

**BLOCK 2
BELT LINE - MARSH BUSINESS PARK**

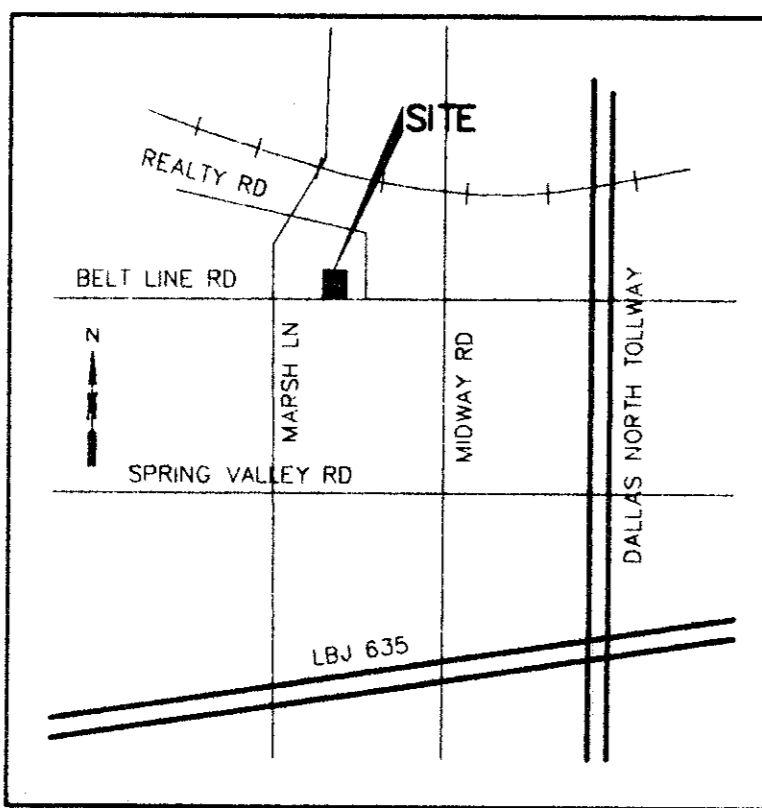
1.229 ACRES
"VACANT"

BUSINESS AVENUE
60' R.O.W.

BELT LINE ROAD
100' R.O.W.

POINT OF BEGINNING

POINT OF COMMENCING



LOCATION MAP
NTS

STATE OF TEXAS:
COUNTY OF DALLAS:

WHEREAS, DARYL N. SNADON is the owner of a tract of land situated in the D. Meyers Survey, Abstract No. 923 and T. L. Chenoweth Survey, Abstract No. 273 and also being part of the Belt Line-Marsh Business Park, an addition to the Town of Addison, Dallas County, Texas as recorded in Volume 78155, page 0001, Deed Records, Dallas County, Texas and further being part of the replat of Belt Line-Marsh Business Park, an addition to the City of Addison, Dallas County, Texas, as recorded in Volume 79252, Page 0210, Deed Records, Dallas County, Texas and being more particularly described as follows:

COMMENCING at an 5/8 inch iron rod set for the most southerly end of a corner clip situated at the intersection of the north line of Belt Line Road, a 100 foot right-of-way, and the west line of Business Avenue, a 60 foot right-of-way;

THENCE North 89°54'31" West along the north line of Belt Line Road a distance of 205.00 feet to a 5/8 inch iron rod set for the POINT OF BEGINNING;

THENCE North 89°54'31" West along the north line of Belt Line Road a distance of 202.00 feet to a 5/8 inch iron rod set for corner;

THENCE North 00°05'29" East departing the north line of Belt Line road a distance of 265.00 feet to a 5/8 inch iron rod set for corner;

THENCE South 89°54'31" East a distance of 202.00 feet to a 5/8 inch iron rod set for corner;

THENCE South 00°05'29" West a distance of 265.00 feet to the POINT OF BEGINNING;

CONTAINING within the metes recited 1.229 acres of land, more or less.

THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

DARYL N. SNADON does hereby adopt this plat designating the hereinabove property as The CHICK-FIL-A Addition, an addition to the Town of Addison, Texas, and, subject to the conditions, restrictions, and reservations stated hereinafter, owner dedicated to the public use forever the streets and alleys shown thereon.

The easements shown on this plat are hereby reserved for the purposes as indicated including, but not limited to, the installation and maintenance of water, sanitary sewer, storm sewer, drainage, electric, telephone, gas and cable television. Owner shall have the right to use these easements provided, however, that it does not unreasonably interfere or impede with the provision of the services to others. Said utility easements are hereby being reserved by mutual use and accommodation of all public utilities using or desiring to use the same. An express easement of ingress and egress is hereby expressly granted on, over and across all such easements for the benefit of the provider of services for which easements are granted.

Any drainage and floodway easement shown hereon is hereby dedicated to the public's use forever, but including the following covenants with regard to maintenance responsibilities. The existing channels or creeks traversing the drainage and floodway easement will remain as an open channel, unless required to be enclosed by ordinance, at all times and shall be maintained by the individual owners of the lot or lots that are traversed by or adjacent to the drainage and floodway easement. The Town will not be responsible for the maintenance and operation of said creek or creeks or for any damage or injury of private property or person that results from the flow of water along said creek, or for the control of erosion. No obstruction to the natural flow of water run-off shall be permitted by construction of any type of building, fence or any other structure within the drainage and floodway easement. Provided, however, it is understood that, in the event it becomes necessary for the Town to channelize or consider erecting any type of drainage structure in order to improve the storm drainage then, in such event, the Town shall have the right, but not the obligation, to enter upon the drainage and floodway easement at any point, or points with all rights of ingress and egress to investigate, survey, erect, construct or maintain any drainage facility deemed necessary by the Town for drainage purposes. Each property owner shall keep the natural drainage channels and creeks traversing the drainage and floodway easement adjacent to this property clean and free of debris, silt, growth, vegetation, weeds, rubbish, refuse, matter and any substance which would result in unsanitary conditions or obstruct the flow of water, and the Town shall have the right of ingress and egress for the purpose of inspection and supervision and maintenance work by the property owner to alleviate any undesired conditions which may occur. The natural drainage channels and creeks through the drainage and floodway easement, as in the case of all natural channels, are subject to storm water overflow and natural bank erosion to an extent that cannot be definitely defined. The Town shall not be held liable for any damages or injuries of any nature resulting from the occurrence of these natural phenomena, nor resulting from the failure of any structure or structures within the natural drainage channels and the owners hereby agree to indemnify and hold harmless the Town from any such damages and injuries. Building areas outside the drainage and floodway easement line shall be filled to a minimum elevation as shown on the plat. The minimum floor of elevation of each lot shall be shown on the plat.

APPROVAL CERTIFICATE

Approved by the Town of Addison this ____ day of _____, 1994.

MAYOR

CITY SECRETARY

The maintenance or paving of the utility and fire lane easements is the responsibility of the property owner. All public utilities shall, at all times, have the full right of ingress and egress to and from and upon the said utility easements for the purpose of construction, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective system without the necessity at any time of procuring the permission of anyone. Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and any maintenance and service required or ordinarily performed by that utility. Buildings, fences, trees, shrubs or other improvements or growth may be constructed, reconstructed or placed upon, over or across the utility easement as shown; provided, however, that owner shall, at its sole cost and expense, be responsible under any and all circumstances for the maintenance and repair of such improvements or growth, and any public utility shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growth which in any way endanger or interfere with the construction, maintenance or efficiency of its respective system or service.

Water main and sanitary sewer easements shall also include additional area of working space for construction and maintenance of the systems. Additional easement area is also conveyed for installation and maintenance of manholes, cleanouts, fire hydrants, water service and sewer services from the main to curb or pavement line, and the descriptions of such additional easements herein granted shall be determined by their locations as installed.

This plat is approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Addison, Texas.

WITNESS, my hand at _____, Texas, this the ____ day of _____, 1994.

DARYL N. SNADON

STATE OF TEXAS:
COUNTY OF DALLAS:

BEFORE ME, the undersigned authority, a Notary Public in and for Dallas County, Texas, on this day personally appeared DARYL N. SNADON, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for purposes and considerations therein expressed.

GIVEN under my hand and seal of office this the ____ day of _____, 1994.

Notary Public in and for Dallas County, Texas

SURVEYOR'S CERTIFICATE

STATE OF TEXAS:
COUNTY OF DALLAS:

THAT I, JOHN R. PIBURN JR., a Registered Professional Land Surveyor do hereby certify that this plat is true and correct to the best of my knowledge and belief, and that the tract shown hereon was determined by a survey made on the ground during the month of _____, 1994 under my supervision.

WITNESS, my hand and seal at Dallas, Dallas County, Texas, this the ____ day of _____, 1994.

JOHN R. PIBURN, JR., REGISTERED PROFESSIONAL
LAND SURVEYOR NO. 3689

STATE OF TEXAS
COUNTY OF DALLAS

BEFORE ME, the undersigned authority, a Notary Public in and for Dallas County, Texas, on this day personally appeared John R. Piburn, Jr., known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the ____ day of _____, 1994.

NOTARY PUBLIC IN AND FOR DALLAS COUNTY, TEXAS

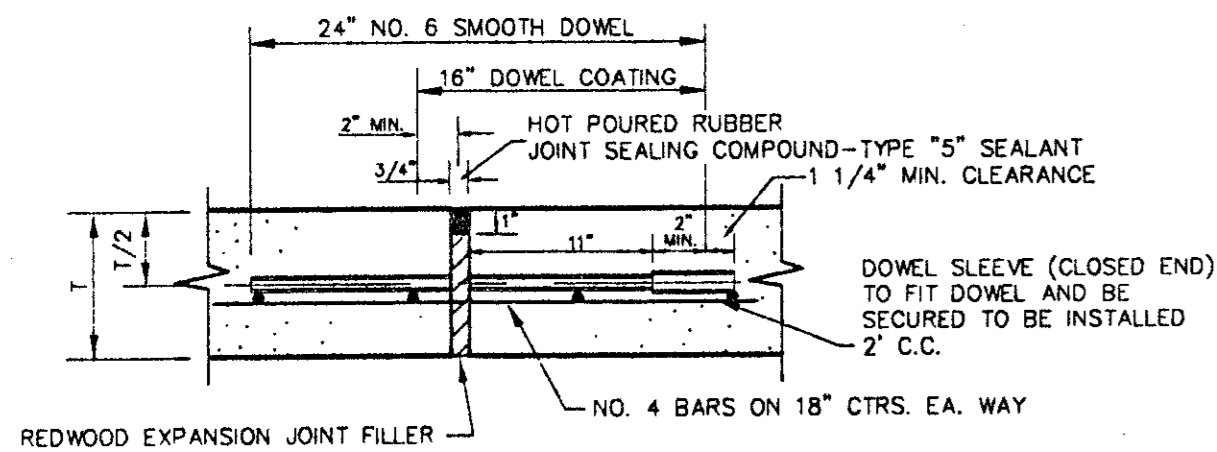
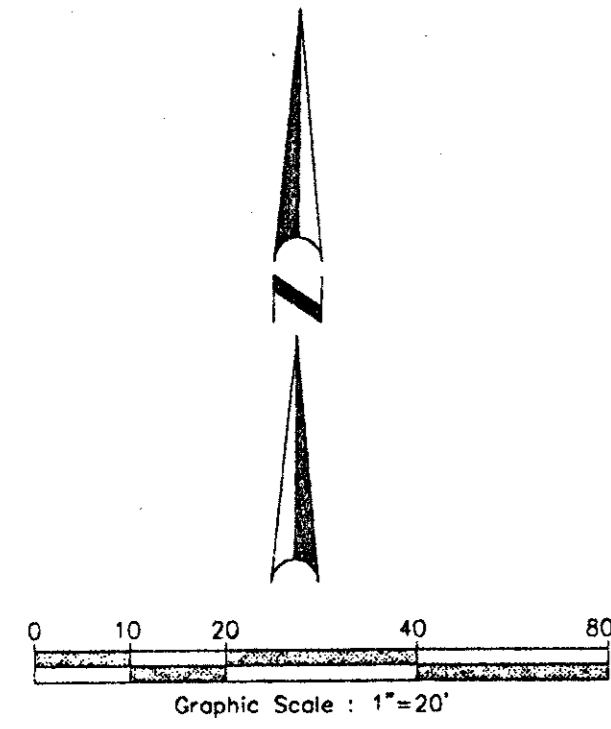
**FINAL PLAT
CHICK-FIL-A ADDITION**

1.229 ACRES OF LAND
SITUATED IN THE D. MYERS SURVEY, ABSTRACT NO. 923
AND THE
T. L. CHENOWETH SURVEY, ABSTRACT NO. 273
TOWN OF ADDISON, DALLAS COUNTY, TEXAS

Date: August, 1994

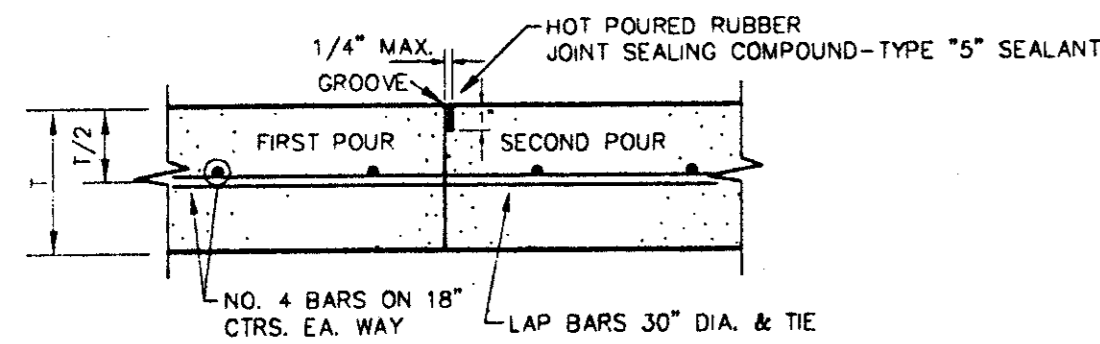
OWNER
Daryl N. Snadon
15280 Addison Road, Suite 300
Dallas, Tx. 75248
(214)661-2525

SURVEYORS
BROCKETTE DAVIS DRAKE, INC.
4144 North Central Expressway, Suite 1100
Dallas, Texas 75204
(214) 824-3647, fax (214) 824-7064

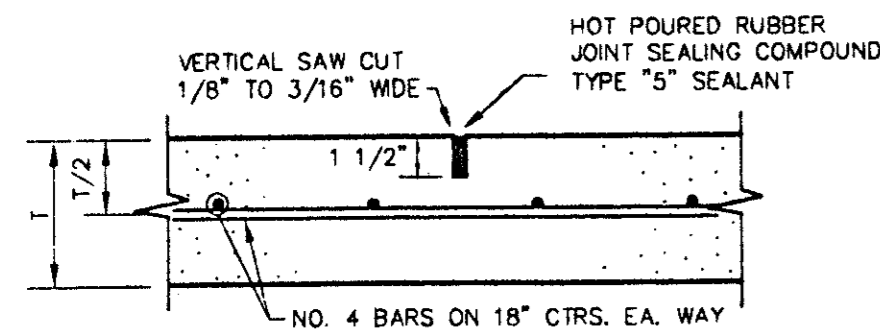


EXPANSION JOINT
N.T.S.
(25' O.C.)

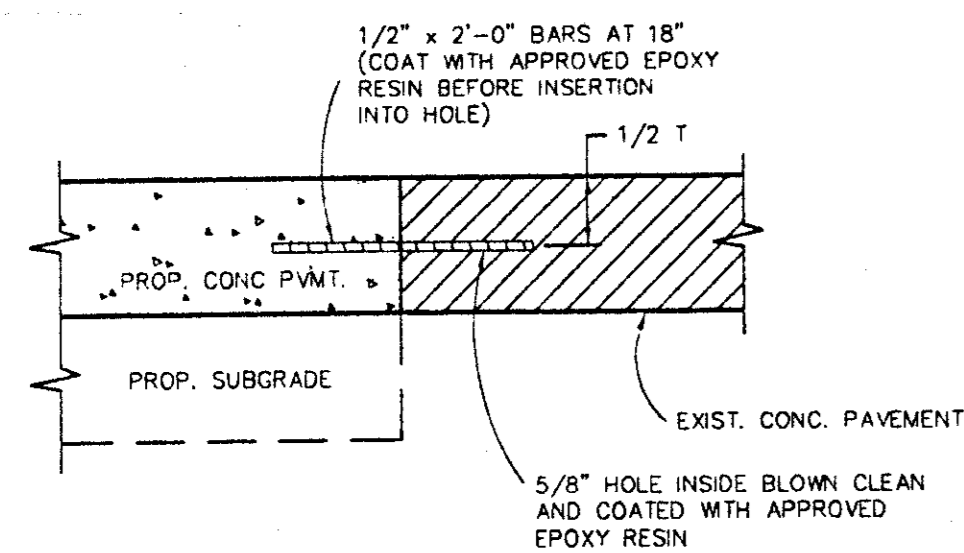
NOTE:
DOWELS AND REINFORCING BARS SHALL
BE SUPPORTED BY AN APPROVED DEVICE.



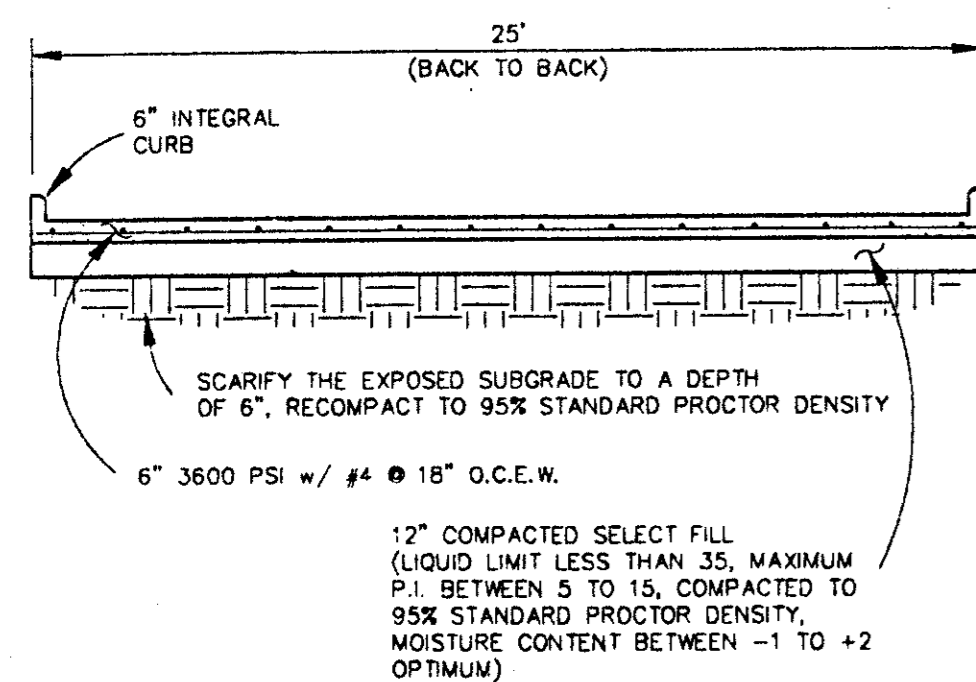
CONSTRUCTION JOINT
N.T.S.



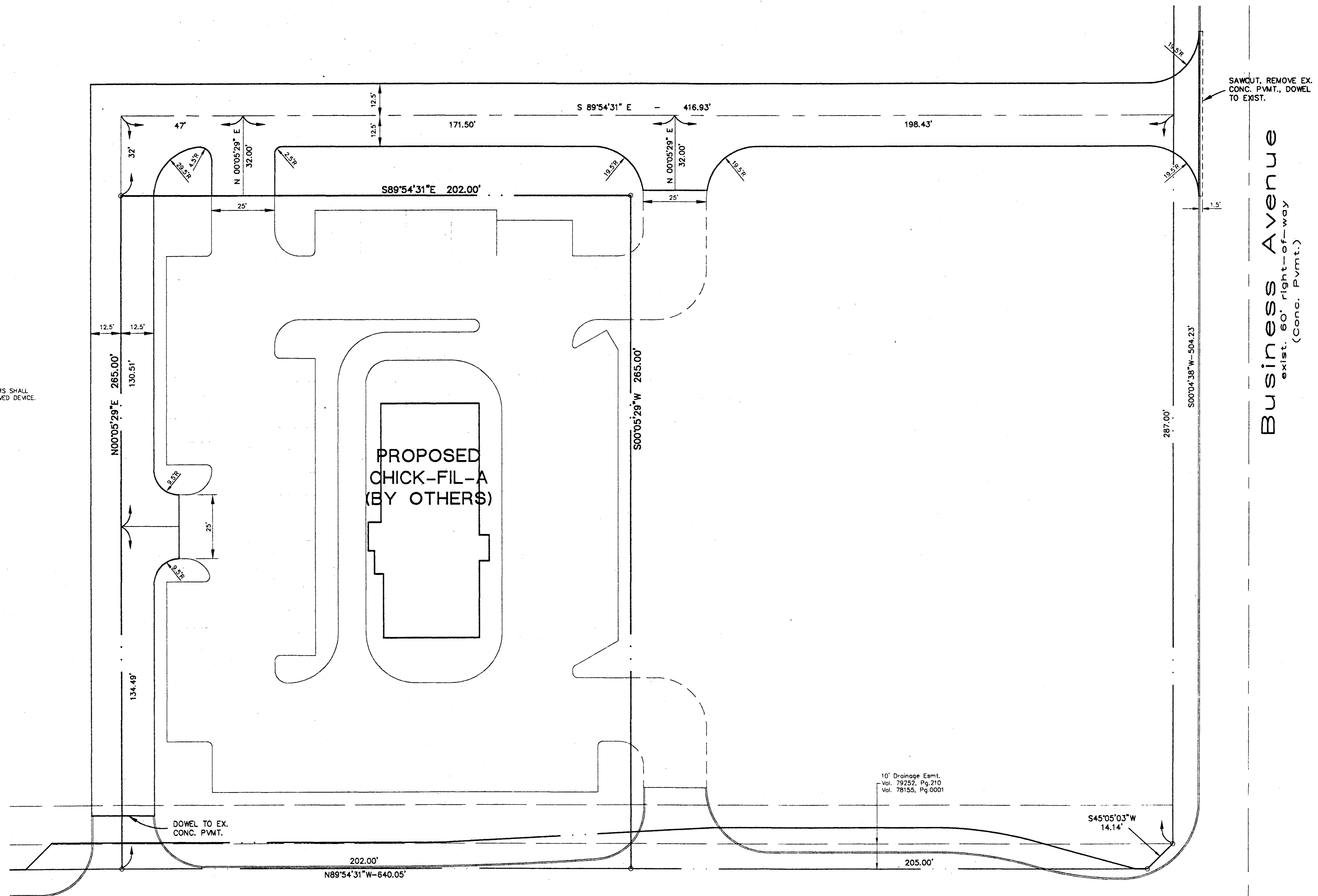
SAWED DUMMY (CONTROL) JOINT
N.T.S.
(15' O.C.E.W.)



ANCHOR JOINT DETAIL
N.T.S.



TYPICAL PAVING SECTION
N.T.S.

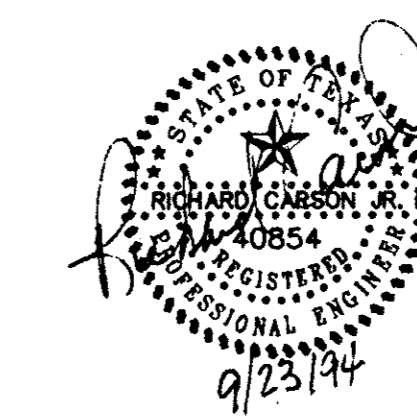


Belt Line Road

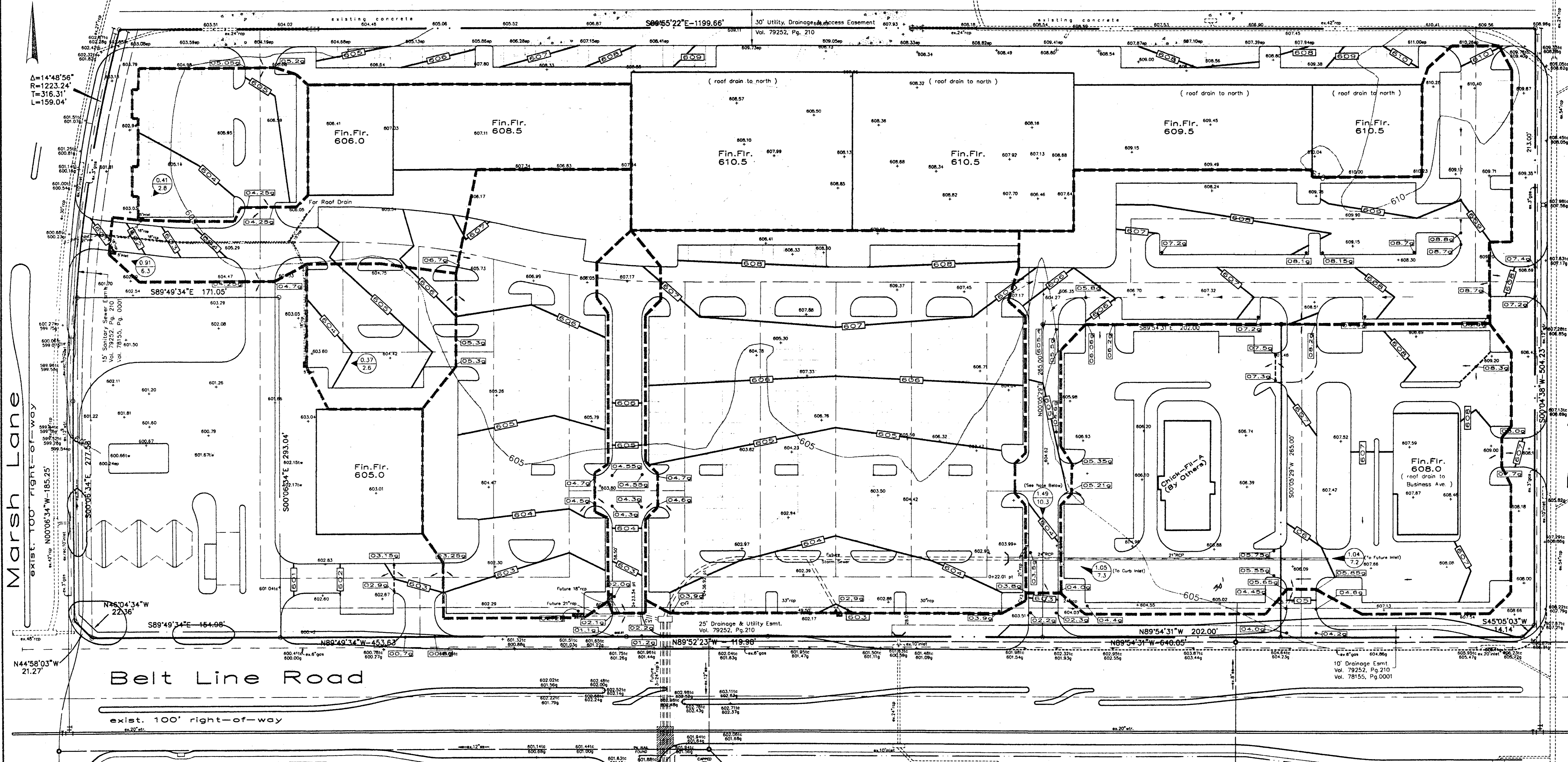
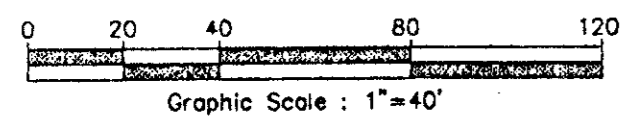
GENERAL NOTES

1. ALL CONSTRUCTION SHALL CONFORM TO THE TOWN OF ADDISON STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FROM THE TOWN OF ADDISON FOR WORKING WITHIN PUBLIC RIGHT-OF-WAY.
3. ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.

Benchmark:
Square on top of curb at centerline of inlet,
northeast corner of Applebee's parking lot,
100' more or less west of the west curb of
Business Avenue.
Elev. 605.65



Horizontal Control Plan						
Belt Line Rd. / Marsh Ln.						
Town of Addison, Texas						
Dallas County, Texas						
BROCKETTE • DAVIS • DRAKE, INC., consulting engineers						
Civil & Structural Engineering • Surveying						
4144 North Central Expressway, Suite 1100 • Dallas, Texas 75204						
(214) 824-3647 • Fax (214) 824-7064						
Design	Drawn	Date	Scale	Notes	File	No.
JAR	STL	8/31/94	1"=20'	BDD	C93124	2/5



- General Notes:**
- All materials and construction shall conform to the Town of Addison Plans and Specifications, except as noted herein and approved by the town.
 - Contractor shall be responsible for maintaining trench safety requirements in accordance with Town Standards, Texas State Law, and O.S.H.A Standards for all excavation in excess of five feet in depth.
 - The location of all utilities located on these plans are taken from existing public records. The exact location and elevation of all public utilities must be determined by the Contractor. It shall be the duty of the Contractor to ascertain whether any additional facilities other than those shown on the plans may be present.
 - It will be the responsibility of the Contractor to protect all public utilities in the construction of this project. All manholes, cleanouts, valve boxes, fire hydrants, etc. must be adjusted to proper line and grade by the contractor prior to and after the placing a permanent paving. Utilities must be maintained to proper line and grade during construction of the paving for this development.
 - The Contractor shall verify the location (vertically and horizontally) of the existing 20" water prior to construction.
 - Contact Lone Star Gas 48 hours prior to construction for location of existing gas facilities. Phone (214) 487-3817.

Note:
With Proposed Development of the Chick-Fil-A site, an additional 0.72 acres will drain to the 10' curb inlet for a total of 15.5cfs. When the N.E. portion of the future shopping center is constructed, this area will flow to the north.

- Grading Legend**
- 675 - Existing Contour
 - 600 - Proposed Contour
 - 07.55 - Proposed Spot Elev.
 - 75.50 - Exist. Top of Curb Elevation
 - 75.50 - Exist. Gutter Elevation
 - 75.50 - Exist. Spot Elevation
 - - - - - Flow Arrow

- Drainage Criteria**
- Q=C*1*A
 - C=0.90
 - 1.100 = 7.7 in/hr
 - - - - - Drainage Divide Line
 - 1.25 - area (acres)
 - 8.7 - c.f.s.

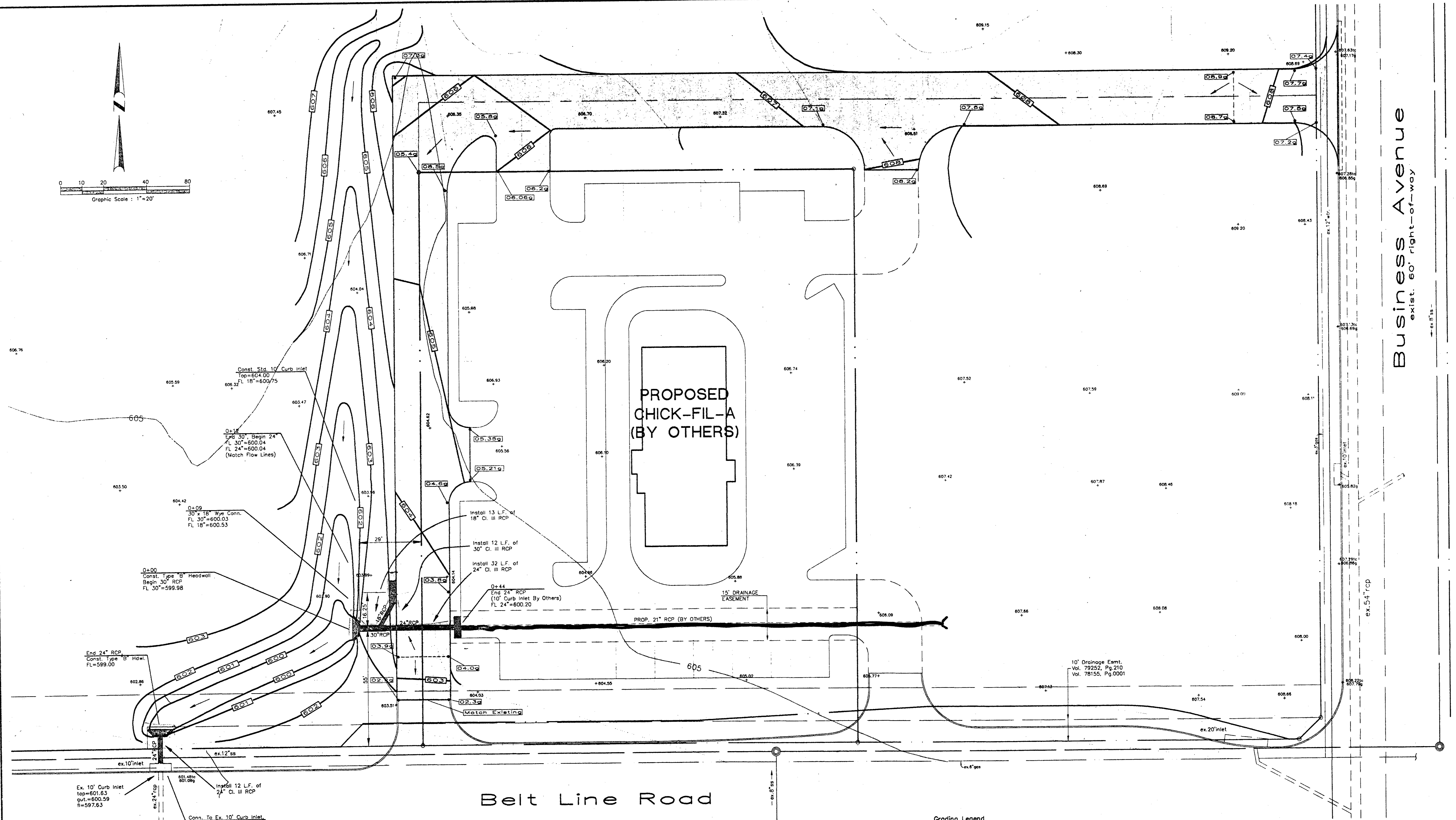
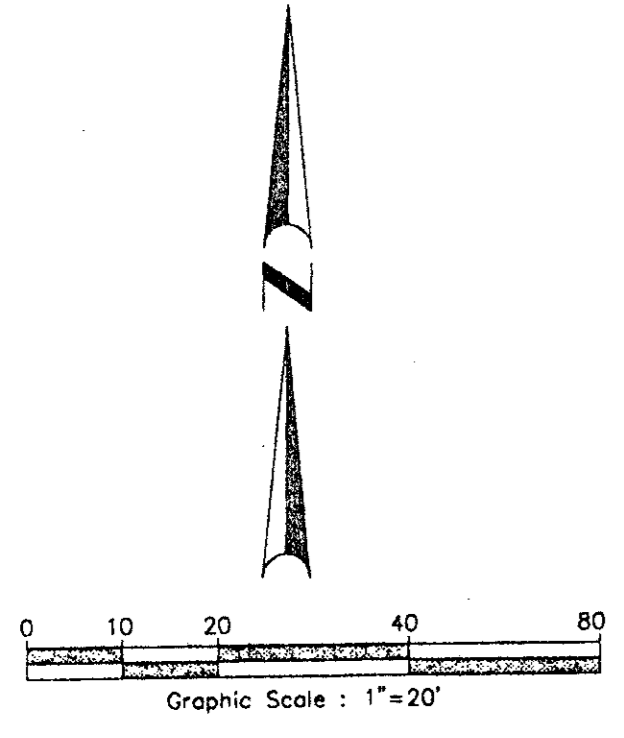


Benchmark:
Square on top of curb at centerline of inlet, northeast corner of Applebee's parking lot, 100' more or less west of the west curb of Business Avenue.
Elev. 605.85

Drainage Area Map
Belt Line Rd. / Marsh Ln.
Town of Addison, Texas
Dallas County, Texas

BROCKETTE • DAVIS • DRAKE, INC.
consulting engineers
Civil & Structural Engineering • Surveying
4114 North Central Expressway, Suite 1100 • Dallas, Texas 75204
(214) 824-3647 • Fax (214) 824-7064

Design	Drawn	Date	Scale	Notes	File	No.
bdd	bdd	9/8/94	1"=40'	bdd	C93124	3/5



Business Avenue
exist. 60' right-of-way

PROPOSED
CHICK-FIL-A
(BY OTHERS)

Belt Line Road

GENERAL NOTES

1. ALL STORM SEWER PIPES TO BE CLASS III RCP UNLESS NOTED OTHERWISE.
2. ALL INLET CONSTRUCTION AND STORM SEWER INSTALLATION TO BE IN ACCORDANCE WITH THE TOWN OF ADDISON STANDARDS.
3. PRIOR TO FINAL ACCEPTANCE BY THE TOWN OF ADDISON.
 - a) A TEXAS REGISTERED PROFESSIONAL ENGINEER SHALL CERTIFY THAT THE PROJECT WAS CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS APPROVED BY THE TOWN OF ADDISON.
 - b) A ONE (1) YEAR MAINTENANCE BOND IS REQUIRED FOR THE TOWN'S PORTION OF THE INFRASTRUCTURE.
 - c) CONTRACTOR SHALL DEMONSTRATE THAT THE WATER AND SANITARY SEWER SYSTEMS MEET THE PROPER PRESSURE, BACTERIA AND MANHOLE TESTS. IN ADDITION, THE OWNER SHALL PROVIDE A VHS FORMAT VIDEO TAPE OF THE SANITARY SEWER.
4. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY COMPANIES TO LOCATE EXISTING FACILITIES. THESE INCLUDE BUT MAY NOT BE LIMITED TO THE FOLLOWING:
 - a) TOWN OF ADDISON
 - b) LONE STAR GAS
 - c) SOUTHWESTERN BELL
 - d) STORER CABLE
 - e) PLANNED CABLE SYSTEMS
 - f) TU ELECTRIC
5. PRIOR TO BEGINNING CONSTRUCTION, THE OWNER OR HIS AUTHORIZED REPRESENTATIVE SHALL CONDUCT A PRE-CONSTRUCTION CONFERENCE BETWEEN THE TOWN OF ADDISON, CONSULTING ENGINEER, CONTRACTOR(S), UTILITY COMPANIES AND ANY OTHER AFFECTED PARTIES. NOTIFY BRUCE ELLIS 450-2847 AT LEAST 48-HOURS PRIOR TO BEGINNING OF CONSTRUCTION.
6. ANY EXISTING PAVEMENT, CURB(S), AND/OR SIDEWALKS DAMAGED OR REMOVED WILL BE REPAIRED BY THE CONTRACTOR AT THEIR EXPENSE.
7. CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT BY THE TOWN OF ADDISON FOR WORKING WITHIN THE PUBLIC RIGHT-OF-WAY EASEMENTS.
8. DURING CONSTRUCTION, THE OWNER SHALL PROVIDE A QUALITY GEOTECHNICAL LAB TO PERFORM MATERIALS TESTING DURING THE CONSTRUCTION AT THE REQUEST OF THE TOWN OF ADDISON.
9. THE CONTRACTOR SHALL SUBMIT MATERIALS SHEETS TO THE TOWN OF ADDISON FOR APPROVAL PRIOR TO INCORPORATING MATERIALS INTO THE JOB.
10. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH TOWN OF ADDISON STANDARD SPECIFICATIONS AND/OR SPECIFICATIONS ESTABLISHED BY THIS PROJECT. THE MOST STRINGENT SHALL APPLY.

Grading Legend

	Concrete Pavement To Be Constructed
	Existing Contour
	Proposed Contour
	Proposed Spot Elev.
	Exist. Top of Curb Elevation
	Exist. Gutter Elevation
	Exist. Spot Elevation
	Flow Arrow

Benchmark:
Square on top of curb at centerline of inlet, northeast corner of Applebee's parking lot, 100' more or less west of the west curb of Business Avenue.
Elev. 605.65

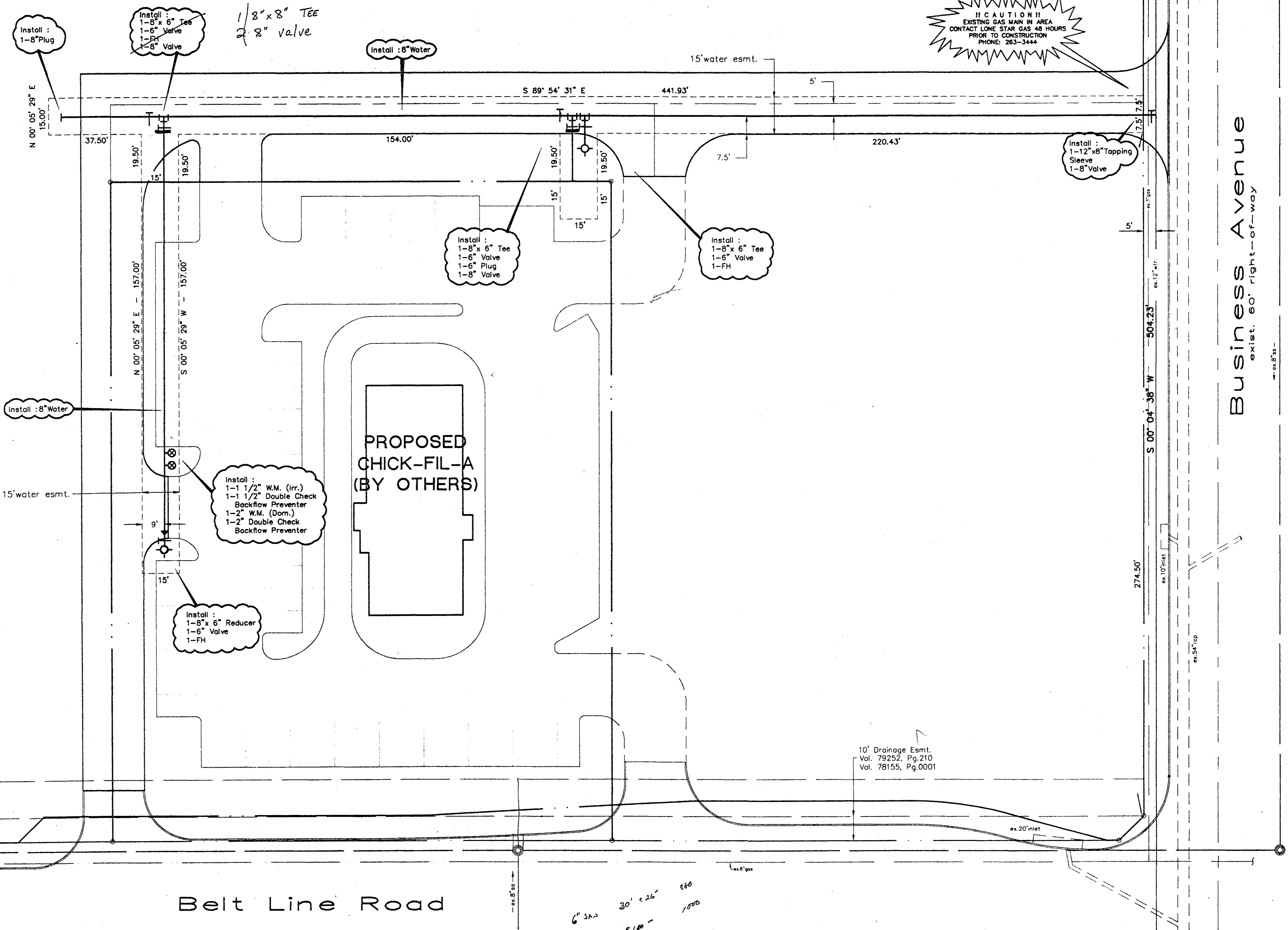
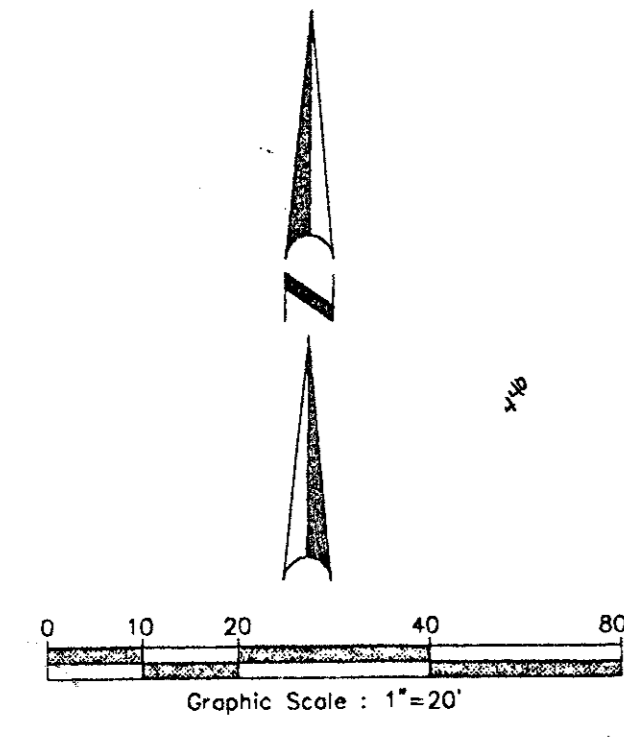


Grading/Drainage Plan
Belt Line Rd. / Marsh Ln.
Town of Addison, Texas
Dallas County, Texas

BROCKETTE • DAVIS • DRAKE, INC.
consulting engineers
Civil & Structural Engineering • Surveying
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(214) 824-3647 • Fax (214) 824-7064

Design	Drawn	Date	Scale	Notes	File	No.
JAR	STL	8/31/94	1"=20'	BDD	C93124	4/

CAUTION!!
EXISTING GAS MAIN IN AREA
CONTACT LONE STAR GAS 48 HOURS
PRIOR TO CONSTRUCTION
PHONE: 263-3444



GENERAL NOTES

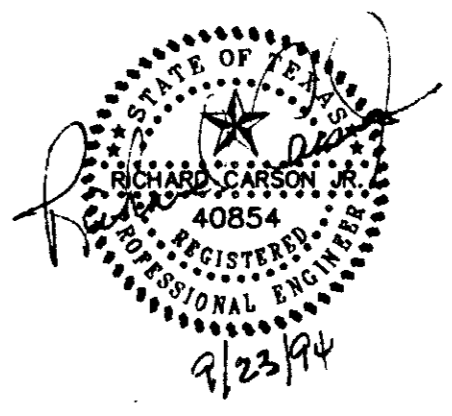
- ALL WORKMANSHIP AND MATERIALS, UNLESS OTHERWISE NOTED, SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR THE TOWN OF ADDISON.
- ALL 6", 8", 10" AND 12" WATER MAINS SHALL BE PVC AWWA C900, DR 14, CLASS 200 WATER PIPE. FOR PVC SERVICE TAPS 1" AND LARGER, TAPPING SADDLES SHALL BE USED.
- ALL WATER MAINS SHALL HAVE MINIMUM COVER AS FOLLOWS: 6", 8", 10" AND 12": 48" BELOW FINISHED PAVEMENT GRADE, OR 60" BELOW EXISTING OR FINISHED GRADE IN UNPAVED AREAS, OR AS REQUIRED TO CLEAR OTHER UTILITIES.
- FIRE HYDRANTS TO BE TOWN OF ADDISON APPROVED.
- VALVES TO BE TOWN OF ADDISON APPROVED.
- THE WATER METER BOX SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR AFTER THE PAVING CONTRACTOR HAS COMPLETED THE FINE GRADING BEHIND THE BACK OF THE CURB. EACH SERVICE LOCATION WILL BE MARKED ON THE PAVEMENT OR CURB, WITH A BLUE DOT BY THE UTILITY CONTRACTOR AND TIED TO PROPERTY CORNERS ON THE "RECORD DRAWINGS."

- THE CONTRACTOR SHALL FURNISH A MAINTENANCE BOND TO THE DEVELOPER TO RUN ONE (1) YEAR FROM THE DATE OF ACCEPTANCE OF THE SYSTEM BY THE TOWN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING "RECORD DRAWING" PLANS TO THE ENGINEER SHOWING THE LOCATION OF WATER SERVICES AND VALVES.
- FIRE HYDRANTS SHALL BE PAINTED AS PER TOWN OF ADDISON STANDARDS AND SPECIFICATIONS AND LOCATED IN A PROTECTED AREA WITH 6" CURB OR BOLLARDS.
- STEAMER NOZZLES ON FIRE HYDRANTS SHALL BE 18" ABOVE THE TOP OF THE CURB ON FINISHED GRADE, AND SHALL FACE THE CENTER OF THE FIRE LANE OR STREET. FIRE HYDRANTS SHALL USUALLY BE LOCATED FOUR (4) FEET, BUT NOT LESS THAN TWO (2) FEET, NOR MORE THAN SIX (6) FEET, BEHIND THE CURB.
- ALL WATER LINES SHALL BE HYDROSTATICALLY TESTED PER TOWN OF ADDISON STANDARDS AND SPECIFICATIONS.

- ALL WATER LINES SHALL BE STERILIZED PER TOWN OF ADDISON STANDARDS AND SPECIFICATIONS.
- ALL METER BOXES SHALL BE LOCATED IN NON-TRAFFIC AREAS AND PROTECTED BY 6" CURB OR BOLLARDS.
- THE HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING SUBSURFACE UTILITIES HAVE BEEN DETERMINED FROM RECORD DRAWINGS BY OTHERS. THE CONTRACTOR SHALL VERIFY THAT NECESSARY CLEARANCES BETWEEN EXISTING AND PROPOSED UTILITIES EXIST PRIOR TO THE CONSTRUCTION OF ANY SUCH CROSSINGS.
- UTILITY TRENCHES SHALL BE BACKFILLED WITH MATERIAL PER TOWN OF ADDISON SPECIFICATIONS.
- ANCHOR FITTINGS SHALL BE USED TO ATTACH FIRE HYDRANTS.

6" S.A. 30' x 26" 800
10' S.A. 210" 1000
Con To MH 500
T- 500
TJ- 750
3530

Benchmark:
Square on top of curb at centerline of inlet,
northeast corner of Applebee's parking lot,
100' more or less west of the west curb of
Business Avenue.
Elev. 605.65



Water Line Plan						
Belt Line Rd. / Marsh Ln.						
Town of Addison, Texas						
Dallas County, Texas						
BROCKETTE • DAVIS • DRAKE, INC.						
consulting engineers						
Civil & Structural Engineering • Surveying						
4144 North Central Expressway, Suite 1100 • Dallas, Texas 75204						
(214) 824-3647 • Fax (214) 824-7064						
Design	Drawn	Date	Scale	Notes	File	No.
JAR	STL	9/21/94	1"=20'	BDD	C93124	5/5

PROJECT GENERAL NOTES

- ALL STORM SEWER PIPES TO BE CLASS III RCP UNLESS NOTED OTHERWISE.
- ALL INLET CONSTRUCTION AND STORM SEWER INSTALLATION TO BE IN ACCORDANCE WITH TOWN OF ADDISON STANDARDS.
- PRIOR TO CONSTRUCTION, CONTRACTOR WILL CONTACT ALL PRIVATE UTILITY COMPANIES TO LOCATE THEIR RESPECTIVE SYSTEMS.
- PRIOR TO FINAL ACCEPTANCE BY THE TOWN OF ADDISON:
 - A TEXAS REGISTERED PROFESSIONAL ENGINEER SHALL CERTIFY THAT THE PORTION OF THE PROJECT BEING DEDICATED TO ADDISON WAS CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS APPROVED BY THE TOWN OF ADDISON.
 - A ONE (1) YEAR MAINTENANCE BOND IS REQUIRED FOR THE TOWN'S PORTION OF THE INFRASTRUCTURE.
 - CONTRACTOR SHALL DEMONSTRATE THAT THE WATER AND SANITARY SEWER SYSTEMS MEET THE PROPER PRESSURE, BACTERIA AND MANDREL TESTS. IN ADDITION, THE OWNER SHALL PROVIDE A VHS FORMAT VIDEO TAPE OF THE SANITARY SEWER.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY COMPANIES TO LOCATE EXISTING FACILITIES. THESE INCLUDE BUT MAY NOT BE LIMITED TO THE FOLLOWING:
 - TOWN OF ADDISON
 - LONE STAR GAS
 - SOUTHWESTERN BELL
 - STORER CABLE
 - PLANNED CABLE SYSTEMS
 - TU ELECTRIC
- PRIOR TO BEGINNING CONSTRUCTION, THE OWNER OR HIS AUTHORIZED REPRESENTATIVE SHALL CONVEY A PRE-CONSTRUCTION CONFERENCE BETWEEN THE TOWN OF ADDISON, CONSULTING ENGINEER, CONTRACTOR(S), UTILITY COMPANIES AND ANY OTHER AFFECTED PARTIES. NOTIFY BRUCE ELLIS AT 450-2847 AT LEAST 48 HOURS PRIOR TO THE TIME OF THE CONFERENCE AND 48 HOURS PRIOR TO BEGINNING OF CONSTRUCTION.
- ANY EXISTING PAVEMENT, CURB(S) AND/OR SIDEWALKS DAMAGED OR REMOVED WILL BE REPAIRED BY THE CONTRACTOR AT THEIR EXPENSE.
- LOT PINS SHALL BE IN PLACE DURING CONSTRUCTION AND PRIOR TO FINAL ACCEPTANCE. CONCRETE MONUMENTS SHALL BE PLACED ON ALL BOUNDARY CORNERS, BLOCK CORNERS, CURVE POINTS AND ANGLE POINTS IN PUBLIC RIGHT-OF-WAY. CONCRETE MONUMENTS SHALL BE SIX (6) INCHES IN DIAMETER AND TWENTY-FOUR (24) INCHES LONG. A COPPER PIN ONE-FOURTH INCH IN DIAMETER EMBEDDED AT LEAST THREE (3) INCHES IN THE MONUMENT AT THE EXACT INTERSECTION POINT OF THE MONUMENT. THE MONUMENTS SHALL BE SET AT SUCH AN ELEVATION THAT AFTER CONSTRUCTION, THE TOP OF THE MONUMENT WILL NOT BE LESS THAN TWELVE (12) INCHES BELOW THE GROUND SURFACE.
- CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT BY THE TOWN OF ADDISON FOR WORKING WITHIN THE PUBLIC RIGHT-OF-WAY EASEMENTS.
- DURING CONSTRUCTION, THE OWNER SHALL PROVIDE A QUALIFIED GEOTECHNICAL LAB TO PERFORM MATERIALS TESTING DURING THE CONSTRUCTION, AT THE REQUEST OF THE TOWN OF ADDISON.
- THE CONTRACTOR SHALL SUBMIT MATERIAL SHEETS TO THE TOWN OF ADDISON FOR APPROVAL PRIOR TO INCORPORATING MATERIALS INTO THE JOB.
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH TOWN OF ADDISON STANDARD SPECIFICATIONS AND/OR SPECIFICATIONS ESTABLISHED BY THIS PROJECT. THE MOST STRINGENT SHALL APPLY.

24' ACCESS DRIVE TO BE CONSTRUCTED BY OTHERS (REF. CONST. PLANS PREPARED BY BROCKETTE, DAVIS, & DRAKE INC.)

0+33 LN. A BEGIN 21" R.C.P. AT FRONT OF 10' CURB INLET

NOTE: CONTRACTOR TO COORDINATE CONSTRUCTION OF INLET WITH CONTRACTOR OF OFF-SITE UTILITY IMPROVEMENTS.

0+33 LN. A CONST. 10' C.I. TOP = 604.70 F.L. 21" = 600.53

CAUTION !!
CONTACT:
LONE STAR GAS: 263-DIGG
SOUTHWESTERN BELL TEL: 1-800-395-0440
TU ELECTRIC: 698-7239
48 HOURS PRIOR TO CONSTRUCTION

DRAINAGE SUMMARY

WHERE Q = C · I · A

AREA	ACREAGE	RUN OFF COEF.	I100	Q100	REMARKS
1	1.05	0.9	7.7	7.28	TO 10' CURB INLET
2	1.04	0.9	7.7	7.20	TO FUTURE INLET

- LEGEND
- 604- EXISTING CONTOUR
 - 07- PROPOSED CONTOUR
 - 07- PROPOSED CONTOUR (BY OTHERS)
 - - - DRAINAGE DIVIDE
 - x EXISTING TOP OF CURB & GUTTER ELEVATIONS
tc605.31
g604.86
 - PROPOSED TOP OF CURB & GUTTER ELEVATIONS
06.297C
05.55C
 - 07.30 PROPOSED SPOT ELEVATION

AS BUILT DATE 1/17/95



AS-BUILTS
I CERTIFY THIS PROJECT WAS CONSTRUCTED IN GENERAL CONFORMANCE WITH THESE CONSTRUCTION PLANS AND WILL FUNCTION AS DESIGNED.

BENCHMARK: "□" ON TOP OF CURB OF CENTERLINE OF INLET NORTHEAST CORNER OF APPLEBEE'S PARKING LOT 100' MORE OR LESS WEST OF THE WEST CURB OF BUSINESS AVENUE. ELEVATION = 605.65

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY LAWRENCE A. CATES, P.E. 41838 ON 8/10/94

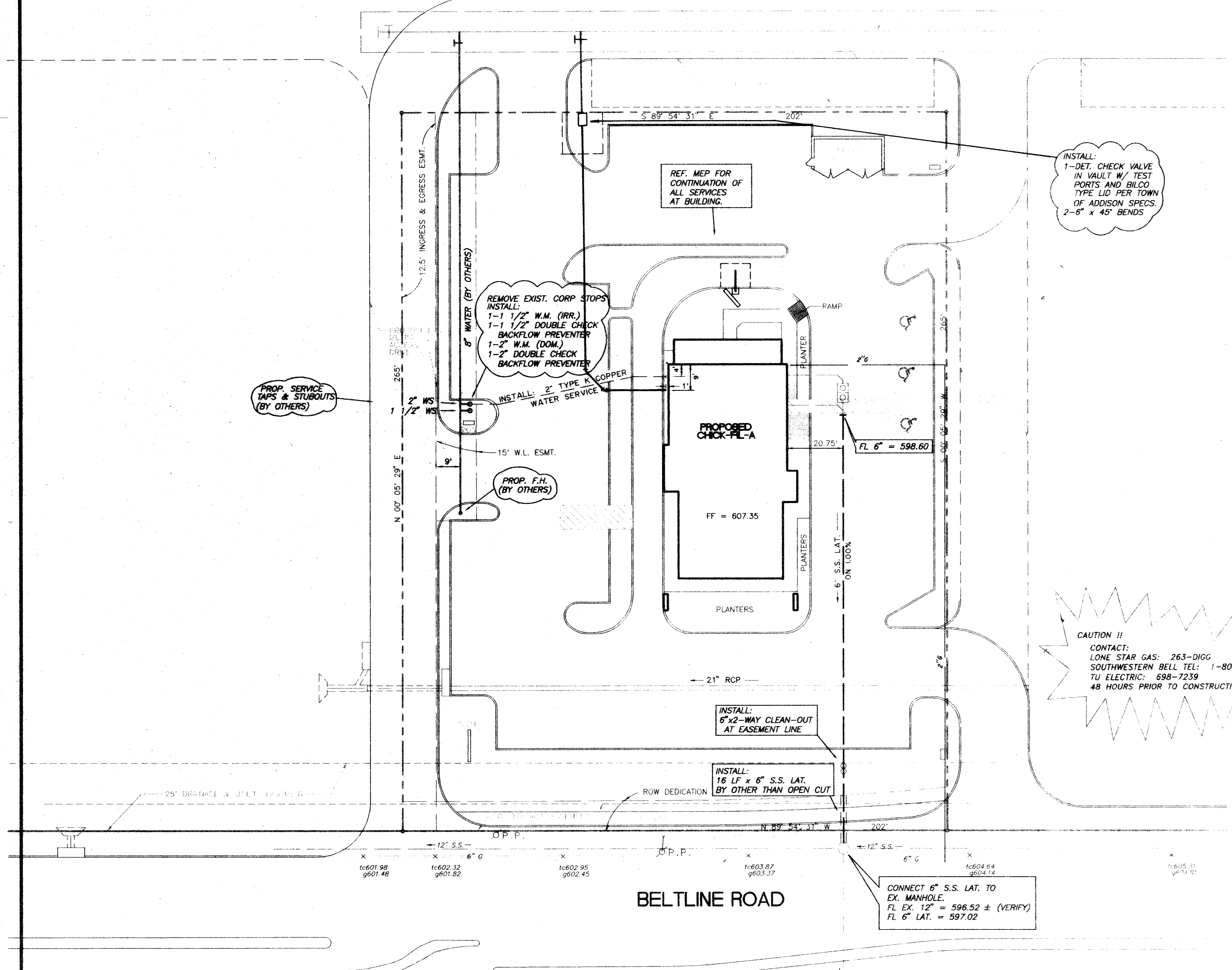
REV	DATE	REMARKS				
GRADING & DRAINAGE						
CHICK-FIL-A						
BELTLINE RD. / MARSH LN.						
THE CITY OF ADDISON, TEXAS						
LAWRENCE A. CATES & ASSOC.		CONSULTING ENGINEERS DALLAS, TEXAS				
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
LAC	LAC	7/21/94	1"=20'	BDD	94062	GRADING

SANITARY SEWER GENERAL NOTES

1. ALL WORK, UNLESS OTHERWISE NOTED, SHALL CONFORM TO THE TOWN OF ADDISON STANDARD SPECIFICATIONS.
2. THE HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING SUBSURFACE UTILITIES HAVE BEEN DETERMINED FROM DATA RECORDED BY OTHERS. CONTRACTOR SHALL VERIFY THAT NECESSARY CLEARANCES BETWEEN EXISTING AND PROPOSED UTILITIES EXIST PRIOR TO CONSTRUCTION OF ANY SUCH CROSSING.
3. CONTRACTOR SHALL COORDINATE WITH THE OWNER, ENGINEER OR HIS REPRESENTATIVE AND TOWN REPRESENTATIVE REGARDING ANY DEVIATIONS FROM THESE PLANS.
4. CONTRACTOR SHALL MAINTAIN ONE SET OF RECORD DRAWINGS (AS BUILT) ON SITE WHICH WILL BE SUBMITTED TO THE ENGINEER UPON COMPLETION OF THIS PROJECT.
5. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT; ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, SEWER LATERALS, WATER SERVICE, ETC.
6. THE CONTRACTOR SHALL SET UTILITIES TO PROPER LINE AND GRADE PRIOR TO THE PLACING OF PERMANENT PAVEMENT.
7. SANITARY SEWER PIPE SHALL CONFORM TO TOWN SPECIFICATIONS AND SHALL BE MANUFACTURED FROM THE FOLLOWING MATERIAL:
 - a. Polyvinyl/Chloride (PVC) Diameter 4" - 15"
 - ASTM D 3034 SDR 35
8. SANITARY SEWER PIPE MUST BE KEPT CLEAR OF BROKEN CONCRETE, DIRT OR ANY OTHER DEBRIS RESULTING FROM CONSTRUCTION OPERATIONS.
9. ALL SANITARY SEWER MAINS ARE TO HAVE 1-21' JOINT CENTERED ON EITHER SIDE OF WATER MAINS WHERE CROSSING OCCURS.
10. CONTRACTOR SHALL TIE A 1" WIDE PIECE OF RED PLASTIC FLAGGING TO THE END OF SEWER SERVICE AND SHALL LEAVE A MINIMUM OF 36" OF FLAGGING EXPOSED AFTER BACKFILL AFTER CURB AND PAVING IS COMPLETED. CONTRACTOR SHALL MARK THE LOCATION OF THE SEWER SERVICE ON THE CURB IN ACCORDANCE WITH THE STANDARD TOWN SPECIFICATIONS.
11. THE CONTRACTOR SHALL FURNISH A MAINTENANCE BOND TO THE TOWN & DEVELOPER TO RUN 1 YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE SYSTEM BY THE TOWN OF ADDISON.

WATER LINE GENERAL NOTES

1. ALL WORK AND MATERIALS, UNLESS OTHERWISE NOTED, SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR TOWN OF ADDISON.
2. ALL 6", 8", 10" AND 12" WATER MAINS SHALL BE PVC AWWA C900, DR 14, CLASS 200 WATER PIPE. FOR PVC SERVICE TAPS 1" AND LARGER, TAPPING SADDLES SHALL BE USED.
3. ALL WATER MAINS SHALL HAVE MINIMUM COVER AS FOLLOWS: 6", 8", 10" AND 12" BELOW FINISHED GRADE OR 60" BELOW EXISTING OR FINISHED GRADE IN UNPAVED AREAS, OR AS REQUIRED TO CLEAR OTHER UTILITIES.
4. FIRE HYDRANTS TO BE TOWN OF ADDISON APPROVED.
5. VALVES TO BE TOWN OF ADDISON APPROVED.
6. THE WATER METER BOX SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR AFTER THE PAVING CONTRACTOR HAS COMPLETED THE FINE GRADING BEHIND THE BACK OF THE CURB. EACH SERVICE LOCATION WILL BE MARKED ON THE PAVEMENT OR CURB, WITH A BLUE DOT BY THE UTILITY CONTRACTOR AND TIED TO PROPERTY CORNERS ON THE "RECORD DRAWINGS."
7. THE CONTRACTOR SHALL FURNISH A MAINTENANCE BOND TO THE DEVELOPER TO RUN ONE (1) YEAR FROM THE DATE OF ACCEPTANCE OF THE SYSTEM BY THE TOWN.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING "RECORD DRAWING" PLANS TO THE ENGINEER SHOWING THE LOCATION OF WATER SERVICES AND VALVES.
9. FIRE HYDRANTS SHALL BE PAINTED AS PER TOWN OF ADDISON STANDARDS AND SPECIFICATIONS AND LOCATED IN A PROTECTED AREA WITH 6" CURB OR BOLLARDS.
10. STEAMER NOZZLES ON FIRE HYDRANTS SHALL BE 18" ABOVE THE TOP OF THE CURB ON FINISHED GRADE, AND SHALL FACE THE CENTER OF THE FIRE LANE OR STREET. FIRE HYDRANTS SHALL USUALLY BE LOCATED FOUR (4) FEET, BUT NOT LESS THAN TWO (2) FEET NOR MORE THAN SIX (6) FEET, BEHIND THE CURB.
11. ALL WATER LINES SHALL BE HYDROSTATICALLY TESTED PER TOWN OF ADDISON STANDARDS AND SPECIFICATIONS.
12. ALL WATER LINES SHALL BE STERILIZED PER TOWN OF ADDISON STANDARDS AND SPECIFICATIONS.
13. ALL METER BOXES SHALL BE LOCATED IN NON-TRAFFIC AREAS AND PROTECTED BY 6" CURB OR BOLLARDS.
14. THE HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING SUBSURFACE UTILITIES HAVE BEEN DETERMINED FROM RECORD DRAWINGS BY OTHERS. THE CONTRACTOR SHALL VERIFY THAT NECESSARY CLEARANCES BETWEEN EXISTING AND PROPOSED UTILITIES EXIST PRIOR TO THE CONSTRUCTION OF ANY SUCH CROSSING.
15. UTILITY TRENCHES SHALL BE BACKFILLED WITH MATERIAL PER TOWN OF ADDISON SPECIFICATIONS.
16. ANCHOR FITTINGS SHALL BE USED TO ATTACH FIRE HYDRANTS.



INSTALL:
1-DET. CHECK VALVE
IN VAULT W/ TEST
PORTS AND BILCO
TYPE LID PER TOWN
OF ADDISON SPECS.
2-6" x 45' BENDS

REMOVE EXIST. CORP STOPS
INSTALL:
1-1 1/2" W.M. (IRR.)
1-1 1/2" DOUBLE CHECK
BACKFLOW PREVENTER
1-2" W.M. (DOM.)
1-2" DOUBLE CHECK
BACKFLOW PREVENTER

PROP. SERVICE
TAPS & STUBOUTS
(BY OTHERS)

PROP. F.H.
(BY OTHERS)

CAUTION !!
CONTACT:
LONE STAR GAS: 263-DIGG
SOUTHWESTERN BELL TEL: 1-800-395-0440
TU ELECTRIC: 698-7239
48 HOURS PRIOR TO CONSTRUCTION

INSTALL:
6"x2-WAY CLEAN-OUT
AT EASEMENT LINE

INSTALL:
16 LF x 6" S.S. LAT.
BY OTHER THAN OPEN CUT

CONNECT 6" S.S. LAT. TO
EX. MANHOLE.
FL EX. 12" = 596.52 ± (VERIFY)
FL 6" LAT. = 597.02

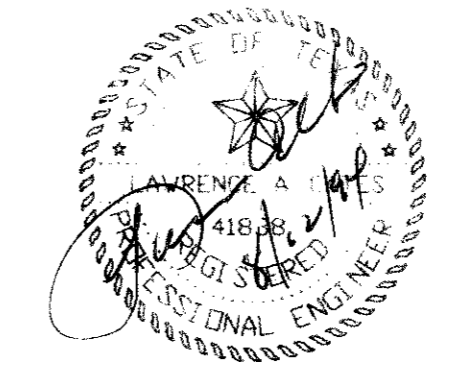
AS BUILT
DATE 1/17/95



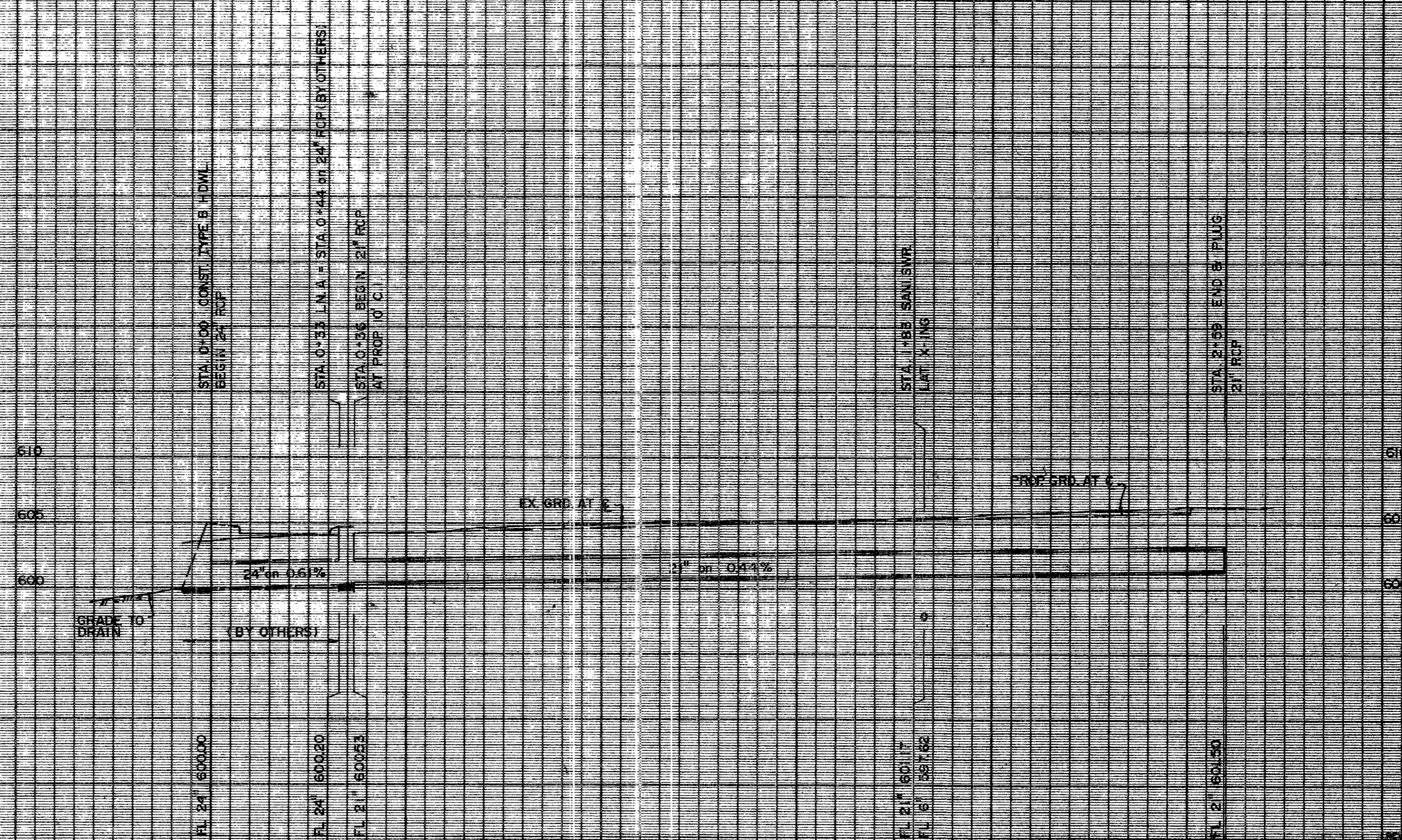
AS-BUILTS
I CERTIFY THIS PROJECT WAS CONSTRUCTED IN GENERAL CONFORMANCE WITH THESE CONSTRUCTION PLANS AND WILL FUNCTION AS DESIGNED.

BENCHMARK:
"X" ON TOP OF CURB OF CENTERLINE OF INLET
NORTHEAST CORNER OF APPLEBEE'S PARKING LOT
100' MORE OR LESS WEST OF THE WEST CURB OF
BUSINESS AVENUE. ELEVATION = 605.65

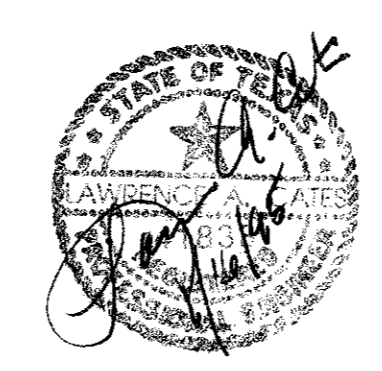
THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY LAWRENCE A. CATES, P.E. 41838 ON 8/10/94



REVISIONS					
REV.	DATE	REMARKS			
WATER & SANITARY SEWER					
CHICK-FIL-A					
BELTLINE RD. / MARSH LN.					
THE CITY OF ADDISON, TEXAS					
LAWRENCE A. CATES & ASSOC.					CONSULTING ENGINEERS DALLAS, TEXAS
DESIGN	DRAWN	DATE	SCALE	NOTES	NO.
LAC	LAC	7/21/94	1"=20'	800	94062 WATSEW

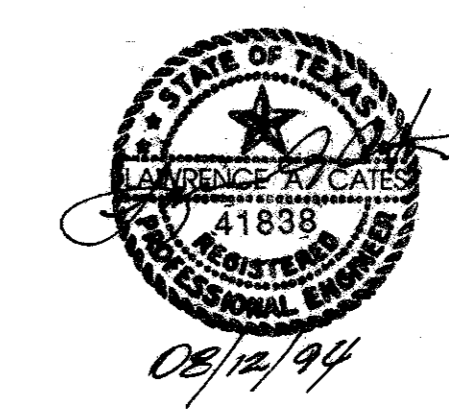


AS BUILT
DATE 11/12/94

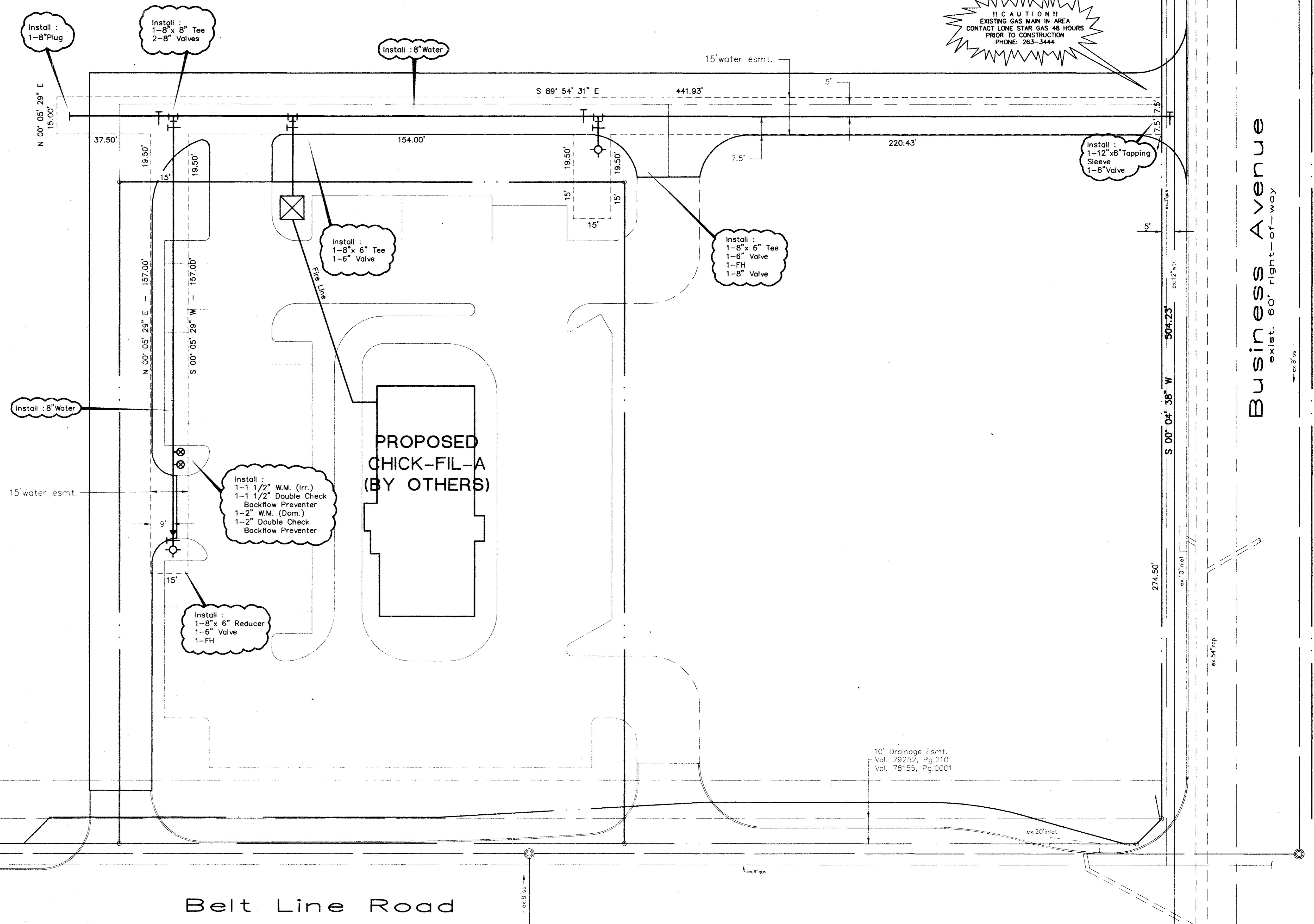
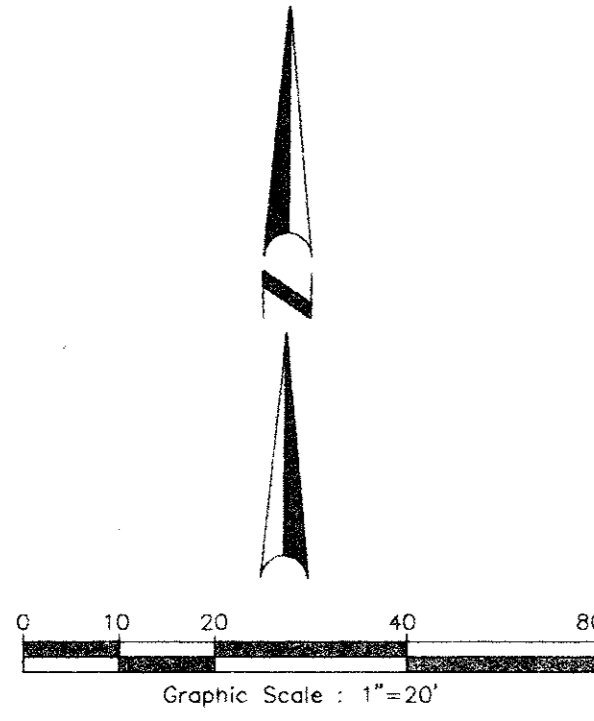


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STORM SEWER PROFILE						
CHICK-FIL-A						
BELTLINE RD. // MARSH LN.						
THE CITY OF ADDISON, TEXAS						
LAWRENCE A. GATES & ASSOC. ENGINEERS						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
LAC	LAC	8/12/94	H: 1/8" = 20' V: 1" = 6'	D.P.	94062	



GENERAL NOTES

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3. ALL WATER MAINS SHALL HAVE MINIMUM COVER AS FOLLOWS: 6", 8", 10" AND 12" BELOW FINISHED PAVEMENT GRADE, OR 60" BELOW EXISTING OR FINISHED GRADE IN UNPAVED AREAS, OR AS REQUIRED TO CLEAR OTHER UTILITIES.
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AS BUILT 1/3/95

Water Line Plan
 Belt Line Rd. / Marsh Ln.
 Town of Addison, Texas
 Dallas County, Texas

BROCKETTE • DAVIS • DRAKE, INC.
 consulting engineers
 Civil & Structural Engineering • Surveying
 4144 North Central Expressway, Suite 1100 • Dallas, Texas 75204
 (214) 824-3647 • Fax (214) 824-7064

Design	Drawn	Date	Scale	Notes	File	No.
JAR	STL	1/3/95	1"=20'	BDD	C93124	

