

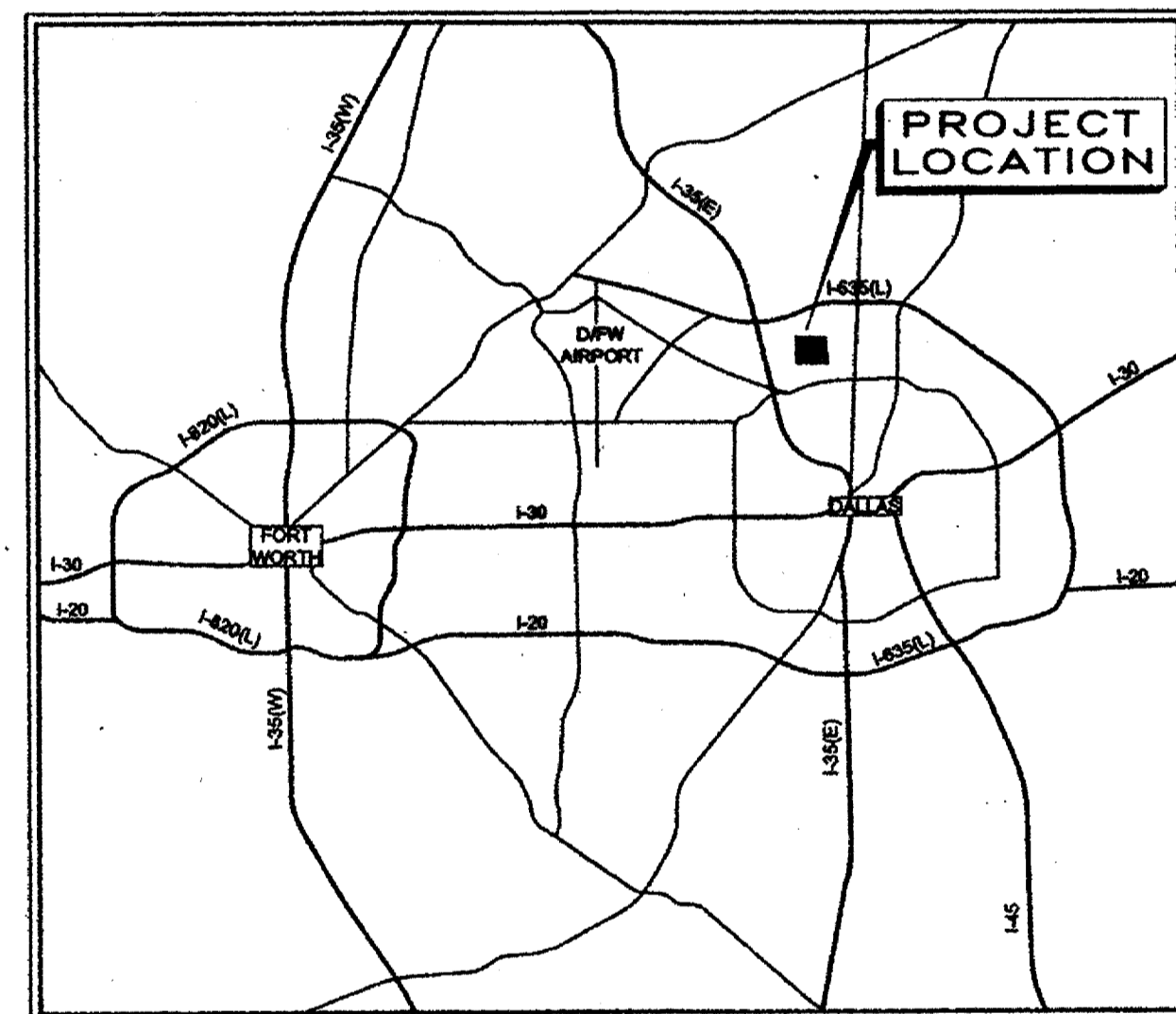


SITE DEVELOPMENT PLANS FOR  
**CAPITAL ONE**  
 LOCATED AT THE INTERSECTION OF  
**3790 BELT LINE ROAD & BUSINESS AVENUE**  
**ADDISON, TEXAS**

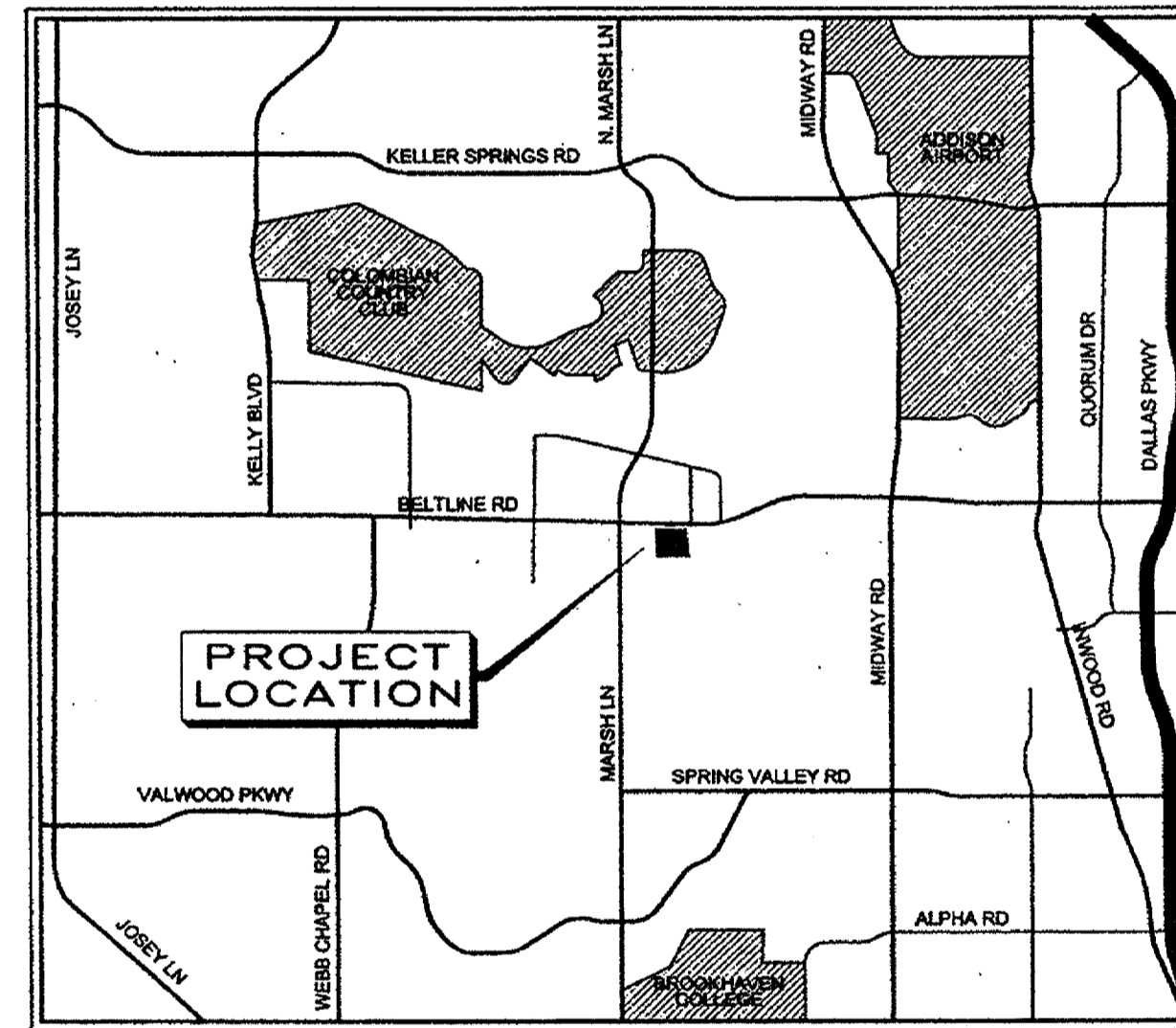
NOVEMBER 8, 2006

C&B PROJECT NO. 293070.020

**GREATER DALLAS/FORT WORTH**



**VICINITY MAP**



**LEGAL DESCRIPTION**

BEING all of Lot 2, Block D of Addison Town Center, an addition to the Town of Addison, Dallas County, Texas, according to the plat thereof recorded in Volume 93237, Page 3840, Deed Records, Dallas County, Texas.

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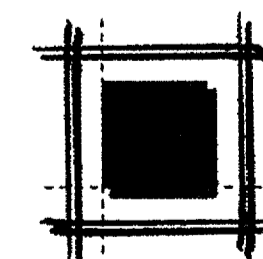
**Carter & Burgess**

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 ARCHITECTURE PLANNING INTERIOR DESIGN

GENERAL NOTES

- 1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIG TESS" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
2. PROPERTY LINE, EXISTING UTILITY INFORMATION AND TOPOGRAPHY TAKEN FROM ALTA SURVEY COMPLETED ON JANUARY 24, 2006 BY WEBB SURVEYING, INC., 3400 SILVERSTONE DRIVE SUITE 121, PLANO, TEXAS 75023 (972) 964-1737.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCH MARKS NECESSARY FOR THE WORK.
4. ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE CONSTRUCTION STANDARDS OF THE TOWN OF ADDISON AND GOVERNED BY THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS' (NCTCOG) STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 3RD EDITION.
5. IN CASE OF CONFLICT OR CONTRADICTIONS BETWEEN THE CONSTRUCTION STANDARDS OF THE TOWN OF ADDISON AND THE NCTCOG SPECIFICATIONS, THE FOLLOWING HIERARCHY SHALL PRESIDE: TOWN OF ADDISON STANDARD GENERAL NOTES, NCTCOG SPECIFICATIONS.
6. A RIGHT-OF-WAY PERMIT (ISSUED BY ADDISON PUBLIC WORKS DEPARTMENT) IS REQUIRED PRIOR TO ANY CONSTRUCTION IN CITY ROW AND EASEMENTS.
7. CONTRACTOR TO COORDINATE WATER METER INSTALLATION WITH THE CITY OF ADDISON PUBLIC WORKS DEPT.
8. FIRE HYDRANTS SHALL BE LOCATED OUTSIDE OF EXISTING OR PROPOSED SIDEWALKS. NO OBSTRUCTIONS SHALL BE WITHIN 3 FEET IN ALL DIRECTIONS AROUND A FIRE HYDRANT.
9. THE LOCATION OF UNDERGROUND FACILITIES INDICATED ON THE PLANS IS TAKEN FROM PUBLIC RECORDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UNDERGROUND FACILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND FACILITIES.

Table with 3 columns: UNDERGROUND FACILITY OWNER, TELEPHONE NO., CONTACT. Lists owners like TOWN OF ADDISON, COMCAST CABLE, VERIZON, TXU ELECTRIC, ATMOS GAS, TXDOT, UTILITY LOCATES, DART, CITY OF DALLAS WATER UTILITIES, TOWN OF ADDISON WATER UTILITIES with their respective phone numbers and contact names.

- 11. ADEQUATE MEASURES SHALL BE TAKEN TO PREVENT EROSION. IN THE EVENT THAT SIGNIFICANT EROSION OCCURS AS A RESULT OF CONSTRUCTION THE CONTRACTOR SHALL RESTORE THE ERODED AREA TO ORIGINAL CONDITION AS SOON AS POSSIBLE.
12. THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO TRENCH BACKFILL, SIDE SLOPES, FENCES, CULVERT PIPES, DRAINAGE DITCHES, IRRIGATION, SODDING OR SEEDING, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS.

DEMOLITION NOTES

- 1. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE TOWN OF ADDISON STANDARDS AND SPECIFICATIONS.
2. UTILITY CONTRACTOR AND STREET CONTRACTOR ARE TO NOTIFY THE TOWN CONSTRUCTION INSPECTOR AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
3. ALL CONSTRUCTION BARRICADING TO BE IN ACCORDANCE WITH CURRENT TOWN OF ADDISON STANDARDS.
4. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIG TESS" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN PER THE APPROPRIATE REMEDIAL ACTION AGREED UPON BY THE ENGINEER.
5. DISPOSAL OF ALL DEMOLISHED MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL MUNICIPAL REQUIREMENTS.
6. THE CONTRACTOR SHALL PROTECT AND/OR CAP OFF ALL EXISTING ON-SITE UTILITY SERVICES DESIGNATED ON THESE DRAWINGS. SERVICES SHALL BE CAPPED OFF WHERE SAME ENTER THE PERIMETER OF THE PROPERTY LINE.
7. WHERE A STATE OR LOCAL MUNICIPAL STANDARD DETAIL DUPLICATES A DETAIL SHOWN IN THE PLANS, THE MORE STRINGENT DETAIL, AS DETERMINED BY THE REVIEWING AGENCY, SHALL APPLY.

UTILITY NOTES- GENERAL

- 1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIG TESS" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN PER THE APPROPRIATE REMEDIAL ACTION AGREED UPON BY THE ENGINEER.
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3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCH MARKS NECESSARY FOR THE WORK.
4. DUE TO THE SMALL SCALE OF THE SITE WORK DRAWINGS, EXACT LOCATION OF UTILITY STUBS FOR BUILDING SHALL BE INSTALLED TO A POINT 5 FEET FROM THE BUILDING WALL UNLESS OTHERWISE NOTED OR DETAILED.
5. WHERE A STATE OR LOCAL MUNICIPAL STANDARD DETAIL DUPLICATES A DETAIL SHOWN IN THE PLANS, THE MORE STRINGENT DETAIL, AS DETERMINED BY THE REVIEWING AGENCY, SHALL APPLY.

WATER NOTES

- 1. ALL PVC PIPE WATER LINES SHALL CONFORM TO AWWA STANDARD C-909-02 AND PRESSURE TESTED AND DISINFECTED IN ACCORDANCE WITH AWWA STANDARDS.
2. ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 42 INCH AND MAXIMUM 60 INCH OF COVER. GREATER DEPTHS ARE PERMITTED WHERE REQUIRED TO AVOID CONFLICTS WITH OTHER UTILITIES.
3. GENERALLY, WATER MAIN FITTINGS IDENTIFIED ON THIS DRAWING ARE SHOWN FOR INSTALLATION LOCATION PURPOSES. THE CONTRACTOR SHALL NOTE THAT NOT ALL FITTINGS ARE NOTED, SHOWN, OR INDICATED.
4. A MINIMUM OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN SANITARY SEWER MAINS AND WATER MAINS. WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER MAIN, THE WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE ELEVATION OF THE CROWN OF THE SEWER SHALL BE AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN.
5. COMMERCIAL WATER SERVICE SHALL BE INSTALLED WITH APPROPRIATELY SIZED GATE, BOX AND TEE FITTINGS PER TOWN OF ADDISON STANDARD SPECIFICATIONS.
6. ALL WATER MAIN APPURTENANCES, MATERIALS, METHODS OF INSTALLATION AND TESTING REQUIREMENTS SHALL MEET OR EXCEED STATE AND LOCAL MUNICIPAL WATER AND SEWER DEPARTMENT STANDARDS.
7. PRESSURE AND LEAKAGE TEST, DISINFECTION AND FLUSHING SHALL BE IN ACCORDANCE WITH TOWN OF ADDISON STANDARD SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS IN CONNECTION WITH UTILITY TESTS, FLUSHING AND INSPECTIONS AS REQUIRED BY THE TOWN OF ADDISON.
8. WHERE A STATE OR TOWN OF ADDISON STANDARD SPECIFICATION DUPLICATES A DETAIL SHOWN IN THE PLANS, THE MORE STRINGENT DETAIL, AS DETERMINED BY THE REVIEWING AGENCY, SHALL APPLY.
9. GATE VALVES SHALL CONFORM TO ANSI/AWWA C509 01-RESILIENT SEATED GATE VALVES.
10. ALL WATER LINES SHALL BE ENCASED IN SAND IN ACCORDANCE WITH STANDARD CONSTRUCTION DETAILS. BACKFILL SHALL BE NATIVE MATERIAL COMPACTED TO GEOTECHNICAL.

- 11. ALL FITTINGS SHALL BE DUCTILE IRON AND SHOULD BE WRAPPED WITH AN 8 MIL MINIMUM THICKNESS POLYETHYLENE MATERIAL PER AWWA STANDARD 105-150/A21.5-05. ALL FITTINGS SECURED WITH RESTRAINING GLANDS SUCH AS EBAA SERIES 2000 PV OR EQUAL.
12. ALL WATER MAINS SHALL HAVE CONCRETE THRUST BLOCKING AT ALL TEES, BENDS, PLUGS, AND HYDRANTS PER THE TOWN OF ADDISON DETAIL SHEET.
13. ALL TESTING SHALL BE PERFORMED WITH A REPRESENTATIVE FROM THE TOWN PRESENT.
14. ALL TRENCHES SHALL BE COMPACTION TESTED AT THE RATE OF ONE TEST PER 150 L.F. OF TRENCH PER LIFT. LIFTS SHALL BE NO GREATER THAN 12" LOOSE. TESTS SHALL BE STAGGERED SO THAT TESTS OF ADJACENT LIFTS ARE NOT DIRECTLY OVER THE PREVIOUS LIFT. THE TESTING LAB SHALL PROVIDE THE LOCATION OF ALL RESULTS ON A PLAN AND PROFILE SHEET PRIOR TO TRENCH ACCEPTANCE. THE PAVING CONTRACTOR SHALL NOT BEGIN WORK UNTIL THE TOWN OF ADDISON HAS APPROVED ALL TRENCH WORK.
15. DOMESTIC WATER SERVICE SHALL BE 2" SDR-26 PVC, ASTM D2241.

GRADING & DRAINAGE NOTES

- 1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIG TESS" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN PER THE APPROPRIATE REMEDIAL ACTION AGREED UPON BY THE ENGINEER.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF ALL FIELD DENSITY TESTS ON LIME STABILIZED SUBGRADE EQUAL TO THE RATIO OF 1 PER 200 SQUARE YARDS OF SUBGRADE IN ADDITION TO ALL FAILING DENSITY TESTS.
3. ALL FILL SHALL BE COMPACTED PER GEOTECHNICAL RECOMMENDATIONS.

SEWER

- 1. SANITARY SEWER LINES SHALL BE SDR 35 PVC PIPE, GREEN IN COLOR, UNLESS OTHERWISE NOTED ON THE CONSTRUCTION PLANS. ONE JOINT OF 150-PSI PRESSURE RATED PIPE SHALL BE INSTALLED CENTERED UNDER ALL PROPOSED WATER PIPE CROSSINGS.
2. WHERE SANITARY SEWERS CROSS WATER MAINS, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST EIGHTEEN INCHES BELOW THE INVERT OF THE WATER MAIN. IF THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTED WITH MECHANICAL JOINT PIPE FOR A DISTANCE OF TEN FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER MAIN SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. SANITARY SEWER SHALL BE ENCASED IN CONCRETE FOR A MINIMUM DISTANCE OF 10 FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
3. ALL SEWER MAIN APPURTENANCES, MATERIALS, METHODS OF INSTALLATION AND TESTING REQUIREMENTS, SHALL MEET OR EXCEED THE TOWN OF ADDISON STANDARD SPECIFICATIONS.
4. PIPE SHALL BE BEDDED IN CRUSHED STONE TO 6" ABOVE TOP OF PIPE TO 95% STANDARD PROCTOR DENSITY 0 TO +3 OPTIMUM MOISTURE CONTENT.
5. WHERE A TOWN OF ADDISON STANDARD SPECIFICATION OR ORDINANCE DETAIL DUPLICATES A DETAIL SHOWN IN THE PLANS, THE MORE STRINGENT DETAIL, AS DETERMINED BY THE REVIEWING AGENCY, SHALL APPLY.
6. THE CONTRACTOR SHALL USE OSHA APPROVED CONFINED SPACE ENTRY PROCEDURES WHEN ENTERING SANITARY SEWER MANHOLES. THE SAFETY EQUIPMENT SHALL BE FURNISHED BY THE CONTRACTOR AND SHALL BE OSHA CERTIFIED. PERSONS WORKING IN THESE AREAS SHALL BE TRAINED IN THE PROPER USE OF THE SAFETY EQUIPMENT.
7. THE CONTRACTOR TO COORDINATE CAPPING OF EXISTING CONNECTIONS, INSTALLATION OF NEW TAPS AND METERS WITH THE TOWN OF ADDISON PUBLIC WORKS DEPARTMENT.

FOUNDATION NOTES

- 1. REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL FOUNDATION NOTES.

PARKING AND TRAFFIC CONTROL NOTES

- 1. HANDICAP ACCESSIBLE PARKING SPACES SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (A.D.A.) OF JANUARY, 1992 UNLESS OTHERWISE NOTED.
2. ACCESSIBLE PARKING SPACES DESIGNATED WITH A "VAN" SHALL BE SIGNED AS "VAN ACCESSIBLE" PER A.D.A. 4.1.2.5B.
3. ALL PARKING LOT CURBING SHALL BE CAST IN PLACE CONCRETE, UNLESS NOTED OR DETAILED OTHERWISE.
4. ALL LIMITS OF PAVEMENT SHALL BE CURBED UNLESS NOTED OR DETAILED OTHERWISE.
5. ALL STANDARD PARKING SPACES SHALL BE 9 FEET IN WIDTH BY 18 FEET IN LENGTH, WITH 24 FOOT AISLES UNLESS NOTED OR DETAILED OTHERWISE.
6. ALL PAVEMENT STRIPING SHALL BE PAINTED WITH 2 COATS OF PAINT.
7. CONTRACTOR SHALL REFER TO ARCHITECTURAL/BUILDING PLANS FOR EXACT LOCATION AND DIMENSIONS OF EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS.
8. PARKING AND TRAFFIC CONTROL PLANS ARE SCHEMATIC AND FOR LOCATION OF MARKINGS ONLY. SPECIFIC DETAILS FOR INSTALLATION OF PAVEMENT MARKING ARE PROVIDED ON SHEET C-8.
9. FOR PARKING LOT PAVEMENT SECTION SEE DETAIL SHEET C-8.
10. CONTRACTOR SHALL REFER TO ARCHITECTURAL/BUILDING PLANS FOR LOCATION OF HANDICAP SIGNS.
11. FIRE LANES SHALL BE PROPERLY MARKED WITH A SIX INCH RED STRIPE WITH FOUR INCH WHITE LETTERS STATING "NO PARKING FIRE LANE" EVERY TEN TO TWENTY-FIVE FEET ALONG THE ENTIRE LENGTH OF THE FIRE LANE. FIRE LANE MARKINGS SHALL BE ON THE VERTICAL SURFACE OF THE CURB WHEN A CURB IS PRESENT.

PAVEMENT NOTES

- 1. SEE PAVING DETAILS AND NOTES ON SHEET C-8 FOR ADDITIONAL INFORMATION.
2. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE," ACI 318-89 (REV. 92).
3. PORTLAND CEMENT SHALL BE A SINGLE BRAND CONFORMING TO ASTM C-150, TYPE I OR TYPE III.
4. CONCRETE MIXES SHALL BE DESIGNED TO PROVIDE A MINIMUM COMPRESSIVE STRENGTH PSI AT 28 DAYS OF 3600 PSI. THE MAXIMUM WATER-TO-CEMENTITIOUS MATERIALS RATIO SHALL BE 0.50.
5. CONCRETE SHALL HAVE A MINIMUM SEVEN DAY FLEXURAL STRENGTH OF 550 PSI.
6. ALL CONCRETE SHALL BE AIR ENTRAINED AT 4% TO 6% BY VOLUME.
7. CONCRETE SLUMPS SHALL BE NOT LESS THAN 3" NOR MORE THAN 5", ASTM C143.
8. THE NEW PAVEMENT SHALL BE FINISHED TO MATCH THE SURROUNDING PAVEMENT.
9. THE PAVEMENT SURFACE SHALL BE MOIST-CURED WITH A MEMBRANE OR CURING COMPOUND FOR NOT LESS THAN SEVEN DAYS.
10. JOINTS OR SCORE MARKS ARE TO BE SHARP AND CLEAN WITHOUT SHOWING EDGES OF JOINTING TOOL.

PAVEMENT NOTES-CONT

- 11. SAW-CUT TIE-INS AT EXISTING CURBS AS NECESSARY TO INSURE SMOOTH TRANSITIONS. CONTRACTOR SHALL SAW-CUT AND TRANSITION TO MEET EXISTING PAVEMENT AS NECESSARY AND AS DIRECTED BY INSPECTOR TO INSURE POSITIVE DRAINAGE (TYP. ALL INTERSECTIONS).
12. PROVIDE LONGITUDINAL AND TRANSVERSE CONTRACTION JOINTS AT 5' MAXIMUM EACH WAY. CONTRACTION JOINTS SHALL BE 1/4" X 1/4" DEPTH OF PAVEMENT. REINFORCEMENT SHALL BE CONTINUOUS THROUGH CONTRACTION JOINTS. JOINTS SHALL BE CONTINUOUS THROUGH CURBS. SAWCUTTING SHALL BE COMPLETED BEFORE 8 HOURS HAVE ELAPSED SINCE CONCRETE PLACEMENT. JOINTS SHALL BE SEALED FOLLOWING SAWCUTTING.
13. PAVING EXPANSION JOINTS ARE TO BE LOCATED AT A MAXIMUM OF 60 FEET ON CENTERS EACH WAY. ALL CONSTRUCTION JOINTS ARE TO BE LOCATED AT A MAXIMUM OF 15 FEET ON CENTERS EACH WAY. NO KEYWAYS ARE PERMITTED.
14. PROVIDE 3/4" EXPANSION JOINTS TO ISOLATE ALL FIXED OBJECTS ABUTTING OR WITHIN THE PAVING AREA SUCH AS BUILDINGS, EXISTING PAVEMENT, UTILITY APPURTENANCES, POLE BASES, AND SIDEWALKS. DO NOT PERMIT REINFORCEMENT TO EXTEND CONTINUOUSLY THROUGH ANY EXPANSION JOINT. FILL JOINTS TO FULL DEPTH WITH EXPANSION JOINT MATERIAL (BITUMINOUS MATERIAL). IN CURBS, LOCATE JOINTS AT THE BEGINNING AND END OF CURVES. IN CURBS AND PAVING, DEPRESS 3/4" JOINT MATERIAL BELOW FINISHED GRADE AND SEAL EXPOSED JOINTS WITH JOINT SEALER.
15. PROVIDE CONSTRUCTION JOINTS AT END OF EACH DAY'S WORK OR WHEN CONCRETE PLACEMENT IS STOPPED MORE THAN 1/2 HOUR.
16. ALL SAWCUT SURFACES OF THE EXISTING PAVEMENT SHALL BE CLEANED AND COATED WITH AN APPROVED BONDING COMPOUND IMMEDIATELY BEFORE THE NEW CONCRETE IS PLACED.
17. CONCRETE PLACED IN HOT WEATHER SHALL BE POURED IN THE EARLY MORNING SO THAT THE CONCRETE CAN ACHIEVE ITS INITIAL SET BY 9:00 AM.
18. PROVIDE MONOLITHIC OR EXTRUDED CURB AT ALL PERIMETER PAVING UNLESS NOTED OTHERWISE.
19. CONCRETE CURB SHALL BE OF THE SAME COMPRESSIVE STRENGTH AS THE CONCRETE PAVEMENT.
20. MILD STEEL REINFORCEMENT AND ACCESSORIES SHALL BE DETAILED AND FABRICATED IN ACCORDANCE WITH ACI SP-66.
21. MILD STEEL REINFORCEMENT SHALL BE PLACED AND SECURED IN ACCORDANCE WITH CRSI "RECOMMENDED PRACTICE FOR PLACING REINFORCING BARS." PROVIDE METAL OR PLASTIC CHAIRS OR SPACERS (NOT WOOD BLOCKS OR BRICK BATS) TO PROVIDE SUPPORT FOR REINFORCING BARS.
22. MINIMUM CONCRETE PROTECTION FOR ALL REINFORCEMENT SHALL BE 2-INCH CLEAR COVER BETWEEN ANY CONCRETE SURFACE AND NEAREST EDGE OF ANY REBAR.
23. REINFORCING BARS SHALL BE CONTACT LAP SPliced UNLESS SHOWN OTHERWISE. LAP SPICES SHALL CONFORM TO ACI REQUIREMENTS, BUT SHALL IN NO CASE BE LESS THAN 40 BAR DIAMETERS LONG.
24. NORMAL WEIGHT AGGREGATES SHALL CONFORM TO ASTM C-33. ALL CONCRETE SHALL USE NORMAL WEIGHT AGGREGATES, UNLESS NOTED OTHERWISE.
25. THE MAXIMUM NOMINAL SIZE OF COARSE AGGREGATE SHALL BE 1 1/2 INCH.
26. ALL ADDITIVES FOR AIR ENTRAINMENT, WATER REDUCTION, AND SET CONTROL SHALL BE USED IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS.

TOWN OF ADDISON

FIRE CODES - FIRE HYDRANTS

- 1. REQUIRED FIRE HYDRANTS AND WATER SUPPLY LINES SHALL BE LOCATED WITHIN THE DEDICATED UTILITY EASEMENTS.
2. WHEN FIRE LANE AND UTILITY EASEMENTS ARE REQUIRED, THE UTILITY EASEMENT MAY BE LOCATED WITHIN THE FIRE LANE EASEMENT.
3. FIRE HYDRANTS SHALL BE SPACED AT INTERVALS OF 300 FEET ALONG THE LENGTH OF THE FIRE LANES AND NON-RESIDENTIAL STREETS.
4. FIRE HYDRANTS SHALL NOT BE LOCATED CLOSER THAN 3 FEET NOR FURTHER THAN 6 FEET FROM STREETS OR FIRE LANES.

LANDSCAPING

- 1. APPROVAL OF IRRIGATION PLAN IS REQUIRED PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
2. ALL LANDSCAPED AND TURF AREAS MUST BE IRRIGATED BY AN AUTOMATED SYSTEM.
3. AN IRRIGATION PLAN MUST BE PREPARED AND SEALED BY A LICENSED IRRIGATOR IN THE STATE OF TEXAS.

UTILITIES

- 1. THE SANITATION CONTAINER WALLS SHALL BE PER ARCHITECTURAL PLANS.
2. PROPERTY OWNER IS RESPONSIBLE FOR MAINTAINING TRASH RECEPTACLE ENCLOSURES AND ADEQUATE ACCESS AND EGRESS.
3. DUMPSTER PADS SHALL NOT BE LOCATED IN RIGHT-OF-WAY OR FIRELANES.

ENVIRONMENTAL

- 1. FOR DEVELOPMENTS EQUAL TO OR GREATER THAN 1 ACRE BUT LESS THAN 5 ACRES, OR DEVELOPMENTS LESS THAN 1 ACRE BUT PART OF A LARGER COMMON PLAN OF DEVELOPMENT, A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR CONSTRUCTION ACTIVITIES SHALL BE PROVIDED PRIOR TO ISSUANCE OF A BUILDING PERMIT.
2. THE CITY MAY REQUIRE THAT THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) BE PREPARED BY A PROFESSIONAL ENGINEER LICENSED BY THE STATE OF TEXAS, DEPENDING ON FACTORS SUCH AS POTENTIAL IMPACTS TO WATER QUALITY AND NEIGHBORING LAND USES.

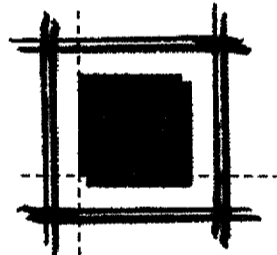


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Table with columns: REVISIONS, CITY SUBMITTAL, CITY REVIEW COMMENTS, REV. BY: RAL, GRM. Includes dates 4/28/06 and 5/19/06.

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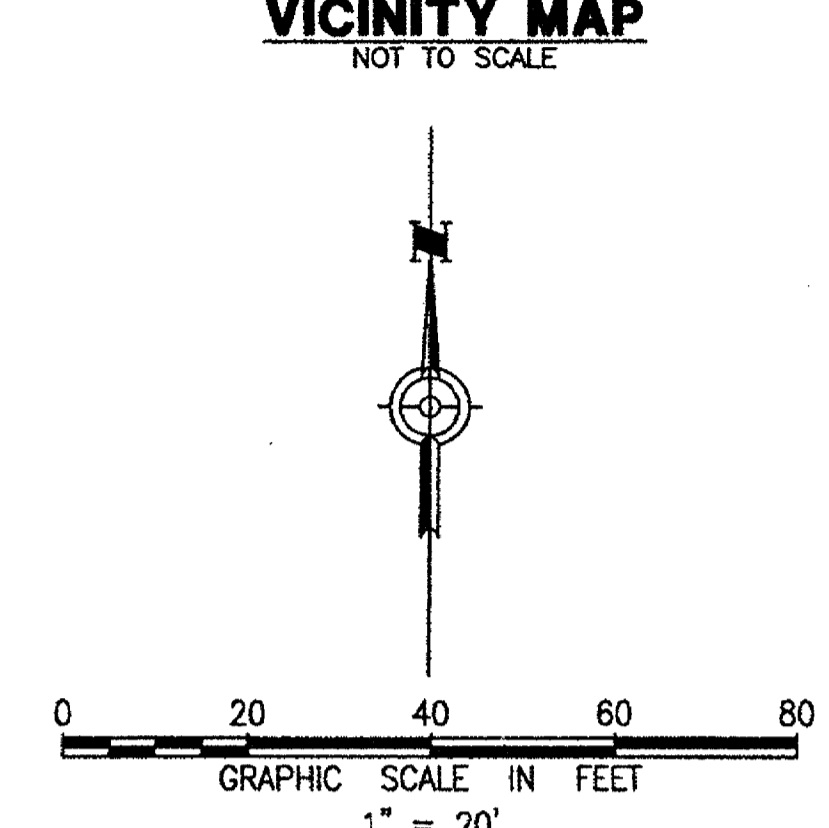
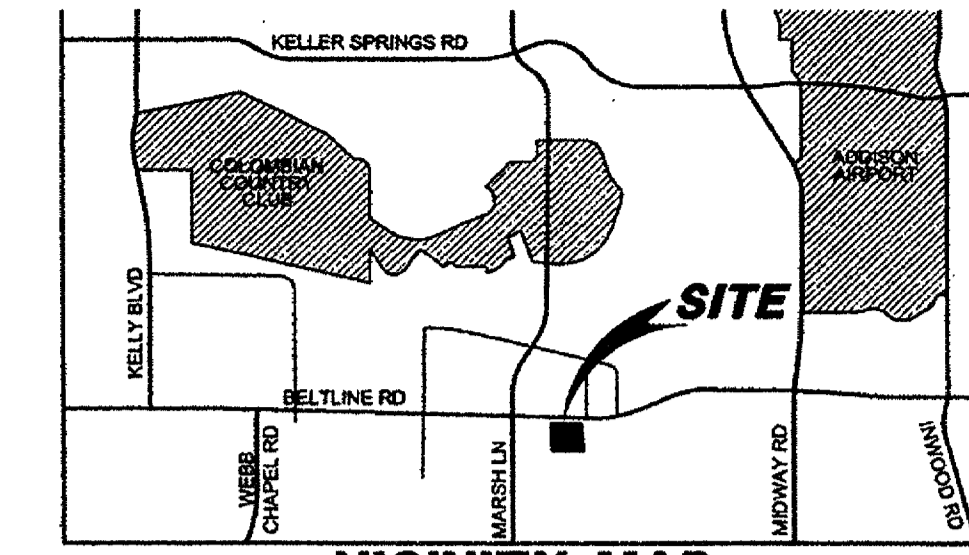
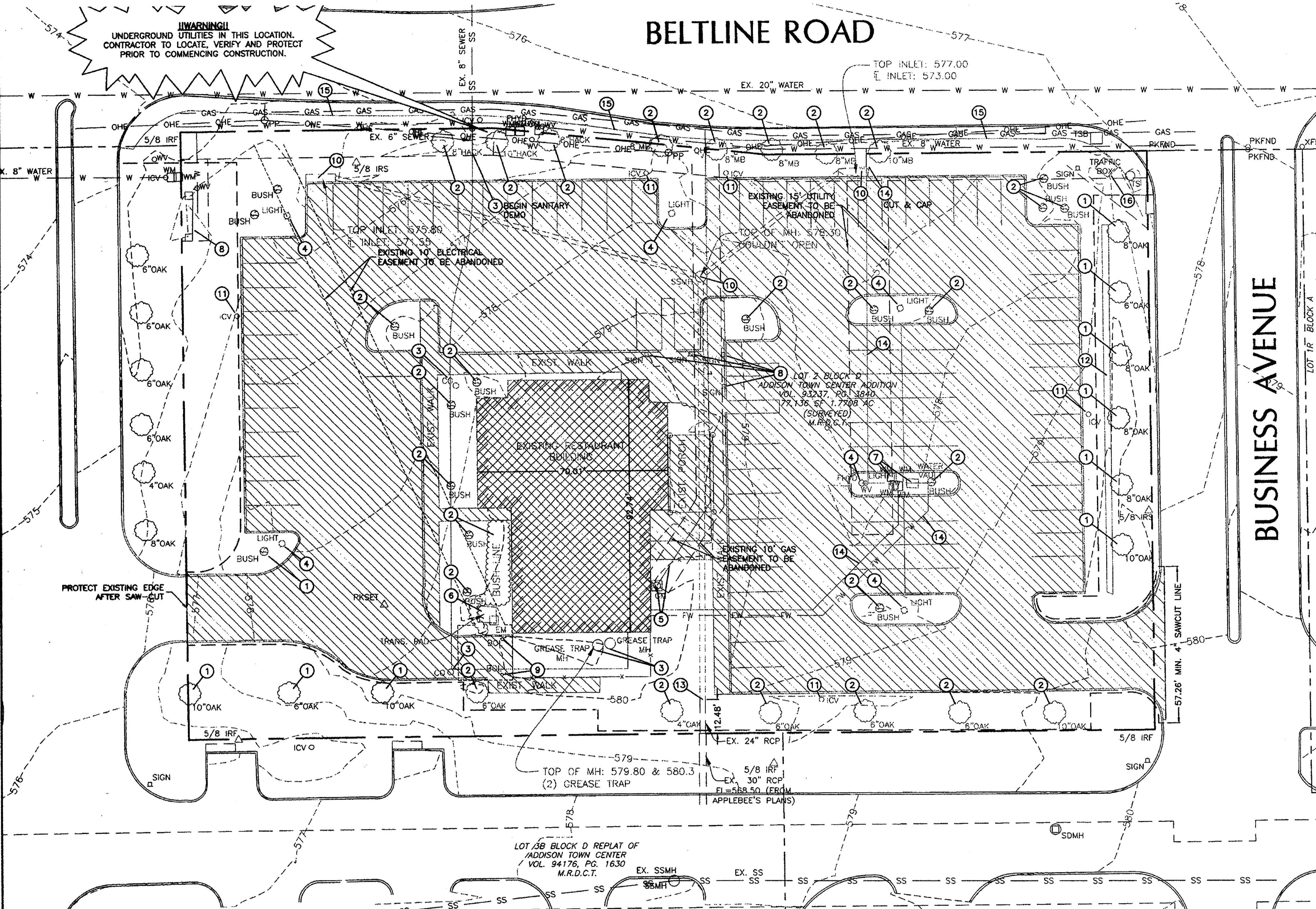
LALP Project Number: 25271.000
Issue For: AS-BUILT

GENERAL NOTES

C-1

Issue Date: NOVEMBER 8, 2006
C&B Project Number: 293070.020

FILE INFO:\hbernino.TX\_Addison Capital One\_293070 Civil Sheets\As-Built\3070-C01-GR.dwg XREFS:MT-Seat; Interim Stamp: 293070c01.dwg PLOTTED: Nov 08, 2006 9:35am BY:mhllh PLOT SCALE: 1:1



**LEGEND**

	PROPERTY LINE
	ADJOINED PROPERTY
	BUILDING SETBACK LINE
	EXISTING CURB TO REMAIN
	EXISTING GAS LINE
	EXISTING TELEPHONE LINE
	EXISTING OVER HEAD ELECTRIC
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE
	EXISTING STORM SEWER LINE
	LIMITS OF DEMOLITION
	CONCRETE PAVING TO BE DEMOLISHED
	BUILDING TO BE DEMOLISHED
	TREES AND SHRUBS

- GENERAL NOTES**
- CONTRACTOR TO CONTACT ALL GOVERNING AGENCIES OF UTILITIES LOCATED WITHIN THE LIMITS OF DEMOLITION OPERATIONS PRIOR TO DEMOLITION.
  - ASBESTOS TESTING SHALL BE CONDUCTED BY CONTRACTOR PRIOR TO DEMOLITION OF ONSITE STRUCTURES AND IN ACCORDANCE WITH THE REQUIREMENTS OF DEMOLITION PERMITTING WITH THE TOWN OF ADDISON, TEXAS.
  - PHASE 1 ENVIRONMENTAL ASSESSMENT WILL BE CONDUCTED BY OTHERS PRIOR TO DEMOLITION OPERATIONS IN ACCORDANCE WITH DEMOLITION PERMITTING WITH THE TOWN OF ADDISON, TEXAS.
  - CONTRACTOR TO REMOVE ALL DEMOLISHED MATERIAL OFFSITE IN ACCORDANCE WITH LOCAL, MUNICIPAL, STATE, AND FEDERAL REQUIREMENTS.
  - CONTRACTOR TO MARK AND PROTECT ALL EXISTING LANDSCAPING TO REMAIN TO INCLUDE TREES, SHRUBS, AND IRRIGATION DEVICES.
  - ALL UNDERGROUND UTILITIES SHOWN ARE BASED ON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY EXACT UTILITY LOCATIONS PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL CALL DIG-TESS AT 1.800.344.8377 PRIOR TO ANY EXCAVATION.
  - DIG-TESS** TEXAS ONE CALL PARTICIPANTS REQUEST 48 HOURS NOTICE BEFORE YOU DIG, DRILL OR BLAST. STOP, CALL TEXAS DIG-TESS SYSTEM AT 1.800.344.8377.

**NOTES BY SYMBOL**

- |   |   |
|---|---|
| <p>1 PROTECT EXISTING TREES AND SHRUBS TO REMAIN. REFER TO LANDSCAPE PLAN FOR ADDITIONAL DESIGN.</p> <p>2 DEMOLISH AND REMOVE EXISTING TREES AND SHRUBS. REFER TO LANDSCAPE PLAN FOR ADDITIONAL DESIGN.</p> <p>3 DEMOLISH AND REMOVE EXISTING GREASE TRAPS, CLEANOUTS, AND ASSOCIATED SANITARY PIPING. PROTECT EXISTING SANITARY NORTH OF PROPERTY LINE.</p> <p>4 DEMOLISH AND REMOVE EXISTING LIGHT POLES AND ELECTRICAL CONDUIT.</p> <p>5 GAS LINE TO BE DEMOLISHED TO THE PROPERTY LINE AND CAPPED. CONTRACTOR TO CONTACT TXU PRIOR TO REMOVAL.</p> <p>6 CONTRACTOR TO CONTACT TXU FOR REMOVAL OF ELECTRIC METERING DEVICES AND ELECTRICAL CONDUIT WITH THE EASEMENT. DEMOLISH AND REMOVE EXISTING TRANSFORMER, PAD, AND ALL ELECTRICAL WIRING AND CONDUIT.</p> <p>7 CONTRACTOR TO CONTACT TOWN OF ADDISON PRIOR TO REMOVAL OF EXISTING METERING AND BACKFLOW DEVICES. CONTRACTOR SHALL INSPECT BACKFLOW DEVICES FOR OPERABILITY PRIOR TO REMOVAL. REFER TO UTILITY PLANS FOR DESIGN DETAILS.</p> <p>8 DEMOLISH AND REMOVE EXISTING SIGNAGE.</p> <p>9 DEMOLISH AND REMOVE EXISTING BOLLARDS.</p> <p>10 DEMOLISH AND REMOVE EXISTING STORM INLETS AND MANHOLES.</p> <p>11 CONTRACTOR TO DETERMINE OPERABILITY OF EXISTING IRRIGATION CONTROL DEVICES PRIOR TO DEMOLITION. REFER TO IRRIGATION PLANS FOR DESIGN DETAILS.</p> | <p>12 DEMOLISH EXISTING LANDSCAPE EDGING. REFER TO LANDSCAPE PLAN FOR DESIGN DETAILS.</p> <p>13 DEMOLISH EXISTING 24" RCP. PROTECT EXISTING 24" TO THE SOUTH OF THIS LOCATION. REFER TO GRADING PLANS FOR DESIGN. N= 7033396.3923 E= 2473947.8089</p> <p>14 REMOVE EXISTING WATER LINES.</p> <p>15 DEMOLISH EXISTING SIDEWALK AND RETAINING WALL.</p> <p>16 LOWER EXISTING TRAFFIC BOX. COORDINATE LOWERING WITH ROBIN JONES, CITY OF ADDISON (972-450-2849).</p> |
|---|---|

**DEMO QUANTITIES**

ITEM	QUANTITY
CONCRETE	±45750 sq.ft.(±847 cu.yds @ 6" Avg. Paving Thickness)
TREES	(6) 4"-10" Oaks (8) Various 8"-10" Trees
SHRUBS	(12) Various Shrubs - ±250' Hedges
LIGHTS	(7) Lightpoles and Luminaire Devices
BUILDING	±6492 sq.ft Existing Building and Materials
IRRIGATION	(5) Irrigation Control Valves
WATER	±380' 2"-8" Water Piping and Appurtenances
SEWER	(2) Grease Traps (2) Cleanouts and Piping
STORM	(2) 10' Curb Inlets (1) Manhole and Piping

NOTE: QUANTITIES ARE APPROXIMATE ESTIMATES CALCULATED BY GRAPHIC REPRESENTATION OF THE TOPOGRAPHIC SURVEY. ACTUAL QUANTITIES WILL VARY.

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR TO DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. CONTRACTOR WILL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR BY FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

**Texas Excavation Safety System**

**CALL 48 HOURS BEFORE YOU DIG**

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ADDISON**

BELT LINE RD. & MARSH LN.  
ADDISON, TEXAS

**Capital One**

Capital One Design & Construction Corp.  
201 St. Charles Ave., Suite 220  
New Orleans, LA 70170

**LEVINSON ASSOCIATES, L.P.**

6117 Richmond Ave., Suite 200 Houston, Texas 77057  
tel 713.787.0000 fax 713.850.8250

ARCHITECTURE PLANNING INTERIOR DESIGN

REVISIONS

DRG REVIEW SUBMITTAL	2/24/06	RAL
CITY REVIEW COMMENTS	4/12/06	RAL
CITY SUBMITTAL	4/28/06	RAL
CITY REVIEW COMMENTS	5/19/06	GRM

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BUILDING PROGRAMS DIVISION  
777 MAIN STREET,  
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TEL (817) 222-8500  
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LALP Project Number: 25271.000  
Issued For: AS-BUILT

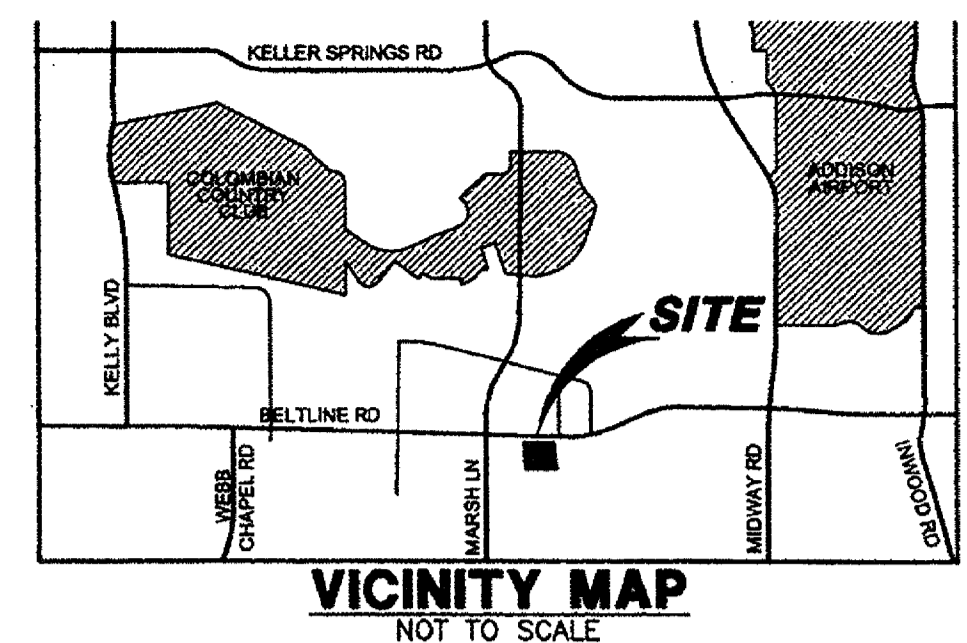
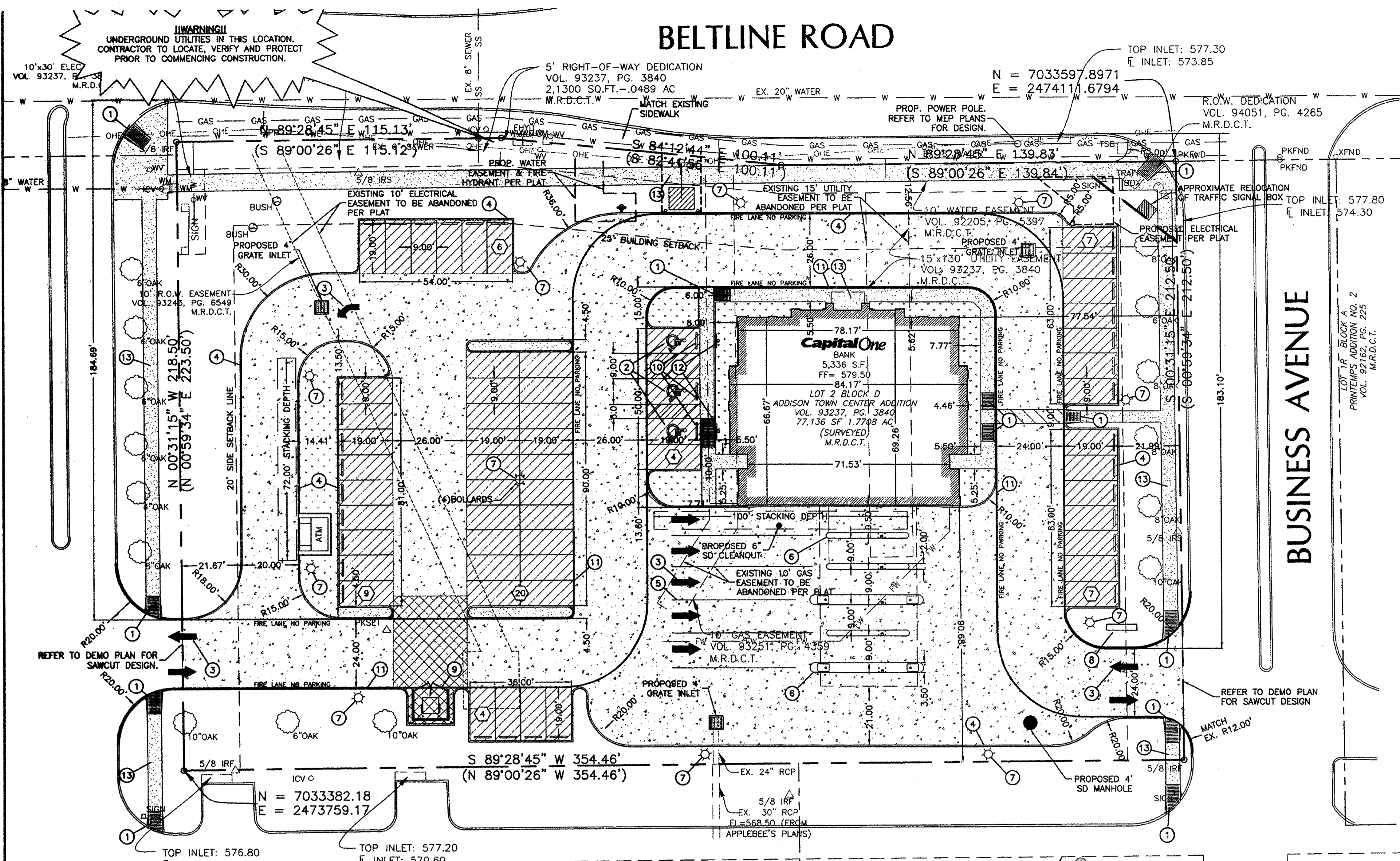
**DEMOLITION PLAN**

**C-2**

Issue Date: NOVEMBER 8, 2006  
C&B Project Number: 293070.020

FILE INFO: R:\Villemans\TX\_Addison\Capital One\_293070\DWG\Sheets\As-Built\3070-C02-0P.dwg XREFS: MT-Seat; Interim Stamp; 293070eSIT; 293070eBOR; Nov 08, 2006 9:23:30m PLOTTED: Nov 08, 2006 9:35:50m BY: mlh111 PL OT SCALE: 1:30

# BELTLINE ROAD



### LEGEND

---	PROPERTY LINE
---	ADJOINED PROPERTY
---	BUILDING SETBACK LINE
---	EXISTING CURB
---	EXISTING GAS LINE
---	EXISTING TELEPHONE LINE
---	EXISTING OVER HEAD ELECTRIC
---	EXISTING WATER LINE
---	EXISTING SANITARY SEWER LINE
---	EXISTING STORM SEWER LINE
---	PROPOSED CURB AND GUTTER
---	PAINTED STRIPE (TRAFFIC YELLOW)
---	PAINTED WALKWAY (TRAFFIC YELLOW)
---	7" CONCRETE PAVING
---	6" CONCRETE PAVING
---	5" CONCRETE PAVING
---	4" CONCRETE SIDEWALK
---	INTERIOR LANDSCAPED AREA (RE: LANDSCAPE PLANS)
---	PARKING STALL COUNT
---	SITE LIGHTING (SEE ARCH. PLANS)

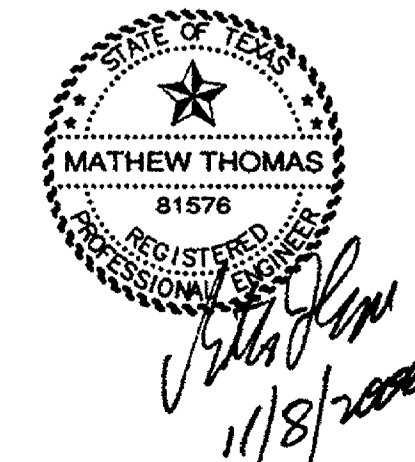
### SITE PLAN ADDISON TOWN CENTER

LOT 2, BLOCK D  
 BEING LOT 2, BLOCK D OF ADDISON TOWN CENTER, AN ADDITION TO THE TOWN OF ADDISON, DALLAS COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 93237, PAGE 3840, MAP RECORDS, DALLAS COUNTY, TEXAS.

**OWNER**  
 TRAVIS HOLDINGS, LLC.  
 9127 KING ARTHUR DR.  
 DALLAS, TEXAS 75247-3607

**ENGINEER**  
 CARTER AND BURGESS, INC.  
 777 MAIN STREET  
 FORT WORTH, TX 76102  
 (817) 222-8500  
 (817) 222-8550 FAX

THE SEAL APPEARING IN THIS DOCUMENT WAS AUTHORIZED BY MATHEW THOMAS, P.E. 81576 ON 11/8/2006 FOR RECORD DRAWING PURPOSES ONLY.



### NOTES BY SYMBOL

- BARRIER FREE RAMP. SEE DETAIL SHEET C-8.
- HANDICAP PARKING SYMBOL.
- TRAFFIC DIRECTIONAL ARROW MARKING(S).
- MONOLITHIC CURB SEE DETAIL SHEET C-8.
- DRIVE-THRU LANE STRIPING.
- 6" MONOLITHIC CURB ISLANDS. (TYP.)
- LIGHT POLE FOUNDATION. REFER TO ARCHITECTURAL PLANS.
- CAPITAL ONE BANK MONUMENT SIGN. N= 7033432.2241 E= 2474091.8447
- DUMPSTER AND 6' SCREEN WALL TO BE CONSTRUCTED WITH THE SAME MATERIAL AS THE BUILDING. 20'x12'x7' CONCRETE DUMPSTER PAD.
- INSTALL (3) WHEELSTOPS.
- FIRELANE STRIPING. REFER TO CITY OF ADDISON DEVELOPMENT CODE.
- (2) VAN ACCESSIBLE HANDICAP PARKING SIGNS.
- 5' ADA COMPLIANT CONCRETE SIDEWALK. SEE DETAIL SHEET C-8.

### GENERAL NOTES

- ALL PAVEMENT DIMENSIONS ARE TO FACE OF CURB UNLESS INDICATED OTHERWISE. ALL BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF WALL UNLESS INDICATED OTHERWISE.
- SEE ARCHITECTURAL SHEETS FOR EXACT DIMENSIONS OF BUILDING, SIDEWALK, PADS, AND DRIVE THRU ISLANDS.
- ALL CURVE RADII SHALL BE NO LESS THAN 3'.
- SEE ARCHITECTURAL PLANS FOR SIGHTING LIGHTING DESIGN AND DETAILS.

### BENCHMARK

"X" FOUND CUT IN SIDEWALK LOCATED APPROXIMATELY 85.80' WEST OF THE NORTH WEST PROPERTY LINE. ELEV= 573.69

### BUILDING COORDINATES

NE CORNER N= 7033542.3509 E= 2474034.3335	SW CORNER N= 7033475.6836 E= 2473956.1661
SE CORNER N= 7033475.6838 E= 2474034.3328	NW CORNER N= 7033542.3509 E= 2473956.1669

### LAND USE CHART

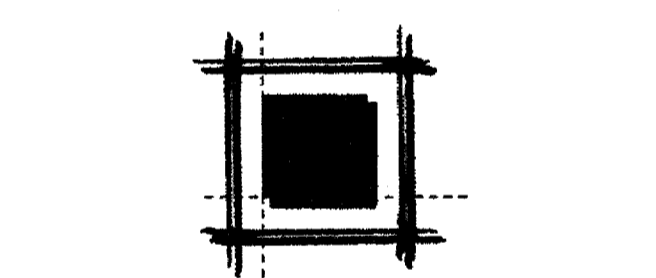
NAME PROPOSED	CAPITAL ONE
EXISTING ZONING	PD -- PLANNED DEVELOPMENT
PROPOSED USE	BANK WITH DRIVE THRU
SITE AREA	1.78 ACRES (77,136 S.F.)
BUILDING AREA	0.122 ACRES (5,336 S.F.)
BUILDING HEIGHT	31.5' SINGLE STORY
FLOOR AREA RATIO	7.08% OF TOTAL LOT AREA
IMPERVIOUS SURFACE AREA	1.23 ACRES (53,801 S.F.)
PARKING REQUIRED	18 SPACES REQUIRED (1 PER 300 S.F.)
PARKING PROVIDED	57 SPACES PROVIDED (INCLUDING H.C.)
HANDICAP PARKING REQUIRED	1 HANDICAP SPACES
HANDICAP PARKING PROVIDED	3 HANDICAP SPACE (2 VAN ACCESSIBLE)
HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS.	

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**CAPITAL ONE  
 ADDISON**  
 BELT LINE RD. & MARSH LN.  
 ADDISON, TEXAS

**CapitalOne**  
 Capital One  
 Corp. Design & Construction  
 201 St. Charles Ave, Suite 220  
 New Orleans, LA 70170



**LEVINSON  
 ASSOCIATES, L.P.**  
 6117 Richmond Ave., Suite 200 Houston, Texas 77057  
 tel 713.787.0000 fax 713.850.8250  
 ARCHITECTURE PLANNING INTERIOR DESIGN

REVISIONS	DATE	BY
DRC REVIEW SUBMITTAL	2/24/06	RAL
CITY REVIEW COMMENTS	4/12/06	RAL
CITY SUBMITTAL	4/28/06	RAL
CITY REVIEW COMMENTS	5/19/06	GRM

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**CARTER & BURGESS, INC.**  
 BUILDING PROGRAMS DIVISION  
 777 MAIN STREET,  
 FORT WORTH, TEXAS 76102  
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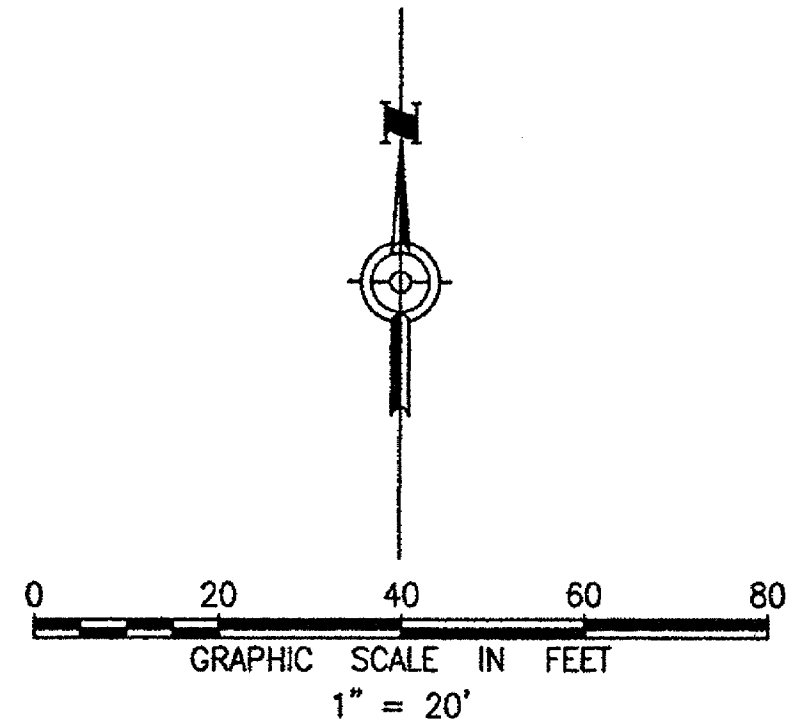
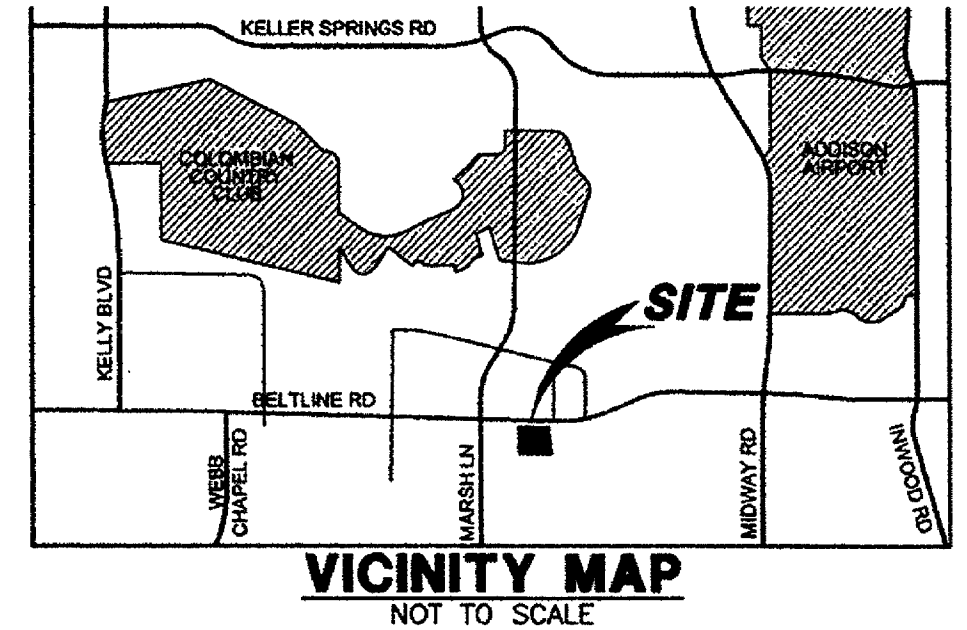
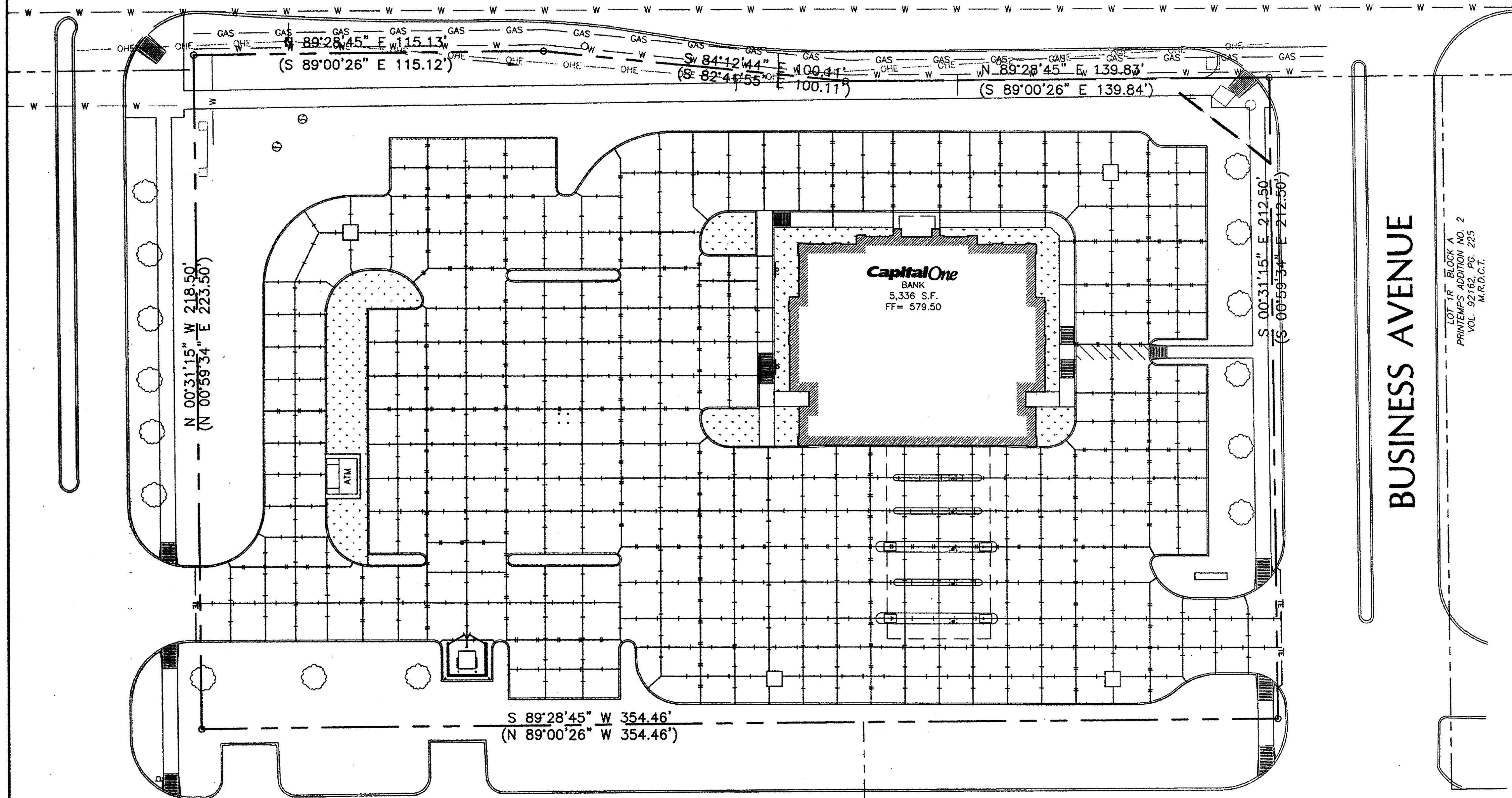
LALP Project Number: 25271.000  
 Issued For: AS-BUILT

**SITE PLAN  
 C-3**

Issue Date: NOVEMBER 8, 2006  
 C&B Project Number: 293070.020

FILE INFO: \\hiberia\TX\_Addison\Civil\Capital One\_293070\Civil\Sheets\A-B-Build\3070-C03-SF.dwg XREFS:MT-Seat; Interim Stamp; 293070-C03OR; 293070-C03ST; 293070-C03TD; 293070-C03TOP; 293070-C03UT; 293070-C03MOD; Nov 08, 2006 10:04am PLOTTED: Nov 08, 2006 10:04am BY:millie11 PLOT SCALE: 1:30

# BELTLINE ROAD



**LEGEND**

---	PROPERTY LINE
- - - -	ADJOINED PROPERTY
---	BUILDING SETBACK LINE
---	EXISTING CURB
---	PROPOSED CURB AND GUTTER
---	PROPOSED RETAINING WALL
---	PROPOSED CONTROL JOINT (15' MAX.)
---	PROPOSED EXPANSION JOINT (60' MAX.)
---	PROPOSED EXPANSION JOINT AT EXISTING THICKEND EDGE
---	PAINTED STRIPE (TRAFFIC YELLOW)
---	PAINTED WALKWAY (TRAFFIC YELLOW)
---	7" CONCRETE PAVING
---	6" CONCRETE PAVING
---	5" CONCRETE PAVING
---	4" CONCRETE SIDEWALK
---	LANDSCAPED AREA (RE: LANDSCAPE PLANS)

BUSINESS AVENUE

LOT 3B BLOCK D REPLAT OF ADDISON TOWN CENTER VOL. 94178, PG. 1630 M.R.D.C.T.

LOT 1F BLOCK A PRINTEMPS ADDITION NO. 2 VOL. 92162, PG. 225 M.R.D.C.T.

**GENERAL NOTES**

- SEE SHEET C-? FOR PAVEMENT NOTES AND SHEET C-? FOR PAVEMENT DETAILS.
- SEE ARCHITECTURAL SHEETS FOR EXACT DIMENSIONS OF BUILDING, SIDEWALK, PADS, AND DRIVE THRU ISLANDS.
- ALIGN PAVEMENT EXPANSION JOINTS WITH SIDEWALK EXPANSION JOINTS. SEE ARCHITECTURAL PLANS.
- SEE ARCHITECTURAL PLANS FOR SIGHT LIGHTING DESIGN AND DETAILS.

**BENCHMARK**

"X" FOUND CUT IN SIDEWALK LOCATED APPROXIMATELY 85.00' WEST OF THE NORTH WEST PROPERTY LINE. ELEV= 573.69

**BUILDING COORDINATES**

NE CORNER N= 7033542.3509 E= 2474034.3335	SW CORNER N= 7033475.6836 E= 2473956.1661
SE CORNER N= 7033475.6838 E= 2474034.3328	NW CORNER N= 7033542.3509 E= 2473956.1669

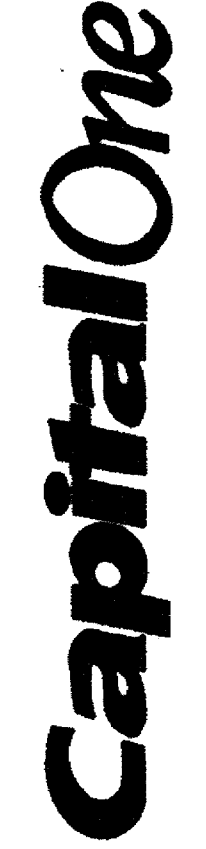
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# CAPITAL ONE ADDISON

BELT LINE RD. & MARSH LN.  
ADDISON, TEXAS



Capital One  
Corp. Design & Construction  
201 St. Charles Ave., Suite 220  
New Orleans, LA 70170

## LEVINSON ASSOCIATES, L.P.

6117 Richmond Ave., Suite 200 Houston, Texas 77057  
tel 713.787.0000 fax 713.850.8250  
ARCHITECTURE PLANNING INTERIOR DESIGN

DESIGN BY: RAL	CHECKED BY: MT	REVISED BY:
REVISIONS		REV. BY:
1	DRC REVIEW SUBMITTAL 2/24/06	RAL
2	CITY REVIEW COMMENTS 4/12/06	RAL
3	CITY REVIEW COMMENTS 5/19/06	GRM

## Carter & Burgess

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BUILDING PROGRAMS DIVISION  
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FORT WORTH, TEXAS 76102  
TEL (817) 222-8500  
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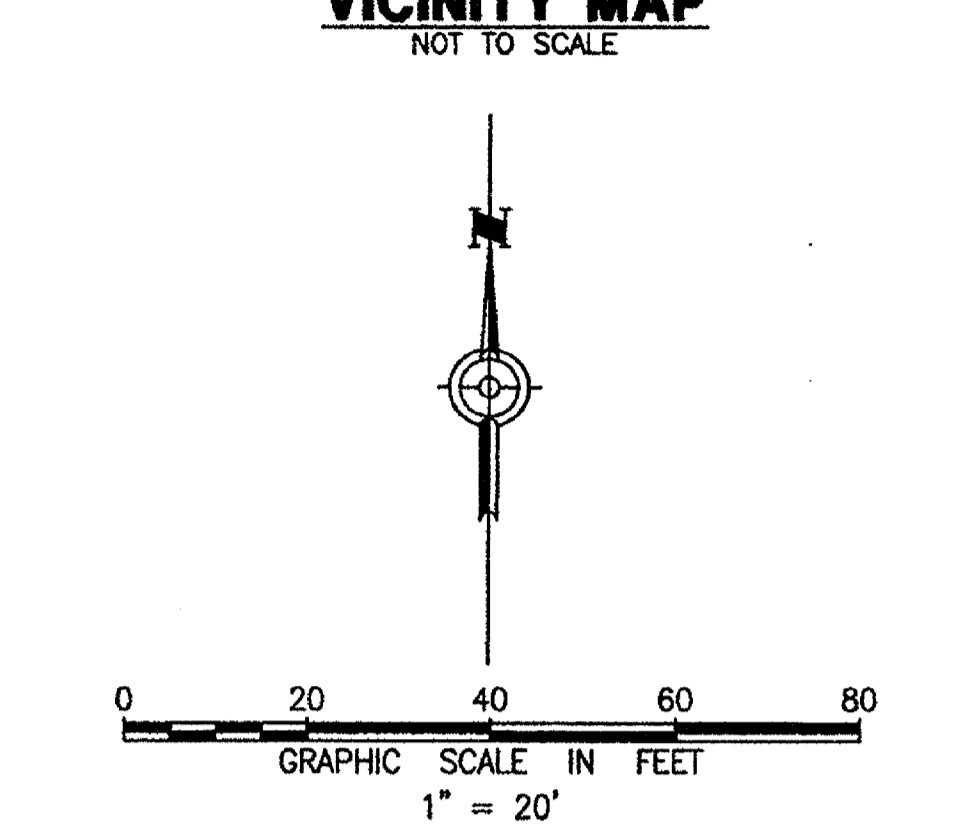
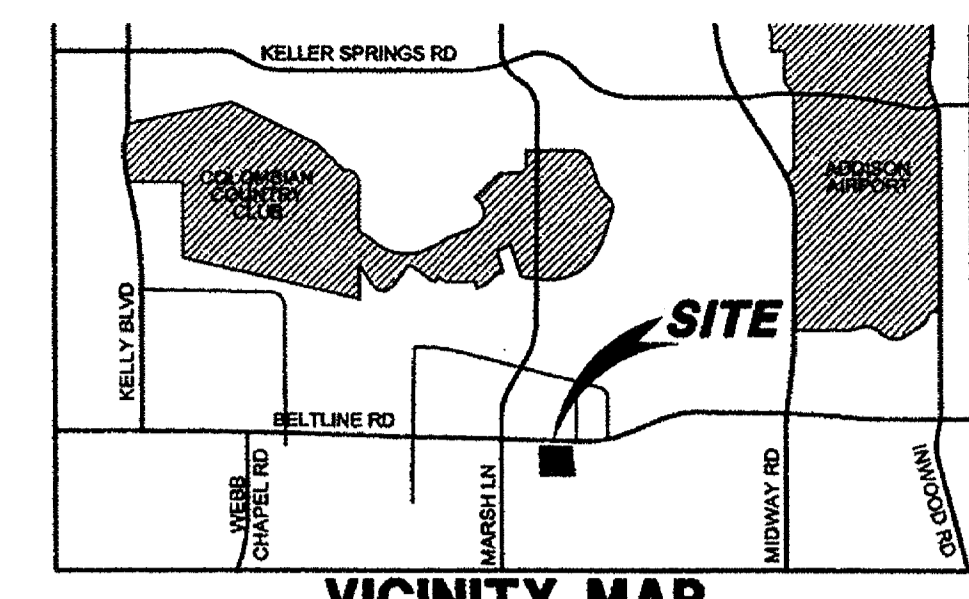
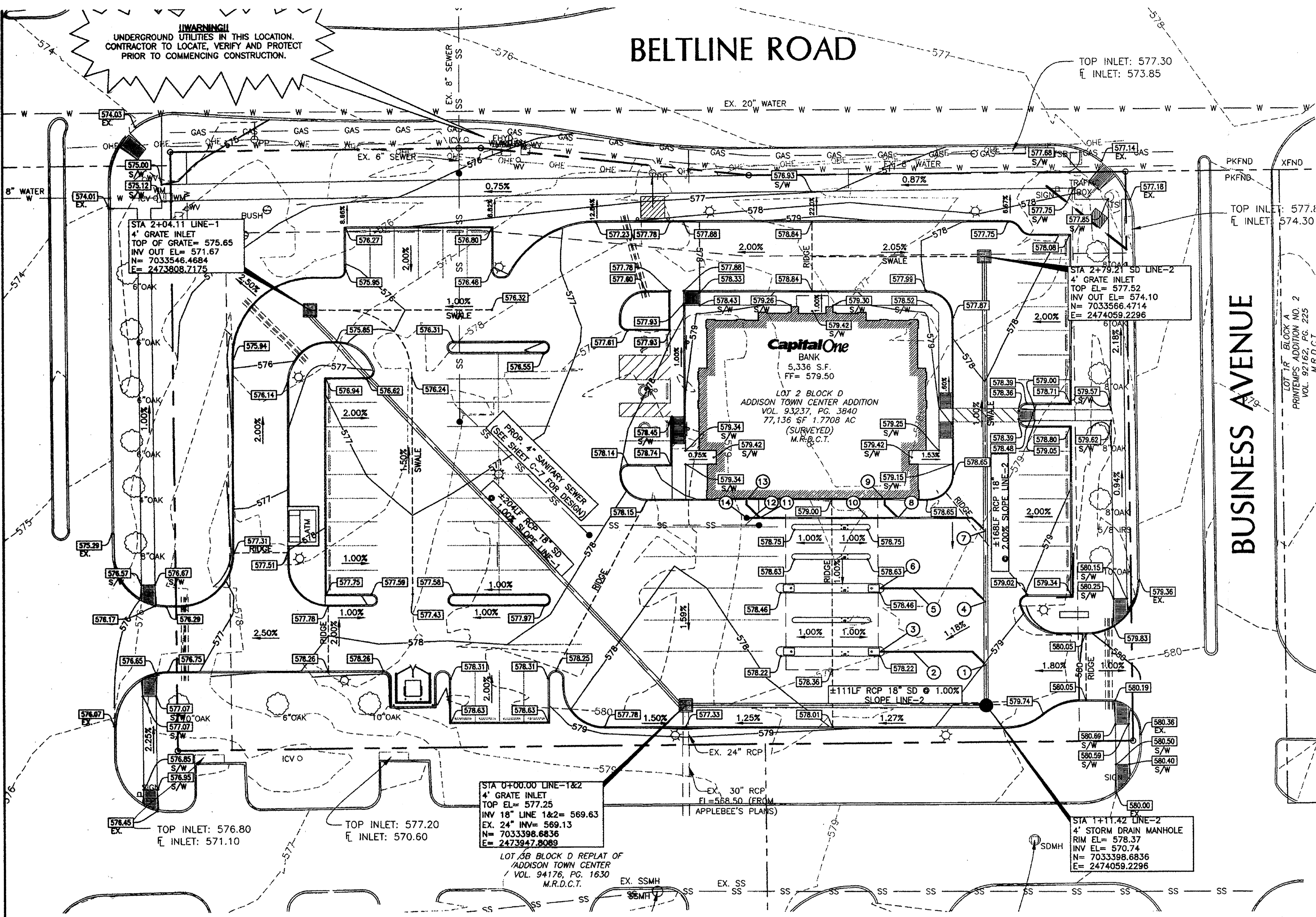
LALP Project Number: 25271.000  
Issued For: AS-BUILT

## JOINT LAYOUT PLAN

# C-3.1

Issue Date: NOVEMBER 8, 2006  
C&B Project Number: 293070.020

FILE INFO: \\viberra\TX\_Addison\_Capital One\_293070\Civil\Sheets\A-A-Build\3070-C03-1-IP.dwg XREFS: SMT-Seal; Interim Stamp: 293070aBOR; 293070aSIT; 293070aSTD; 293070aSTO; 293070aSTU; ADDISON\_AOI; I MODIFIED: Nov 08, 2006 9:24am PLOTTED: Nov 08, 2006 9:36am BY: mlh11 PLOT SCALE: 1"=30'



### LEGEND

(---)	PROPERTY LINE
(---)	ADJOINED PROPERTY
(---)	EXISTING 1" CONTOUR
(---)	PROPOSED 1" CONTOUR
(---)	EXISTING OVER HEAD ELECTRIC
(---)	EXISTING WATER LINE
(---)	PROP. SPOT ELEV
(---)	FLOW ARROW
(---)	TOP OF GRATE
(---)	TOP OF WALK
(---)	TOP OF RIM
(---)	TOP OF FINISH GRADE
(---)	TOP OF RETAINING WALL
(---)	FLOWLINE
(---)	HIGH POINT

- ### GENERAL NOTES:
- ALL UNDERGROUND UTILITIES SHOWN ARE BASED ON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY EXACT UTILITY LOCATIONS PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL CALL DIG-TESS AT 1.800.344.8377 PRIOR TO ANY EXCAVATION.
  - IF ANY CONFLICT OR DISCREPANCY FROM THE PLANS IS FOUND, NOTIFY THE ENGINEER BEFORE CONTINUING WITH ANY FURTHER CONSTRUCTION.
  - ALL PIPE SHALL BE LAID STARTING AT THE OUTFALL AND LAID UPSTREAM FROM THAT POINT.
  - STORM SEWER PIPE SHALL BE TYPE 'S' HDPE PIPE UNLESS NOTED OTHERWISE.
  - SPOT ELEVATIONS SHOWN ARE TO THE TOP OF PROPOSED PAVEMENT AND/OR TOP OF FINISHED GRADE, UNLESS OTHERWISE NOTED. ADD 0.5 FEET FOR TOP OF CURB ELEVATIONS.
  - CONTRACTOR TO OBTAIN ALL PERMITS REQUIRED BY TOWN OF ADDISON, TEXAS PRIOR TO STARTING CONSTRUCTION.
  - CONNECT EACH 5" X 5" DOWNSPOUT TO A 6" DIA. HDPE ROOF DRAIN PIPE TURNED UP FLUSH WITH PAVING. ALL ROOF DRAIN PIPING SHALL BE HDPE. SLOPE 6" ROOF DRAIN PIPING AT MIN. 1.00% SLOPE 8" ROOF DRAIN PIPING AT MIN. 0.75%. SLOPE 12" ROOF DRAIN PIPING AT MIN. 0.50%.
  - REFER TO EROSION CONTROL PLAN, SHEET C-5, FOR SEQUENCE OF CONSTRUCTION.
  - DIG-TESS TEXAS ONE CALL PARTICIPANTS REQUEST 48 HOURS NOTICE BEFORE YOU DIG, DRILL OR BLAST. STOP, CALL TEXAS DIG-TESS SYSTEM AT 1.800.344.8377.

### NOTES BY SYMBOL

- |  |  |   |
|--|--|---|
| ① STA 1+26.13 LINE-2=<br>STA 0+00.00 LINE-3A<br>CONNECT 6" SD TO<br>18" STORM DRAIN RCP<br>6" INV EL= 571.03<br>18" INV EL= 570.53<br>N= 7033413.3920<br>E= 2474059.2296   | ⑦ STA 1+75.92 LINE-2=<br>STA 0+00.00 LINE-3C<br>CONNECT 6" SD TO<br>18" STORM DRAIN RCP<br>6" INV EL= 572.03<br>18" INV EL= 571.53<br>N= 7033463.1850<br>E= 2474059.2296 | ⑫ STA 0+86.99(1.33') LINE-3C<br>STA 2+18.11 4" SS SERVICE<br>4" SS SERVICE CROSSING<br>4" SS TOP EL= 573.70<br>6" SD INV EL= 575.07<br>N= 7033469.5095<br>E= 2473974.3066 |
| ② STA 0+41.42 LINE-3A<br>CONNECT 6" HDPE TO<br>ROOF DRAIN DOWNSPOUT<br>6" INV EL= 572.48<br>N= 7033418.3919<br>E= 2474019.8636   | ⑧ STA 0+34.49 LINE-3C<br>INSTALL 6" HDPE WYE<br>6" INV EL= 573.24<br>N= 7033468.1856<br>E= 2474026.8148  | ⑬ STA 0+90.67(7.00') LINE-3C<br>CONNECT 6" HDPE TO<br>ROOF DRAIN DOWNSPOUT<br>6" INV EL= 575.50<br>N= 7033475.1857<br>E= 2473970.6322                                     |
| ③ STA 1+49.63 LINE-2=<br>STA 0+00.00 LINE-3B<br>CONNECT 6" HDPE TO<br>18" STORM DRAIN RCP<br>6" INV EL= 571.50<br>18" INV EL= 571.00<br>N= 7033436.8920<br>E= 2474059.2296 | ⑨ STA 0+39.49(7.00') LINE-3C<br>CONNECT 6" HDPE TO<br>ROOF DRAIN DOWNSPOUT<br>6" INV EL= 573.50<br>N= 7033475.1857<br>E= 2474021.8145                                    | ⑭ STA 0+90.67 LINE-3C<br>INSTALL 6" STORM DRAIN<br>CLEANOUT<br>6" INV EL= 575.20<br>N= 7033468.1844<br>E= 2473970.6322  |
| ④ STA 0+41.40 LINE-3A<br>CONNECT 6" HDPE TO<br>ROOF DRAIN DOWNSPOUT<br>6" INV EL= 572.95<br>N= 7033441.8919<br>E= 2474019.9029   | ⑩ ±91LF ~ 6" HDPE<br>● 3.50% SLOPE LINE-3C<br>STA 0+85.67 LINE-3C<br>INSTALL 6" HDPE WYE<br>6" INV EL= 575.03<br>N= 7033468.1845<br>E= 2473975.6315                      |   |

### TRENCH SAFETY

STATE OF TEXAS LAW REQUIRES THAT THE CONTRACTOR WILL PROVIDE A TRENCH SAFETY PLAN (TRENCH SHORING) FOR UTILITY TRENCHES GREATER THAN FIVE (5) FEET IN DEPTH. THIS PLAN SHALL BE PREPARED BY A PROFESSIONAL ENGINEER. THE CONTRACTOR SHALL SUBMIT THE TRENCH SAFETY PLAN TO THE TOWN OF ADDISON TOWN ENGINEER PRIOR TO THE START OF CONSTRUCTION.

### BENCHMARK

\* FOUND OUT IN SIDEWALK LOCATED APPROXIMATELY 85.80' WEST OF THE NORTH WEST PROPERTY LINE.  
ELEV= 573.69

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR TO DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. CONTRACTOR WILL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR BY FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

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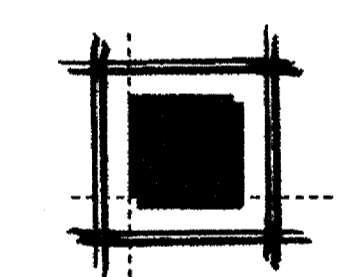
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tel 713.787.0000 fax 713.850.8250

ARCHITECTURE PLANNING INTERIOR DESIGN

DRAWN BY: RAL CHECKED BY: MT REVISION BY:

REVISONS

▲ CITY REVIEW COMMENTS	4/7/06	RAL
▲ CITY SUBMITTAL	4/28/06	RAL
▲ CITY REVIEW COMMENTS	5/19/06	GRAM
▲ RFI #005 REVISIONS	6/21/06	RAL

REV. BY:

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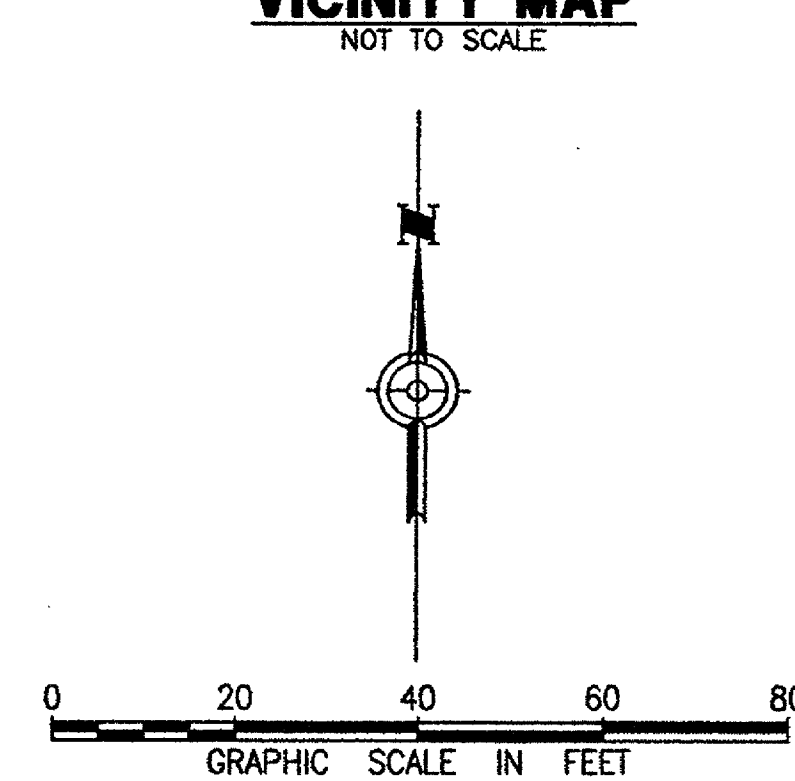
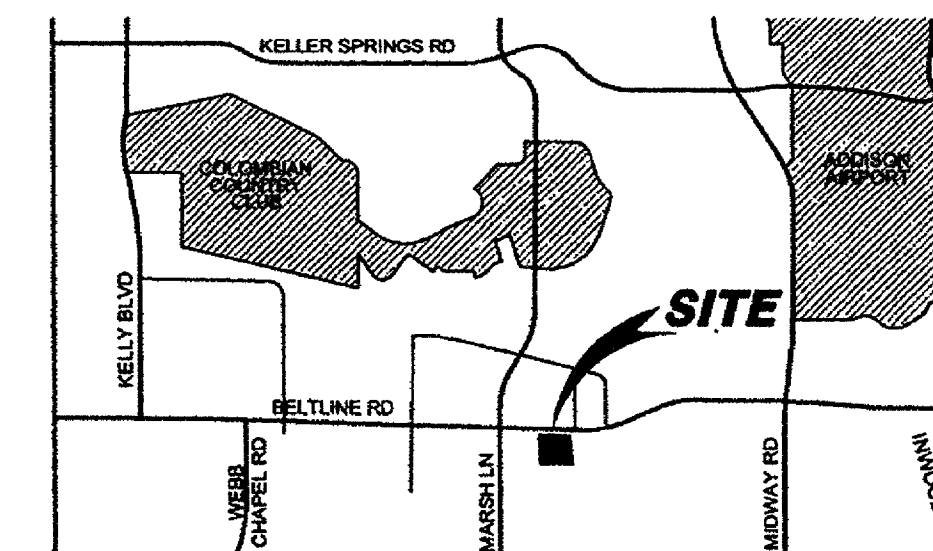
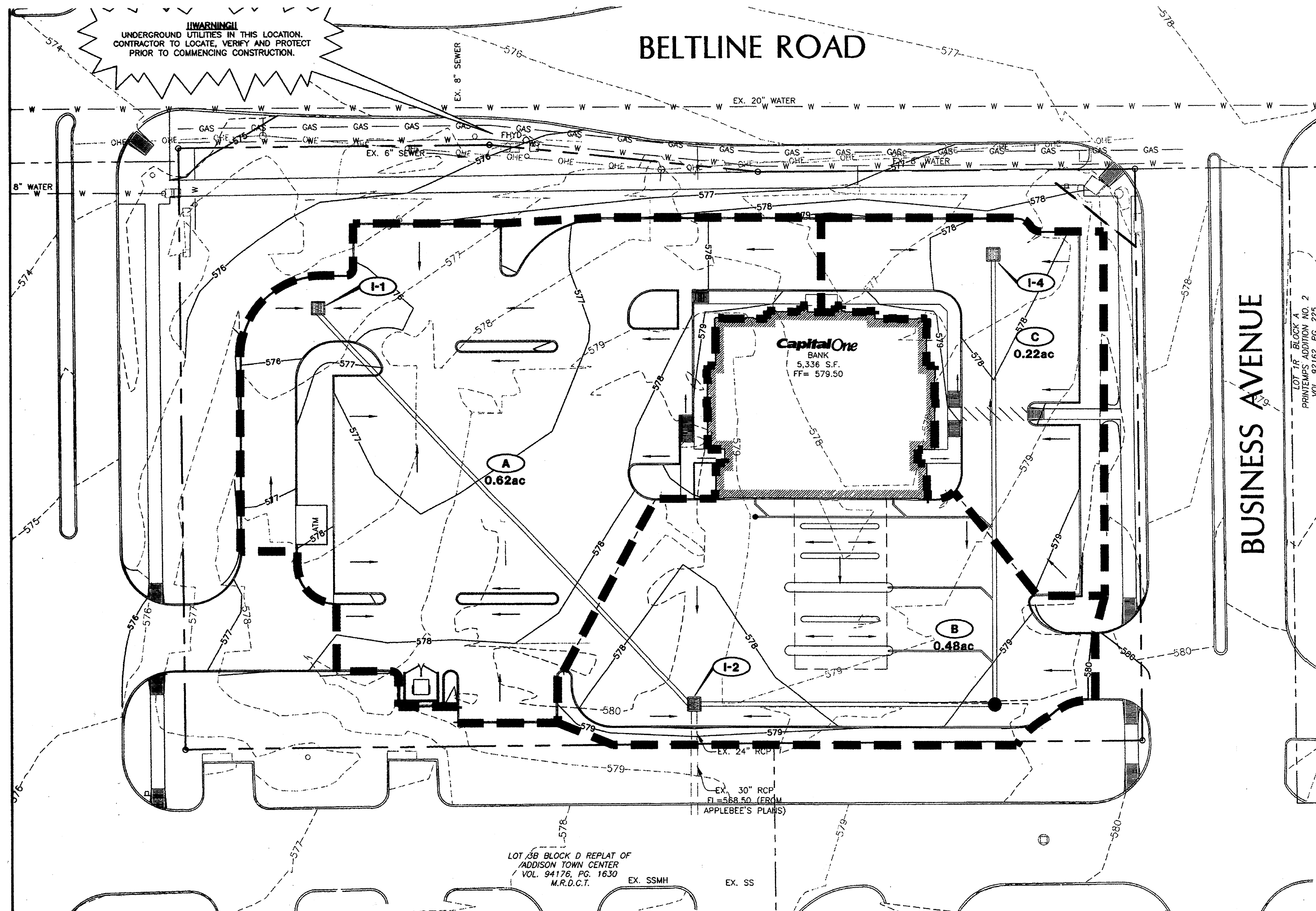
LALP Project Number: 25271.000  
Issued For: AS-BUILT

**STORM DRAIN PLAN**

**C-4**

Issue Date: NOVEMBER 8, 2006  
C&B Project Number: 293070.020

FILE INFO: R:\Hibernia\TX\_Addison\Capital One\_293070\DWG\Sheet\As-Built\C-4-C-4.dwg XREFS: INT - S&I; INTERIM STAMP; 293070-COR; 293070-ESTD; 293070-GEN; 293070-TOF; 293070-TOE; 293070-TOG; 293070-TOH; 293070-TOI; 293070-TOJ; 293070-TOK; 293070-TOL; 293070-TOM; 293070-TON; 293070-TOO; 293070-TOP; 293070-TOQ; 293070-TOR; 293070-TOS; 293070-TOT; 293070-TOU; 293070-TOV; 293070-TOW; 293070-TOX; 293070-TOY; 293070-TOZ; 293070-TOAA; 293070-TOAB; 293070-TOAC; 293070-TOAD; 293070-TOAE; 293070-TOAF; 293070-TOAG; 293070-TOAH; 293070-TOAI; 293070-TOAJ; 293070-TOAK; 293070-TOAL; 293070-TOAM; 293070-TOAN; 293070-TOAO; 293070-TOAP; 293070-TOAQ; 293070-TOAR; 293070-TOAS; 293070-TOAT; 293070-TOAU; 293070-TOAV; 293070-TOAW; 293070-TOAX; 293070-TOAY; 293070-TOAZ; 293070-TOBA; 293070-TOBB; 293070-TOBC; 293070-TOBD; 293070-TOBE; 293070-TOBF; 293070-TOBG; 293070-TOBH; 293070-TOBI; 293070-TOBJ; 293070-TOBK; 293070-TOBL; 293070-TOBM; 293070-TOBN; 293070-TOBO; 293070-TOBP; 293070-TOBQ; 293070-TOBR; 293070-TOBS; 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**LEGEND**

- PROPERTY LINE
- ADJOINED PROPERTY
- 445 --- EXISTING 1' CONTOUR
- 447 --- PROPOSED 1' CONTOUR
- ===== DRAINAGE AREA BASIN
- OHE ----- EXISTING OVER HEAD ELECTRIC
- W ----- EXISTING WATER LINE
- PROPOSED CURB
- DRAINAGE AREA ID
- INLET ID

**EXISTING DRAINAGE CONDITIONS**

AREA	C	100YR (IN/HR)	Q100 (CFS)
1.32ac	0.9	8.74	10.38

RAINFALL INTENSITY BASED ON A MINIMUM TIME OF CONCENTRATION OF (5) MINUTES.

**100YR STORM DRAINAGE CALCULATIONS**

DA	AREA	C	100YR (IN/HR)	Q(CFS)
A	0.62ac	0.9	8.74	4.87
B	0.48ac	0.9	8.74	3.77
C	0.22ac	0.9	8.74	1.73

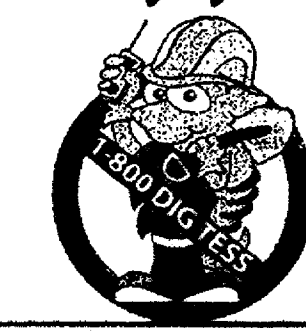
RAINFALL INTENSITY BASED ON A MINIMUM TIME OF CONCENTRATION OF (5) MINUTES.

**TEMPORARY BENCHMARK**

"X" FOUND CUT IN SIDEWALK LOCATED APPROXIMATELY 85.80' WEST OF THE NORTH WEST PROPERTY LINE.  
ELEV= 573.69

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR TO DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. CONTRACTOR WILL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR BY FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

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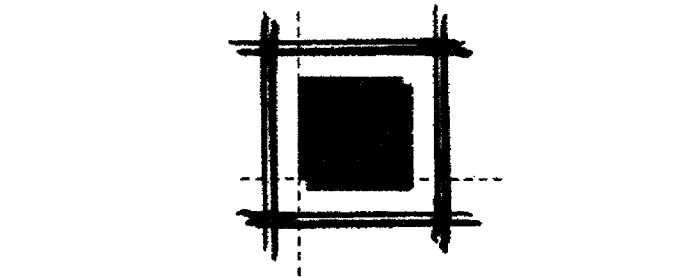


*Matthew Thomas*  
11/15/2006

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REVISIONS	DATE	BY	REV. BY:
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CITY REVIEW COMMENTS	5/19/06	GRM	

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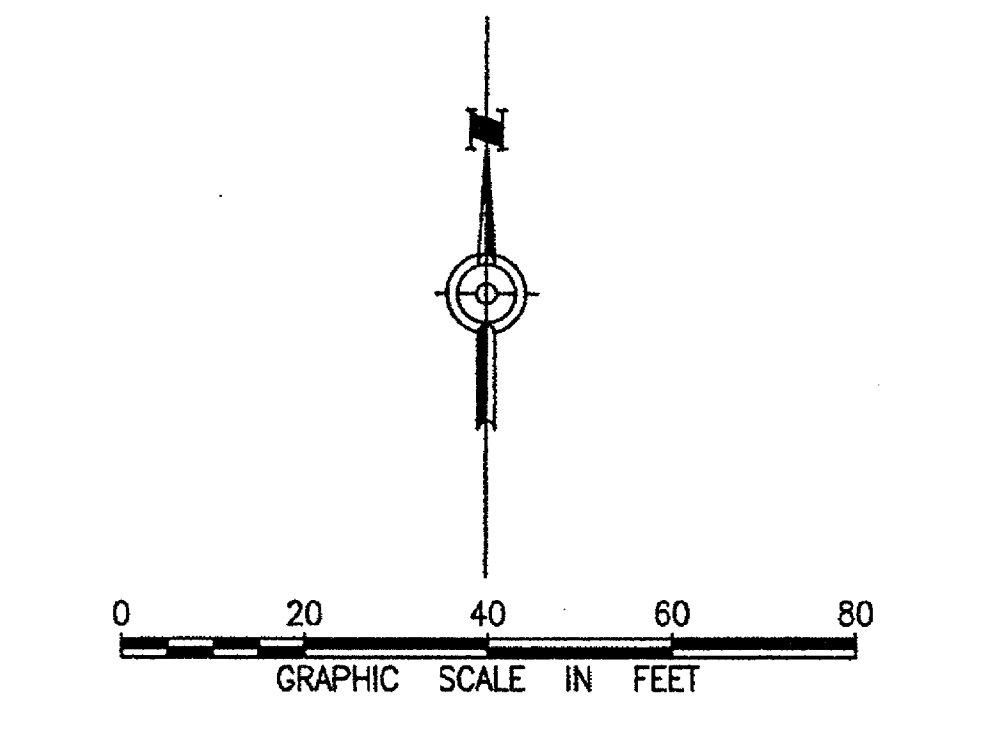
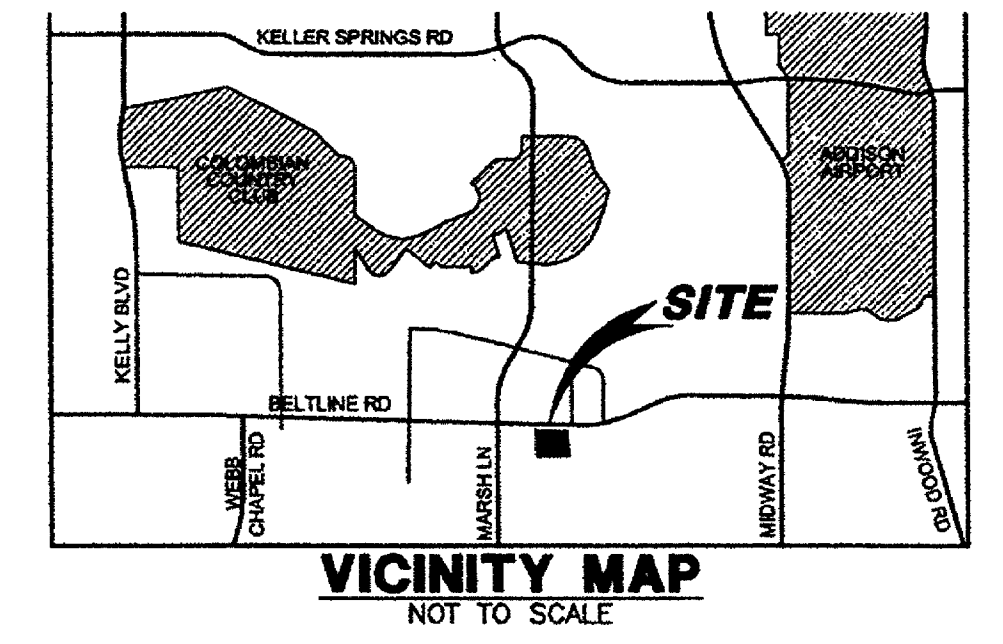
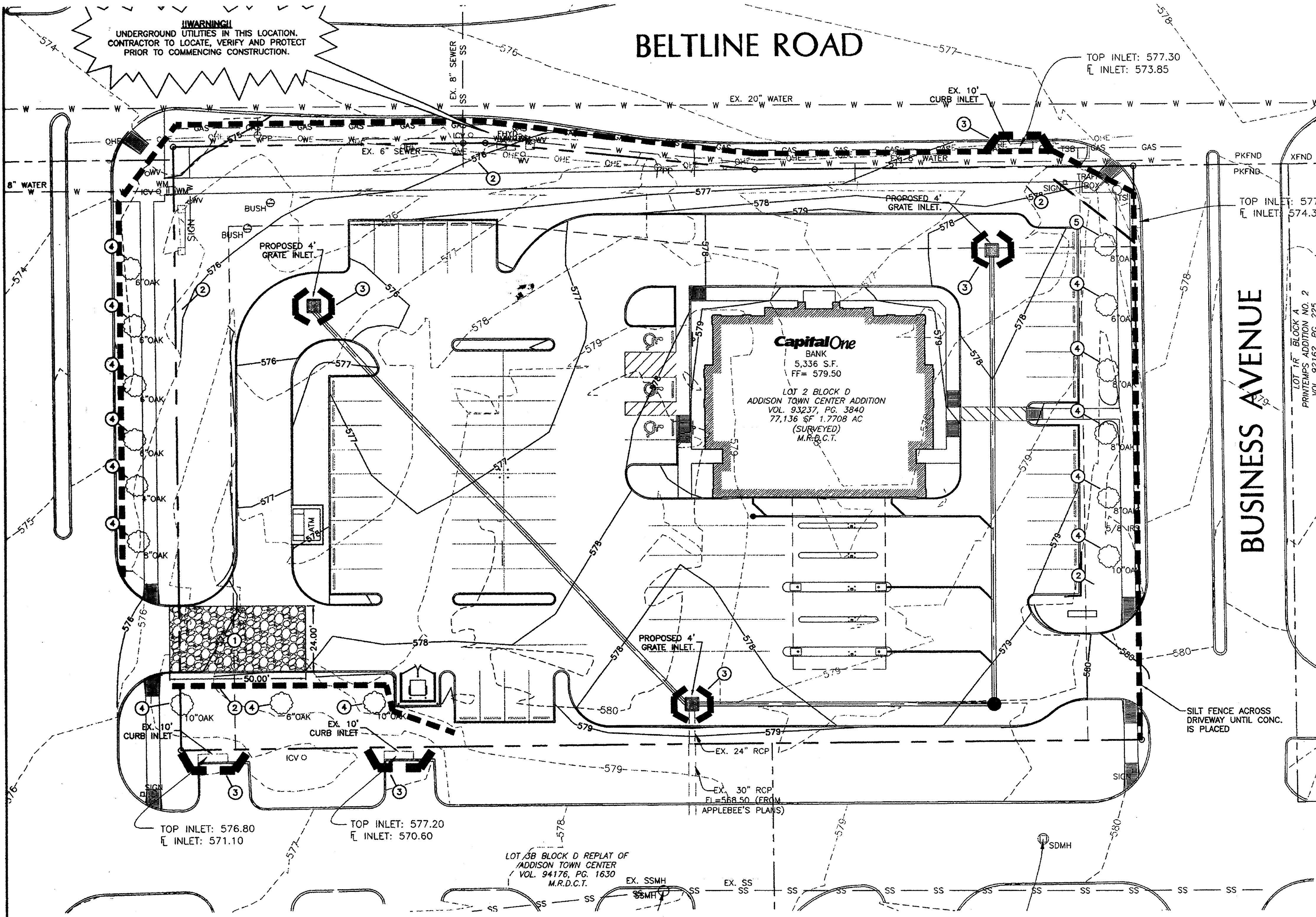
**DRAINAGE AREA MAP**

**C-5**

Issue Date: NOVEMBER 8, 2006  
C&B Project Number: 293070.020

FILE INFO: \\hibernia\civil\Drawings\Addison\Capital One\_293070\Drawings\Addison\Capital One\_293070-C05-D05.dwg XREFS:MT-Seed: Interim Stamp: 293070-C05-D05-D05.dwg





**LEGEND**

	PROPERTY LINE
	ADJOINED PROPERTY
	EXISTING 1' CONTOUR
	PROPOSED 1' CONTOUR
	SILT FENCE
	CONSTRUCTION ENTRANCE
	BLOCK & GRAVEL INLET PROTECTION
	EXISTING OVER HEAD ELECTRIC
	EXISTING WATER LINE
	PROPOSED CURB

**GENERAL NOTES:**

1. CONTRACTOR TO UTILIZE ONLY TOWN OF ADDISON APPROVED BMPs FOR STORM WATER POLLUTION AND PREVENTION MEASURES ONSITE.
2. RE-SEED ALL DISTURBED, NON-IMPERVIOUS AREAS UPON COMPLETION OF FINAL GRADING PER MANUFACTURER'S RECOMMENDATION.
3. CONTRACTOR TO MAINTAIN SILT FENCING AND INLET PROTECTION DURING CONSTRUCTION AND INSPECT AFTER EACH RAINSTORM.
4. CONTRACTOR TO MAINTAIN SILT FENCING UNTIL DISTURBED AREAS HAVE STABILIZED FROM RE-VEGETATION, RE-SEEDING OR BY MEANS OF LANDSCAPING.
5. INSTALL ENVIRONMENTAL BLANKET WITH LANDSCAPE STAKES ON ALL 3:1 SLOPES FOR STABILIZATION PER MANUFACTURER'S RECOMMENDATION.
6. REFER TO SHEET C-1 GENERAL NOTES FOR ADDITIONAL EROSION CONTROL CONSTRUCTION NOTES NOT COVERED IN THIS SHEET.

**SEQUENCE OF CONSTRUCTION**

1. INSTALL TEMPORARY CONSTRUCTION ENTRANCE IN THE LOCATION SHOWN. SEE SHEET C-8 FOR DETAIL.
2. INSTALL INLET PROTECTION MEASURES AND SILT FENCE. SEE SHEET C-8 FOR DETAILS.
3. STRIP TOPSOIL AND OTHER ORGANIC MATERIALS. ALL SUCH TOPSOIL REMOVED SHALL BE STOCKPILED FOR LATER USE. ALL STOCKPILES SHALL BE SEEDDED AND MULCHED TO PREVENT LOSS DUE TO EROSION, AND ENCLOSED WITH SEDIMENT FENCE.
4. CONSTRUCT GRAVEL BASE FOR TRAILER PARKING, EMPLOYEE PARKING, AND CONSTRUCTION STAGING AREAS.
5. GRADE REMAINDER OF SITE TO BRING BUILDING PAD AND PARKING AREAS TO FINISHED GRADE.
6. CONSTRUCT UNDERGROUND UTILITIES.
7. CONSTRUCT FOUNDATION AND BUILDING.
8. CONSTRUCT PAVED AREAS.
9. FINISH GRADING OF ALL AREAS.
10. COMPLETE PERMANENT SEEDING AND MULCHING OF ALL DISTURBED AREAS. EROSION CONTROL MEASURES ARE TO REMAIN IN PLACE UNTIL A FULL VEGETATIVE COVER HAS BEEN ESTABLISHED.

**NOTES BY SYMBOL**

1. STABILIZED CONSTRUCTION ENTRANCE, SEE DETAIL, SHEET C-8.
2. SILT FENCE, SEE DETAIL, SHEET C-8.
3. FILTER FABRIC INLET PROTECTION, SEE DETAIL, SHEET C-8.
4. PROTECT EXISTING TREES PER LANDSCAPE PLAN. REFER TO LANDSCAPE PLAN.

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MATHEW THOMAS  
REGISTERED PROFESSIONAL ENGINEER  
81576

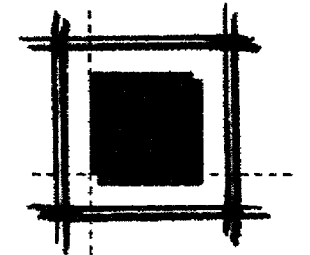
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ARCHITECTURE PLANNING INTERIOR DESIGN

REVISIONS	DATE	BY
1. CITY REVIEW COMMENTS	4/7/06	RAL
2. CITY SUBMITTAL	4/28/06	RAL
3. CITY REVIEW COMMENTS	5/19/06	GRM

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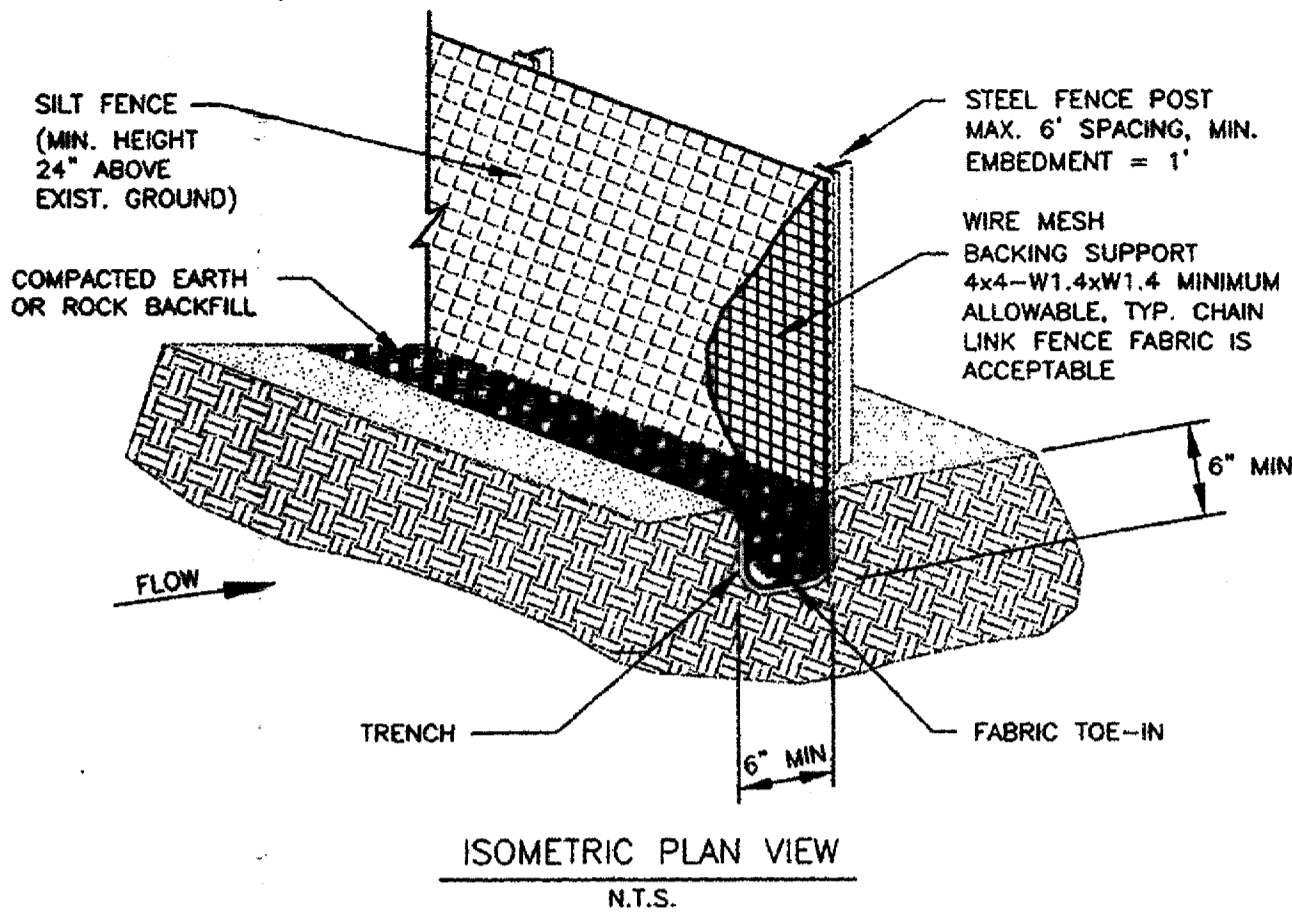
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LALP Project Number: 25271.000  
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**EROSION CONTROL PLAN**

**C-6**

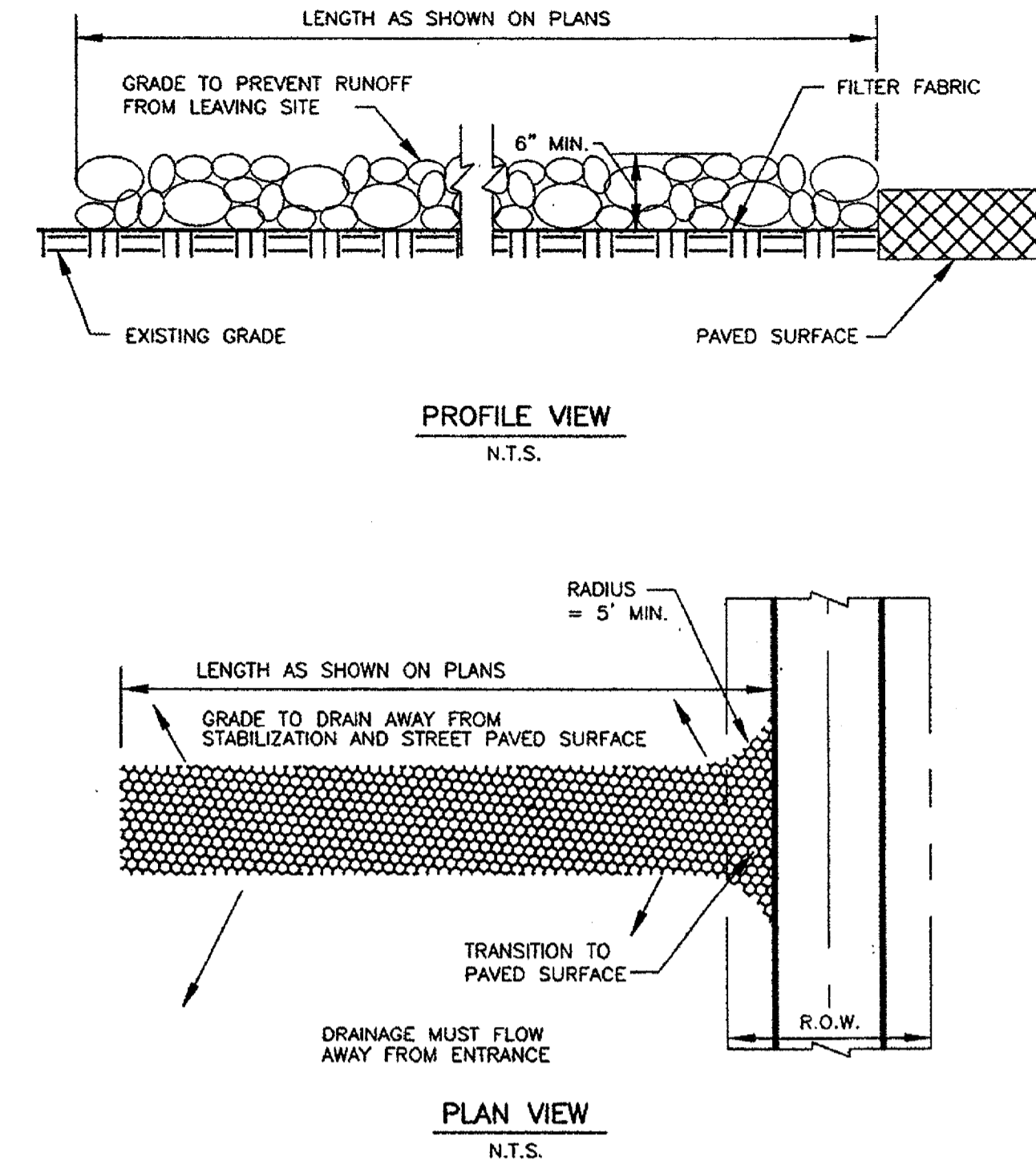
Issue Date: NOVEMBER 8, 2006  
C&B Project Number: 293070.020

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**SILT FENCE GENERAL NOTES:**

1. STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (E.G. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
3. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IN TURN IS ATTACHED TO THE STEEL FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
5. INSPECTION SHALL BE MADE EVERY TWO WEEKS AND AFTER EACH 1/2" RAINFALL. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
6. SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.



**STABILIZED CONSTRUCTION ENTRANCE GENERAL NOTES:**

1. STONE SHALL BE 3 TO 5 INCH DIAMETER CRUSHED ROCK OR ACCEPTABLE CRUSHED PORTLAND CEMENT CONCRETE.
2. LENGTH SHALL BE SHOWN ON PLANS, WITH A MINIMUM LENGTH OF 30 FEET FOR LOTS WHICH ARE LESS THAN 150 FEET FROM EDGE OF PAVEMENT. THE MINIMUM DEPTH IN ALL OTHER CASES SHALL BE 50 FEET.
3. THE THICKNESS SHALL NOT BE LESS THAN 6 INCHES.
4. THE WIDTH SHALL BE NO LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
5. WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE STREET AND THE STABILIZED ENTRANCE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.
6. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED SURFACES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PAVED SURFACES MUST BE REMOVED IMMEDIATELY.
7. THE ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.

**SILT FENCE**

DATE: JAN. '98  
STANDARD DRAWING NO. 1020A

**SILT FENCE**

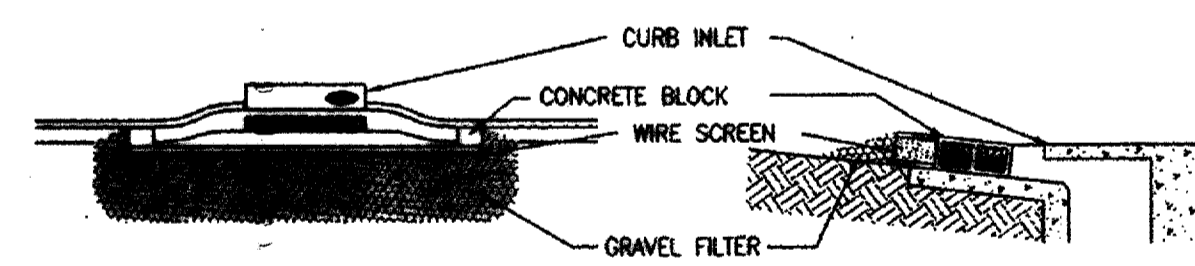
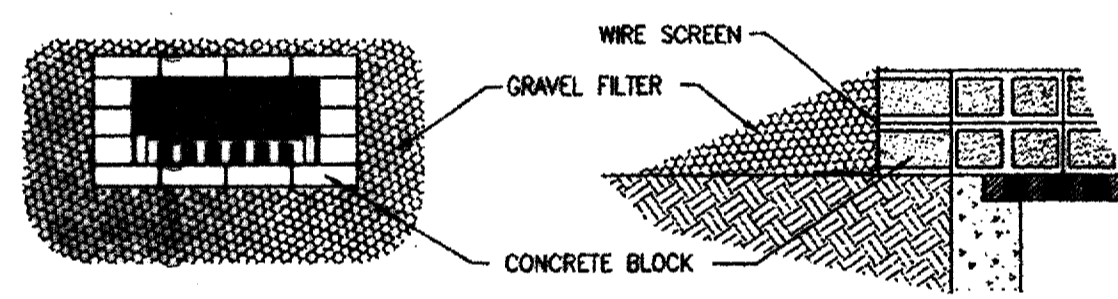
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**STABILIZED CONSTRUCTION ENTRANCE**

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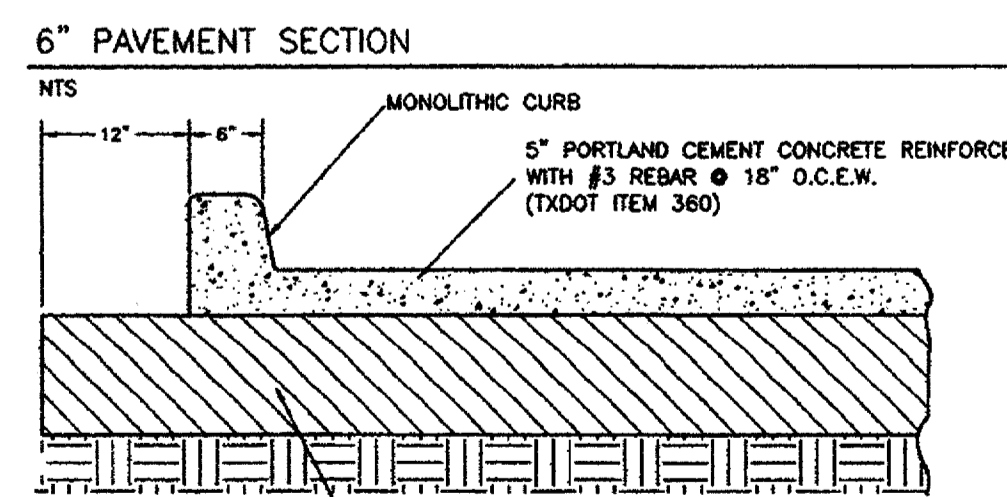
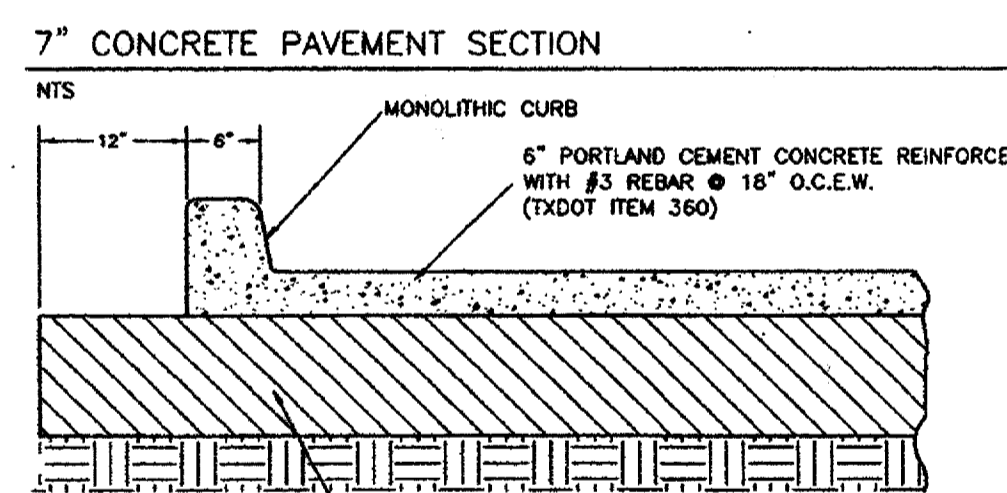
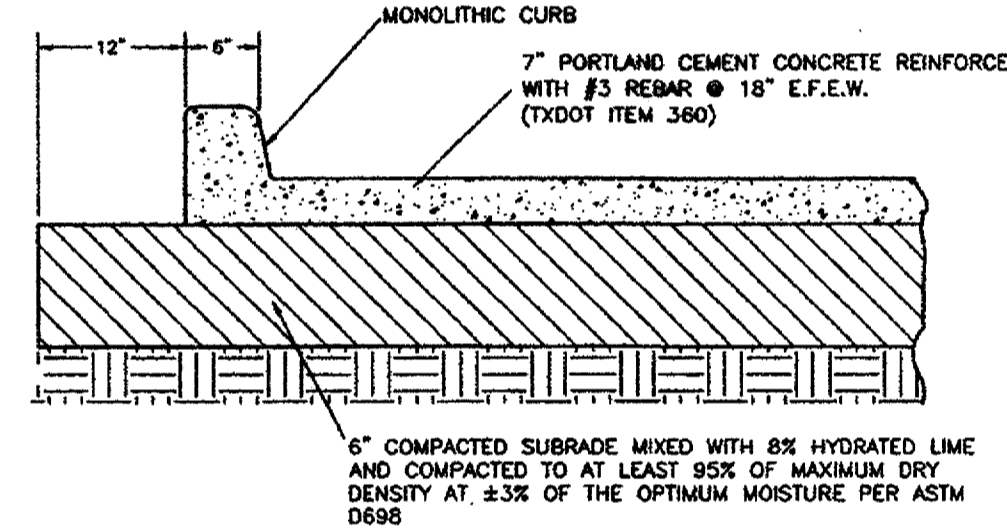
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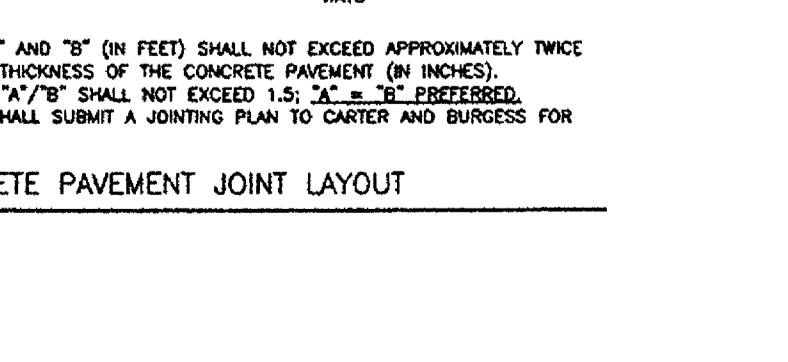
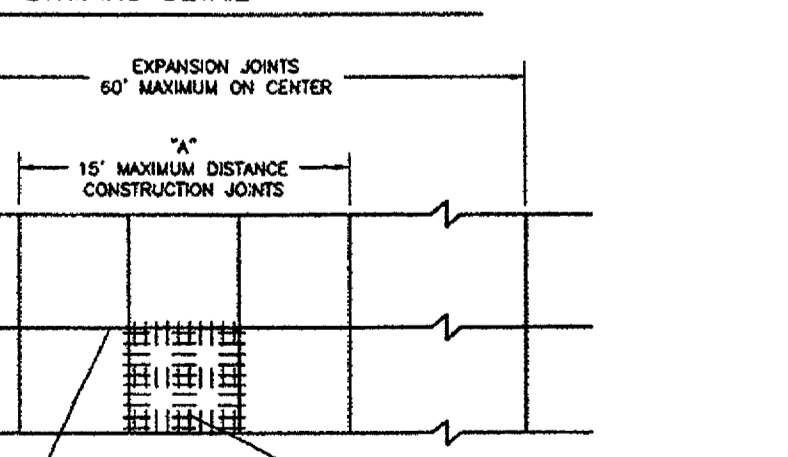
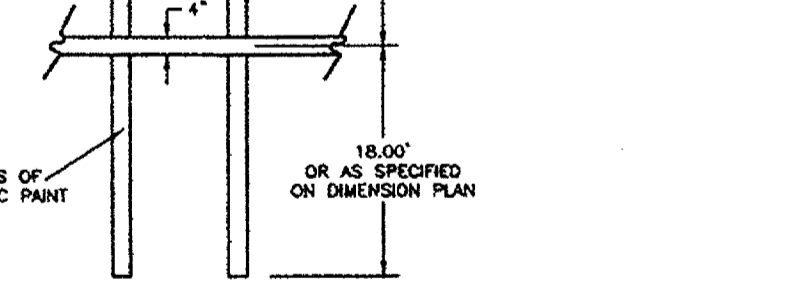
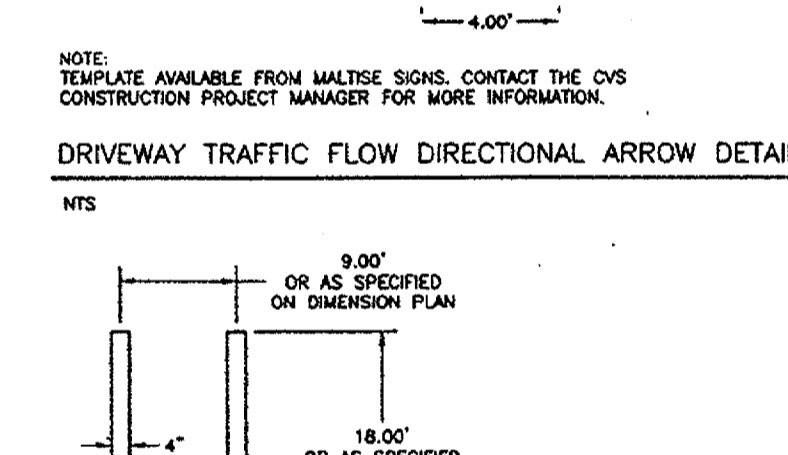
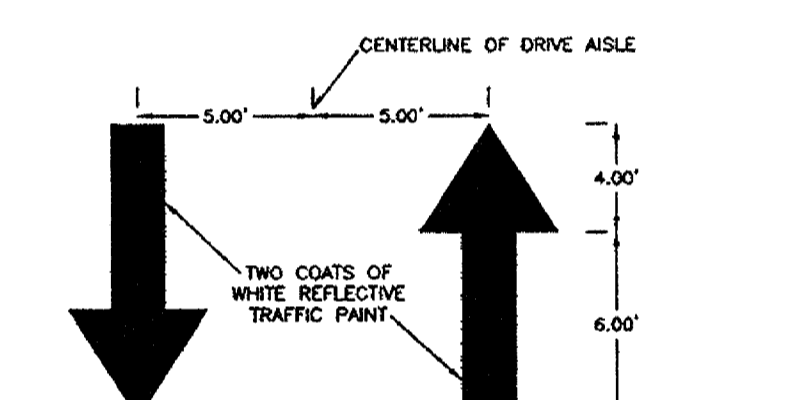
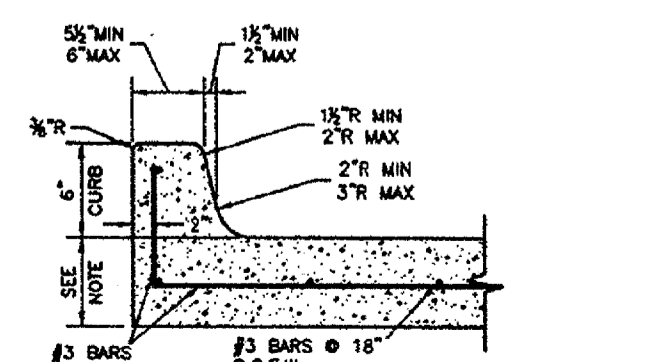
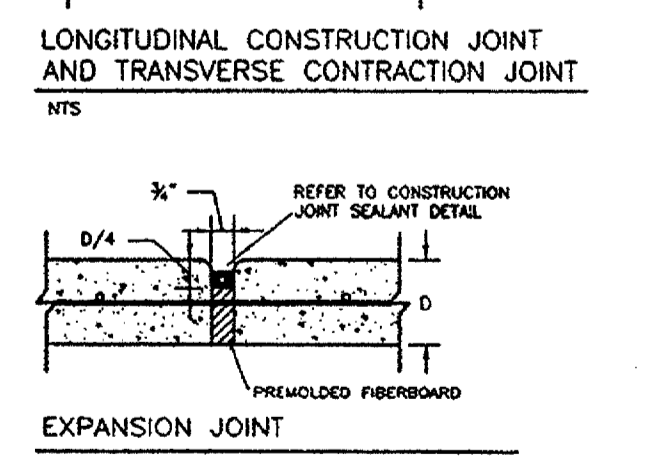
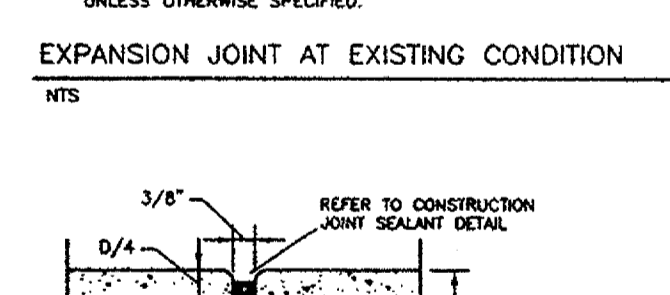
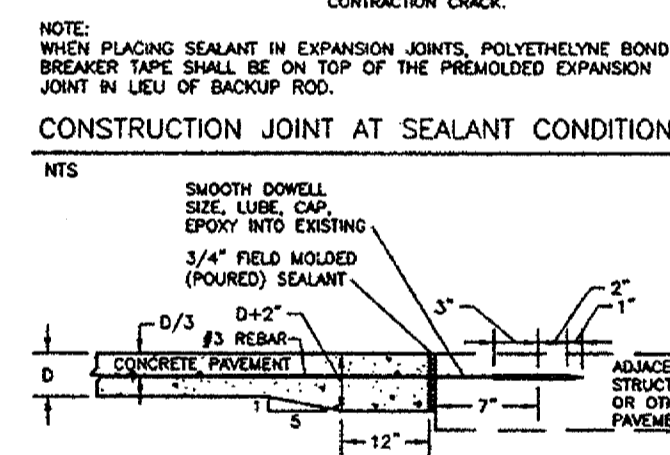
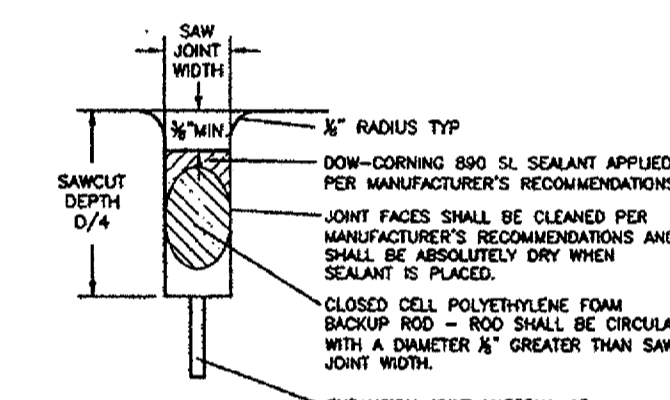


**INLET PROTECTION BLOCK AND GRAVEL**

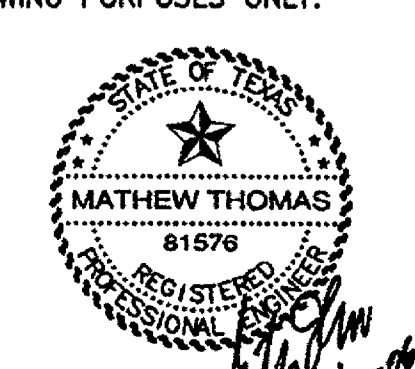
DATE: JAN. '98  
STANDARD DRAWING NO. 1130



NOTE: PAVEMENT SECTION THICKNESSES AND COMPACTION RATINGS SHOWN ARE PER THE TERRACON CONSULTANTS, INC. REPORT NO.94085036, DATED FEBRUARY 16, 2006.

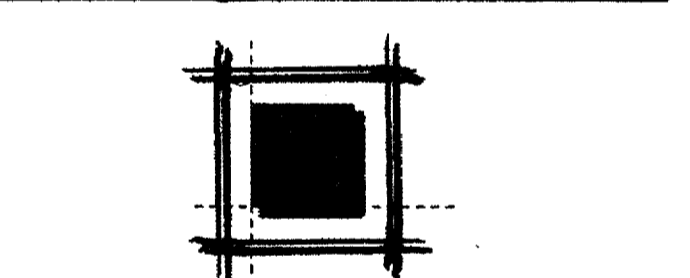


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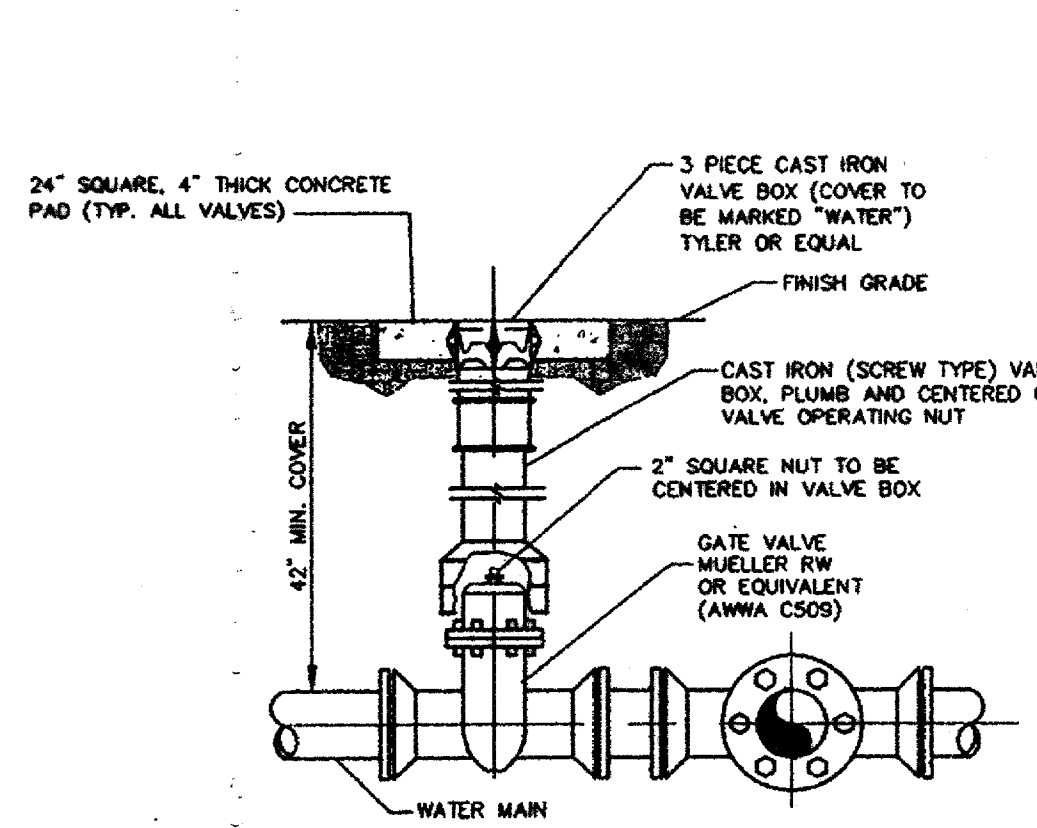
**LEVINSON ASSOCIATES, L.P.**  
6117 Richmond Ave., Suite 200 Houston, Texas 77057  
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ARCHITECTURE PLANNING INTERIOR DESIGN

REVISIONS	REV. BY:
CITY SUBMITTAL	4/28/06 RAL
CITY REVIEW COMMENTS	5/19/06 GRM

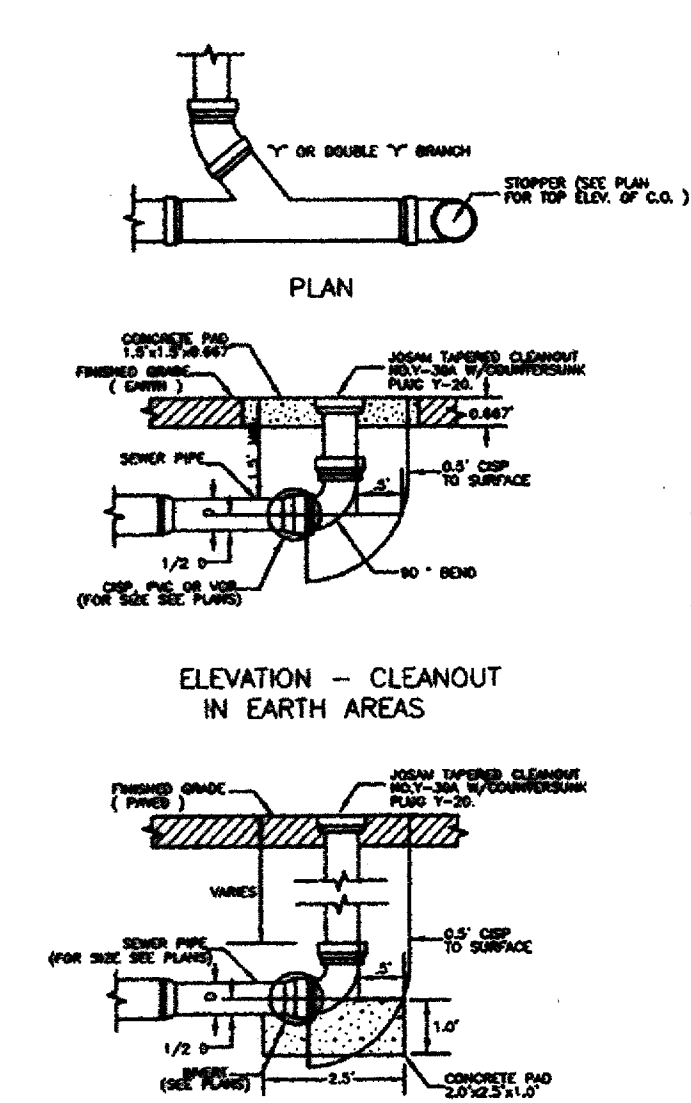
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Consultants in Planning, Engineering, Architecture, Construction Management, and Related Services  
**CARTER & BURGESS, INC.**  
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LALP Project Number: 25271.000  
Issued For: AS-BUILT  
**DETAILS**  
**C-8**  
Issue Date: NOVEMBER 8, 2006  
C&B Project Number: 293070.020

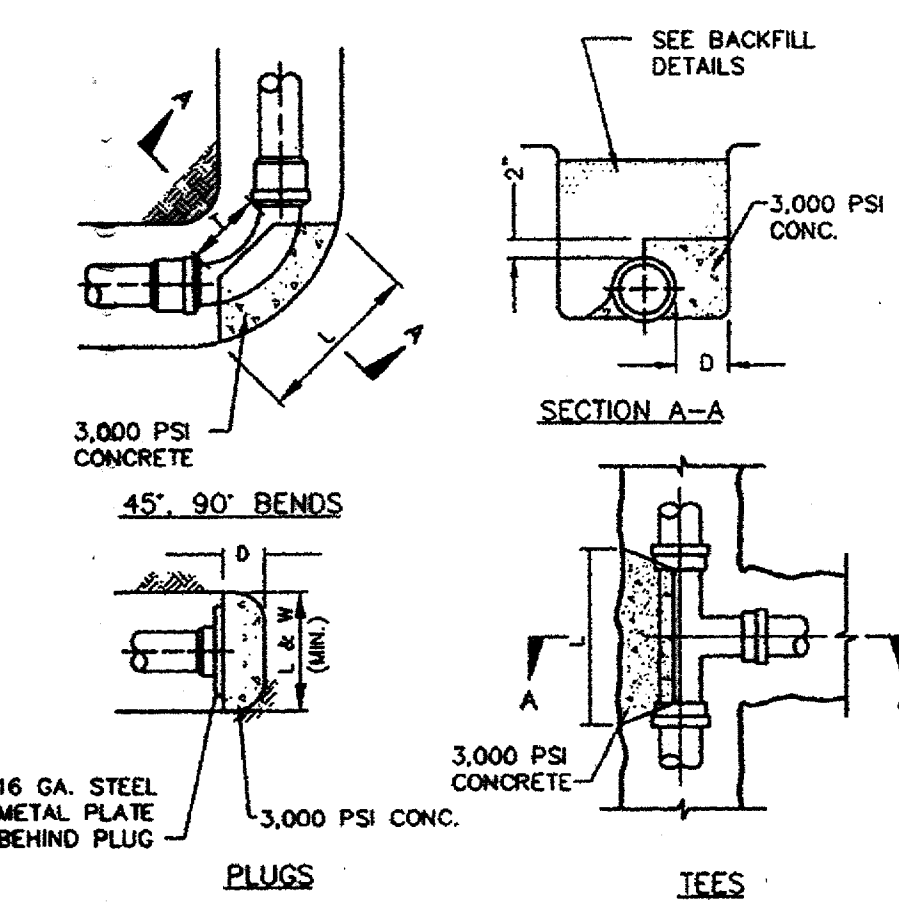
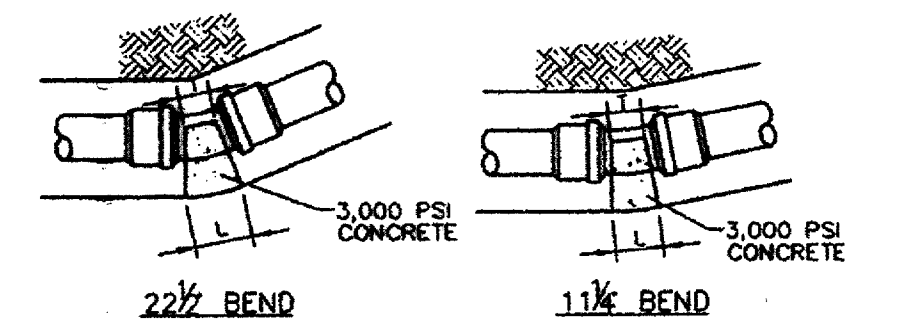
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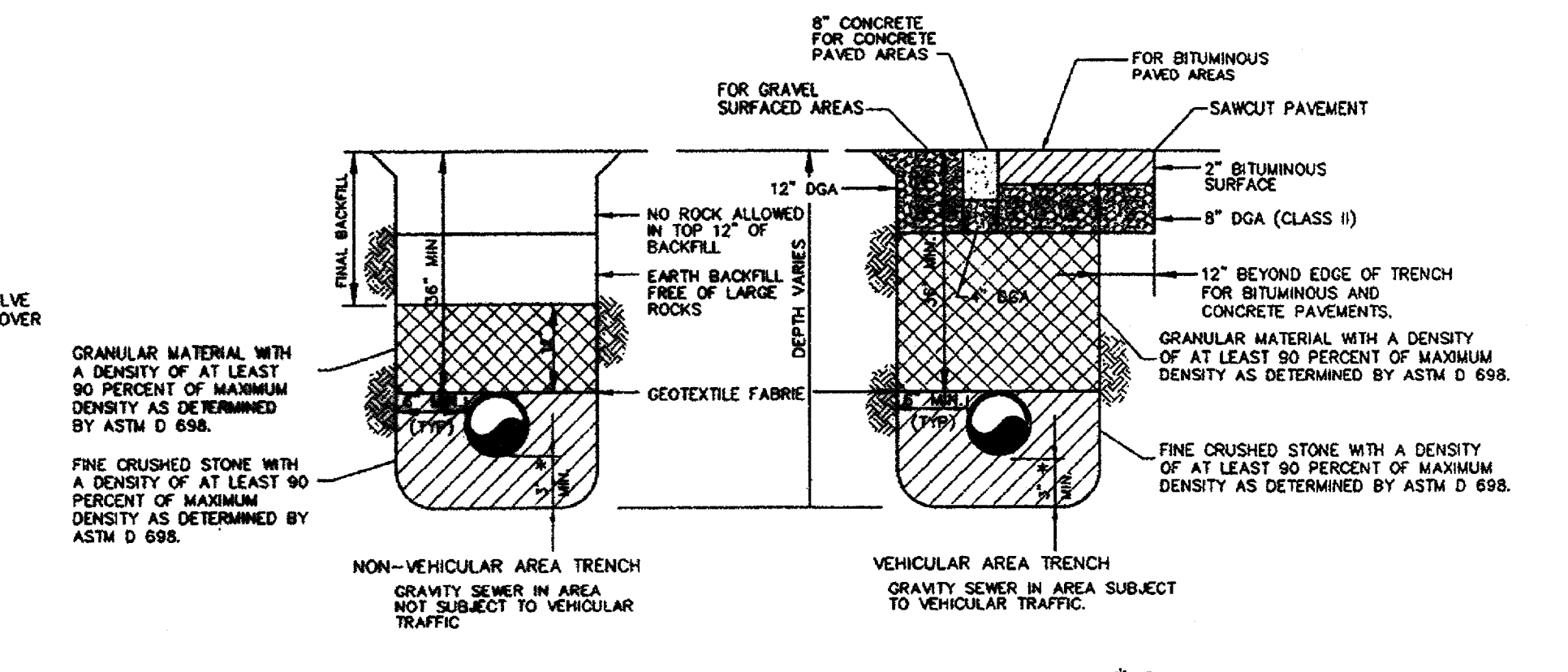
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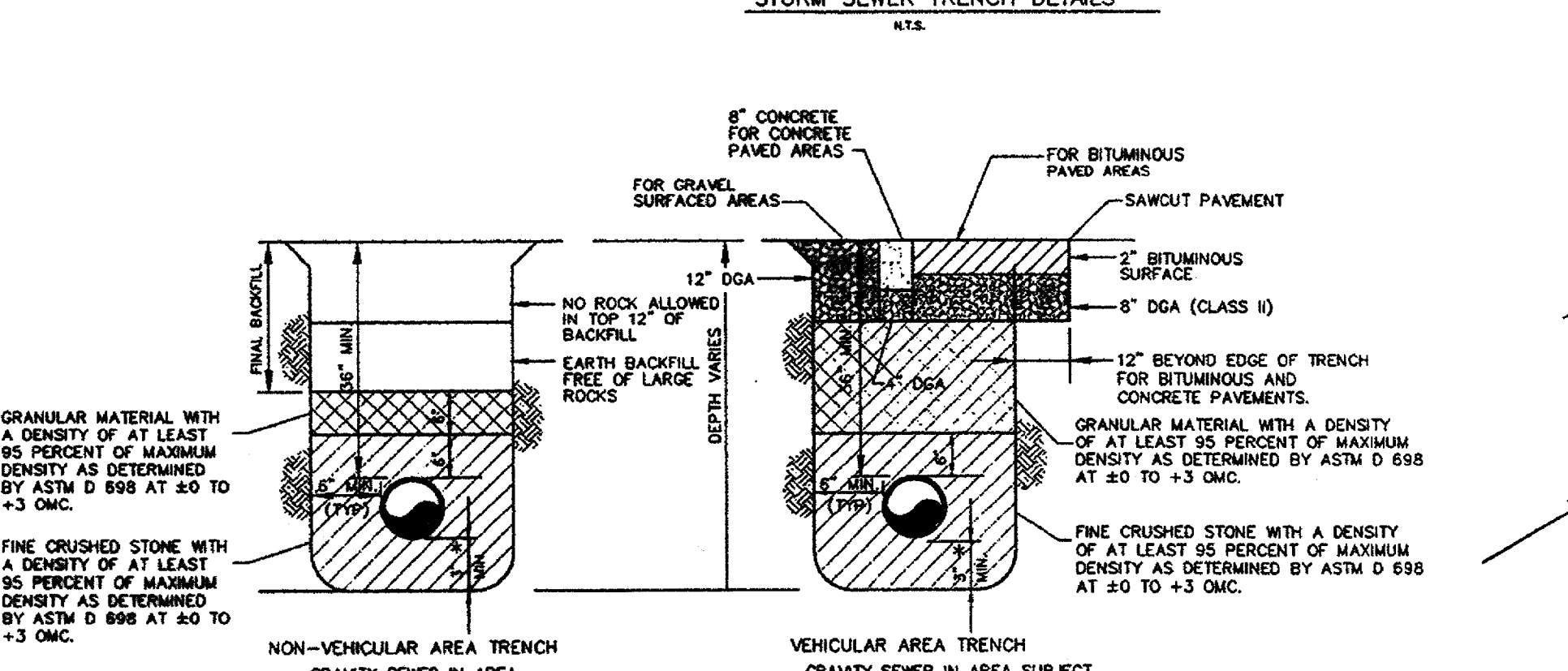
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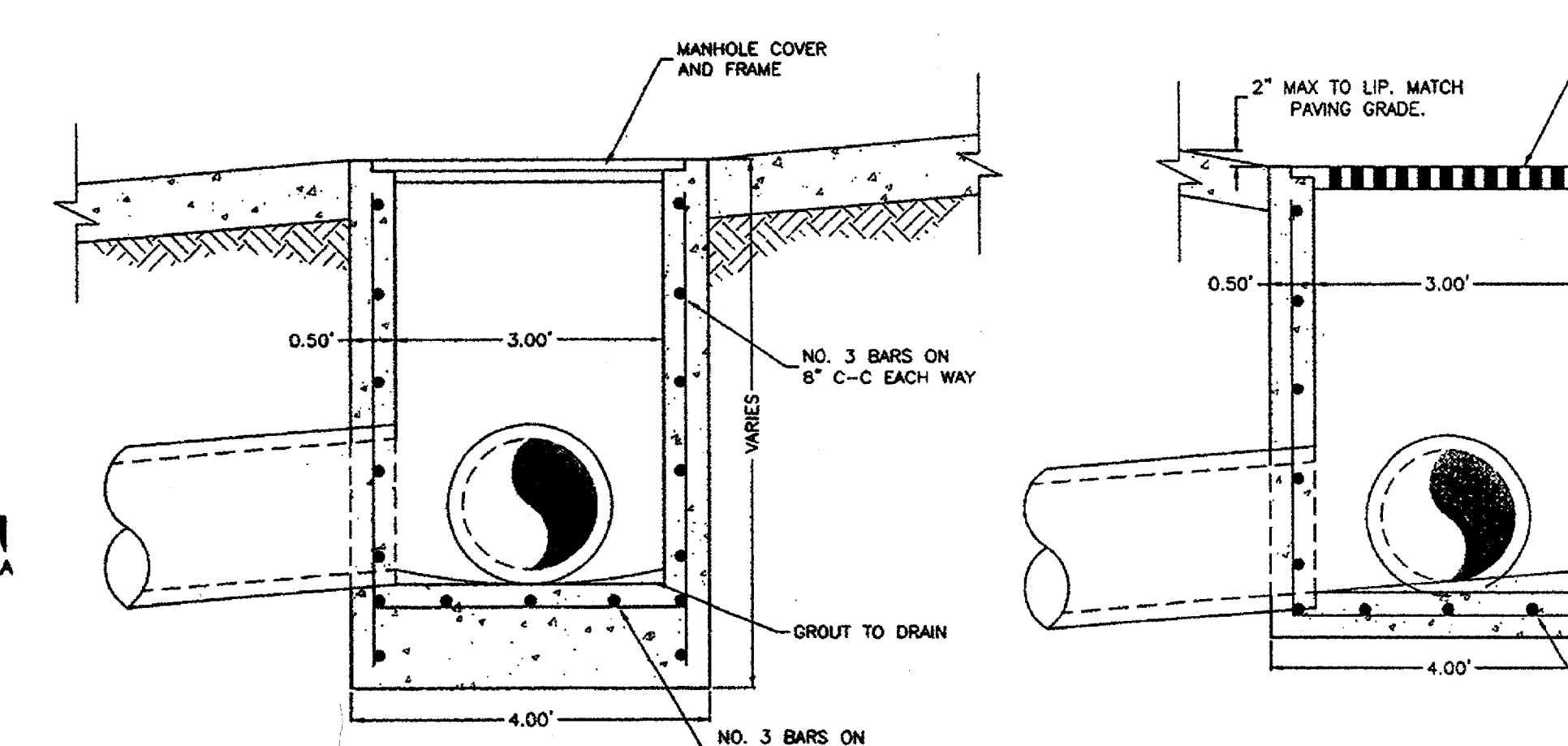
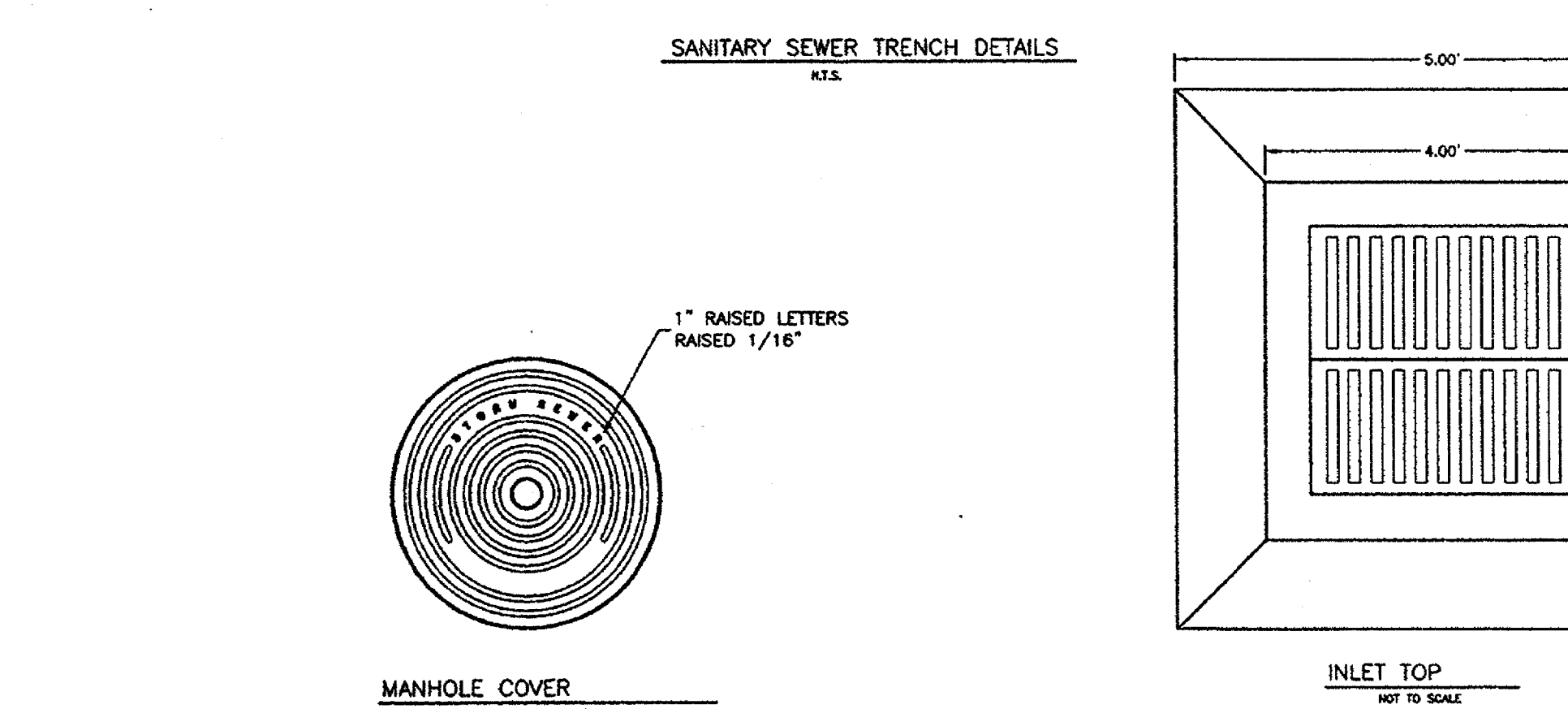
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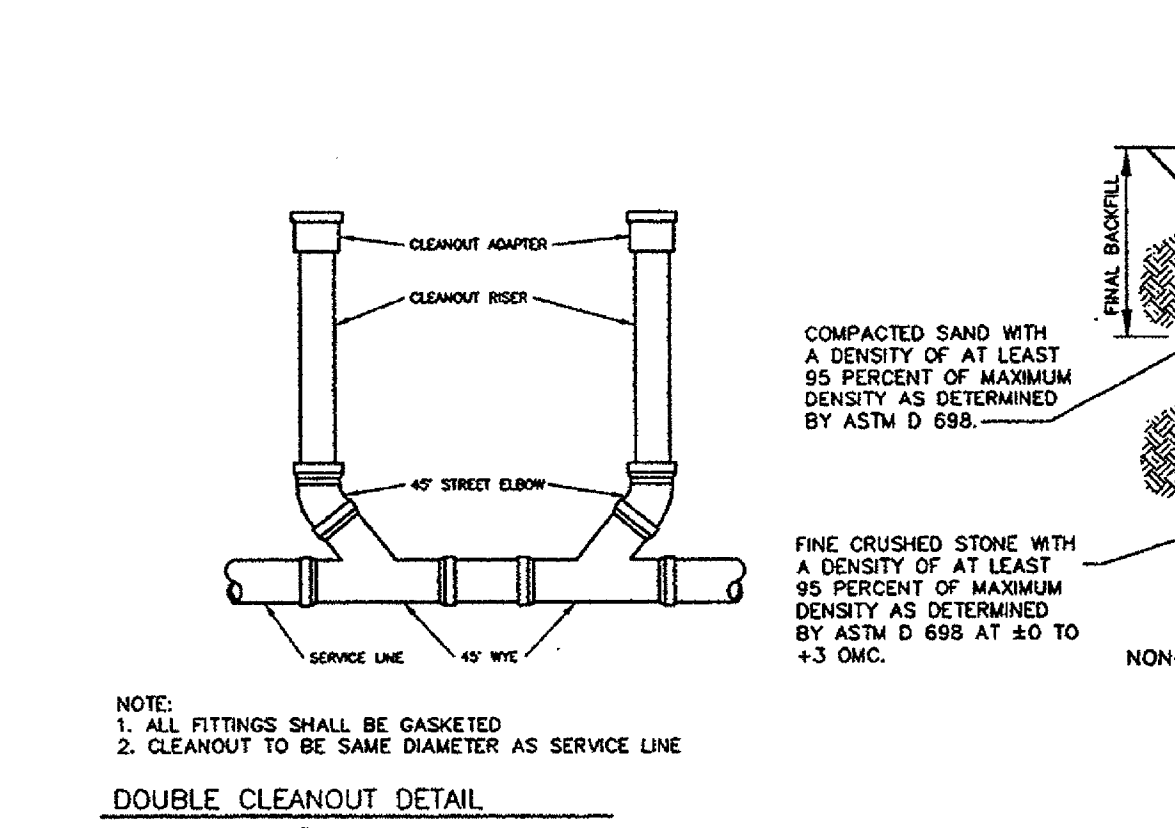
1. DEPTH OF BACKFILL FOR SDR 35 PVC PIPE SHALL NOT EXCEED 15 FEET.
2. TRENCHES SHALL BE SHORED, SLOPED, OR SHIELDED AS NECESSARY TO PROTECT WORKERS AND CONFORM TO OSHA REGULATIONS.
3. CLASS B+ EMBEDMENT.



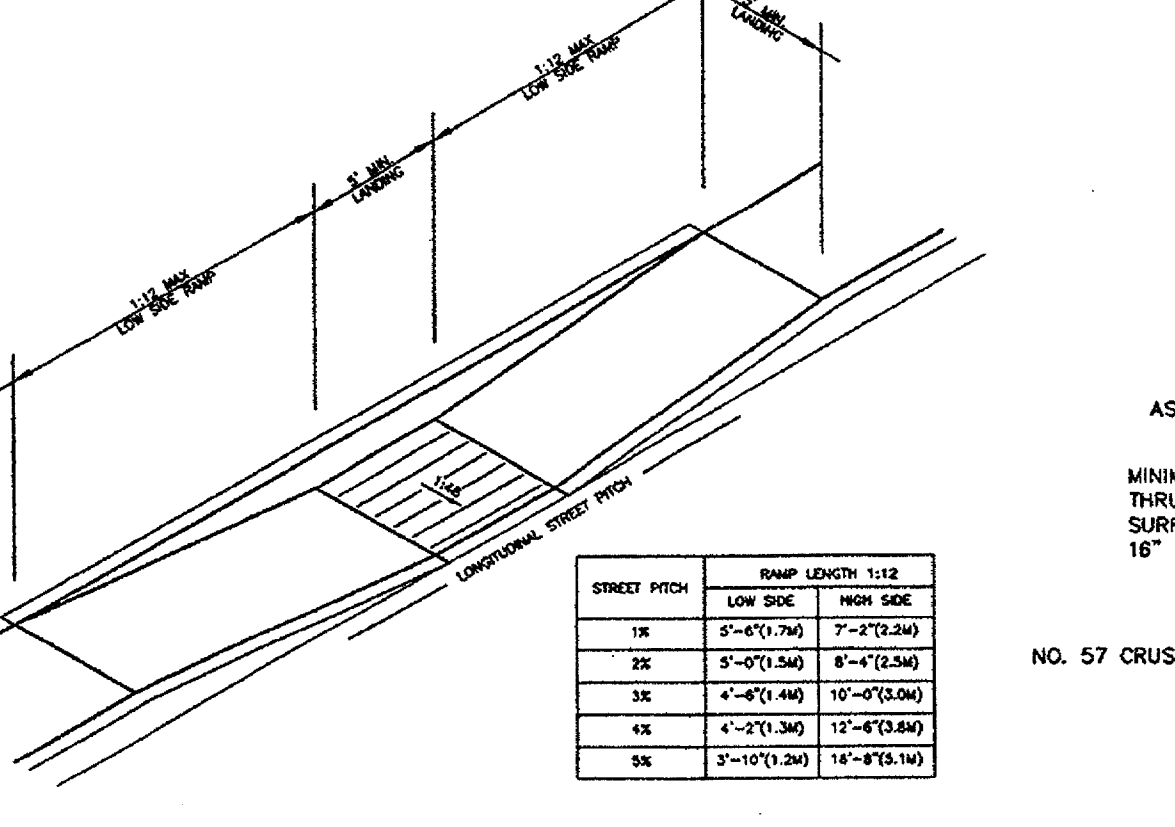
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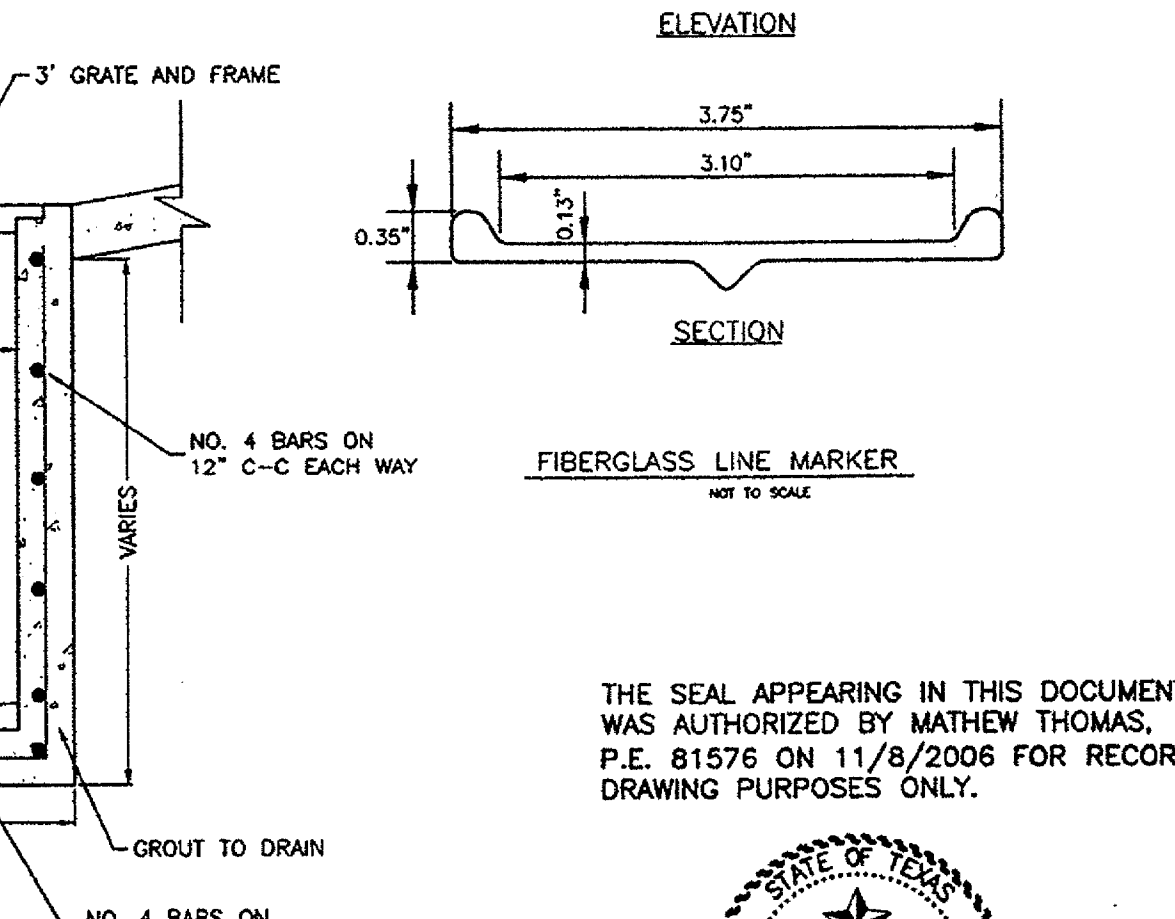
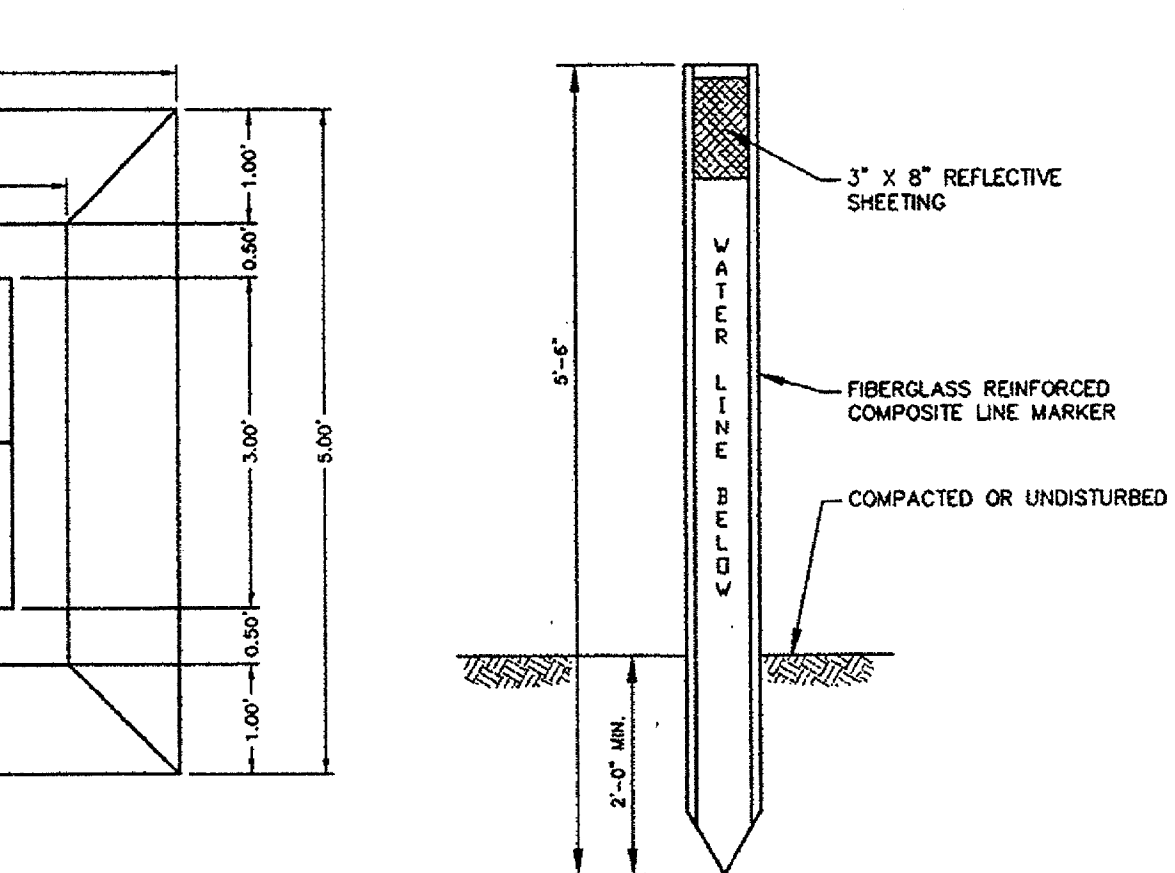
STANDARD 4" STORM DRAIN MANHOLE  
NOT TO SCALE



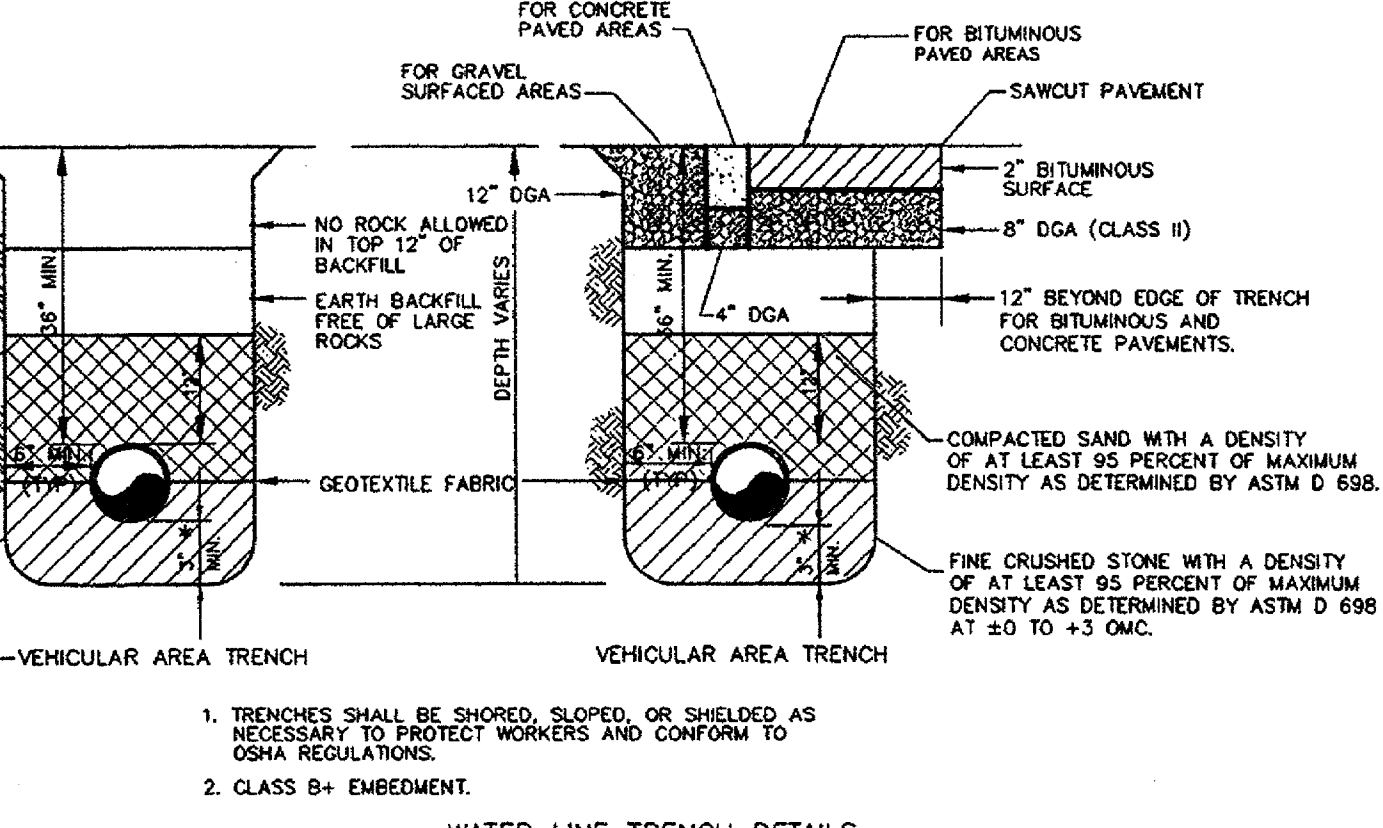
- NOTE:  
1. ALL FITTINGS SHALL BE GASKETED  
2. CLEANOUT TO BE SAME DIAMETER AS SERVICE LINE



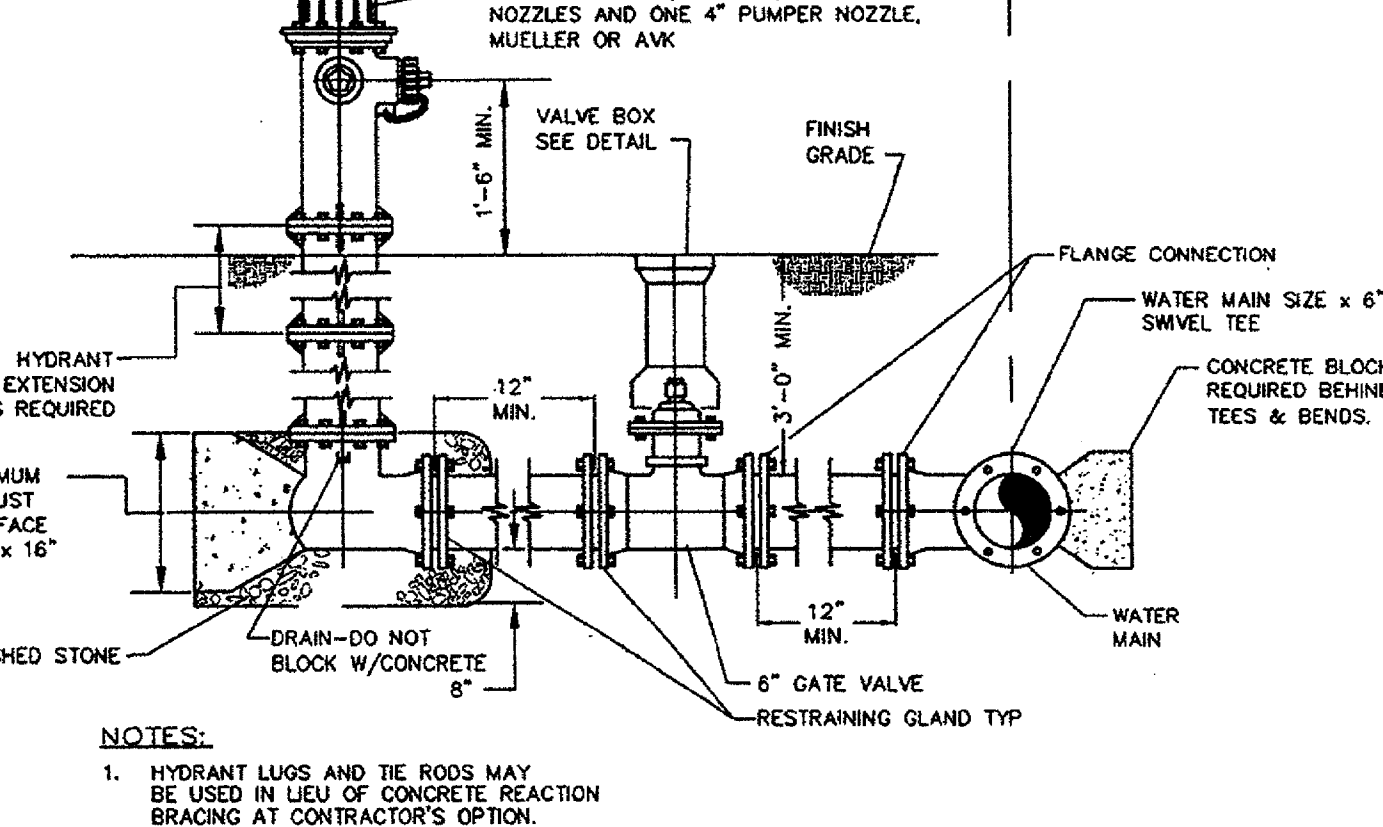
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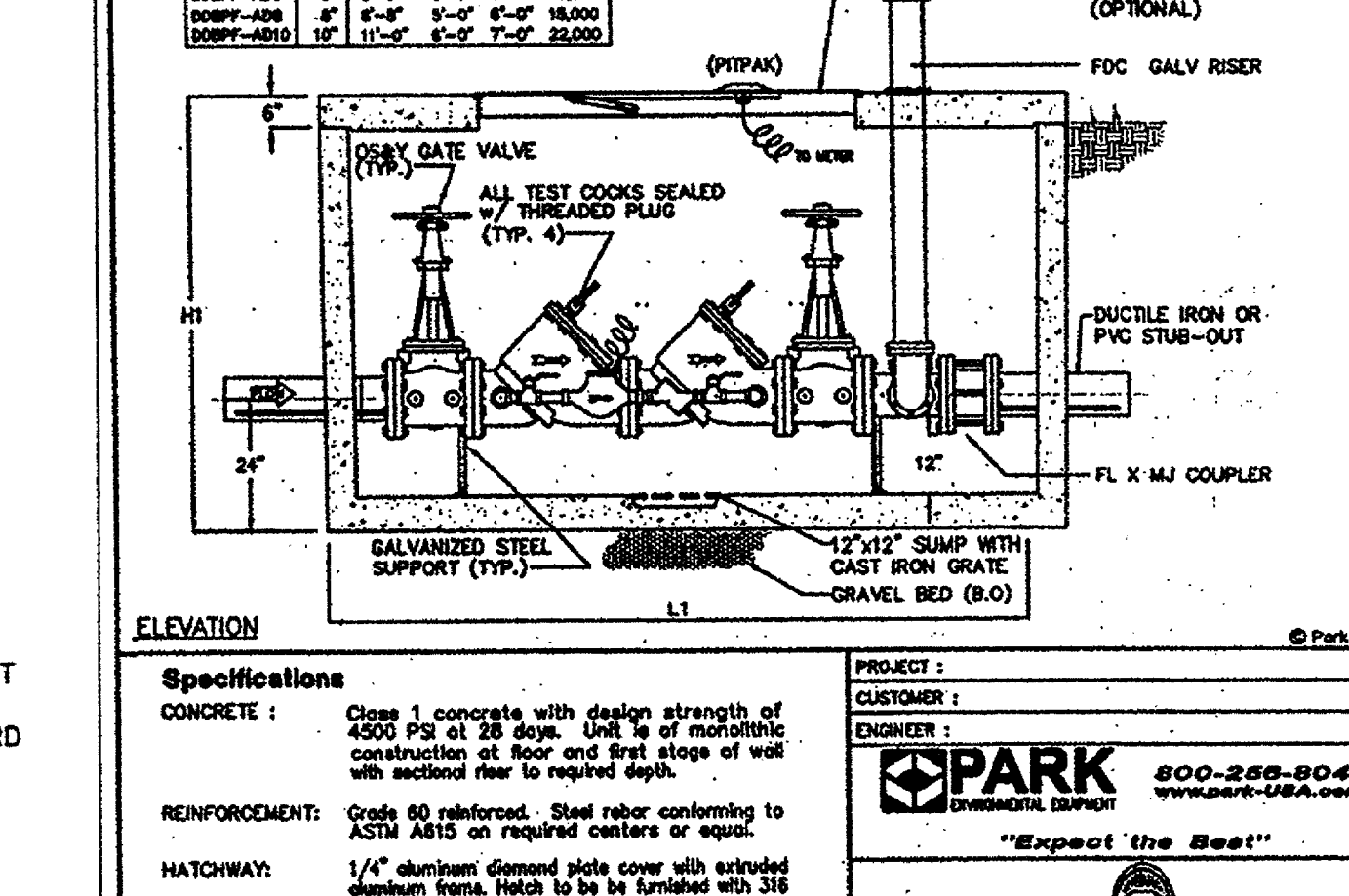
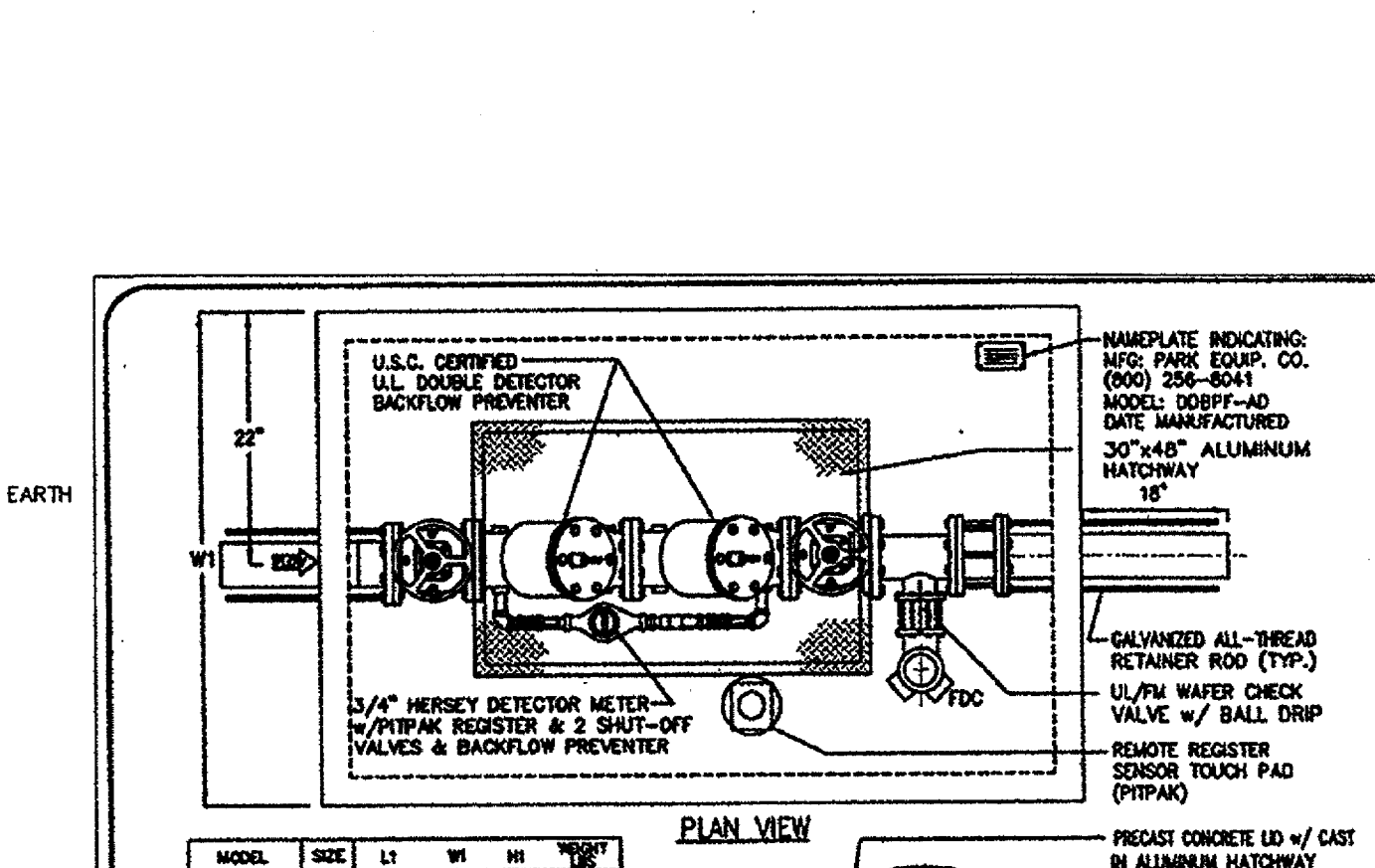
STANDARD 4" GRATE INLET  
NOT TO SCALE



1. TRENCHES SHALL BE SHORED, SLOPED, OR SHIELDED AS NECESSARY TO PROTECT WORKERS AND CONFORM TO OSHA REGULATIONS.
2. CLASS B+ EMBEDMENT.



- NOTES:  
1. HYDRANT LUGS AND THE ROOS MAY BE USED IN LIEU OF CONCRETE REACTION BRACING AT CONTRACTOR'S OPTION.  
2. PAINT HYDRANT IN ACCORDANCE WITH TOWN OF ADDISON SPECS.



STANDARD 4" STORM DRAIN MANHOLE  
NOT TO SCALE

REV.	DATE	SCALE	DWG. NO.	REV.
1	01/02	NONE	DDBPF-AD	A

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ADDISON

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ADDISON, TEXAS

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ARCHITECTURE PLANNING INTERIOR DESIGN

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