a distance of 229.48 feet to a 1/2 inch iron rod with a yellow plastic cap found for corner;

THENCE South 00 degrees 55 minutes 55 seconds West, continuing along the East line of said LES LACS PLAZA SUBDIVISION and said PHCG tract, a distance of 284.37 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "DAA" set at the Southeast corner of said PHCG tract and the Northeast corner of Addison Town Center, an Addition to the Town of Addison, Dallas County, Texas according to the Plat thereof recorded in Volume 93237, Page 3840, Map Records, Dallas County, Texas;

THENCE South 79 degrees 49 minutes 35 seconds West, leaving the East line of said LES LACS PLAZA SUBDIVISION and along the common line of said PHCG tract and ADDISON TOWN CENTER, an Addition to the Town of Addison, Dallas County, Texas, according to the Plat thereof recorded in Volume 93237, Page 3840, Map Records, Dallas County, Texas, a distance of 195.38 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "DAA" set at the Southwest corner of said PHCG tract and the Southeast corner of said Lot 2;

THENCE South 10 degrees 12 minutes 12 seconds West, leaving said common line, a distance of 72.69 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "DAA" set for corner;

THENCE South 48 degrees 46 minutes 55 seconds West, a distance of 302.78 feet to a 1/2 inch iron rod with a yellow plastic cap stamped "DAA" set for corner;

THENCE North 41 degrees 13 minutes 05 seconds West, passing at a distance of 261.78 feet a 1/2 inch iron rod with a yellow plastic cap stamped "DAA" set at the Southwest corner of said Lot 2, and continuing for a total distance of 604.70 feet to an "X" set at the most Westerly corner of said Lot 2;

THENCE North 39 degrees 49 minutes 52 seconds East, a distance of 262.96 feet to an "X" found in concrete paving at the most Southerly Northwest corner of said Lot 2;

THENCE North 00 degrees 59 minutes 34 seconds East, a distance of 30.50 feet to a 1/2 inch iron rod found in said South right-of-way line of Belt Line Road at the most Northerly Northwest corner of said Lot 2;

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THENCE Easterly, along said South right-of-way line and said curve to the left, an arc distance of 320.51 feet to the POINT OF BEGINNING and containing 8.140 acres of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That ASHTON DALLAS RESIDENTIAL ("Owner") does hereby adopt this plat designating the hereinabove property as ASBURY CIRCLE, an addition to the Town of Addison, Texas, and subject to the conditions, restrictions and reservations stated hereinafter, owner dedicates to the public use forever the streets and alleys shown thereon.

The easement shown on this plat are hereby reserved for the purposes as indicated, including, but not limited to, the installation and maintenance of water, sanitary sewer, storm sewer, drainage, election, telephone, gas and cable television. Owner shall have the right to use these easements, provided, however, that it does not unreasonably interfere or impede with the provision of the services to others. Said utility easements are hereby being reserved by mutual use and accommodation of all public utilities using or desiring to use the same. An express easement of ingress and egress is hereby expressly granted on, over and across all such easements for the benefit of the provider of services for which easements are granted.

Any drainage and floodway easement shown hereon is hereby dedicated to the public's use forever, but including the following covenants with regards to maintenance responsibilities. The existing channels or creeks traversing the drainage and floodway easement will remain as an open channel, unless required to be enclosed by ordinance, at all times and shall be maintained by the individual owners of the lot or lots that are traversed by or adjacent to the drainage and floodway easement. The town will not be responsible for the maintenance and operation of said creek or creeks or for any damage or injury of private property or person that results from the flow of water along said creek, or for the control of erosion. No obstruction to the natural flow of water runoff shall be permitted by construction of any type building, fence or any other structure within the drainage and floodway easement. Provided, however, it is understood that in the event it becomes necessary for the town to channelize or consider erecting any type of drainage structure in order to improve the storm drainage, then in such event, the town shall have the right, but not the obligation, to enter upon the drainage and floodway easement at any point, or points, with all rights of ingress and egress to investigate, survey, erect, construct or maintain any drainage facility deemed necessary by the town for maintenance or efficiency of its respective system or service. Water main and sanitary sewer easements shall also include additional area of working space for construction and maintenance of the systems. Additional easement area is also conveyed for installation and maintenance of manholes, cleanouts, fire hydrants, water service and sewer services from the main to curb or pavement line, and the descriptions of such additional easements herein granted shall be determined by their locations as installed.

This plat is approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Addison, Texas.

Witness my hand at Dallas, Texas this the \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

ASHTON DALLAS RESIDENTIAL, L.L.C.

Eric Robinson
Division President

STATE OF TEXAS §
COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public, on this day personally appeared Eric Robinson, known to me to be the person and officer whose name is subscribed to the foregoing instrument and acknowledged to me that the same was the act of said Ashton Dallas Residential, L.L.C., and that he executed the same as the act of said Limited Partnership for the purpose and consideration therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Notary Public in and for the State of Texas

SURVEYOR'S CERTIFICATE

STATE OF TEXAS §
COUNTY OF COLLIN §

KNOW ALL MEN BY THESE PRESENTS:

That I, Sean Shropshire, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown hereon were found or properly placed under my personal supervision in accordance with the Platting Rules and Regulations of the Town of Addison, Texas.

Sean Shropshire
Registered Professional Land Surveyor
No. 5674

STATE OF TEXAS §
COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for the State of Texas on this day personally appeared Sean Shropshire, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Notary Public in and for the State of Texas

CERTIFICATE OF APPROVAL

APPROVED BY THE CITY COUNCIL OF THE TOWN OF ADDISON, TEXAS, ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

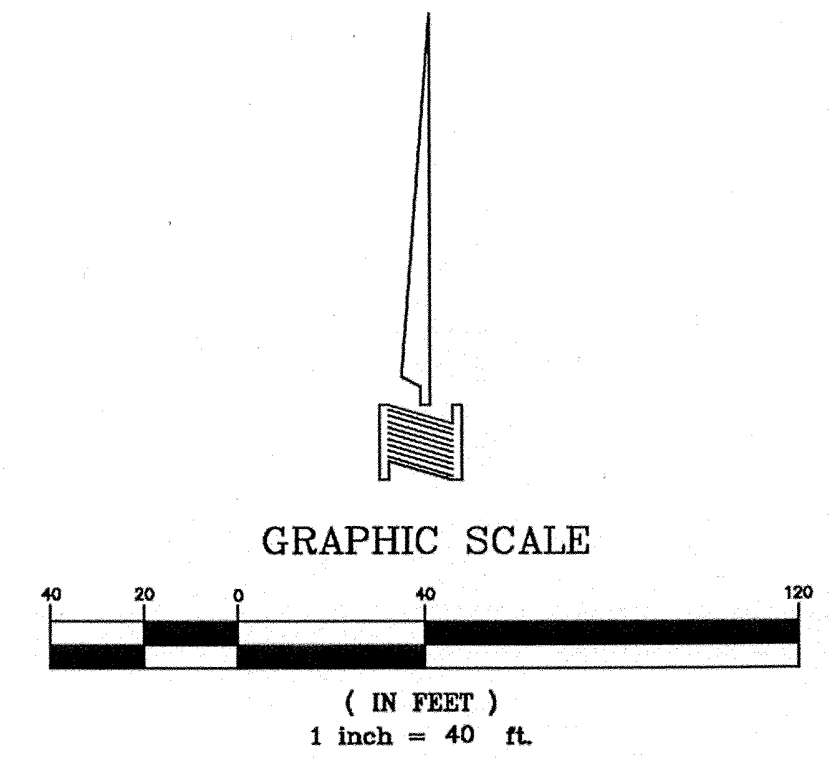
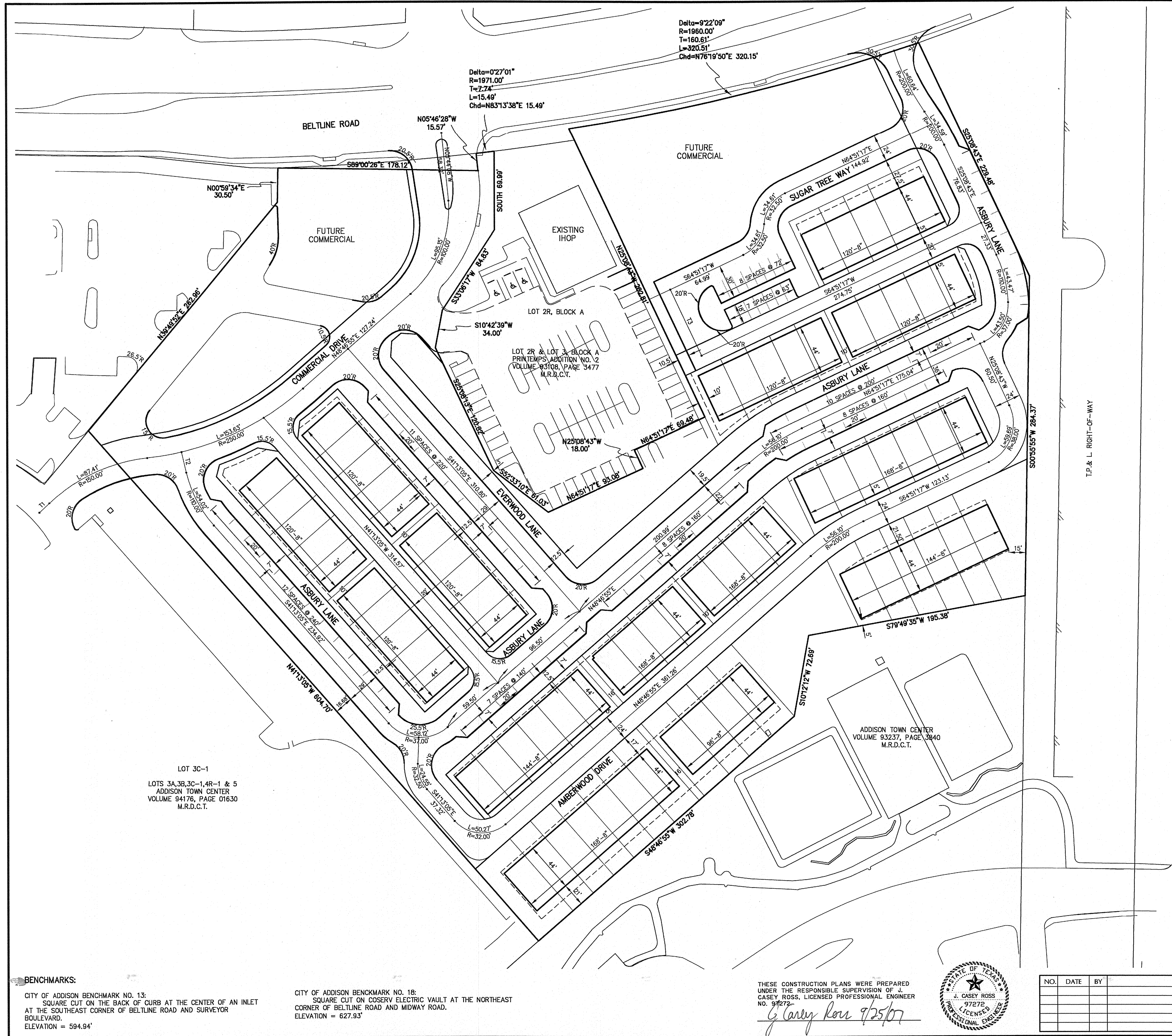
MAYOR

CITY SECRETARY

73 LOTS ~ 8.140 ACRES
FINAL PLAT
ASBURY CIRCLE
BEING A REPLAT OF
PART OF LES LACS PLAZA SUBDIVISION
AND
SKIP BAILEY ADDITION
LOT 1 AND LOT 2, BLOCK A
AND
LOT 4R-1
ADDISON TOWN CENTER
LOTS 3A,3B,3C-1,4R-1 & 5
AN ADDITION TO THE TOWN OF ADDISON
THOMAS L. CHENOWITH SURVEY, ABSTRACT NO. 273
DALLAS COUNTY, TEXAS
AUGUST 2006 SCALE: 1"=40'
OWNER
ASHTON DALLAS RESIDENTIAL, L.L.C.
13800 MONFORT DRIVE SUITE 100
972-490-3255 DALLAS, TEXAS 75240

ENGINEER

DOWDEY, ANDERSON & ASSOCIATES, INC.
5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694



**LINE TABLE**

LINE	BEARING	LENGTH
T1	N46°40'34"E	12.28'
T2	S13°04'58"E	18.77'
T3	S25°08'43"E	46.00'

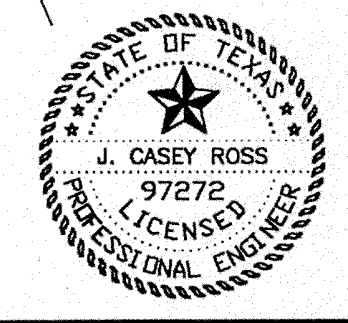
- NOTES:
1. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.

**BENCHMARKS:**  
 CITY OF ADDISON BENCHMARK NO. 13:  
 SQUARE CUT ON THE BACK OF CURB AT THE CENTER OF AN INLET AT THE SOUTHEAST CORNER OF BELTLINE ROAD AND SURVEYOR BOULEVARD.  
 ELEVATION = 594.94'

CITY OF ADDISON BENCHMARK NO. 18:  
 SQUARE CUT ON COSERV ELECTRIC VAULT AT THE NORTHEAST CORNER OF BELTLINE ROAD AND MIDWAY ROAD.  
 ELEVATION = 627.93'

THESE CONSTRUCTION PLANS WERE PREPARED UNDER THE RESPONSIBLE SUPERVISION OF J. CASEY ROSS, LICENSED PROFESSIONAL ENGINEER NO. 97272.

*J. Casey Ross 9/25/07*



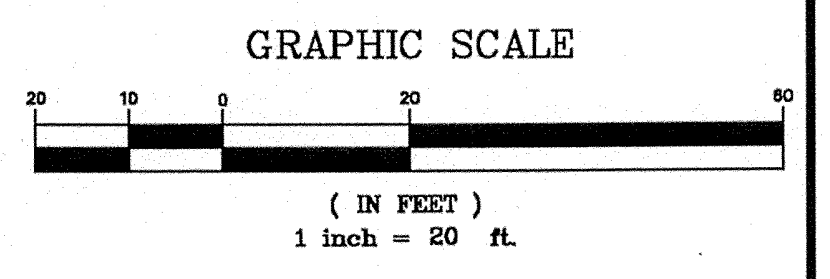
NO.	DATE	BY	REVISION

**DIMENSION CONTROL PLAN**  
**ASBURY CIRCLE**

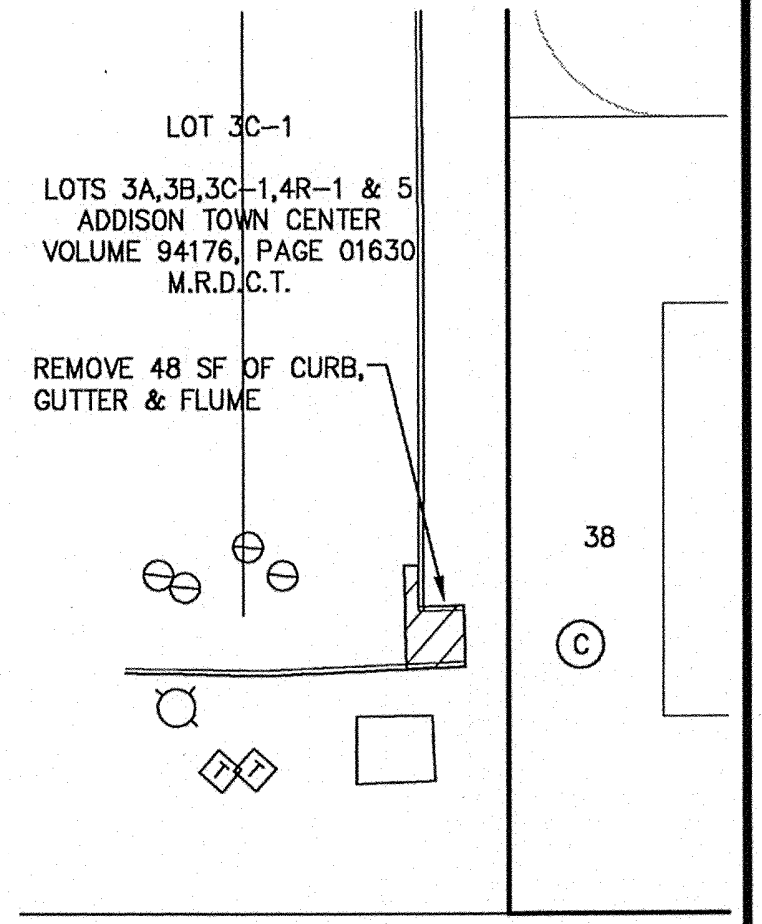
TOWN OF ADDISON  
 DALLAS COUNTY, TEXAS

**DOWDEY, ANDERSON & ASSOCIATES, INC.**  
 5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694

DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
MMP	MMP	JCR	10/23/06	1" = 40'	06010	1 / 1



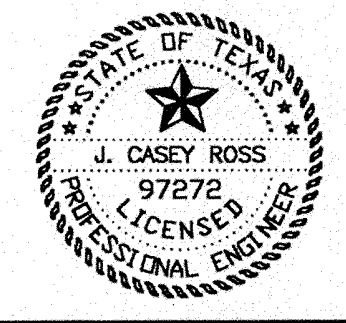
**WARNING!!!**  
EXISTING UNDERGROUND UTILITIES  
FIELD VERIFY  
LOCATION PRIOR  
TO CONSTRUCTION  
OR EXCAVATION



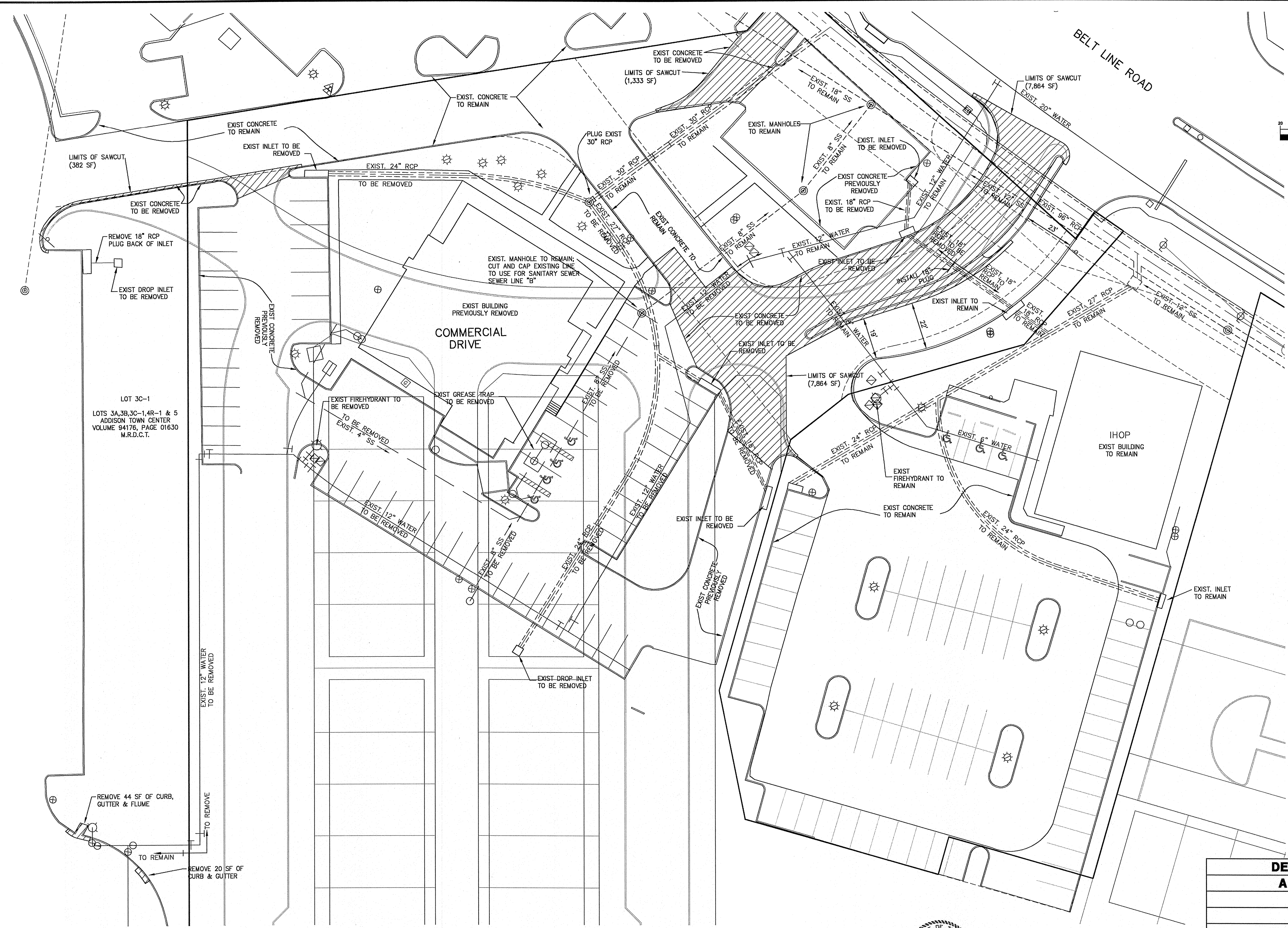
PARK DEDICATION  
ADDISON TOWN CENTER  
VOLUME 93237, PAGE 3840  
M.R.D.C.T.

DEMOLITION PLAN						
ASBURY CIRCLE						
TOWN OF ADDISON						
DALLAS COUNTY, TEXAS						
<b>DOWDEY, ANDERSON &amp; ASSOCIATES, INC.</b> 5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694						
DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
JCR	MMP	JCR	8/28/06	1" = 20'	06010	1

NO.	DATE	BY	REVISION

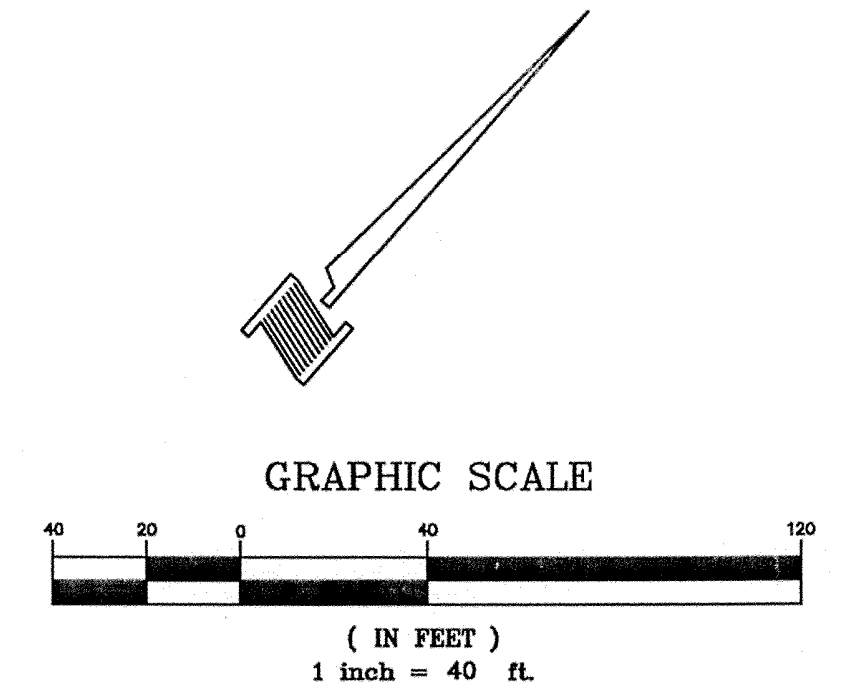
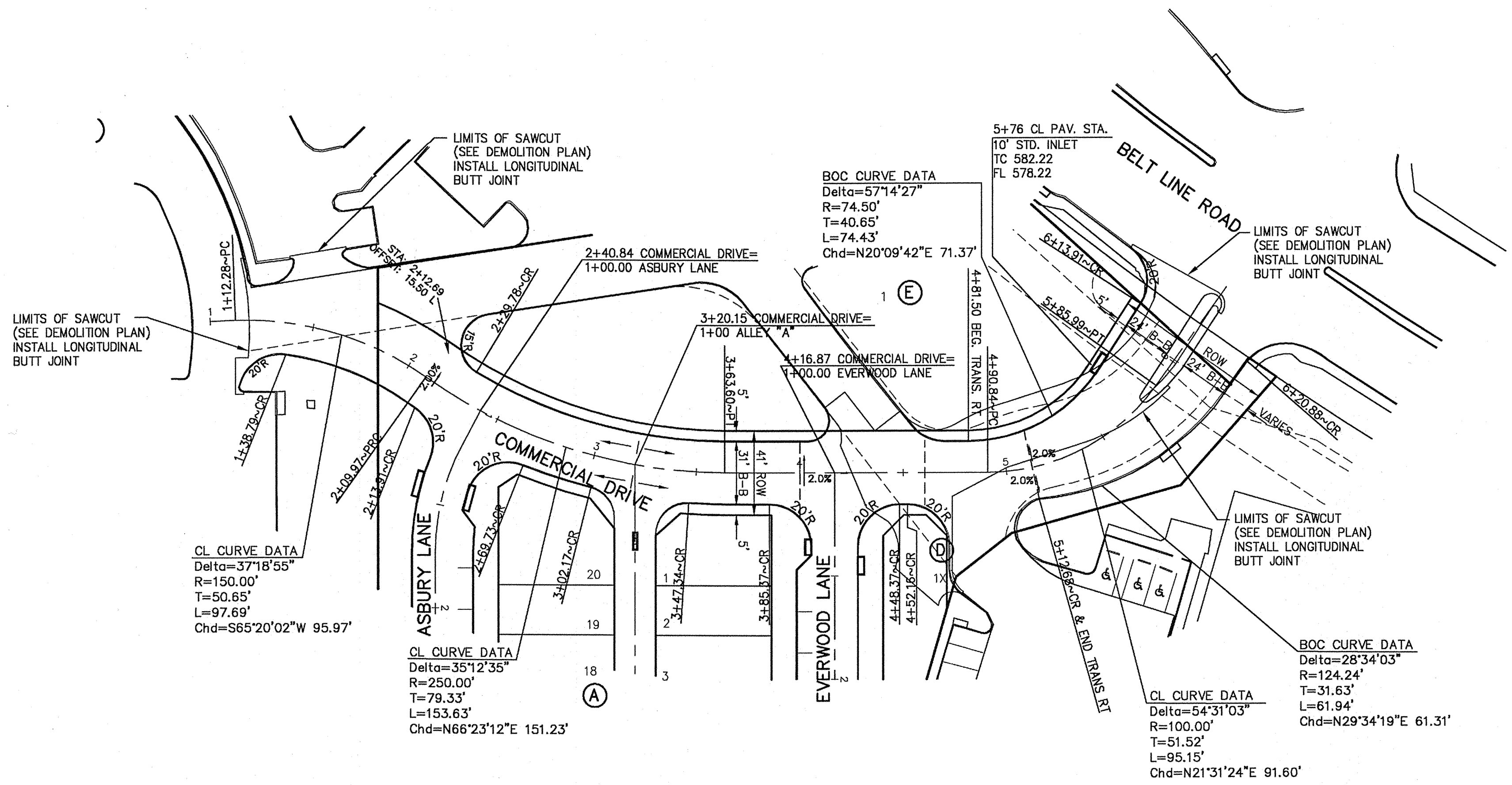


THESE CONSTRUCTION PLANS WERE PREPARED UNDER THE RESPONSIBLE SUPERVISION OF J. CASEY ROSS, LICENSED PROFESSIONAL ENGINEER NO. 97272.  
*J. Casey Ross 9/25/07*

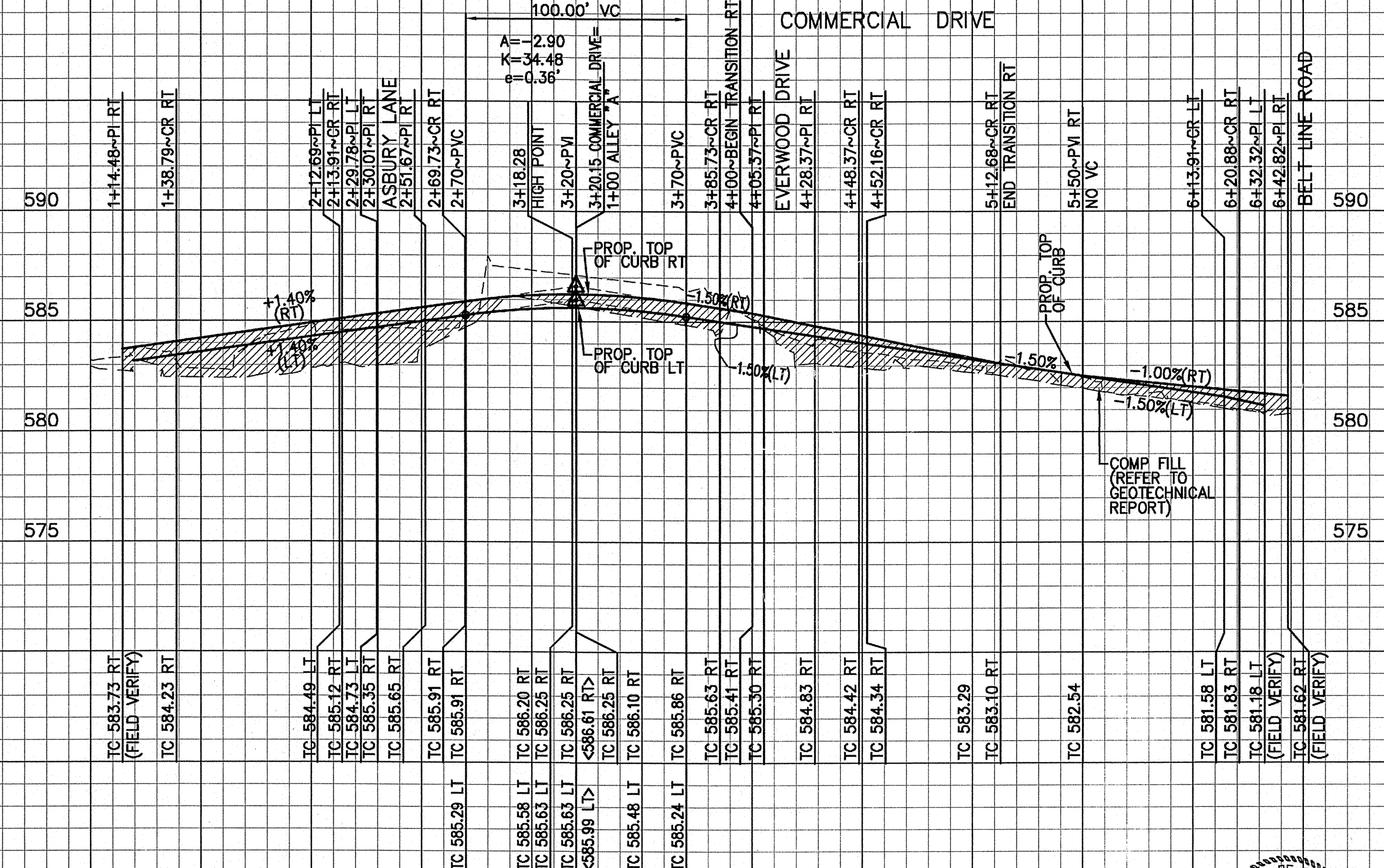


**BENCHMARKS:**  
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1+00      2+00      3+00      4+00      5+00      6+00

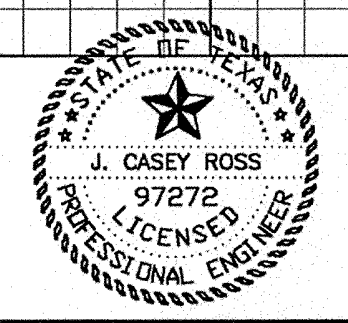


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UNDER THE RESPONSIBLE SUPERVISION OF J.  
CASEY ROSS, LICENSED PROFESSIONAL ENGINEER  
NO. 97272

*J. Casey Ross 8/9/07*



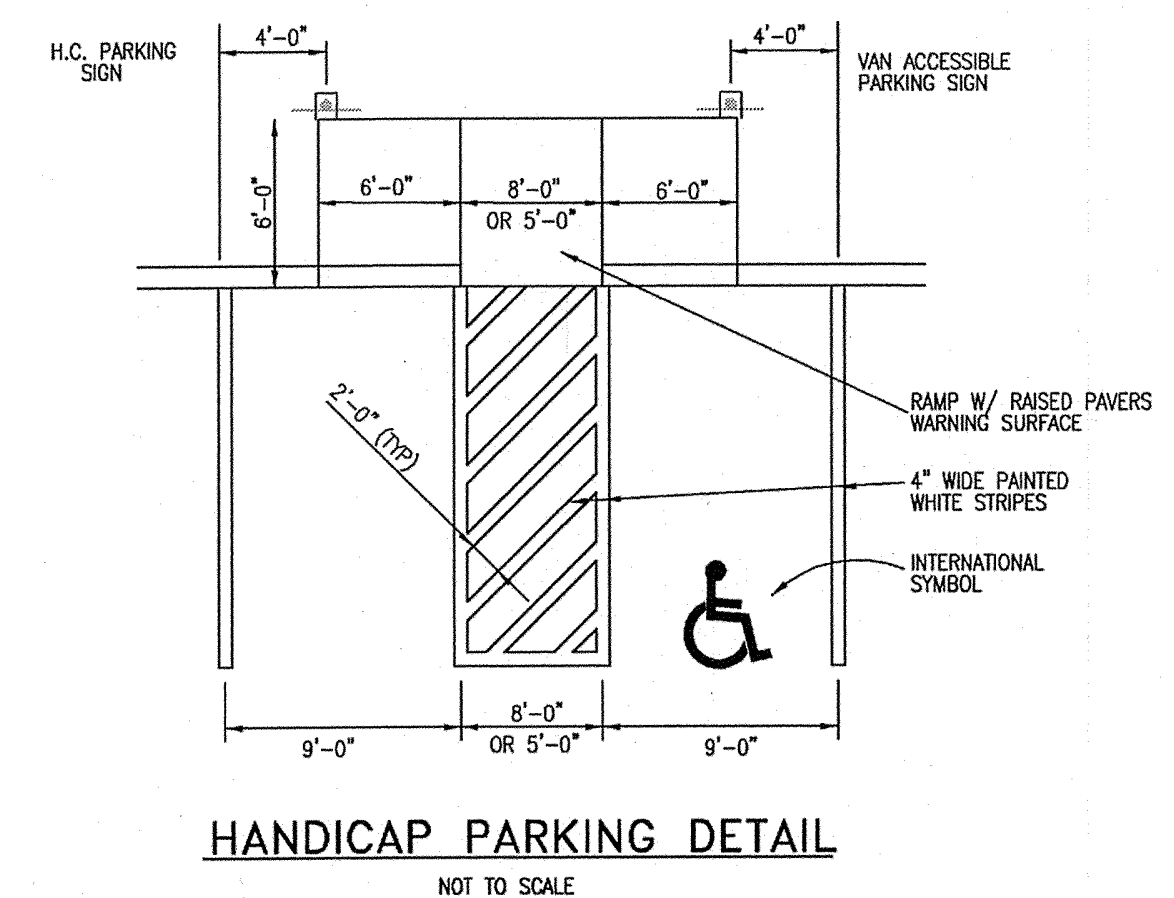
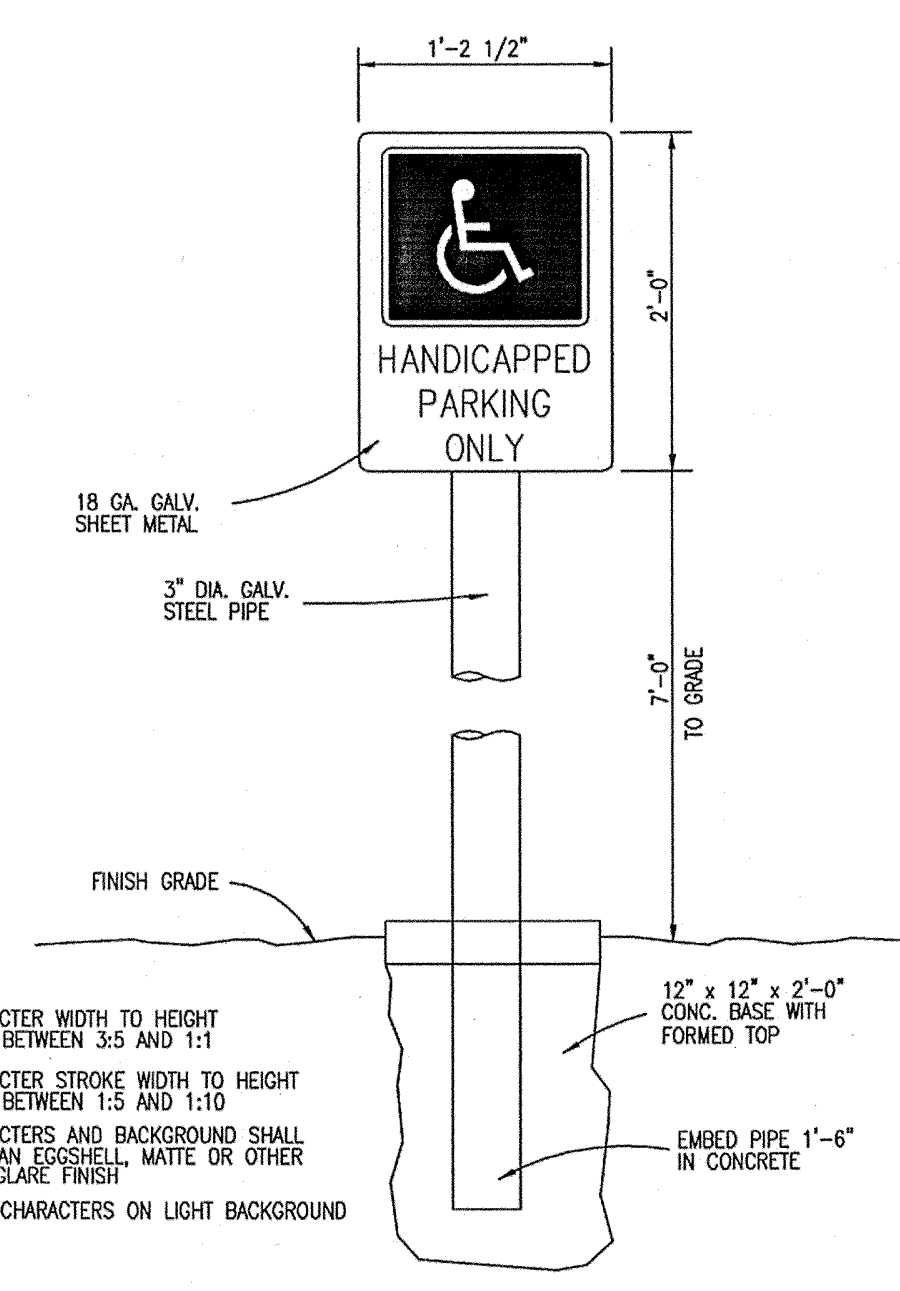
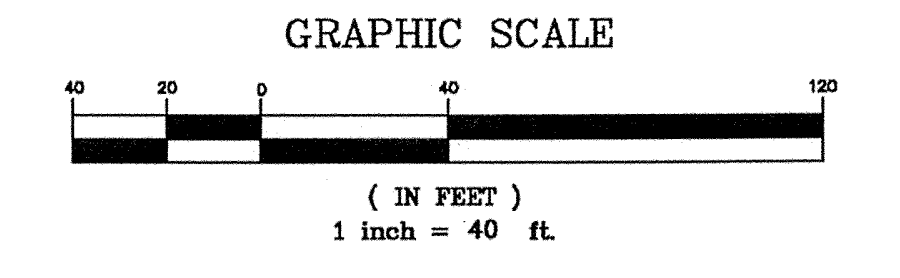
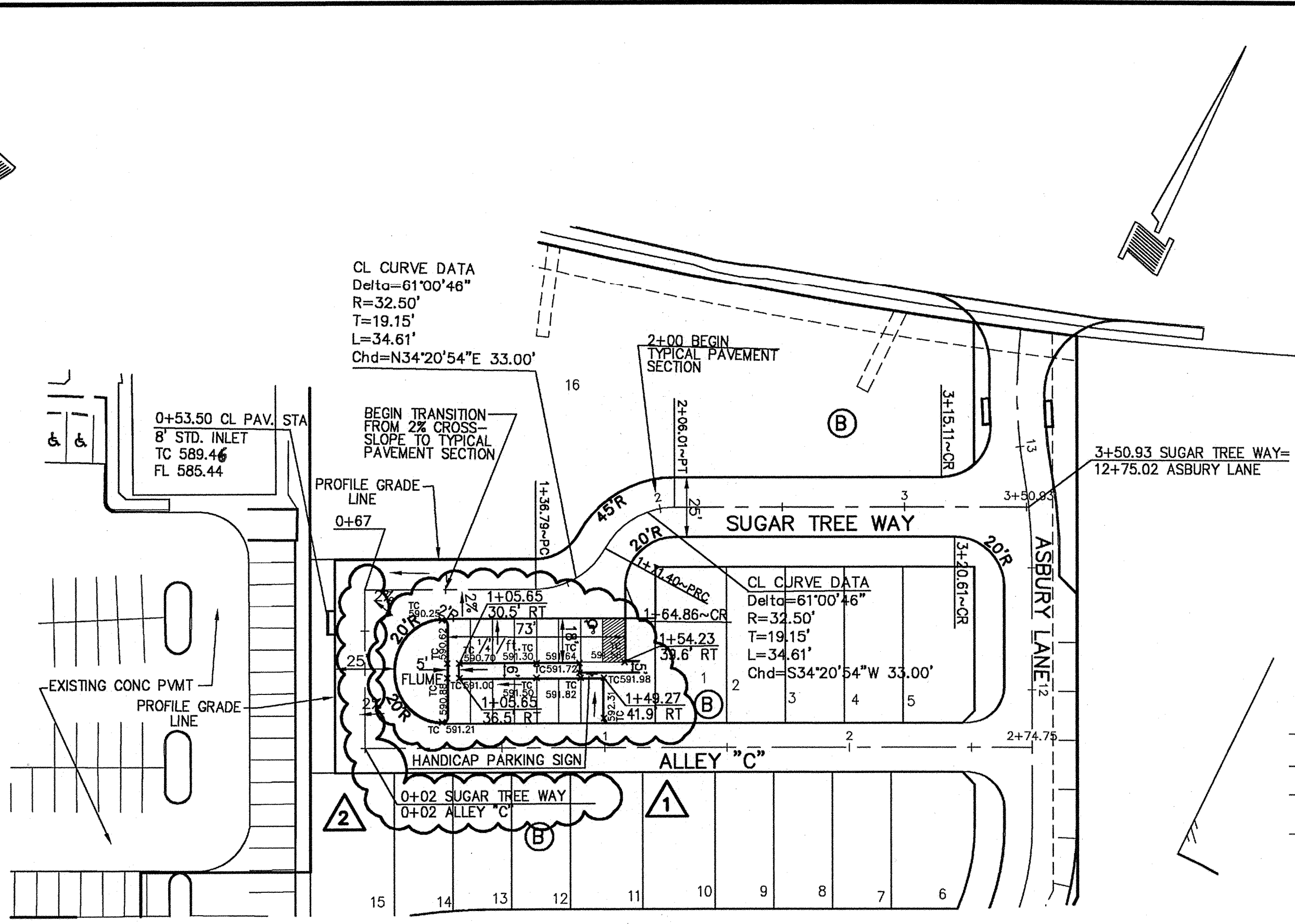
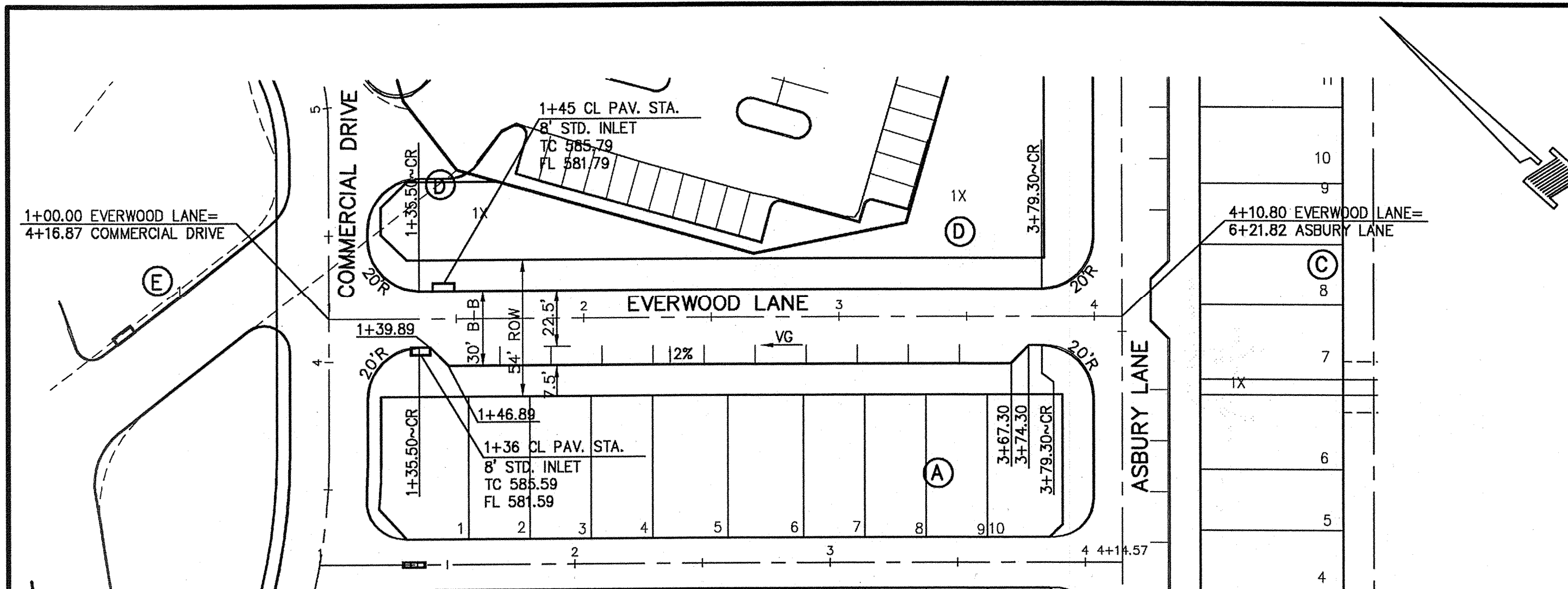
NO.	DATE	BY	REVISION

**COMMERCIAL DRIVE**  
**PAVING PLAN & PROFILES**  
**ASBURY CIRCLE**

TOWN OF ADDISON  
DALLAS COUNTY, TEXAS

**DOWDEY, ANDERSON & ASSOCIATES, INC.**  
5225 Village Creek Drive, Suite 200    Plano, Texas 75093    972-931-0694

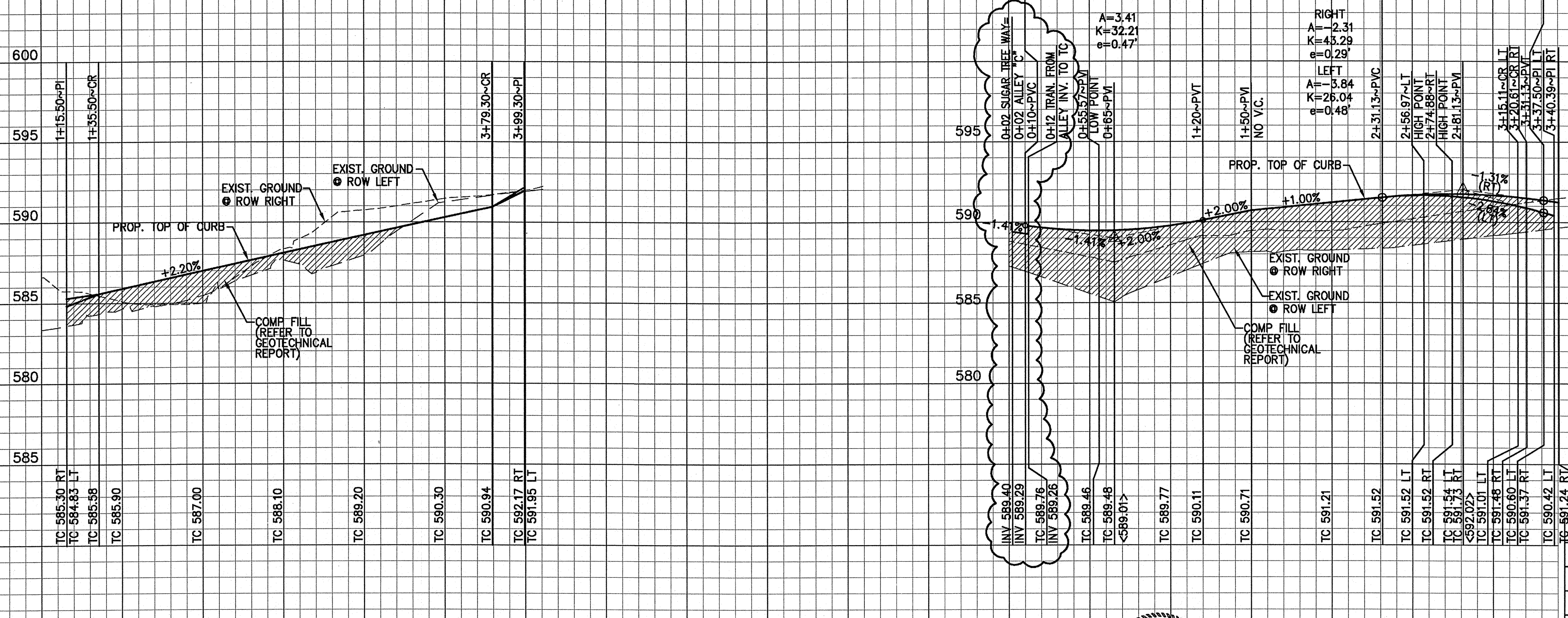
DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
JCR	AR	JCR	02-14-07	H:1"=40' V:1"=4'	06010	1 / 5



- CHARACTER WIDTH TO HEIGHT RATIO BETWEEN 3.5 AND 1:1
- CHARACTER STROKE WIDTH TO HEIGHT RATIO BETWEEN 1:5 AND 1:10
- CHARACTERS AND BACKGROUND SHALL HAVE AN EPOXY-BASED WHITE OR OTHER NON-GLARE FINISH
- DARK CHARACTERS ON LIGHT BACKGROUND

1+00      2+00      3+00      4+00      0+00      1+00      2+00      3+00

EVERWOOD LANE      SUGAR TREE WAY

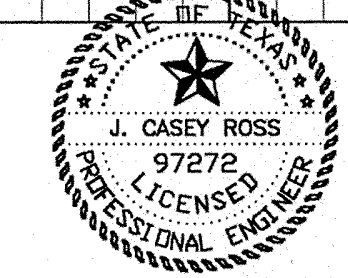


**EVERWOOD LANE AND SUGAR TREE WAY PAVING PLAN & PROFILES**  
**ASBURY CIRCLE**  
 TOWN OF ADDISON  
 DALLAS COUNTY, TEXAS

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*J. Casey Ross 1/21/08*



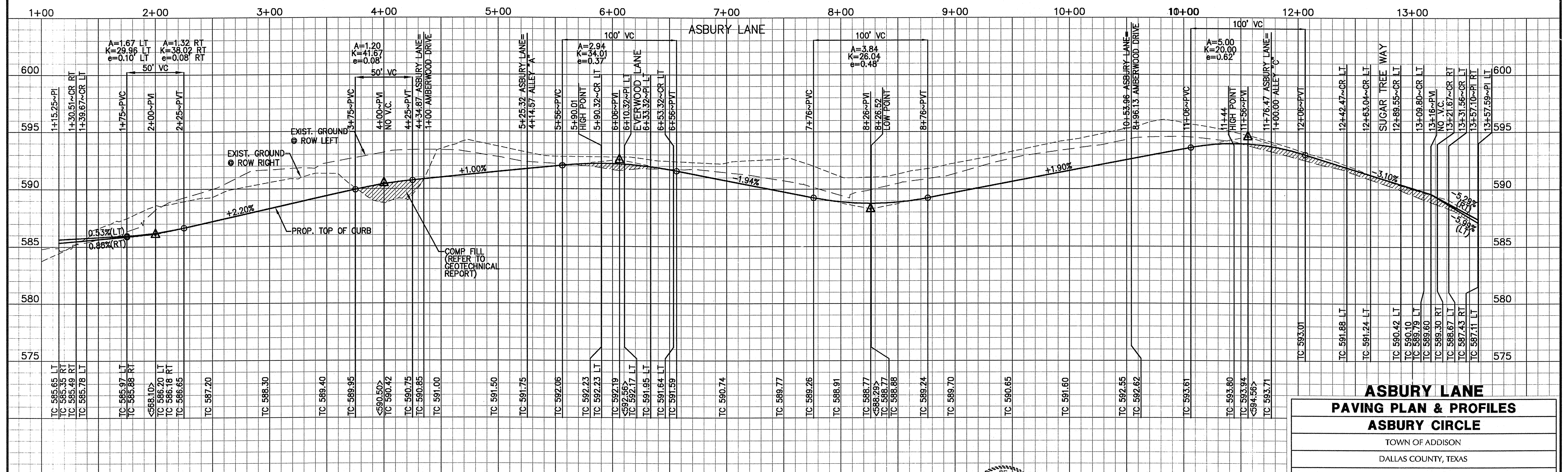
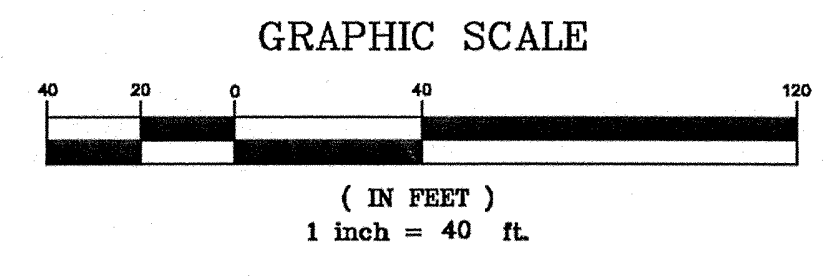
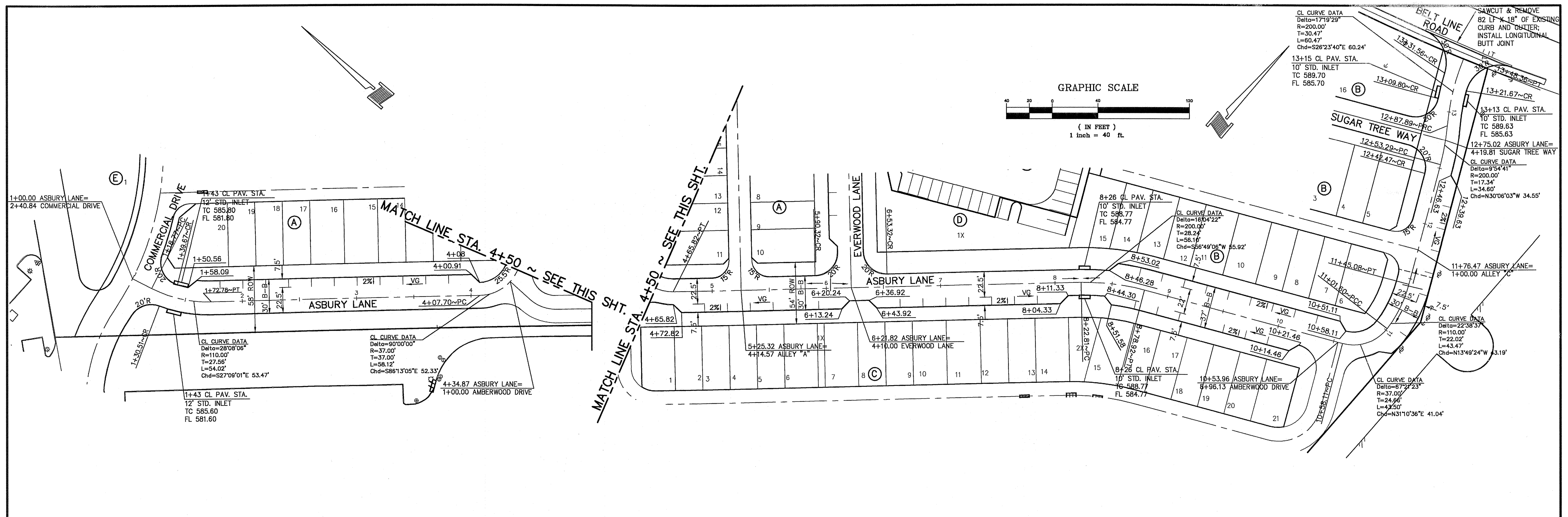
NO.	DATE	BY	REVISION
1	1/02/08	JCR	REVISED PARKING DESIGN & LAYOUT
2	1/21/08	JCR	REVISED CENTERLINE OF SUGAR TREE WAY AT ALLEY C

DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
JCR	AR	JCR	02-14-07	H:1"=40' V:1"=4'	06010	2

X:\Projects\LD06010\dwg\06010-01PAV02.dwg, Layout1, 1/21/2008 3:04:52 PM, mporrillat, Dowdey, Anderson & Associates, Inc., MWIP

DOWDEY, ANDERSON & ASSOCIATES, INC.





**ASBURY LANE**  
**PAVING PLAN & PROFILES**  
**ASBURY CIRCLE**

TOWN OF ADDISON  
 DALLAS COUNTY, TEXAS

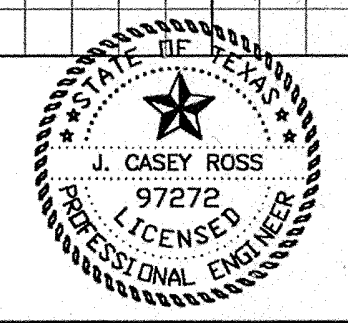
**DOWDEY, ANDERSON & ASSOCIATES, INC.**  
 5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694

DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
JCR	AR	JCR	02-14-07	H: 1"=40' V: 1"=4'	06010	3

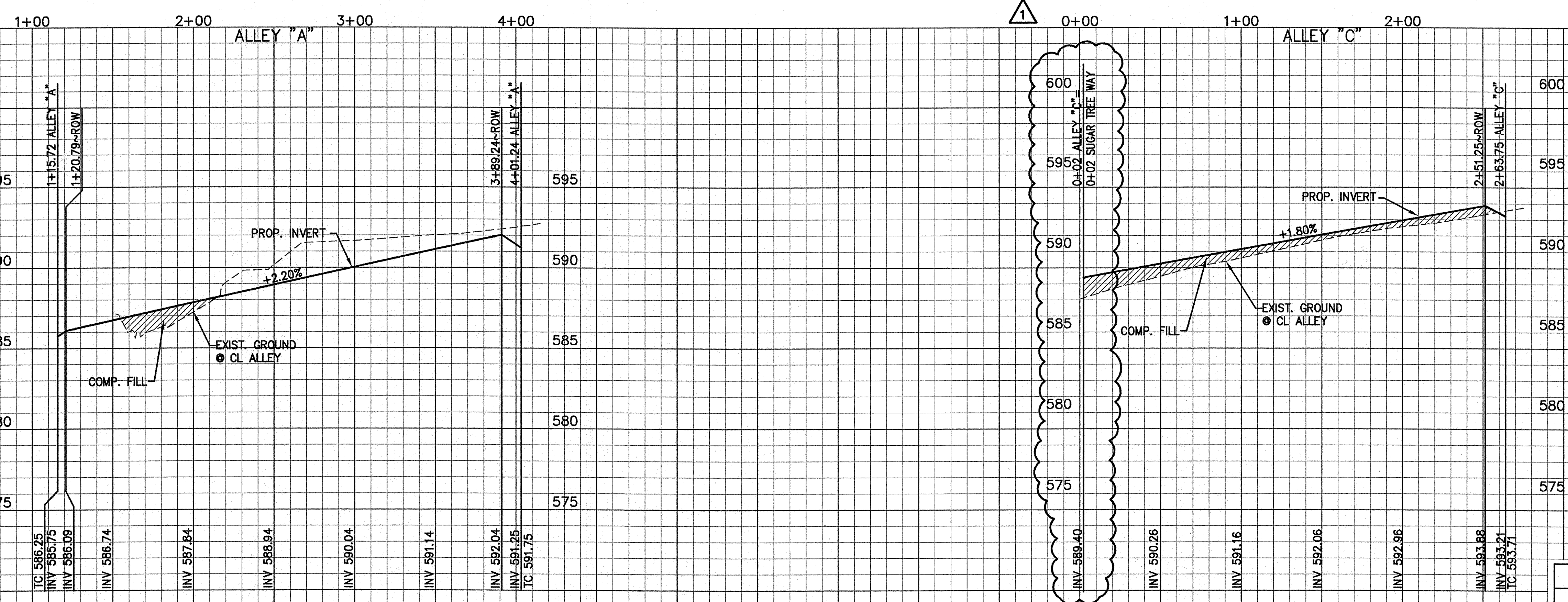
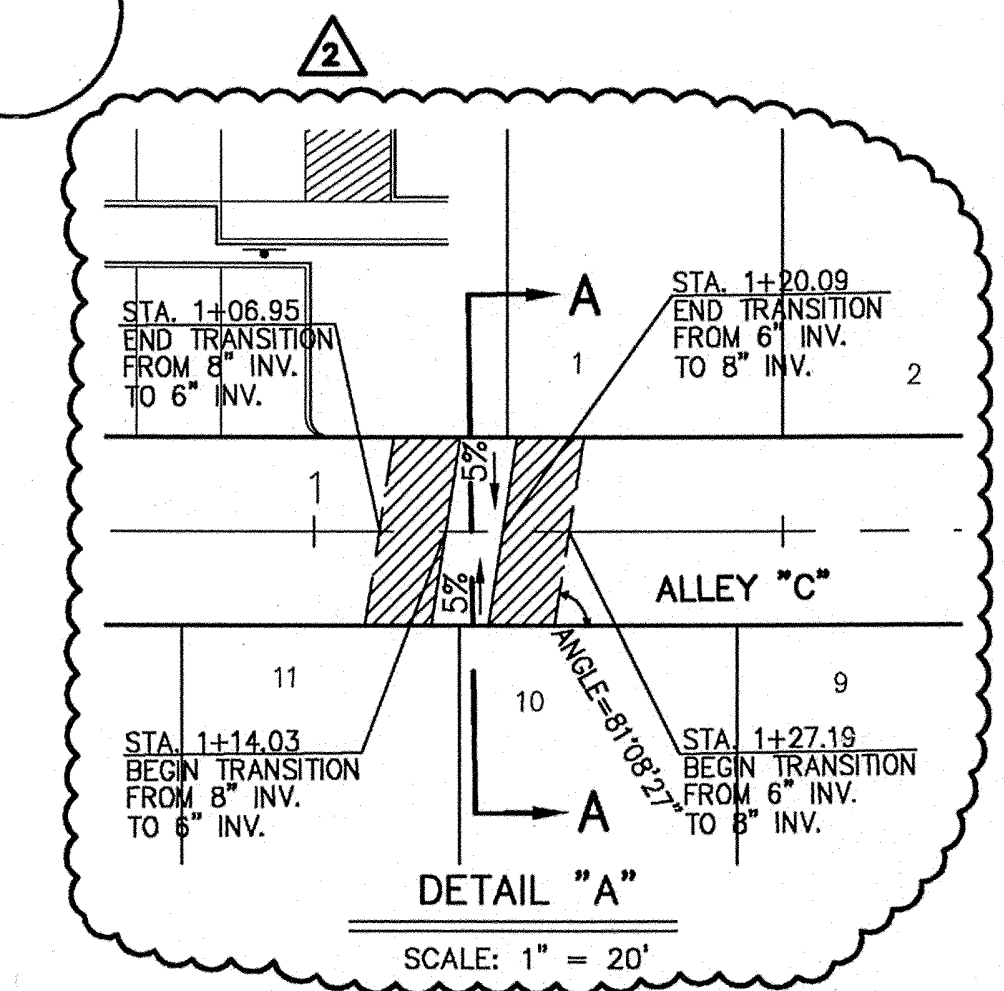
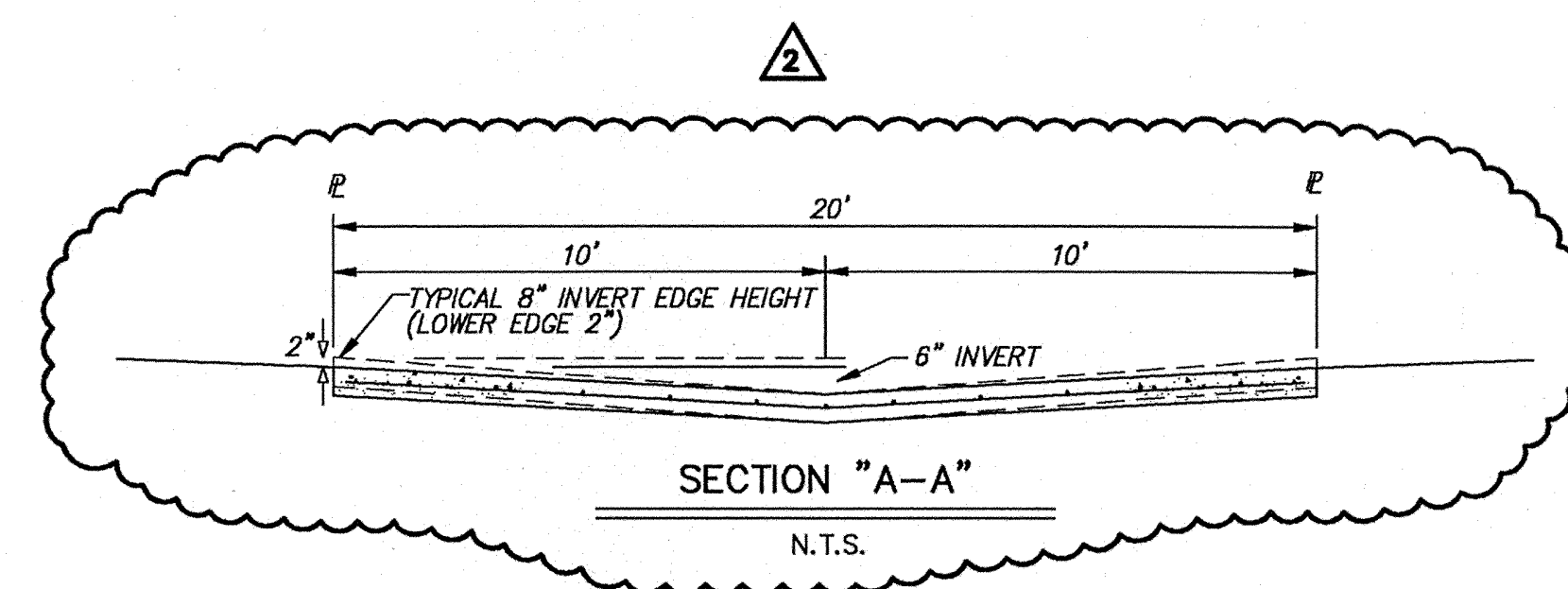
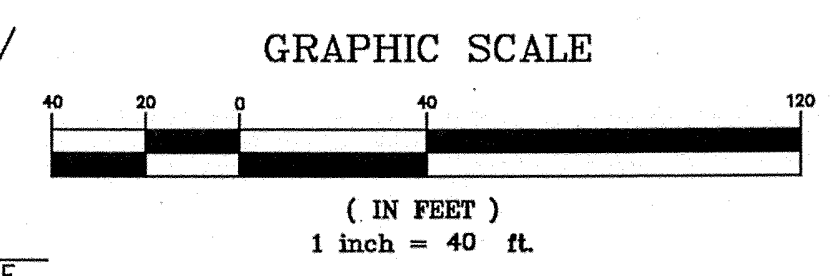
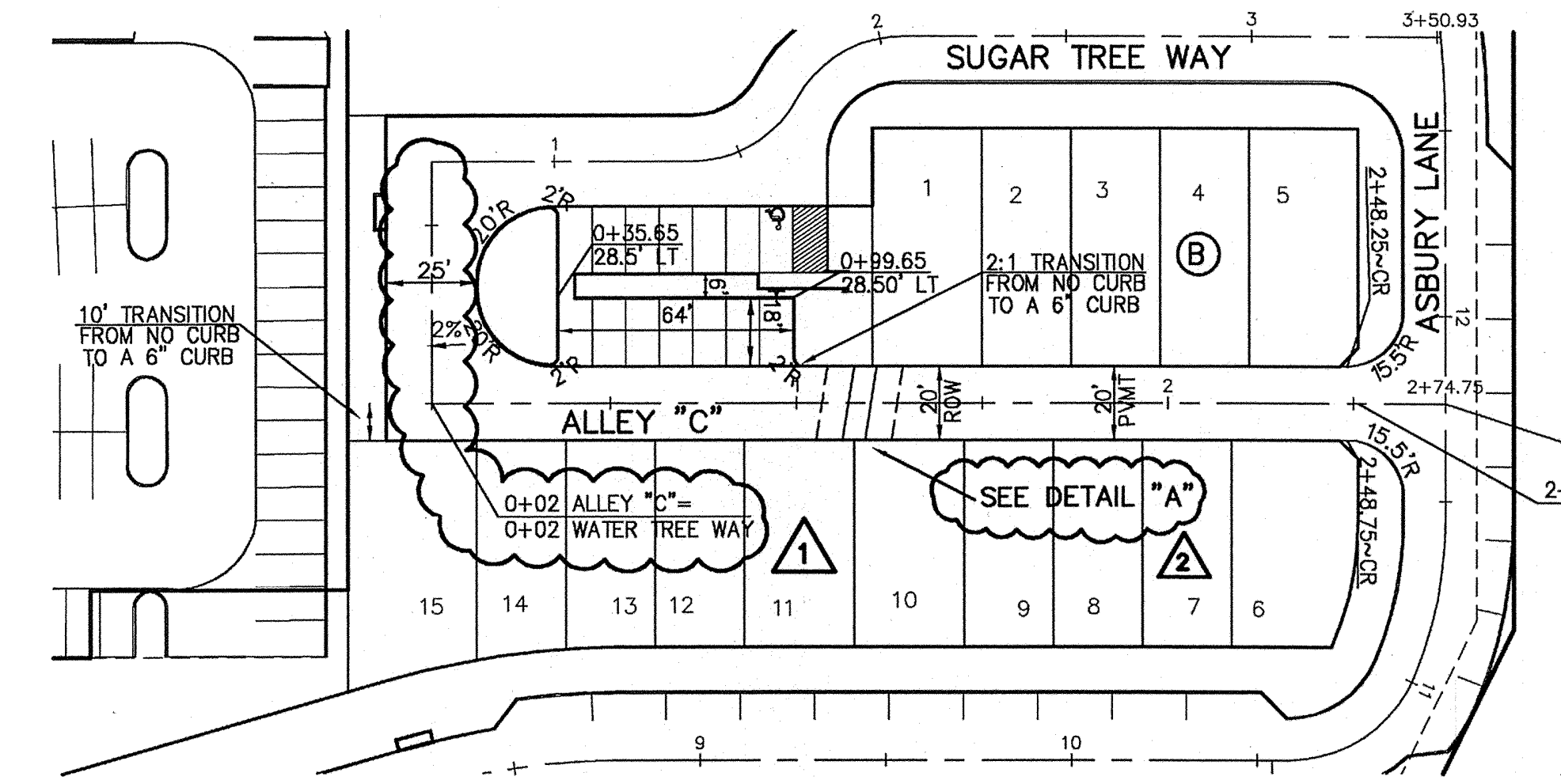
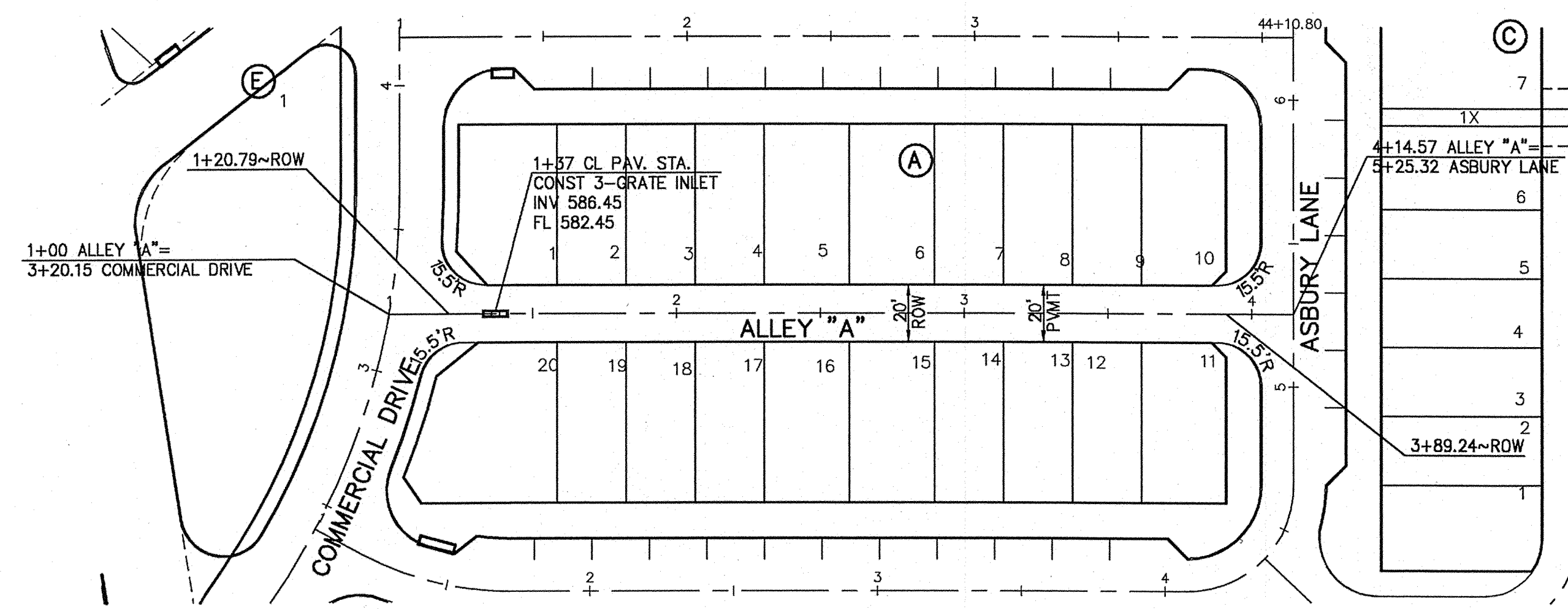
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 SQUARE CUT ON COSERV ELECTRIC VAULT AT THE NORTHEAST  
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 ELEVATION = 627.93'

THESE CONSTRUCTION PLANS WERE PREPARED  
 UNDER THE RESPONSIBLE SUPERVISION OF J.  
 CASEY ROSS, LICENSED PROFESSIONAL ENGINEER  
 NO. 97872



NO.	DATE	BY	REVISION

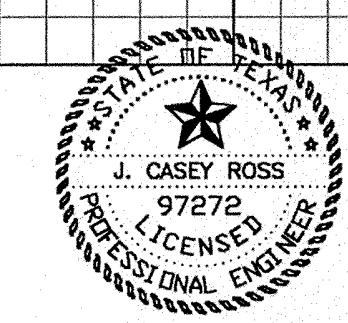


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 NO. 97272

*J. Casey Ross 3/5/08*



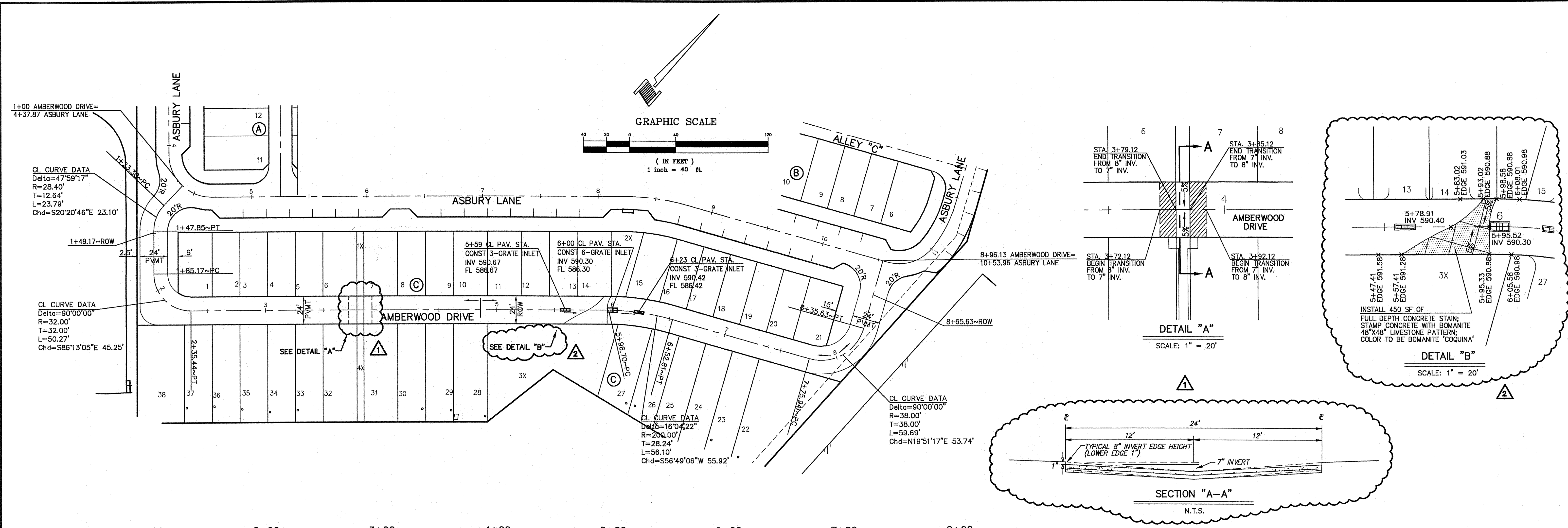
NO.	DATE	BY	REVISION
1	1/21/08	JCR	REVISED CENTERLINE OF SUGAR TREE WAY AT ALLEY C
2	3/03/08	JCR	ADA ACCESSIBLE PATH ACROSS ALLEY

**ALLEY 'A' & ALLEY 'C'**  
**PAVING PLAN & PROFILES**  
**ASBURY CIRCLE**

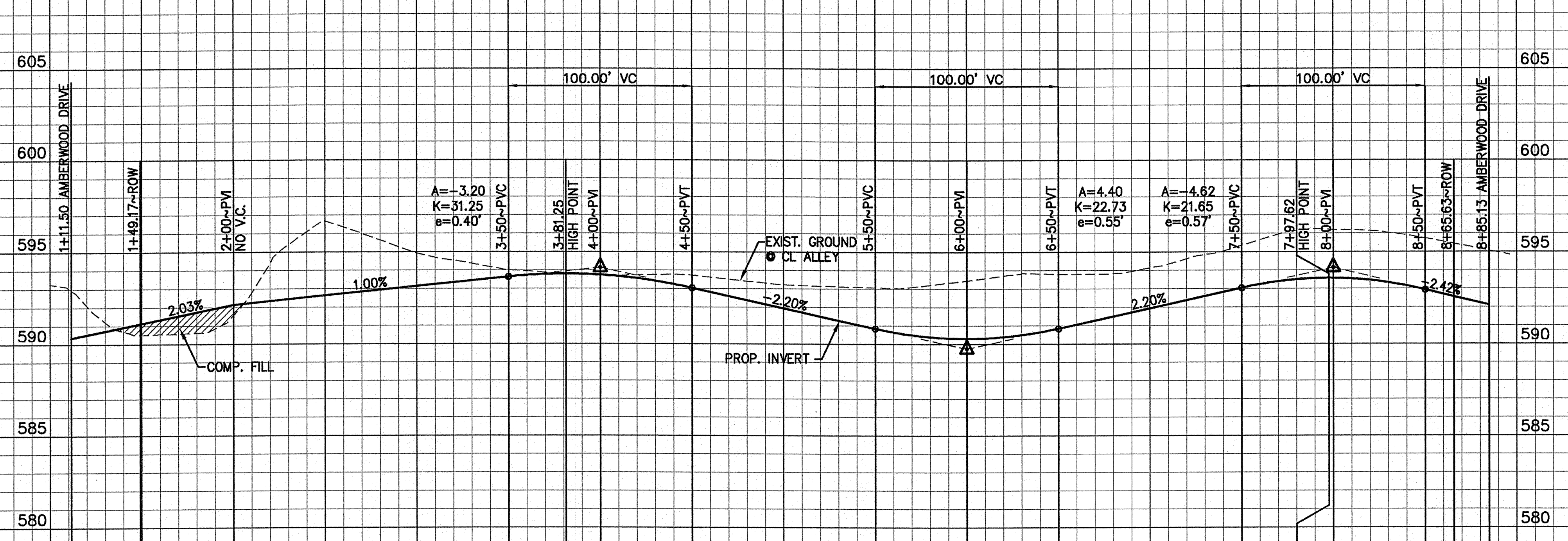
TOWN OF ADDISON  
 DALLAS COUNTY, TEXAS

**DOWDEY, ANDERSON & ASSOCIATES, INC.**  
 5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694

DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
JCR	AR	JCR	02-14-07	H: 1"=40' V: 1"=4'	06010	4 / 5



1+00      2+00      3+00      4+00      5+00      6+00      7+00      8+00  
 AMBERWOOD DRIVE

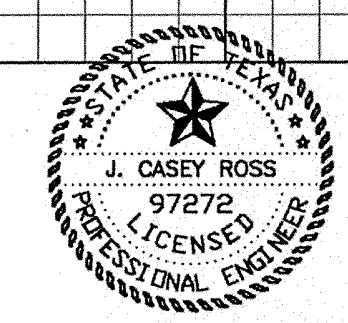


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 NO. 97272.

*J. Casey Ross* 3/5/08



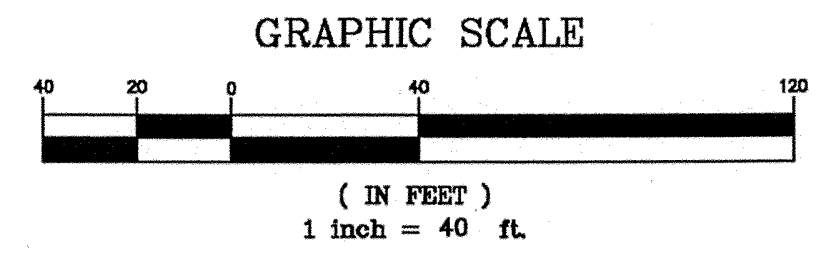
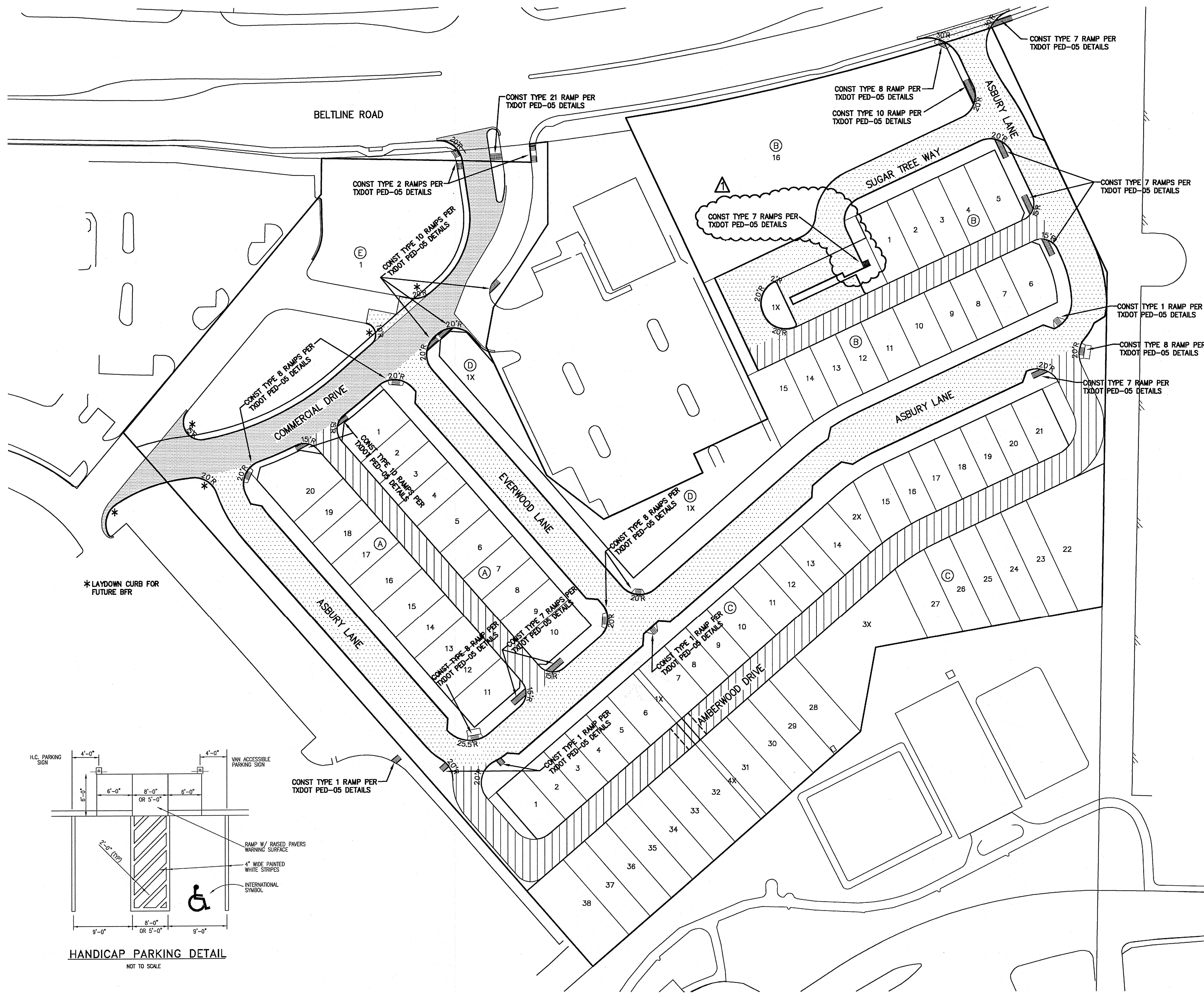
NO.	DATE	BY	REVISION
1	1/02/08	JCR	7" INVERT TRANSITION
2	3/03/08	JCR	ADDED STAINED CONCRETE DETAILS

**AMBERWOOD DRIVE  
 PAVING PLAN & PROFILES  
 ASBURY CIRCLE**

TOWN OF ADDISON  
 DALLAS COUNTY, TEXAS

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 5225 Village Creek Drive, Suite 200    Plano, Texas 75093    972-931-0694

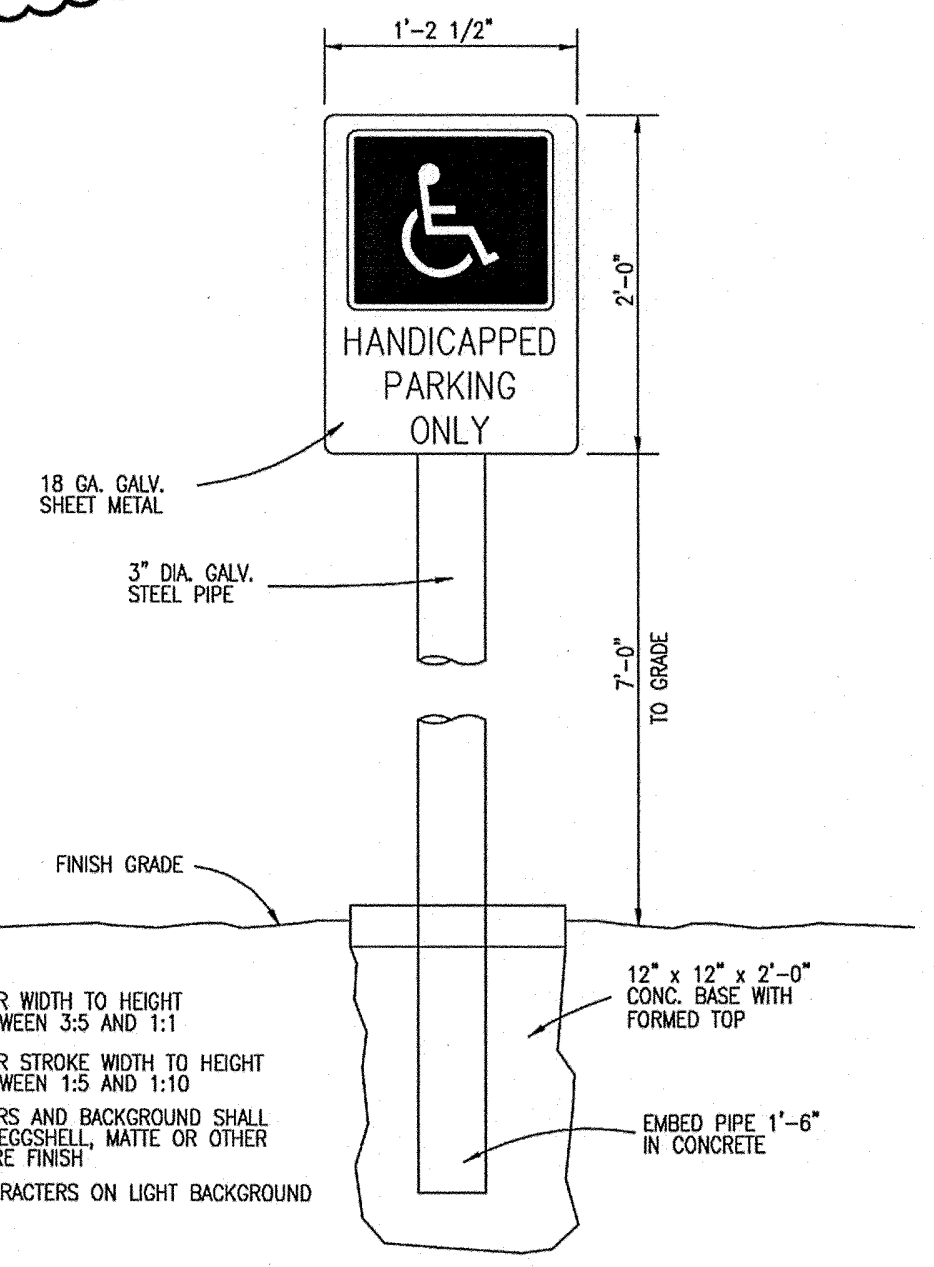
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JCR	AR	JCR	02-14-07	H: 1"=40' V: 1"=4'	06010	5



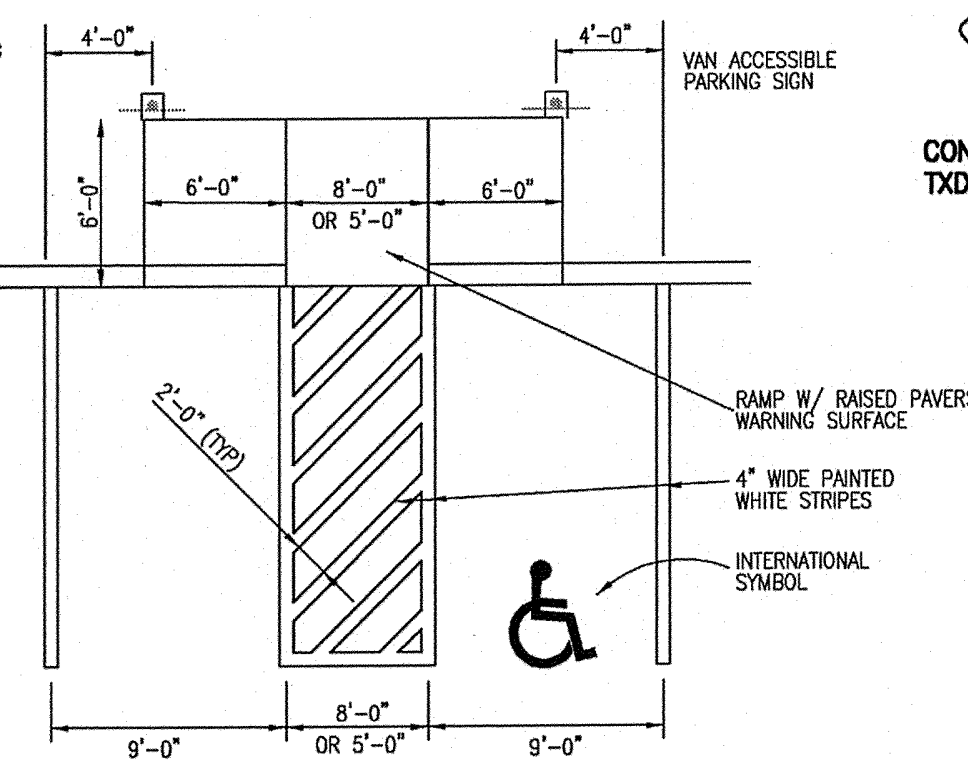
- COMMERCIAL DRIVE PAVEMENT SECTION  
(REFERENCE PAVING DETAIL SHEET)
- 23' B-B PAVEMENT SECTION  
(REFERENCE PAVING DETAIL SHEET)
- ALLEY PAVEMENT SECTION  
(REFERENCE PAVING DETAIL SHEET)

NOTE:  
REFERENCE HARDSCAPE PLANS (SHEET L1.1 TO L1.3)  
FOR SIDEWALK LOCATIONS. REFERENCE PLATE 12 FOR  
BRICK SIDEWALK INSTALLATION DETAILS.

**BARRIER FREE RAMP TOTALS:**  
 TYPE 1 - 5  
 TYPE 2 - 2  
 TYPE 7 - 8  
 TYPE 8 - 7  
 TYPE 10 - 6  
 TYPE 21 - 1



**HANDICAP PARKING SIGN**  
NOT TO SCALE



**HANDICAP PARKING DETAIL**  
NOT TO SCALE

**BENCHMARKS:**  
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 CASEY ROSS, LICENSED PROFESSIONAL ENGINEER  
 NO. 97272

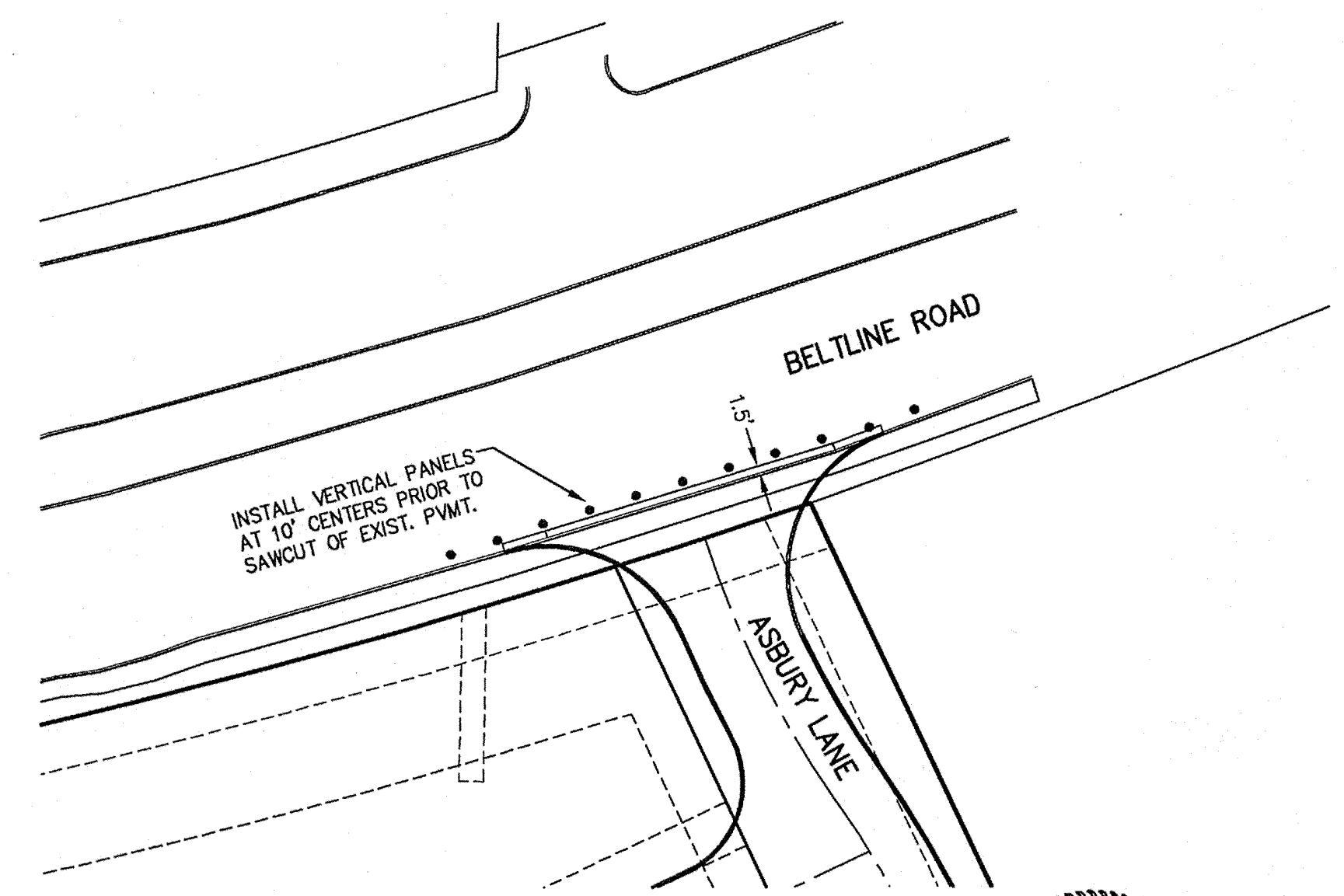
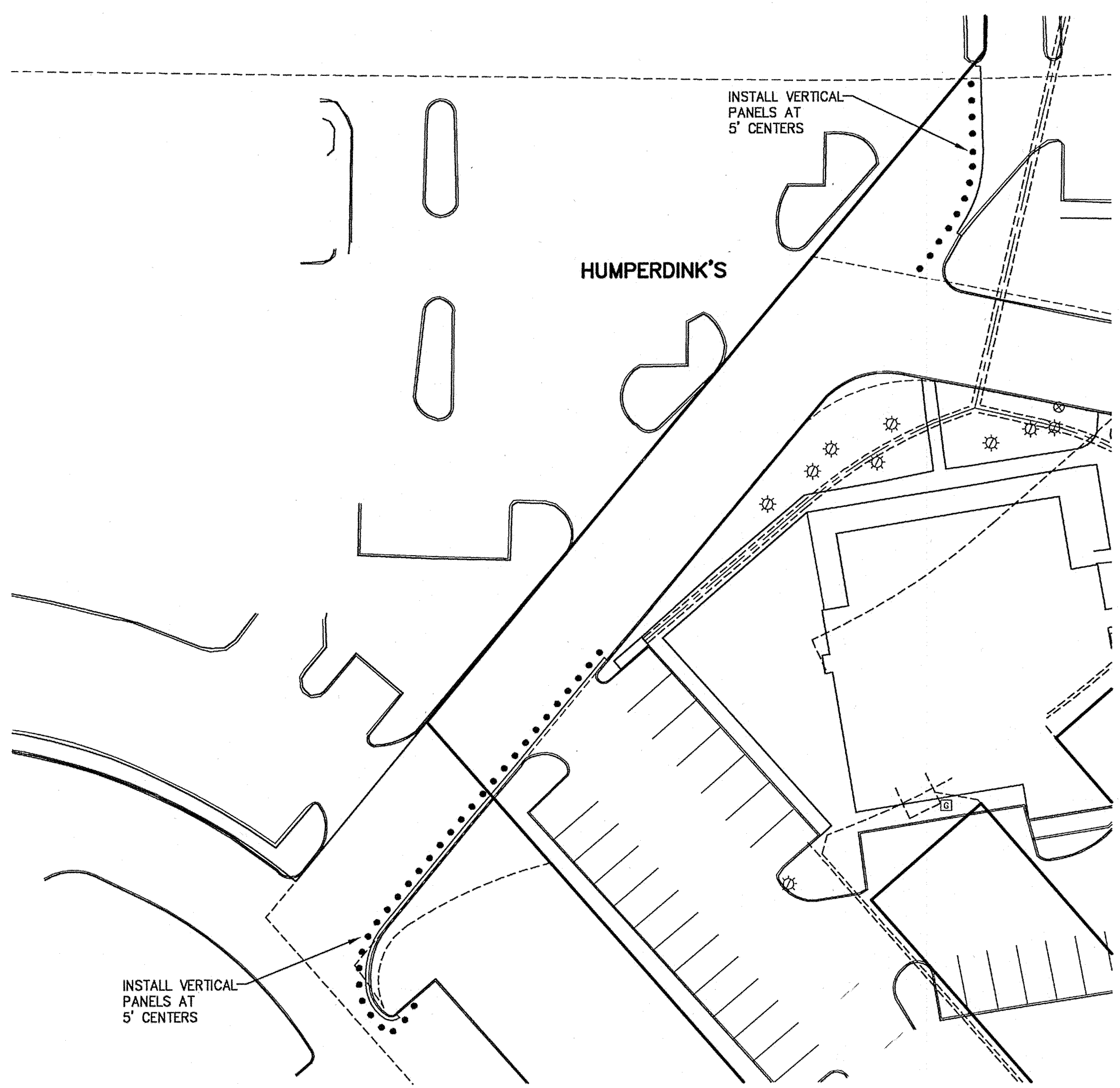
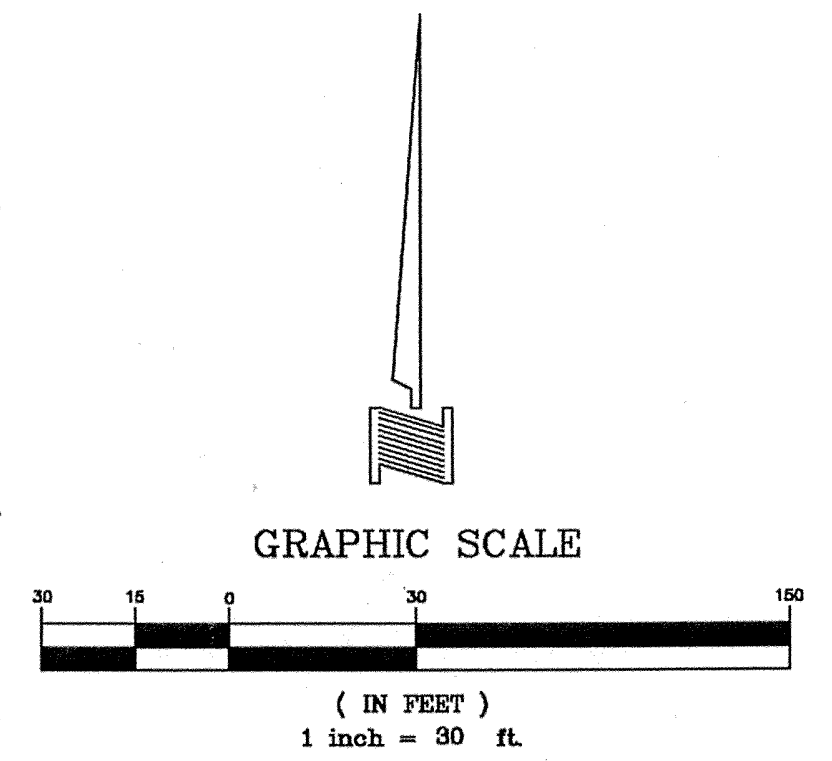
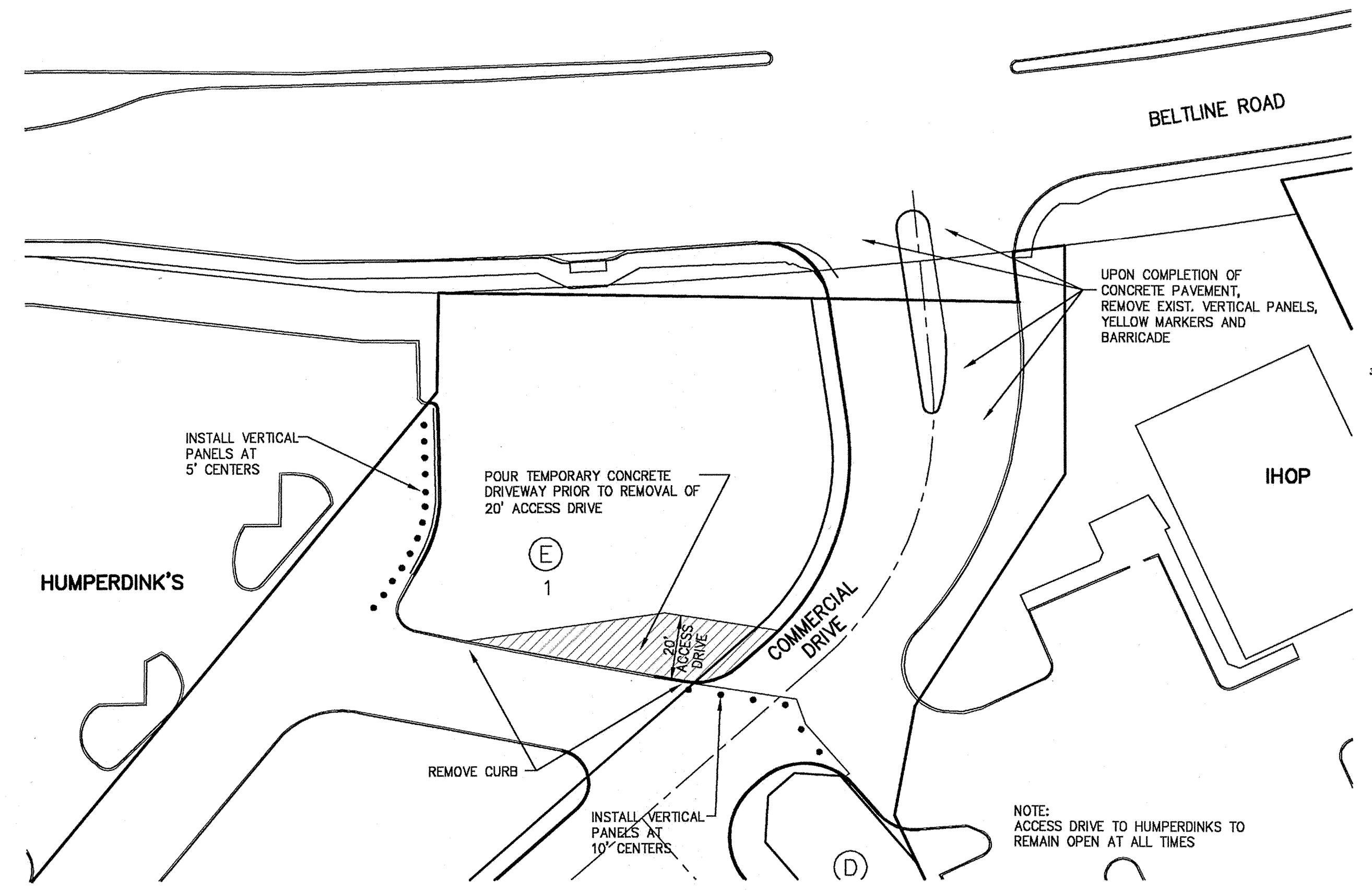
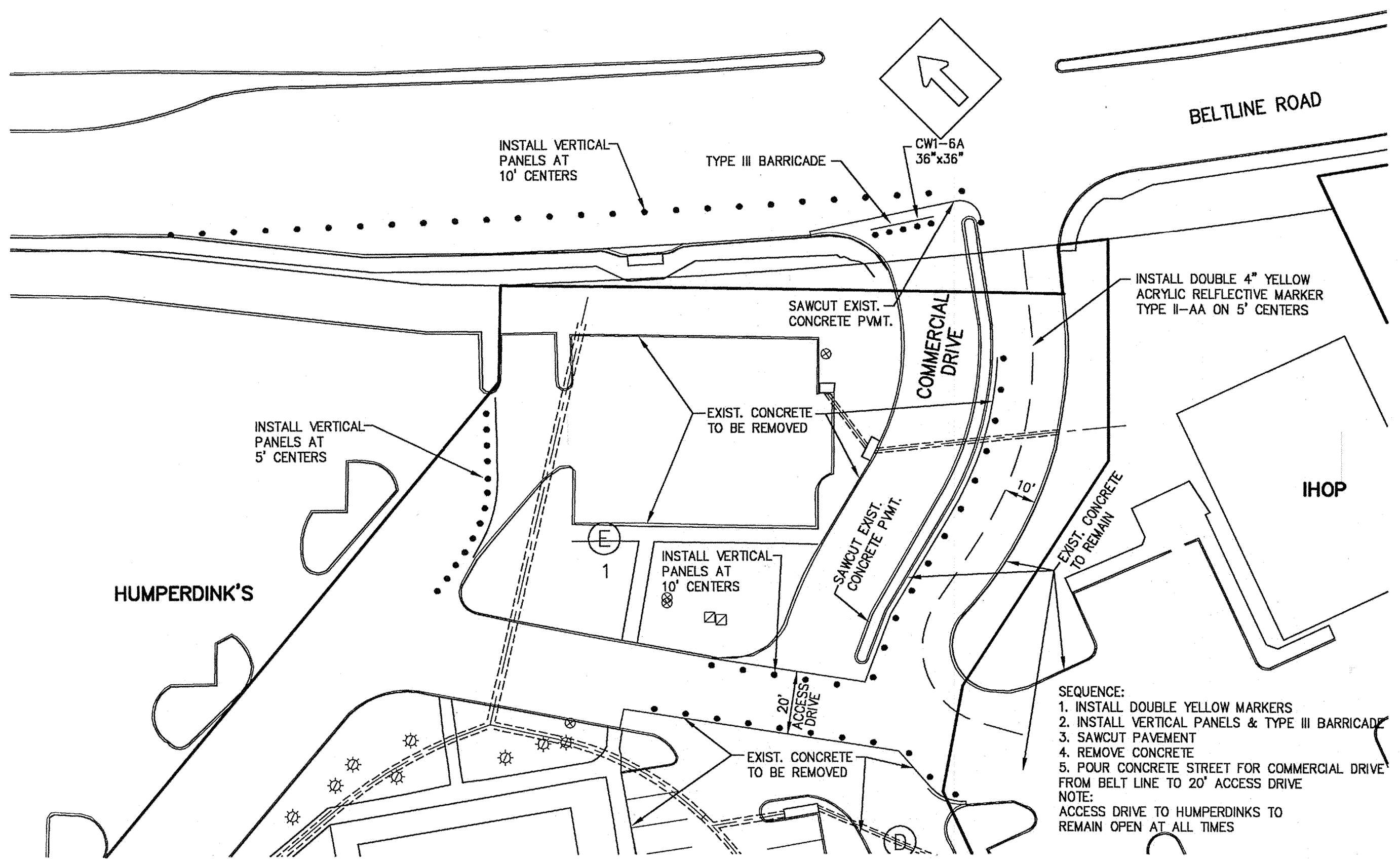
*J. Casey Ross* 1/3/08



NO.	DATE	BY	REVISION
1	1/2/08	JCR	REV ALL TYPE 5 TO TYPE 8 & ADD ONE TYPE 7 RAMP

<b>PAVING PLAN</b>					
<b>ASBURY CIRCLE</b>					
TOWN OF ADDISON					
DALLAS COUNTY, TEXAS					
<b>DOWDEY, ANDERSON &amp; ASSOCIATES, INC.</b>					
5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694					
DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB SHEET
JCR	MMP	JCR	10/20/06	1"=40'	06010 1/1





**GENERAL NOTES:**

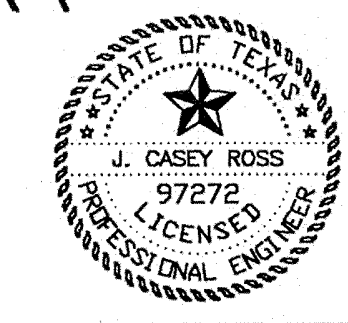
1. All installations, materials, procedures, removals and maintenance of the traffic control devices (TCD's) shown on the plan shall conform with the latest edition of the Texas Manual on Uniform Traffic Control Devices (TMUTCD).
2. The contractor shall notify The Town of Addison Engineering Department at of intent to begin work 48 hours prior to installation of any signage.
3. Existing signs shall not be moved or altered without the written permission of The Town of Addison. Proposed signage shall be placed so as to not obstruct the driver's view of existing signs.
4. The height and positioning of proposed warning signs shall be as follows:
  - a. Single-panel signs shall be mounted a minimum height of 7' and double panel signs shall be mounted a minimum height of 6' as measured from the bottom edge of the bottom panel to the nearest roadway surface.
  - b. Warning signs shall be placed a minimum of 6' from the nearest pavement or shoulder edge as measured from the nearest panel edge.
5. Proposed sign posts shall be of breakaway material (portable, wood, perforated metal, etc.)
6. Sign panels shall have a smooth, sealed reflectorized surface of a color consistent with the TMUTCD with a contrasting legend.
7. Any hazard identification beacons used shall be Type "B" (High Intensity) with 8" dia. lenses and shall be capable of operating 24 hours a day.
8. Daily inspections of all proposed TCD's shall be made by the contractor to insure proper traffic control and good equipment condition.
9. Payment for installation, maintenance, removals, flagmen and other incidentals associated with the proposed traffic control plan on this sheet, will be subsidiary to the various bid items.
10. All work and materials shall be in accordance with the Town of Addison.
11. All lanes of Beltline Road shall remain open during daytime hours.
12. Access drive to Humperdink's to remain open at all times.

**BENCHMARKS:**  
 CITY OF ADDISON BENCHMARK NO. 13:  
 SQUARE CUT ON THE BACK OF CURB AT THE CENTER OF AN INLET  
 AT THE SOUTHEAST CORNER OF BELTLINE ROAD AND SURVEYOR  
 BOULEVARD.  
 ELEVATION = 594.94'

CITY OF ADDISON BENCHMARK NO. 18:  
 SQUARE CUT ON COSERV ELECTRIC VAULT AT THE NORTHEAST  
 CORNER OF BELTLINE ROAD AND MIDWAY ROAD.  
 ELEVATION = 627.93'

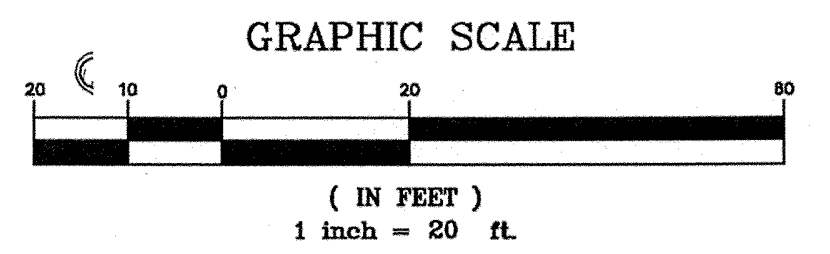
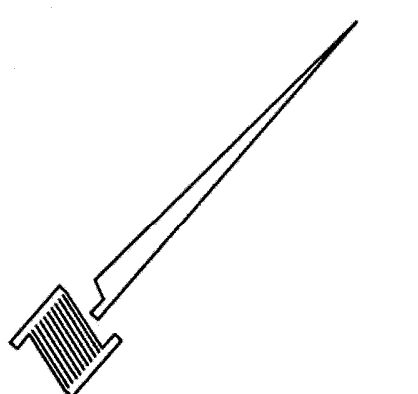
THESE CONSTRUCTION PLANS WERE PREPARED  
 UNDER THE RESPONSIBLE SUPERVISION OF J.  
 CASEY ROSS, LICENSED PROFESSIONAL ENGINEER  
 NO. 97272

*J. Casey Ross 8/9/07*



NO.	DATE	BY	REVISION

<b>TRAFFIC CONTROL PLAN</b>						
<b>ASBURY CIRCLE</b>						
TOWN OF ADDISON						
DALLAS COUNTY, TEXAS						
<b>DOWDEY, ANDERSON &amp; ASSOCIATES, INC.</b> 5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694						
DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
JCR	MMP	JCR	10/20/06	1"=30'	06010	1 / 1

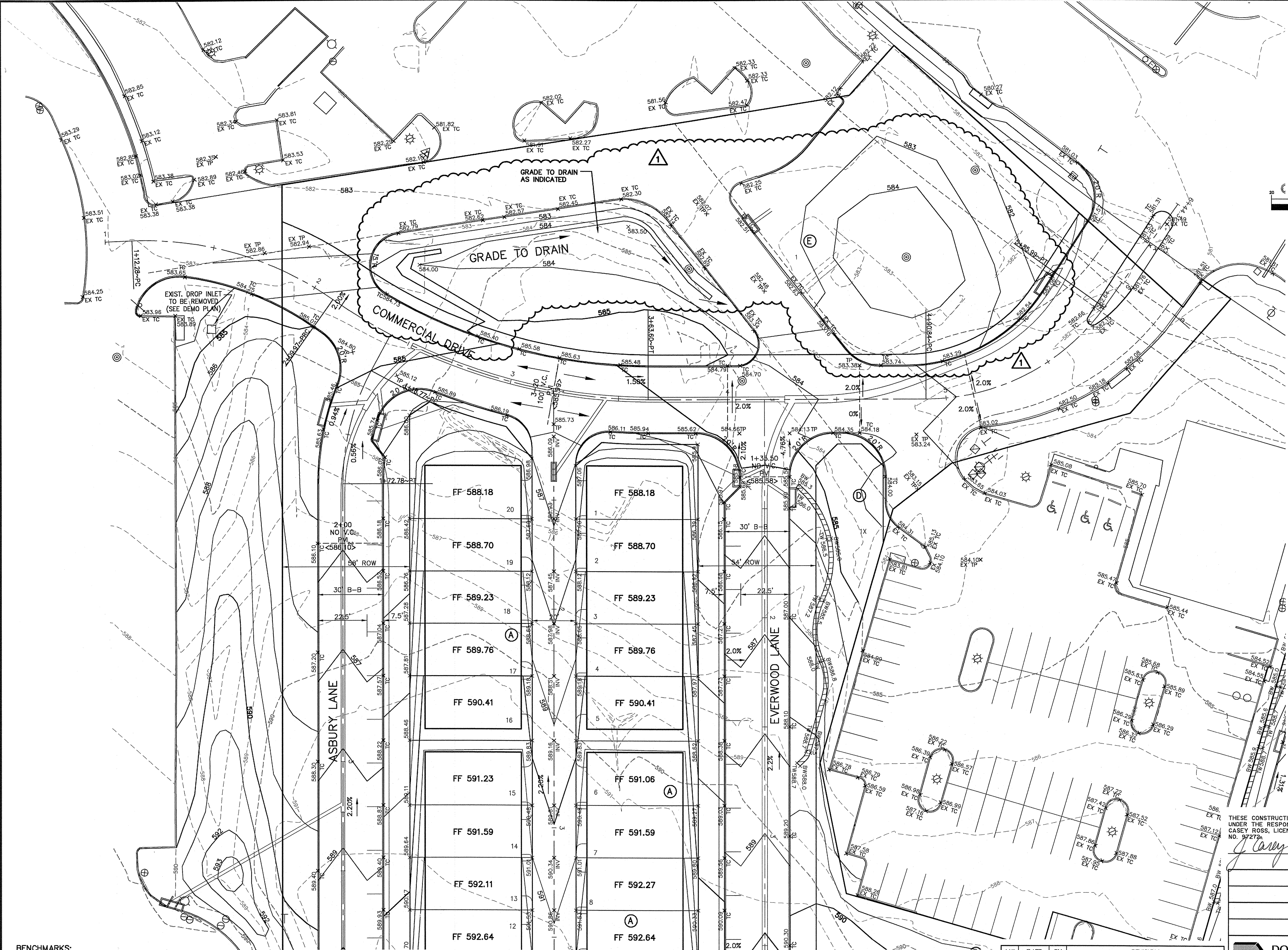


**NOTES:**

1. Finish Floor - 0.5' above finish pad.
2. All fill shall be placed as specified in HUD data sheet-79g.
3. Grade slopes away from building pads with a min. fall of 6" at points 10' (or lot line).
4. Driveway gradient shall not exceed 12%.
5. Solid sod all areas where slopes exceed 3:1.
6. Retaining walls required where slopes exceed 2:1.

**LEGEND**

- X TC 636.4 Proposed Top of Curb Grade
- X 636.4 Spot Grade
- X TP 632.5 Proposed Top of Pavement
- X EX TC 637.9 Existing Top of Curb Grade
- X INV 631.5 Proposed Invert Grade
- TW 637.9 Retaining Wall Grade
- BW 635.9 Retaining Wall Grade
- Flow Arrow
- Existing Contour
- FP 552.1 Finish Pad Elevation



**BENCHMARKS:**  
 CITY OF ADDISON BENCHMARK NO. 13:  
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 ELEVATION = 594.94'

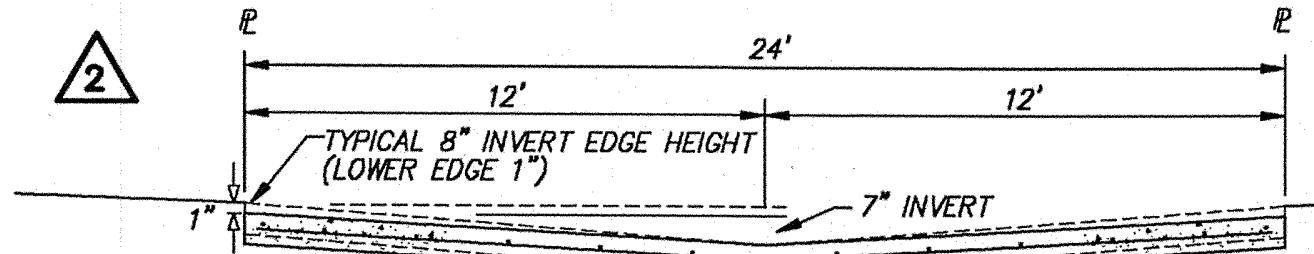
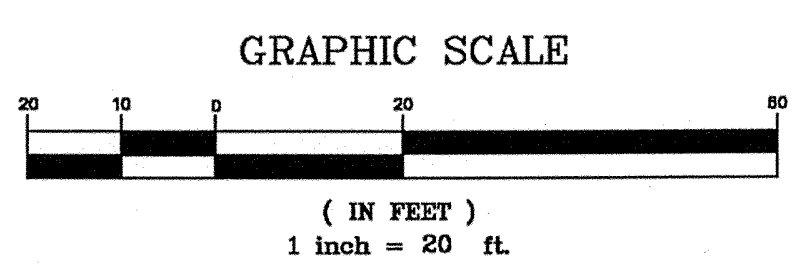
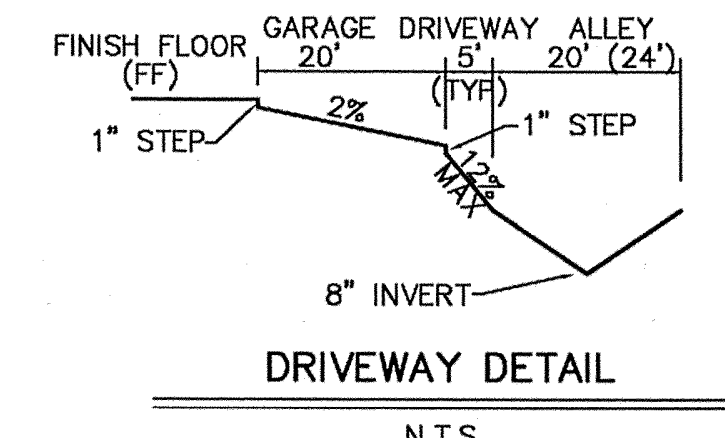
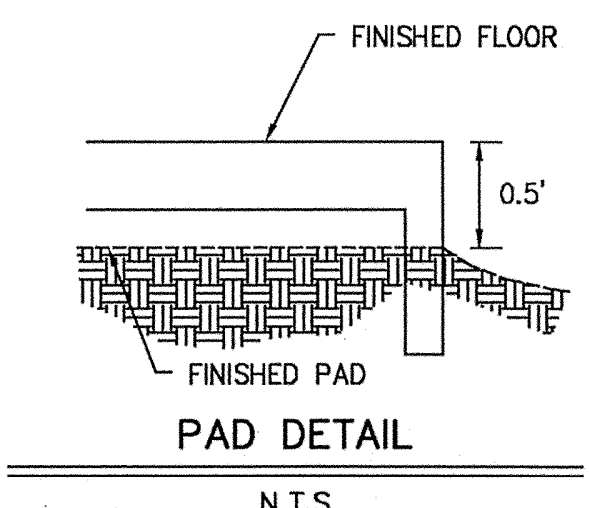
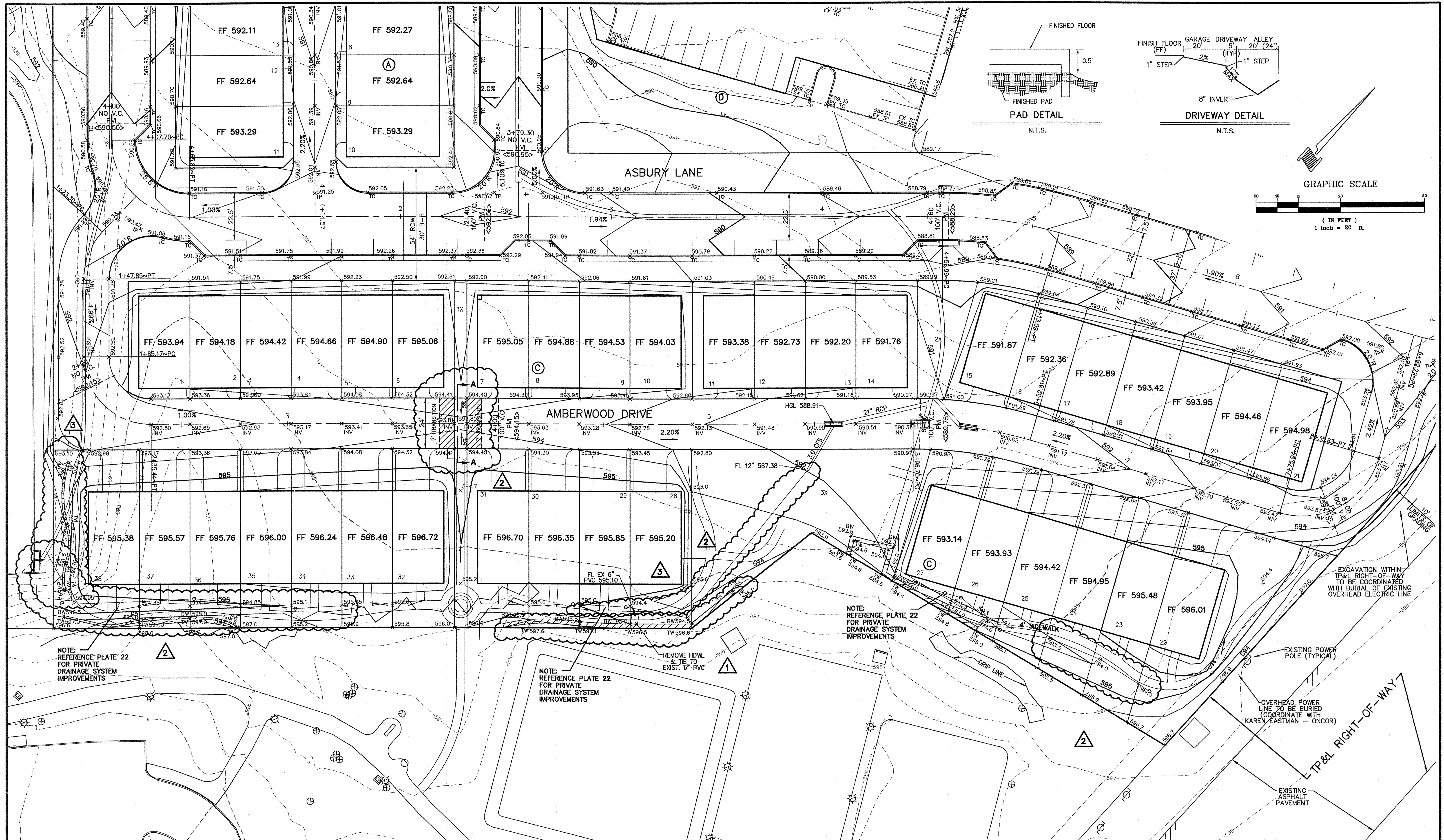
CITY OF ADDISON BENCHMARK NO. 18:  
 SQUARE CUT ON COSERV ELECTRIC VAULT AT THE NORTHEAST  
 CORNER OF BELTLINE ROAD AND MIDWAY ROAD.  
 ELEVATION = 627.93'

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 UNDER THE RESPONSIBLE SUPERVISION OF J.  
 CASEY ROSS, LICENSED PROFESSIONAL ENGINEER  
 NO. 97272  
*J. Casey Ross 1/21/08*



<b>GRADING PLAN</b>						
<b>ASBURY CIRCLE</b>						
TOWN OF ADDISON						
DALLAS COUNTY, TEXAS						
<b>DOWDEY, ANDERSON &amp; ASSOCIATES, INC.</b> 5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694						
DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
JCR	AR	JCR	10/16/06	1" = 20'	06010	1

NO.	DATE	BY	REVISION
1	1/21/08	JCR	REVISED GRADING

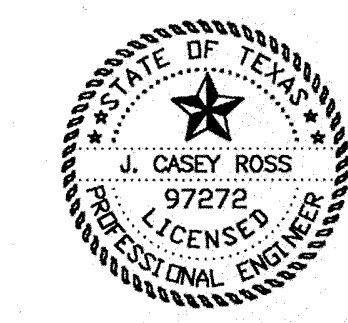


**BENCHMARKS:**  
CITY OF ADDISON BENCHMARK NO. 13:  
SQUARE CUT ON THE BACK OF CURB AT THE CENTER OF AN  
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CASEY ROSS, LICENSED PROFESSIONAL ENGINEER  
NO. 87272

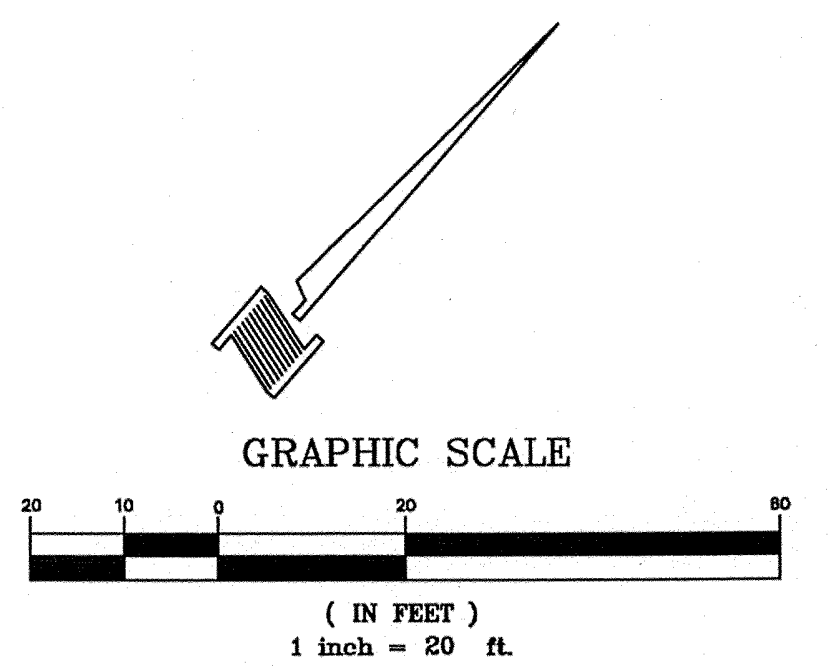
*J. Casey Ross 1/21/08*



NO.	DATE	BY	REVISION
1	10/15/07	JCR	ADDED RETAINING WALL
2	1/02/08	JCR	ADDED TREE DRAIN LINES, 7" INVERT SECTION & REVISED RETAINING WALL
3	1/21/08	JCR	ADDED RETAINING WALL; REVISED TREE DRAINS

GRADING PLAN	
ASBURY CIRCLE	
TOWN OF ADDISON	
DALLAS COUNTY, TEXAS	
<b>DOWDEY, ANDERSON &amp; ASSOCIATES, INC.</b> 5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694	
DESIGN	DRAWN
JCR	AR
CHECKED	JCR
DATE	SCALE
10/16/06	1" = 20'
JOB	SHEET
06010	2
3	





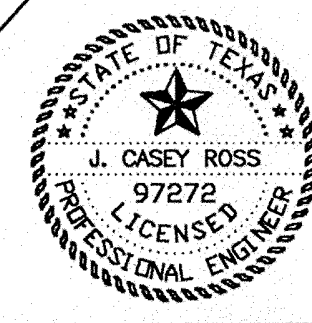
- NOTES:**
1. Finish Floor - 0.5' above finish pad.
  2. All fill shall be placed as specified in HUD data sheet-79g.
  3. Grade slopes away from building pads with a min. fall of 6" at points 10' (or lot line).
  4. Driveway gradient shall not exceed 12%.
  5. Solid sod all areas where slopes exceed 3:1.
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- LEGEND**
- X TC 636.4 Proposed Top of Curb Grade
  - X 636.4 Spot Grade
  - X TP 632.5 Proposed Top of Pavement
  - X EX TC 637.9 Existing Top of Curb Grade
  - X INV 631.5 Proposed Invert Grade
  - X TW 637.9 Retaining Wall Grade
  - BW 635.9 Flow Arrow
  - 635- Existing Contour
  - FP 552.1 Finish Pad Elevation

**BENCHMARKS:**  
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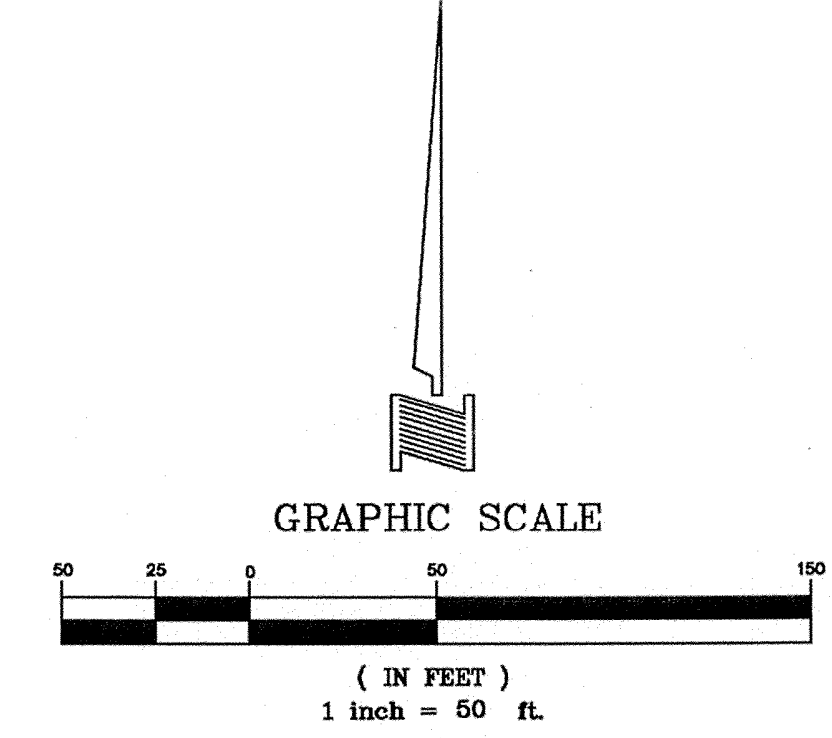
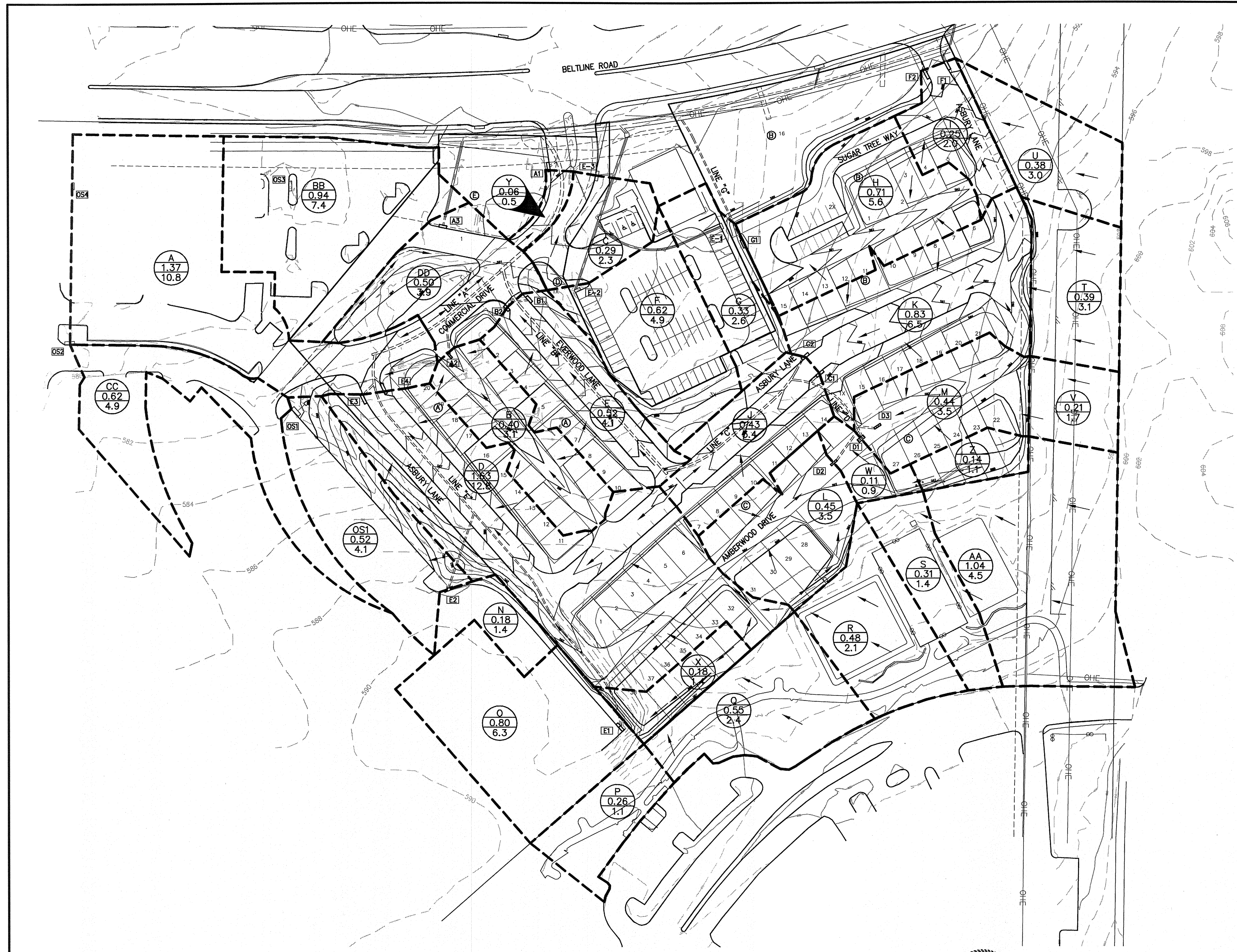
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 J. CASEY ROSS, LICENSED PROFESSIONAL ENGINEER  
 NO. 87272  
*J. Casey Ross 1/3/08*



NO.	DATE	BY	REVISION
1	1/02/08	JCR	REVISED PARKING DESIGN & LAYOUT

GRADING PLAN						
ASBURY CIRCLE						
TOWN OF ADDISON						
DALLAS COUNTY, TEXAS						
<b>DOWDEY, ANDERSON &amp; ASSOCIATES, INC.</b> 5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694						
DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
JCR	AR	JCR	10/16/06	1" = 20'	06010	3



- NOTES:**
1. INLET E-1, PER INTERNATIONAL HOUSE OF PANCAKES (LOT 2R, BLOCK A, PRINTEMPS ADDITION NO. 2) CONSTRUCTION PLANS WAS DESIGNED TO HANDLE 21.9 CFS. THE PROPOSED DESIGN IS 2.6 CFS.
  2. INLET E-2, PER INTERNATIONAL HOUSE OF PANCAKES (LOT 2R, BLOCK A, PRINTEMPS ADDITION NO. 2) CONSTRUCTION PLANS WAS DESIGNED TO HANDLE 14.1 CFS. THE PROPOSED DESIGN IS 4.9 CFS.
  3. INLET E-3, PER SPAGHETTI WAREHOUSE (LOT 3, BLOCK A, PRINTEMPS ADDITION NO. 2) CONSTRUCTION PLANS WAS DESIGNED TO HANDLE 1.5 CFS. THE PROPOSED DESIGN IS 2.3 CFS.
  4. 141.2 ACRES (FROM TOWN OF ADDISON CONSTRUCTION PLANS FOR BELTLINE ROAD, DATED MAY, 1980) DRAINS TO EXISTING 96" RCP USING C=0.80 (AVERAGE OF COMMERCIAL AND RESIDENTIAL) AND THE HYDRO-35/TP-40 IDF CURVE,  $I_{avg}=8.01$  (TC=13 MIN.) FOR 96" RCP @ BELT LINE ROAD/COMMERCIAL DRIVE INTERSECTION. BASED ON BELT LINE ROAD PLANS DATED MAY, 1980, 96" RCP HAS ENOUGH CAPACITY TO TAKE ASBURY CIRCLE RESIDENTIAL AND COMMERCIAL DRAINAGE WITHOUT DETENTION.
  5. INLET OS1, PER COMP USA PLANS, WAS DESIGNED TO HANDLE 16.9 CFS. THE PROPOSED DESIGN IS 4.1 CFS.
  6. INLET OS2, PER COMP USA PLANS, WAS DESIGNED TO HANDLE 6.3 CFS. THE PROPOSED DESIGN IS 4.9 CFS.
  7. INLET OS3 PER SPAGHETTI WAREHOUSE, INC. CONSTRUCTION PLANS WAS DESIGNED TO HANDLE 8.8 CFS. THE PROPOSED DESIGN IS 7.4 CFS.
  8. INLET OS4 PER SPAGHETTI WAREHOUSE, INC. CONSTRUCTION PLANS WAS DESIGNED TO HANDLE 10.9 CFS. THE PROPOSED DESIGN IS 10.8 CFS.

**STREET CAPACITY CALCULATIONS**

293.0  $\sqrt{S}$  = to top of curb.

**ALLEY CAPACITY CALCULATIONS**

171.5  $\sqrt{S}$  = Edge of pavement

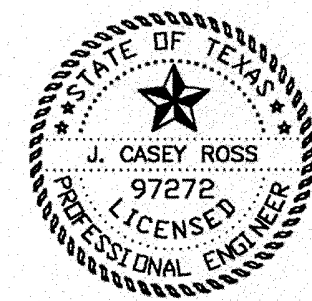
**Legend**

- A Drainage Area
- 4.32 Acreage
- 17.8 Flow (cfs)
- $\leftarrow$  Flow Direction
- Drainage Divide
- Exist. Contour
- T0 Proposed Inlet
- A Block Number

**BENCHMARKS:**  
 CITY OF ADDISON BENCHMARK NO. 13:  
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THESE CONSTRUCTION PLANS WERE PREPARED  
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 CASEY ROSS, LICENSED PROFESSIONAL ENGINEER  
 NO. 97272  
*Casey Ross* 9/25/07



NO.	DATE	BY	REVISION

**DRAINAGE AREA MAP**  
**ASBURY CIRCLE**

TOWN OF ADDISON  
 DALLAS COUNTY, TEXAS

**DOWDEY, ANDERSON & ASSOCIATES, INC.**  
 5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694

DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
AR	AR	JCR	10/16/06	1" = 50'	06010	1 / 2

DRAINAGE AREA DATA						
AREA NO.	AREA (ac.)	C <sub>ea</sub>	TC (min.)	I <sub>ea</sub> (in/hr)	Q <sub>ea</sub> (cfs)	
A	1.37	0.90	10	8.74	10.8	
B	0.40	0.90	10	8.74	3.1	
C	0.29	0.90	10	8.74	2.3	
D	1.63	0.90	10	8.74	12.8	
E	0.52	0.90	10	8.74	4.1	
F	0.62	0.90	10	8.74	4.9	
G	0.33	0.90	10	8.74	2.6	
H	0.71	0.90	10	8.74	5.6	
I	0.25	0.90	10	8.74	2.0	
J	0.43	0.90	10	8.74	3.4	
K	0.83	0.90	10	8.74	6.5	
L	0.45	0.90	10	8.74	3.5	
M	0.44	0.90	10	8.74	3.5	
N	0.18	0.90	10	8.74	1.4	
O	0.80	0.90	10	8.74	6.3	
P	0.26	0.50	10	8.74	1.1	
Q	0.55	0.50	10	8.74	2.4	
R	0.48	0.50	10	8.74	2.1	
S	0.31	0.50	10	8.74	3.4	
T	0.39	0.90	10	8.74	3.1	
U	0.38	0.90	10	8.74	3.0	
V	0.21	0.90	10	8.74	1.7	
W	0.11	0.90	10	8.74	0.9	
X	0.18	0.90	10	8.74	1.4	
Y	0.06	0.90	10	8.74	0.5	
Z	0.14	0.90	10	8.74	1.1	
AA	1.04	0.50	10	8.74	4.5	
BB	1.43	0.90	10	8.74	11.3	
CC	0.62	0.90	10	8.74	4.9	
DD	0.50	0.90	10	8.74	3.9	
OS1	0.52	0.90	10	8.74	4.1	

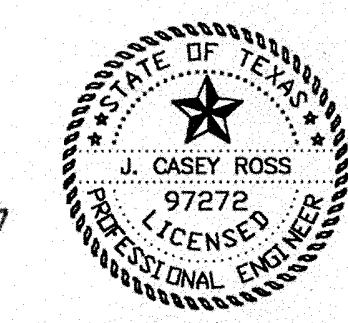
INLET DESIGN CHART																	
INLET		AREA RUNOFF Q = CA							Carry-Over From Upstrm Inlet (c.f.s.)	Total Gutter Flow (c.f.s.)	Gutter Capacity (c.f.s.)	Gutter Slope (ft/100 ft)	Crown Type	Selected Inlet Length "L" (feet)	Type	Carry-Over To Dwnstrm Inlet (c.f.s.)	Inlet Capacity (c.f.s.)
No.	Location	Design Storm Freq. (yrs.)	Time of Intensity Conc. (min.)	Intensity (in/hr)	Runoff Coeff. ("C")	Area (Ac.)	"Q" (c.f.s.)	9	10	11	12	13	14	15	16	17	
A1	5+63 Town Center Parkway	100	10	8.74	0.90	0.08	0.50	1.0	1.5	35.8	0.0130	2%	10	Std.	0	5.6	
A2	1+37 Alley "A"	100	10	8.74	0.90	0.40	3.1	—	3.1	35.8	0.0220	8" Inv.	3-Grate	Std.	1.0	2.1	
A3	Existing Road	100	10	8.74	0.90	0.50	3.9	—	3.9	35.8	0.0130	8" Inv.	8	Std.	—	4.9	
B1	1+58 Everwood Drive	100	10	8.74	0.90	0.28	2.0	—	2.0	20.5	0.0220	3%	8	Std.	0	4.1	
B2	1+58 Everwood Drive	100	10	8.74	0.90	0.28	2.1	—	2.1	20.5	0.0220	3%	8	Std.	0	4.1	
C1	5+00 Asbury Lane	100	10	8.74	0.90	0.83	6.5	—	6.5	—	"seg"	3%	10	Std.	—	21.0	
C2	5+00 Asbury Lane	100	10	8.74	0.90	0.82	6.5	—	6.5	—	"seg"	3%	10	Std.	—	21.0	
D1	5+80 Amberwood Drive	100	10	8.74	0.90 & 0.50	0.25 & 1.35	7.9	2.8	10.7	—	"seg"	8" Inv.	6-Grate	Std.	—	12.5	
D2	5+52 Amberwood Drive	100	10	8.74	0.90 & 0.50	0.45 & 0.48	5.6	—	5.6	25.4	0.0220	8" Inv.	3-Grate	Std.	1.8	4.0	
D3	6+14 Amberwood Drive	100	10	8.74	0.90	0.65	5.2	—	5.2	25.4	0.0220	8" Inv.	3-Grate	Std.	1.2	3.9	
E1	2+13.97 LINE "E" 8412' RT.	100	10	8.74	0.90 & 0.50	0.81 & 0.98	11.2	—	—	—	"seg"	—	10	Std.	—	21.0	
E2	3+76.97 LINE "E" 8411' RT.	100	10	8.74	0.90	0.18	1.4	—	11.0	—	"seg"	—	10	Std.	—	21.0	
E3	1+43 Amberwood Drive	100	10	8.74	0.90	0.81	6.4	—	6.4	—	0.0220	3%	12	Std.	0	7.25	
E4	1+43 Amberwood Drive	100	10	8.74	0.90	0.82	6.4	—	6.4	—	0.0220	3%	12	Std.	0	7.25	
F1	3+76 Asbury Lane	100	10	8.74	0.90	0.32	2.5	—	2.5	—	0.0310	3%	10	Std.	0	5.2	
F2	3+72 Asbury Lane	100	10	8.74	0.90	0.31	2.5	—	2.5	—	0.0310	3%	10	Std.	0	5.2	
G1	1+85 Sugar Tree Way	100	10	8.74	0.90	0.71	5.6	—	5.6	—	"seg"	3%	10	Std.	0	15.0	
OS1	EXISTING PARKING LOT	100	10	8.74	0.90	0.52	4.1	—	4.1	—	"seg"	—	10	Std.	0	21.0	
OS2	EXISTING PARKING LOT	100	10	8.74	0.90	0.69	4.9	—	4.9	—	0.0130	—	6	Std.	0	5.6	
OS3	EXISTING PARKING LOT	100	10	8.74	0.90	0.94	7.4	—	7.4	—	"seg"	—	10	Std.	0	21.0	
OS4	EXISTING PARKING LOT	100	10	8.74	0.90	1.37	10.8	—	10.8	—	"seg"	—	8	Std.	0	11.1	

**BENCHMARKS:**  
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 ELEVATION = 627.93'

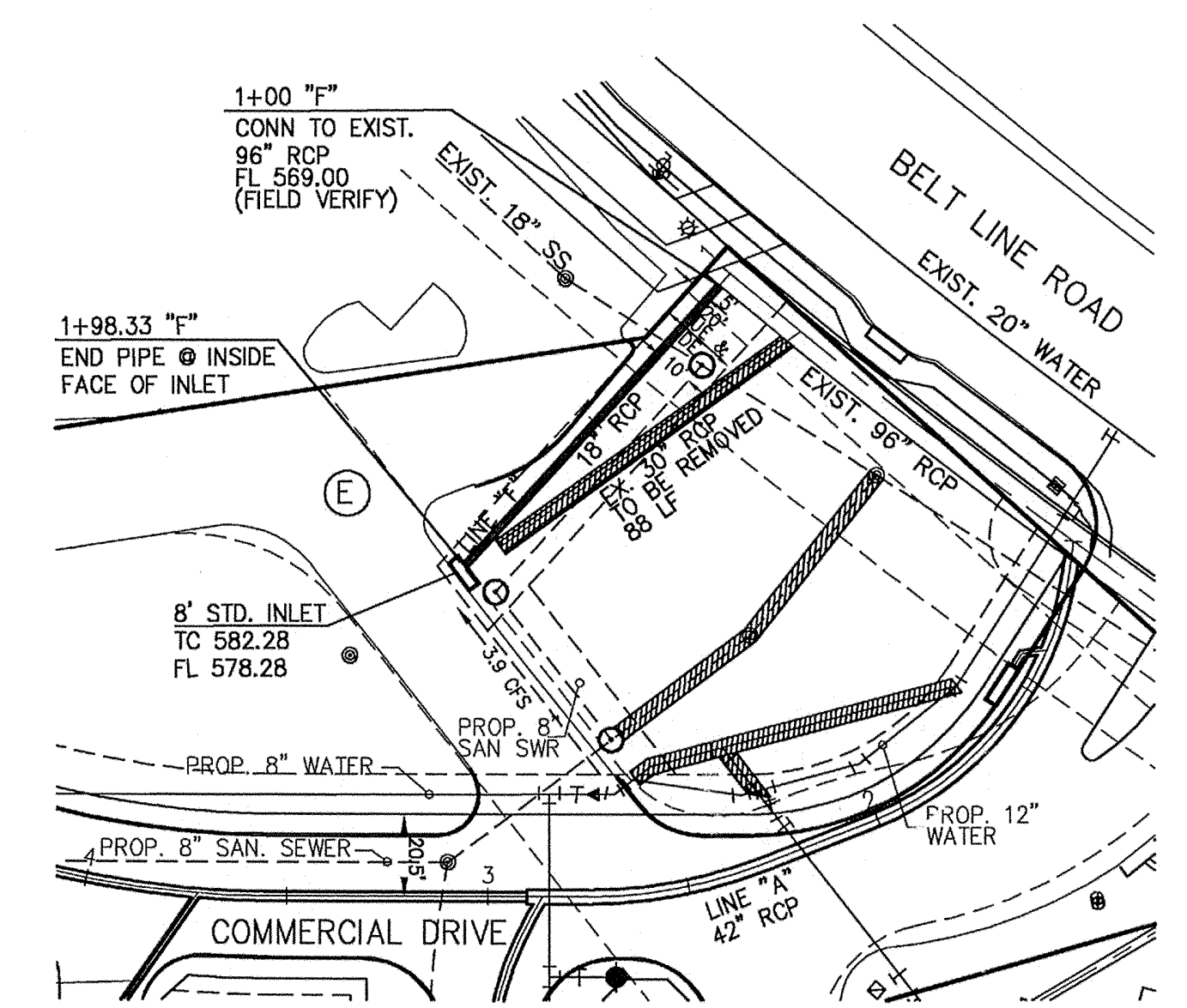
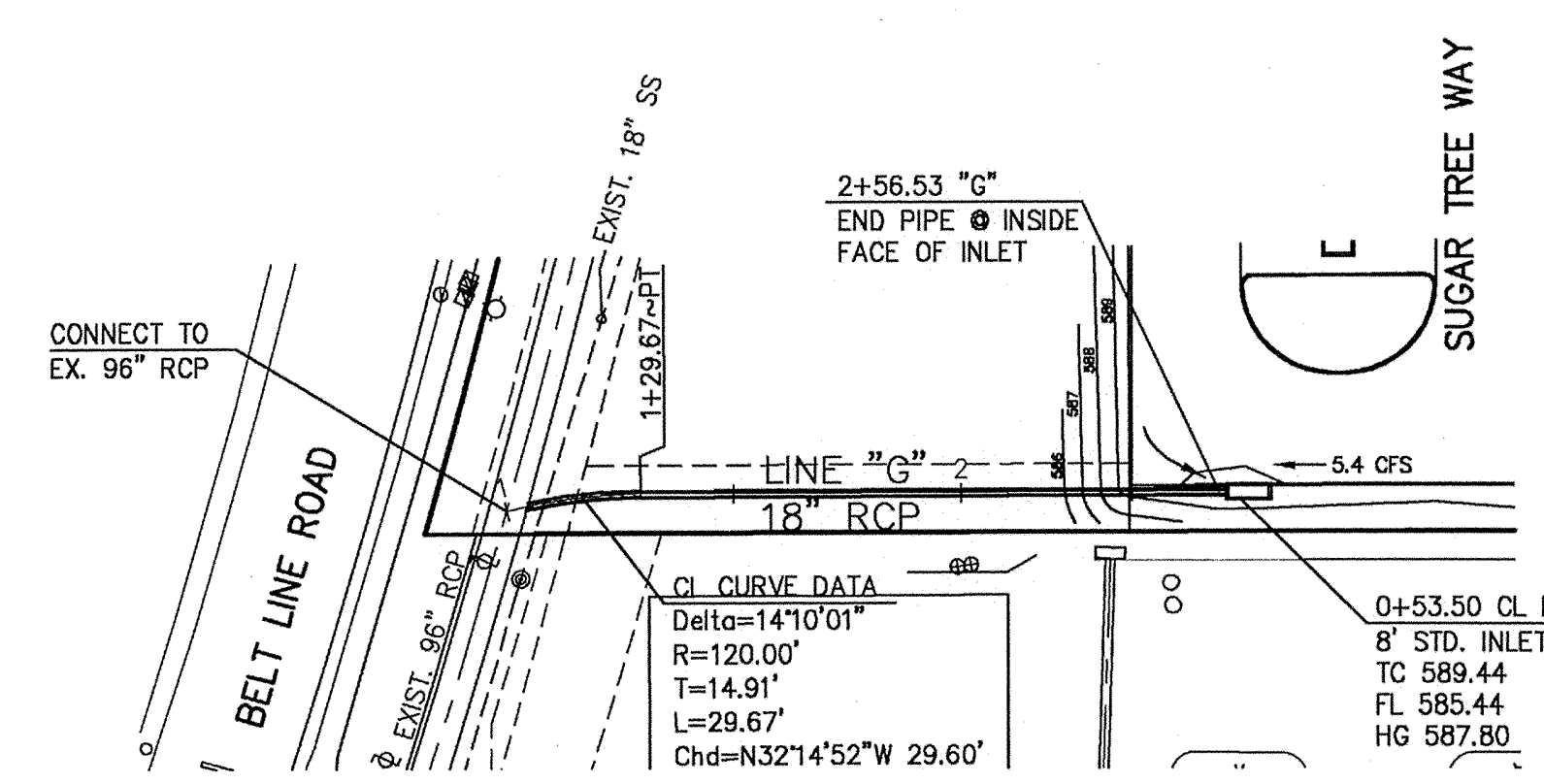
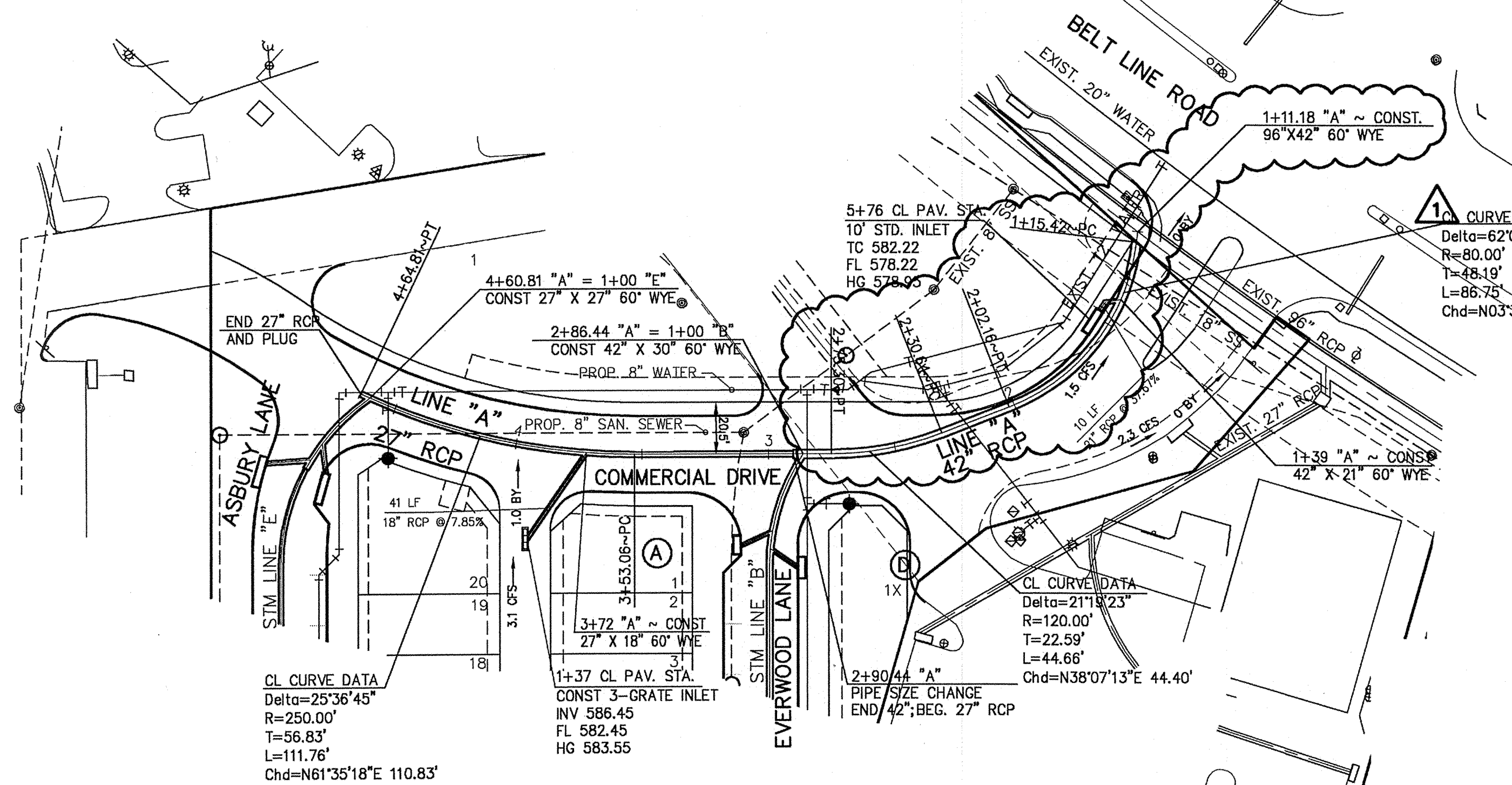
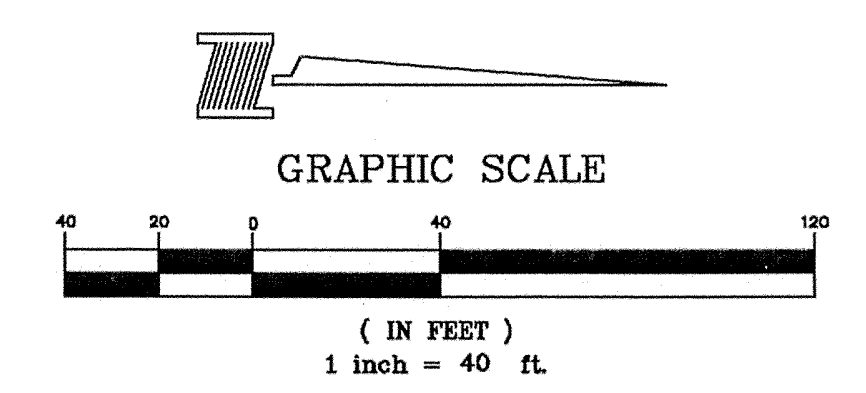
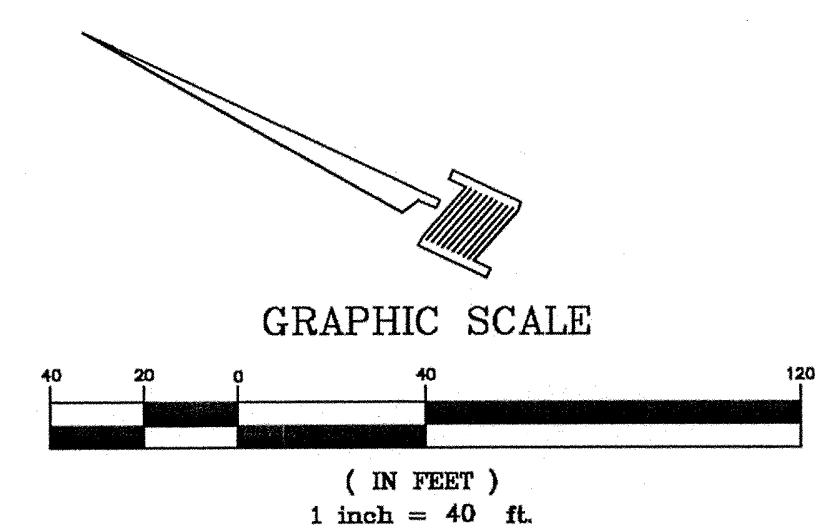
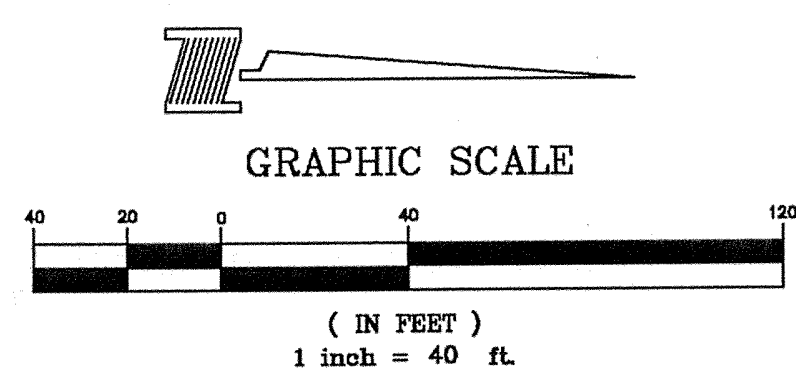
THESE CONSTRUCTION PLANS WERE PREPARED  
 UNDER THE RESPONSIBLE SUPERVISION OF J.  
 CASEY ROSS, LICENSED PROFESSIONAL ENGINEER  
 NO. 97272

*J. Casey Ross* 9/25/07

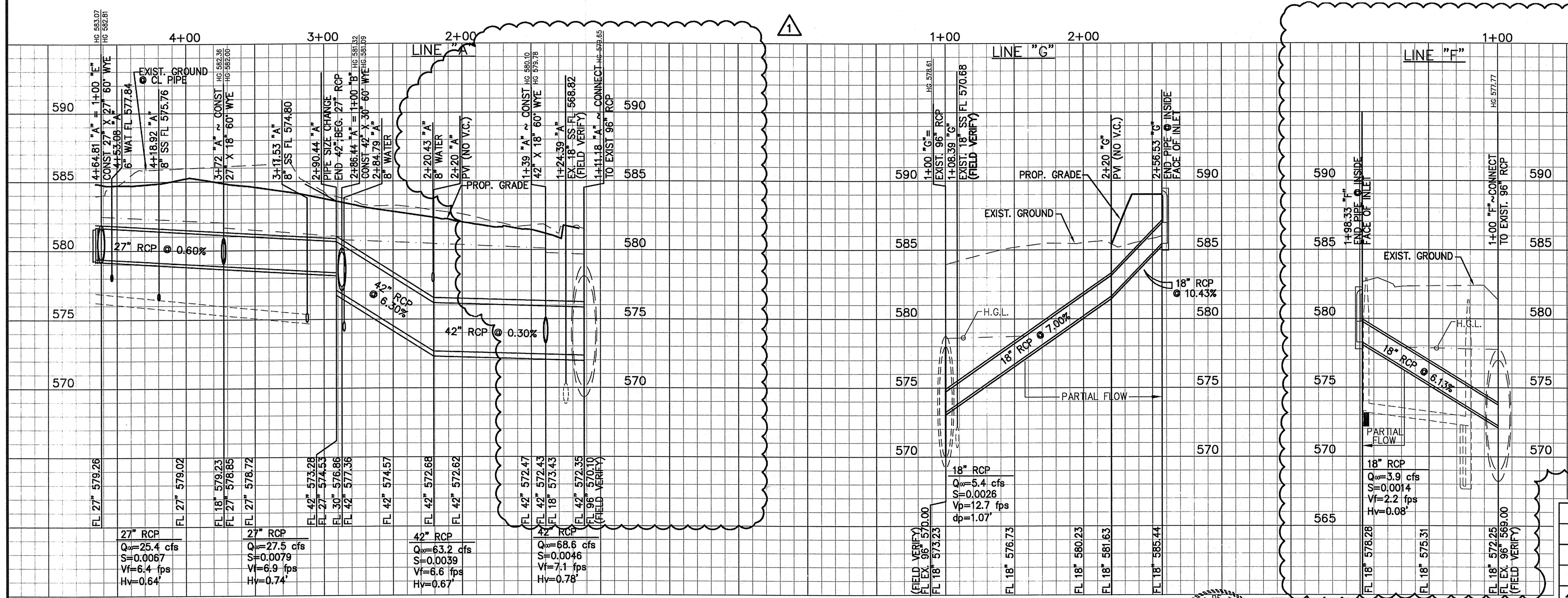


NO.	DATE	BY	REVISION

DRAINAGE AREA MAP						
ASBURY CIRCLE						
TOWN OF ADDISON						
DALLAS COUNTY, TEXAS						
<b>DOWDEY, ANDERSON &amp; ASSOCIATES, INC.</b> 5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694						
DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
AR	AR	JCR	10/16/06	1" = 50'	06010	2



- NOTES:
1. ALL STORM SEWER PIPE SHALL BE CLASS III UNLESS OTHERWISE NOTED.
  2. CONSTRUCTION SHALL BE PER THE TOWN OF ADDISON STANDARDS.



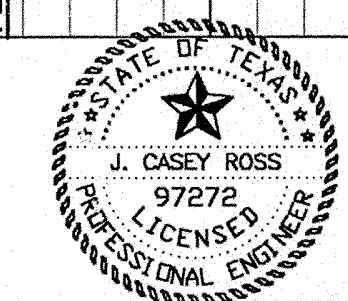
**LINES 'A', 'G' & 'F'**  
**STORM SEWER PLAN & PROFILE**  
**ASBURY CIRCLE**  
TOWN OF ADDISON  
DALLAS COUNTY, TEXAS

**BENCHMARKS:**  
CITY OF ADDISON BENCHMARK NO. 13:  
SQUARE CUT ON THE BACK OF CURB AT THE CENTER OF AN INLET AT THE SOUTHEAST CORNER OF BELTLINE ROAD AND SURVEYOR BOULEVARD.  
ELEVATION = 594.94'

CITY OF ADDISON BENCHMARK NO. 18:  
SQUARE CUT ON COSERV ELECTRIC VAULT AT THE NORTHEAST CORNER OF BELTLINE ROAD AND MIDWAY ROAD.  
ELEVATION = 627.93'

THESE CONSTRUCTION PLANS WERE PREPARED UNDER THE RESPONSIBLE SUPERVISION OF J. CASEY ROSS, LICENSED PROFESSIONAL ENGINEER NO. 97272.

*J. Casey Ross 3/19/08*

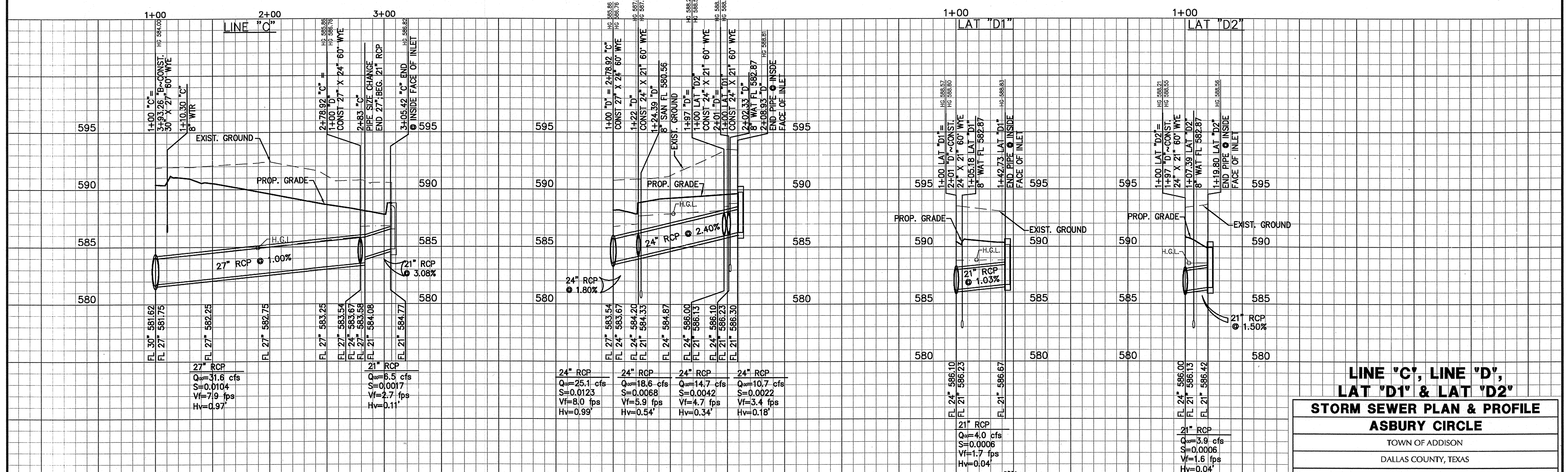
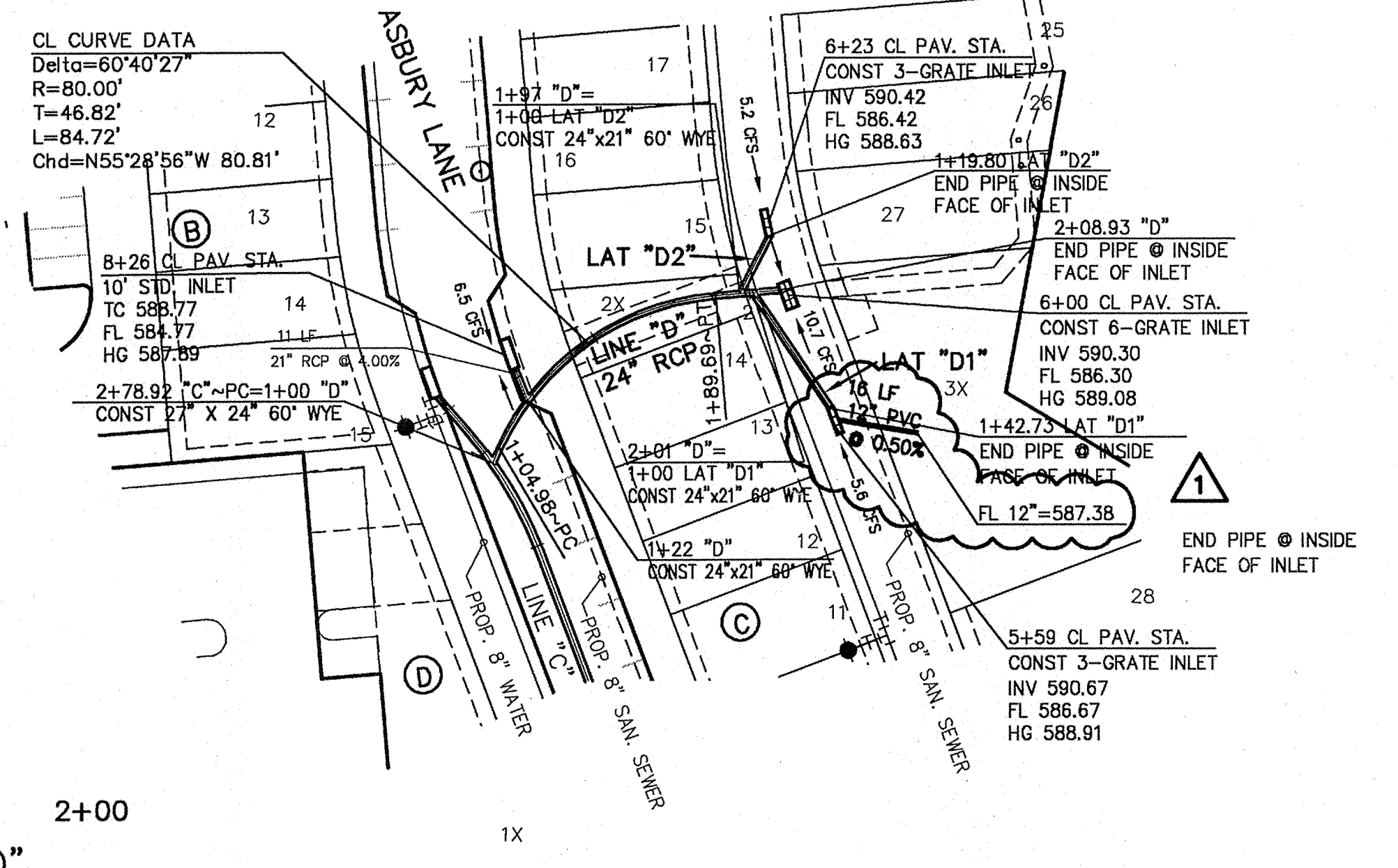
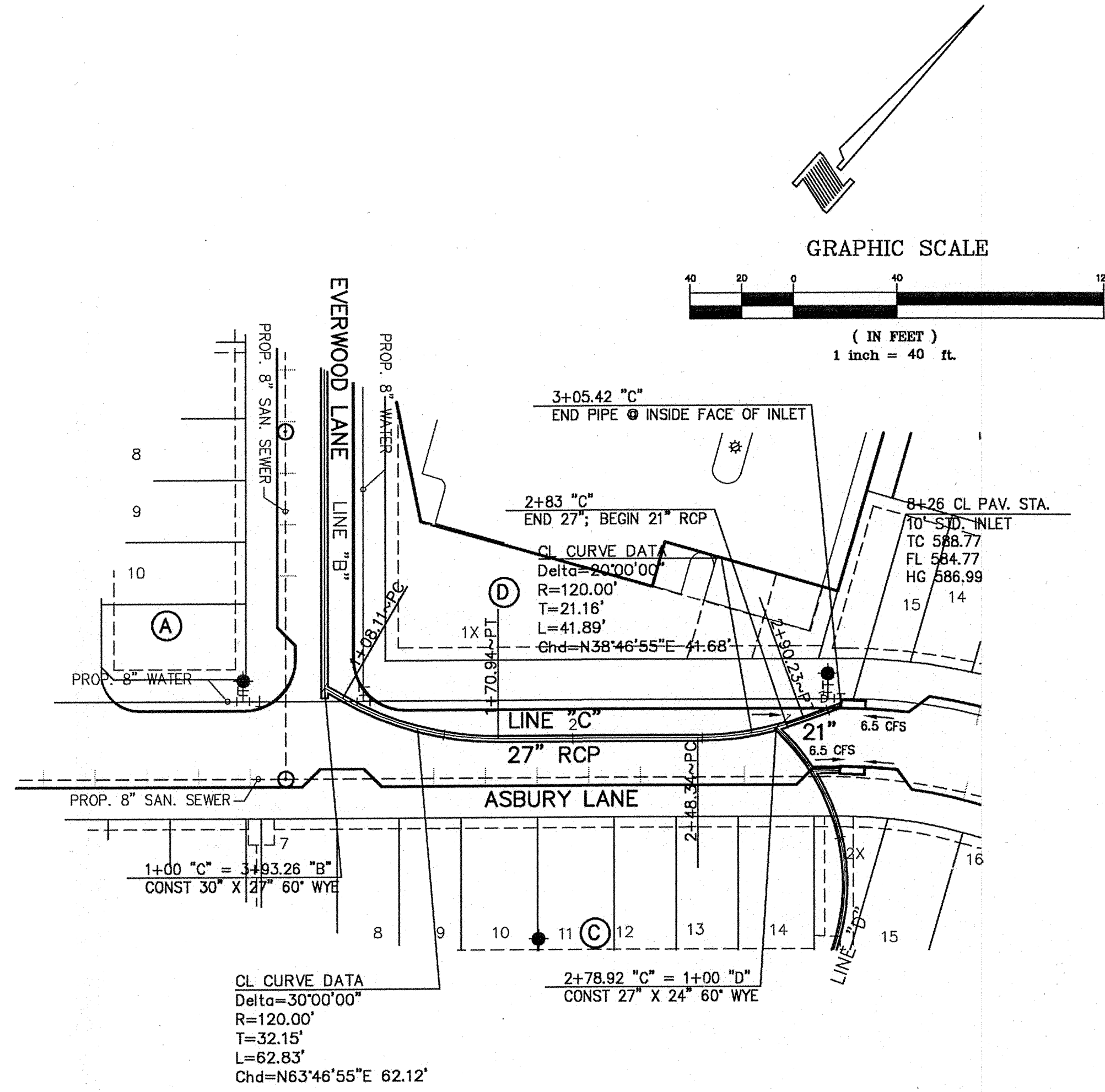


NO.	DATE	BY	REVISION
1	10/15/07	JCR	REVISED STORM LINE "A" LOCATION & DESIGN
2	3/12/08	JCR	ADDED LINE "F"

**DOWDEY, ANDERSON & ASSOCIATES, INC.**  
5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694

DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
AR	AR	JCR	8/28/06	H: 1"=40' V: 1"=4'	06010	1 / 4





**LINE 'C', LINE 'D',  
 LAT 'D1' & LAT 'D2'**

**STORM SEWER PLAN & PROFILE  
 ASBURY CIRCLE**

TOWN OF ADDISON  
 DALLAS COUNTY, TEXAS

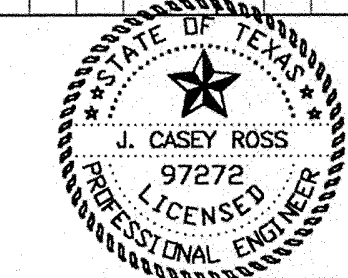
**DOWDEY, ANDERSON & ASSOCIATES, INC.**  
 5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694

DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
AR	AR	JCR	8/28/06	H: 1"=40' V: 1"=4'	06010	3

**BENCHMARKS:**  
 CITY OF ADDISON BENCHMARK NO. 13:  
 SQUARE CUT ON THE BACK OF CURB AT THE CENTER OF AN  
 INLET AT THE SOUTHEAST CORNER OF BELTLINE ROAD AND  
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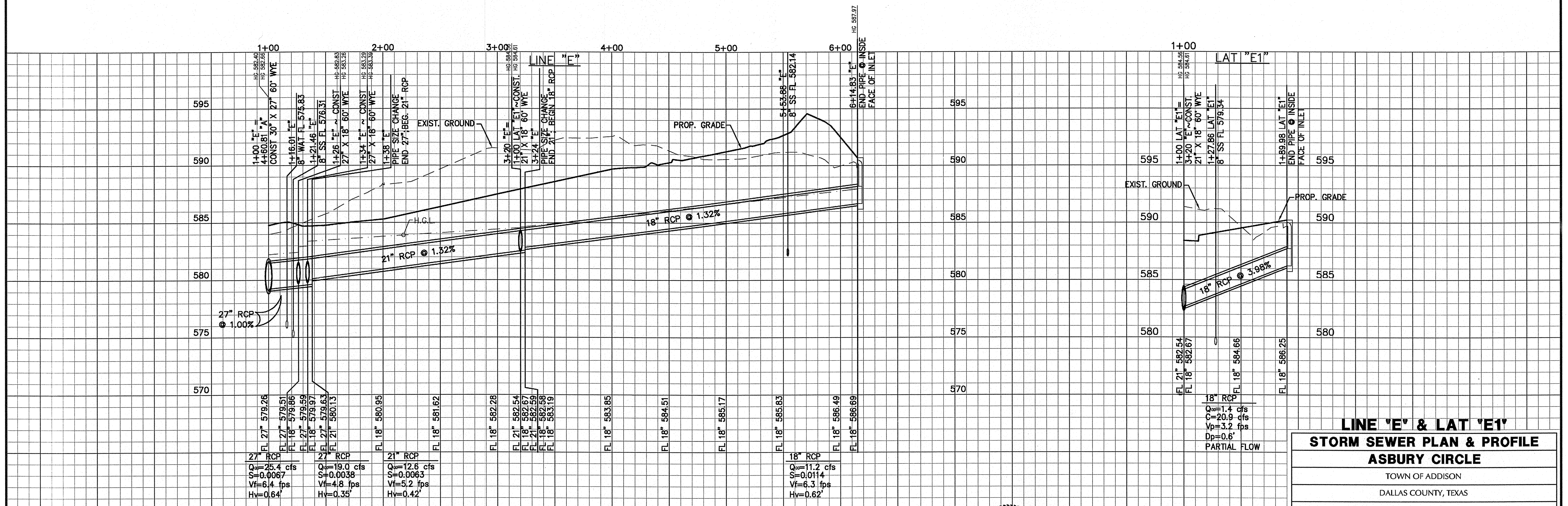
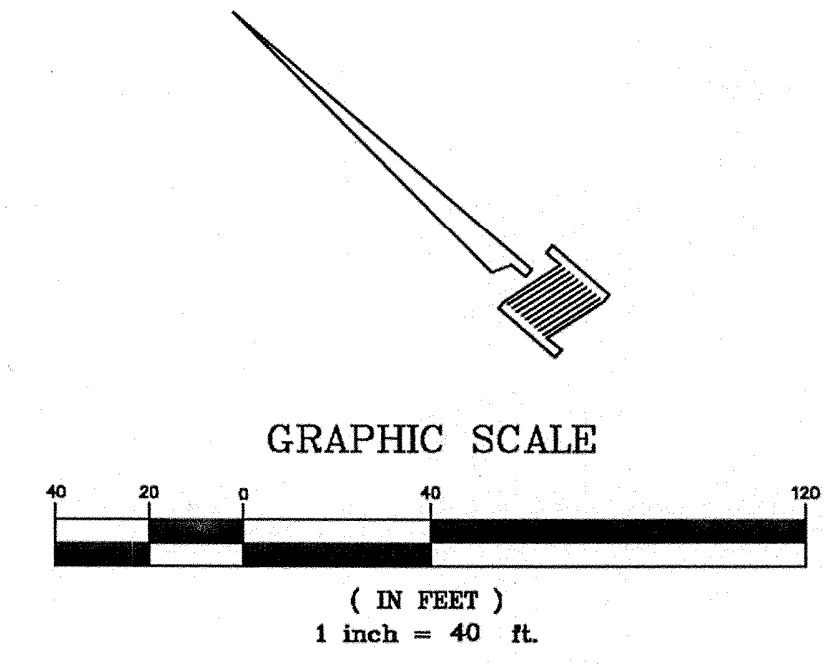
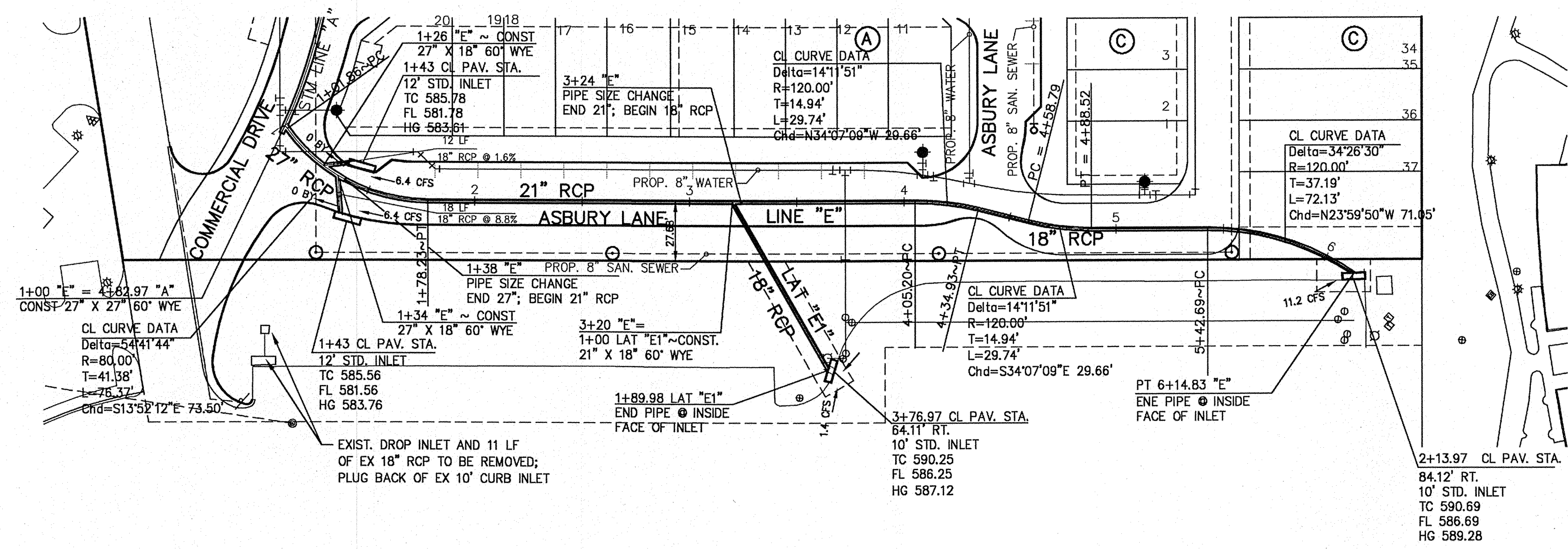
CITY OF ADDISON BENCHMARK NO. 18:  
 SQUARE CUT ON COSERV ELECTRIC VAULT AT THE NORTHEAST  
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 CASEY ROSS, LICENSED PROFESSIONAL ENGINEER  
 NO. 97272



NO.	DATE	BY	REVISION
1	10/15/07	JCR	ADDED 12" PVC STUB OUT

*J. Casey Ross 10/24/07*



Station	Flow Rate (cfs)	Velocity (fps)	Head (ft)
27" RCP	Q=25.4	V=6.4	Hv=0.64
27" RCP	Q=19.0	V=4.8	Hv=0.35
21" RCP	Q=12.6	V=5.2	Hv=0.42

Station	Flow Rate (cfs)	Velocity (fps)	Head (ft)
18" RCP	Q=11.2	V=6.3	Hv=0.62
18" RCP	Q=1.4	V=3.2	Hv=0.14

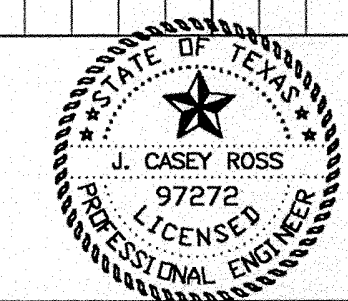
**BENCHMARKS:**

CITY OF ADDISON BENCHMARK NO. 13:  
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 CASEY ROSS, LICENSED PROFESSIONAL ENGINEER  
 NO. 97272

*J. Casey Ross* 9/25/07



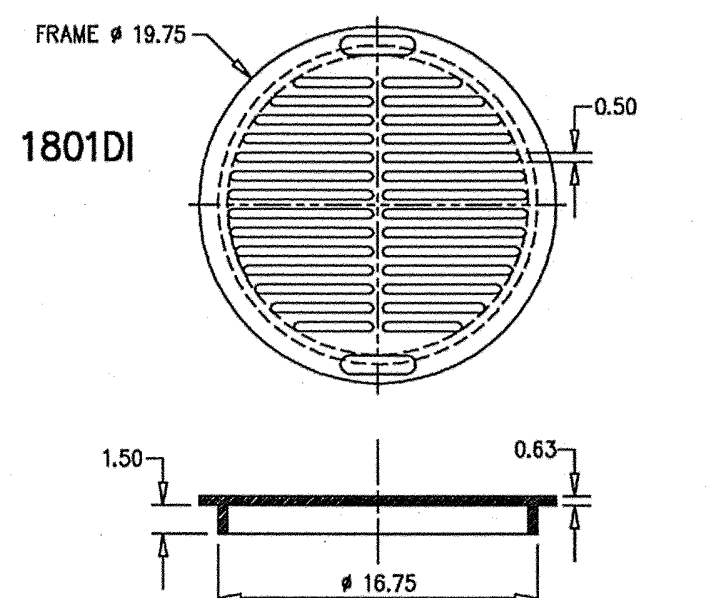
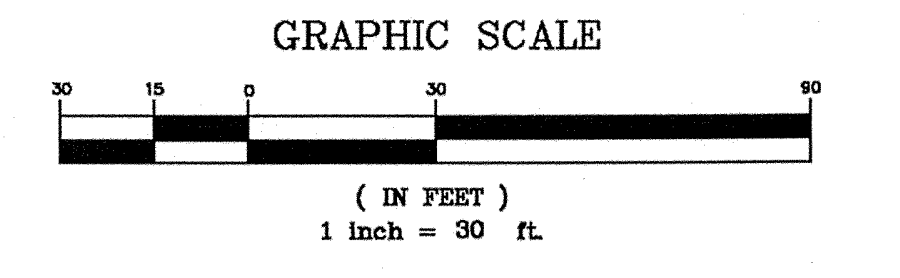
NO.	DATE	BY	REVISION

**LINE 'E' & LAT 'E1'**  
**STORM SEWER PLAN & PROFILE**  
**ASBURY CIRCLE**

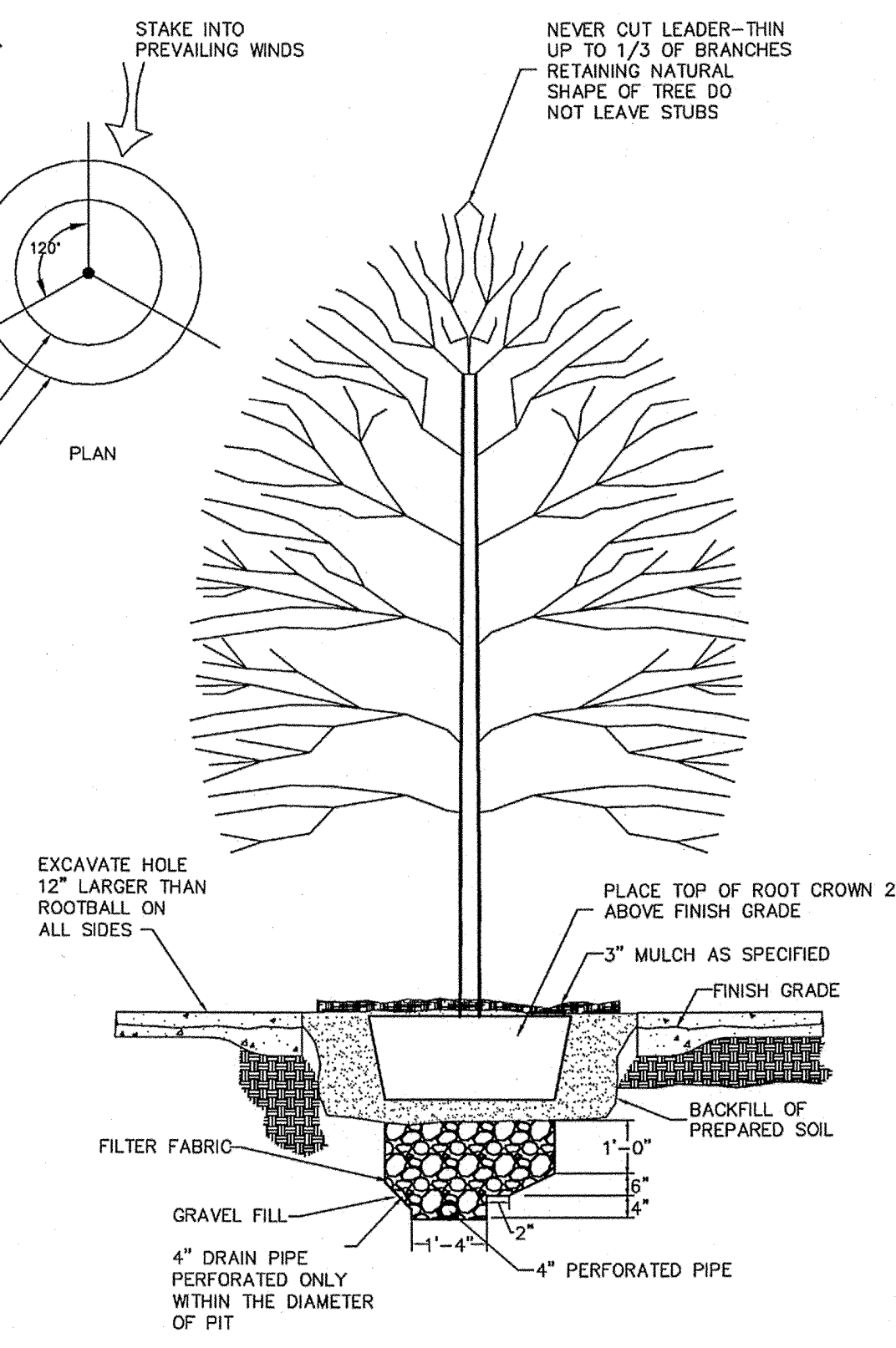
TOWN OF ADDISON  
 DALLAS COUNTY, TEXAS

**DOWDEY, ANDERSON & ASSOCIATES, INC.**  
 5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694

DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
AR	AR	JCR	8/28/06	H: 1"=40' V: 1"=4'	06010	4



- 18" NYLOPLAST DROP-IN GRATE**
1. QUALITY: MATERIAL SHALL CONFORM TO ASTM A536 GRADE 70-50-05.
  2. MATERIAL: DUCTILE IRON.
  3. PAINT: CASTING ARE FURNISHED WITH A BLACK PAINT.
  4. LOCKING DEVICE AVAILABLE UPON REQUEST.
  5. CONTRACTOR TO USE NYLOPLAST OR EQUAL; FOR ORDERING CALL 1-800-821-6710.
- NOTES:  
1) ALL PVC SHALL BE SCHEDULE 40 OR SDR-35



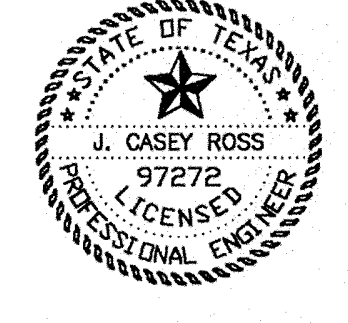
**SUBSURFACE DRAIN SYSTEM DETAIL**  
N.T.S.

**TREE DRAIN PLAN**  
**ASBURY CIRCLE**  
TOWN OF ADDISON  
DALLAS COUNTY, TEXAS

**DOWDEY, ANDERSON & ASSOCIATES, INC.**  
5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694

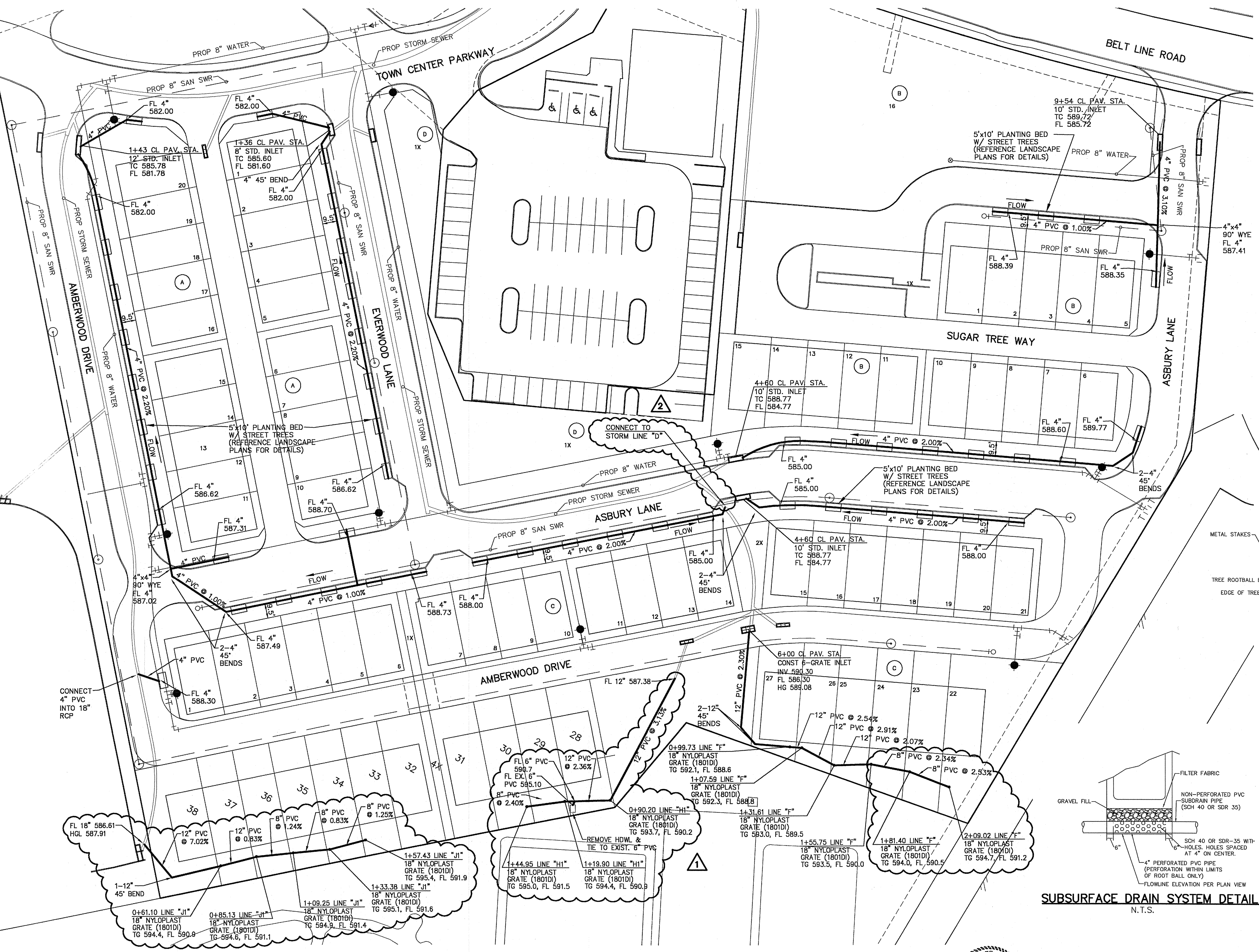
DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
JCR	JCR	JCR	11/15/06	1"=30'	06010	1

NO.	DATE	BY	REVISION
1	1/02/08	JCR	ADDED TREE DRAIN LINES
2	1/21/08	JCR	REVISED CONNECTION LOCATION



THESE CONSTRUCTION PLANS WERE PREPARED UNDER THE RESPONSIBLE SUPERVISION OF J. CASEY ROSS, LICENSED PROFESSIONAL ENGINEER NO. 97272.

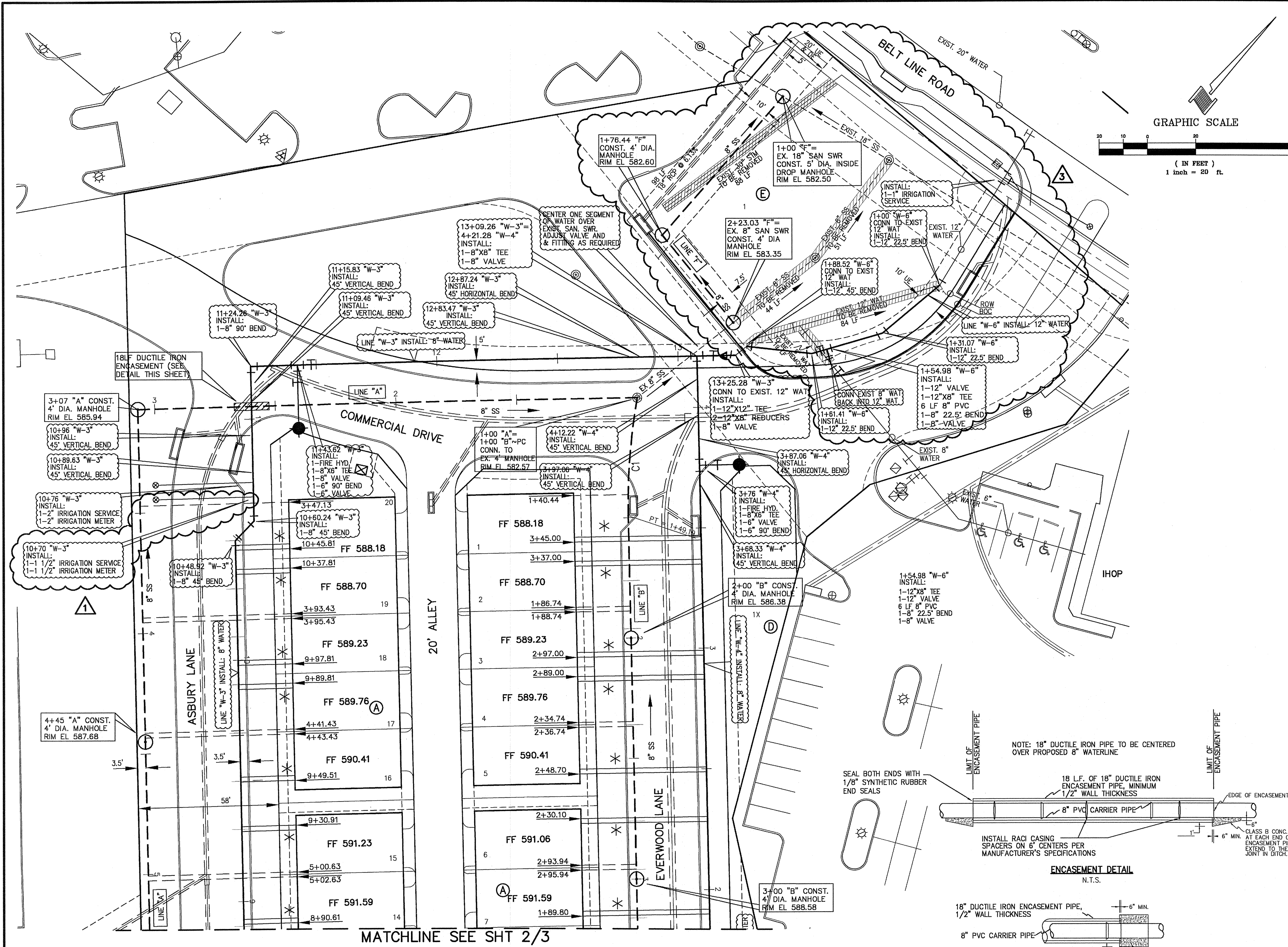
*J. Casey Ross 1/21/08*



**BENCHMARKS:**  
CITY OF ADDISON BENCHMARK NO. 13: SQUARE CUT ON THE BACK OF CURB AT THE CENTER OF AN INLET AT THE SOUTHEAST CORNER OF BELTLINE ROAD AND SURVEYOR BOULEVARD. ELEVATION = 594.94'

CITY OF ADDISON BENCHMARK NO. 18: SQUARE CUT ON COSERV ELECTRIC VAULT AT THE NORTHEAST CORNER OF BELTLINE ROAD AND MIDWAY ROAD. ELEVATION = 627.93'

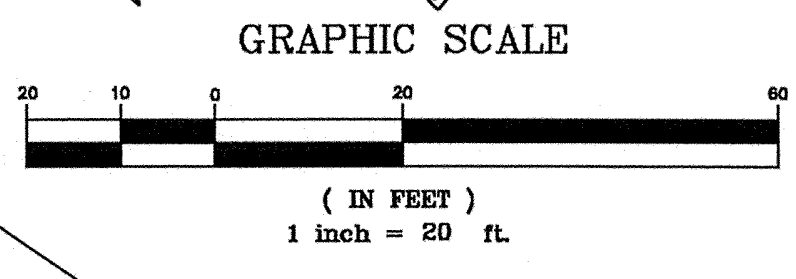




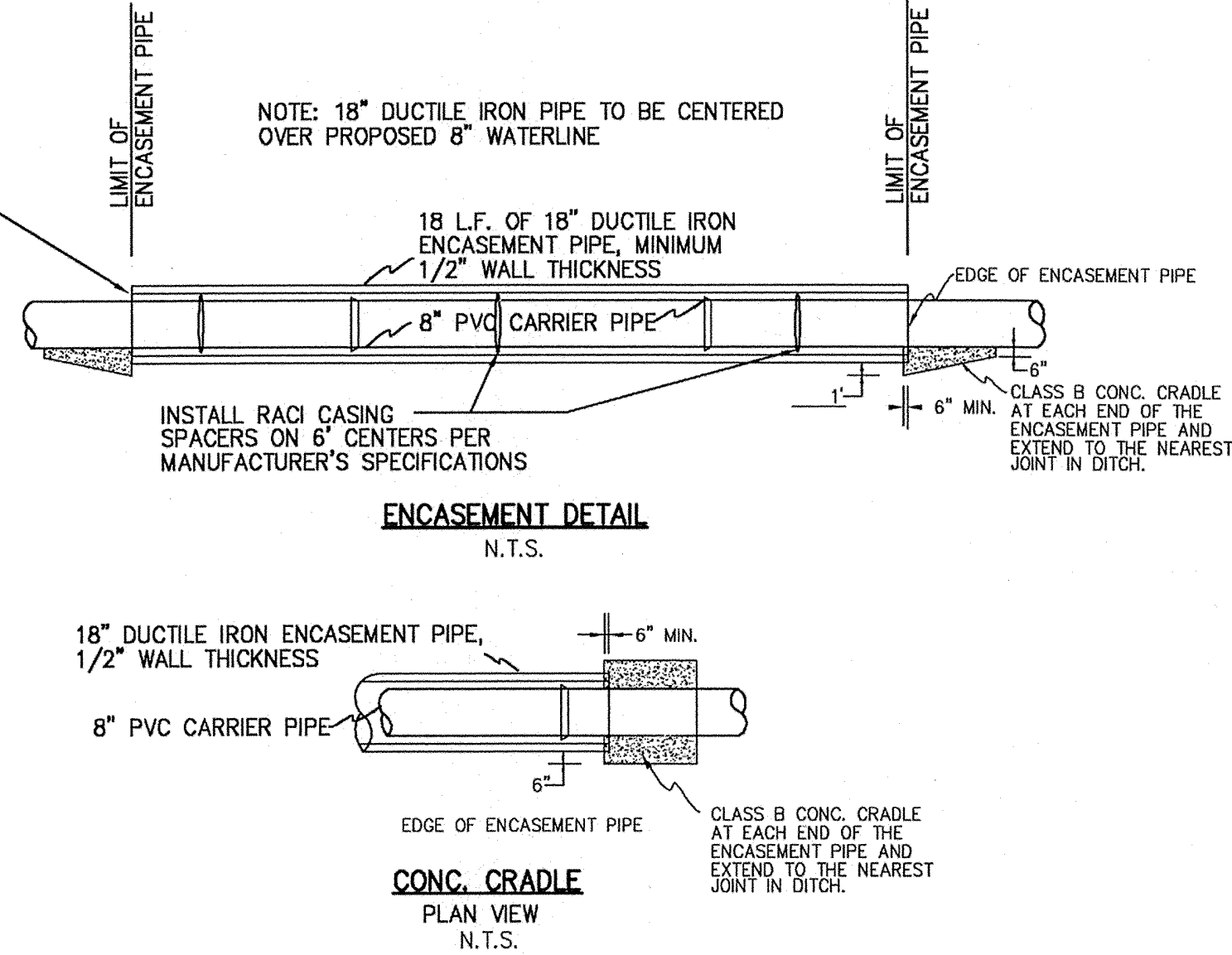
WATER SERVICE SCHEDULE		
TYPE	SIZE	NO.
DOM.	1"	73
FIRE	1.5"	73
IRRIG.	2"	2
IRRIG.	1"	1
IRRIG.	1.5"	1

Legend	
	Prop. San. Sewer
	Prop. Manhole
	Prop. w/wac
	San. Sewer Flow Direction
	Prop. Water
	Prop. Fire Hydrant
	Exist. San. Sewer
	Exist. Manhole
	Exist. Clean-out
	Exist. Water
	Exist. Fire Hydrant
	Fire Water Service
	Electric Transformer

SANITARY SEWER SERVICES		
TYPE	SIZE	NO.
PVC	4"	73



- WATER LINE GENERAL NOTES**
- ALL WORK AND MATERIAL, UNLESS OTHERWISE NOTED, SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR TOWN OF ADDISON.
  - BASE BID MAINS 8" AND LARGER SHALL BE AWWA C-909 CLASS 150, 6" HYDRANT LEADS SHALL BE C-909 CLASS 200, FOR PVC SERVICE TAPPING SADDLES SHALL BE USED.
  - ALL WATER MAINS SHALL HAVE MINIMUM COVER AS FOLLOWS: 6", 8", 10" AND 12": 48" BELOW FINISHED PAVEMENT GRADE OR 60" BELOW EXISTING OR FINISHED GRADE IN UNPAVED AREAS, OR AS REQUIRED TO CLEAR OTHER UTILITIES.
  - EXTEND WATER DEADHEADS AND SANITARY SEWER LATERALS BEYOND PROPOSED CURB AS SHOWN ON THE WATER PLAN.
  - FIRE HYDRANTS TO BE TOWN OF ADDISON APPROVED (MUELLER CENTURION MODEL).
  - VALVES TO BE TOWN OF ADDISON APPROVED.
  - THE WATER METER BOX SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR AFTER THE PAVING CONTRACTOR HAS COMPLETED THE FINE GRADING BEHIND THE BACK OF THE CURB. EACH SERVICE LOCATION WILL BE MARKED ON THE PAVEMENT OR CURB WITH A BLUE DOT BY THE UTILITY CONTRACTOR AND TIED TO PROPERTY CORNERS ON THE "RECORD DRAWING."
  - FIRE HYDRANTS SHALL BE PAINTED AS PER TOWN OF ADDISON STANDARDS AND SPECIFICATIONS AND LOCATED IN A PROTECTED AREA WITH 6" CURB OR BOLLARDS.
  - STEAMER NOZZLES ON FIRE HYDRANTS SHALL BE 18" ABOVE THE TOP OF THE CURB ON FINISHED GRADE, AND SHALL FACE THE CENTER OF THE FIRE LANE OR STREET. FIRE HYDRANTS SHALL USUALLY BE LOCATED FOUR (4) FEET, BUT NOT LESS THAN TWO (2) FEET NOR MORE THAN SIX (6) FEET, BEHIND THE CURB.
  - ALL WATER LINES SHALL BE HYDROSTATICALLY TESTED PER TOWN OF ADDISON STANDARDS AND SPECIFICATIONS.
  - ALL WATER LINES SHALL BE STERILIZED PER TCEQ STANDARDS AND SPECIFICATIONS.
  - ALL METER BOXES SHALL BE LOCATED IN NON-TRAFFIC AREAS AND PROTECTED BY 6" CURB OR BOLLARDS.
  - THE HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING SUBSURFACE UTILITIES HAVE BEEN DETERMINED FROM RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THAT NECESSARY CLEARANCES BETWEEN EXISTING AND PROPOSED UTILITIES EXIST PRIOR TO THE CONSTRUCTION OF ANY SUCH CROSSING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AS TO WHETHER ADDITIONAL FACILITIES EXIST.
  - UTILITY TRENCHES SHALL BE BACKFILLED WITH MATERIAL PER TOWN OF ADDISON SPECIFICATIONS (95% STANDARD PROCTOR DENSITY).
  - ANCHOR FITTING SHALL BE USED TO ATTACH FIRE HYDRANTS.
  - ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, ETC., MUST BE ADJUSTED TO PROPER LINE AND GRADE BY CONTRACTOR PRIOR TO PLACEMENT OF PERMANENT PAVING.
  - A NO. 12 PLASTIC COATED WIRE SHALL BE PLACED IN THE TRENCH OVER ALL WATER LINES. THE WIRE SHALL BE TIED TO ALL VALVES AND FIRE HYDRANTS AND ATTACHED DIRECTLY TO THE TOP OF THE PIPE AND EXTENDED TO SIX INCHES ABOVE FINISHED GRADE ALONG THE OUTSIDE OF ALL VALVE STACKS AND FIRE HYDRANTS.
  - ALL LOCATION DIMENSIONS SHOWN ARE CENTERLINE OF PIPE.
  - CONTRACTOR SHALL KEEP WATER AND ELECTRICAL SERVICES TO THE EXISTING LANDSCAPE MEDIANS IN SERVICE AT ALL TIMES DURING CONSTRUCTION. IF THE CONSTRUCTION OF THE PROJECT REQUIRES THE RELOCATION OF EXISTING CITY LANDSCAPE FACILITIES INCLUDING METERS, VALVES, LINES, ETC., THIS WORK WILL BE COMPLETED BY A LICENSED IRRIGATION AND/OR ELECTRICIAN AT THE CONTRACTOR'S EXPENSE.
  - ALL VALVES DEEPER THAN FOUR FEET REQUIRE EXTENSION RODS TO BRING OPERATING NUT TO WITHIN FOUR FEET OF SURFACE.
  - ALL FITTINGS SHALL HAVE EBAA PV 2000 RESTRAINING GLAND OR APPROVED EQUAL.
  - A DOUBLE CLEANOUT SHALL BE INSTALLED AT THE RIGHT-OF-WAY LINE OF ALL SANITARY SEWER SERVICES.
  - WATER SERVICE TO THE EXISTING IHOP SHALL REMAIN ON AT ALL TIMES.



CURVE TABLE				
CURVE	DELTA	RADIUS	TANGENT LENGTH	CHORD
C1	11°16'25"	250.00'	24.67'	49.19'
C2	16°04'22"	250.00'	35.30'	70.13'
C3	16°04'22"	250.00'	35.30'	70.13'

**BENCHMARKS:**  
 CITY OF ADDISON BENCHMARK NO. 13: SQUARE CUT ON THE BACK OF CURB AT THE CENTER OF AN INLET AT THE SOUTHEAST CORNER OF BELTLINE ROAD AND SURVEYOR BOULEVARD. ELEVATION = 594.94'  
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*John Ross 3/19/08*



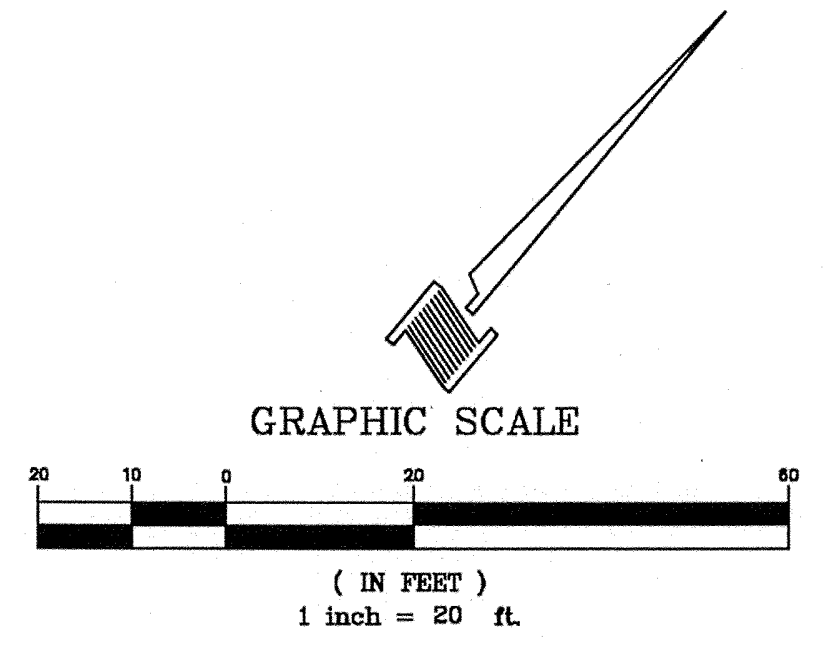
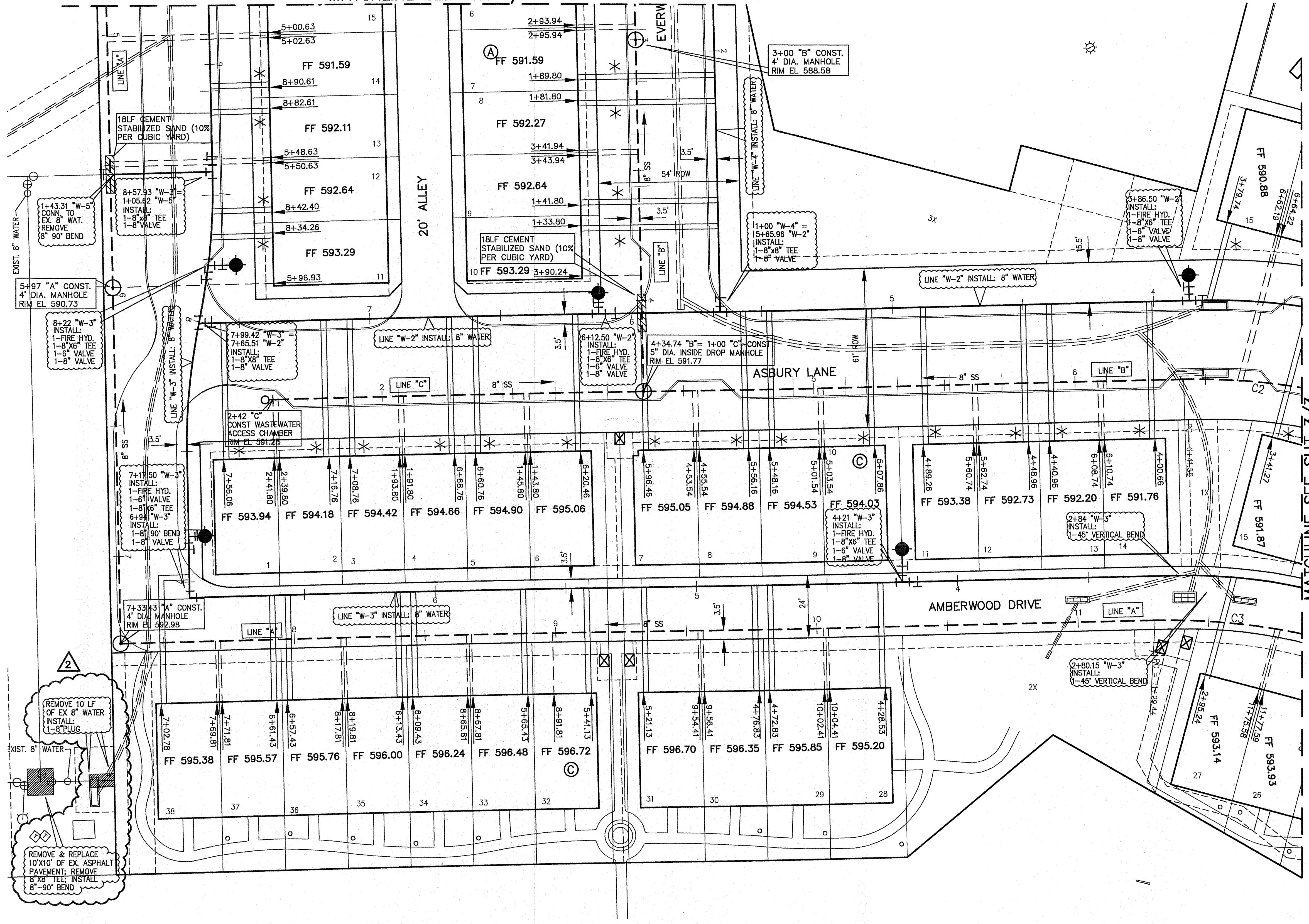
NO.	DATE	BY	REVISION
1	1/02/08	JCR	ADDED 1-1/2" WATER SERVICE
2	1/24/08	JCR	REVISED FIRE SERVICES TO 1.5"
3	3/13/08	JCR	REVISED WATER & SAN SEWER

**WATER & SANITARY SEWER PLAN**  
**ASBURY CIRCLE**  
 TOWN OF ADDISON  
 DALLAS COUNTY, TEXAS

**DOWDEY, ANDERSON & ASSOCIATES, INC.**  
 5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694

DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
TMD	TMD	JCR	10/13/2006	1" = 20'	06010	1

MATCHLINE SEE SHT 1/3



**WATER SERVICE SCHEDULE**

TYPE	SIZE	NO.
DOM.	1"	73
FIRE	1.5"	73
IRRIG.	2"	2
IRRIG.	1"	1
IRRIG.	1.5"	1

**Legend**

- Prop San. Sewer
- Prop Manhole
- Prop wvac
- San Sewer Flow Direction
- Prop Water
- Prop Fire Hydrant
- Exist. San. Sewer
- Exist. Manhole
- Exist. Clean-out
- Exist. Water
- Exist. Fire Hydrant
- Fire Water Service
- Electric Transformer

**SANITARY SEWER SERVICES**

TYPE	SIZE	NO.
PVC	4"	73

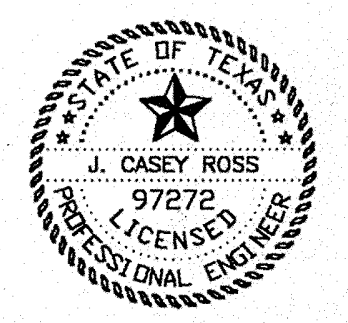
**CURVE TABLE**

CURVE	DELTA	RADIUS	TANGENT	LENGTH	CHORD
C1	11°16'25"	250.00'	24.67'	49.19'	S35°34'52"E 49.11'
C2	16°04'22"	250.00'	35.30'	70.13'	S56°49'06"W 69.90'
C3	16°04'22"	250.00'	35.30'	70.13'	S56°49'06"W 69.90'

**BENCHMARKS:**  
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 ELEVATION = 627.93'

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 CASEY ROSS, LICENSED PROFESSIONAL ENGINEER  
 NO. 97272  
*J. Casey Ross 2/8/08*



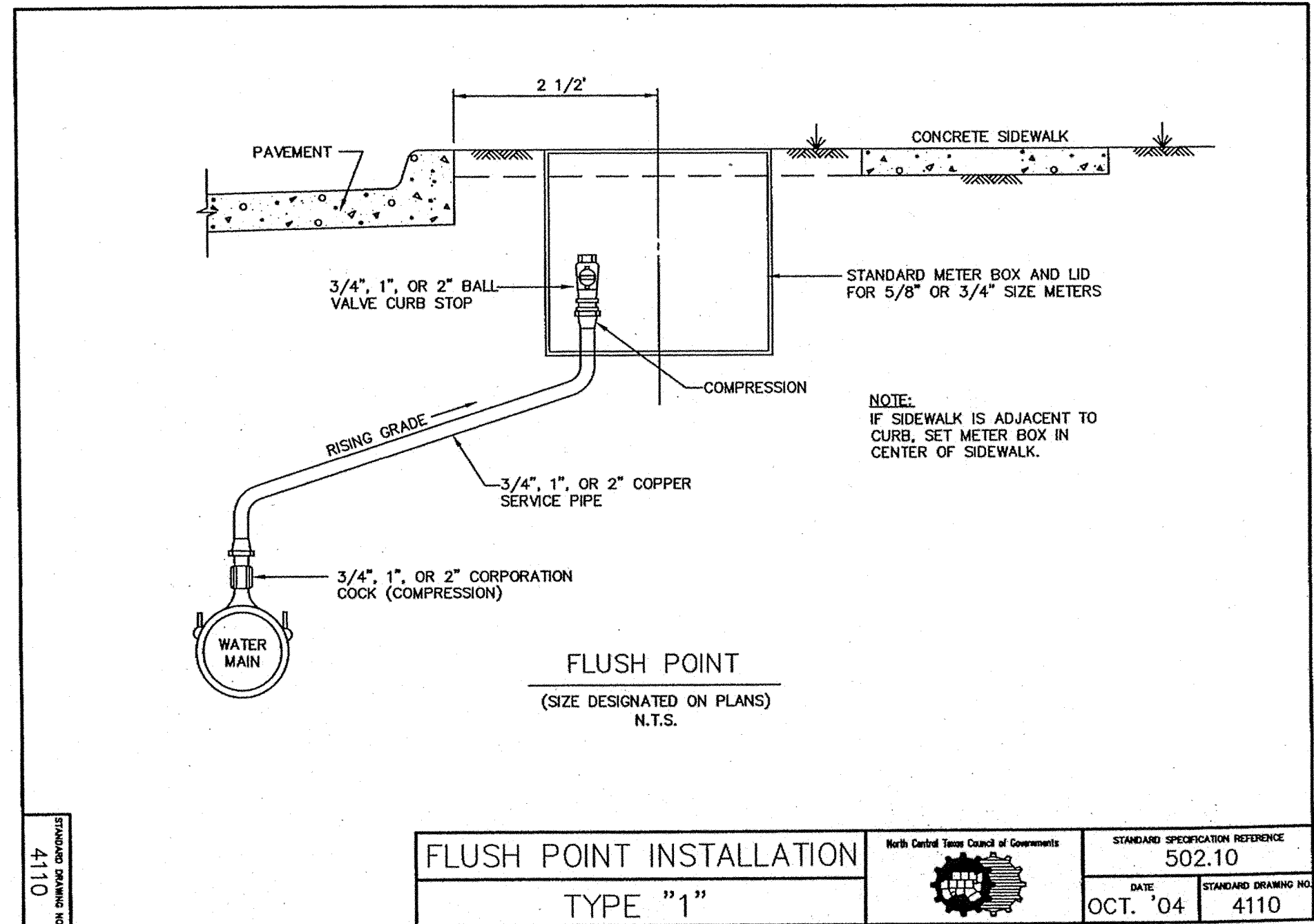
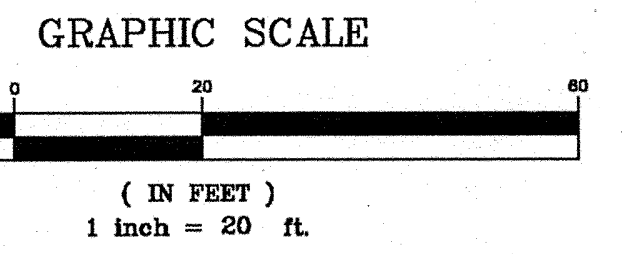
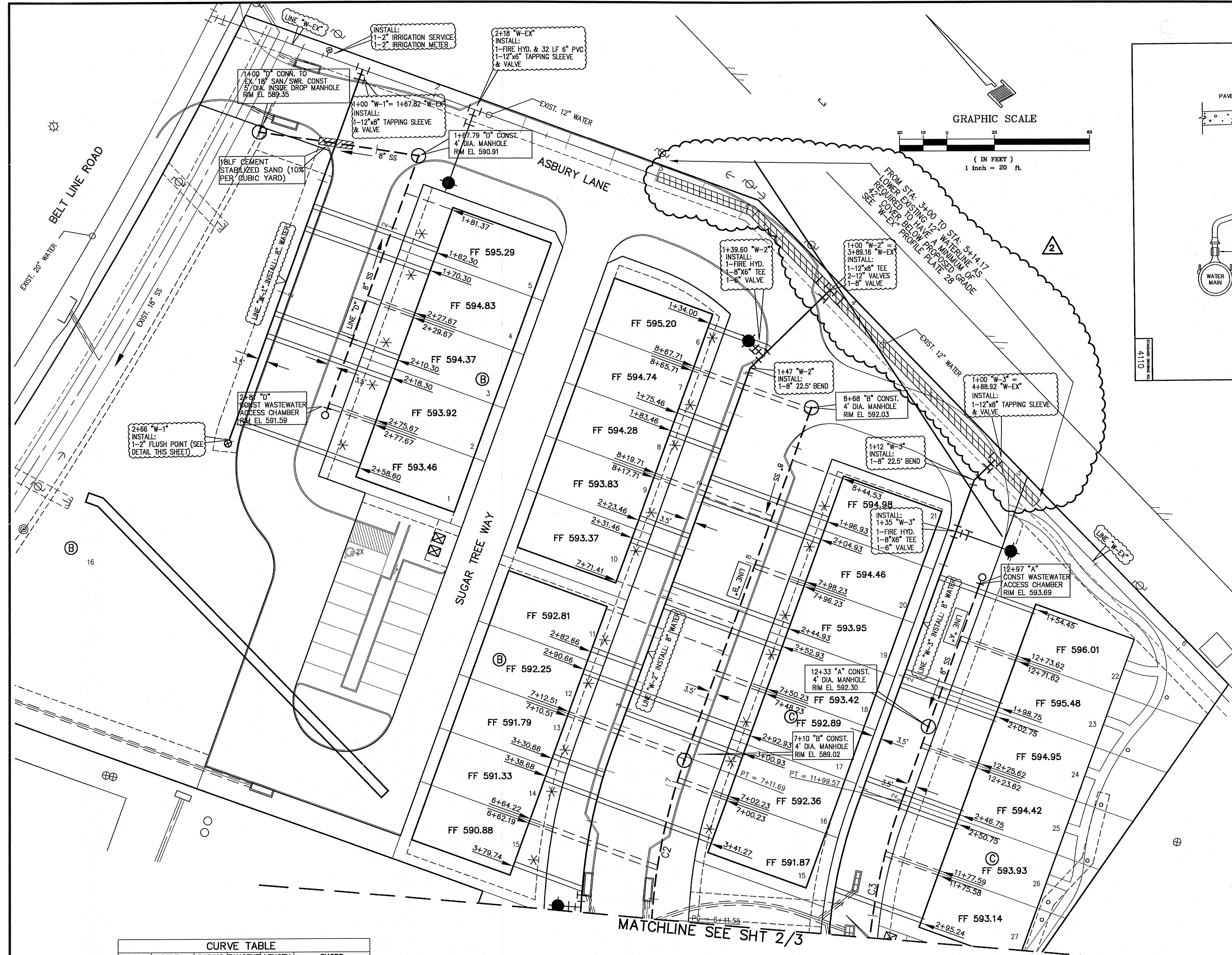
NO.	DATE	BY	REVISION
1	1/24/08	JCR	REVISED FIRE SERVICES TO 1.5"
2	2/08/08	JCR	ADDED REMOVAL OF EXISTING 8" WATER LINE

**WATER & SANITARY SEWER PLAN**  
**ASBURY CIRCLE**  
 TOWN OF ADDISON  
 DALLAS COUNTY, TEXAS

**DOWDEY, ANDERSON & ASSOCIATES, INC.**  
 5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694

DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
TMD	TMD	JCR	10/13/2006	1" = 20'	06010	2

DOWDEY, ANDERSON & ASSOCIATES, INC.



FLUSH POINT INSTALLATION		STANDARD SPECIFICATION REFERENCE
TYPE "1"		502.10
		DATE: OCT. '04
		EDWARD GRAMM JR.
		4110

**Legend**

- Prop San. Sewer
- Prop Manhole
- Prop wvac
- San Sewer Flow Direction
- Prop Water
- Prop Fire Hydrant
- - - - - Exist. San. Sewer
- - - - - Exist. Manhole
- - - - - Exist. Clean-out
- - - - - Exist. Water
- - - - - Exist. Fire Hydrant
- \* Fire Water Service
- ⊠ Electric Transformer

**WATER SERVICE SCHEDULE**

TYPE	SIZE	NO.
DOM.	1"	73
FIRE	1.5"	73
IRRIG.	2"	2
IRRIG.	1"	1
IRRIG.	1.5"	1

**SANITARY SEWER SERVICES**

TYPE	SIZE	NO.
PVC	4"	73

**CURVE TABLE**

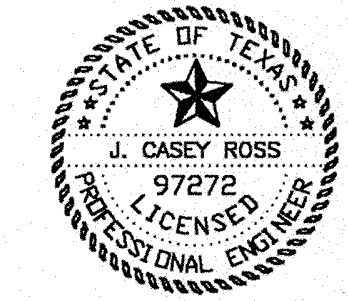
CURVE	DELTA	RADIUS	TANGENT LENGTH	CHORD
C1	111°22'	250.00'	24.67'	48.19'
C2	163°42'	250.00'	35.30'	70.13'
C3	163°42'	250.00'	35.30'	70.13'

**BENCHMARKS:**  
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 ELEVATION = 594.94'

CITY OF ADDISON BENCHMARK NO. 18:  
 SQUARE CUT ON COSERV ELECTRIC VAULT AT THE NORTHEAST  
 CORNER OF BELTLINE ROAD AND MIDWAY ROAD.  
 ELEVATION = 627.93'

THESE CONSTRUCTION PLANS WERE PREPARED  
 UNDER THE RESPONSIBLE SUPERVISION OF J.  
 CASEY ROSS, LICENSED PROFESSIONAL ENGINEER  
 NO. 97272

*J. Casey Ross 2/9/08*

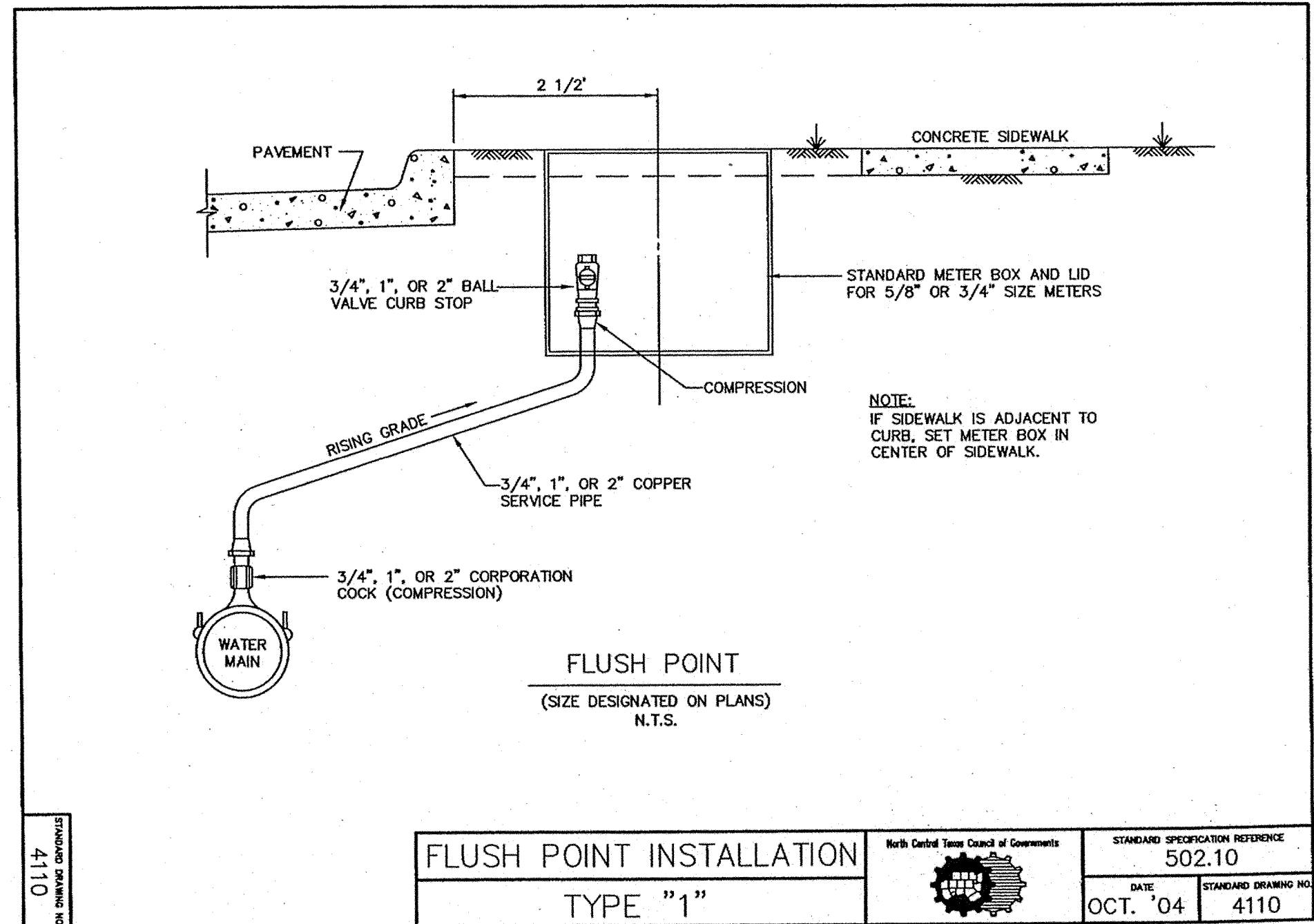
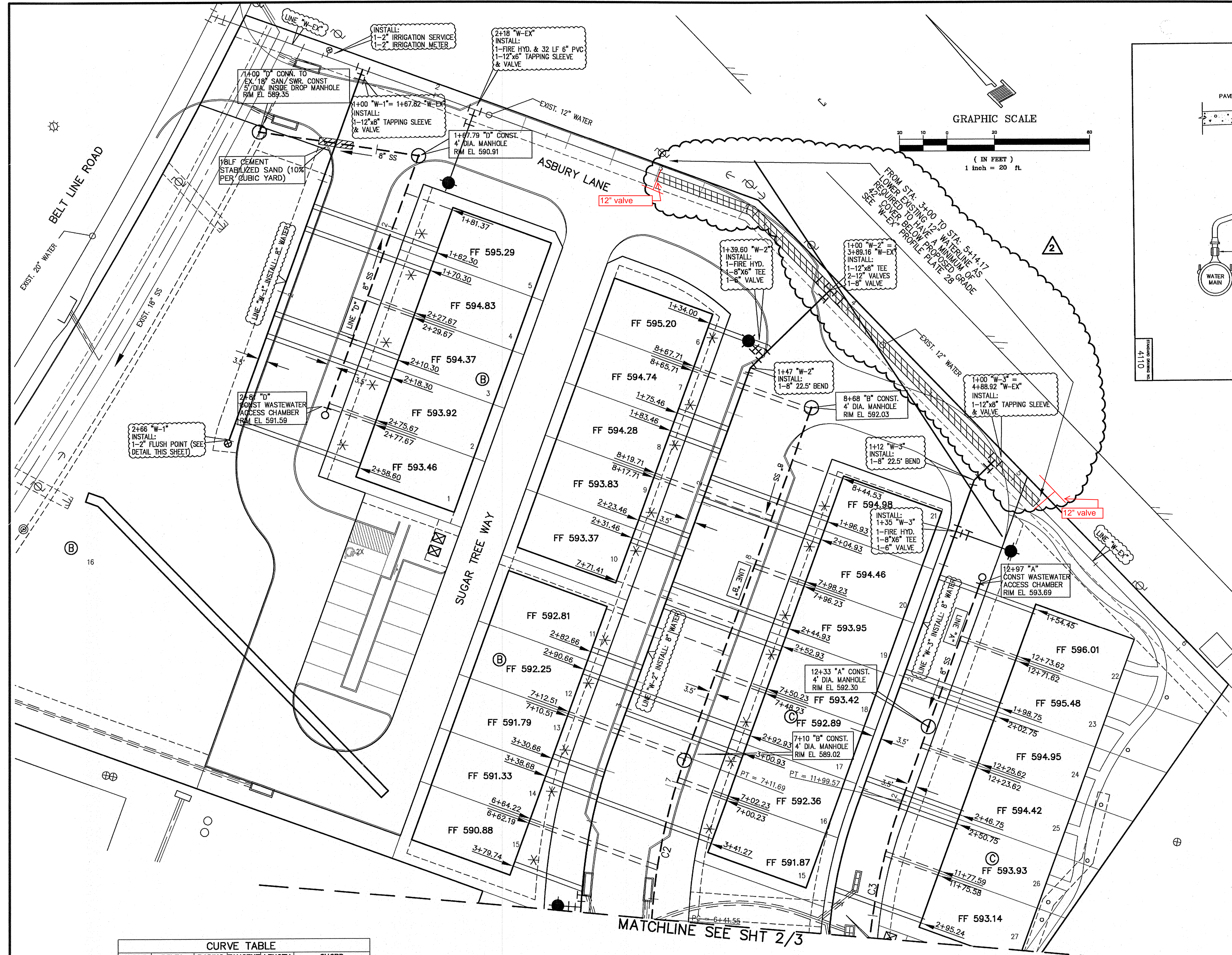


NO.	DATE	BY	REVISION
1	1/24/08	JCR	REVISED FIRE SERVICES TO 1.5"
2	2/04/08	JCR	ADDED WATER LINE LOWERING

**WATER & SANITARY SEWER PLAN**  
**ASBURY CIRCLE**  
 TOWN OF ADDISON  
 DALLAS COUNTY, TEXAS

**DOWDEY, ANDERSON & ASSOCIATES, INC.**  
 5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694

DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
TMD	TMD	JCR	10/13/2006	1" = 20'	06010	3



FLUSH POINT INSTALLATION		STANDARD SPECIFICATION REFERENCE
TYPE "1"		502.10
DATE	EDWARD GRAYNO, INC.	
OCT. '04	4110	

Legend	
	Prop San. Sewer
	Prop Manhole
	Prop wvac
	San Sewer Flow Direction
	Prop Water
	Prop Fire Hydrant
	Exist. San. Sewer
	Exist. Manhole
	Exist. Clean-out
	Exist. Water
	Exist. Fire Hydrant
	Fire Water Service
	Electric Transformer

WATER SERVICE SCHEDULE		
TYPE	SIZE	NO.
DOM.	1"	73
FIRE	1.5"	73
IRRIG.	2"	2
IRRIG.	1"	1
IRRIG.	1.5"	1

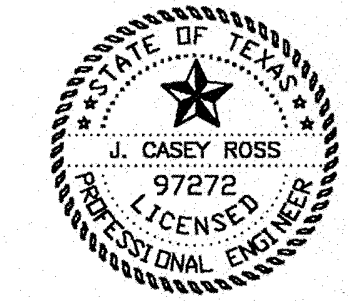
SANITARY SEWER SERVICES		
TYPE	SIZE	NO.
PVC	4"	73

CURVE TABLE				
CURVE	DELTA	RADIUS	TANGENT LENGTH	CHORD
C1	111°22'	250.00'	24.67'	49.19'
C2	163°42'	250.00'	35.30'	70.13'
C3	163°42'	250.00'	35.30'	70.13'

**BENCHMARKS:**  
 CITY OF ADDISON BENCHMARK NO. 13:  
 SQUARE CUT ON THE BACK OF CURB AT THE CENTER OF AN  
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 CASEY ROSS, LICENSED PROFESSIONAL ENGINEER  
 NO. 97272

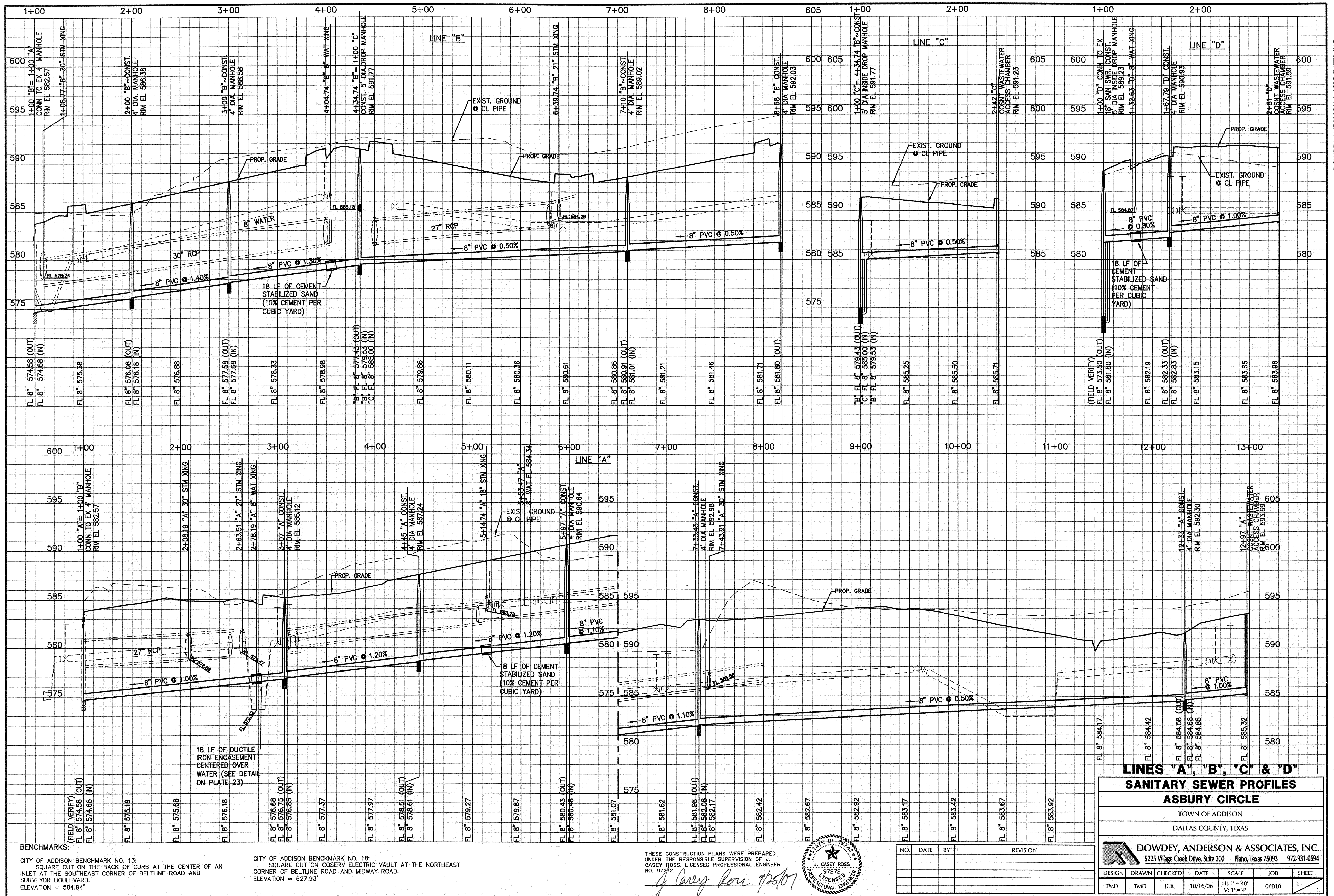


NO.	DATE	BY	REVISION
1	1/24/08	JCR	REVISED FIRE SERVICES TO 1.5"
2	2/04/08	JCR	ADDED WATER LINE LOWERING

**WATER & SANITARY SEWER PLAN**  
**ASBURY CIRCLE**  
 TOWN OF ADDISON  
 DALLAS COUNTY, TEXAS

**DOWDEY, ANDERSON & ASSOCIATES, INC.**  
 5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694

DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
TMD	TMD	JCR	10/13/2006	1" = 20'	06010	3



**LINES 'A', 'B', 'C' & 'D'**

**SANITARY SEWER PROFILES**

**ASBURY CIRCLE**

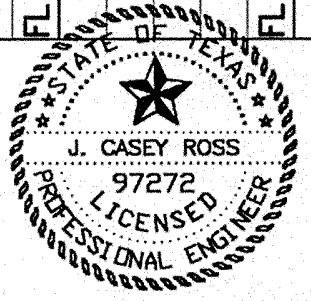
TOWN OF ADDISON

DALLAS COUNTY, TEXAS

**DOWDEY, ANDERSON & ASSOCIATES, INC.**  
 5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694

DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
TMD	TMD	JCR	10/16/06	H: 1" = 40' V: 1" = 4'	06010	1

NO.	DATE	BY	REVISION

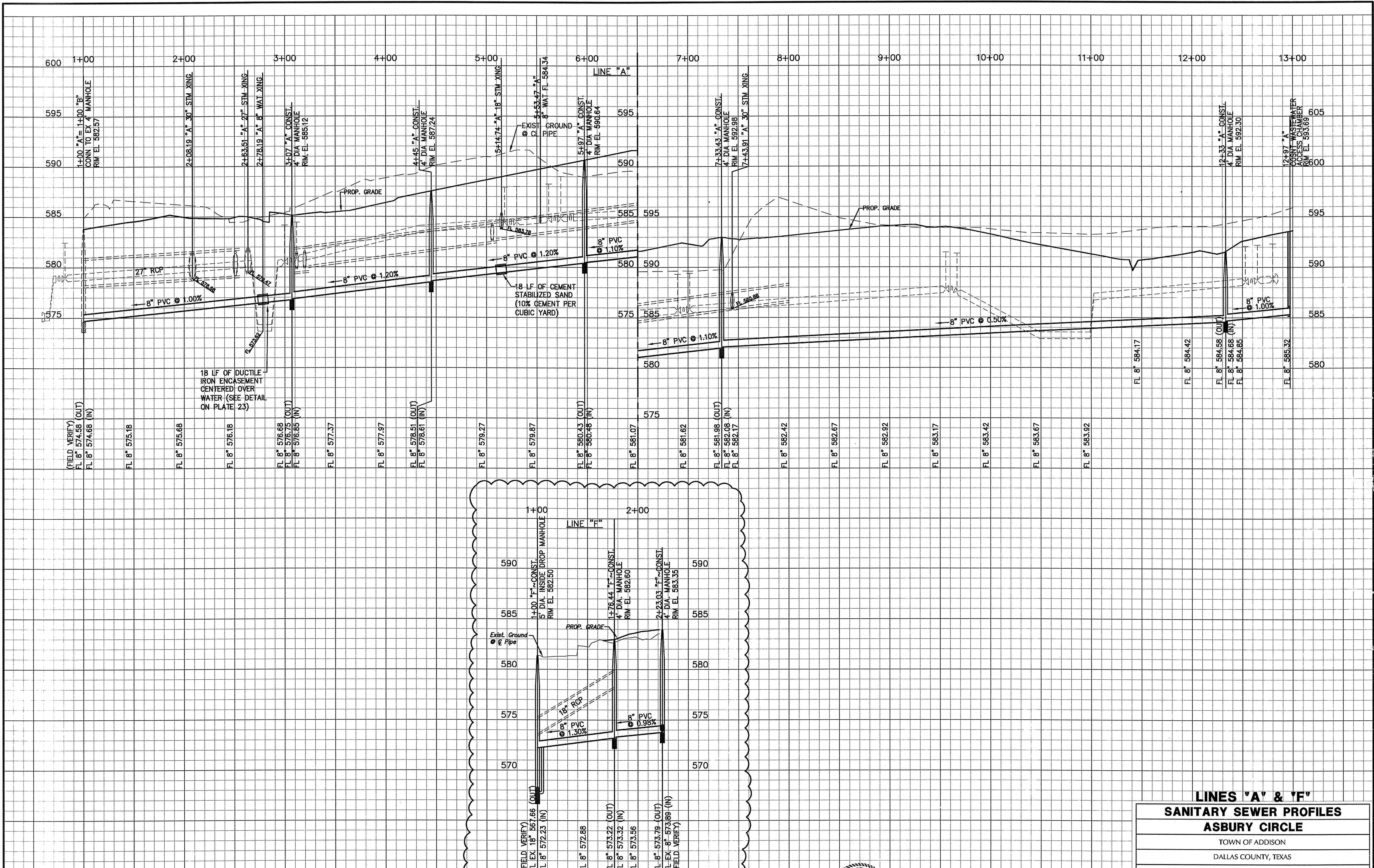


THESE CONSTRUCTION PLANS WERE PREPARED UNDER THE RESPONSIBLE SUPERVISION OF J. CASEY ROSS, LICENSED PROFESSIONAL ENGINEER NO. 97276.

*J. Casey Ross 9/25/10*

**BENCHMARKS:**  
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CITY OF ADDISON BENCHMARK NO. 18: SQUARE CUT ON COSERV ELECTRIC VAULT AT THE NORTHEAST CORNER OF BELTLINE ROAD AND MIDWAY ROAD. ELEVATION = 627.93'

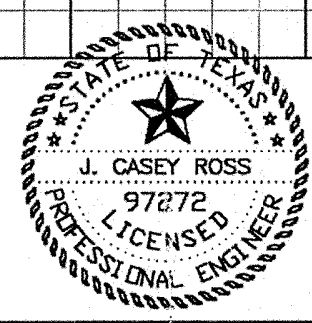


**BENCHMARKS:**  
 CITY OF ADDISON BENCHMARK NO. 13:  
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 CASEY ROSS, LICENSED PROFESSIONAL ENGINEER  
 NO. 97272.

*J. Casey Ross 3/19/08*



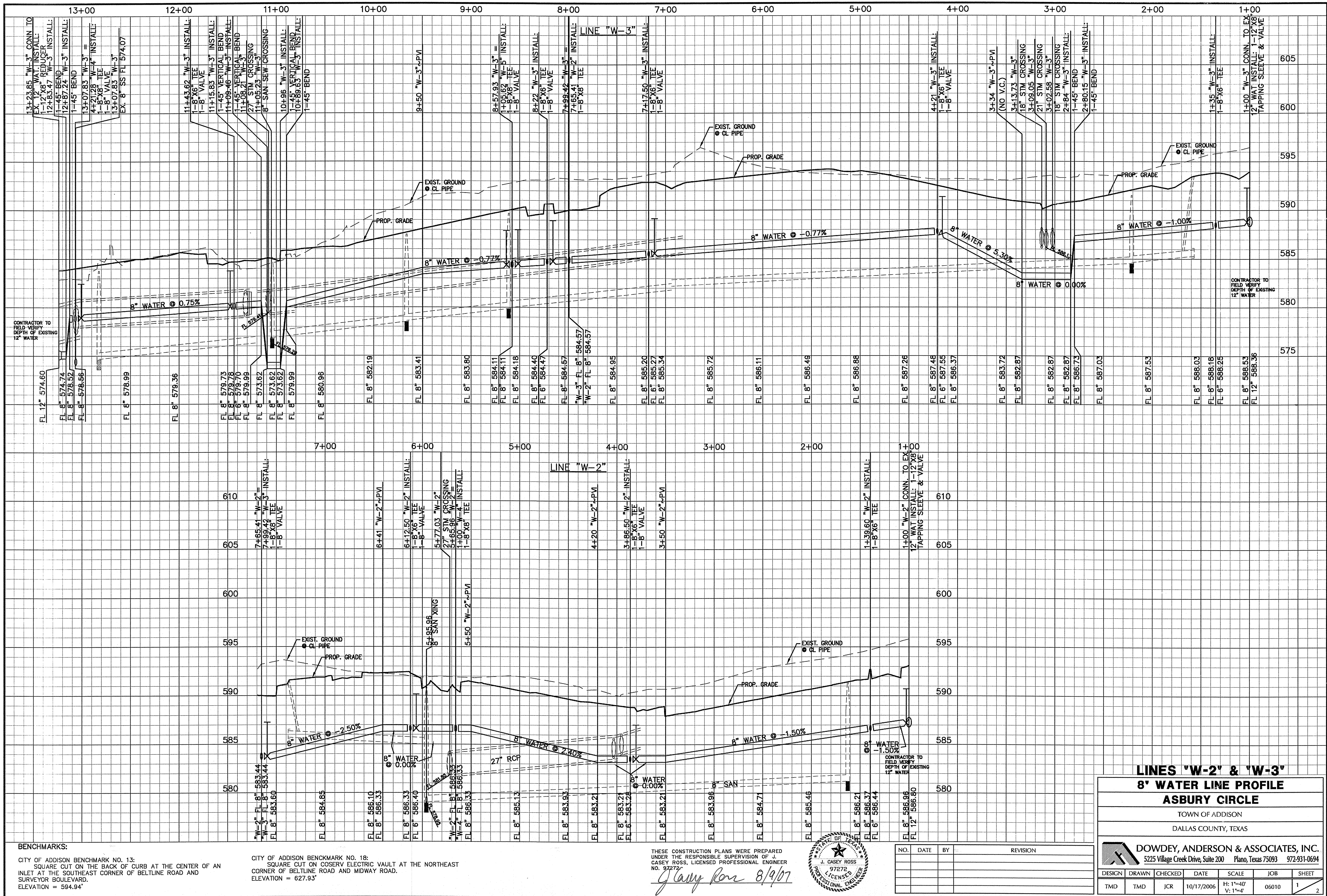
NO.	DATE	BY	REVISION
1	3/12/08	JCR	ADDED SAN LINE "F"

**LINES "A" & "F"**  
**SANITARY SEWER PROFILES**  
**ASBURY CIRCLE**

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 DALLAS COUNTY, TEXAS

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 5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694

DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
TMD	TMD	JCR	10/16/06	H: 1" = 40' V: 1" = 4'	06010	1 / 1



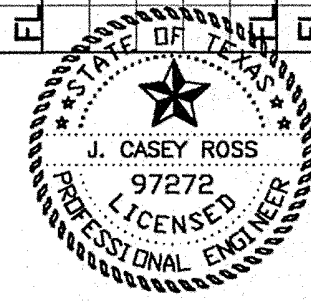
**BENCHMARKS:**

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 J. CASEY ROSS, LICENSED PROFESSIONAL ENGINEER  
 NO. 97272

*J. Casey Ross* 8/9/07



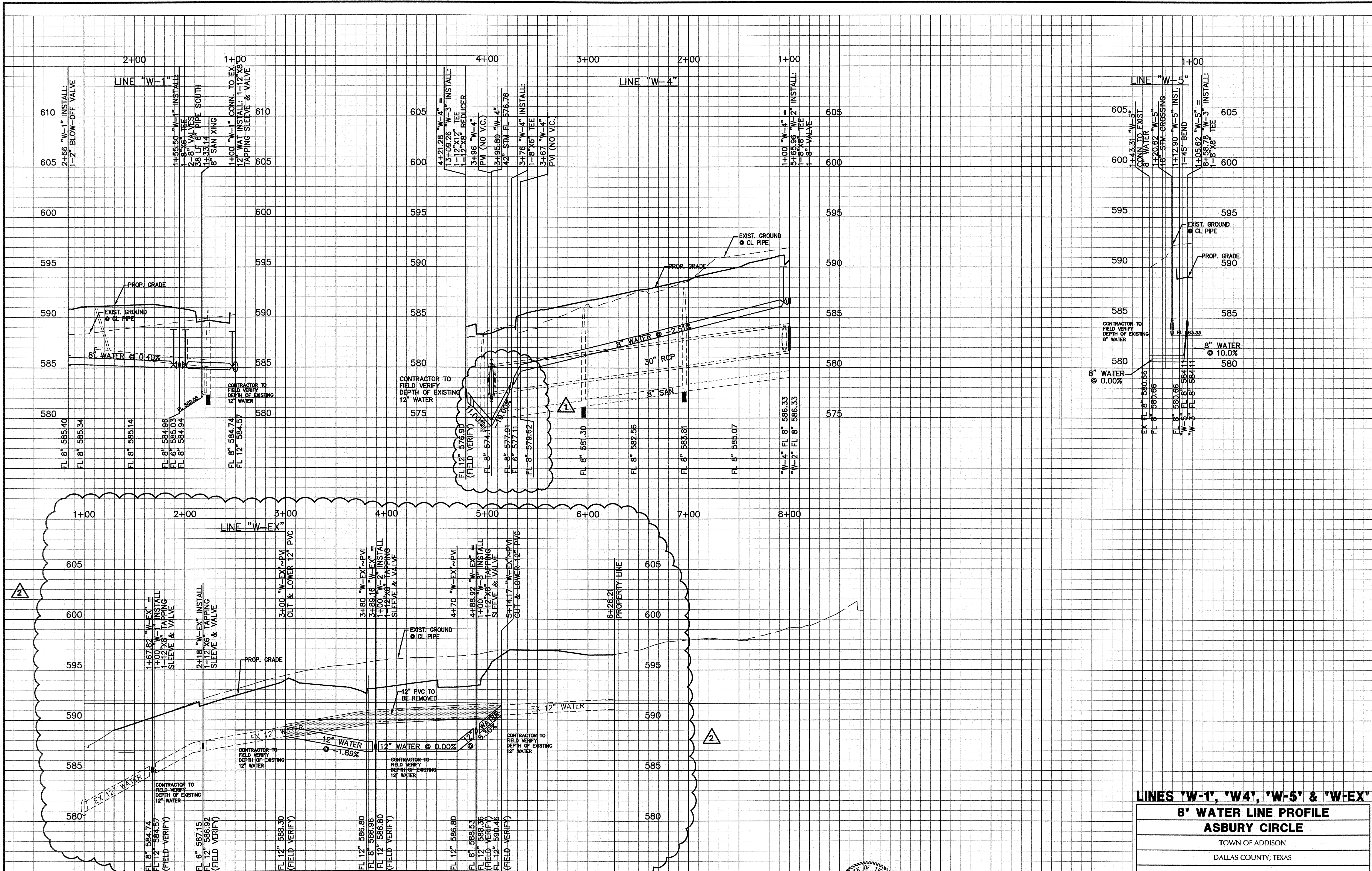
**LINES 'W-2' & 'W-3'**  
**8" WATER LINE PROFILE**  
**ASBURY CIRCLE**

TOWN OF ADDISON  
 DALLAS COUNTY, TEXAS

**DOWDEY, ANDERSON & ASSOCIATES, INC.**  
 5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694

NO.	DATE	BY	REVISION

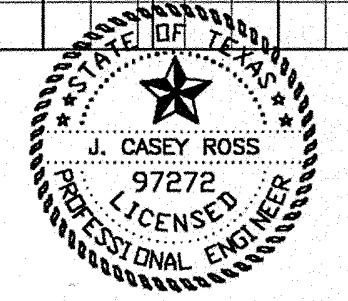
DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
TMD	TMD	JCR	10/17/2006	H: 1"=40' V: 1"=4'	06010	1 / 2



**BENCHMARKS:**  
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 CASEY ROSS, LICENSED PROFESSIONAL ENGINEER  
 NO. 97272.  
*J. Casey Ross 2/6/08*



NO.	DATE	BY	REVISION
1	10/15/07	JCR	REVISED WATER CONNECTION
2	02/01/08	JCR	ADDED EXISTING 12" WATER LINE PROFILE

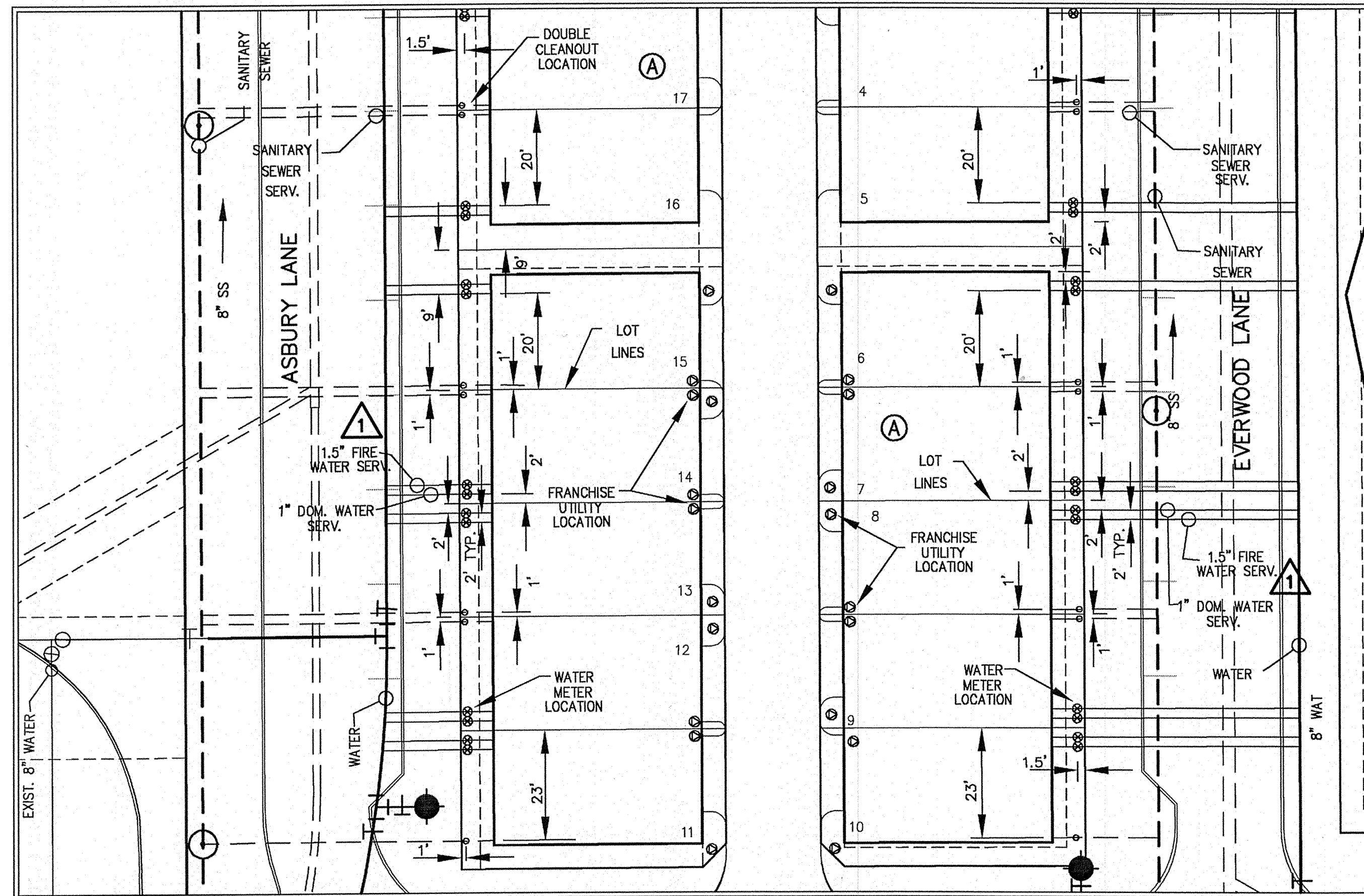
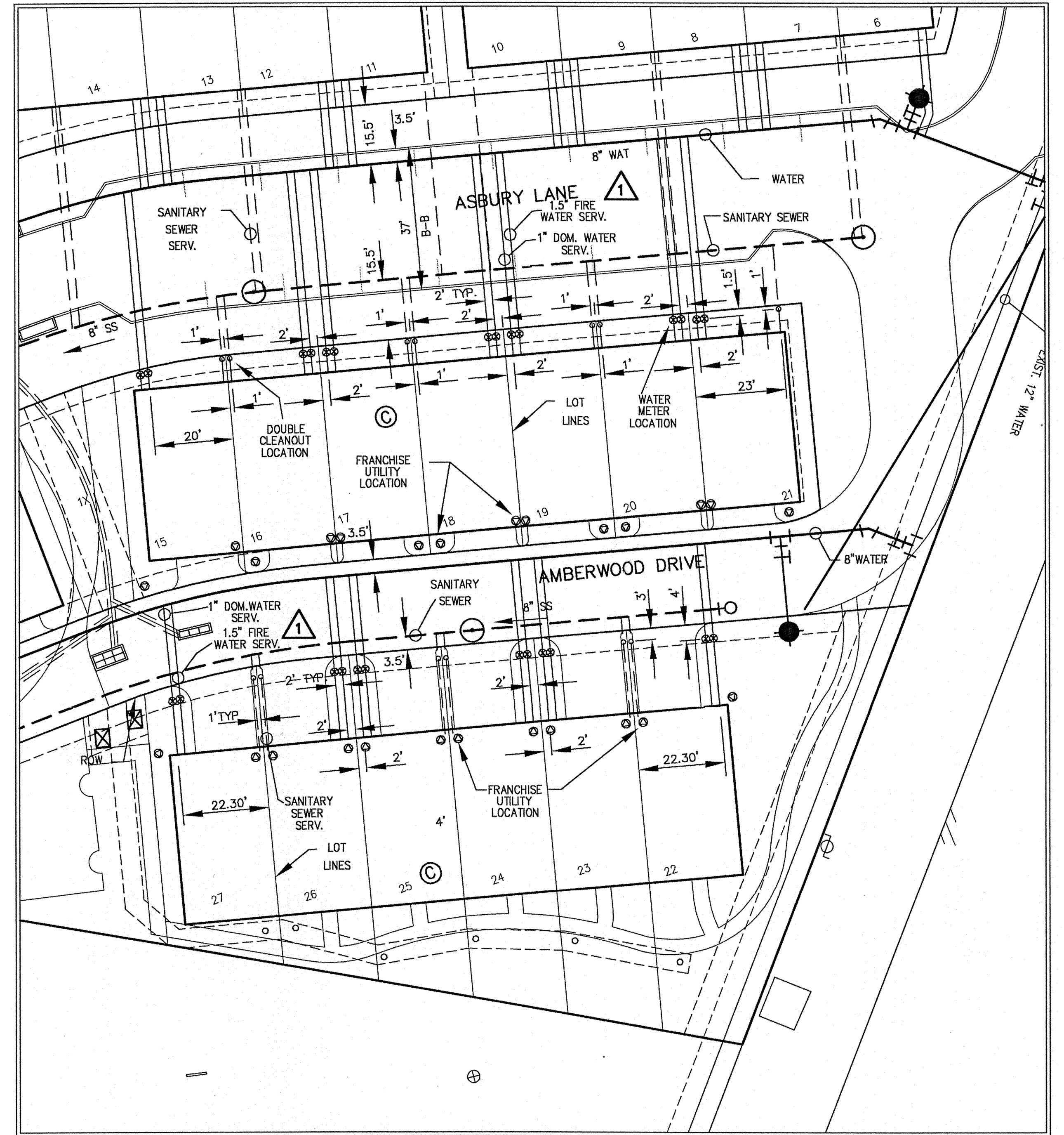
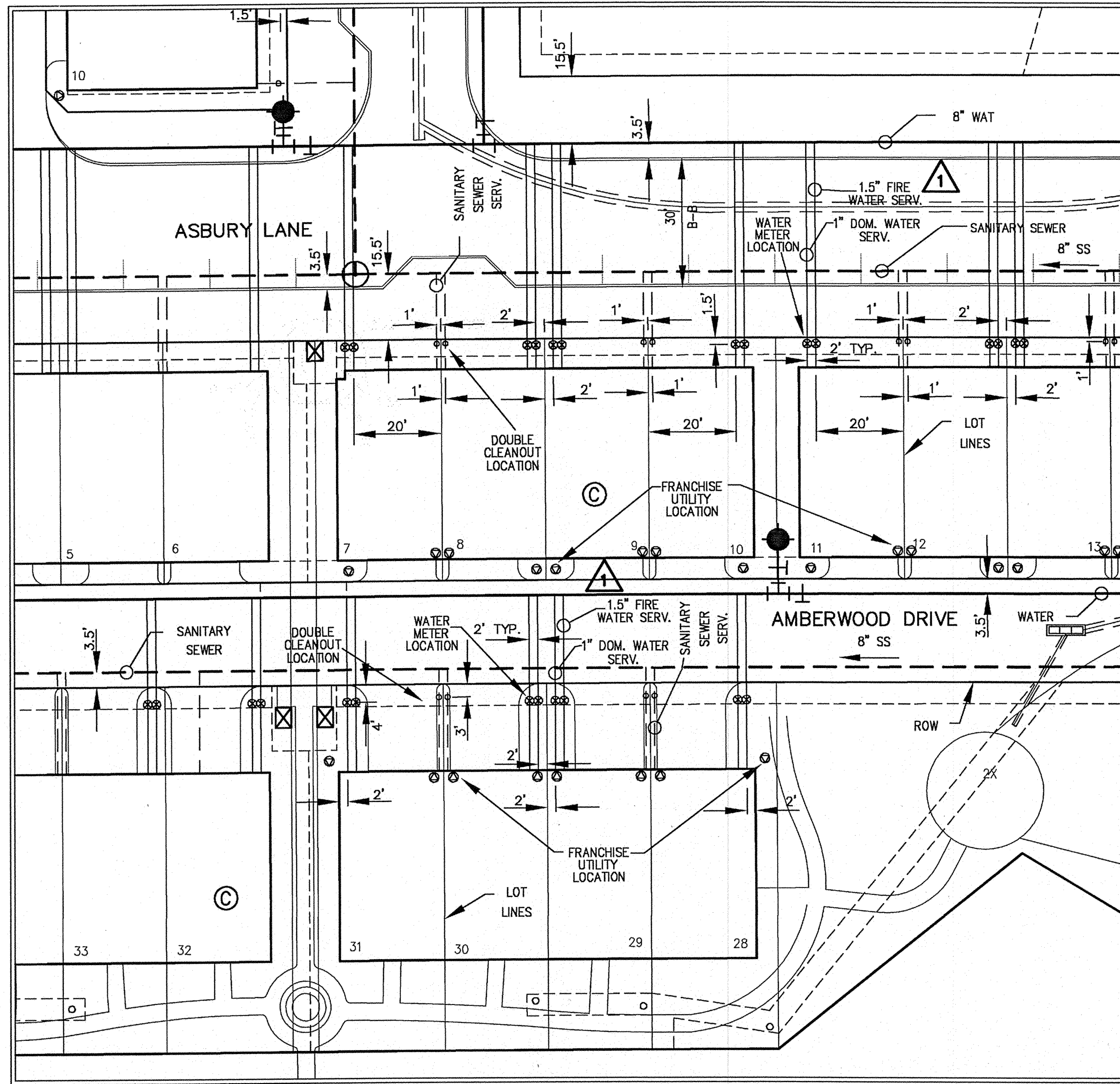
**LINES 'W-1', 'W-4', 'W-5' & 'W-EX'**  
**8" WATER LINE PROFILE**  
**ASBURY CIRCLE**  
 TOWN OF ADDISON  
 DALLAS COUNTY, TEXAS

**DOWDEY, ANDERSON & ASSOCIATES, INC.**  
 5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694

DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
TMD	TMD	JCR	10/17/2006	H: 1"=40' V: 1"=4'	06010	2 / 2



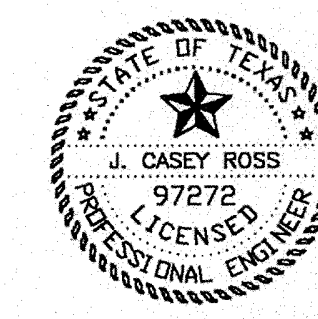
X:\Projects\LD00610\dwg\18010\MS.dwg, UTIL\_4/30/2008 4:39:28 PM, cras, Dowdey, Anderson & Associates, Inc., JCR



- NOTE:
1. ALL CLEANOUTS MUST BE CAST IRON IF LOCATED IN PAVEMENT
  2. NO WATER METERS PERMITTED IN PAVEMENT

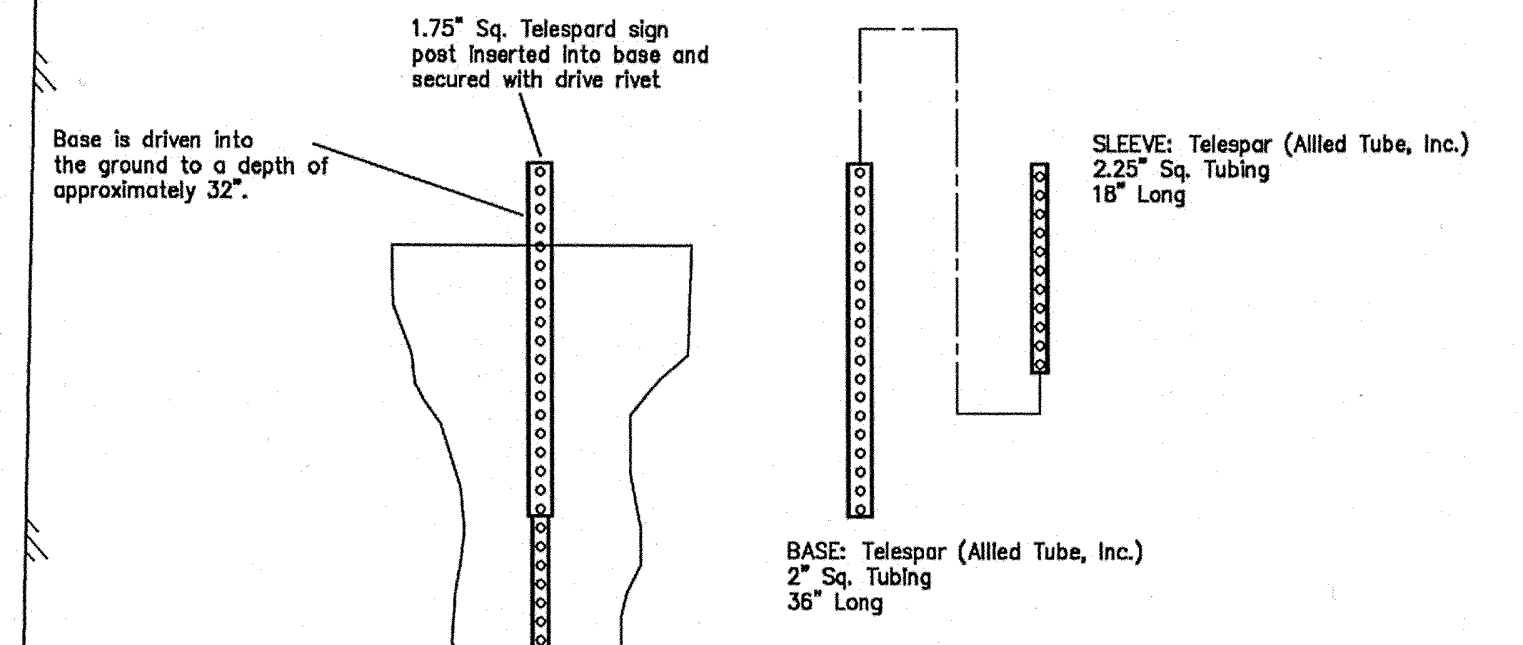
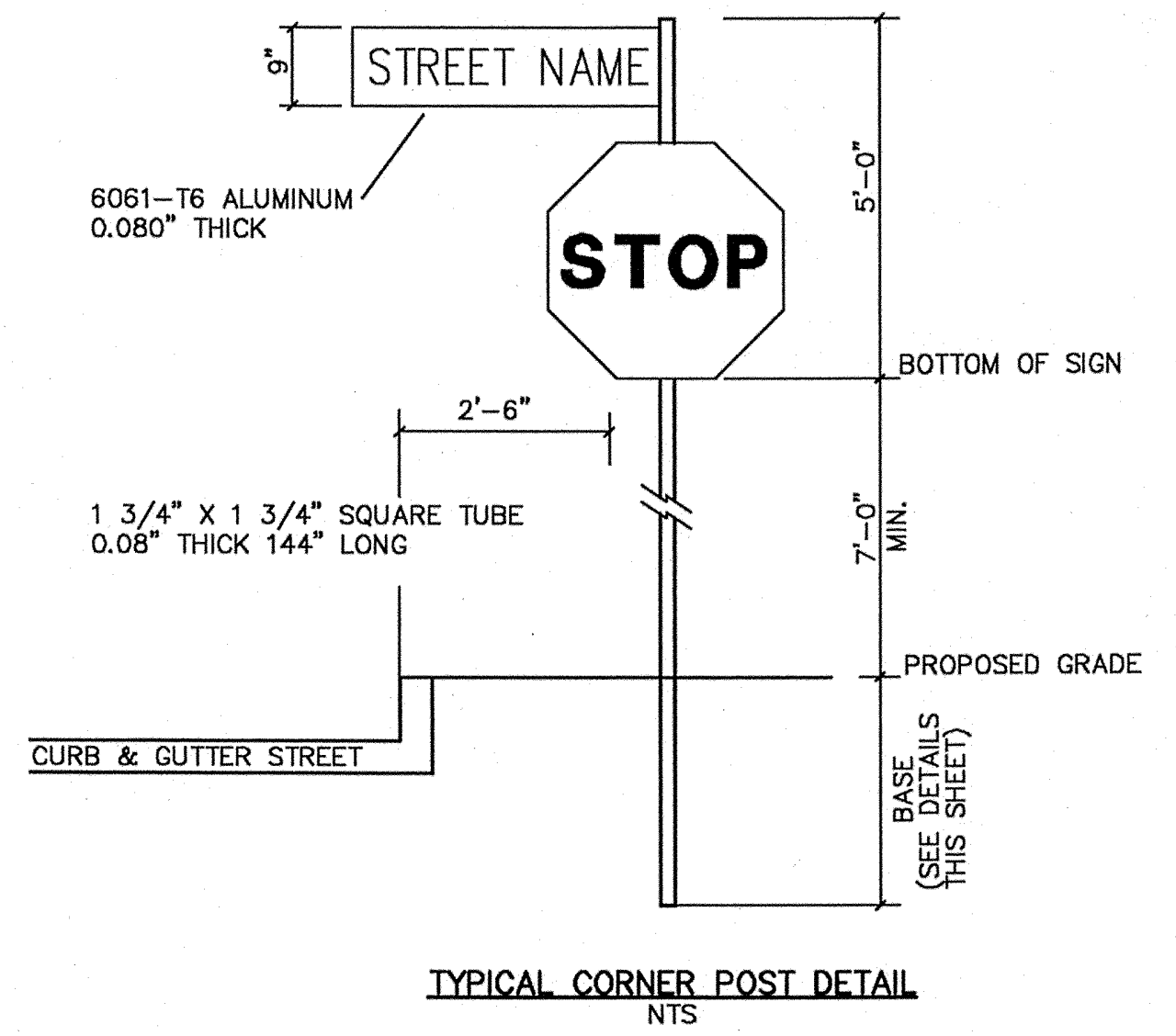
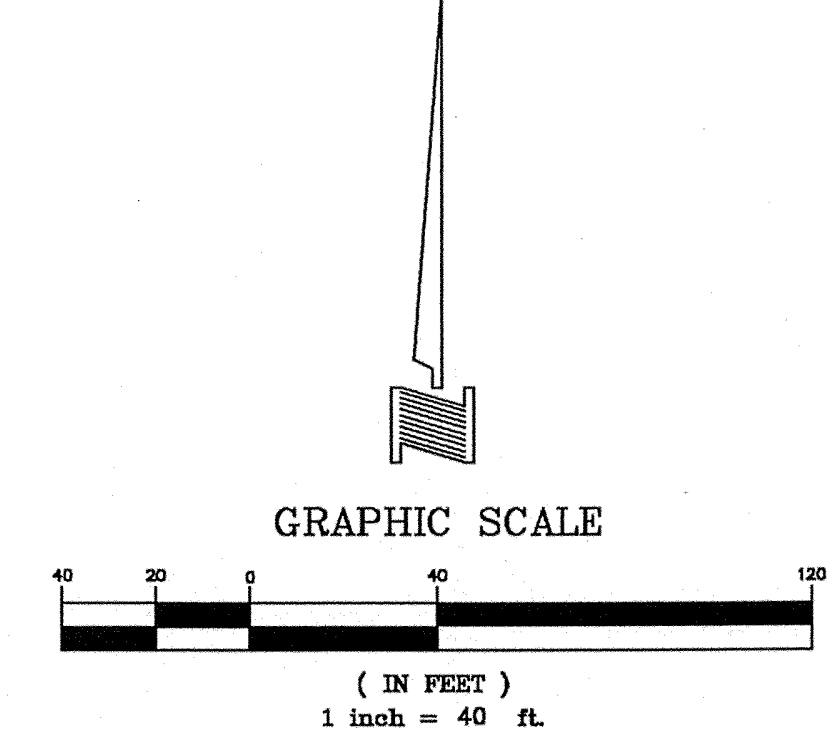
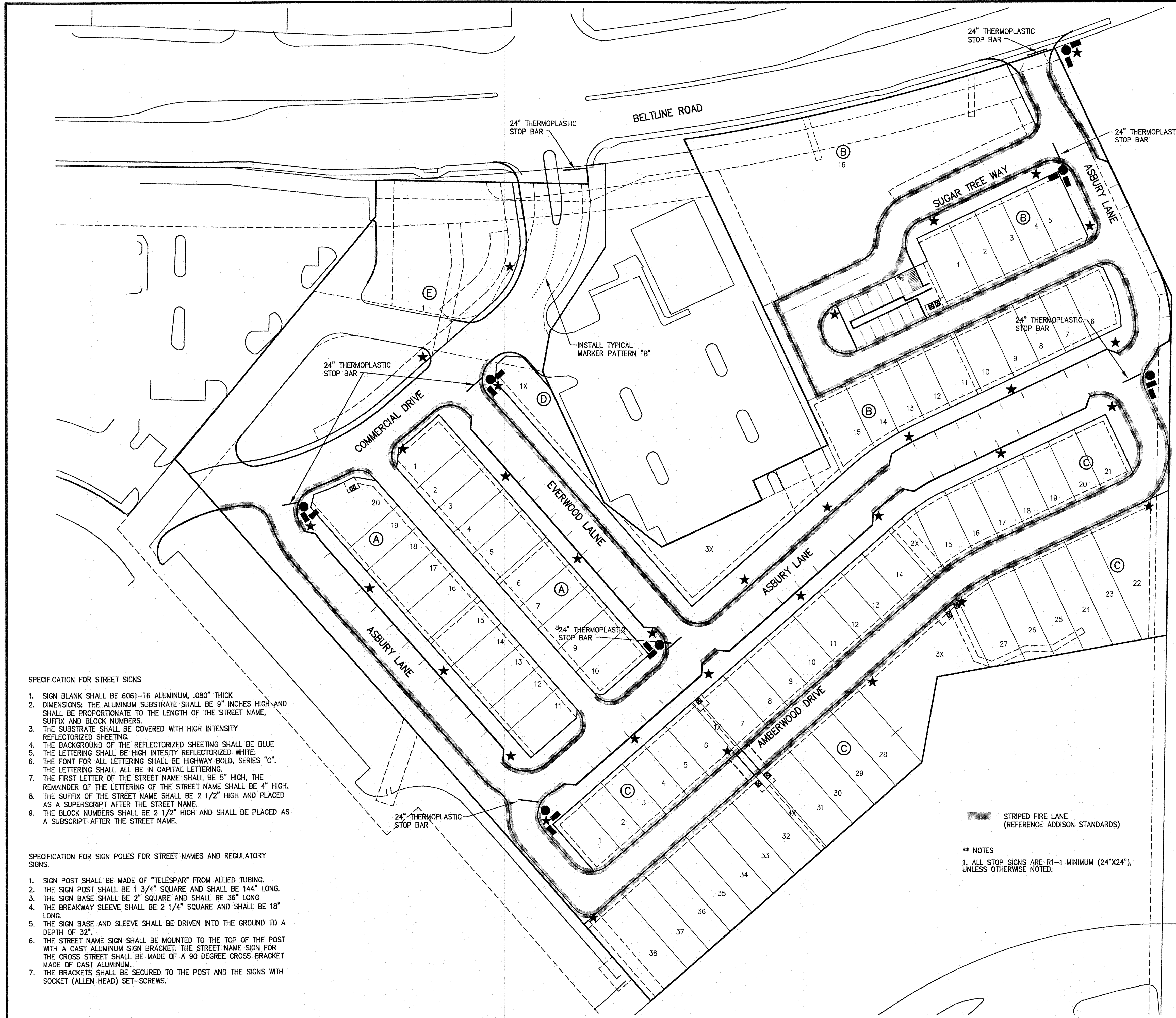
THESE CONSTRUCTION PLANS WERE PREPARED UNDER THE RESPONSIBLE SUPERVISION OF J. CASEY ROSS, LICENSED PROFESSIONAL ENGINEER NO. 97272.

*J. Casey Ross 4/30/08*



NO.	DATE	BY	REVISION
1	1/24/08	JCR	REVISED FIRE SERVICES TO 1.5"

UTILITY LOCATION DETAILS						
ASBURY CIRCLE						
TOWN OF ADDISON						
DALLAS COUNTY, TEXAS						
<b>DOWDEY, ANDERSON &amp; ASSOCIATES, INC.</b> 5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694						
DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
MMP	MMP	JCR	10/13/06	1" = 20'	06010	1



- LEGEND**
- ☆ — EXIST. STREET LIGHT (12' POLE)
  - — EXIST. STREET NAME SIGN
  - — EXIST. STOP SIGN
  - ★ — PROPOSED STREET LIGHT (12' POLE)
  - — PROPOSED STREET NAME SIGN
  - — PROPOSED STOP SIGN
  - ⊠ — PROPOSED TRANSFORMER
  - ⊡ — EXIST TRAFFIC SIGN

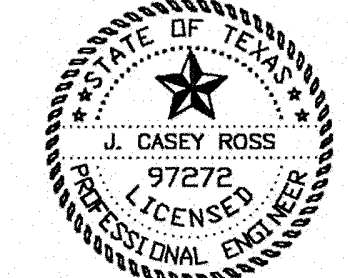
- SPECIFICATION FOR STREET SIGNS**
- SIGN BLANK SHALL BE 6061-T6 ALUMINUM, .080" THICK
  - DIMENSIONS: THE ALUMINUM SUBSTRATE SHALL BE 9" INCHES HIGH AND SHALL BE PROPORTIONATE TO THE LENGTH OF THE STREET NAME, SUFFIX AND BLOCK NUMBERS.
  - THE SUBSTRATE SHALL BE COVERED WITH HIGH INTENSITY REFLECTORIZED SHEETING.
  - THE BACKGROUND OF THE REFLECTORIZED SHEETING SHALL BE BLUE
  - THE LETTERING SHALL BE HIGH INTENSITY REFLECTORIZED WHITE.
  - THE FONT FOR ALL LETTERING SHALL BE HIGHWAY BOLD, SERIES "C". THE LETTERING SHALL ALL BE IN CAPITAL LETTERING.
  - THE FIRST LETTER OF THE STREET NAME SHALL BE 5" HIGH, THE REMAINDER OF THE LETTERING OF THE STREET NAME SHALL BE 4" HIGH.
  - THE SUFFIX OF THE STREET NAME SHALL BE 2 1/2" HIGH AND PLACED AS A SUPERSCRIPIT AFTER THE STREET NAME.
  - THE BLOCK NUMBERS SHALL BE 2 1/2" HIGH AND SHALL BE PLACED AS A SUBSCRIPT AFTER THE STREET NAME.

- SPECIFICATION FOR SIGN POLES FOR STREET NAMES AND REGULATORY SIGNS.**
- SIGN POST SHALL BE MADE OF "TELESPAR" FROM ALLIED TUBING.
  - THE SIGN POST SHALL BE 1 3/4" SQUARE AND SHALL BE 144" LONG.
  - THE SIGN BASE SHALL BE 2" SQUARE AND SHALL BE 36" LONG
  - THE BREAKWAY SLEEVE SHALL BE 2 1/4" SQUARE AND SHALL BE 18" LONG.
  - THE SIGN BASE AND SLEEVE SHALL BE DRIVEN INTO THE GROUND TO A DEPTH OF 32".
  - THE STREET NAME SIGN SHALL BE MOUNTED TO THE TOP OF THE POST WITH A CAST ALUMINUM SIGN BRACKET. THE STREET NAME SIGN FOR THE CROSS STREET SHALL BE MADE OF A 90 DEGREE CROSS BRACKET MADE OF CAST ALUMINUM.
  - THE BRACKETS SHALL BE SECURED TO THE POST AND THE SIGNS WITH SOCKET (ALLEN HEAD) SET-SCREWS.

**BENCHMARKS:**  
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*J. Casey Ross 2/5/08*

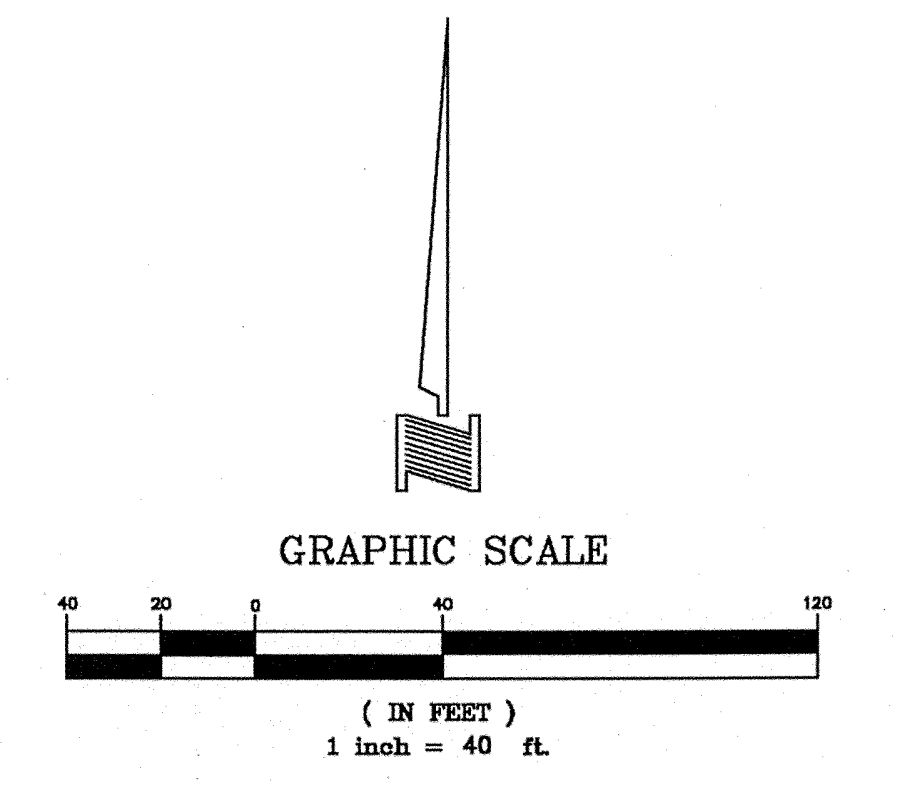


NO.	DATE	BY	REVISION
1	1/02/08	JCR	REVISED STREET LIGHT LOCATIONS & ADDED TYPICAL MARKER PATTERN "B"
2	2/05/08	JCR	REVISED STREET LIGHT LOCATIONS

**SIGNAGE, STRIPING & LIGHTING PLAN**  
**ASBURY CIRCLE**  
 TOWN OF ADDISON  
 DALLAS COUNTY, TEXAS

**DOWDEY, ANDERSON & ASSOCIATES, INC.**  
 5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694

DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
JCR	MMP	JCR	10/20/2006	1" = 40'	06010	1 / 1



- NOTES:**
- 1) ALL CONDUITS TO BE SCH 40 PVC, 4" DIA. EXCEPT WHERE NOTED (COLOR TO BE APPROVED BY FRANCHISE UTILITY COMPANIES.) LOCATIONS TO BE COORDINATED WITH THE FRANCHISE UTILITY COMPANIES.
  - 2) REFERENCE SHEETS L4.1, L4.2 AND L4.3 FOR IRRIGATION CONDUIT CROSSING LOCATIONS AND SIZES.

**BENCHMARKS:**  
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 CASEY ROSS, LICENSED PROFESSIONAL ENGINEER  
 NO. 97272  
*J. Casey Ross 2/11/08*



NO.	DATE	BY	REVISION
1	11/09/07	MMP	REVISED CONDUITS TO MATCH FRANCHISE LAYOUTS

CONDUIT PLAN						
ASBURY CIRCLE						
TOWN OF ADDISON						
DALLAS COUNTY, TEXAS						
<b>DOWDEY, ANDERSON &amp; ASSOCIATES, INC.</b> 5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694						
DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
JCR	AR	JCR	12/19/2006	1" = 40'	06010	1 / 1

**LEGEND**

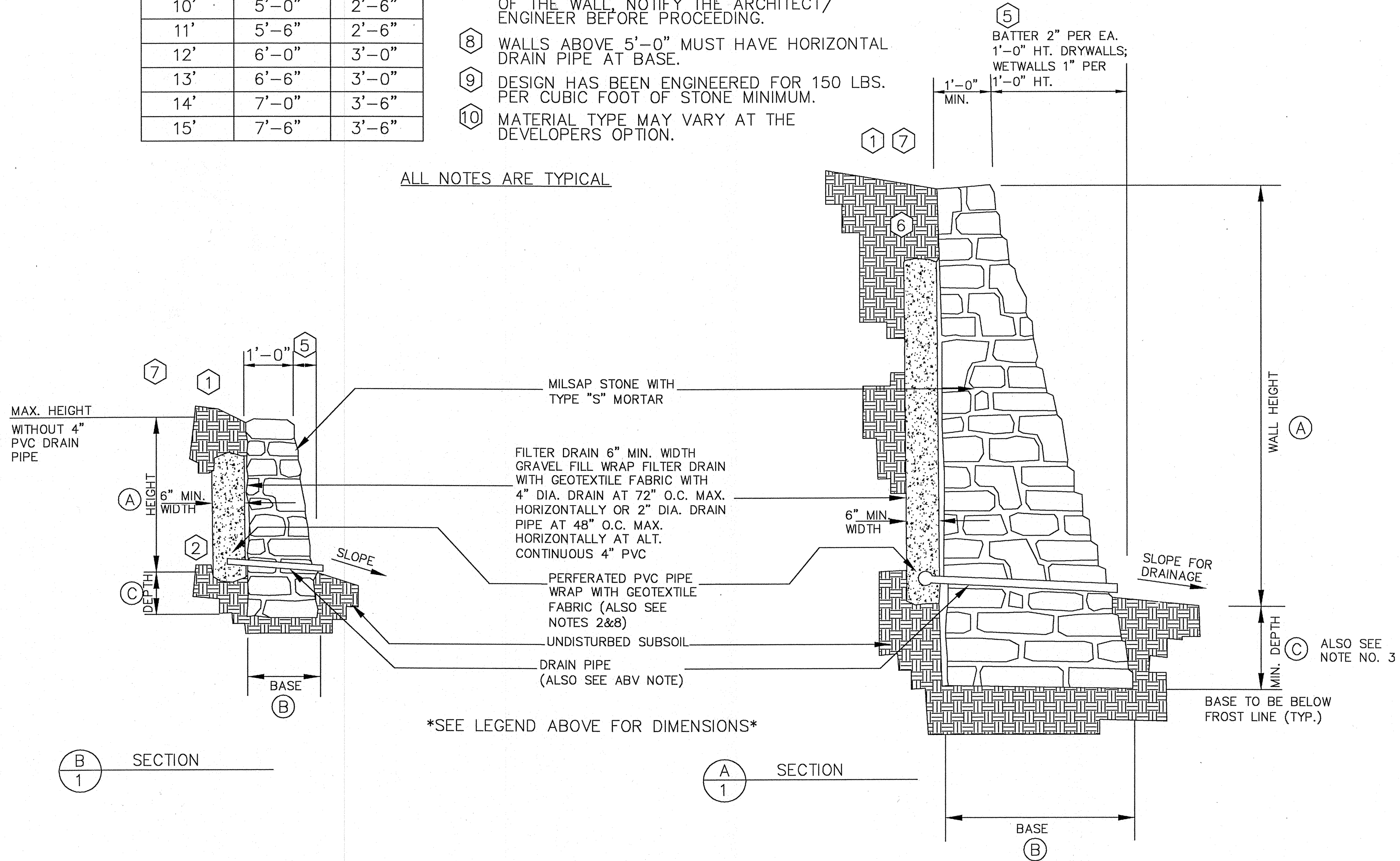
HEIGHT	BASE	BELOW GRADE
A	B	C
1'	1'-0"	0'-6"
2'	1'-0"	0'-6"
3'	1'-6"	1'-0"
4'	2'-0"	1'-0"
5'	2'-6"	1'-0"
6'	3'-0"	1'-0"
7'	3'-6"	1'-6"
8'	4'-0"	2'-0"
9'	4'-6"	2'-0"
10'	5'-0"	2'-6"
11'	5'-6"	2'-6"
12'	6'-0"	3'-0"
13'	6'-6"	3'-0"
14'	7'-0"	3'-6"
15'	7'-6"	3'-6"

SEE NOTES  
No. 8, No. 2

**NOTES:**

- 1 FOR 3:1 OR GREATER SLOPE, VALUES INCREASE B & C DIMENSIONS BY 15%.
- 2 ON RETAINING WALLS 5 FT HIGH OR LESS, THE 4" PVC PERF. PIPE MAY BE OMITTED IF THE CRUSHED ROCK IS WRAPPED WITH GEOTEXTILE FABRIC.
- 3 MINIMUM DEPTH UNLESS ROCK IS ENCOUNTERED TERMINATE DEPTH "C" UPON ENCOUNTERING ROCK.
- 4 SLOPE GRADE AT BASE FOR DRAINAGE AWAY FROM WALL.
- 5 BATTER 2" PER EACH 1'-0" HEIGHT FOR DRYWALL FOR WETWALL 1" PER EACH 1'-0" OF HEIGHT.
- 6 18" MAXIMUM TOPSOIL OR FINISH MATERIAL TO COVER DRAINAGE MATERIAL.
- 7 IF ANY STRUCTURES OR EXCAVATION IS TO BE CONSTRUCTED WITHIN 1 1/2 TIMES THE HEIGHT OF THE WALL, NOTIFY THE ARCHITECT/ENGINEER BEFORE PROCEEDING.
- 8 WALLS ABOVE 5'-0" MUST HAVE HORIZONTAL DRAIN PIPE AT BASE.
- 9 DESIGN HAS BEEN ENGINEERED FOR 150 LBS. PER CUBIC FOOT OF STONE MINIMUM.
- 10 MATERIAL TYPE MAY VARY AT THE DEVELOPERS OPTION.

ALL NOTES ARE TYPICAL



\*SEE LEGEND ABOVE FOR DIMENSIONS\*

MILSAP STONE RETAINING WALL DETAILS

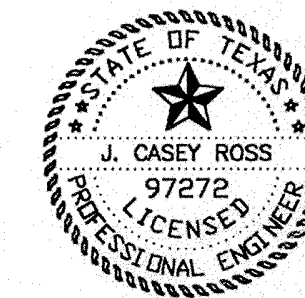
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UNDER THE RESPONSIBLE SUPERVISION OF J.  
CASEY ROSS, LICENSED PROFESSIONAL ENGINEER  
NO. 97272

*J. Casey Ross* 9/25/07



NO.	DATE	BY	REVISION

**RETAINING WALL DETAILS  
ASBURY CIRCLE**

TOWN OF ADDISON  
DALLAS COUNTY, TEXAS

**DOWDEY, ANDERSON & ASSOCIATES, INC.**  
5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694


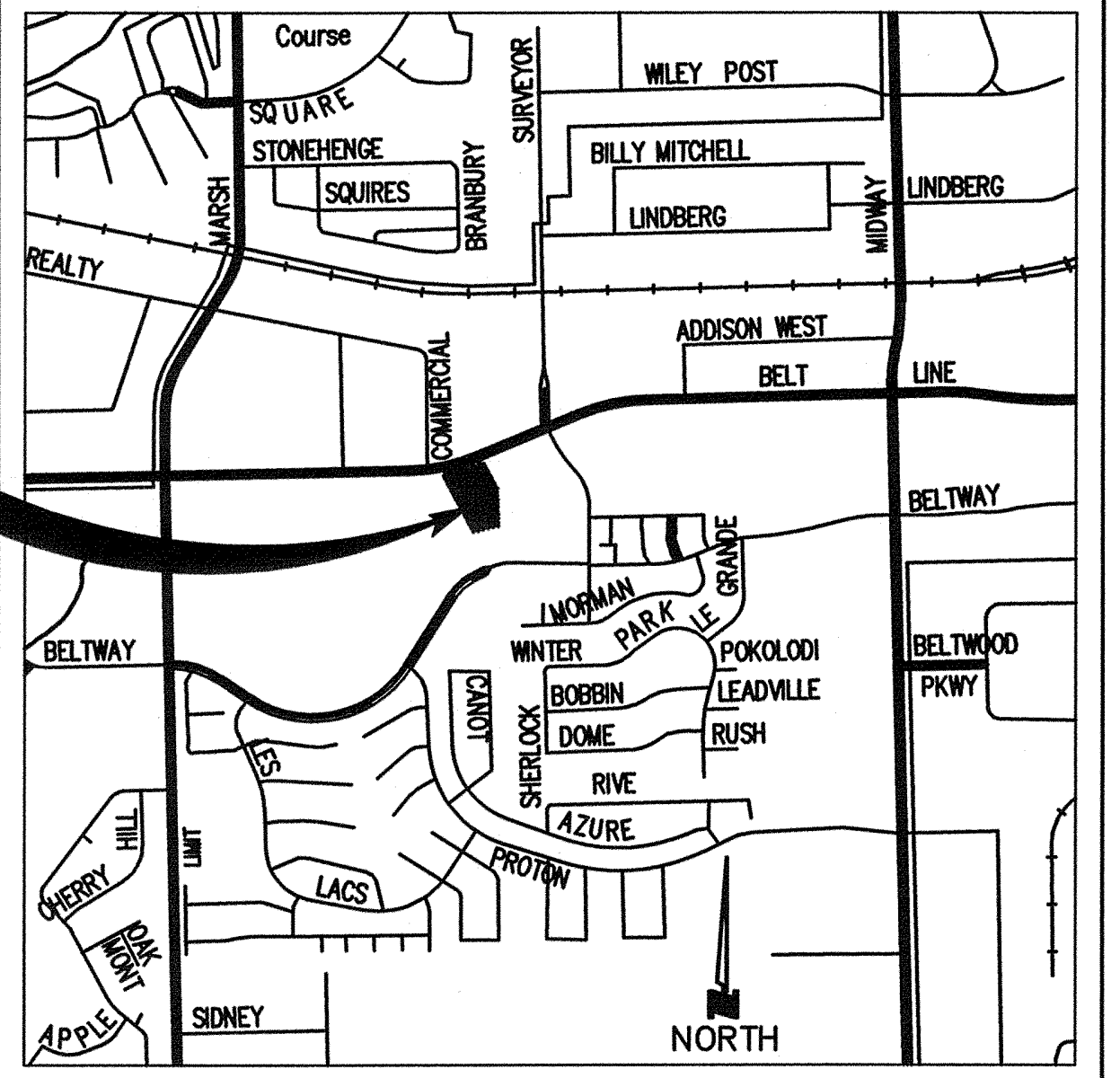
DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
		JCR	10/16/06	1" = 50'	06010	1

# ASBURY CIRCLE

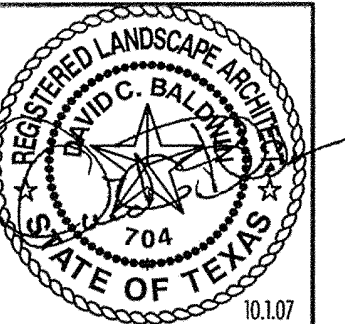
ADDISON · TEXAS

CONSTRUCTION DOCUMENTS

OCT 1, 2007

OWNER	LANDSCAPE ARCHITECT & CONSULTANTS	SHEET INDEX	
<p>ASHTON WOODS HOMES                      8111 LBJ FREEWAY                      SUITE 1500                      DALLAS, Texas 75251                      CONTACT: BRYCE SLADE                      Phone: (972) 301-6600                      Fax: (972) 301-6730</p>	<p>DAVID C. BALDWIN                      INCORPORATED</p>  <p>DAVID C. BALDWIN INC.                      Landscape Architecture and Planning                      730 East Park Boulevard, Suite 100                      Plano, Texas 75074</p> <p>CONTACT: DAVE BALDWIN/                      RAQUEL MORTON</p> <p>Phone: (972) 509-1266                      Fax: (972) 509-1269</p> <p>LANDSCAPE                      ARCHITECTURE                      PLANNING</p>	<p><u>HARDSCAPE</u>                      L1.1 HARDSCAPE PLAN                      L1.2 HARDSCAPE PLAN                      L1.3 HARDSCAPE PLAN</p> <p><u>HARDSCAPE DETAILS</u>                      L2.1 HARDSCAPE DETAILS                      L2.2 HARDSCAPE DETAILS                      L2.3 HARDSCAPE DETAILS                      L2.4 HARDSCAPE DETAILS</p> <p><u>LANDSCAPE</u>                      L3.1 LANDSCAPE PLAN                      L3.2 LANDSCAPE PLAN                      L3.3 LANDSCAPE PLAN                      L3.4 LANDSCAPE DEATILS</p>	
<p>VICINITY MAP</p>	<p>IRRIGATION</p>		
 <p>SITE</p> <p>LOCATION MAP                      NOT TO SCALE</p>	<p>IRRI*TECH                      CORPORATION</p> <p>12650 Schroeder Road                      Dallas, Texas 75243</p> <p>Contact: Seth Heidman                      Phone: (972) 231-5151                      Fax: (972) 231-5172</p>		<p>GENERAL NOTES</p> <ol style="list-style-type: none"> <li>1. IN THE EVENT AN ITEM IS NOT COVERED IN THE "CITY SPECIFICATION" OR "TECHNICAL SPECIFICATION," THE CONTRACTOR SHALL NOTIFY THE CITY AND REQUIRE THE CITY TO APPROVE ANY ADDITIONS OR MODIFICATIONS</li> <li>2. ALL WASTE MATERIAL AND/OR EXCESS EXCAVATION NOT USED AS PART OF THE WORK SHALL BE REMOVED FROM THE JOB SITE AND DISPOSED OF AT ACCEPTABLE LOCATIONS IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.</li> <li>3. THE CONTRACTOR SHALL BE REQUIRED, AT ALL TIMES, DURING THE CONSTRUCTION TO PROVIDE WARNING SIGNS, BARRICADES, AND OTHER SAFETY DEVICES (INCLUDING TEMPORARY SAFETY FENCING AROUND THE JOB SITE) IN ORDER TO PROTECT THE PUBLIC SAFETY AND HEALTH UNTIL ALL OF THE WORK HAS BEEN COMPLETED AND ACCEPTED.</li> <li>4. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING FACILITIES IN AND AROUND THE PROJECT AREA. THESE INCLUDE TREES, PLANTINGS, BUILDINGS, CONCRETE, PAVING, SIGNS, AND OTHER FACILITIES FOUND ON SITE. THE CONTRACTOR SHALL REPAIR OR REPLACE, AT NO COST TO THE CITY, ANY FACILITY DAMAGED DURING CONSTRUCTION OF THESE IMPROVEMENTS.</li> <li>5. TRAFFIC ROUTING, STREET CLOSURES, ETC. SHALL BE COORDINATED WITH THE CITY. BARRICADING SHALL BE IN ACCORDANCE WITH THE CITY STANDARDS. LOCAL ACCESS SHALL BE ALLOWED AT ALL TIMES.</li> <li>6. ALL PEDESTRIAN WALKING SURFACES SHALL NOT EXCEED 5% (1:20) LONGITUDINAL SLOPE OR 2% (1:50) CROSS SLOPE.</li> <li>7. CONTRACTOR SHALL USE EVERY MEANS AVAILABLE TO LOCATE UNDERGROUND UTILITIES PRIOR TO EXCAVATION.</li> </ol>





No.	Date	REVISIONS

# ASBURY CIRCLE

ADDISON, TX

DAVID C. BALDWIN  
INCORPORATED

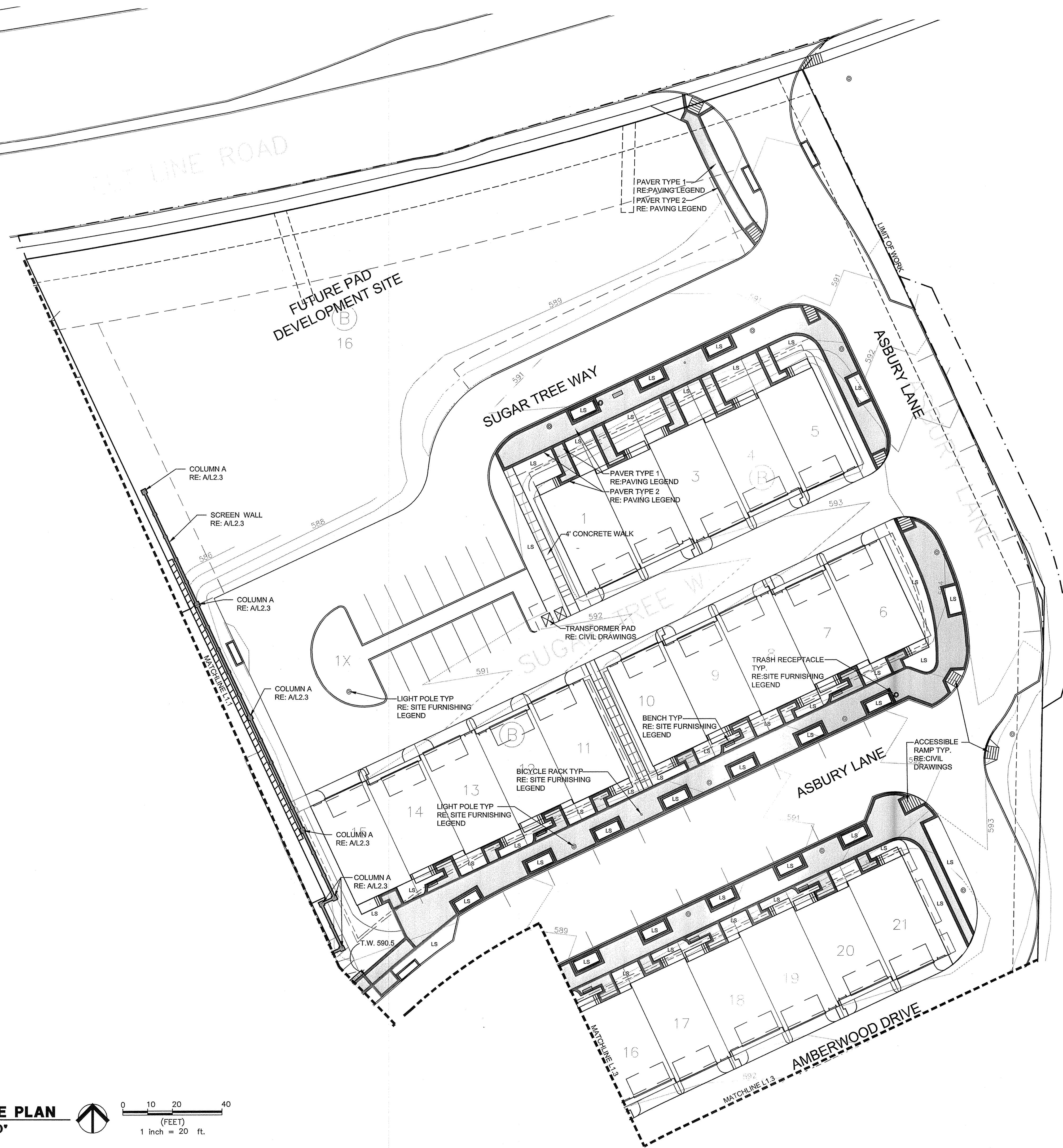


LANDSCAPE  
ARCHITECTURE  
PLANNING  
730 EAST PARK BOULEVARD  
SUITE 100 PLANO, TX 75074

TEL: (972) 509-1266  
FAX: (972) 509-1269

Sheet Title:  
HARDSCAPE  
PLAN

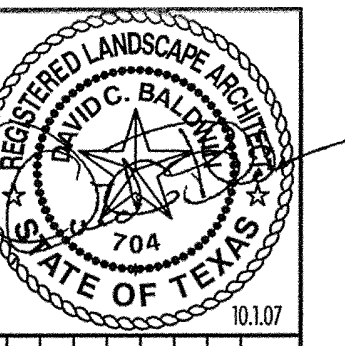
Proj. No.:  
Date: 1 OCT 07  
Drawn: BJL  
Checked: RRM  
Approved: DCB  
sheet number  
**L1.2**  
of sheets



**LEGEND:**

TW	TOP OF WALL
LS	LANDSCAPE AREA
[Pattern]	PAVER TYPE 1
[Pattern]	PAVER TYPE 2
[Pattern]	STANDARD GRAY CONCRETE
[Pattern]	RETAINING WALL
[Pattern]	SEAT WALL

**A HARDSCAPE PLAN**  
SCALE: 1"=20'-0"



No.	Date	REVISIONS

# ASBURY CIRCLE

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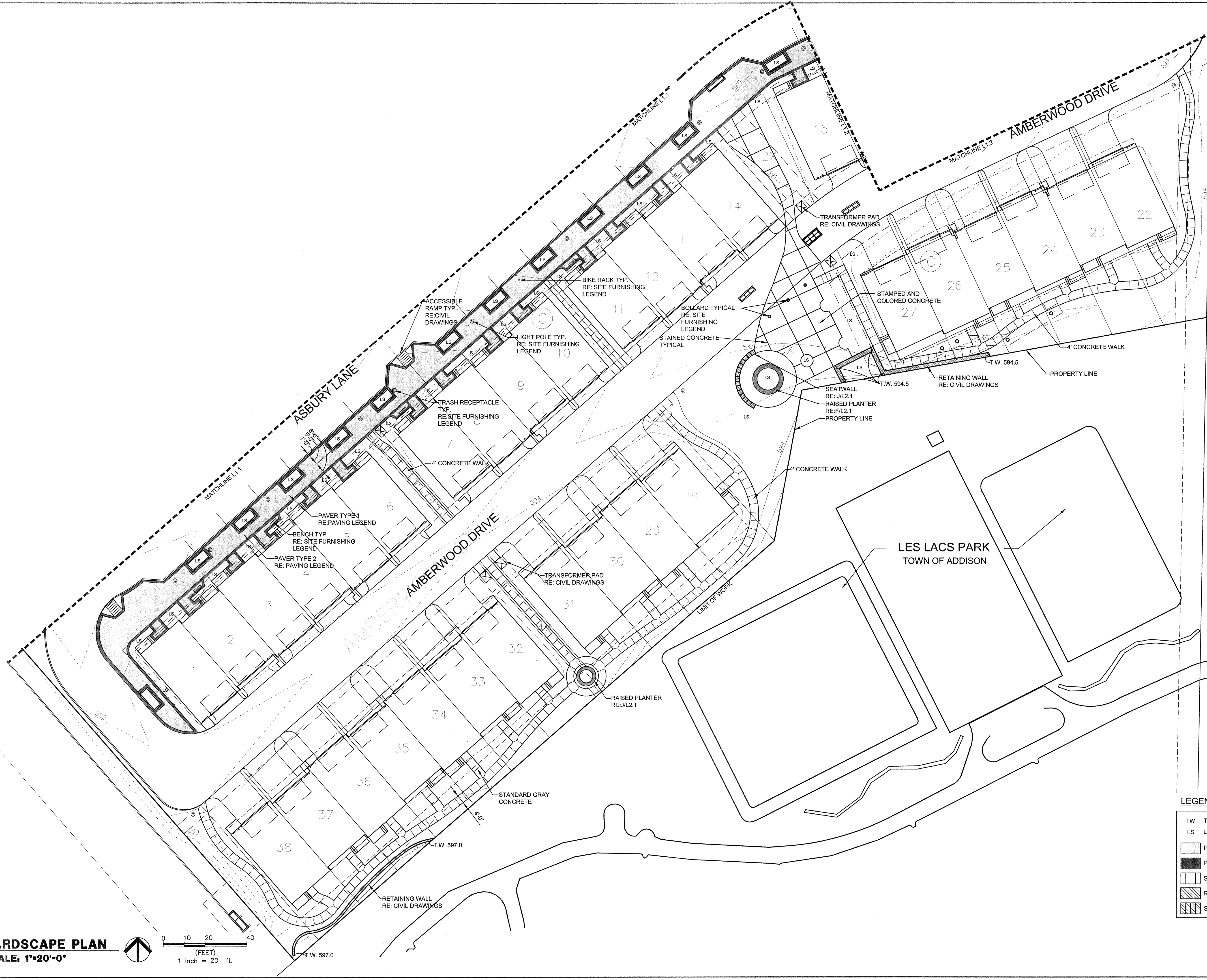
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730 EAST PARK BOULEVARD  
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TEL: (972) 509-1268  
FAX: (972) 509-1269

Sheet Title:	HARDSCAPE PLAN
Proj. No.:	
Date:	1 OCT 07
Drawn:	B.J.L.
Checked:	R.R.M.
Approved:	DCB
sheet number	L1.3
of	

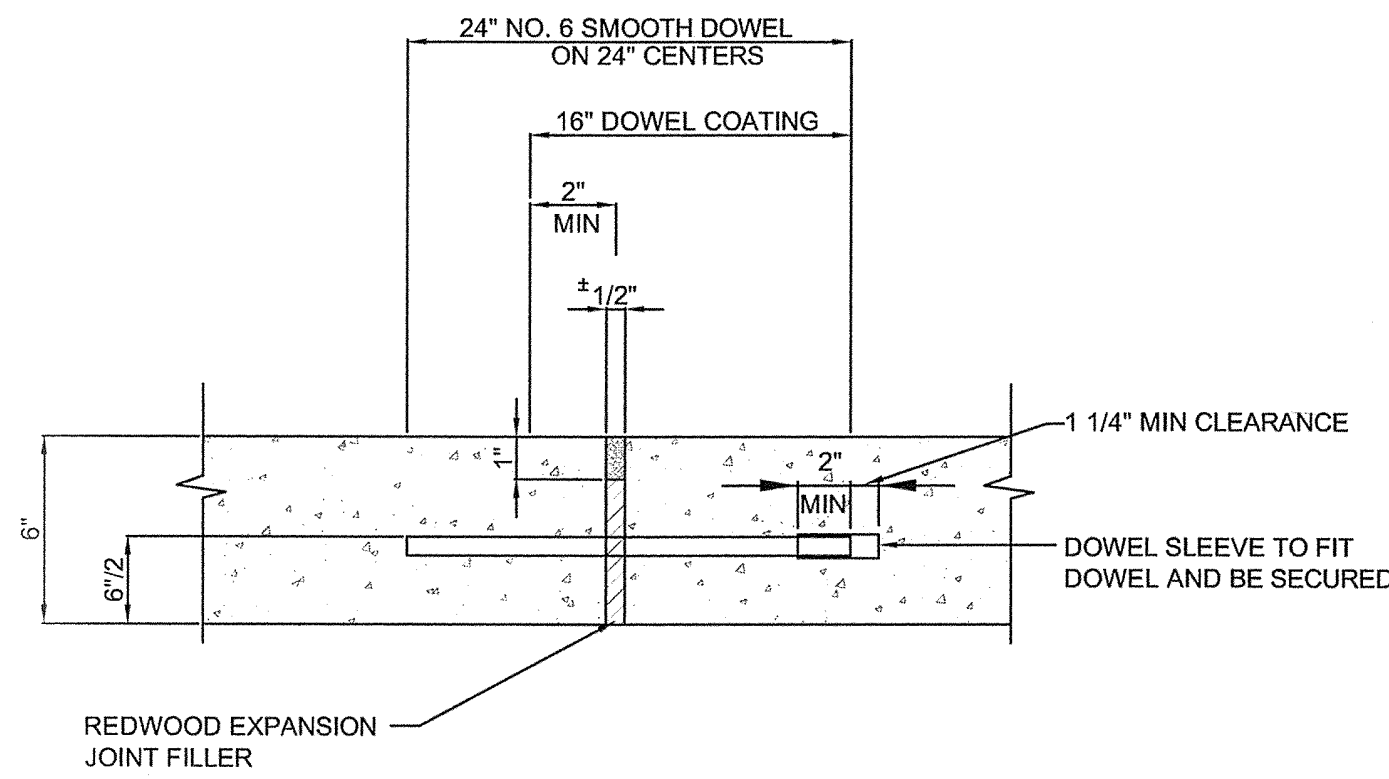


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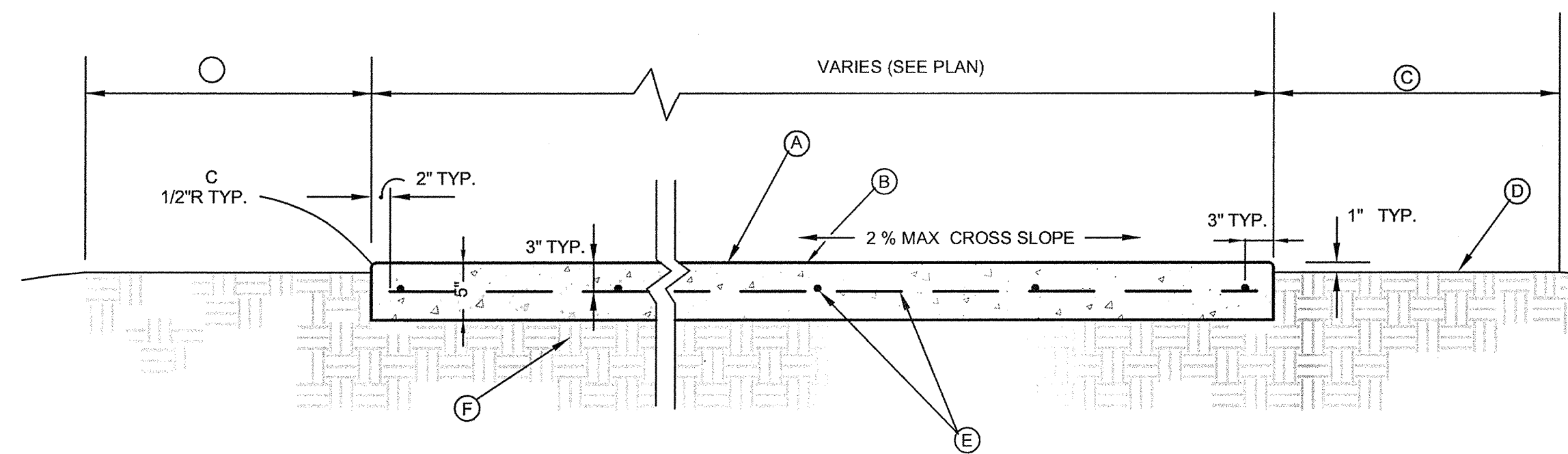
TW	TOP OF WALL
LS	LANDSCAPE AREA
[Pattern]	PAVER TYPE 1
[Pattern]	PAVER TYPE 2
[Pattern]	STANDARD GRAY CONCRETE
[Pattern]	RETAINING WALL
[Pattern]	SEAT WALL

**A HARDSCAPE PLAN**  
SCALE: 1"=20'-0"





**B** TYPICAL EXPANSION JOINT  
SCALE: N.T.S.

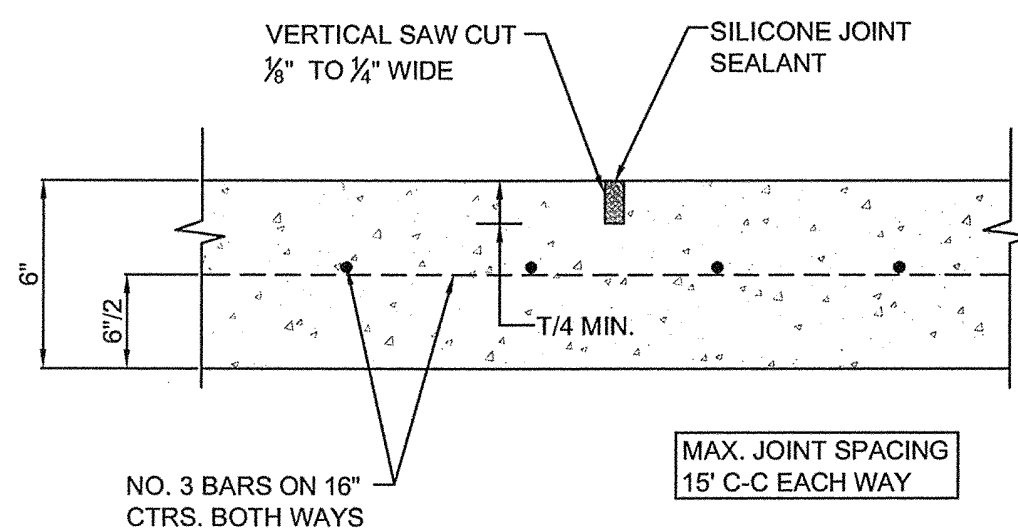


**A** TYPICAL CONCRETE WALK  
SCALE: N.T.S.

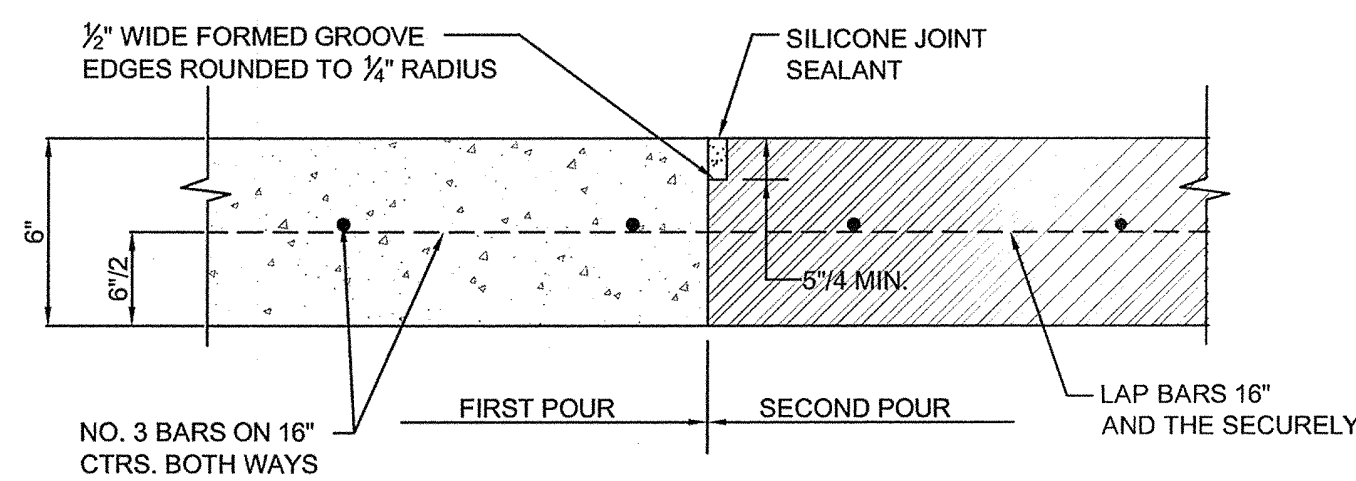
- CONSTRUCTION NOTES:**
- A. 3000 PSI CONCRETE WALK
  - B. LIGHT TO MEDIUM BROOM PICTURE FRAME FINISH
  - C. SOLID SOD GRASS
  - D. FINISH GRADE
  - E. #3 BARS 16" O.C. MAX BOTH WAYS
  - F. COMPACT SUBGRADE TO 95% STANDARD PROCTOR DENSITY

- DESIGN STANDARD NOTES:**
- 1. CONTROL JOINTS TO BE SAW-CUT ONE-FOURTH THE PAVEMENT THICKNESS PLACED AT INTERVALS EQUAL TO THE TRAIL WIDTH
  - 2. ONE INCH REDWOOD EXPANSION JOINTS SHALL BE PLACED IN THE SIDEWALK AT AN INTERVAL OF:
    - 40' IN 4' WIDE SIDEWALKS

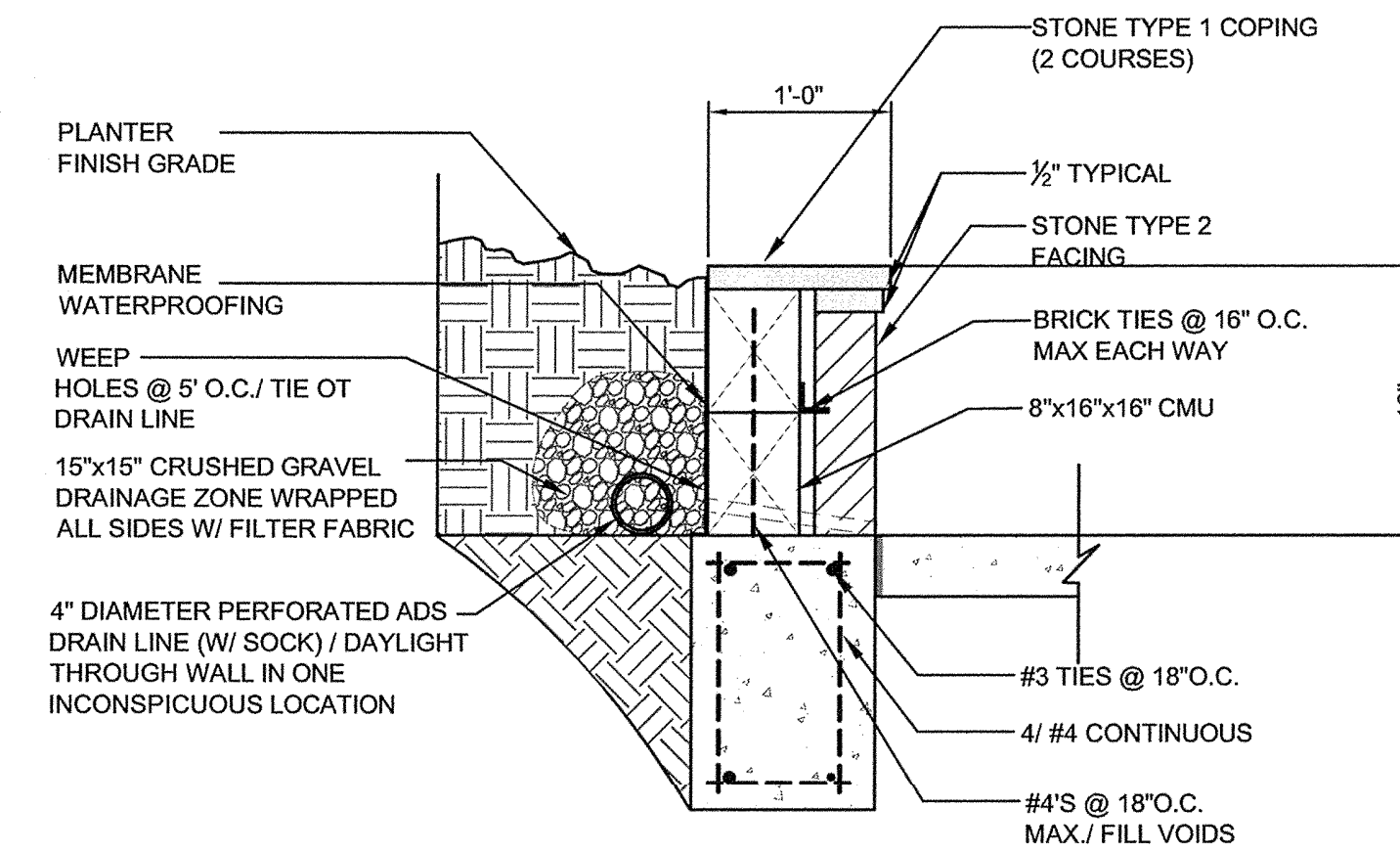
- GENERAL NOTES FOR SIDEWALKS:**
- 1. ALL PEDESTRIAN WALKING SURFACES SHALL NOT EXCEED 5% (1:20) LONGITUDINAL SLOPE OR 2% (1:50) CROSS SLOPE.
  - 2. THE MATERIALS AND WORKMANSHIP FOR CONCRETE PAVING SHALL BE IN ACCORDANCE WITH N.C.T.C.O.G.



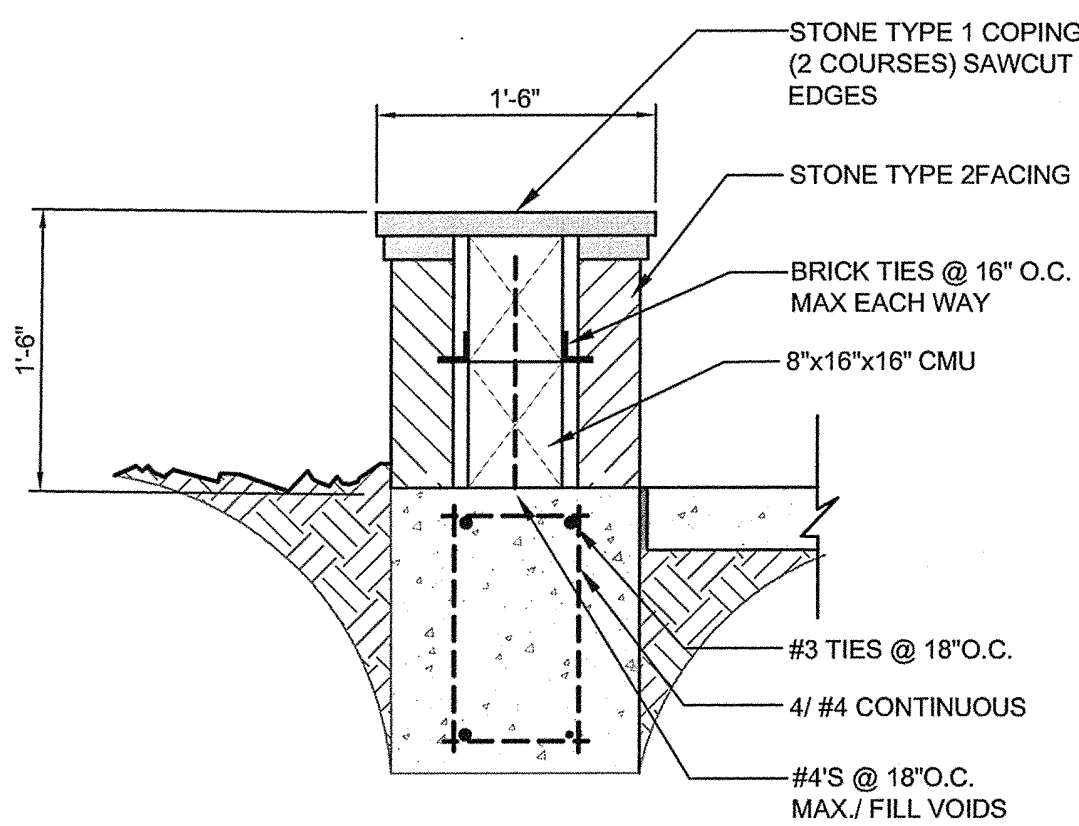
**E** SAWED DUMMY JOINT  
SCALE: N.T.S.



**D** TYPICAL CONSTRUCTION JOINT  
SCALE: N.T.S.



**C** PLANTER WALL  
SCALE: 1"=1'-0"



**F** SEAT WALL SECTION  
SCALE: 1"=1'-0"

**SITE FURNISHINGS LEGEND**

QUANTITY	KEY	MODEL NO.	MANUFACTURER
20	BENCH	TOWN SQUARE VERTICAL STRAP 70" surface mounted Finish black semi gloss	LANDSCAPE FORMS Contact: Diane Collier 214-343-1145
1	TRASH RECEPTACLE	BETHESDA SERIES MODEL # SD-35 Side door with S-2 Formed Dome Lid Finish VS Black	Victor Stanley Contact: Victor Stanley 800-368-2573
2	PLANTER POT	International 48" x 14", LS 9095	LONGSHADOW CLASSIC GARDEN ORNAMENTS 618-893-4831
7	BICYCLE RACK	Bollard Bike Rack BR-2 2 Locking Loops, 36" height embed mount Finish black semi gloss	FAIRWEATHER Contact: Resource Consulting Group 972-492-2428
9	BOLLARD	BOLLARD MODEL: SAN FRANCISCO; Color Black Semigloss	URBAN ACCESSORIES Contact: URBAN ACCESSORIES 1-877-487-0488
26	LIGHT POLE	PHILADELPHIA POLE LIGHT; Color Black	ANTIQUE STREET LAMPS Contact: The Lighting Alliance 972-456-9800

**PAVING LEGEND**

TYPE	DESCRIPTION	COLOR
PAVER TYPE 1	ACME EUREKA	231 Blend
PAVER TYPE 2	ACME EUREKA	245 Chocolate
STANDARD GRAY CONCRETE	4" THICK WITH PICTURE FRAME FINISH	STANDARD GRAY

**MASONRY LEGEND**

TYPE	DESCRIPTION	COMMENTS
STONE TYPE 1	MILSAP STONE CAP	SAWN FACE ALL SIDES, TOOLED MORTAR JOINT COLOR TO MATCH STONE. PROVIDE SAMPLES FOR LANDSCAPE ARCHITECTS APPROVAL/ BUFF MORTAR @ MAX. 1/2"
STONE TYPE 2	MILSAP STONE WALL	RANDOM RECTANGULAR PATTERN WITH HIDDEN JOINTS COLOR TO MATCH STONE. PROVIDE SAMPLES FOR LANDSCAPE ARCHITECT APPROVAL/ BUFF MORTAR @ MAX. 1/2"

ASBURY CIRCLE  
ADDISON, TX

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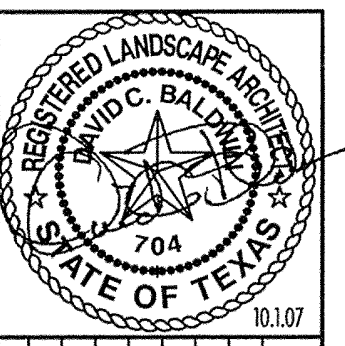
LANDSCAPE ARCHITECTURE  
PLANNING  
730 EAST PARK BOULEVARD  
SUITE 100 PLANO, TX 75074

TEL: (972) 509-1266  
FAX: (972) 509-1269

Sheet Title:  
HARDSCAPE DETAILS

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of **L2.1** sheets





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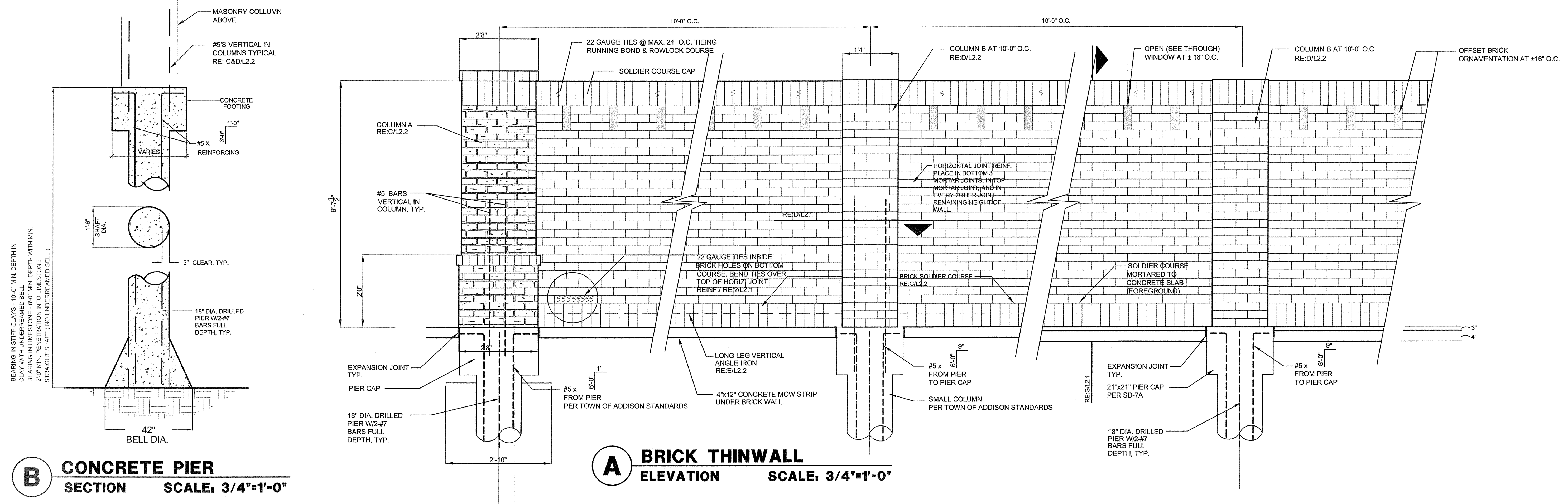


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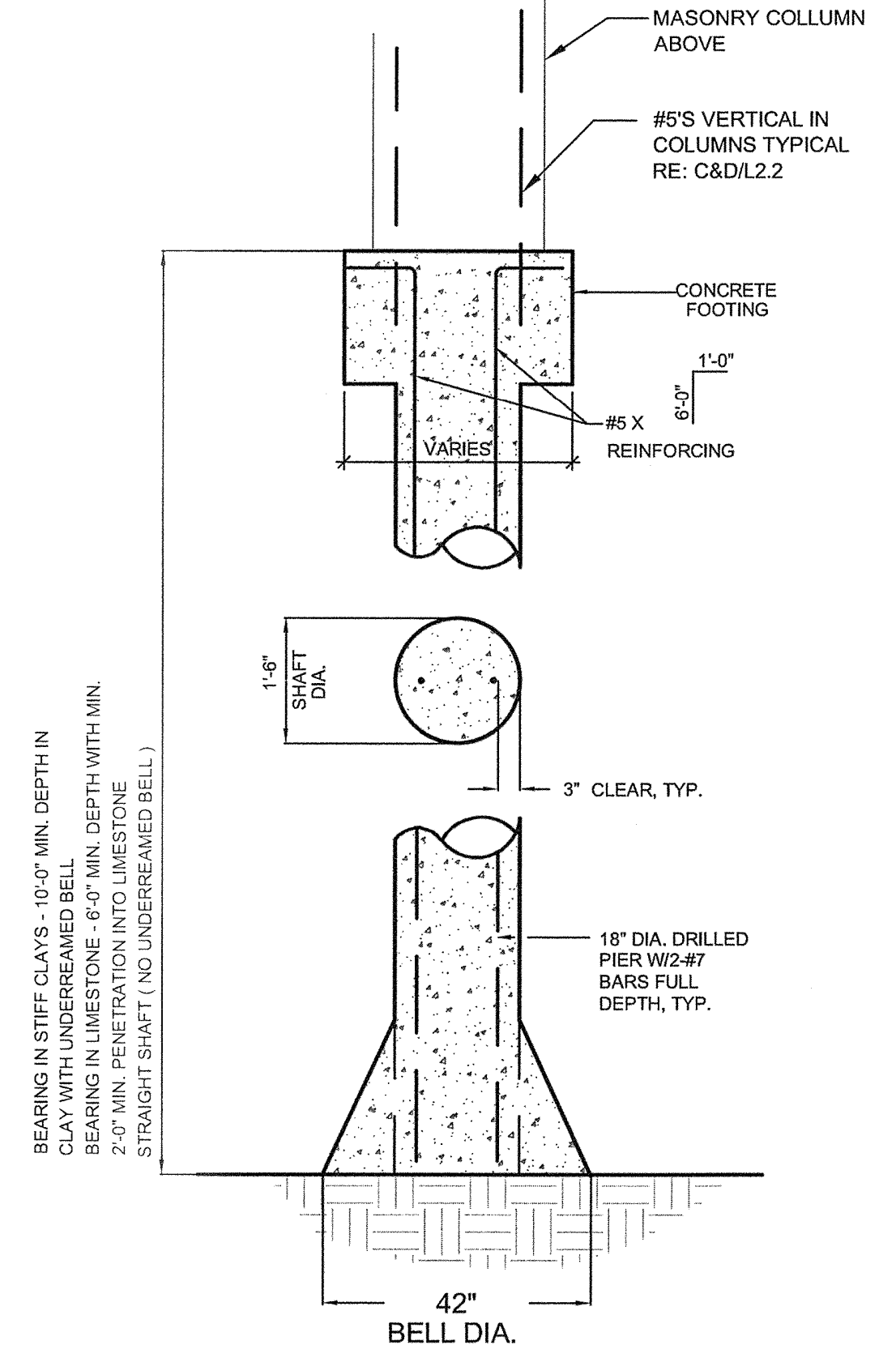
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**L2.3**  
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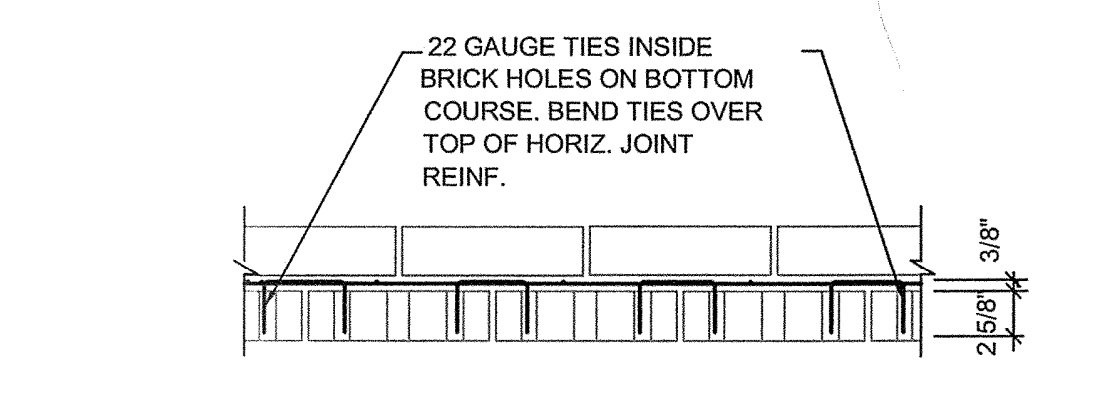
**B CONCRETE PIER SECTION**  
SCALE: 3/4"=1'-0"

BEARING IN STIFF CLAYS - 10'-0" MIN. DEPTH IN CLAY WITH UNDERREAMED BELL  
BEARING IN LIMESTONE - 6'-0" MIN. DEPTH WITH MIN. 2'-0" MIN. PENETRATION INTO LIMESTONE  
STRAIGHT SHAFT (NO UNDERREAMED BELL)

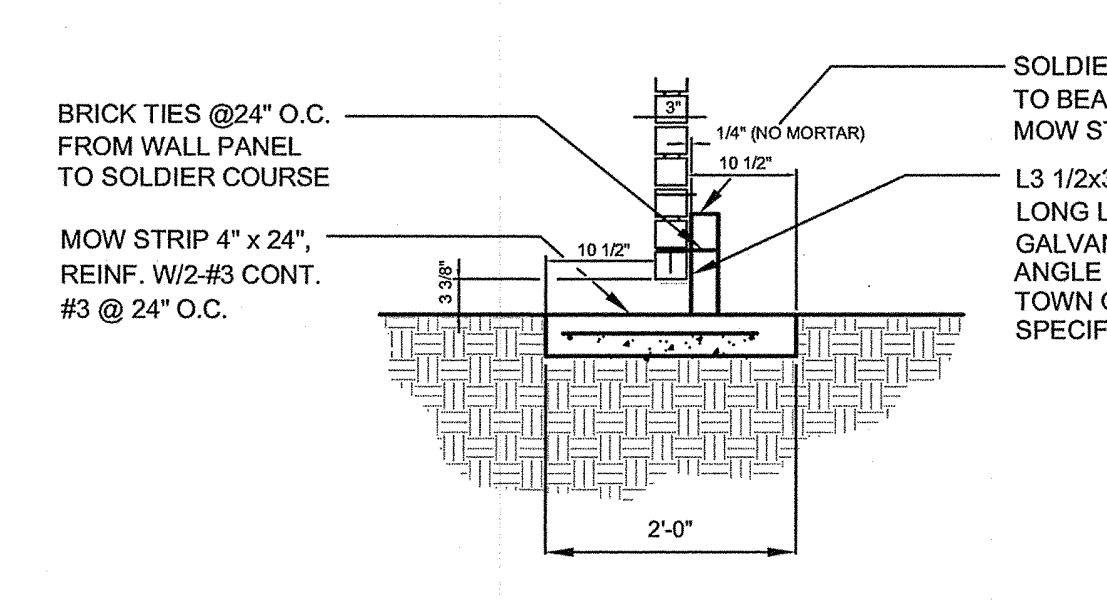


**A BRICK THINWALL ELEVATION**  
SCALE: 3/4"=1'-0"

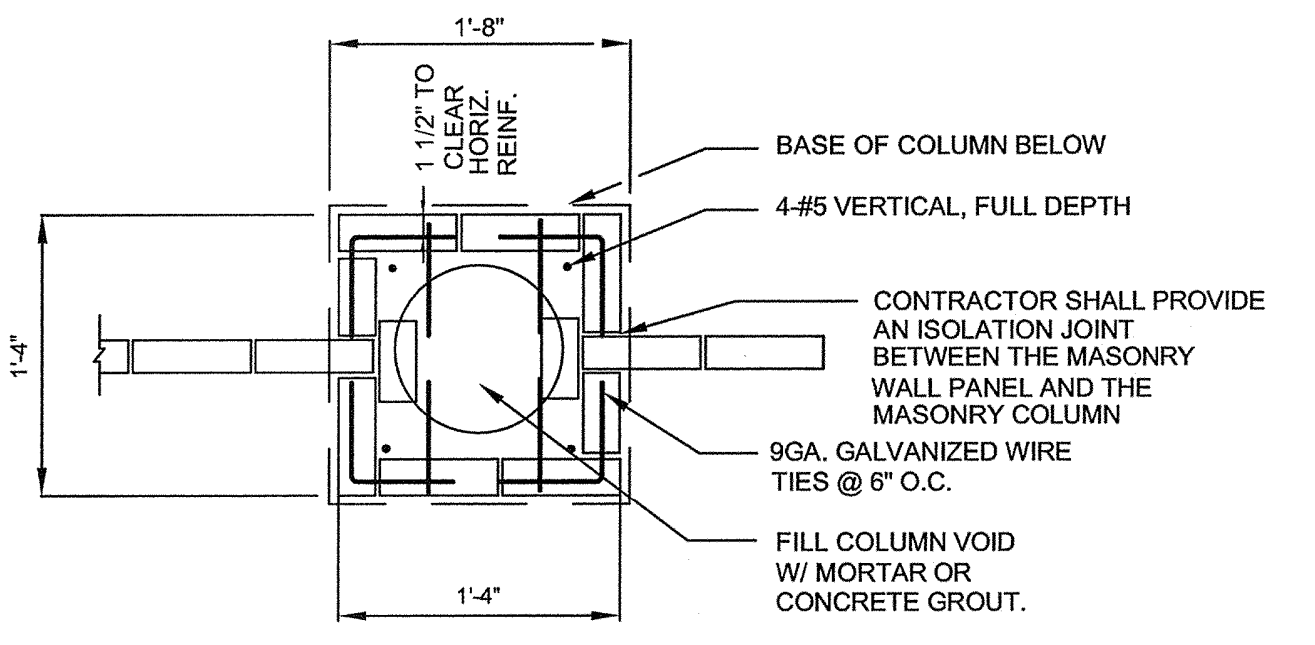
**F BOTTOM JOINT REINF.**  
SCALE 1 1/2" = 1'-0"



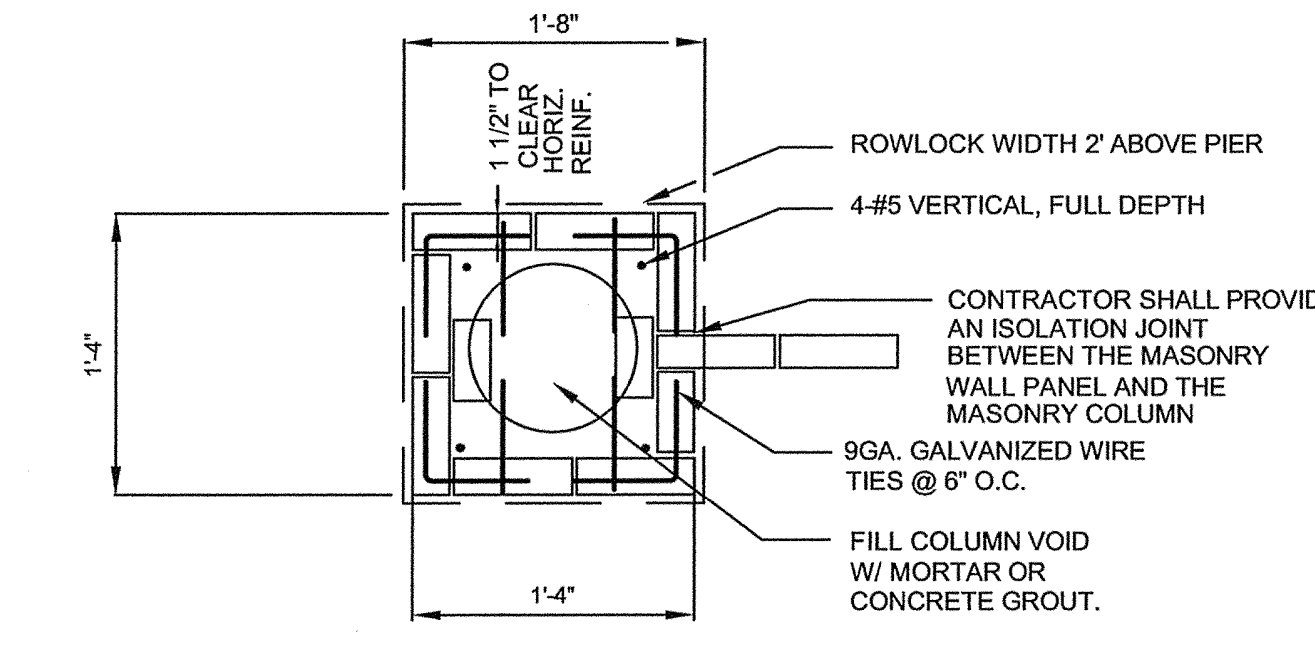
**E ANGLE IRON**  
SCALE: 3/4"=1'-0"



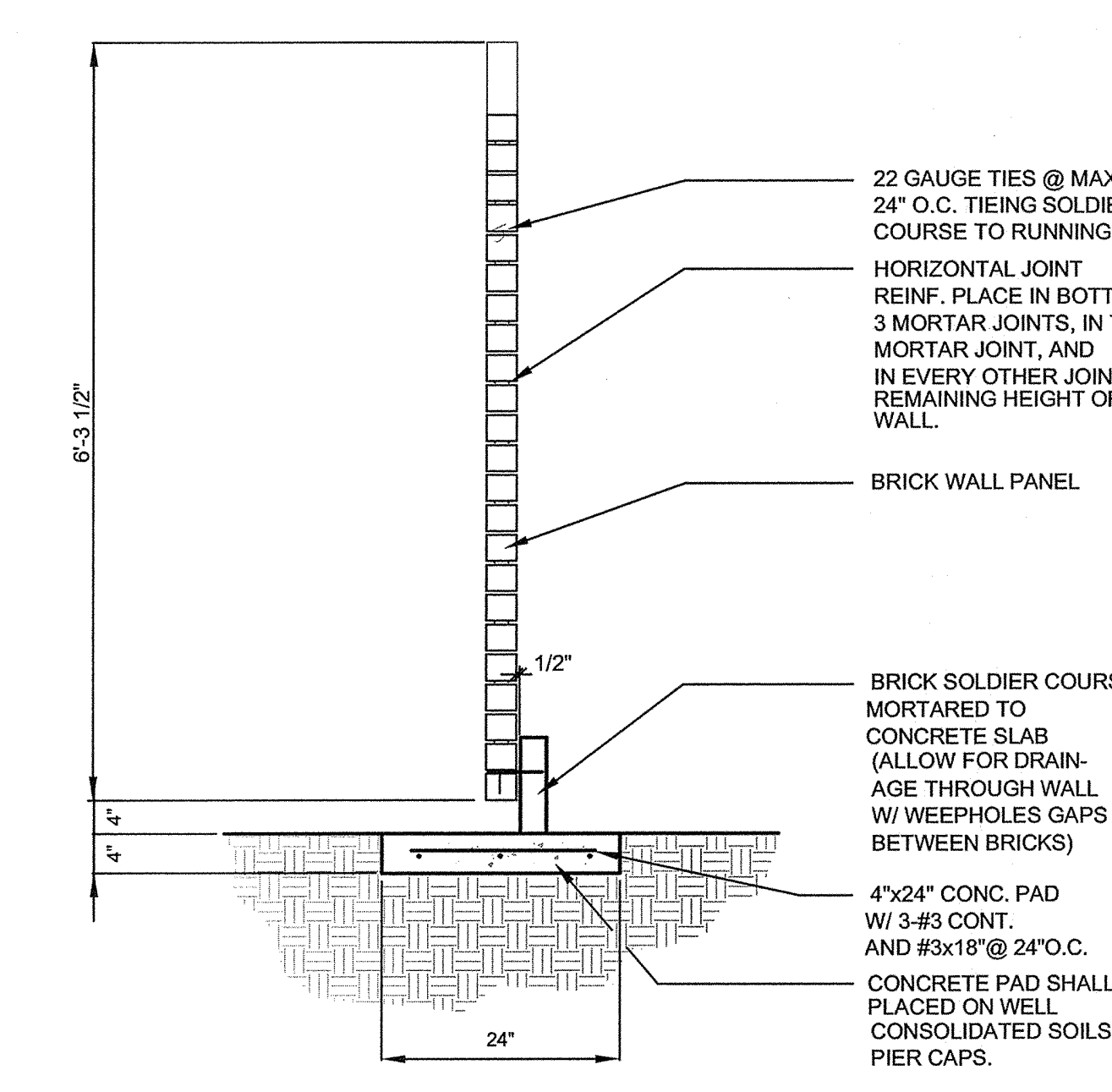
**D SINGLEWALL BRICK COLUMN B**  
SCALE: 3/4"=1'-0"



**C SINGLEWALL BRICK COLUMN A**  
SCALE: 3/4"=1'-0"



**G SINGLEWALL PANEL SECTION**  
SCALE: 3/4"=1'-0"

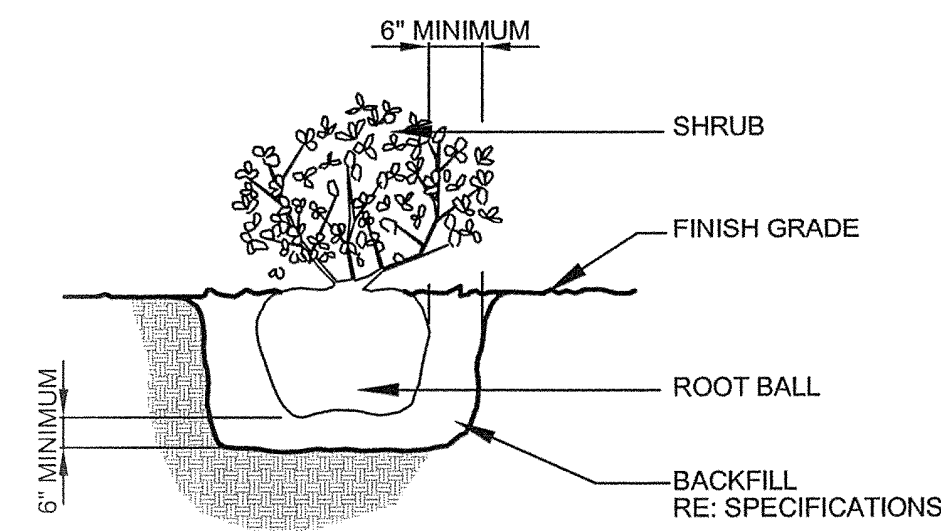




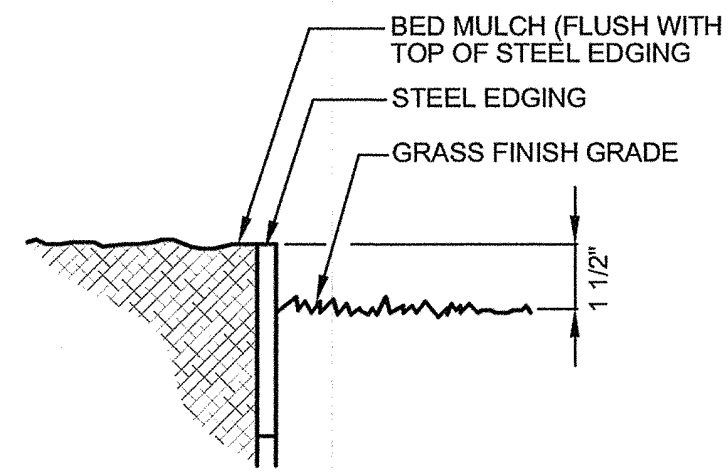








**D SHRUB PLANTING DETAIL**  
SCALE: N.T.S.



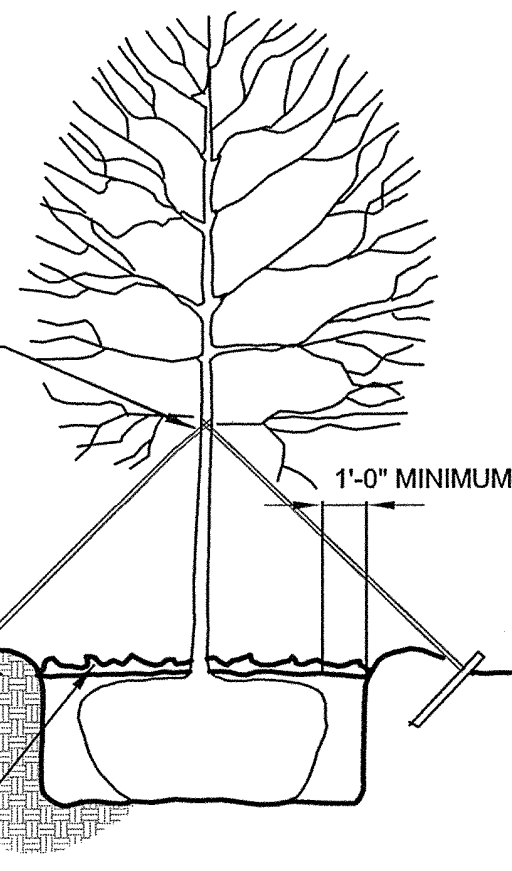
**C STEEL EDGING**  
SCALE: N.T.S.

NOTE: THIS DETAIL APPLIES TO ALL TREES 3\"/>

"ARBOR TIE" GUYING MATERIAL AVAILABLE FROM DEEP ROOT (PHONE: 404-378-9390) INSTALL PER MANUFACTURERS SPECIFICATIONS

3\"/> SAUCER AROUND TREE

METAL GROUND STAKE (MIN. 36\"/> LONG)  
MULCH TOPDRESSING



**B TREE GUYING DETAIL**  
SCALE: N.T.S.

NOTE: THIS DETAIL APPLIES TO ALL TREES LESS THAN 3\"/> CALIPER.

"ARBOR TIE" GUYING MATERIAL AVAILABLE FROM DEEP ROOT (PHONE: 404-378-9390) INSTALL PER MANUFACTURERS SPECIFICATIONS

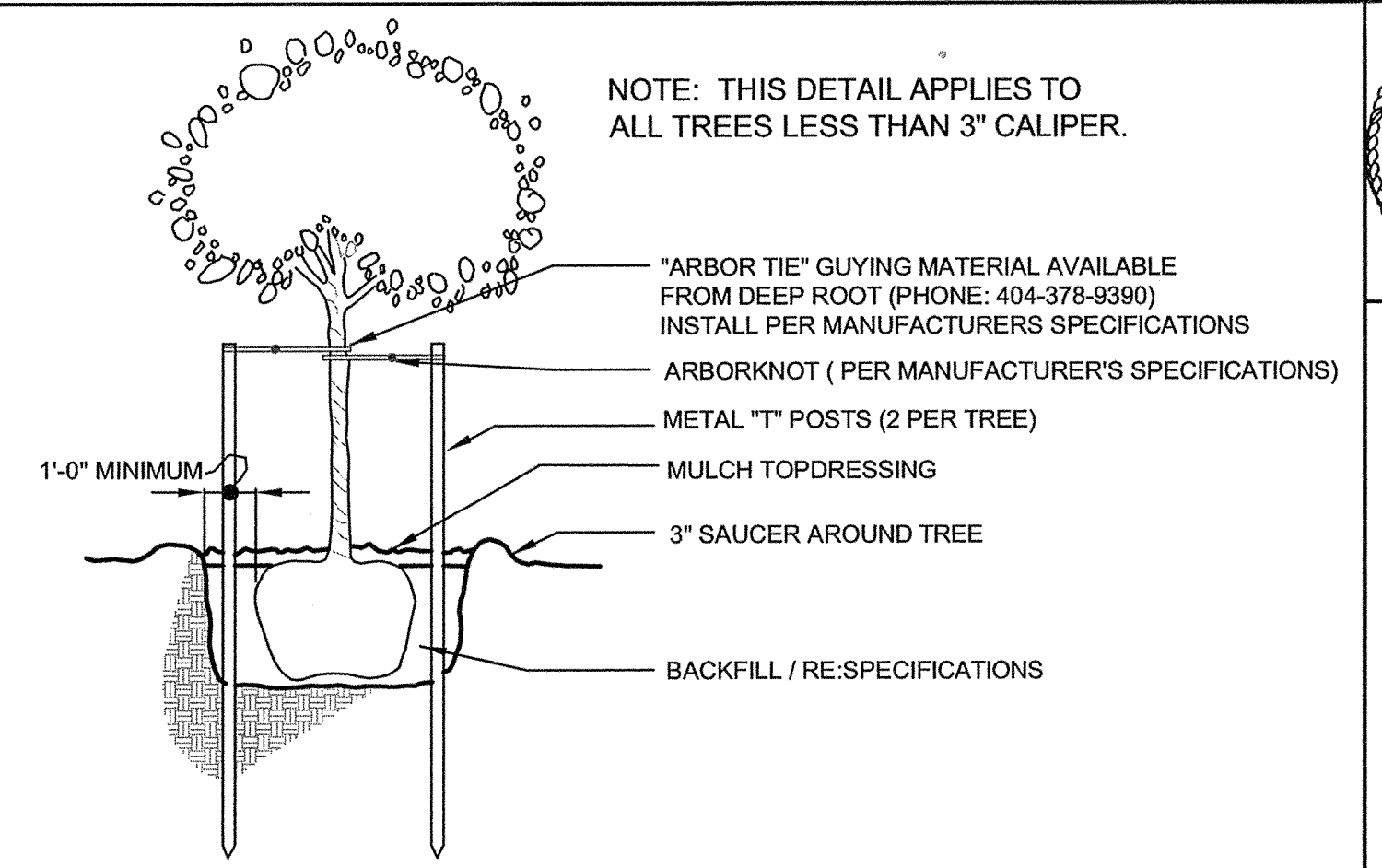
ARBORKNOT ( PER MANUFACTURER'S SPECIFICATIONS)

METAL "T" POSTS (2 PER TREE)

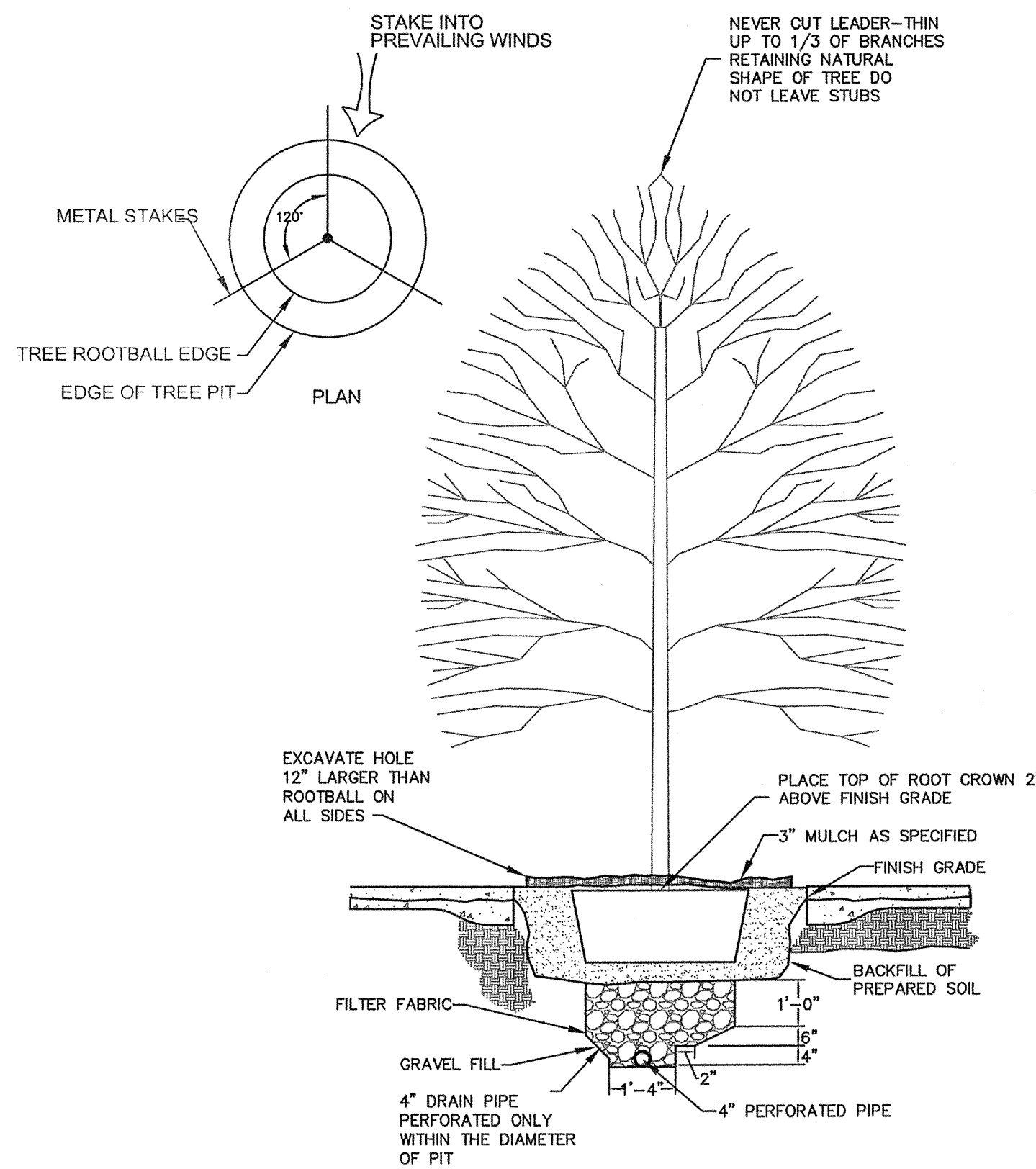
MULCH TOPDRESSING

3\"/> SAUCER AROUND TREE

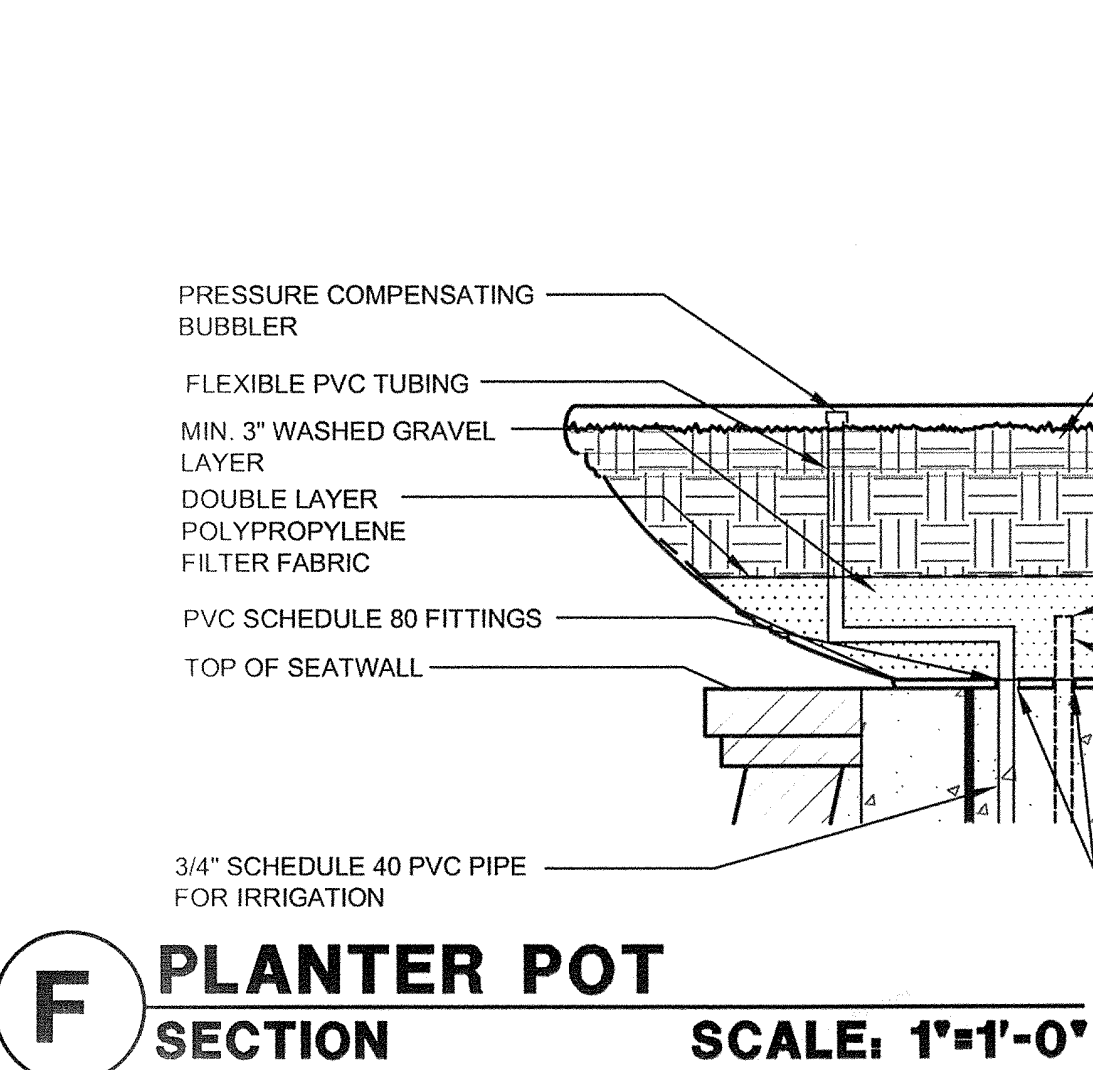
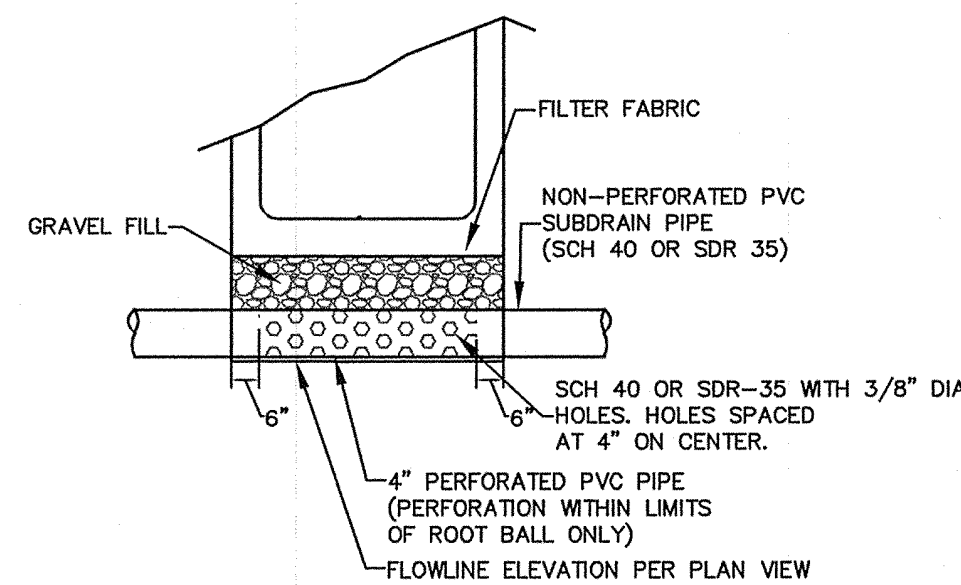
BACKFILL / RE-SPECIFICATIONS



**A TREE STAKING DETAIL**  
SCALE: N.T.S.



**E TREE WELL PLANTING SECTION**  
SCALE: 1\"/>-1\"/>-0\"/>



**F PLANTER POT SECTION**  
SCALE: 1\"/>-1\"/>-0\"/>

**PLANTER NOTES:**

1. PROVIDE PENETRATIONS IN THE BOTTOM OF PLANTERS FOR DRAINLINE & IRRIGATION LINE ACCESS
2. PLANTER BACKFILL TO BE "FORTIFIED POTTING SOIL" BY LIVING EARTH TECHNOLOGY (PHONE: 214-869-4332) OR APPROVED EQUAL.

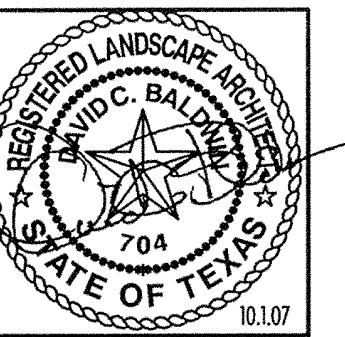
**GENERAL NOTES:**

1. QUANTITIES SHOWN ON PLANT LIST ARE LANDSCAPE ARCHITECT'S ESTIMATE ONLY AND SHOULD BE VERIFIED PRIOR TO BIDDING. CONTRACTOR SHALL BE RESPONSIBLE FOR BIDDING AND PROVIDING QUANTITY OF PLANTS REQUIRED AT SPACING DESIGNATED FOR BED SIZES AND CONFIGURATIONS SHOWN ON PLANS REGARDLESS OF QUANTITIES DESIGNATED ON PLANT LIST.
2. ALL SIZE REQUIREMENTS AND CONTAINER SIZES FOR PLANT MATERIALS SHOWN ON THE PLANT LIST MUST BE MET AS MINIMUM. IF ANY SPECIFIC REQUIREMENT CANNOT BE MET (I.E., IF A 100 GALLON TREE CANNOT MEET THE SPECIFIED CALIPER REQUIREMENT), THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO BIDDING. THE CONTAINER SIZE MUST BE MET REGARDLESS WHETHER THE SPECIFIED SIZES CAN BE REACHED WITH A SMALLER SIZE CONTAINER.
3. CONTRACTOR TO REPAIR ALL LANDSCAPE AREAS DISTURBED BY CONSTRUCTION OPERATIONS. PROVIDE SOLID SOD GRASS AND REPAIR EXISTING IRRIGATION SYSTEM IF NECESSARY. APPLIES TO ALL ALTERNATES TOO.
4. ALL LANDSCAPING WILL BE WATERED BY AN AUTOMATIC UNDERGROUND WATERING SYSTEM.

KEY	QUANTITY (LANDSCAPE ARCHITECT'S ESTIMATE ONLY)	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
EH	7	EAST PALATKAHOLLY	Ilex attenuata 'East Palatka'	65 gal. Minimum 9' height spread, standard.	Container grown; Branching at 5'; matched
LO	148	LIVE OAK	Quercus virginiana	65 gal. Minimum 3 1/2" caliper x 12' height x 6' spread	Container-grown; full head; branching at ± 6'; matched.
CE	5	CEDAR ELM	Ulmus crassifolia	Mn. 4" caliper; min. 12' height and 6' spread	Field-collected; B&B, containerized, or container-grown; full head
RO	18	SHUMARD RED OAK	Quercus shumardii	65 gal. Minimum 3 1/2" caliper x 12' height x 6' spread	Container-grown; full head; branching at ± 6'; matched.
CM	31	CRAPE MYRTLE 'Natchez'	Lagerstroemia indica 'Natchez'	30 gallon; min. 10' height x 6' spread; multi-trunk; min.	Container grown; full; multi-trunk.
LGM	27	SOUTHERN MAGNOLIA 'Little Gem'	Magnolia grandiflora 'Little Gem'	45 Gal. Minimum 2" caliper, min. 10' height and 4' spread	Container-grown; full-to-ground; matched
SRJ	23	SKYROCKET JUNIPER	Juniperus chinensis 'Skyrocket'	30 gallon; min. 7' height x 3' spread.	Container-grown; full-to-ground; matched
FH	24	FESTIVE HOLLY	Ilex 'festive'	30 gallon; min. 7' height x 3' spread.	Container-grown; full-to-ground; matched
RB	6	OKLAHOMARED BUD	Cercis canadensis	Minimum 10' height and 4 1/2' spread	Nurs-grown, B & B, containerized or cont-grown; full head
SM	26	SAUCER MAGNOLIA	Magnolia soulangiana	Minimum 10' height and 4 1/2' spread	Nursery-grown, B & B, containerized or cont-grown; full head
EC	2	EASTERN RED CEDAR	Juniperus virginiana	B&B, min. 10' height x 3' spread; single trunk; min. 2" caliper.	B&B, full to the ground
SGJ	148	SEA GREEN JUNIPER	Juniperus pfitzeriana 'Sea Green'	7 gallon. Minimum 28" height and 20" spread	Full-to-ground; plant 42" o.c.
DYH	91	DWARF YAUPON HOLLY	Ilex vomitoria 'Nana'	5 gallon. Minimum 15" height and 15" spread	Full-to-ground; plant 24" o.c.
CH	913	CARRISA HOLLY	Ilex cornuta 'Carrisa'	5 gallon; minimum 24" height and 20" spread	Full-to-ground; plant 24" o.c.
GSN	72	GULFSTREAM NANDINA	Nandina domestica 'Gulfstream'	5 gallon. Minimum 24" height and 18" spread	Full-to-ground; plant 24" o.c.
IH	74	DWARF INDIAN HAWTHORNE	Raphiolepis indica 'Bay Breeze'	5 gallon; minimum 24" height and 20" spread	Full-to-ground; plant 30" o.c.
IH2	68	DWARF INDIAN HAWTHORNE	Raphiolepis indica 'Pinkie'	5 gallon; minimum 24" height and 20" spread	Full-to-ground; plant 30" o.c.
MG	29	MAIDENGRASS	Miscanthus sinensis 'Gracillimus'	5 gallon. Minimum 15" height and 15" spread	Full; plant 60" o.c.
HG	33	HAMELN GRASS	Pennisetum alopecuroides 'Hameln'	3 gallon 15" height, 15" spread	Full pot, 24" o.c.
AJ	2648	ASIAN JASMINE	Trachelospermum asiaticum	1 gallon, 18" spread	Full pot, 18" o.c., minimum 5 runners
SHD	157	SHASTA DAISY	Chrysanthemum x superbum 'Snowcap' (Leucanthemum)	1 gallon	Full; plant 18" o.c.
BI	49	BOSTON IVY	Parthenocissus tricuspidata	1 gallon; Mn. 10"-12" height	Full; minimum 5 runners.
PWC	1302	PURPLE WINTER CREEPER	Euonymus 'Coloratus'	1 gallon. Minimum 5" height and 15" spread	Full; plant 18" o.c.
SC	1783	SEASONAL COLOR	To be determined	4" pot	Full pot, 12" o.c.
LI	619	'BIG BLUE' LIRIOPE	Liriope muscari 'Big Blue'	4" pot	Full; plant 12" o.c.
MG	2484	MONKEY GRASS	Ophiopogon japonicus	4" pot	Full; plant 12" o.c.

**G PLANTING LIST**  
SCALE: N.T.S.

LANDSCAPE TABULATIONS	REQUIRED	PROVIDED
<b>LES LACS SUB DISTRICT PLANTING STANDARDS:</b> -Shade trees min. 4" caliper @ 25' - 30' O.C. in a min. 5' x 12' planted well. -Multi tier perimeter plantings along building.  -Site furnishings at an interval of 150'. -Site lighting at an interval of 90' o.c.		-78 STREET TREES 4" CAL. @ 30' o.c. -MULTI TIER PLANTING INCLUDING SHADE TREES, ORNAMENTAL TREES, SHRUBS, GROUNDCOVERS, VINES, AND SEASONAL COLOR. -SITE FURNISHING @ AN INTERVAL OF 90' O.C. -SITE LIGHTING @ AN INTERVAL OF 90' O.C.
<b>LES LACS SUB DISTRICT DEVELOPMENT STANDARDS:</b> -1' DISMOUNT STRIP. -5' TREE PLANTING ZONE. -6' CLEAR SIDEWALK. -4' RESIDENTIAL LANDSCAPE SET BACK. -SITE FURNISHINGS @ AN INTERVAL OF 150'. -Site lighting at an interval of 90' o.c.		-1' DISMOUNT STRIP. -5' TREE PLANTING ZONE. -6' CLEAR SIDEWALK. -4' RESIDENTIAL SETBACK. -SITE FURNISHING @ AN INTERVAL OF 90' O.C. -SITE LIGHTING @ AN INTERVAL OF 90' O.C.



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Sheet Title:  
PLANTING DETAILS

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Drawn: BJL

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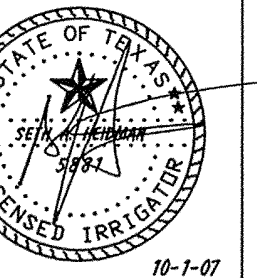
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of sheets







No.	Date	REVISIONS

# ASBURY CIRCLE

ADDISON, TX

DAVID C. BALDWIN  
INCORPORATED



LANDSCAPE ARCHITECTURE  
PLANNING  
730 EAST PARK BOULEVARD  
SUITE 100 PLANO, TX 75074

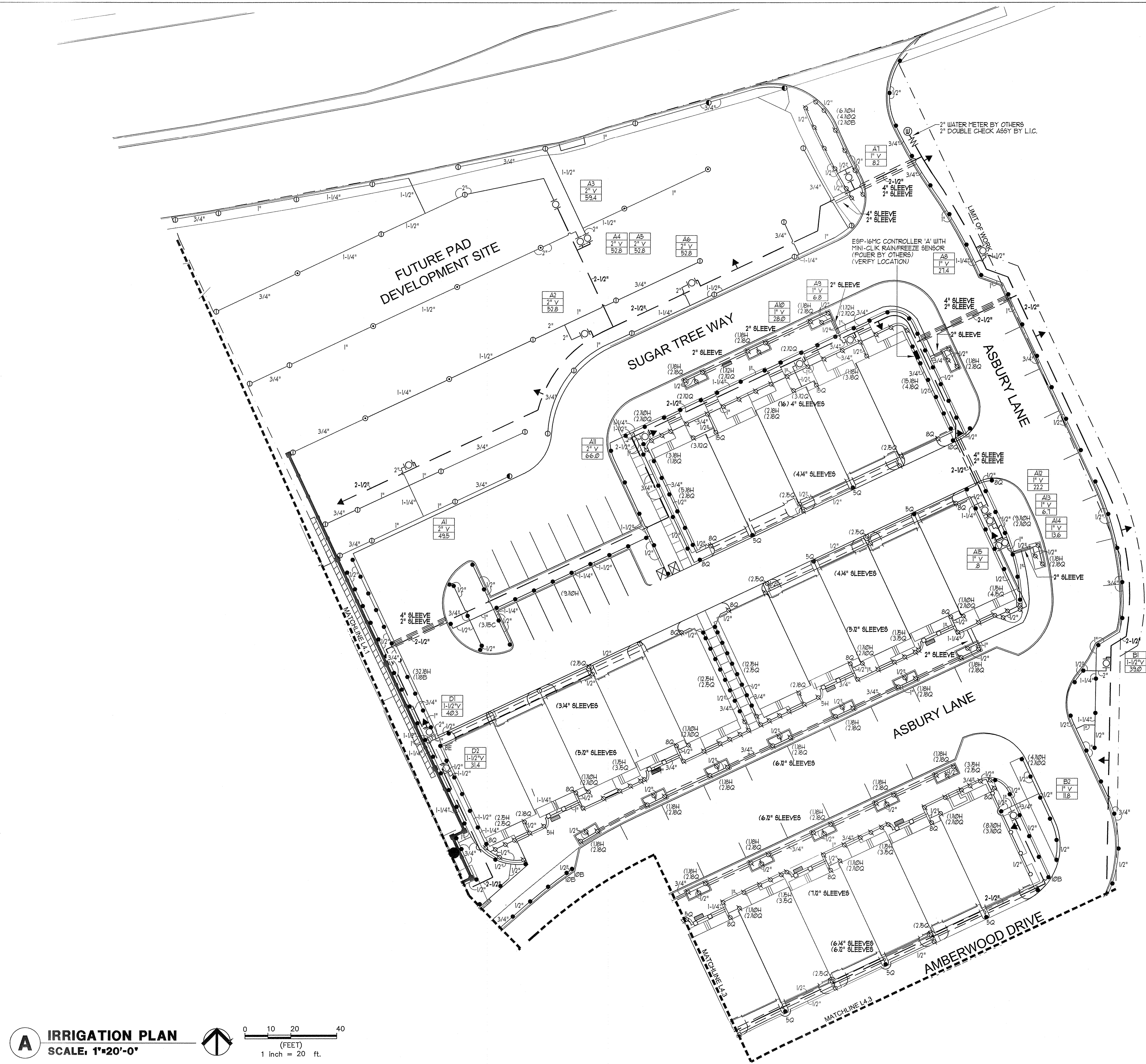
TEL: (972) 509-1266  
FAX: (972) 509-1269

IRRI\*TECH

12650 SCHROEDER RD.  
DALLAS, TEXAS 75243  
TEL: (972) 231-5151  
FAX: (972) 231-5172

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IRRIGATION PLAN

Proj. No.: 07087  
Date: 1 OCT 07  
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**L4.2**  
of sheets



**A** IRRIGATION PLAN  
SCALE: 1"=20'-0"



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INCORPORATED



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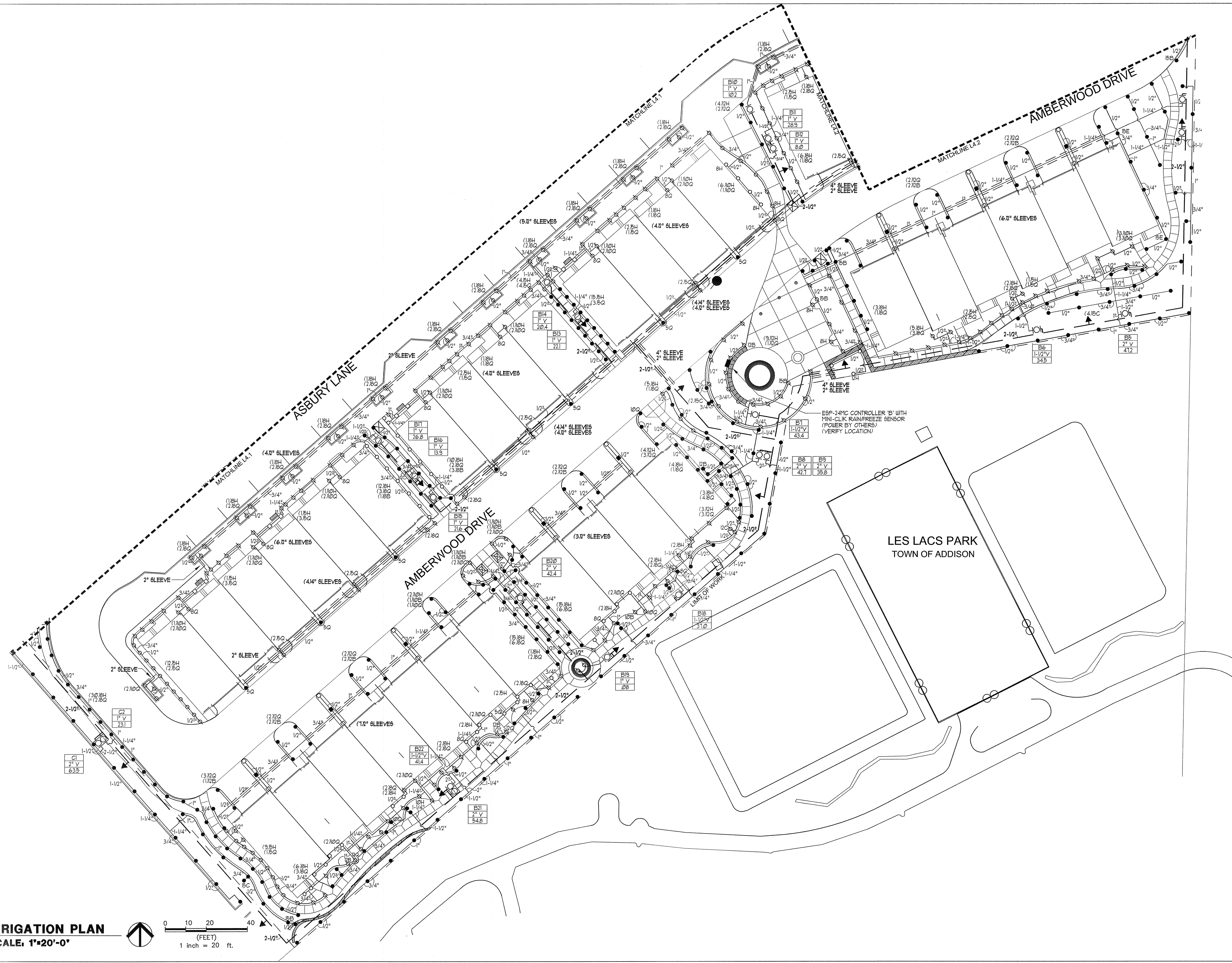
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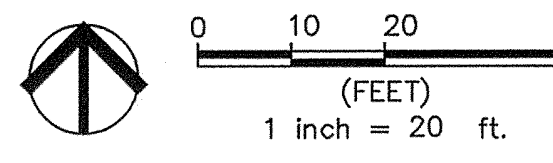
12650 SCHROEDER RD.  
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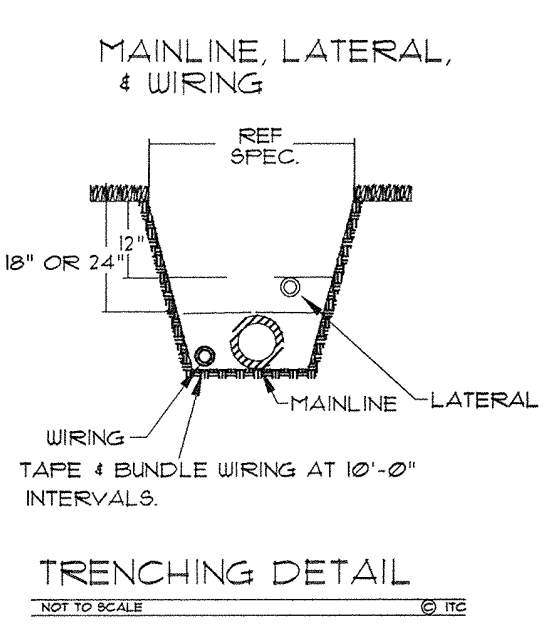
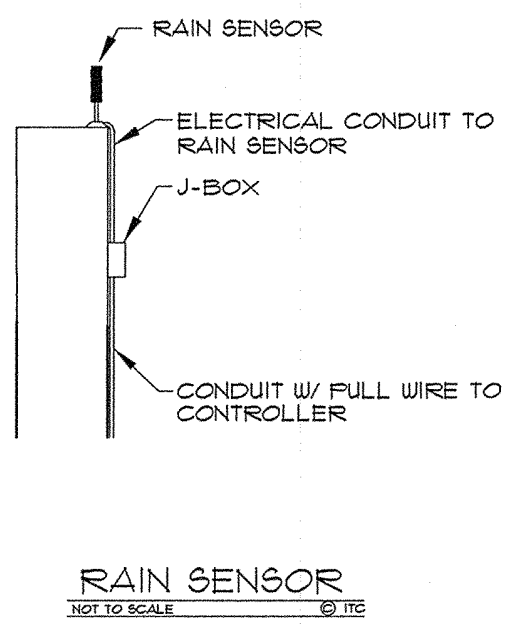
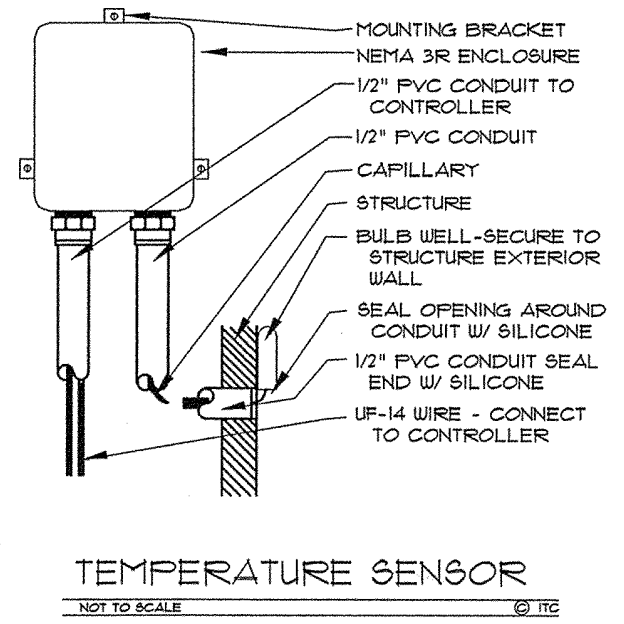
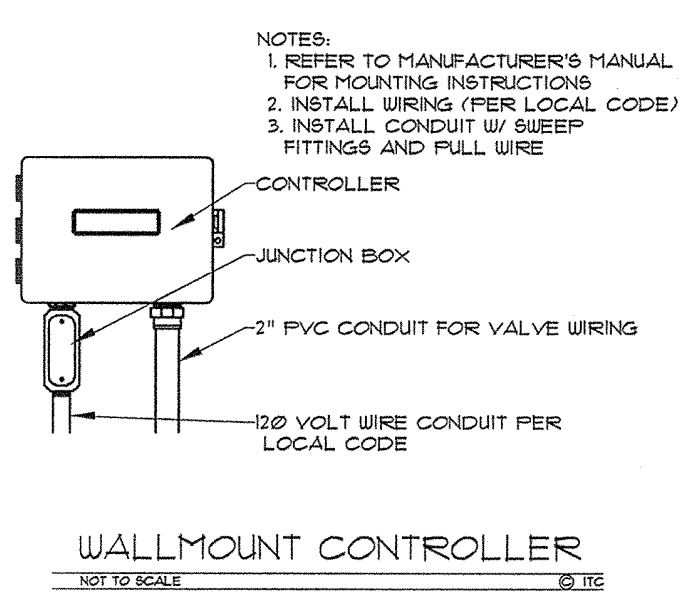
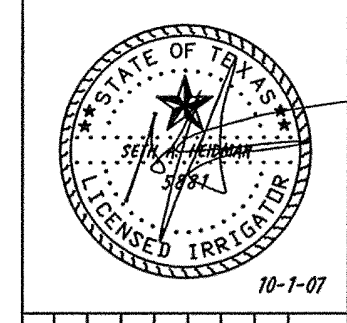
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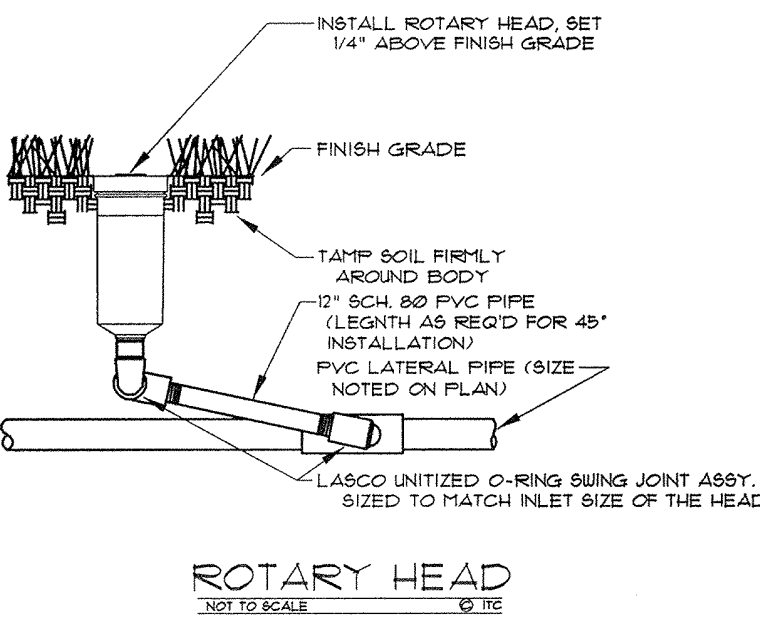
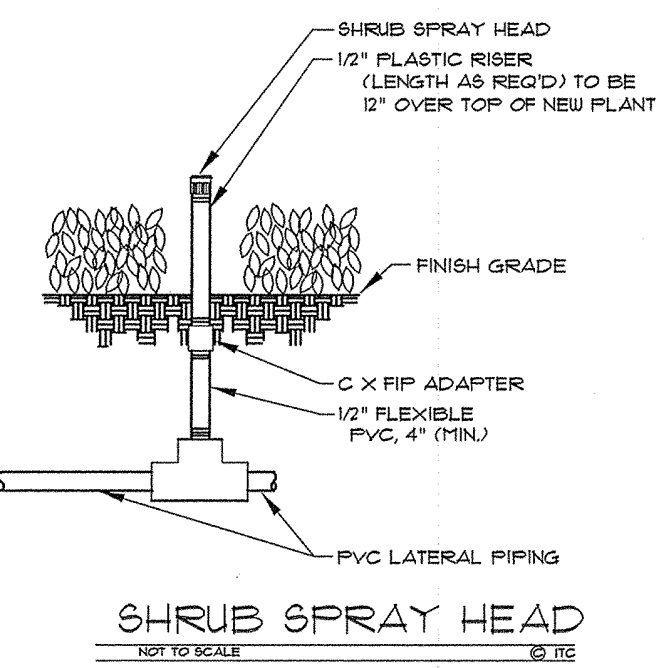
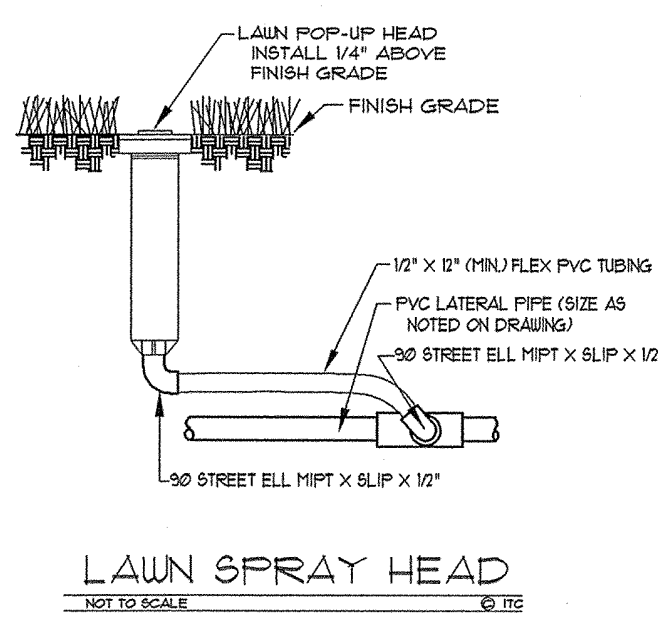
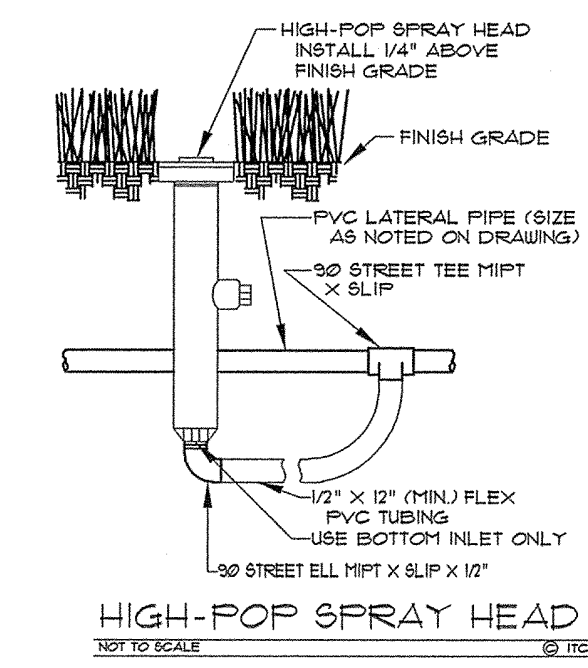
**A** IRRIGATION PLAN  
SCALE: 1"=20'-0"





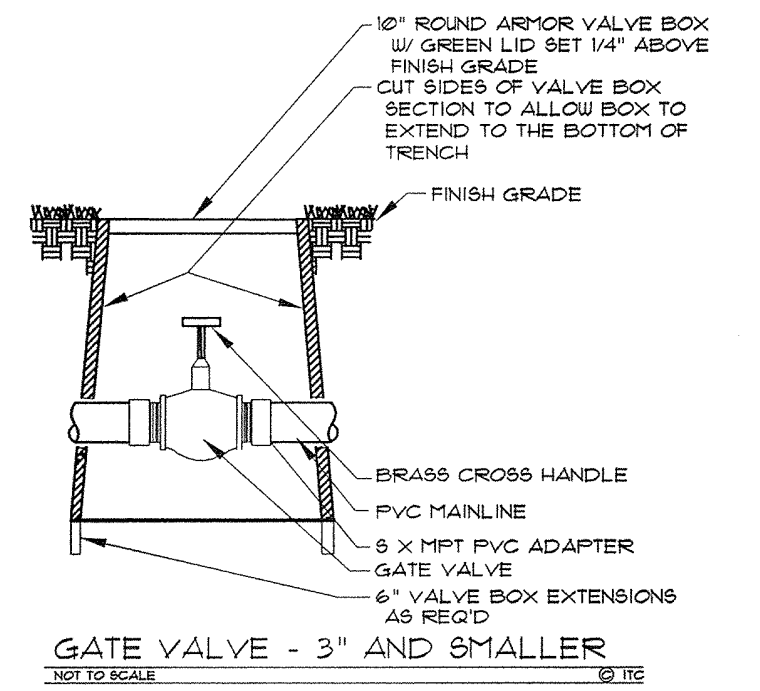
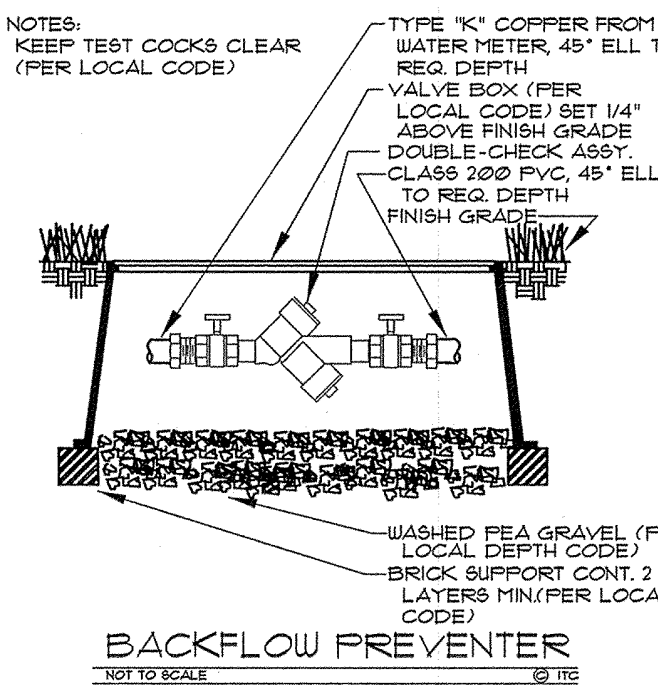
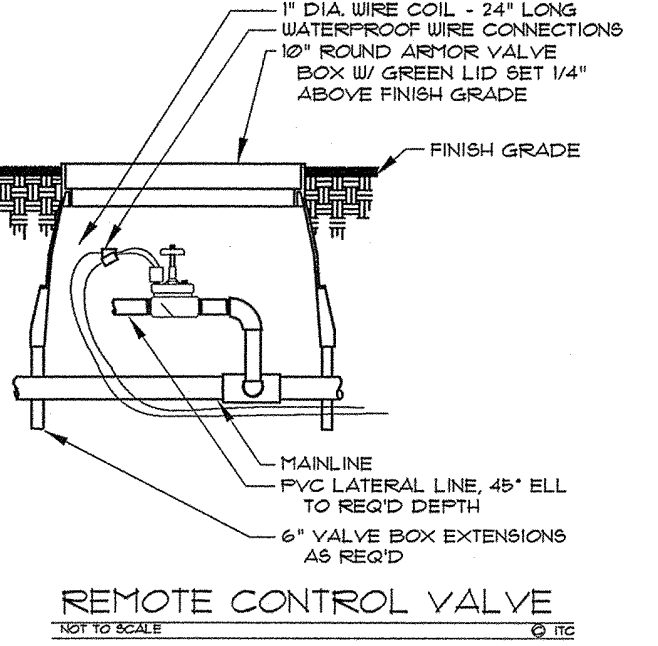
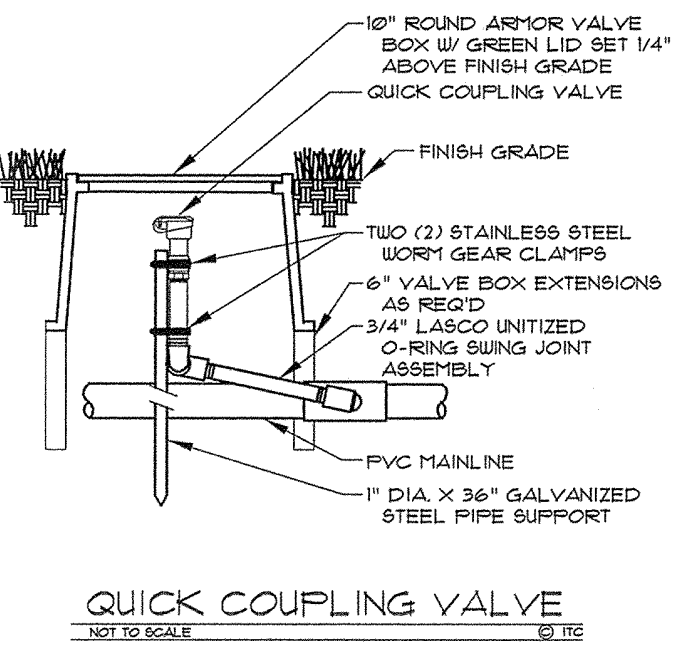
**NOTES:**

- ALL 24 VOLT LEAD AND COMMON VALVE WIRING SHALL BE A MINIMUM OF UF-14 GA. SINGLE CONDUCTOR. REFER TO MANUFACTURER'S RECOMMENDATIONS FOR PROPER WIRE SIZE. WIRE SPLICES SHALL BE PERMANENT AND WATERPROOF.
- COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH LANDSCAPE CONTRACTOR TO ENSURE ALL PLANT MATERIAL WILL BE WATERED IN ACCORDANCE WITH THE INTENT OF THE PLANS AND SPECIFICATIONS.
- LATERAL PIPING SHALL HAVE A MINIMUM OF 12" OF COVER. MAINLINE AND PIPING UNDER PAVING SHALL HAVE A MINIMUM OF 18" OF COVER. USE WELD-ON #105 SOLVENT AND #P-60 PRIMER FOR PVC CONNECTIONS.
- PIPING AND VALVES IN PAVING SHOWN FOR CLARITY, INSTALL IN ADJACENT PLANTING BED OR LAWN AREA.
- CONNECT LAWN AND HIGH-POP SPRAY HEADS TO LATERAL PIPING WITH 1/2" FLEXIBLE PVC AND 1/2" SCH. 40 PVC FITTINGS AS REQUIRED, PER DETAIL SHOWN. USE WELD-ON #105 SOLVENT AND #P-60 PRIMER ON THESE CONNECTIONS.
- CONNECT ROTARY HEADS TO LATERAL PIPE WITH LASCO "UNITIZED", O-RING SWING JOINTS PER DETAIL SHOWN, #T122-212.
- INSTALL QUICK COUPLING VALVES IN TEN (10") INCH ARMOR (AMETEK) VALVE BOX PER DETAIL SHOWN. CONNECT QUICK COUPLING VALVES TO MAINLINE PIPE WITH LASCO "UNITIZED", O-RING SWING JOINTS PER DETAIL SHOWN, #T122-212. SUPPLY OWNER WITH THREE (3) COUPLER KEYS WITH SWIVEL HOSE BIBB EACH, #3DK-10 AND #9H-0 RESPECTIVELY. VALVES TO BE INSTALLED SO THAT TOP OF QUICK COUPLER IS 2" BELOW BOTTOM OF VALVE BOX TOP.
- INSTALL REMOTE CONTROL VALVES IN TEN (10") INCH ARMOR (AMETEK) VALVE BOXES PER DETAIL SHOWN.
- PERFORM ELECTRICAL WORK IN ACCORDANCE WITH LOCAL BUILDING CODE. POWER (120V) SHALL BE LOCATED IN A JUNCTION BOX WITHIN FIVE (5') FEET OF CONTROLLER LOCATION BY OTHER TRADES.
- SLEEVES SHALL BE CLASS 200 PVC, SIZED AS NOTED ON PLANS AND INSTALLED BY OTHER TRADES.
- ROUTE COMMON WIRE FROM CONTROLLER TO REMOTE SENSORS IN SERIES PRIOR TO CONNECTING TO REMOTE CONTROL VALVES.
- CONTRACTOR TO INSTALL AND ADJUST VAN SERIES NOZZLES FOR SITUATIONS THAT REQUIRE LESS THAN 90 DEGREE RADIUS SPRAY.
- TEN DAYS PRIOR TO START OF CONSTRUCTION, VERIFY STATIC PRESSURE. IF STATIC PRESSURE IS LESS THAN 110 PSI, DO NOT START WORK UNTIL NOTIFIED TO PROCEED BY OWNER. DESIGN PRESSURE IS 63.9 PSI.
- MINIMUM DISTANCE BETWEEN MAIN LINE AND LATERAL LINE FITTINGS (EXCEPT FOR REDUCER BUSHINGS) TO BE 18".
- MINIMUM HORIZONTAL DISTANCE OF 36" TO BE MAINTAINED BETWEEN ANY VALVES THAT ARE INSTALLED SIDE BY SIDE.



**IRRIGATION LEGEND:**

SYMBOL	DESCRIPTION	MANUFACTURER	MODEL NO.
●	LAWN SPRAY HEAD	RAINBIRD	1024 W/ 15F, 15H, OR 15Q MPR PLASTIC NOZZLES UNLESS NOTED OTHERWISE
⊗	HIGH-POP SPRAY HEAD	RAINBIRD	1012 W/ 15F, 15H, OR 15Q MPR PLASTIC NOZZLES UNLESS NOTED OTHERWISE
○	SHRUB SPRAY HEAD	RAINBIRD	PA-85 ADAPTER W/ 15F, 15H, OR 15Q MPR PLASTIC NOZZLES UNLESS NOTED OTHERWISE
■	LAWN CENTER STRIP HEAD	RAINBIRD	1024 W/ #5CST NOZZLE
□	LAWN END STRIP HEAD	RAINBIRD	1024 W/ #5E1T NOZZLE
▣	HIGH-POP CENTER STRIP HEAD	RAINBIRD	1012 W/ #5CST NOZZLE
⊞	HIGH-POP END STRIP HEAD	RAINBIRD	1012 W/ #5E1T NOZZLE
⊙	SMALL ROTARY PART-CIRCLE	HUNTER	PGP W/ #1 NOZZLE
⊚	SMALL ROTARY FULL-CIRCLE	HUNTER	PGP W/ #10 NOZZLE
⊕	ROTARY PART-CIRCLE	HUNTER	PGP W/ #10 NOZZLE
⊗	ROTARY FULL-CIRCLE	HUNTER	PGP W/ #12 NOZZLE
▲	QUICK COUPLING VALVE	RAINBIRD	3RC
⊕	REMOTE CONTROL VALVE	RAINBIRD	PEB SERIES W/ EASY RAIN CONTROLLER REFER TO PLAN FOR SIZE
⊙	REMOTE CONTROL VALVE	RAINBIRD	PEB SERIES, REFER TO PLAN FOR SIZE
●	GATE VALVE (3" AND SMALLER)	NIBCO	#T-113 - LINE SIZE
■	CONTROLLER	RAINBIRD	ESP-MC SERIES W/ MINI-CLIK RAIN AND FREEZE SENSOR
—	MAINLINE PIPING	REFER TO SPEC.	CLASS 200 PVC
—	LATERAL PIPING	REFER TO SPEC.	3/4" & LARGER - CLASS 200 PVC 1/2" - CLASS 315 PVC
NN	BACKFLOW PREVENTER	FEBCO	#580Y
⊕	WATER METER	REFER TO SPEC.	PER LOCAL BUILDING CODE
□	STATION NUMBER		
□	VALVE SIZE		
□	GPM (APPROX.)		



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**DAVID C. BALDWIN**  
 INCORPORATED  
  
 LANDSCAPE ARCHITECTURE PLANNING  
 730 EAST PARK BOULEVARD  
 SUITE 100 PLANO, TX 75074  
 TEL: (972) 509-1266  
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