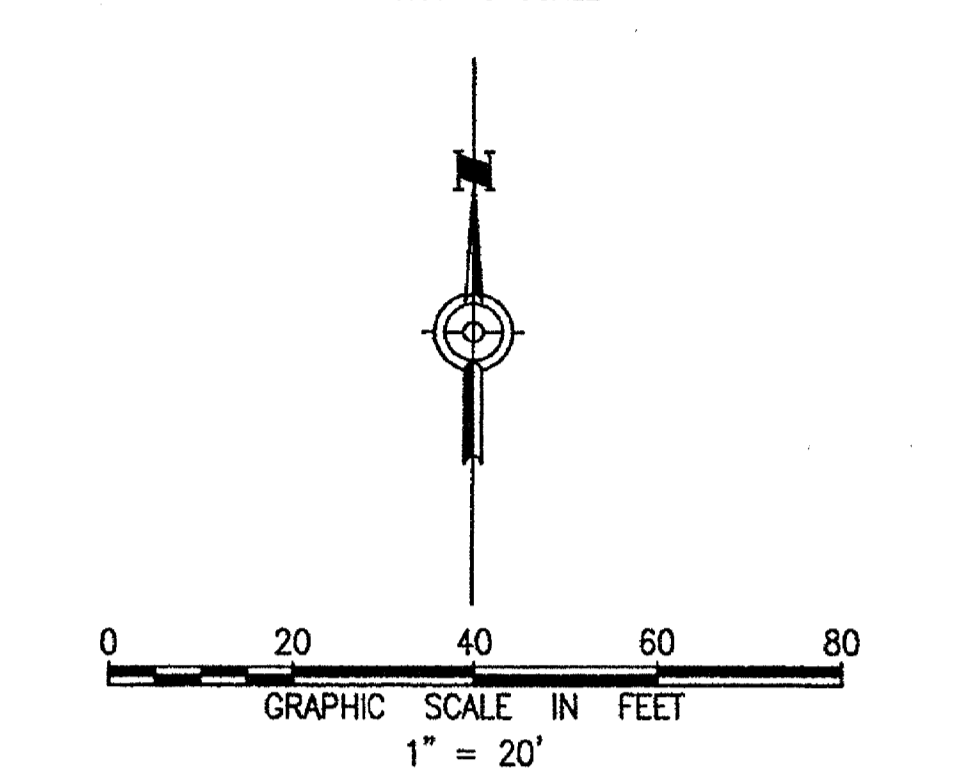
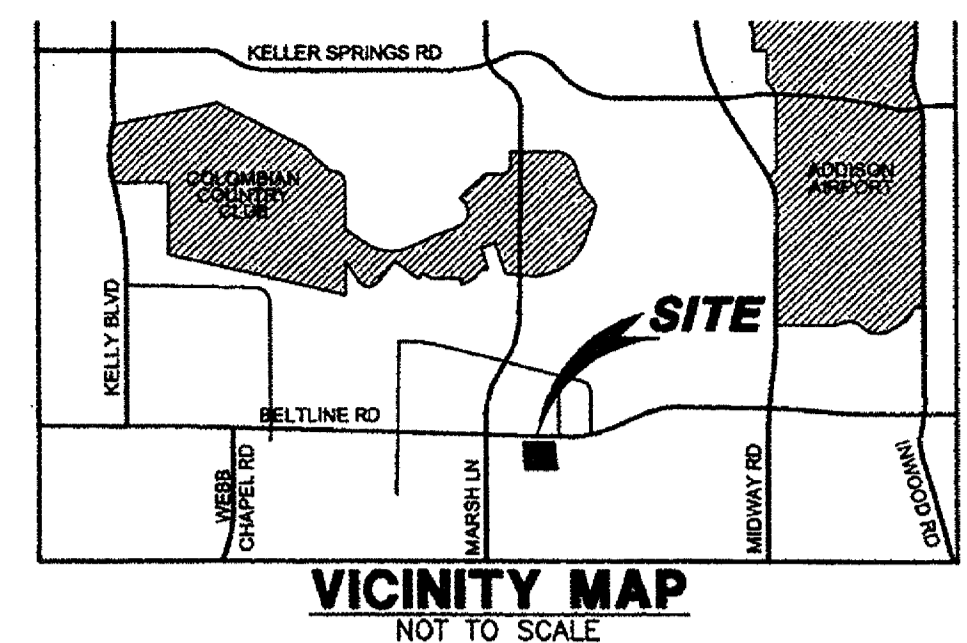
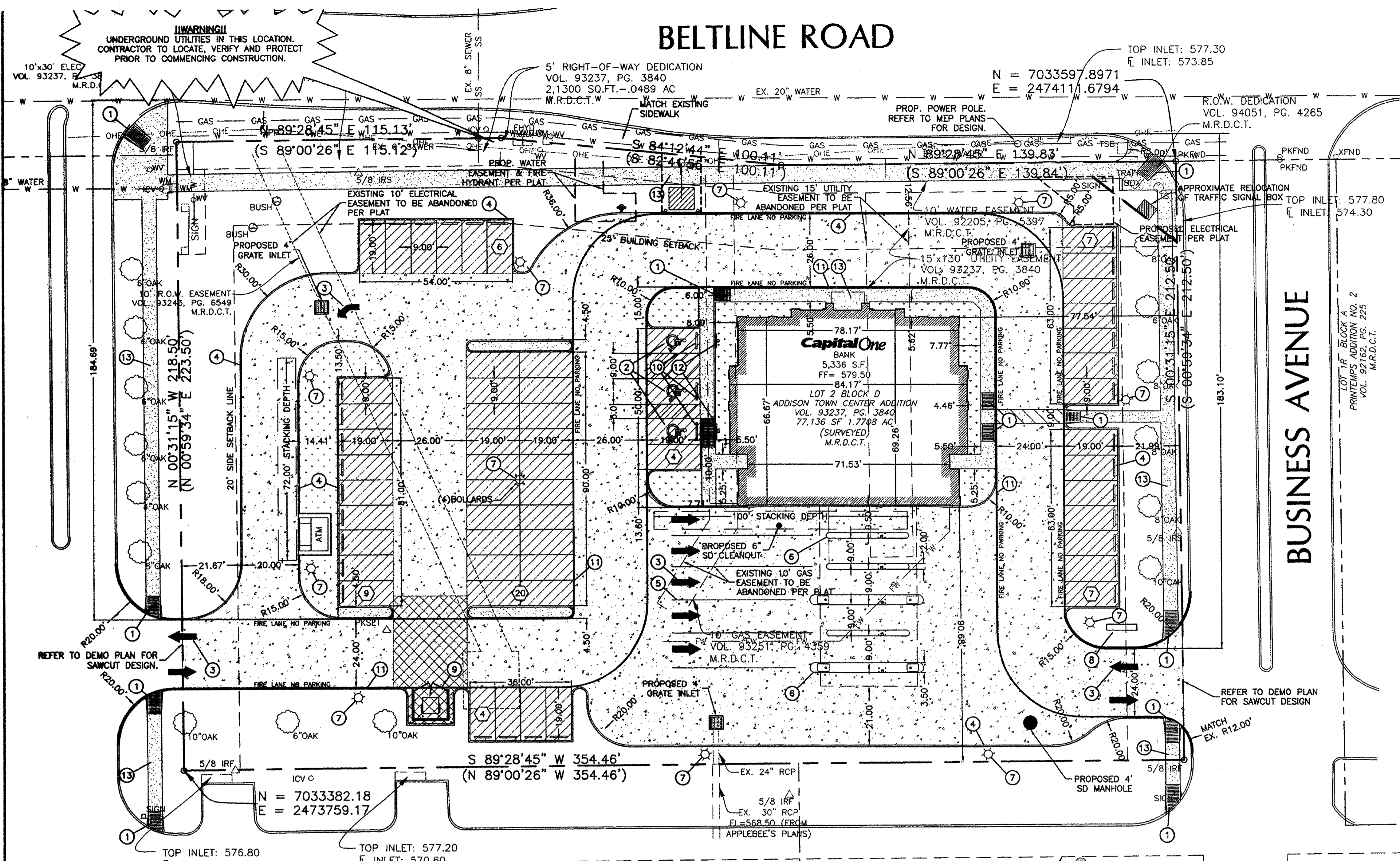


# BELTLINE ROAD



**LEGEND**

---	PROPERTY LINE
---	ADJOINED PROPERTY
---	BUILDING SETBACK LINE
---	EXISTING CURB
---	EXISTING GAS LINE
---	EXISTING TELEPHONE LINE
---	EXISTING OVER HEAD ELECTRIC
---	EXISTING WATER LINE
---	EXISTING SANITARY SEWER LINE
---	EXISTING STORM SEWER LINE
---	PROPOSED CURB AND GUTTER
---	PAINTED STRIPE (TRAFFIC YELLOW)
---	PAINTED WALKWAY (TRAFFIC YELLOW)
---	7" CONCRETE PAVING
---	6" CONCRETE PAVING
---	5" CONCRETE PAVING
---	4" CONCRETE SIDEWALK
---	INTERIOR LANDSCAPED AREA (RE: LANDSCAPE PLANS)
---	PARKING STALL COUNT
---	SITE LIGHTING (SEE ARCH. PLANS)

**SITE PLAN  
ADDISON TOWN  
CENTER**

LOT 2, BLOCK D  
BEING LOT 2, BLOCK D OF ADDISON TOWN CENTER, AN  
ADDITION TO THE TOWN OF ADDISON, DALLAS COUNTY,  
TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN  
VOLUME 93237, PAGE 3840, MAP RECORDS, DALLAS  
COUNTY, TEXAS.

**OWNER**  
TRAVIS HOLDINGS, LLC.  
9127 KING ARTHUR DR.  
DALLAS, TEXAS 75247-3607

**ENGINEER**  
CARTER AND BURGESS, INC.  
777 MAIN STREET  
FORT WORTH, TX 76102  
(817) 222-8500  
(817) 222-8550 FAX

THE SEAL APPEARING IN THIS DOCUMENT  
WAS AUTHORIZED BY MATHEW THOMAS,  
P.E. 81576 ON 11/8/2006 FOR RECORD  
DRAWING PURPOSES ONLY.

- NOTES BY SYMBOL**
- 1 BARRIER FREE RAMP. SEE DETAIL SHEET C-8.
  - 2 HANDICAP PARKING SYMBOL.
  - 3 TRAFFIC DIRECTIONAL ARROW MARKING(S).
  - 4 MONOLITHIC CURB SEE DETAIL SHEET C-8.
  - 5 DRIVE-THRU LANE STRIPING.
  - 6 6" MONOLITHIC CURB ISLANDS. (TYP.)
  - 7 LIGHT POLE FOUNDATION. REFER TO ARCHITECTURAL PLANS.
  - 8 CAPITAL ONE BANK MONUMENT SIGN. N= 7033432.2241 E= 2474091.8447
  - 9 DUMPSTER AND 6' SCREEN WALL TO BE CONSTRUCTED WITH THE SAME MATERIAL AS THE BUILDING. 20'x12'x7' CONCRETE DUMPSTER PAD.
  - 10 INSTALL (3) WHEELSTOPS.
  - 11 FIRELANE STRIPING. REFER TO CITY OF ADDISON DEVELOPMENT CODE.
  - 12 (2) VAN ACCESSIBLE HANDICAP PARKING SIGNS.
  - 13 5' ADA COMPLIANT CONCRETE SIDEWALK. SEE DETAIL SHEET C-8.

**GENERAL NOTES**

1. ALL PAVEMENT DIMENSIONS ARE TO FACE OF CURB UNLESS INDICATED OTHERWISE. ALL BUILDING DIMENSIONS ARE TO OUTSIDE FACE OF WALL UNLESS INDICATED OTHERWISE.
2. SEE ARCHITECTURAL SHEETS FOR EXACT DIMENSIONS OF BUILDING, SIDEWALK, PADS, AND DRIVE THRU ISLANDS.
3. ALL CURVE RADII SHALL BE NO LESS THAN 3'.
4. SEE ARCHITECTURAL PLANS FOR SIGHTING LIGHTING DESIGN AND DETAILS.

**BENCHMARK**

"X" FOUND CUT IN SIDEWALK LOCATED APPROXIMATELY 85.80' WEST OF THE NORTH WEST PROPERTY LINE. ELEV= 573.69

**BUILDING COORDINATES**

NE CORNER N= 7033542.3509 E= 2474034.3335	SW CORNER N= 7033475.6836 E= 2473956.1661
SE CORNER N= 7033475.6838 E= 2474034.3328	NW CORNER N= 7033542.3509 E= 2473956.1669

**LAND USE CHART**

NAME PROPOSED	CAPITAL ONE
EXISTING ZONING	PD -- PLANNED DEVELOPMENT
PROPOSED USE	BANK WITH DRIVE THRU
SITE AREA	1.78 ACRES (77,136 S.F.)
BUILDING AREA	0.122 ACRES (5,336 S.F.)
BUILDING HEIGHT	31.5' SINGLE STORY
FLOOR AREA RATIO	7.08% OF TOTAL LOT AREA
IMPERVIOUS SURFACE AREA	1.23 ACRES (53,801 S.F.)
PARKING REQUIRED	18 SPACES REQUIRED (1 PER 300 S.F.)
PARKING PROVIDED	57 SPACES PROVIDED (INCLUDING H.C.)
HANDICAP PARKING REQUIRED	1 HANDICAP SPACES
HANDICAP PARKING PROVIDED	3 HANDICAP SPACE (2 VAN ACCESSIBLE)
HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS.	

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR TO DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. CONTRACTOR WILL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR BY FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



**CAPITAL ONE  
ADDISON**

BELT LINE RD. & MARSH LN.  
ADDISON, TEXAS

**CapitalOne**

Capital One  
Corp. Design & Construction  
201 St. Charles Ave., Suite 220  
New Orleans, LA 70170

**LEVINSON  
ASSOCIATES, L.P.**  
6117 Richmond Ave., Suite 200 Houston, Texas 77057  
tel 713.787.0000 fax 713.850.8250

ARCHITECTURE PLANNING INTERIOR DESIGN

REVISIONS	DATE	REV. BY:
DRC REVIEW SUBMITTAL	2/24/06	RAL
CITY REVIEW COMMENTS	4/12/06	RAL
CITY SUBMITTAL	4/28/06	RAL
CITY REVIEW COMMENTS	5/19/06	GRM

**Carter & Burgess**

Consultants in Planning, Engineering, Architecture,  
Construction Management, and Related Services

CARTER & BURGESS, INC.  
BUILDING PROGRAMS DIVISION  
777 MAIN STREET,  
FORT WORTH, TEXAS 76102  
TEL (817) 222-8500  
FAX (817) 222-8550

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LALP Project Number: 25271.000  
Issued For: AS-BUILT

**SITE PLAN  
C-3**

Issue Date: NOVEMBER 8, 2006  
C&B Project Number: 293070.020

FILE INFO: \\hiberia\TX\_Addison\Capital One\_293070\Civil\Sheets\A-B-Build\3070-C03-SF.dwg XREFS:MT-Seat; Interim Stamp; 293070-C03OR; 293070-C03ST; 293070-C03TD; 293070-C03TOP; 293070-C03UT; 293070-C03MOD; 293070-C03PLOT; 293070-C03SCALE; 1:30 PLOTTED: Nov 08, 2006 10:04am BY:millie Plot SCALE: 1:30