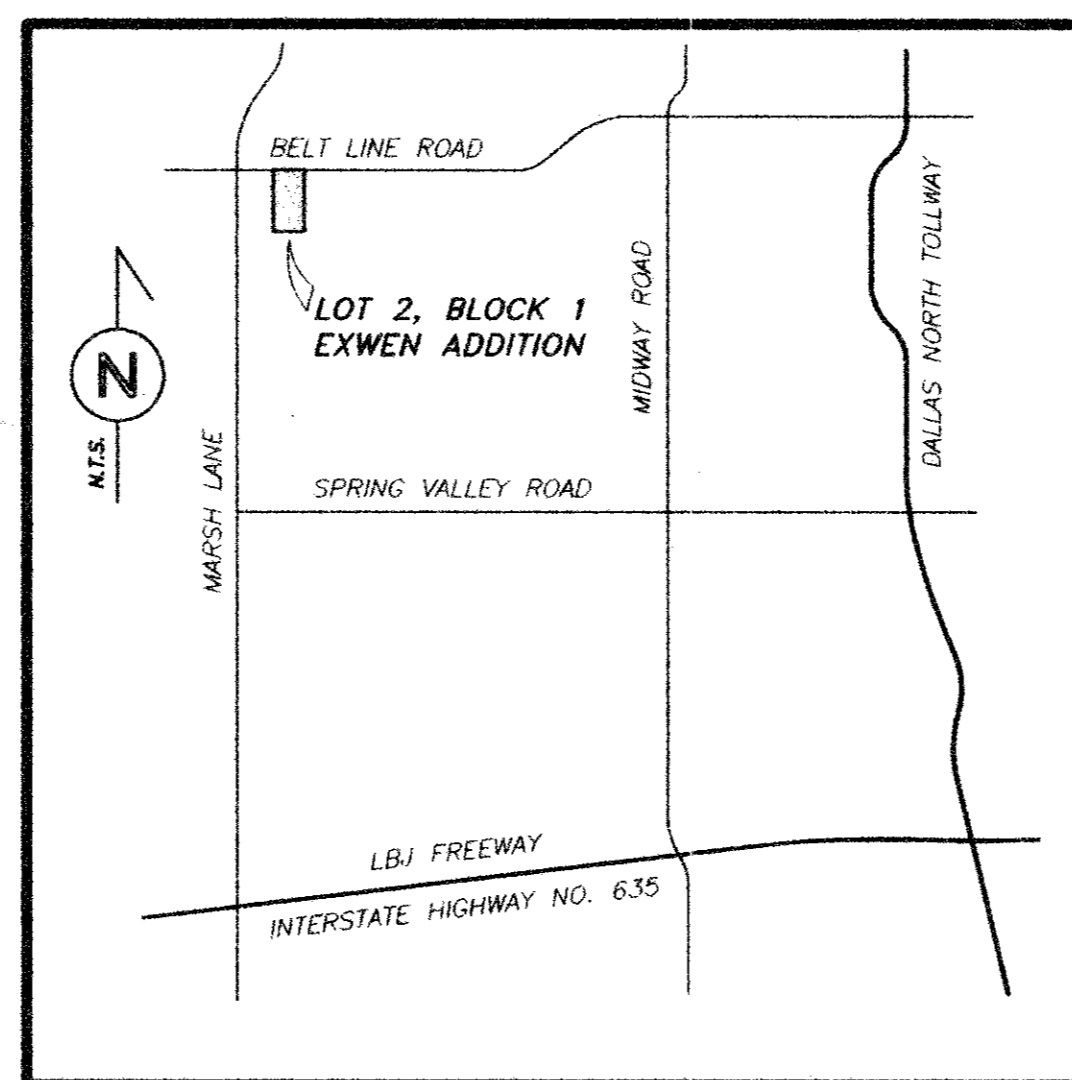


SITework PLANS FOR LOT 2, BLOCK 1 - EXWEN ADDITION ADDISON TOWN CENTER TOWN OF ADDISON, TEXAS

SHEET INDEX

C-1	DIMENSION CONTROL PLAN
C-2	TOPOGRAPHIC SURVEY
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C-6	EROSION CONTROL PLAN
C-7	STORM DRAIN DETAILS
C-8	DRAINAGE AREA MAP
C-9	SANITARY & STORM SEWER PROFILES



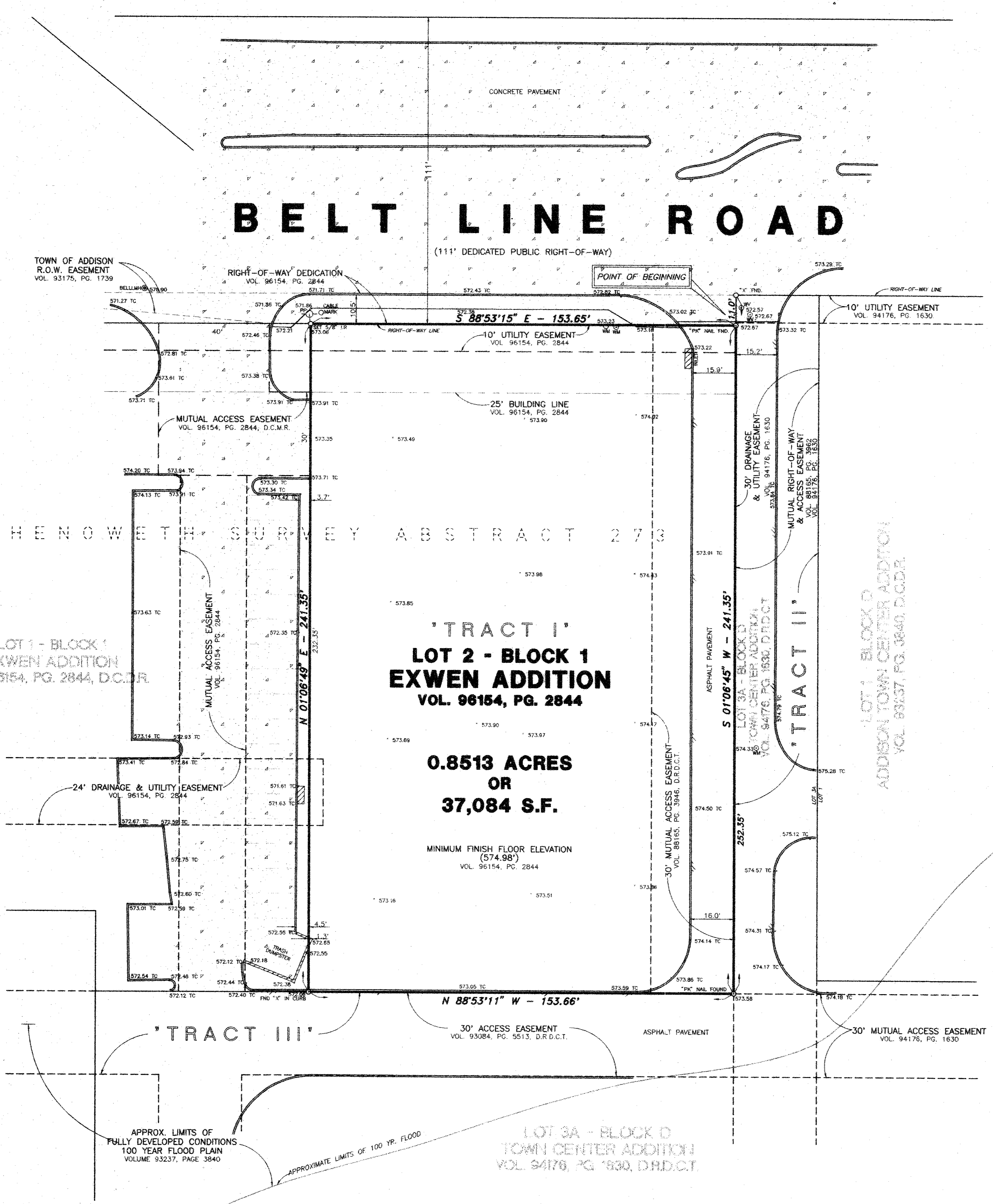
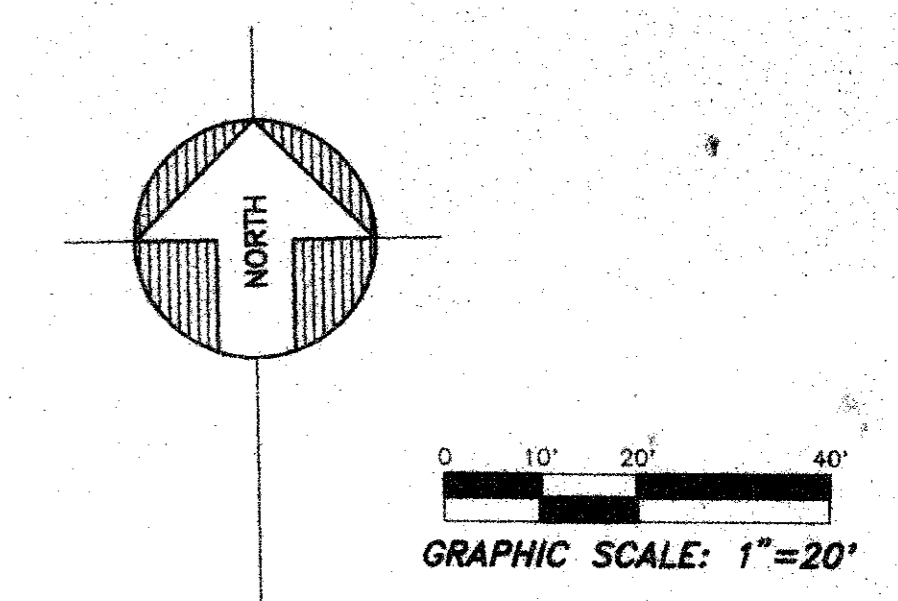
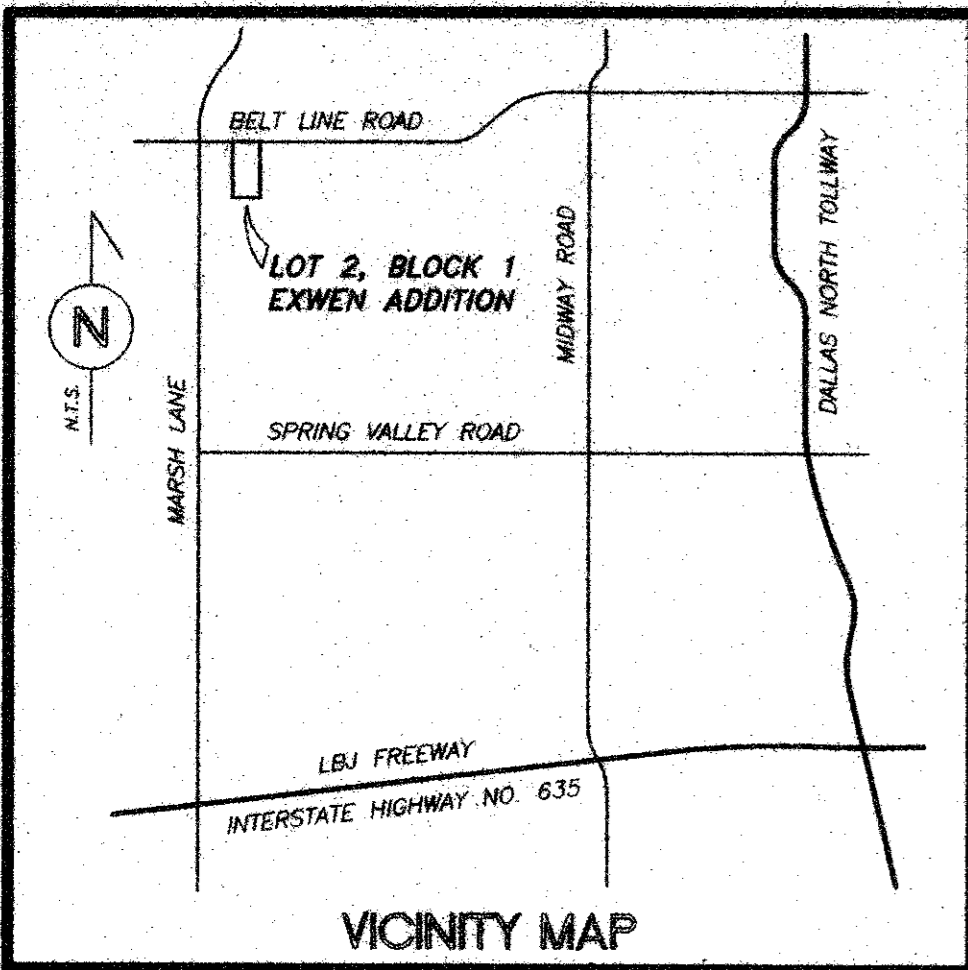
VICINITY MAP

DEVELOPER:
HUNT PROPERTIES, INC.
8235 DOUGLAS AVENUE, SUITE 1300
DALLAS, TEXAS 75225
(214) 360-9600
CONTACT: DAVE BERNDT

PROJECT ARCHITECT:
ENVIROPLAN
8235 DOUGLAS AVENUE, SUITE 350
DALLAS, TEXAS 75225
(214) 692-0851
FAX: (214) 739-6849
CONTACT: GARY JOHNSON

CIVIL ENGINEER:
LAWRENCE A. CATES & ASSOCIATES, INC.
14200 MIDWAY ROAD, SUITE 122
DALLAS, TEXAS 75244
(972) 385-2272
FAX: (972) 980-1627
CONTACT: DAVE WALLS

AS BUILT
DATE 13 Jun 98



SURVEY PLAT

TO ALL PARTIES INTERESTED IN PREMISES SURVEYED:

This is to certify that I have, this date, made a careful and accurate survey on the ground of the following described property:

TRACT I

BEING all that certain lot, tract or parcel of land situated in the Town of Addison, Dallas County, Texas and being known as Lot 2 of Block 1 of the EXWEN ADDITION, an addition to the Town of Addison, Texas according to the plat thereof as recorded in Volume 96154, Page 2844 of the Map Records of Dallas County, Texas and being more particularly described by metes and bounds as follows:

BEGINNING at a "pk" nail found in asphalt for corner at the Northeast corner of said Lot 2, Block 1, EXWEN ADDITION, same being an angle point in the South line of Beltline Road, a 111 foot wide right-of-way at this point, and being on the West line of Lot 3A of Block D of the ADDISON TOWN CENTER ADDITION, an addition to the Town of Addison according to the plat thereof as recorded in Volume 94176, Page 1630 of the Map Records of Dallas County, Texas, and from which an "x" found in concrete at the Northwest corner of said Lot 3A, Block D, same being an angle point in the South line of said Beltline Road, bears NORTH 01° 06' 45" EAST, a distance of 11.00 feet;

THENCE departing said Beltline Road, along and with the common line of said Lot 2, Block 1 and said Lot 3A, Block D, SOUTH 01° 06' 45" WEST (Bearing Basis), a distance of 241.35 feet to a "pk" nail found for corner at the Southeast corner of said Lot 2 and an interior corner of said Lot 3A;

THENCE along and with the common line of said Lot 2, Block 1 and said Lot 3A, Block D, NORTH 88° 53' 11" WEST, a distance of 153.66 feet to an "x" found in a concrete curb at the Southwest corner of said Lot 2 and the Southeast corner of Lot 1 of Block 1 of said EXWEN ADDITION;

THENCE departing said Lot 3A, Block D, along and with the common line of said Lot 2 and Lot 1 of Block 1 of said EXWEN ADDITION, NORTH 01° 06' 49" EAST, a distance of 241.35 feet to a 5/8" iron rod set for corner at the Northwest corner of said Lot 2, same being the Northeast corner of said Lot 1 and being on the South line of aforesaid Beltline Road;

THENCE departing said Lot 1, along and with the common line of said Beltline Road and said Lot 2, Block 1, SOUTH 88° 53' 15" EAST, a distance of 153.65 feet to the POINT OR PLACE OF BEGINNING and CONTAINING 0.8513 ACRES or 37,084 SQUARE FEET OF LAND, more or less.

CERTIFICATION

The plat hereon is a true, correct, and accurate representation of the property as determined by survey, subject to any and all easements, reservations, and restrictions that may be of record, the lines and dimensions of said property being as indicated by the plat; the size, location and type of buildings and improvements are as shown, all improvements being within the boundaries of the property, set back from property lines the distances indicated, and that the distances from the nearest intersecting street or road is as shown on said plat. There are no encroachments, conflicts or protrusions, except as shown.

DAVID PETREE
REGISTERED PROFESSIONAL LAND SURVEYOR
REG. NO. 1890

AS BUILT
DATE 13 Jun 98

TOPOGRAPHIC SURVEY

LOT 2 - BLOCK 1

EXWEN ADDITION

TOWN OF ADDISON, DALLAS COUNTY, TEXAS

BY: DAVID PETREE
REGISTERED PROFESSIONAL
LAND SURVEYOR NO. 1890
11015 MIDWAY ROAD
DALLAS, TEXAS 75229
(214) 358-4500

DATE: MAY 07, 1997
SCALE: 1" = 20'

C-2

- LEGEND**
- F.H. FIRE HYDRANT
 - X SET CHISELED "X" SET
 - X FOUND CHISELED "X" FOUND
 - F.I.R. IRON ROD FOUND (SIZE AS NOTED)
 - S.I.R. IRON ROD SET (SIZE AS NOTED)
 - P.P. OVERHEAD UTILITY POLE W/ GUY
 - U.B. UNDERGROUND ELECTRIC OR TELEPHONE
 - L.P. LIGHT POLE
 - S.M.H. SANITARY SEWER MANHOLE
 - C.O. SAN. SWR. CLEAN OUT
 - G.V. GAS VALVE
 - W.V. WATER VALVE
 - T. TREE

FLOOD NOTE:

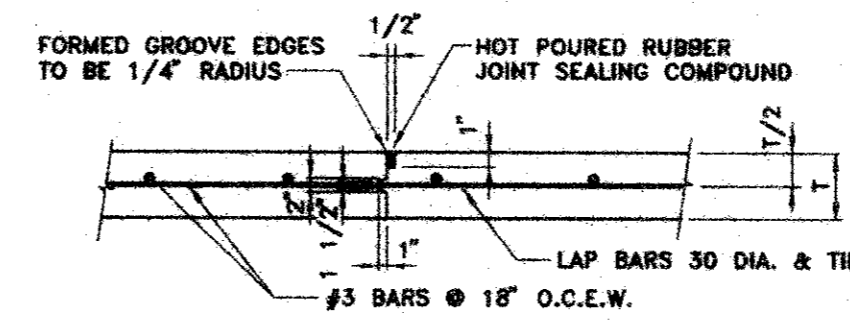
The property shown hereon lies in a "special flood hazard area", according to flood notes shown by plat of Addison Town Center, an addition to the City of Addison according to the plat thereof recorded in Volume 93237, Page 3840, Dallas County Map Records.

APPROX. LIMITS OF FULLY DEVELOPED CONDITIONS 100 YEAR FLOOD PLAIN VOLUME 93237, PAGE 3840

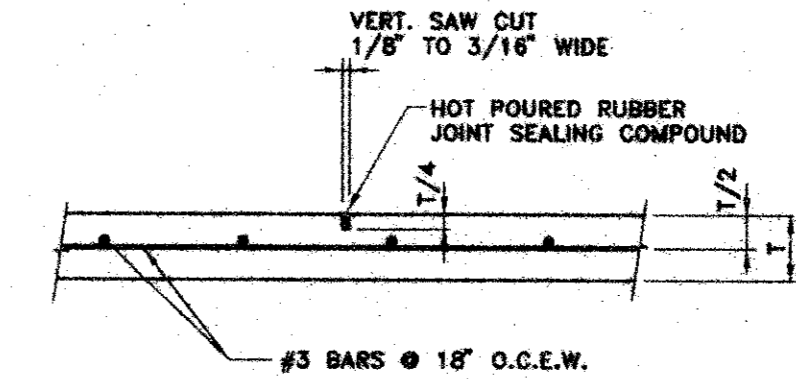
LOT 3A - BLOCK D TOWN CENTER ADDITION VOL. 94176, PG. 1630, D.R.D.C.T.

BELT LINE ROAD

(111' DEDICATED PUBLIC RIGHT-OF-WAY)



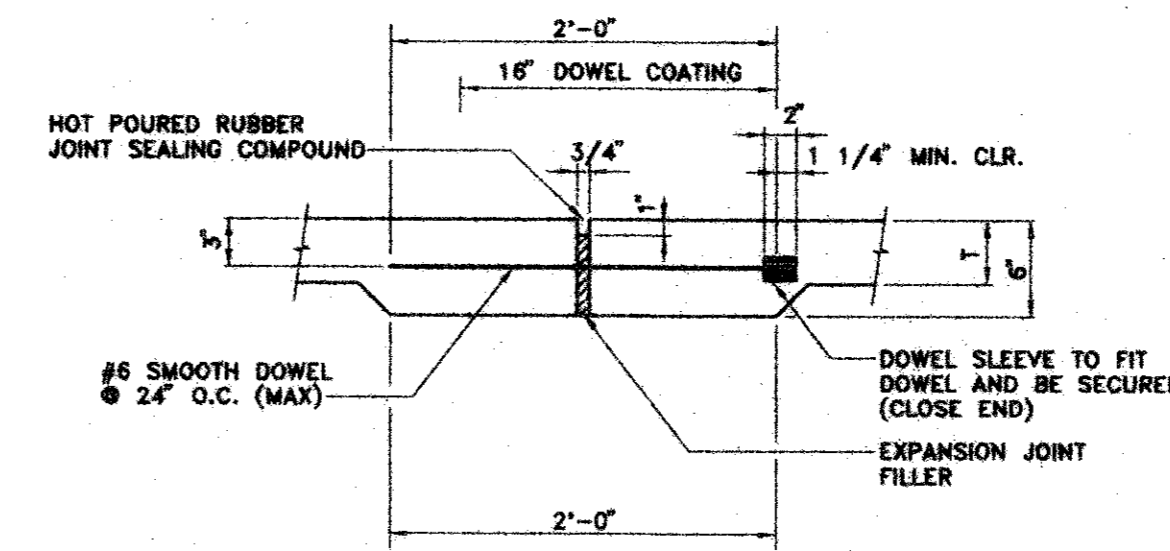
0.1 CONSTRUCTION JOINT
N.T.S.



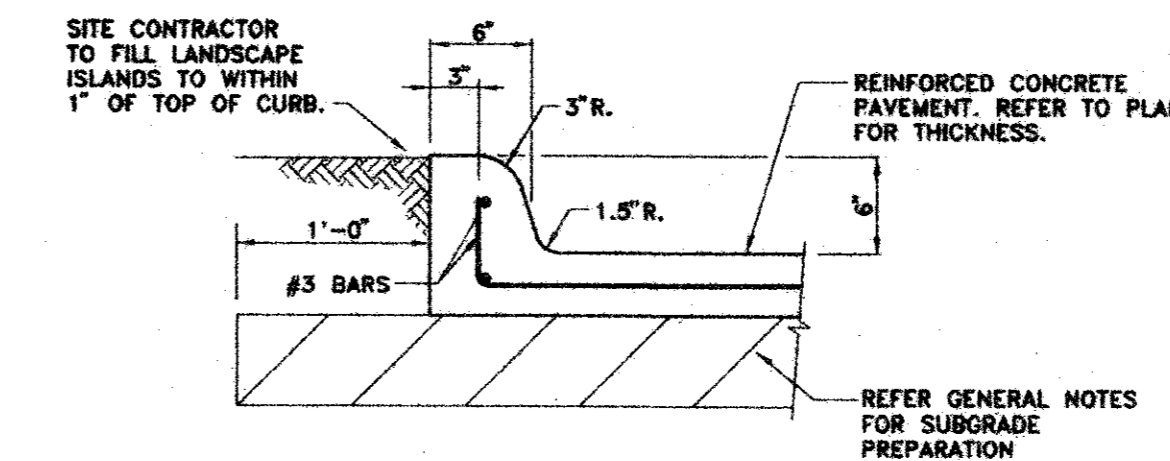
0.2 CONTROL JOINT
N.T.S.

SITE PAVING GENERAL NOTES:

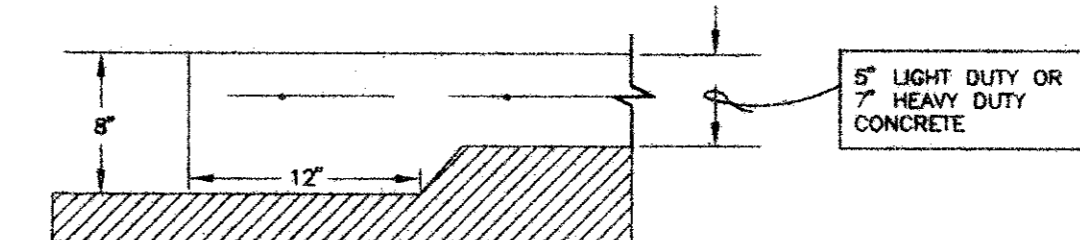
- ALL CONCRETE PAVING SHALL BE OF THE THICKNESS AND STRENGTH SHOWN ON THE PLANS AND HAVE A MIN. OF 3,000 PSI COMP. STRENGTH. CONCRETE STRENGTH TO BE DETERMINED AT 28 DAYS. CONCRETE WILL HAVE A ONE INCH TO FOUR INCH SLUMP AND REINFORCED WITH #3 BARS @ 18" O.C.E.W. REINFORCING SHALL BE SUPPORTED BY CHAIRS SPACED AT 16" S.F. (4' x 4' PATTERN) MAXIMUM INTERVAL.
- PROOF ROLL SUBGRADE WITH HEAVY PNEUMATIC EQUIPMENT. ANY SOFT OR PUMPING AREAS SHOULD BE EXCAVATED TO A FIRM SUBGRADE AND BACKFILLED FOLLOWING PROCEDURES DESCRIBED IN THE SITE GRADING SECTION OF THE PROJECT SOILS REPORT. SCARIFY SUBGRADE TO A DEPTH OF 6" AND UNIFORMLY COMPACTED TO A MINIMUM 95 PERCENT (95%) PER ASTM D 698 AT OR ABOVE OPTIMUM MOISTURE.
- SEALANT TO BE 0444 ASPHALT OR A RUBBER BASED COMPOUND. SPECIFICATIONS TO BE SUBMITTED TO THE ENGINEER PRIOR TO INSTALLATION.
- BREAKOUTS FOR REMOVAL OF EXISTING PAVEMENT AND CURBS SHALL BE MADE BY SAW CUT WHEN ADJACENT TO PROPOSED PAVING AND/OR CURBS.
- PROPOSED CONCRETE CURBS SHALL MATCH ELEVATIONS OF EXISTING CURBS.
- CONCRETE TO BE FLOAT FINISHED AND CURED FOR A MINIMUM OF 72 HOURS.
- FIRE LANES SHALL BE MARKED ON THE VERTICAL FACE OF THE CURB ALONG THE ENTIRE LENGTH OF THE FIRELANE WITH A SIX INCH (6") WIDE STRIPE USING RED TRAFFIC PAINT, WITH WORDING "NO PARKING" AND "FIRE LANE" PAINTED ON THE LINES AT INTERVALS OF TWENTY-FIVE FEET (25'). THE LETTERING WILL BE FOUR INCHES (4") HIGH WITH A ONE INCH (1") WIDE STROKE PAINTED WITH WHITE TRAFFIC PAINT.
- ALL PARKING SPACES AND STRIPED ISLANDS SHOWN ON PROPOSED SITE SHALL BE MARKED WITH 4" WIDE WHITE PAINTED PAVEMENT STRIPING. ALL PARKING SPACES ARE 9' IN WIDTH UNLESS OTHERWISE NOTED.
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH TOWN OF ADDISON STANDARD SPECIFICATIONS AND/OR SPECIFICATIONS ESTABLISHED BY THIS PROJECT. THE MOST STRINGENT SHALL APPLY.
- CONTRACTOR SHALL SUBMIT A JOINT SPACING PLAN TO THE ENGINEER PRIOR TO PLACEMENT OF CONCRETE PAVEMENT. CONTROL JOINTS SHALL BE INSTALLED AT A MAXIMUM SPACING OF 15' O.C.E.W. EXPANSION JOINTS SHALL BE INSTALLED AT A MAXIMUM SPACING OF 90'. LEVEL UP SAND WILL NOT BE ALLOWED UNDER CONCRETE PAVING. PAVEMENT TO BE POURED IN 30' STRIPS MAX. OR PUMPED.
- CONTRACTOR TO PROVIDE TWO YEAR MAINTENANCE BOND ON CONCRETE PAVEMENT.



0.3 EXPANSION JOINT
N.T.S.



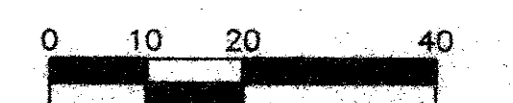
0.5 INTEGRAL CURB DETAIL
N.T.S. (W/CONCRETE PAVEMENT)



0.6 THICKENED EDGE OF PVMT.
N.T.S.

LEGEND

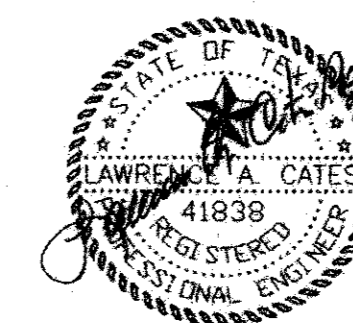
- 5" 3,000 PSI REINFORCED CONCRETE PAVEMENT
- 7" 3,000 PSI REINFORCED CONCRETE PAVEMENT
- REMOVE EXISTING PAVEMENT



BENCH MARK:
N.W. CORNER OF EXISTING CURB INLET LOCATED ON THE SOUTH SIDE OF BELT LINE ROAD. INLET LOCATED 575' WEST OF THE INTERSECTION OF BELT LINE ROAD AND BUSINESS AVENUE.
ELEV. 573.06'

AS BUILT
DATE 18 Jun 98

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY LAWRENCE A. CATES, P.E. 41838 ON 08/17/97



PAVING PLAN						
LOT 2, BLOCK 1 - EXWEN ADDITION						
ADDISON TOWN CENTER						
ADDISON, TEXAS						
LAWRENCE A. CATES & ASSOC., INC. CONSULTING ENGINEERS						
14200 MIDWAY ROAD, SUITE 122 (972) 385-2272 DALLAS, TEXAS						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
LAC	LAC	5/14/97	1"=20'	D.P.	97028 PAVING	C-3

LIGHT/HEAVY DUTY CONCRETE PAVEMENT SECTION (ALTERNATE)
N.T.S.

EXXON WENDY'S

LOT 1 - BLOCK 1 EXWEN ADDITION VOL. 96154, PG. 2844, D.C.D.R.

LOT 1 - BLOCK D ADDISON TOWN CENTER ADDITION VOL. 93237, PG. 3840, D.C.D.R.

LOT 3A - BLOCK D TOWN CENTER ADDITION VOL. 94776, PG. 1830, D.R.D.C.T.

BOSTON CHICKEN

FULL DEPTH SAWCUT & REMOVE EXISTING CONCRETE CURB & PVMT. CONSTRUCT LONGITUDINAL BUTT JOINT DOWEL W/#3 BARS AT 18" O.C.E.W.

FULL DEPTH SAWCUT & REMOVE EXISTING CONCRETE CURB & GUTTER.

FULL DEPTH SAWCUT & REMOVE EXISTING CONCRETE CURB & GUTTER.

F.F. = 575.00

5" CONCRETE PAVEMENT

5" CONCRETE PAVEMENT

CONC. PVMT.

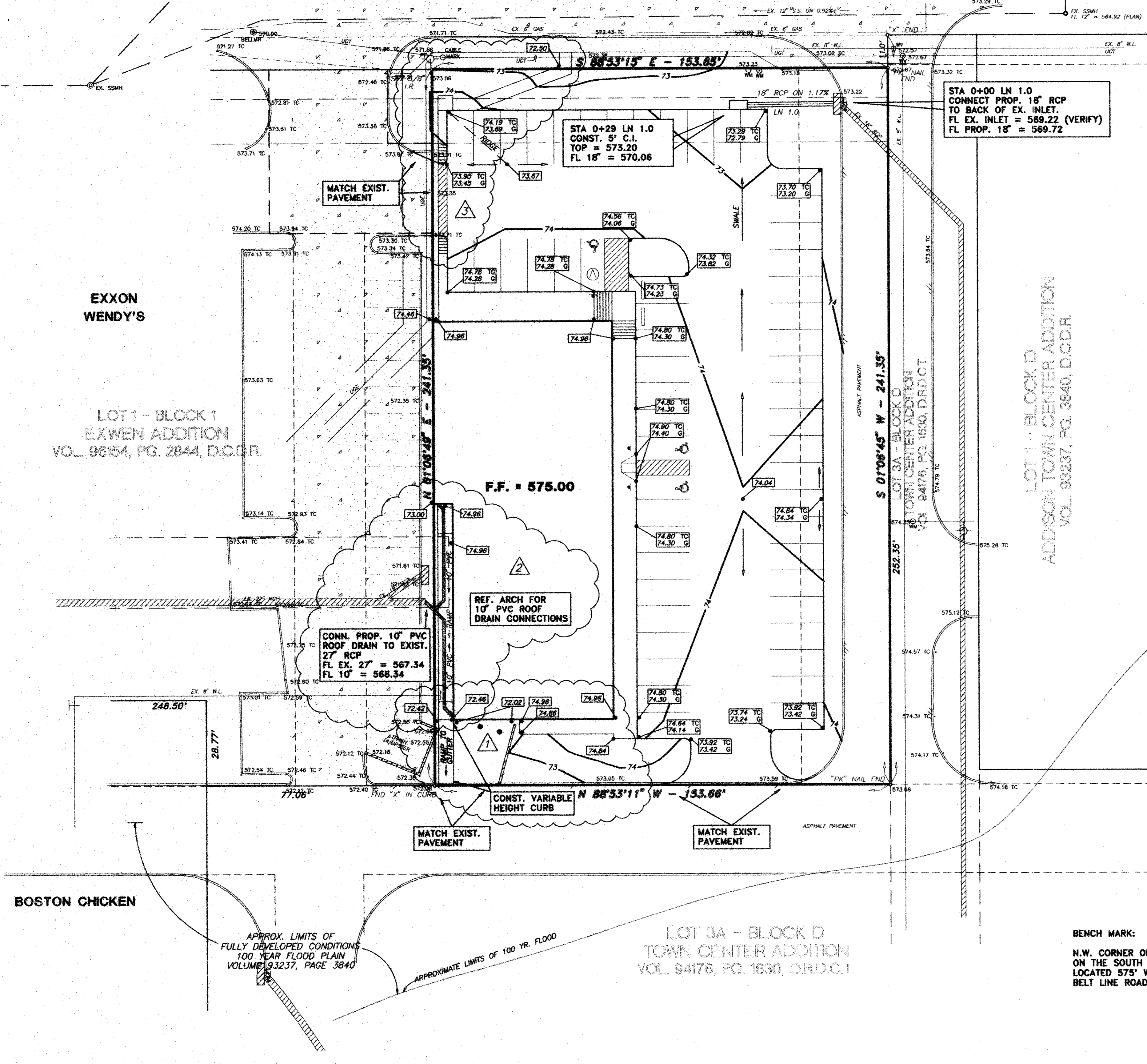
EXIST. ASPHALT PVMT.

6" COMPACTED SUBGRADE TO 95% STANDARD PROCTOR AT 0 TO ± 4% OPTIMUM MOISTURE. SUBGRADE SHOULD BE SCARIFIED TO A DEPTH OF 6" PRIOR TO COMPACTION.

LIGHT/HEAVY DUTY CONCRETE PAVEMENT SECTION (ALTERNATE)
N.T.S.

BELT LINE ROAD

(111' DEDICATED PUBLIC RIGHT-OF-WAY)



STA 0+00 LN 1.0
CONNECT PROP. 18" RCP
TO BACK OF EX. INLET.
FL EX. INLET = 569.22 (VERIFY)
FL PROP. 18" = 569.72

STA 0+29 LN 1.0
CONST. 5" C.I.
TOP = 573.20
FL 18" = 570.06

CONN. PROP. 10" PVC
ROOF DRAIN TO EXIST.
27" RCP
FL EX. 27" = 567.34
FL 10" = 568.34

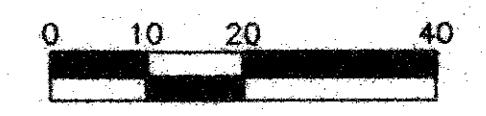
F.F. = 575.00

REF. ARCH FOR
10" PVC ROOF
DRAIN CONNECTIONS

CONST. VARIABLE
HEIGHT CURB

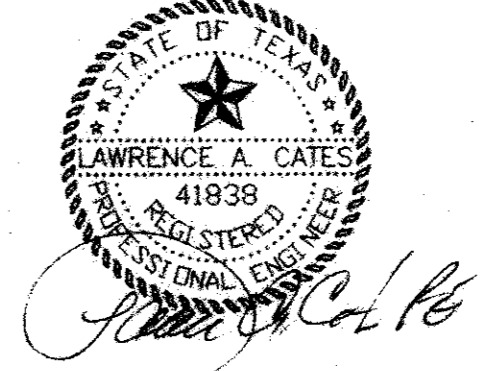
LEGEND

- 666 --- EXISTING CONTOUR
- 667 --- PROPOSED CONTOUR
- 75.00 TC
74.50 G PROPOSED TOP OF CURB & GUTTER SPOT ELEVATIONS
- 666.82 TC EXISTING SPOT ELEVATION
- X REMOVE EXIST. PAVEMENT



AS BUILT
DATE 18 Jun 98

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY LAWRENCE A. CATES, P.E. 41838 ON 06/11/98

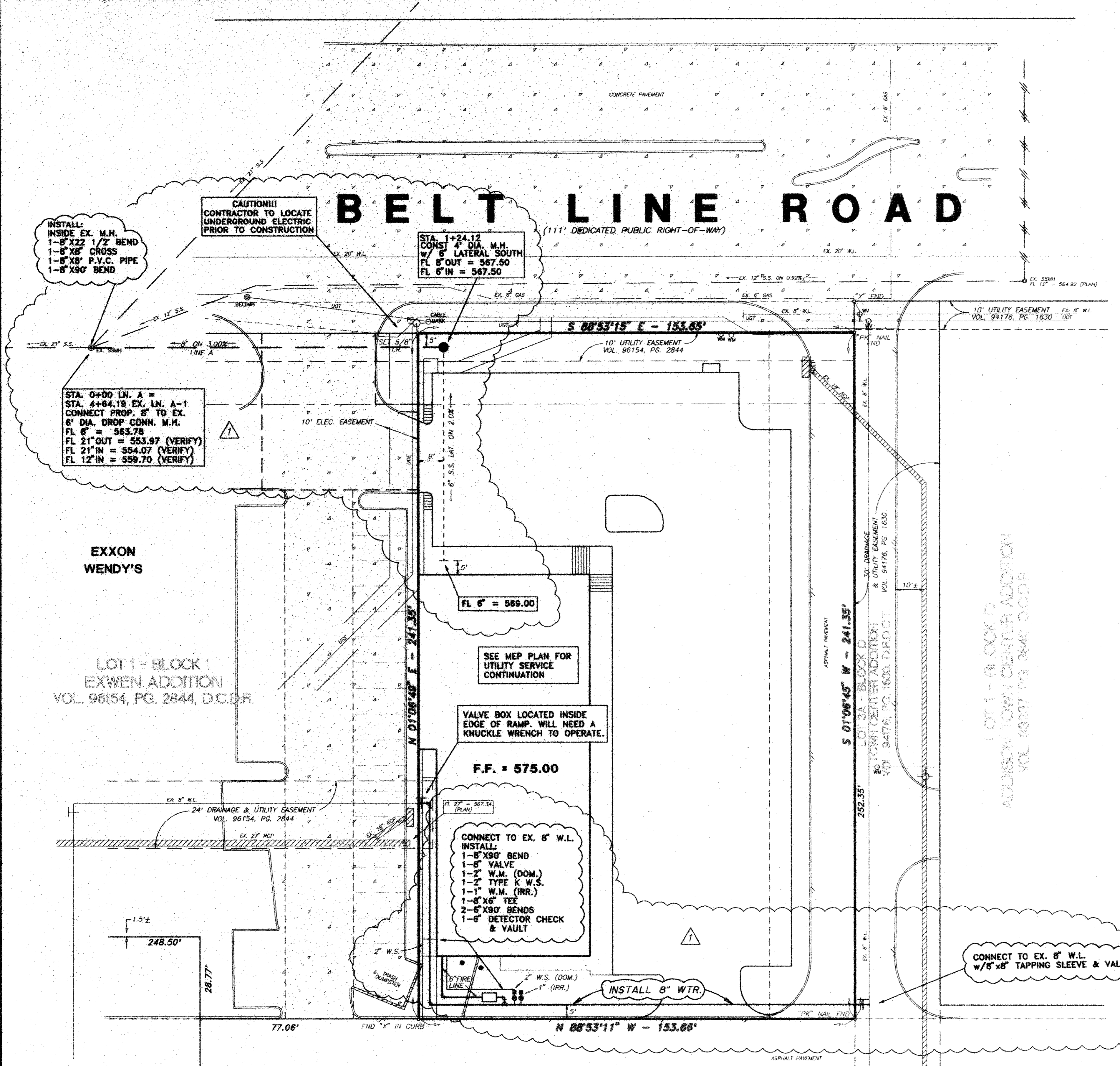


BENCH MARK:
N.W. CORNER OF EXISTING CURB INLET LOCATED ON THE SOUTH SIDE OF BELT LINE ROAD. INLET LOCATED 575' WEST OF THE INTERSECTION OF BELT LINE ROAD AND BUSINESS AVENUE.
ELEV. 573.06'

3	6/11/98	ADD H.C. ACCESSIBLE ROUTE
2	10/9/97	ADDED 10" PVC ROOF DRAIN PIPE
1	9/16/97	REVISED SPOT ELEVATIONS AT REAR
REV	DATE	REVISIONS
GRADING & DRAINAGE PLAN		
LOT 2, BLOCK 1 - EXWEN ADDITION		
ADDISON TOWN CENTER		
ADDISON, TEXAS		
LAWRENCE A. CATES & ASSOC., INC.		CONSULTING ENGINEERS
14200 MIDWAY ROAD, SUITE 122 (972) 395-2272		DALLAS, TEXAS
DESIGN	DRAWN	DATE
LAC	LAC	5/14/97
SCALE	NOTES	FILE
1"=20'	D.P.	97028 GRADING
NO.	NO.	
C-4	C-4	

BELT LINE ROAD

(111' DEDICATED PUBLIC RIGHT-OF-WAY)



WATER LINE GENERAL NOTES

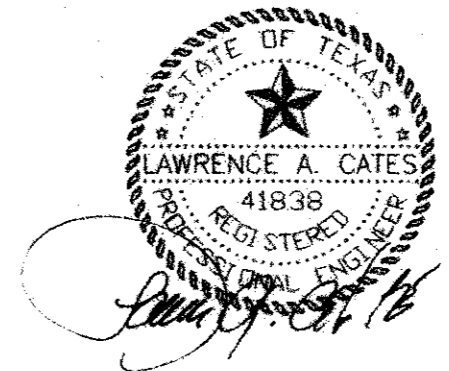
1. ALL WORK AND MATERIALS, UNLESS OTHERWISE NOTED, SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR TOWN OF ADDISON.
2. ALTERNATE - ALL 6", 8", 10" AND 12" WATER MAINS SHALL BE PVC ANWA C900, DR 18, CLASS 150 WATER PIPE. FOR PVC SERVICE TAPS 1" AND LARGER, TAPPING SADDLES SHALL BE USED.
3. ALL WATER MAINS SHALL HAVE MINIMUM COVER AS FOLLOWS: 6", 8", 10", AND 12": 48" BELOW FINISHED PAVEMENT GRADE, OR 60" BELOW EXISTING OR FINISHED GRADE IN UNPAVED AREAS, OR AS REQUIRED TO CLEAR OTHER UTILITIES.
4. FIRE HYDRANTS TO BE TOWN OF ADDISON APPROVED.
5. VALVES TO BE TOWN OF ADDISON APPROVED.
6. THE WATER METER BOX SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR AFTER THE PAVING CONTRACTOR HAS COMPLETED THE FINE GRADING BEHIND THE BACK OF THE CURB. EACH SERVICE LOCATION WILL BE MARKED ON THE PAVEMENT OR CURB, WITH A BLUE DOT BY THE UTILITY CONTRACTOR AND TIED TO PROPERTY CORNERS ON THE "RECORD DRAWINGS."
7. THE CONTRACTOR SHALL FURNISH A MAINTENANCE BOND TO THE CITY TO RUN ONE (1) YEAR FROM THE DATE OF ACCEPTANCE OF THE SYSTEM BY THE CITY.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING "RECORD DRAWING" PLANS TO THE ENGINEER SHOWING THE LOCATION OF WATER SERVICES AND VALVES.
9. FIRE HYDRANTS SHALL BE PAINTED AS PER TOWN OF ADDISON STANDARDS AND SPECIFICATIONS AND LOCATED IN A PROTECTED AREA WITH 6" CURB OR BOLLARDS.
10. STEAMER NOZZLES ON FIRE HYDRANTS SHALL BE 18" ABOVE THE TOP OF THE CURB ON FINISHED GRADE, AND SHALL FACE THE CENTER OF THE FIRE LANE OR STREET. FIRE HYDRANTS SHALL USUALLY BE LOCATED FOUR (4) FEET, BUT NOT LESS THAN TWO (2) FEET NOR MORE THAN SIX (6) FEET, BEHIND THE CURB.
11. ALL WATER LINES SHALL BE HYDROSTATICALLY TESTED PER TOWN OF ADDISON STANDARDS AND SPECIFICATIONS.
12. ALL WATER LINES SHALL BE STERILIZED PER TOWN OF ADDISON STANDARDS AND SPECIFICATIONS.
13. ALL METER BOXES SHALL BE LOCATED IN NON-TRAFFIC AREAS AND PROTECTED BY 6" CURB OR BOLLARDS.
14. THE HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING SUBSURFACE UTILITIES HAVE BEEN DETERMINED FROM RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THAT NECESSARY CLEARANCES BETWEEN EXISTING AND PROPOSED UTILITIES EXIST PRIOR TO THE CONSTRUCTION OF ANY SUCH CROSSING.
15. UTILITY TRENCHES SHALL BE BACKFILLED WITH MATERIAL PER TOWN OF ADDISON SPECIFICATIONS.
16. ANCHOR FITTINGS SHALL BE USED TO ATTACH FIRE HYDRANTS.
17. ALL WATER SERVICES OUTSIDE OF EASEMENTS SHALL BE INSTALLED BY A PLUMBER.
18. CONTRACTOR TO INCLUDE ALL CITY WATER AND SEWER FEES IN BID. PAY CITY IMPACT FEES FOR WATER & S.S.

SANITARY SEWER GENERAL NOTES

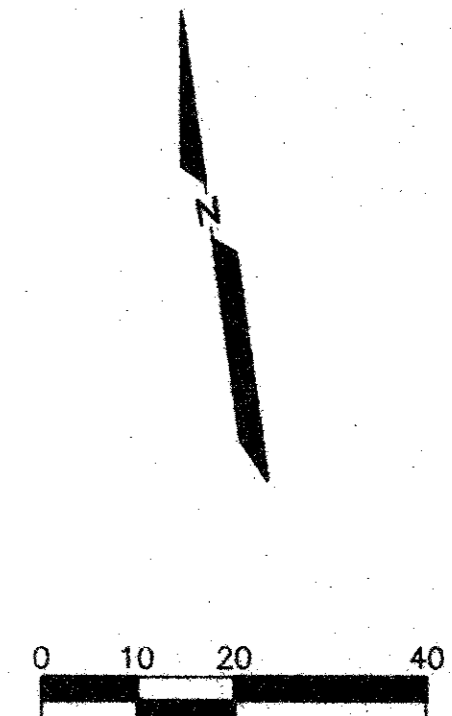
1. ALL WORK, UNLESS OTHERWISE NOTED, SHALL CONFORM TO THE TOWN OF ADDISON STANDARD SPECIFICATIONS.
2. THE HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING SUBSURFACE UTILITIES HAVE BEEN DETERMINED FROM DATA RECORDED BY OTHERS. CONTRACTOR SHALL VERIFY THAT NECESSARY CROSSING CLEARANCES BETWEEN EXISTING AND PROPOSED UTILITIES EXIST PRIOR TO CONSTRUCTION OF ANY SUCH CROSSING.
3. CONTRACTOR SHALL COORDINATE WITH THE OWNER, ENGINEER OR HIS REPRESENTATIVE AND CITY REPRESENTATIVE REGARDING AND DEVIATIONS FROM THESE PLANS.
4. CONTRACTOR SHALL MAINTAIN ONE SET OF RECORD DRAWINGS (AS BUILT) ON SITE WHICH WILL BE SUBMITTED TO THE ENGINEER UPON COMPLETION OF THIS PROJECT.
5. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT; ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, SEWER LATERALS, WATER SERVICE, ETC.
6. THE CONTRACTOR SHALL SET UTILITIES TO PROPER LINE AND GRADE PRIOR TO THE PLACING OF PERMANENT PAVEMENT.
7. SANITARY SEWER PIPE SHALL CONFORM TO CITY SPECIFICATIONS AND SHALL BE MANUFACTURED FROM ONE OF THE FOLLOWING MATERIALS:
 - a. Polyvinyl/Chloride (PVC) Diameter 4" - 15"
 - ASTM D 3034 SDR 35
8. SANITARY SEWER PIPE MUST BE KEPT CLEAR OF BROKEN CONCRETE, DIRT OR ANY OTHER DEBRIS RESULTING FROM CONSTRUCTION OPERATIONS.
9. ALL SANITARY SEWER MAINS ARE TO HAVE 1'-21" JOINT CENTERED ON EITHER SIDE OF WATER MAINS WHERE CROSSING OCCUR.
10. CONTRACTOR SHALL TIE A 1" WIDE PIECE OF RED PLASTIC FLAGGING TO THE END OF SEWER SERVICE AND SHALL LEAVE A MINIMUM OF 36" OF FLAGGING EXPOSED AFTER BACKFILL. AFTER CURB AND PAVING IS COMPLETED, CONTRACTOR SHALL MARK THE LOCATION OF THE SEWER SERVICE ON THE CURB IN ACCORDANCE WITH THE STANDARD CITY SPECIFICATIONS.
11. THE CONTRACTOR SHALL FURNISH A MAINTENANCE BOND TO THE CITY TO RUN 1 YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE SYSTEM BY THE TOWN OF ADDISON.
12. ALL SANITARY SEWER LATERALS SHALL BE SIZED AND LOCATED AS SHOWN.
13. ALL SANITARY SEWER LATERALS LOCATED OUTSIDE OF ESMTS SHALL BE INSTALLED BY A PLUMBER.
14. CONTRACTOR TO INCLUDE ALL REQD. BONDS, TAP FEES, CAMERA FEES IN PROPOSAL.

AS BUILT
DATE: 1/8 Jun 98

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY LAWRENCE A. CATES, P.E. 41838 ON 06-18-98



BENCH MARK:
N.W. CORNER OF EXISTING CURB INLET LOCATED ON THE SOUTH SIDE OF BELT LINE ROAD. INLET LOCATED 575' WEST OF THE INTERSECTION OF BELT LINE ROAD AND BUSINESS AVENUE.
ELEV. 573.06'



BOSTON CHICKEN

LOT 3A - BLOCK D
TOWN CENTER ADDITION
VOL. 54175, PG. 1630 3RD CT.

2	6/16/98	AS BUILT
1	11/15/97	REVISE SANITARY SEWER & WATER
REV. DATE	REVISIONS	
WATER & SANITARY SEWER PLAN		
LOT 2, BLOCK 1 - EXWEN ADDITION		
ADDISON TOWN CENTER		
ADDISON, TEXAS		
LAWRENCE A. CATES & ASSOC., INC. CONSULTING ENGINEERS 14200 MIDWAY ROAD, SUITE 122 (972) 385-2272 DALLAS, TEXAS		
DESIGN	DRAWN	DATE
LAC	LAC	5/14/97
SCALE	NOTES	FILE
1"=20'	D.P.	97028 WATSEW
NO.	C-5	

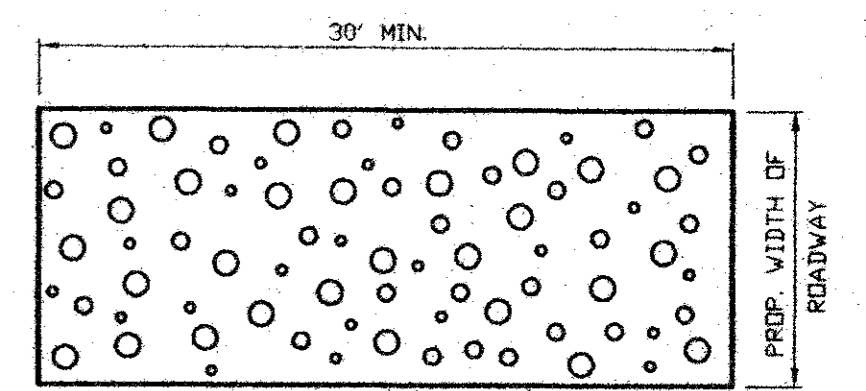
BELT LINE ROAD

STABILIZED CONSTRUCTION ACCESS

A STABILIZED CONSTRUCTION ACCESS ENTRANCE APPLIES TO POINTS OF CONSTRUCTION INGRESS AND EGRESS WHERE SEDIMENT MAY BE TRACKED OR FLOW OFF OF THE CONSTRUCTION SITE.

A STABILIZED CONSTRUCTION ACCESS ENTRANCE WILL BE INSTALLED AT THE LOCATION SHOWN ON THE PLAN. THIS ENTRANCE SHALL CONSIST OF A FILTER FABRIC COVERED BY A MINIMUM OF 8" OF SUITABLE ROCK OR CRUSHED STONE.

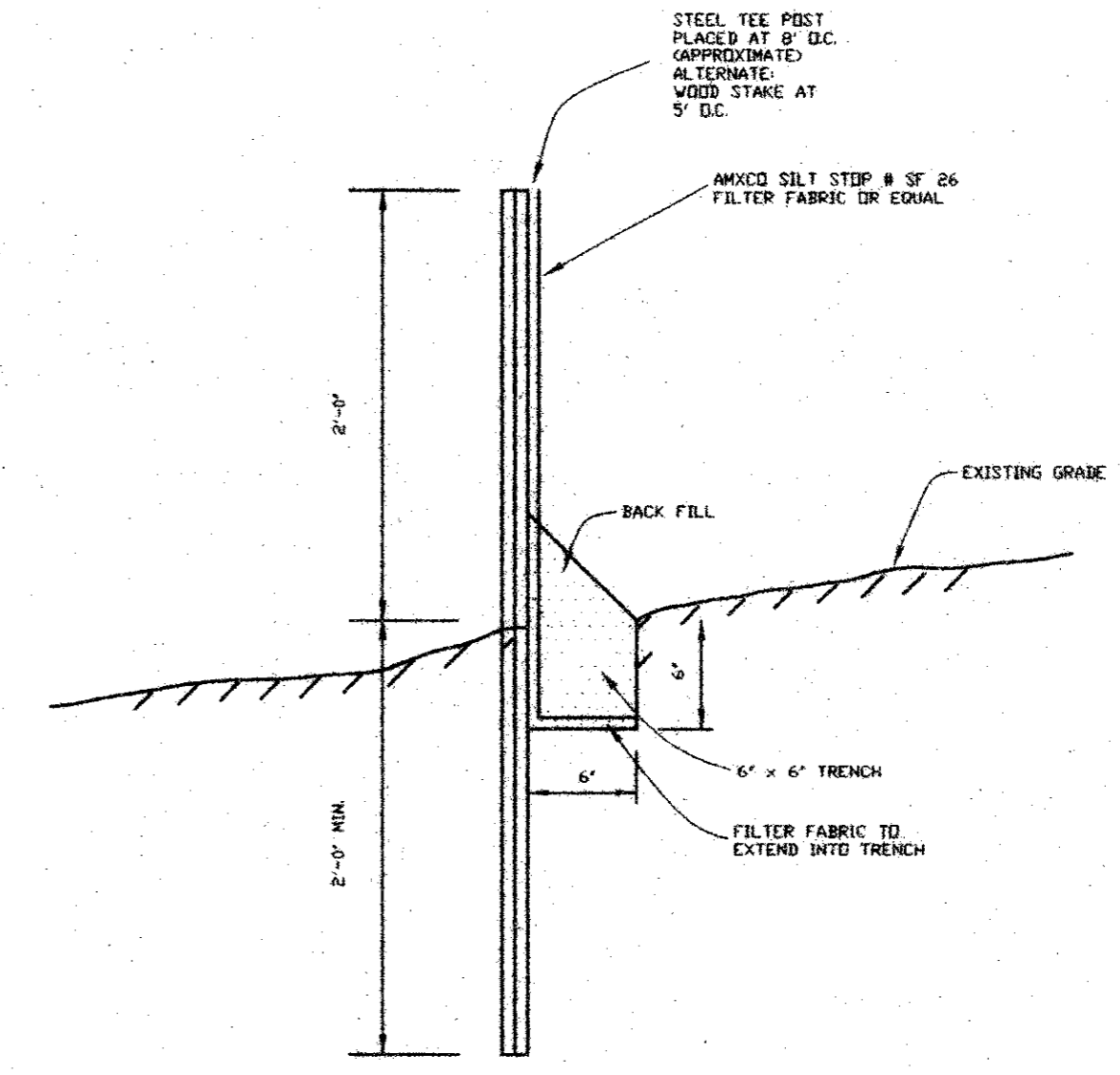
THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT THE TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL MATERIAL OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.



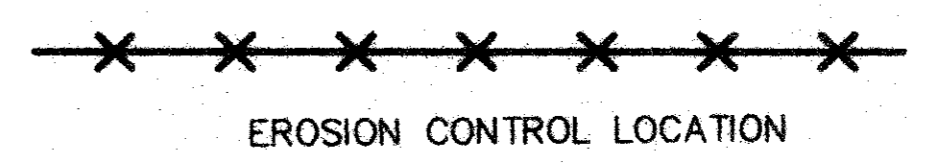
STABILIZED CONSTRUCTION ACCESS DETAIL

CONSTRUCTION SEQUENCE

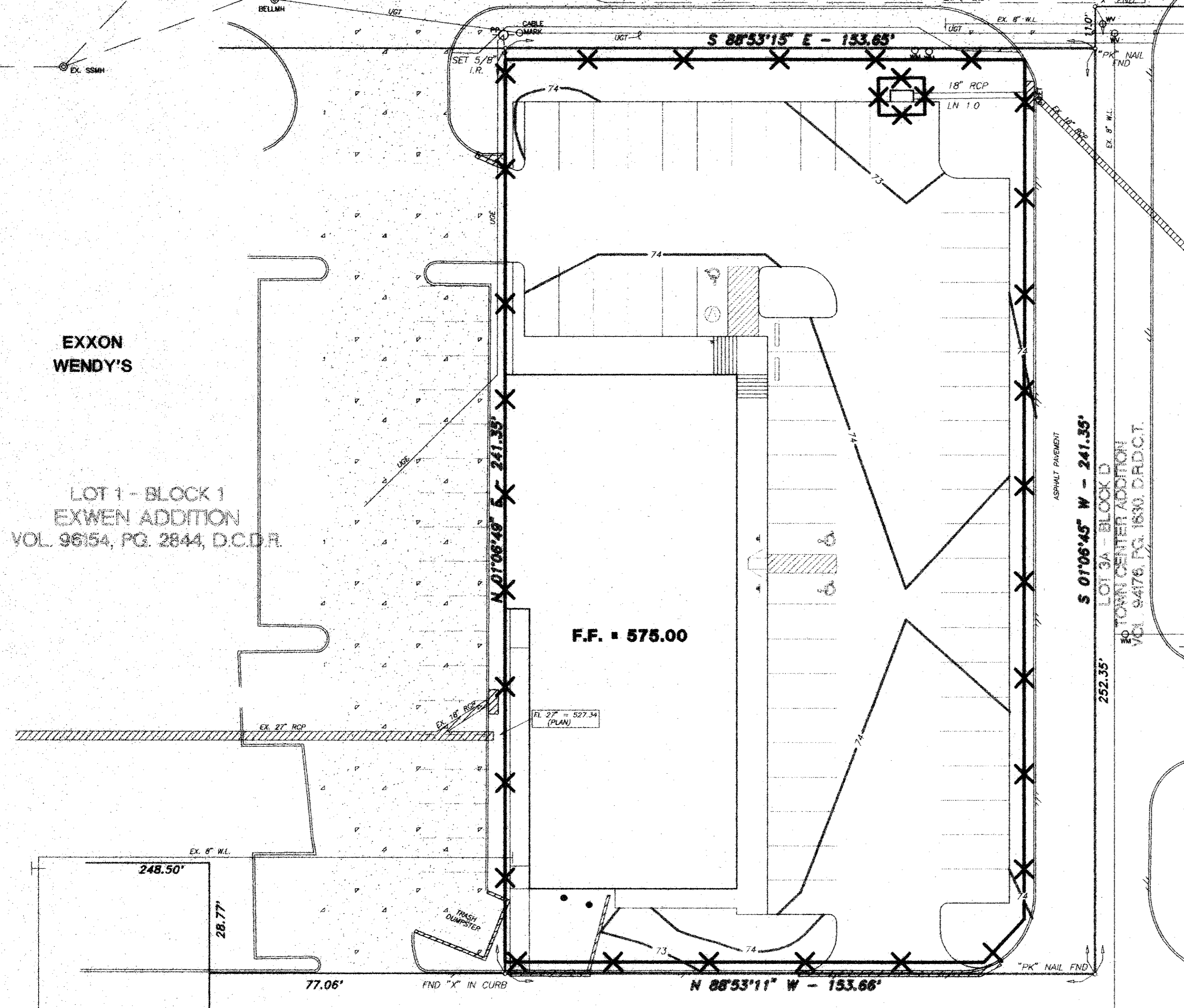
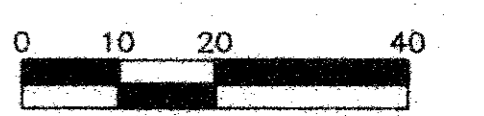
1. OBTAIN GRADING PERMIT.
2. INSTALL ALL EROSION CONTROL MEASURES AND DEVICES BEFORE CLEARING SITE IF POSSIBLE.
3. CLEAR SITE.
4. INSTALL ANY REMAINING CONTROL MEASURES AND DEVICES NOT INSTALLED PRIOR TO SITE CLEARING.
5. GRADE SITE.
6. INSTALL ALL UNDERGROUND UTILITIES.
 - A) INSTALL HAYBALES AROUND CATCH BASINS AND INLETS.
7. INSTALL PAVEMENT.
8. RESTORE AND HYDROMULCH WITH BERMUDA GRASS ALL AREAS OUTSIDE CONSTRUCTION LIMITS DISTURBED DURING CONSTRUCTION.
9. INSPECT AND MAINTAIN ALL EROSION CONTROL MEASURES AND DEVICES AFTER EACH RAIN AND FOR THE DURATION OF THE PROJECT.
10. CONTRACTOR TO PROVIDE ADDITIONAL EROSION CONTROL AS NEEDED OR REQUESTED BY THE ENGINEER OR THE CITY IF PROPOSED EROSION CONTROL PROVES INSUFFICIENT.



EROSION CONTROL FENCE
N.T.S.



EROSION CONTROL LOCATION



LOT 1 - BLOCK D
ADDISON TOWN CENTER ADDITION
VOL. 93237, PG. 3840, D.C.D.R.

LOT 3A - BLOCK D
TOWN CENTER ADDITION
VOL. 94776, PG. 1830, D.R.D.C.T.

BENCH MARK:
N.W. CORNER OF EXISTING CURB INLET LOCATED ON THE SOUTH SIDE OF BELT LINE ROAD. INLET LOCATED 575' WEST OF THE INTERSECTION OF BELT LINE ROAD AND BUSINESS AVENUE.
ELEV. 573.06'

AS BUILT
DATE 13 Jun 98

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY LAWRENCE A. CATES, P.E. 41838 ON 09-17-97



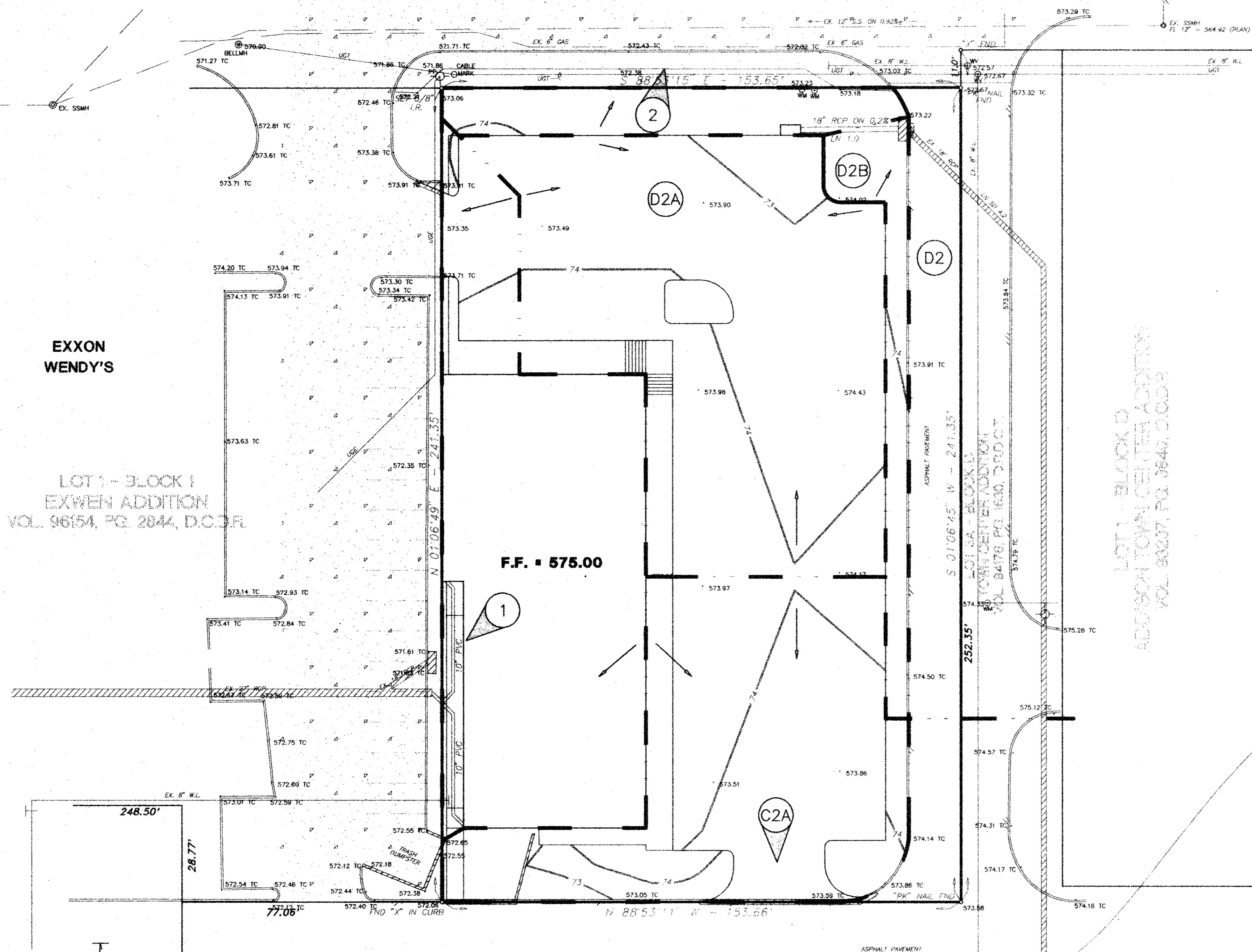
REV	DATE	REMARKS
EROSION CONTROL PLAN		
LOT 2, BLOCK 1 - EXWEN ADDITION		
ADDISON TOWN CENTER		
ADDISON, TEXAS		
LAWRENCE A. CATES & ASSOC., INC.		CONSULTING ENGINEERS
14200 MIDWAY ROAD, SUITE 122 (972) 385-2272		DALLAS, TEXAS
DESIGN	DRAWN	DATE
LAC	LAC	5/14/97
SCALE	NOTES	FILE
1"=20'	D.P.	97028
NO.	C-6	

BELT LINE ROAD

(111' DEDICATED PUBLIC RIGHT-OF-WAY)

DRAINAGE CALCULATIONS RATIONAL METHOD $Q = CxIxA$

DRNG. NO.	ACRES	RUNOFF COEF.	I100 (IN/HR)	Q100 (cfs)	REMARKS
1	0.22	0.9	8.74	1.7	ROOF DRAINS TO EX. 27" RCP
2	0.04	0.5	8.74	0.2	SHEET FLOW TO R.O.W.
D2A	0.26	0.9	8.74	2.0	5' C.I.
D2B	0.03	0.5	8.74	0.1	SHEET FLOW TO D.A. D2
D2	0.21	0.9	8.74	1.7	EXIST. 6' C.I.
C2A	0.19	0.9	8.74	1.5	TO D.A. C2
C2	2.64	0.9	8.74	20.8	TO EXIST. 20' C.I.

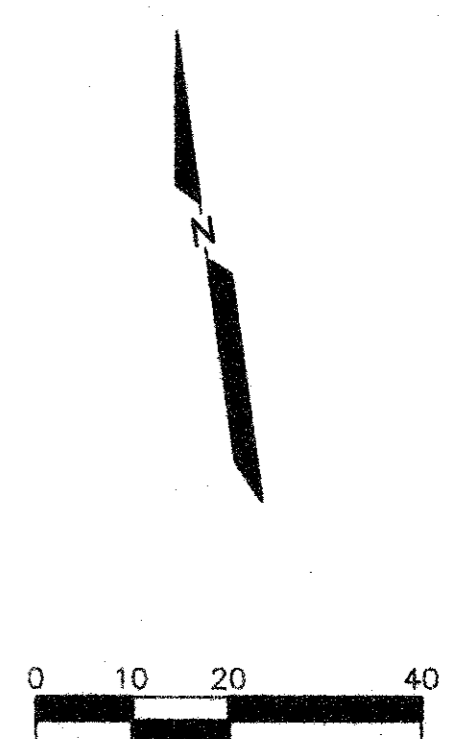


EXXON WENDY'S

LOT 1 - BLOCK 1
EXWEN ADDITION
VOL. 96154, PG. 2844, D.C.D.R.

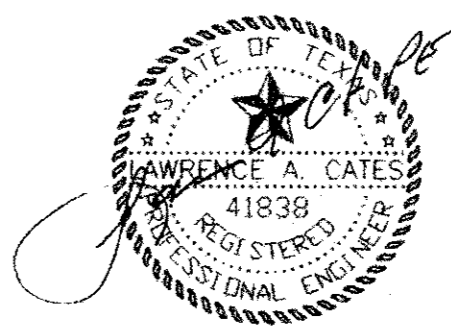
F.F. = 575.00

LOT 1 - BLOCK D
ADDISON TOWN CENTER ADDITION
VOL. 98207, PG. 1840, D.C.D.R.



AS BUILT
DATE 18 Jun 93

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY LAWRENCE A. CATES, P.E. 41838 ON 10/7/97



BENCH MARK:
N.W. CORNER OF EXISTING CURB INLET LOCATED ON THE SOUTH SIDE OF BELT LINE ROAD. INLET LOCATED 575' WEST OF THE INTERSECTION OF BELT LINE ROAD AND BUSINESS AVENUE.
ELEV. 573.06'

APPROX. LIMITS OF FULLY DEVELOPED CONDITIONS 100 YEAR FLOOD PLAIN VOLUME 93237, PAGE 3840

APPROXIMATE LIMITS OF 100 YR. FLOOD

LOT 3A - BLOCK D
TOWN CENTER ADDITION
VOL. 94776 PG. 1630, D.C.D.R.

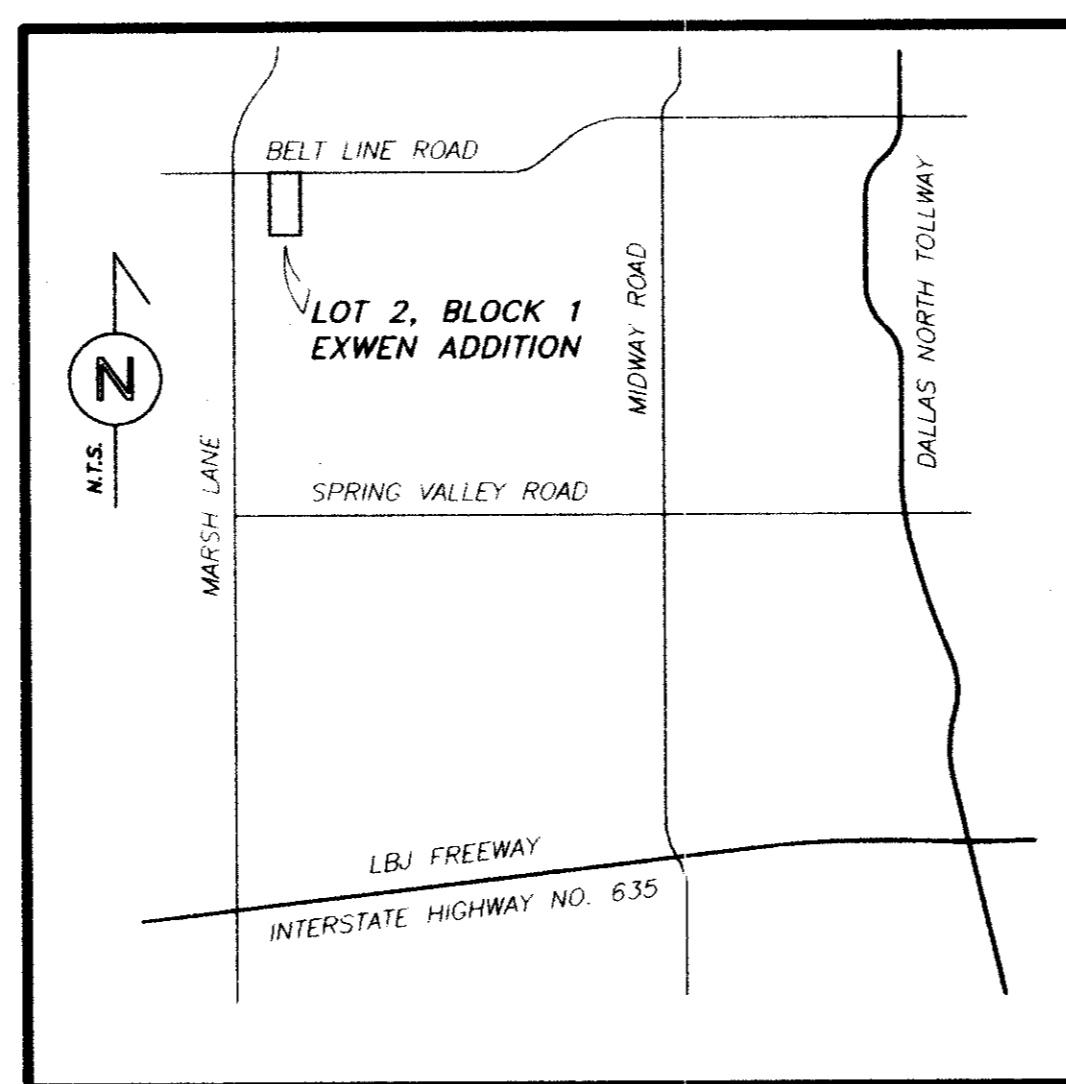
KMART

REV.	DATE	REMARKS				
DRAINAGE AREA MAP						
LOT 2, BLOCK 1 - EXWEN ADDITION						
ADDISON TOWN CENTER						
ADDISON, TEXAS						
LAWRENCE A. CATES & ASSOC., INC. 14200 MIDWAY ROAD, SUITE 122 (972) 385-2272		CONSULTING ENGINEERS DALLAS, TEXAS				
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
LAC	LAC	5/14/97	1"=20'	D.P.	97028 DMAP	C-8

SITework PLANS FOR LOT 2, BLOCK 1 - EXWEN ADDITION ADDISON TOWN CENTER TOWN OF ADDISON, TEXAS

SHEET INDEX

C-1	DIMENSION CONTROL PLAN
C-2	TOPOGRAPHIC SURVEY
C-3	PAVING PLAN
C-4	GRADING & DRAINAGE PLAN
C-5	WATER & SANITARY SEWER PLAN
C-6	EROSION CONTROL PLAN
C-7	STORM DRAIN DETAILS
C-8	DRAINAGE AREA MAP
C-9	SANITARY & STORM SEWER PROFILES



VICINITY MAP

DEVELOPER:
HUNT PROPERTIES, INC.
8235 DOUGLAS AVENUE, SUITE 1300
DALLAS, TEXAS 75225
(214) 360-9600
CONTACT: DAVE BERNDT

PROJECT ARCHITECT:
ENVIROPLAN
8235 DOUGLAS AVENUE, SUITE 350
DALLAS, TEXAS 75225
(214) 692-0851
FAX: (214) 739-6849
CONTACT: GARY JOHNSON

CIVIL ENGINEER:
LAWRENCE A. CATES & ASSOCIATES, INC.
14200 MIDWAY ROAD, SUITE 122
DALLAS, TEXAS 75244
(972) 385-2272
FAX: (972) 980-1627
CONTACT: DAVE WALLS

AS BUILT
DATE 18 Jun 98

BELT LINE ROAD

(111' DEDICATED PUBLIC RIGHT-OF-WAY)

TOWN OF ADDISON
R.O.W. EASEMENT
VOL. 93175, PG. 1739

RIGHT-OF-WAY DEDICATION
VOL. 96154, PG. 2844

10' UTILITY EASEMENT
VOL. 94176, PG. 1630

S 88°53'15" E - 153.65'

10' UTILITY EASEMENT
VOL. 96154, PG. 2844

25' BUILDING LINE
VOL. 96154, PG. 2844

MUTUAL ACCESS EASEMENT
VOL. 96154, PG. 2844, D.C.M.R.

30' DRAINAGE
& UTILITY EASEMENT
VOL. 94176, PG. 1630

MUTUAL RIGHT-OF-WAY
EASEMENT
VOL. 96154, PG. 2844
VOL. 94176, PG. 1630

EXXON
WENDY'S

LOT 1 - BLOCK 1
EXWEN ADDITION
VOL. 96154, PG. 2844, D.C.D.T.

ONE STORY RETAIL

MUTUAL ACCESS EASEMENT
VOL. 96154, PG. 2844

10' ELEC.
EASEMENT

24' DRAINAGE & UTILITY EASEMENT
VOL. 96154, PG. 2844

N 01°06'49" E - 241.35'

N 01°06'49" E 61.33'

N 01°06'49" E 124.33'

N 01°06'49" E 154.33'

N 01°06'49" E 184.33'

N 01°06'49" E 214.33'

N 01°06'49" E 244.33'

N 01°06'49" E 274.33'

N 01°06'49" E 304.33'

N 01°06'49" E 334.33'

N 01°06'49" E 364.33'

N 01°06'49" E 394.33'

S 01°06'45" W - 241.35'

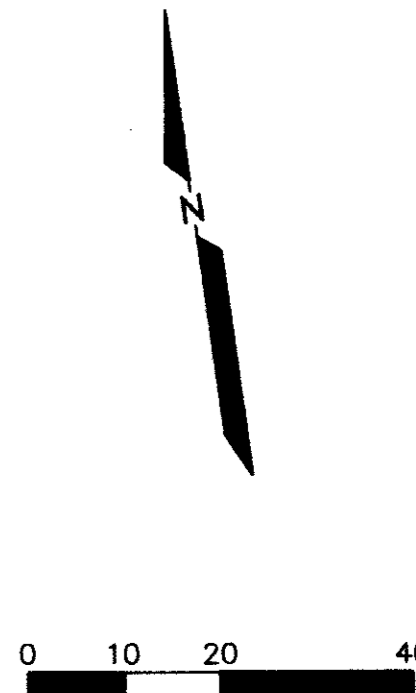
S 01°06'45" W 252.35'

N 88°53'11" W - 153.66'

30' ACCESS EASEMENT
VOL. 93084, PG. 5513, D.R.D.C.T.

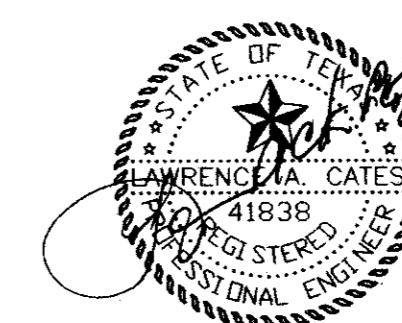
30' MUTUAL ACCESS EASEMENT
VOL. 94176, PG. 1630

NOTE:
ALL DIMENSIONS TO FACE OF CURB UNLESS
OTHERWISE NOTED.



AS BUILT
DATE 13 Jun 98

THE SEAL APPEARING ON THIS
DOCUMENT WAS AUTHORIZED BY
LAWRENCE A. CATES, P.E. 41838
ON 09-18-97



BENCH MARK:
N.W. CORNER OF EXISTING CURB INLET LOCATED
ON THE SOUTH SIDE OF BELT LINE ROAD. INLET
LOCATED 575' WEST OF THE INTERSECTION OF
BELT LINE ROAD AND BUSINESS AVENUE.
ELEV. 573.06'

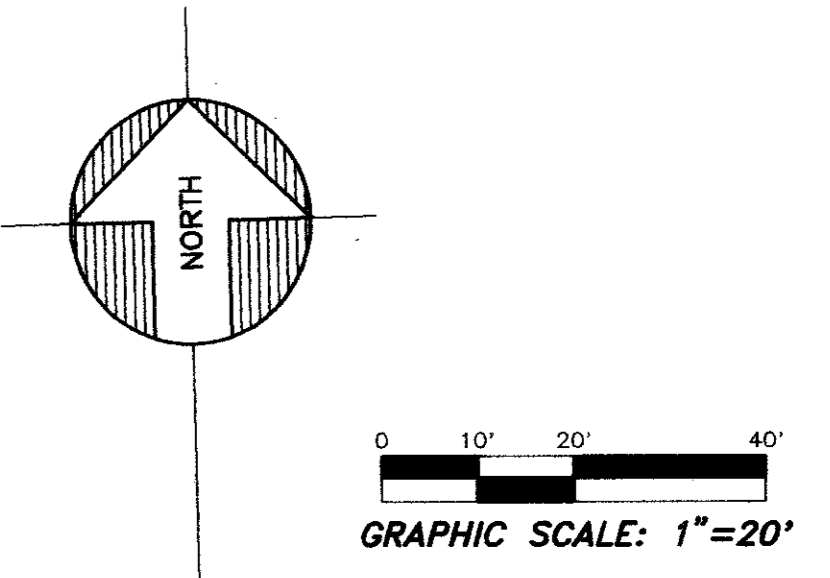
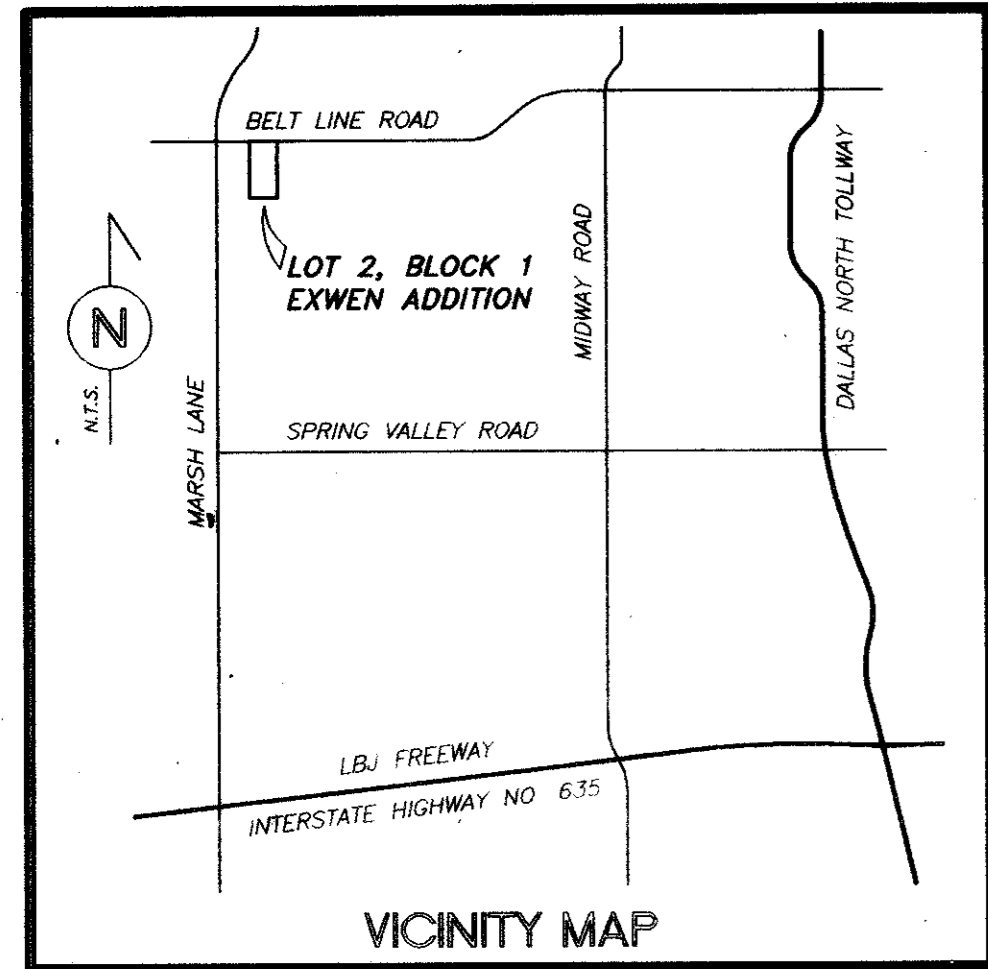
BOSTON CHICKEN

APPROX. LIMITS OF
FULLY DEVELOPED CONDITIONS
100 YEAR FLOOD PLAIN
VOLUME 93237, PAGE 3840

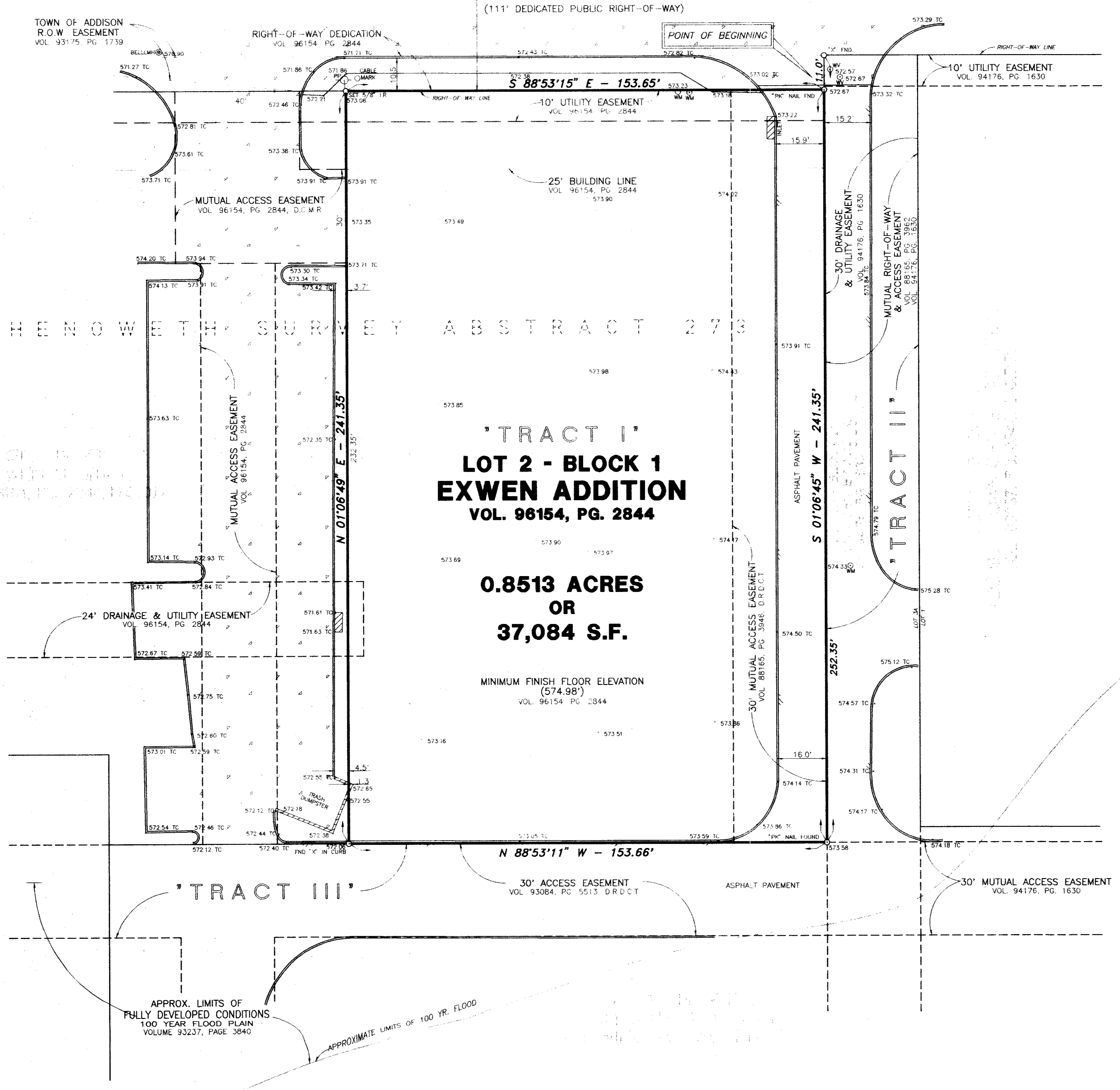
APPROXIMATE LIMITS OF 100 YR. FLOOD

LOT 34 - BLOCK 1
TOWN OF ADDISON
VOL. 94176, PG. 1630, D.C.D.T.

REV	DATE	REMARKS				
DIMENSION CONTROL PLAN						
LOT 2, BLOCK 1 - EXWEN ADDITION						
ADDISON TOWN CENTER						
ADDISON, TEXAS						
LAWRENCE A. CATES & ASSOC., INC.		CONSULTING ENGINEERS				
14200 MIDWAY ROAD, SUITE 122 (972) 365-2272		DALLAS, TEXAS				
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
LAC	LAC	5/14/97	1"=20'	D.P.	97028 DIMCTRL	C-1



BELT LINE ROAD



SURVEY PLAT
TO ALL PARTIES INTERESTED IN PREMISES SURVEYED:
 This is to certify that I have, this date, made a careful and accurate survey on the ground of the following described property:

TRACT I
 BEING all that certain lot, tract or parcel of land situated in the Town of Addison, Dallas County, Texas and being known as Lot 2 of Block 1 of the EXWEN ADDITION, an addition to the Town of Addison, Texas according to the plat thereof as recorded in Volume 96154, Page 2844 of the Map Records of Dallas County, Texas and being more particularly described by metes and bounds as follows:

BEGINNING at a "pk" nail found in asphalt for corner at the Northeast corner of said Lot 2, Block 1, EXWEN ADDITION, same being an angle point in the South line of Beltline Road, a 111 foot wide right-of-way at this point, and being on the West line of Lot 3A of Block D of the ADDISON TOWN CENTER ADDITION, an addition to the Town of Addison according to the plat thereof as recorded in Volume 94176, Page 1630 of the Map Records of Dallas County, Texas, and from which an "x" found in concrete at the Northwest corner of said Lot 3A, Block D, same being an angle point in the South line of said Beltline Road, bears NORTH 01° 06' 45" EAST, a distance of 11.00 feet;

THENCE departing said Beltline Road, along and with the common line of said Lot 2, Block 1 and said Lot 3A, Block D, SOUTH 01° 06' 45" WEST (Bearing Basis), a distance of 241.35 feet to a "pk" nail found for corner at the Southeast corner of said Lot 2 and an interior corner of said Lot 3A;

THENCE along and with the common line of said Lot 2, Block 1 and said Lot 3A, Block D, NORTH 88° 53' 11" WEST, a distance of 153.66 feet to an "x" found in a concrete curb at the Southwest corner of said Lot 2 and the Southeast corner of Lot 1 of Block 1 of said EXWEN ADDITION;

THENCE departing said Lot 3A, Block D, along and with the common line of said Lot 2 and Lot 1 of Block 1 of said EXWEN ADDITION, NORTH 01° 06' 49" EAST, a distance of 241.35 feet to a 5/8" iron rod set for corner at the Northwest corner of said Lot 2, same being the Northeast corner of said Lot 1 and being on the South line of aforesaid Beltline Road;

THENCE departing said Lot 1, along and with the common line of said Beltline Road and said Lot 2, Block 1, SOUTH 88° 53' 15" EAST, a distance of 153.65 feet to the POINT OR PLACE OF BEGINNING and CONTAINING 0.8513 ACRES or 37,084 SQUARE FEET OF LAND, more or less.

CERTIFICATION
 The plat hereon is a true, correct, and accurate representation of the property as determined by survey, subject to any and all easements, reservations, and restrictions that may be of record, the lines and dimensions of said property being as indicated by the plat; the size, location and type of buildings and improvements are as shown, all improvements being within the boundaries of the property, set back from property lines the distances indicated, and that the distances from the nearest intersecting street or road is as shown on said plat. There are no encroachments, conflicts or protrusions, except as shown.

DAVID PETREE
 REGISTERED PROFESSIONAL LAND SURVEYOR
 REG. NO. 1890

AS BUILT
 DATE 13 Jan 98

TOPOGRAPHIC SURVEY
LOT 2 - BLOCK 1
EXWEN ADDITION
TOWN OF ADDISON, DALLAS COUNTY, TEXAS

BY: DAVID PETREE
 REGISTERED PROFESSIONAL
 LAND SURVEYOR NO. 1890
 11015 MIDWAY ROAD
 DALLAS, TEXAS 75229
 (214) 358-4500

DATE: MAY 07, 1997
 SCALE: 1" = 20'

C-2

- LEGEND**
- F.H. FIRE HYDRANT
 - X SET CHISELED "X" SET
 - F.X. CHISELED "X" FOUND
 - F.I.R. IRON ROD FOUND (SIZE AS NOTED)
 - S.I.R. IRON ROD SET (SIZE AS NOTED)
 - P.P. OVERHEAD UTILITY POLE W/ GUY
 - U.E. UNDERGROUND ELECTRIC OR TELEPHONE
 - L.P. LIGHT POLE
 - S.S.M. SANITARY SEWER MANHOLE
 - C.O. SAN. SWR. CLEAN OUT
 - G.V. GAS VALVE
 - W.V. WATER VALVE
 - T. TREE

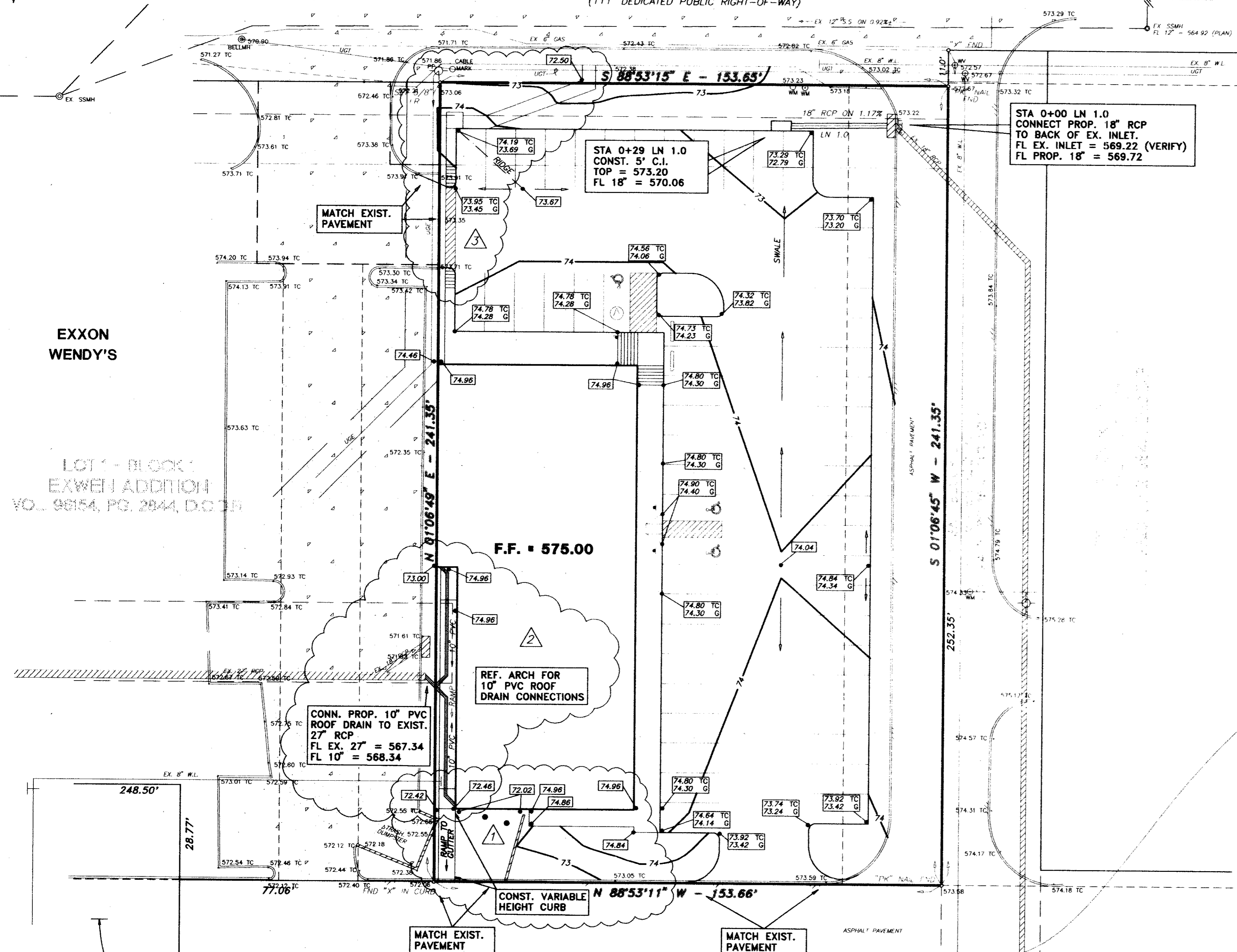
FLOOD NOTE:
 The property shown hereon lies in a "special flood hazard area", according to flood notes shown by plat of Addison Town Center, an addition to the City of Addison according to the plat thereof recorded in Volume 93237, Page 3840, Dallas County Map Records.

APPROX. LIMITS OF FULLY DEVELOPED CONDITIONS 100 YEAR FLOOD PLAIN VOLUME 93237, PAGE 3840

APPROXIMATE LIMITS OF 100 YR. FLOOD

BELT LINE ROAD

(1111' DEDICATED PUBLIC RIGHT-OF-WAY)



EXXON
WENDY'S

LOT 1 - BLOCK 1
EXWEN ADDITION
VOL. 96154, PG. 2844, D.C. 35

BOSTON CHICKEN

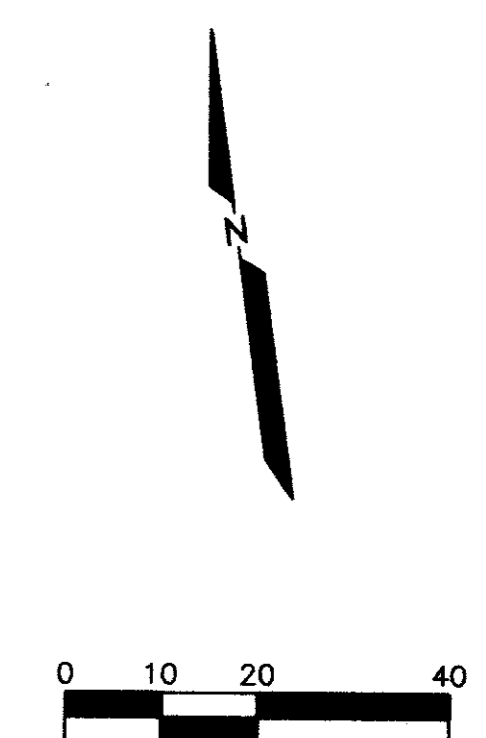
APPROX. LIMITS OF FULLY DEVELOPED CONDITIONS 100 YEAR FLOOD PLAIN VOLUME 93237, PAGE 3840

MATCH EXIST. PAVEMENT

BENCH MARK:
N.W. CORNER OF EXISTING CURB INLET LOCATED ON THE SOUTH SIDE OF BELT LINE ROAD. INLET LOCATED 575' WEST OF THE INTERSECTION OF BELT LINE ROAD AND BUSINESS AVENUE.
ELEV. 573.06'

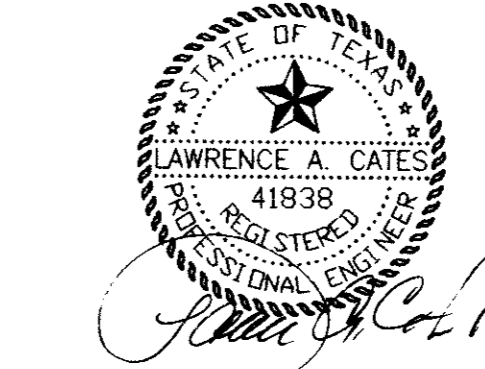
LEGEND

- 686 EXISTING CONTOUR
- 87 PROPOSED CONTOUR
- 75.00 TC / 74.50 G PROPOSED TOP OF CURB & GUTTER SPOT ELEVATIONS
- 686.82 TC EXISTING SPOT ELEVATION
- REMOVE EXIST. PAVEMENT



AS BUILT
DATE 18 Jun 98

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY LAWRENCE A. CATES, P.E. 41838 ON 06/11/98



3	6/11/98	ADD H.C. ACCESSIBLE ROUTE
2	10/9/97	ADDED TO PVC ROOF DRAIN PIPE
1	9/15/97	REVISED SPOT ELEVATIONS AT REAR
REV	DATE	REMARKS

GRADING & DRAINAGE PLAN

LOT 2, BLOCK 1 - EXWEN ADDITION

ADDISON TOWN CENTER

ADDISON, TEXAS

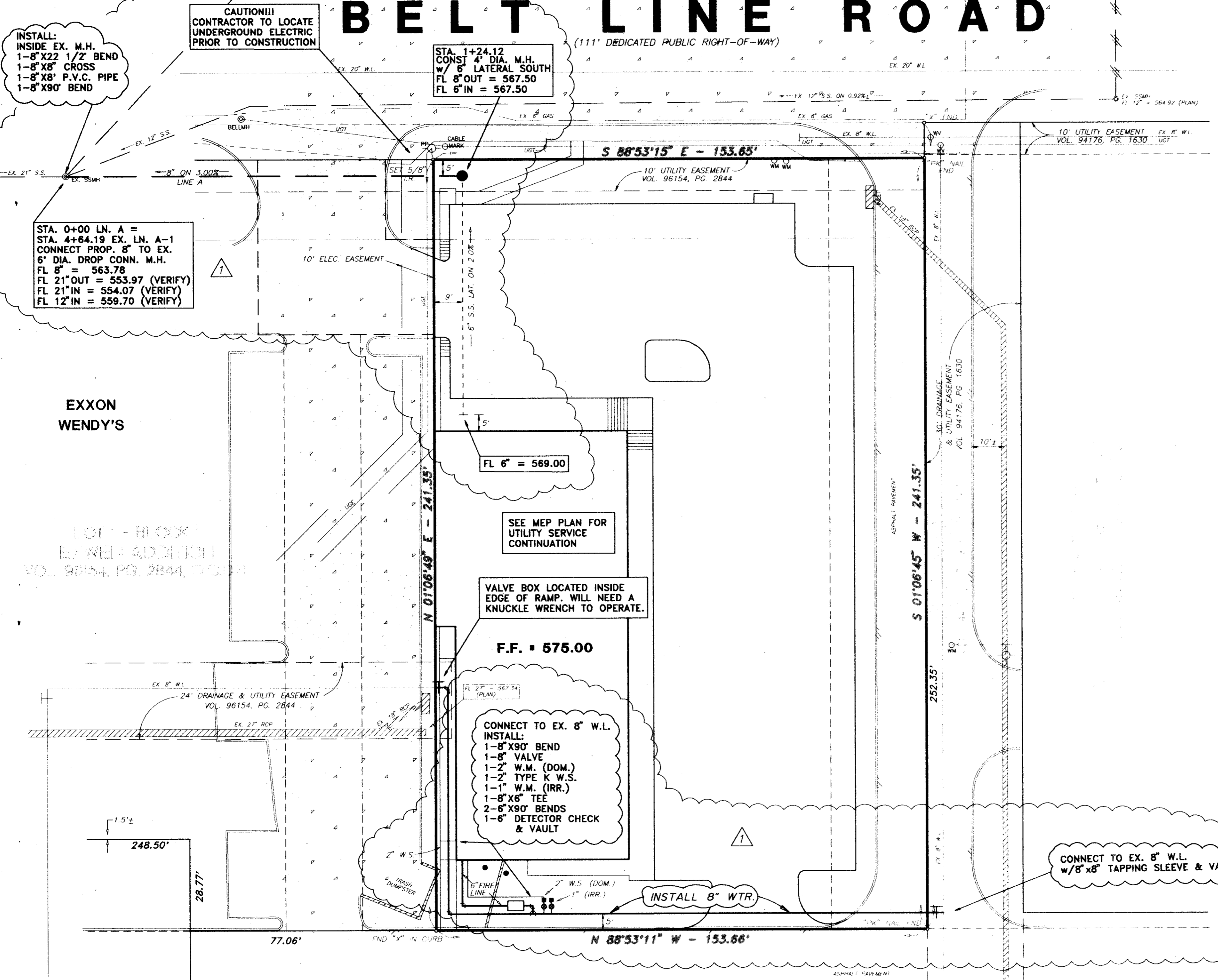
LAWRENCE A. CATES & ASSOC., INC. CONSULTING ENGINEERS
14200 MIDWAY ROAD, SUITE 122 (972) 385-2272 DALLAS, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
LAC	LAC	5/14/97	1"=20'	D.P.	97028 GRADING	C-4

S:\DWG5\197028\GRADING.dwg Thu Jun 11 12:08:36 1998

BELT LINE ROAD

(111' DEDICATED PUBLIC RIGHT-OF-WAY)



INSTALL:
INSIDE EX. M.H.
1-8" X22 1/2" BEND
1-8" X8" CROSS
1-8" X8" P.V.C. PIPE
1-8" X90° BEND

CAUTION!!!
CONTRACTOR TO LOCATE
UNDERGROUND ELECTRIC
PRIOR TO CONSTRUCTION

STA. 1+24.12
CONST. 4" DIA. M.H.
w/ 6" LATERAL SOUTH
FL 8" OUT = 567.50
FL 6" IN = 567.50

STA. 0+00 LN. A =
STA. 4+64.19 EX. LN. A-1
CONNECT PROP. 8" TO EX.
6" DIA. DROP CONN. M.H.
FL 8" = 563.78
FL 21" OUT = 553.97 (VERIFY)
FL 21" IN = 554.07 (VERIFY)
FL 12" IN = 559.70 (VERIFY)

FL 6" = 569.00

SEE MEP PLAN FOR
UTILITY SERVICE
CONTINUATION

VALVE BOX LOCATED INSIDE
EDGE OF RAMP. WILL NEED A
KNUCKLE WRENCH TO OPERATE.

F.F. = 575.00

CONNECT TO EX. 8" W.L.
INSTALL:
1-8" X90° BEND
1-8" VALVE
1-2" W.M. (DOM.)
1-2" TYPE K W.S.
1-1" W.M. (IRR.)
1-8" X6" TEE
2-6" X90° BENDS
1-6" DETECTOR CHECK
& VAULT

INSTALL 8" WTR.

CONNECT TO EX. 8" W.L.
w/ 8" X8" TAPPING SLEEVE & VALVE

WATER LINE GENERAL NOTES

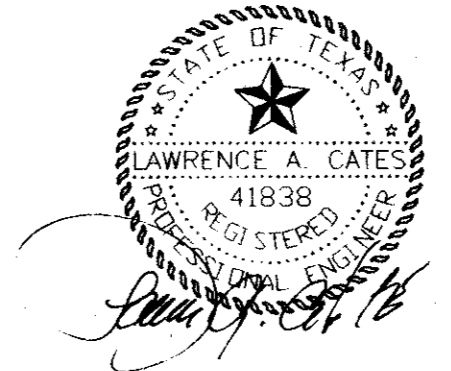
- ALL WORK AND MATERIALS, UNLESS OTHERWISE NOTED, SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR TOWN OF ADDISON.
- ALTERNATE - ALL 6", 8", 10" AND 12" WATER MAINS SHALL BE PVC AWWA C900, DR 18, CLASS 150 WATER PIPE. FOR PVC SERVICE TAPS 1" AND LARGER, TAPPING SADDLES SHALL BE USED.
- ALL WATER MAINS SHALL HAVE MINIMUM COVER AS FOLLOWS: 6", 8", 10", AND 12": 48" BELOW FINISHED PAVEMENT GRADE, OR 60" BELOW EXISTING OR FINISHED GRADE IN UNPAVED AREAS, OR AS REQUIRED TO CLEAR OTHER UTILITIES.
- FIRE HYDRANTS TO BE TOWN OF ADDISON APPROVED.
- VALVES TO BE TOWN OF ADDISON APPROVED.
- THE WATER METER BOX SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR AFTER THE PAVING CONTRACTOR HAS COMPLETED THE FINE GRADING BEHIND THE BACK OF THE CURB. EACH SERVICE LOCATION WILL BE MARKED ON THE PAVEMENT OR CURB, WITH A BLUE DOT BY THE UTILITY CONTRACTOR AND TIED TO PROPERTY CORNERS ON THE "RECORD DRAWINGS."
- THE CONTRACTOR SHALL FURNISH A MAINTENANCE BOND TO THE CITY TO RUN ONE (1) YEAR FROM THE DATE OF ACCEPTANCE OF THE SYSTEM BY THE CITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING "RECORD DRAWING" PLANS TO THE ENGINEER SHOWING THE LOCATION OF WATER SERVICES AND VALVES.
- FIRE HYDRANTS SHALL BE PAINTED AS PER TOWN OF ADDISON STANDARDS AND SPECIFICATIONS AND LOCATED IN A PROTECTED AREA WITH 6" CURB OR BOLLARDS.
- STEAMER NOZZLES ON FIRE HYDRANTS SHALL BE 18" ABOVE THE TOP OF THE CURB ON FINISHED GRADE, AND SHALL FACE THE CENTER OF THE FIRE LANE OR STREET. FIRE HYDRANTS SHALL USUALLY BE LOCATED FOUR (4) FEET, BUT NOT LESS THAN TWO (2) FEET NOR MORE THAN SIX (6) FEET, BEHIND THE CURB.
- ALL WATER LINES SHALL BE HYDROSTATICALLY TESTED PER TOWN OF ADDISON STANDARDS AND SPECIFICATIONS.
- ALL WATER LINES SHALL BE STERILIZED PER TOWN OF ADDISON STANDARDS AND SPECIFICATIONS.
- ALL METER BOXES SHALL BE LOCATED IN NON-TRAFFIC AREAS AND PROTECTED BY 6" CURB OR BOLLARDS.
- THE HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING SUBSURFACE UTILITIES HAVE BEEN DETERMINED FROM RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THAT NECESSARY CLEARANCES BETWEEN EXISTING AND PROPOSED UTILITIES EXIST PRIOR TO THE CONSTRUCTION OF ANY SUCH CROSSING.
- UTILITY TRENCHES SHALL BE BACKFILLED WITH MATERIAL PER TOWN OF ADDISON SPECIFICATIONS.
- ANCHOR FITTINGS SHALL BE USED TO ATTACH FIRE HYDRANTS.
- ALL WATER SERVICES OUTSIDE OF EASEMENTS SHALL BE INSTALLED BY A PLUMBER.
- CONTRACTOR TO INCLUDE ALL CITY WATER AND SEWER FEES IN BID. PAY CITY IMPACT FEES FOR WATER & S.S.

SANITARY SEWER GENERAL NOTES

- ALL WORK, UNLESS OTHERWISE NOTED, SHALL CONFORM TO THE TOWN OF ADDISON STANDARD SPECIFICATIONS.
- THE HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING SUBSURFACE UTILITIES HAVE BEEN DETERMINED FROM DATA RECORDED BY OTHERS. CONTRACTOR SHALL VERIFY THAT NECESSARY CROSSING CLEARANCES BETWEEN EXISTING AND PROPOSED UTILITIES EXIST PRIOR TO CONSTRUCTION OF ANY SUCH CROSSING.
- CONTRACTOR SHALL COORDINATE WITH THE OWNER, ENGINEER OR HIS REPRESENTATIVE AND CITY REPRESENTATIVE REGARDING AND DEVIATIONS FROM THESE PLANS.
- CONTRACTOR SHALL MAINTAIN ONE SET OF RECORD DRAWINGS (AS BUILT) ON SITE WHICH WILL BE SUBMITTED TO THE ENGINEER UPON COMPLETION OF THIS PROJECT.
- IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT; ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, SEWER LATERALS, WATER SERVICE, ETC.
- THE CONTRACTOR SHALL SET UTILITIES TO PROPER LINE AND GRADE PRIOR TO THE PLACING OF PERMANENT PAVEMENT.
- SANITARY SEWER PIPE SHALL CONFORM TO CITY SPECIFICATIONS AND SHALL BE MANUFACTURED FROM ONE OF THE FOLLOWING MATERIALS:
 - Polyvinyl/Chloride (PVC) Diameter 4" - 15"
ASTM D 3034 SDR 35
- SANITARY SEWER PIPE MUST BE KEPT CLEAR OF BROKEN CONCRETE, DIRT OR ANY OTHER DEBRIS RESULTING FROM CONSTRUCTION OPERATIONS.
- ALL SANITARY SEWER MAINS ARE TO HAVE 1-21" JOINT CENTERED ON EITHER SIDE OF WATER MAINS WHERE CROSSING OCCUR.
- CONTRACTOR SHALL TIE A 1" WIDE PIECE OF RED PLASTIC FLAGGING TO THE END OF SEWER SERVICE AND SHALL LEAVE A MINIMUM OF 36" OF FLAGGING EXPOSED AFTER BACKFILL. AFTER CURB AND PAVING IS COMPLETED, CONTRACTOR SHALL MARK THE LOCATION OF THE SEWER SERVICE ON THE CURB IN ACCORDANCE WITH THE STANDARD CITY SPECIFICATIONS.
- THE CONTRACTOR SHALL FURNISH A MAINTENANCE BOND TO THE CITY TO RUN 1 YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE SYSTEM BY THE TOWN OF ADDISON.
- ALL SANITARY SEWER LATERALS SHALL BE SIZED AND LOCATED AS SHOWN.
- ALL SANITARY SEWER LATERALS LOCATED OUTSIDE OF ESMTS SHALL BE INSTALLED BY A PLUMBER.
- CONTRACTOR TO INCLUDE ALL REQD. BONDS, TAP FEES, CAMERA FEES IN PROPOSAL.

AS BUILT
DATE 16 Jun 98

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY LAWRENCE A. CATES, P.E. 41838 ON 06-16-98



BENCH MARK:
N.W. CORNER OF EXISTING CURB INLET LOCATED ON THE SOUTH SIDE OF BELT LINE ROAD. INLET LOCATED 575' WEST OF THE INTERSECTION OF BELT LINE ROAD AND BUSINESS AVENUE.
ELEV. 573.06'

2	6/16/98	AS BUILT				
1	9/16/97	REVISE SANITARY SEWER & WATER				
REV	DATE	REVISIONS				
WATER & SANITARY SEWER PLAN						
LOT 2, BLOCK 1 - EXWEN ADDITION						
ADDISON TOWN CENTER						
ADDISON, TEXAS						
LAWRENCE A. CATES & ASSOC., INC. CONSULTING ENGINEERS 14200 MIDWAY ROAD, SUITE 122 (972) 385-2272 DALLAS, TEXAS						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
LAC	LAC	5/14/97	1"=20'	D.P.	97028 WATSEW	C-5

BELT LINE ROAD

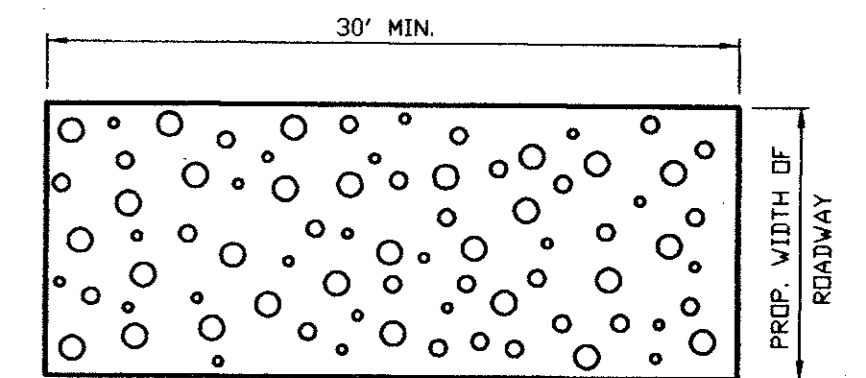
(111' DEDICATED PUBLIC RIGHT-OF-WAY)

STABILIZED CONSTRUCTION ACCESS

A STABILIZED CONSTRUCTION ACCESS ENTRANCE APPLIES TO POINTS OF CONSTRUCTION INGRESS AND EGRESS WHERE SEDIMENT MAY BE TRACKED OR FLOW OFF OF THE CONSTRUCTION SITE.

A STABILIZED CONSTRUCTION ACCESS ENTRANCE WILL BE INSTALLED AT THE LOCATION SHOWN ON THE PLAN. THIS ENTRANCE SHALL CONSIST OF A FILTER FABRIC COVERED BY A MINIMUM OF 8" OF SUITABLE ROCK OR CRUSHED STONE.

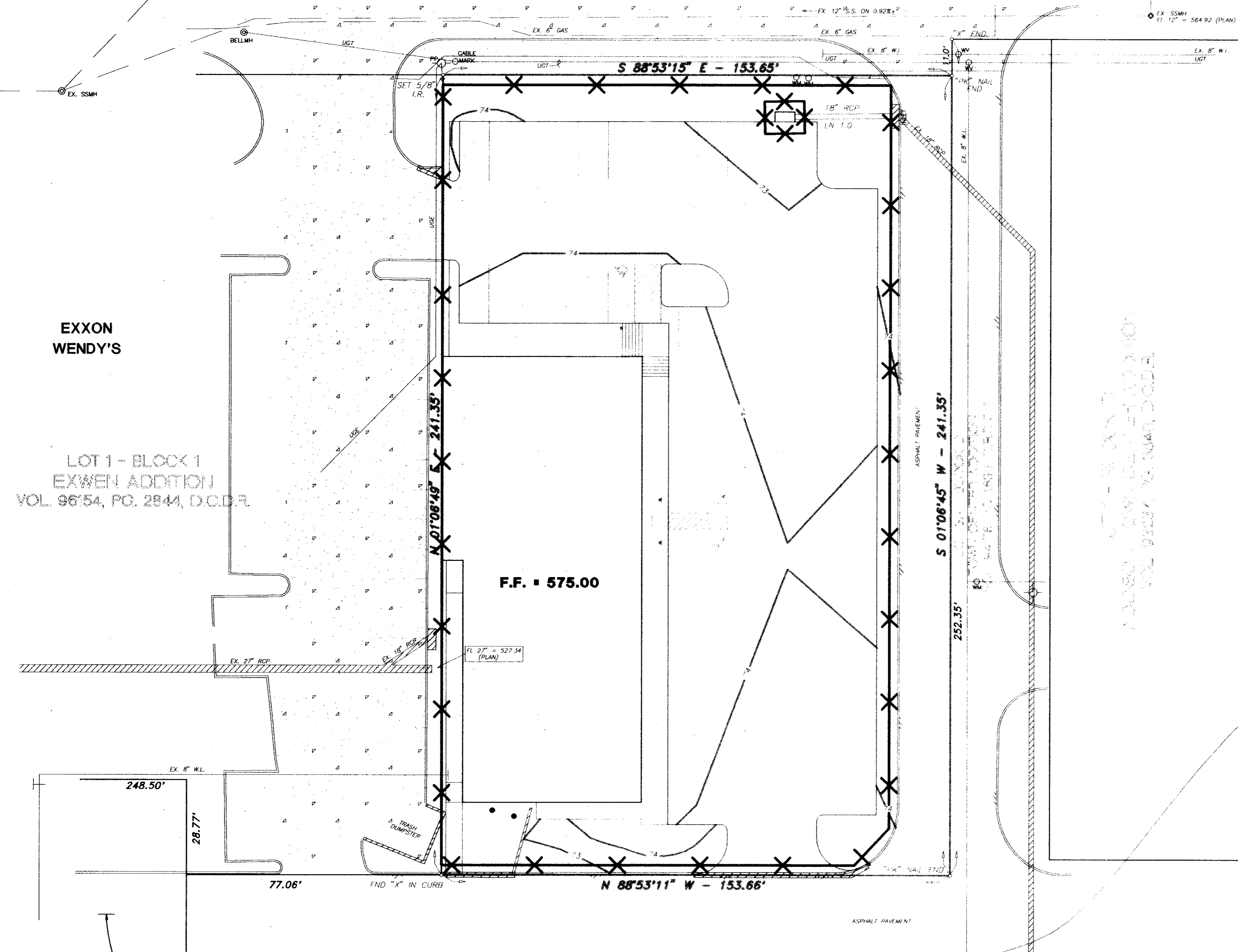
THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT THE TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL MATERIAL OR ADDITIONAL LENGTH AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.



STABILIZED CONSTRUCTION ACCESS DETAIL

CONSTRUCTION SEQUENCE

1. OBTAIN GRADING PERMIT.
2. INSTALL ALL EROSION CONTROL MEASURES AND DEVICES BEFORE CLEARING SITE IF POSSIBLE.
3. CLEAR SITE.
4. INSTALL ANY REMAINING CONTROL MEASURES AND DEVICES NOT INSTALLED PRIOR TO SITE CLEARING.
5. GRADE SITE.
6. INSTALL ALL UNDERGROUND UTILITIES
A) INSTALL HAYBALES AROUND CATCH BASINS AND INLETS.
7. INSTALL PAVEMENT.
8. RESTORE AND HYDROMULCH WITH BERMUDA GRASS ALL AREAS OUTSIDE CONSTRUCTION LIMITS DISTURBED DURING CONSTRUCTION.
9. INSPECT AND MAINTAIN ALL EROSION CONTROL MEASURES AND DEVICES AFTER EACH RAIN AND FOR THE DURATION OF THE PROJECT.
10. CONTRACTOR TO PROVIDE ADDITIONAL EROSION CONTROL AS NEEDED OR REQUESTED BY THE ENGINEER OR THE CITY IF PROPOSED EROSION CONTROL PROVES INSUFFICIENT.



EXXON
WENDY'S

LOT 1 - BLOCK 1
EXWEN ADDITION
VOL. 96'54, PG. 2844, D.C.D.R.

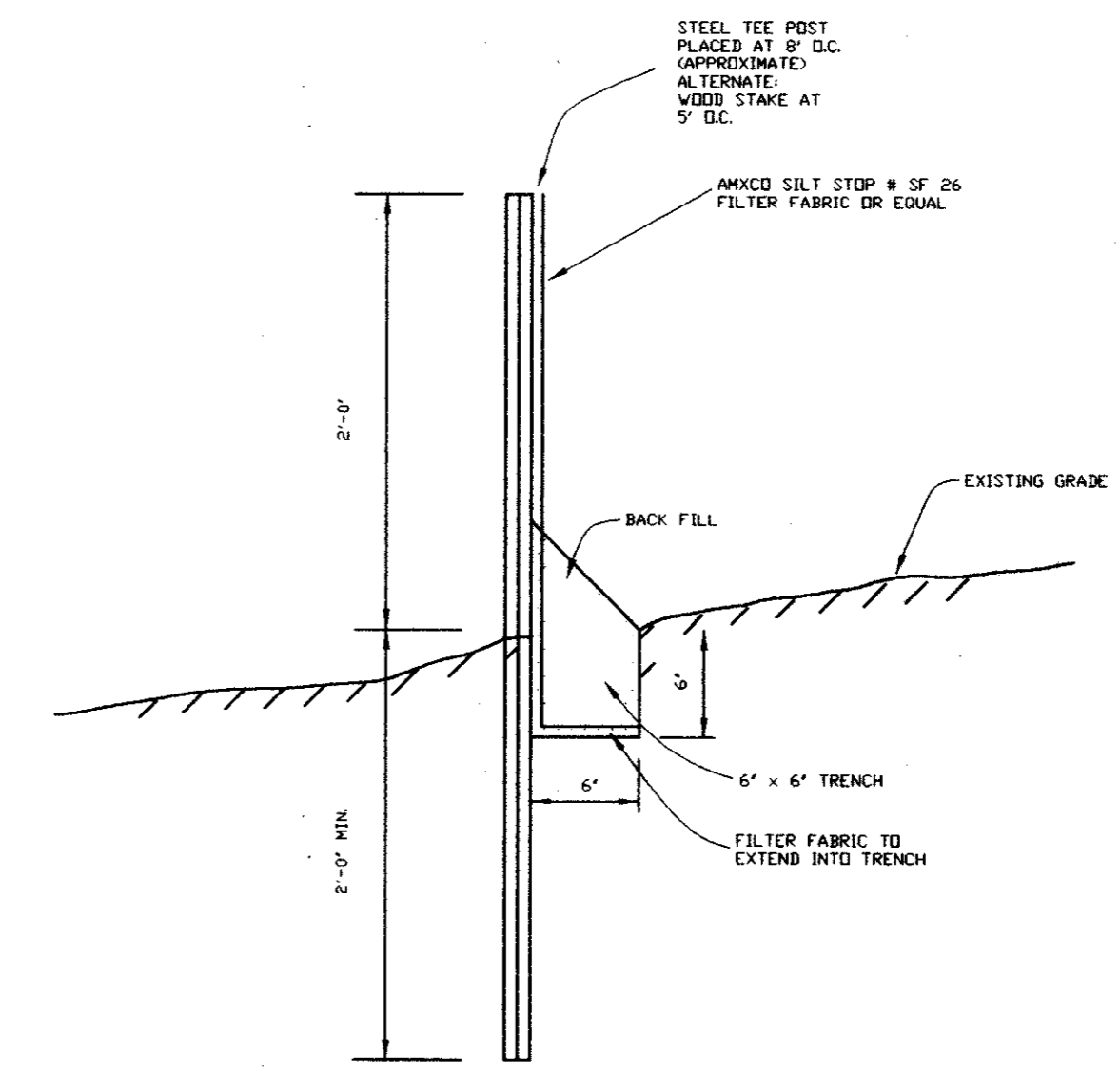
F.F. = 575.00

BOSTON CHICKEN

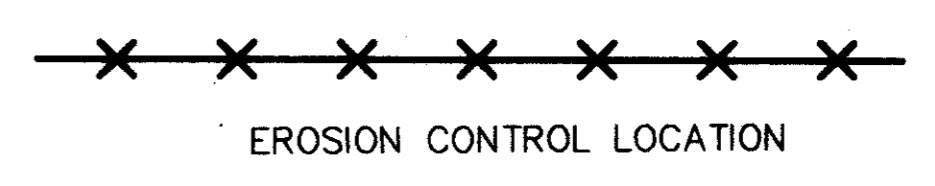
APPROX. LIMITS OF FULLY DEVELOPED CONDITIONS 100 YEAR FLOOD PLAIN VOLUME 93237, PAGE 3840

APPROXIMATE LIMITS OF 100 YR. FLOOD

BENCH MARK:
N.W. CORNER OF EXISTING CURB INLET LOCATED ON THE SOUTH SIDE OF BELT LINE ROAD. INLET LOCATED 575' WEST OF THE INTERSECTION OF BELT LINE ROAD AND BUSINESS AVENUE.
ELEV. 573.06'



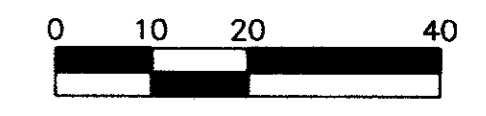
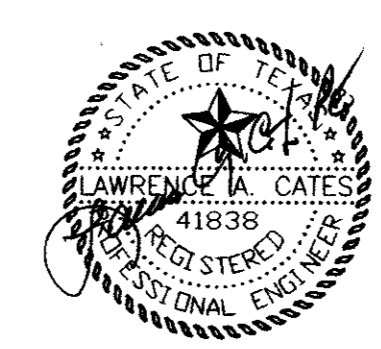
EROSION CONTROL FENCE
N.T.S.



EROSION CONTROL LOCATION

AS BUILT
DATE 13 Jun 75

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY LAWRENCE A. CATES, P.E. 41838 ON 09-17-97



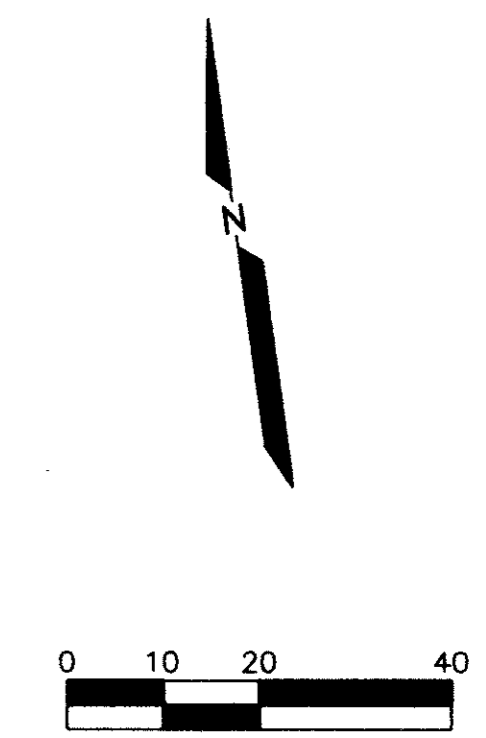
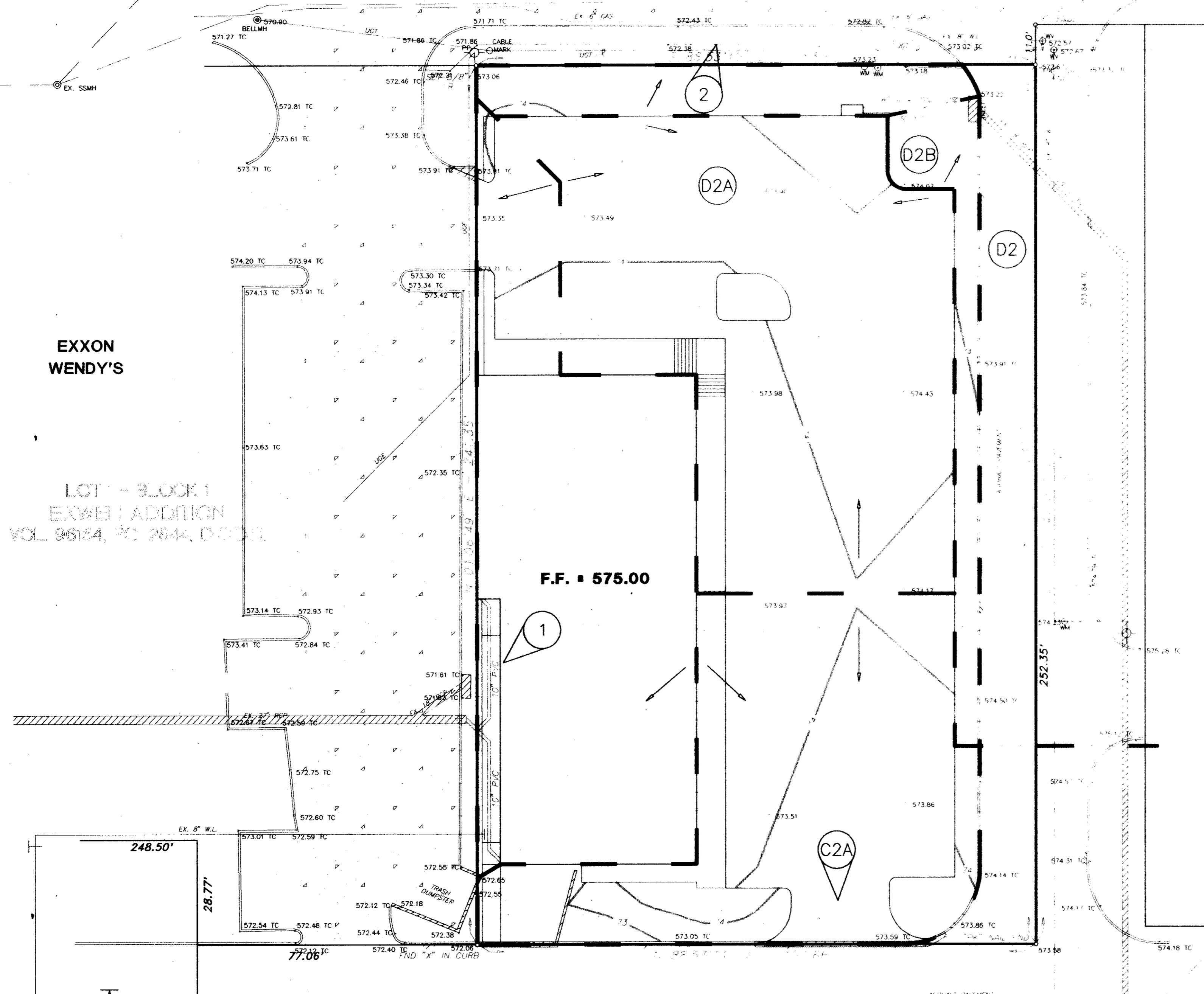
REV.	DATE	REMARKS
EROSION CONTROL PLAN		
LOT 2, BLOCK 1 - EXWEN ADDITION		
ADDISON TOWN CENTER		
ADDISON, TEXAS		
LAWRENCE A. CATES & ASSOC., INC.		CONSULTING ENGINEERS
14200 MIDWAY ROAD, SUITE 122		(972) 385-2272 DALLAS, TEXAS
DESIGN	DRAWN	DATE
LAC	LAC	5/14/97
SCALE	NOTES	FILE
1"=20'	D.P.	97028
NO.	C-6	

BELT LINE ROAD

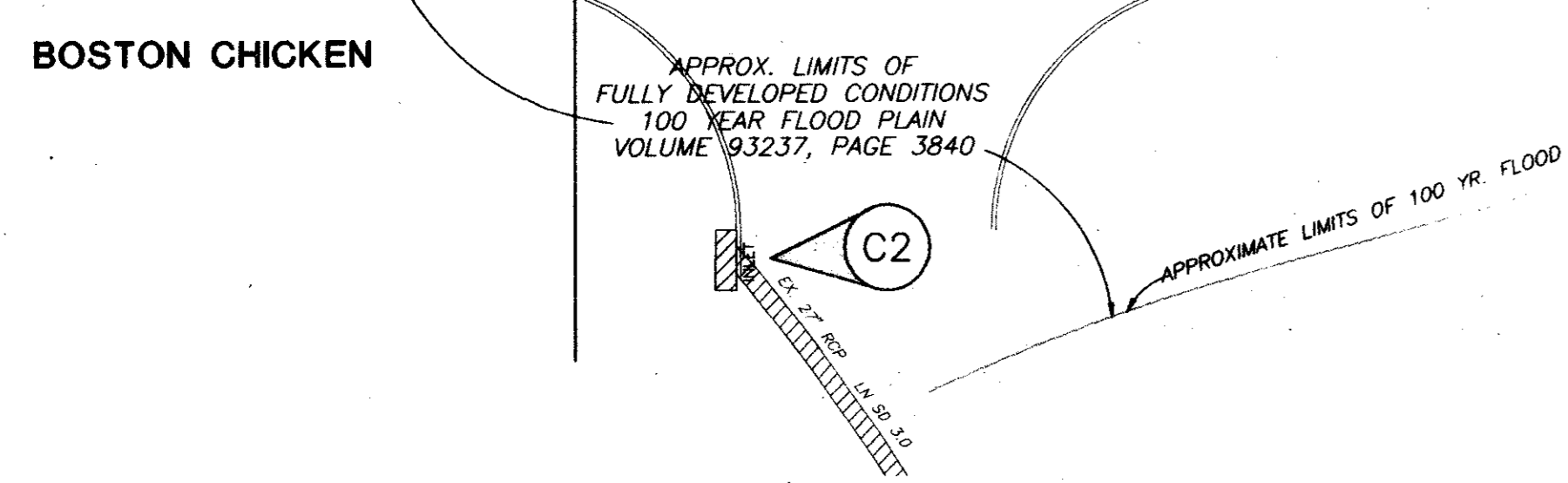
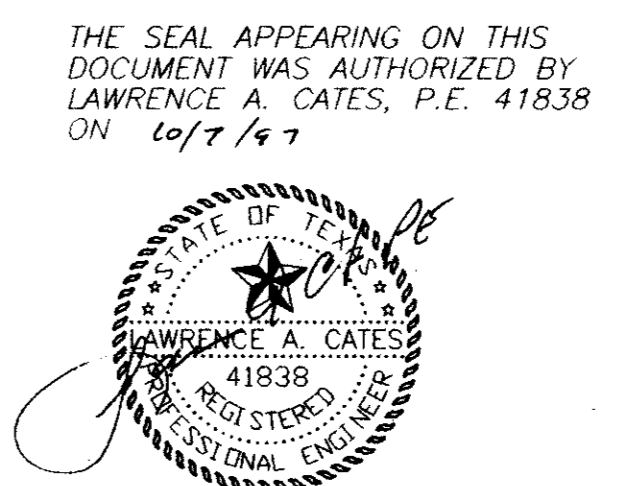
(71' DEDICATED PUBLIC RIGHT-OF-WAY)

DRAINAGE CALCULATIONS
RATIONAL METHOD $Q = CxixA$

DRNG. NO.	ACRES	RUNOFF COEF.	I100 (IN/HR)	Q100 (cfs)	REMARKS
1	0.22	0.9	8.74	1.7	ROOF DRAINS TO EX. 27" RCP
2	0.04	0.5	8.74	0.2	SHEET FLOW TO R.O.W.
D2A	0.26	0.9	8.74	2.0	5' C.I.
D2B	0.03	0.5	8.74	0.1	SHEET FLOW TO D.A. D2
D2	0.21	0.9	8.74	1.7	EXIST. 6" C.I.
C2A	0.19	0.9	8.74	1.5	TO D.A. C2
C2	2.64	0.9	8.74	20.8	TO EXIST. 20' C.I.



AS BUILT
DATE 18 Jun 93



REV	DATE	REMARKS
DRAINAGE AREA MAP		
LOT 2, BLOCK 1 - EXWEN ADDITION		
ADDISON TOWN CENTER		
ADDISON, TEXAS		
LAWRENCE A. CATES & ASSOC., INC.		CONSULTING ENGINEERS
14200 MIDWAY ROAD, SUITE 122		DALLAS, TEXAS
DESIGN	DRAWN	DATE
LAC	LAC	5/14/97
SCALE	NOTES	FILE
1"=20'	D.P.	97028 DMAP
NO.	NO.	
C-8	C-8	

S:\DWG65\97028\DMAP.dwg Thu Oct 09 10:31:54 1997

B4-6