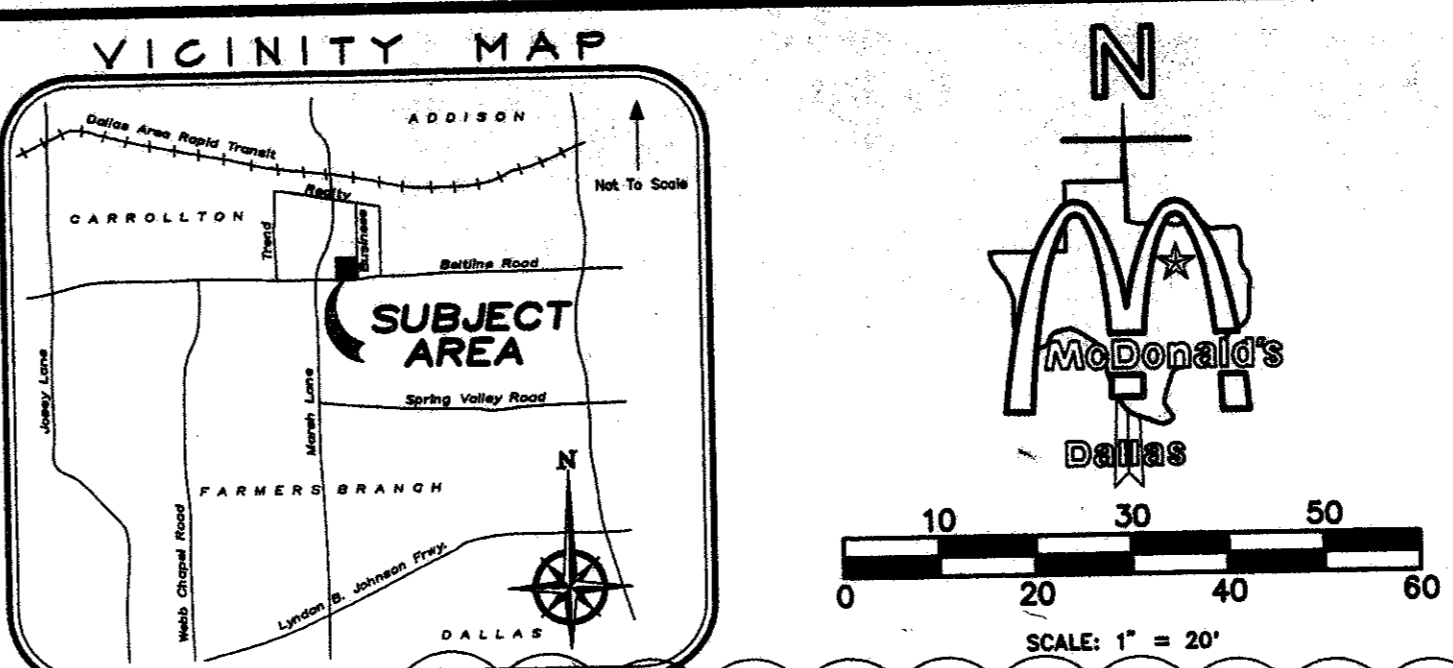


CONSTRUCTION SCHEDULE			CONSTRUCTION SCHEDULE			CONSTRUCTION SCHEDULE		
MARK	REF.	SHEET	MARK	REF.	SHEET	MARK	REF.	SHEET
1	5	SD-5	11	-	-	21	-	-
2	6	SD-5	12	-	-	22	6	SD-5
3	-	-	13	4	SD-3	23	-	-
4	-	-	14	-	-	24	-	-
5	-	-	15	-	-	25	-	-
6	-	-	16	3	SD-2	26	-	-
7	-	-	17	B	AZ	27	-	-
8	-	-	18	-	-	28	-	-
9	-	-	19	-	-	29	-	-
10	5	SD-3	20	C1,3	-	30	-	-



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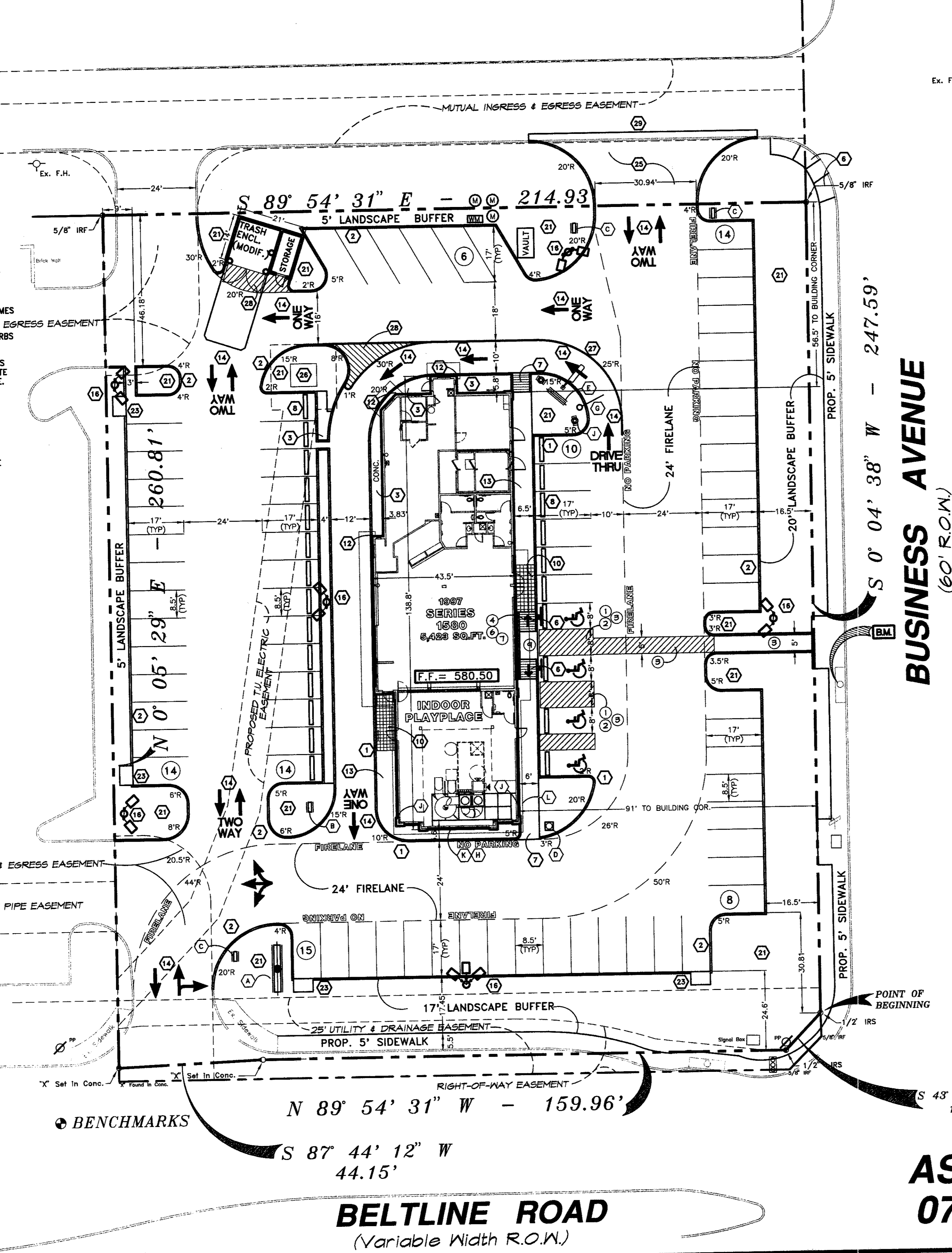
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PROPOSED LOT LIGHTS OWNER/OPERATOR EXTRA

**SIGN SCHEDULE**

NO.	MRK.	DESCRIPTION
1	A	70-25 ROAD SIGN
3	B	90-5 DIR. SIGN "THANK YOU" / "EXIT"
3	C	90-5 DIR. SIGN "WELCOME" / "ENTER"
1	D	FLAG POLE 25' HIGH MAX.
1	E	90-45 TRI-VIEW ORDER BOARD
2	F	McDONALD'S LOGO ARCHES
1	G	CLEARANCE SIGN (NON ILLUMINATED)
1	H	FASCIA SIGN (McDONALD'S)
2	I	90-10 TRI-VIEW PRE-SELL BOARD
1	K	"PLAYPLACE" FASCIA SIGN
22	L	ROOF BEAMS



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  - THE CONTRACTOR SHALL STAMP A 2-INCH "S" AND S 2-INCH "W" IN THE CURB AT THE LOCATION OF THE SEWER SERVICE AND WATER SERVICE LINES, RESPECTFULLY. AT INTERSECTIONS THAT HAVE VALLEY DRAINAGE, THE CROWN OF THE INTERSECTING G. AT INTERSECTIONS THAT HAVE VALLEY DRAINAGE, THE CROWN OF THE INTERSECTING CURB LINE UNLESS OTHERWISE NOTED.
  - TEMPORARY OR PERMANENT STREET BARRICADES SHALL REMAIN AT ALL POINTS OF I INGRESS AND EGRESS TO PREVENT PUBLIC USE UNTIL SUCH STREET RECEIVED FINAL ACCEPTANCE.
  - CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT BY THE TOWN OF ADDISON FOR WORKING WITHIN THE PUBLIC RIGHT-OF-WAY.
  - DURING THE CONSTRUCTION, THE OWNER SHALL PROVIDE A QUALIFIED GEOTECHNICAL LAB TO PERFORM MATERIALS TESTING DURING THE CONSTRUCTION OF THE REQUEST OF THE TOWN OF ADDISON.
  - THE CONTRACTOR SHALL SUBMIT MATERIAL SHEETS TO THE TOWN OF ADDISON FOR UTILITIES GREATER THAN FIVE (5) FEET IN DEPTH.
  - THE CONTRACTOR SHALL SUBMIT TO THE TOWN OF ADDISON FOR APPROVAL A TRENCH SAFETY PLAN SEALED BY A REGISTERED PROFESSIONAL ENGINEER FOR THE INSTALLATION OF APPROVAL PRIOR TO INCORPORATING MATERIALS INTO THE JOB.
  - ALL EXISTING AND PROPOSED IMPROVEMENTS (VALVE, MANHOLES, FIRE HYDRANTS, WATER METERS, ECT.) SHALL BE ADJUSTED TO FINISHED GRADE BY THE CONTRACTOR.

**LEGEND**

Light & Pole per Recomm'd. (Metal Halide Lamp at 400 WATT, 110,000 LUMENS ON 20' HGT. POLE)	H.C. SIGNAGE (PROPOSED)
TRAFFIC LIGHT (EXISTING)	SIGN (EXISTING)
FIRE HYDRANT	WATER VALVE
WATER METER (PROPOSED)	WATER METER (EXISTING)
SANITARY SEWER MANHOLE	TELEPHONE RISER
OVERHEAD ELECTRIC	UNDERGROUND ELECTRIC
UNDER GROUND WATER	UNDER GROUND TELEPHONE
PROPOSED GAS METER	UNDER GROUND GAS LINE
SANITARY SEWER	POWER POLE
POWER POLE	G.W. WIRE

**ACCESSIBILITY REQUIREMENTS**

- ACCESSIBLE PARKING SPACES SHALL BE 9' WIDE WITH A MAXIMUM SLOPE OF 2% IN ALL DIRECTIONS FOR ACCESSIBLE SERVING SPACES.
- EACH ACCESSIBLE PARKING SPACE SHALL HAVE A VERTICALLY MOUNTED (OR SUSPENDED) SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. IN INSTANCES WHERE MULTIPLE SPACES ARE INDICATED, ONE SPACE MUST HAVE AN ADDITIONAL SIGN "MAN-ACCESSIBLE" MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY. SIGNS SHALL BE LOCATED AT 60" ABOVE GROUND SURFACE.
- ALL ACCESSIBLE SERVING H.C. PARKING SPACES SHALL BE 60" WIDE MINIMUM AND 96" WIDE MINIMUM FOR VAN DESIGNATED SPACES.
- RAMPS, TYP.
  - RAMPS SHALL NOT EXCEED 1:12 (8.33%) SLOPE IN DIRECTION OF TRAVEL.
  - RAMPS EXCEEDING 6 FT. IN RUN OR 6" IN RISE SHALL HAVE HANDRAILS EACH SIDE AT BETWEEN 34" AND 38" AND EXTEND 12" BEYOND TOP AND BOTTOM OF RAMP.
  - RAMPS ALONG A CURB OR AREAS WHERE THE ADJACENT SURFACE IS NOT LANDSCAPED SHALL HAVE A CHAIR RAIL EACH SIDE AT 42" HIGH EXTENDING THE ACTUAL LENGTH OF RAMP.
  - RAMPS SHALL HAVE A ROUGH (BROOM FINISH) SURF. OR ABRASIVE TILE. COLOR OF RAMP FINISH MATERIAL (INCLUDING CONCRETE) SHALL BE OF LIGHT AND REFLECTIVE VALUE TO DISTINGUISH IT FROM ADJACENT SURFACES.
  - CURB RAMPS REQUIRE EITHER:
    - HANDRAILS OR CHAIRRAILS, OR
    - FLARED SIDES W/ A 1:10 MAXIMUM SLOPE, OR
    - NON-WALKING SURFACES @ EACH SIDE
  - BOTTOM LANDING FOR RAMPS SERVING RECD. EXITS SHALL BE 6'-0" LONG IN DIRECTION OF EXIT TRAVEL.

**AS-BUILT**  
**07/28/98**

**GENERAL NOTES:**

- McDONALD'S ROAD SIGN AND BASE ARE BY THE SIGN CONTRACTOR. CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR.
- BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.
- 3/4" EMPTY CONDUIT TO LOCATIONS SHOWN AT THE LOT PERIMETER FOR LOT LIGHTING IS BY THE GENERAL CONTRACTOR. LIGHTING FIXTURES, BASES, POLES, CONDUIT, AND WIRING ARE BY THE OWNER/OPERATOR.
- BASES FOR FLAGPOLES ARE BY THE GENERAL CONTRACTOR. ANCHOR BOLTS ARE BY THE FLAGPOLE SUPPLIER.
- PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.
- GENERAL CONTRACTOR MUST PROVIDE EXACT "AS BUILT" INFORMATION UPON COMPLETION.
- ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUND BREAK.
- FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT.
- ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 1" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.
- LOT LIGHTING CONCRETE FOOTINGS TO CONFORM WITH THE SOILS REPORT RECOMMENDATIONS FOR THIS PARTICULAR SITE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL REQUEST (IN WRITING) A COPY OF THE REVIEW REPORT PREPARED BY THE TEXAS DEPARTMENT OF LICENSING & REGULATION FROM THE OWNER OR ARCHITECT. THIS REVIEW REPORT MAY CONTAIN COMMENTS OR REQUIREMENTS THAT WILL ALTER SITE LAYOUT/DESIGN REGARDING ISSUES RELATED TO HANDICAP ACCESSIBILITY.
- IT IS STRONGLY RECOMMENDED THAT NO CONTRACTUAL AGREEMENTS OF ANY KIND BE SIGNED PRIOR TO RECEIVING AND THOROUGHLY REVIEWING ALL APPROVALS FROM ALL OF THE REGULATORY AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT.
- DUE TO THE NATURE OF THE WORK, ALL DIMENSIONS SHOWN SHALL BE CONSIDERED APPROXIMATE. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION OR INSTALLATION OF ANY ITEM. FAILURE TO ADHERE TO THIS PROCEDURE SHALL PLACE FULL RESPONSIBILITY FOR ANY ERRORS DIRECTLY UPON THE CONTRACTOR.

**PAYING SPECIFICATION**

VERIFY W/MCDONALD'S: ASPHALT:  CONCRETE:

CONTRACTOR TO BID: ASPHALT:  CONCRETE:

**NOTE: ALL PAVING/SUBGRADE SPECS TO COMPLY W/ SOIL TEST. CONCRETE:**

- TOTAL THICKNESS FOR PARKING AREA.
- TOTAL THICKNESS FOR DRIVES.
- TRASH ENCLOSURE PAD
- DRIVE THRU PAD
- IN CONC. SURF. 5% AIR ENTRAINED W/ #3 REBAR @ CENTER OF SLAB ON CHAIRS 18" O.C.E.W. OVER COMPACTED SUBGRADE

CONCRETE IN PARKING AREAS SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI.

CONTROL JOINTS SHALL BE PLACED 15' CENTER TO CENTER

**SCAFFRY:** AS PER GEOTECHNICAL REPORT BY HBC ENGINEERING, INC. DATED JUNE 1997 No. 42-1606-97

**NOTE:** McDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF McDONALD'S. OTHERWISE, G.C. WILL BE CHARGED.

**LOT LIGHTING RECOMMENDATION**

SECURITY LIGHTING TO PROVIDE LIGHTING RECOMMENDATION, BASED ON LIGHT FIXTURE AND POLE HGT. SPECIFIED BY DEVELOPER.

STEVE FRIEDMAN  
3477 W. TOLUAY AVENUE / LINCOLNWOOD, ILLINOIS 60645  
1-800-LIGHT-IT

**NOTE: ELECTRICAL CONTRACTOR TO CIRCUIT LOT LIGHTING AS REQUIRED.**

PARKING PROVIDED	
(REQUIRED) PER 70 SQ. FT. OF BLDG. FLOOR SPACE 5,423 (70 = 79 SPACES)	
TOTAL SPACES	72 SPACES 8.5' X 17' @ 90'
81	3 SPACES 8.5' X 17' @ 90' (HANDICAP)
	6 SPACES 8.5' X 17' @ 60'

BUILDING: 1997 SERIES 1580 W/ INDOOR PLAYPLACE (5,500 SQ.FT.)

UTILITY INFORMATION		
	SIZE	TYPE
SANITARY SEWER	12" & 24"	@ BELTLINE ROW, 12" @ BUSINESS AVE.
WATER	12"	WATER IN BUSINESS AVE. ROW
STORM SEWER	54" W/ A 21" & 24"	SERV. LAT. IN BUSINESS AVE
ELECTRIC	OHE	ALONG BELTLINE RD.
GAS	LINE	IN FRNT. LANDSCAPE AREA BELTLINE RD.

**SURVEY INFORMATION**

PREPARED BY: **RINGLEY & ASSOCIATES, INC.** LEGAL DESCRIPTION: T.I. CHENOWETH SURVEY ABSTRACT NO. 273 DALLAS COUNTY, TEXAS VOLUME 79252, PAGE 0210

DATE: JUNE 16, 1997

**SITE CONDITIONS**

ZONING: PD-92-037 BLDG SETBACK FRONT: 25'

PARKING: 1/70 SQ.FT. BLDG. SPACE BLDG SETBACK: RIGHT=25', LEFT=0

LANDSCAPING: 20% MIN. EXT., 5% INT. BLDG SETBACK REAR: = 0

SIGN SETBACK: 20' PROP. LINE FLOOD ZONE: NO

SIGN: 36 SQ.FT. MAX.-20 FT. MAX. HGT. LOT SIZE: 48,216 S.F./1,1069 Ac.

**PLAN SCALE: 1" = 20'**

**STREET ADDRESS**

**NW 81 BELTLINE ROAD @ BUSINESS AVE.**

CITY	STATE
ADDISON	TEXAS

COUNTY: DALLAS LOT: 2 BLOCK: 2 ADDITION: BELTLINE-MARSH BUSINESS PARK

REGIONAL DWG. NO: 42/1916 CORPORATE DWG. NO: SITE PLAN

**PLAN APPROVALS**

REGIONAL MGR.	CONST. MGR.	OPERATIONS DEPT.	REAL ESTATE DEPT.	CONTRACTOR	OWNER

**CO-SIGN SIGNATURES**

DATE	DATE	BY

STATUS: AS-BUILT

DATE DRAWN: 7/8/97

PLAN CHECKED: -

**C-1**

**ADAMS CONSULTING ENGINEERS, INC.**  
CIVIL/ENVIRONMENTAL ENGINEERS - SURVEYORS  
980 B. Main St., Suite 100 • Grapevine, Texas 76051 • (817) 529-8800



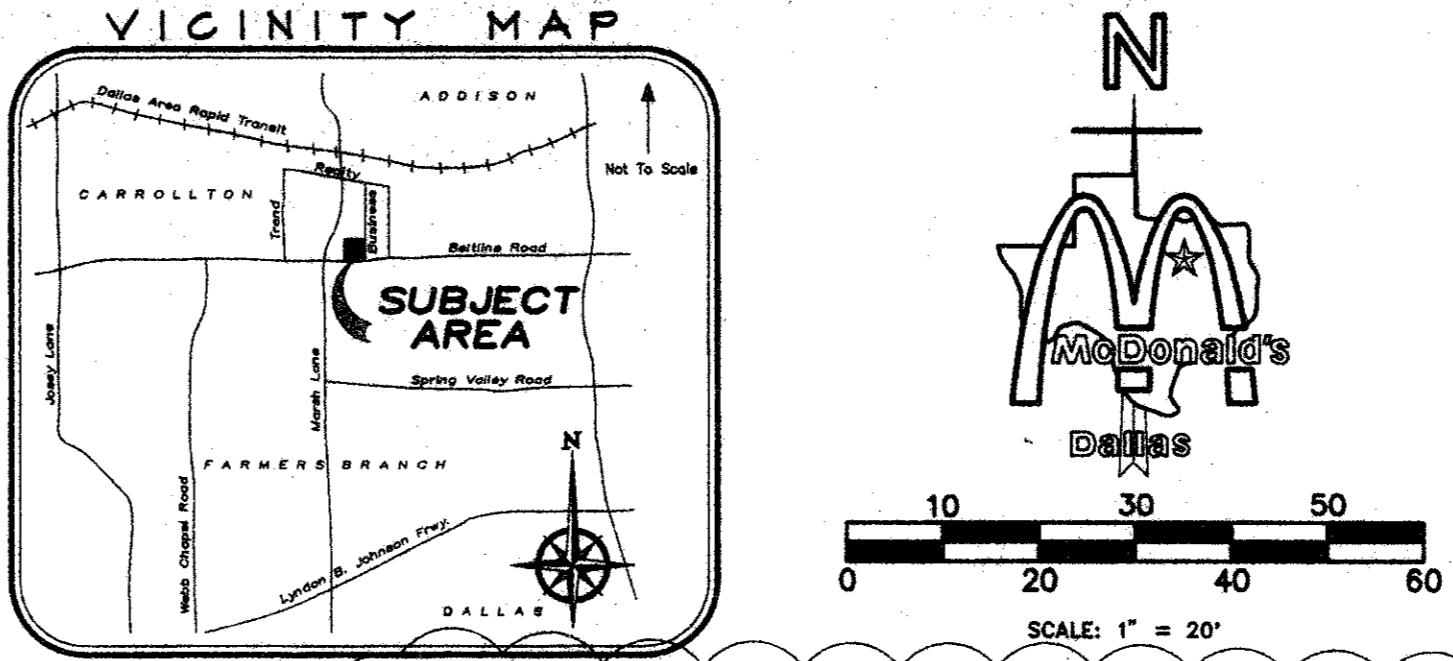
**McDONALD'S**

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

McDONALD'S I/C: 48/1916 BELTLINE RD @ BUSINESS AVE, ADDISON, TEXAS



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1	5	SD-5	6"x18" VERTICAL CURB (TYP.) AT BLDG. PERIMETER	11	-	-	-	21	-	-	LANDSCAPE AREA, SUBGRADE ELEV. 2" BELOW TOP OF CURB
2	6	SD-5	18" CURB AND GUTTER (TYP.) AT PERIMETER OF SITE	12	-	-	-	22	6	SD-5	FRENCH DRAIN
3	-	-	CONCRETE	13	4	SD-3	CONC. WALK TO HAVE BROOM FINISH AND SEALANT	23	-	-	5" CURB INLET
4	-	-	6" THK., 10' WIDE CONC. PAD REINF. PER SOILS REPORT	14	-	-	-	24	-	-	4.5" CONCRETE (MIN. 3000 PSI) WITH 6x6x6 W.W.F.
5	-	-	6" THK. CONC. REINF. PAD WITH DETECTOR LOOP	15	C2,3	4" PVC ROOF DRAIN FROM D.S. TO OUT FLOW AT CURB	16	3	SD-2	LOT LIGHTING PRELIMINARY, REF: LOT LG. RECOMMENDATIONS	NEW CONCRETE DRIVE APPROACH PER McDONALD'S SPECS.
6	-	-	SD-4 H.C. ACCESS RAMP @ 1:12 MAX. SLOPE W/WARNING SURF.	17	B	A2	ROOF ACCESS LADDER	27	-	-	TRANSFORMER PAD PER ELECTRIC COMPANY
7	-	-	SD-4 CONC. REINF. RAMP @ 1:12 MAX. SLOPE	18	-	-	-	28	-	-	PAINT STRIPING FOR DRIVE THRU AS PER McDONALD'S SPECS.
8	12	SD-5	PROPOSED CONCRETE WHEELSTOP	19	-	-	-	29	-	-	PAVEMENT STRIPING TYPICAL
9	-	-	LEVEL TILE AREA, SLOPE AWAY FROM BLDG.	20	C1,3	IRRIGATION WATER METER	21	-	-	-	SAWCUT EXISTING PAVEMENT FOR PROP. DRIVE
10	5	SD-3	TILE FINISH OVER CONC. WALK	20	C1,3	DOMESTIC WATER METER	20	-	-	-	-



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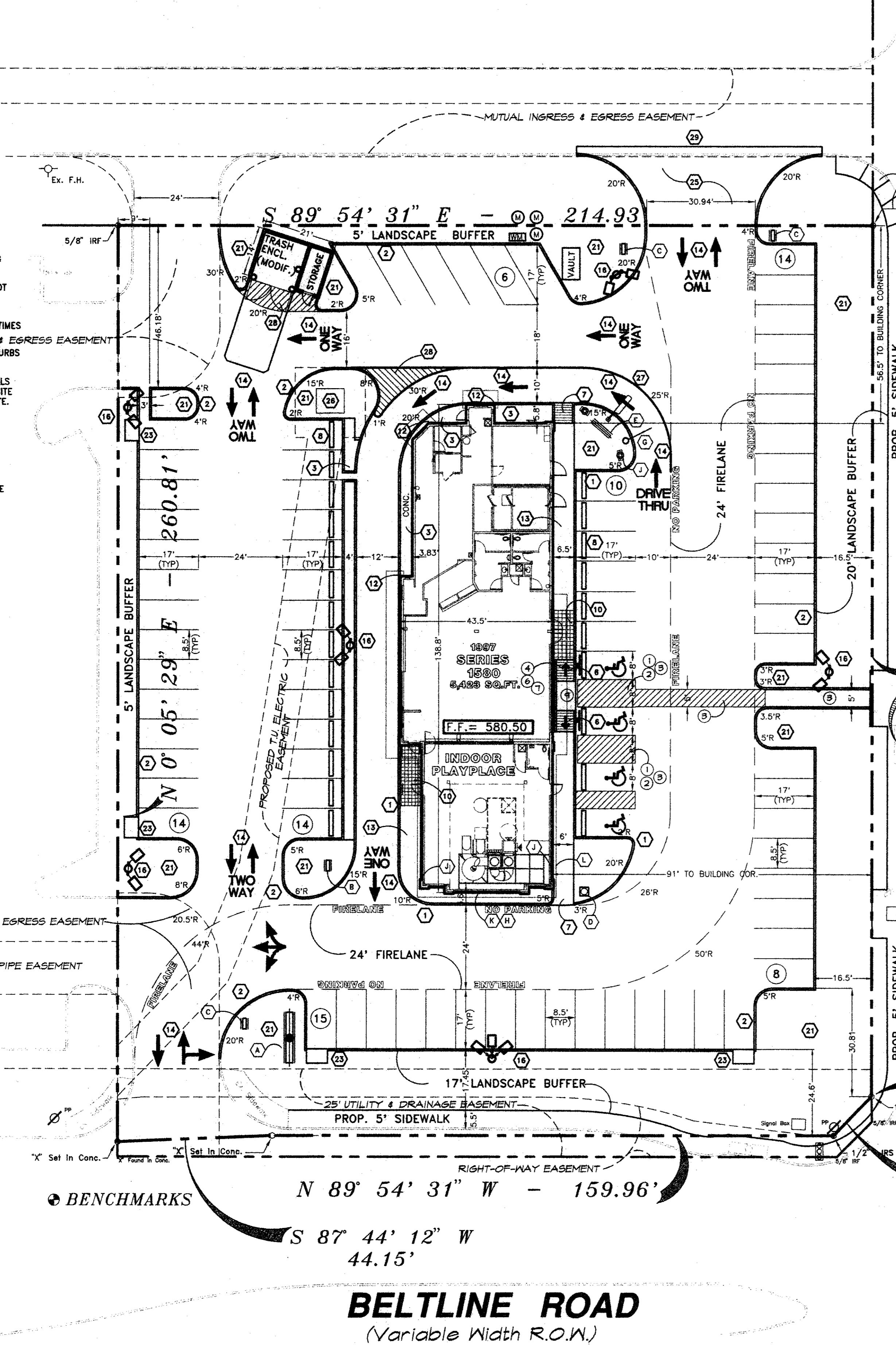
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  - ANY EXISTING PAVEMENT, CURBS, AND/OR SIDEWALKS DAMAGED OR REMOVED WILL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
  - LOT PINS SHALL BE INSTALLED AFTER CONSTRUCTION AND PRIOR TO FINAL ACCEPTANCE. CONCRETE MONUMENTS SHALL BE PLACED AS SHOWN ON THE FINAL PLAN AND IRON PINS SHALL BE PLACED AT BLOCK CORNERS, CURVE POINTS, AND ANGLE POINTS IN PUBLIC RIGHT-OF-WAY. CONCRETE MONUMENTS SHALL BE SIX (6) INCHES IN DIAMETER AND TWENTY-FOUR (24) INCHES LONG. AN IRON ROD ONE-HALF (1/2) INCH IN DIAMETER EMBEDDED AT LEAST THREE (3) INCHES IN THE MONUMENT AT THE EXACT INTERSECTION POINT OF THE MONUMENT. THE MONUMENTS SHALL BE SET AT SUCH AN ELEVATION THAT AFTER CONSTRUCTION, THE TOP OF THE MONUMENT WILL NOT BE LESS THAN TWELVE (12) INCHES BELOW THE GROUND SURFACE.
  - THE CONTRACTOR SHALL STAMP A 2-INCH "S" AND S 2-INCH "W" IN THE CURB AT THE LOCATION OF THE SEWER SERVICE AND WATER SERVICE LINES, RESPECTFULLY.
  - AT INTERSECTIONS THAT HAVE VALLEY DRAINAGE, THE CROWN OF THE INTERSECTING STREETS WILL CULMINATE IN A DISTANCE OF 40 FEET FROM THE INTERSECTING CURB LINE UNLESS OTHERWISE NOTED.
  - TEMPORARY OR PERMANENT STREET BARRICADES SHALL REMAIN AT ALL POINTS OF INGRESS AND EGRESS TO PREVENT PUBLIC USE UNTIL SUCH STREET RECEIVED FINAL ACCEPTANCE.
  - CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT BY THE TOWN OF ADDISON FOR WORKING WITHIN THE PUBLIC RIGHT-OF-WAY.
  - DURING THE CONSTRUCTION, THE OWNER SHALL PROVIDE A QUALIFIED GEOTECHNICAL LAB TO PERFORM MATERIALS TESTING DURING THE CONSTRUCTION OF THE REQUEST OF THE TOWN OF ADDISON.
  - CONTRACTOR SHALL SUBMIT MATERIAL SHEETS TO THE TOWN OF ADDISON FOR UTILITIES GREATER THAN FIVE (5) FEET IN DEPTH.
  - THE CONTRACTOR SHALL SUBMIT TO THE TOWN OF ADDISON FOR APPROVAL A TRENCH SAFETY PLAN SEALED BY A REGISTERED PROFESSIONAL ENGINEER FOR THE INSTALLATION OF APPROVAL PRIOR TO INCORPORATING MATERIALS INTO THE JOB.
  - ALL EXISTING AND PROPOSED IMPROVEMENTS (VALVE, MANHOLES, FIRE HYDRANTS, WATER METERS, ECT.) SHALL BE ADJUSTED TO FINISHED GRADE BY THE CONTRACTOR.

**LEGEND**

LIGHT & POLE PER RECOMM'D. (METAL HALIDE LAMP AT 400 WATT, 110,000 LUMENS ON 20' HOT. POLE)

- H.C. SIGNAGE (PROPOSED)
- TRAFFIC LIGHT (EXISTING)
- SIGN (EXISTING)
- FIRE HYDRANT
- WATER VALVE
- WATER METER (PROPOSED)
- WATER METER (EXISTING)
- SANITARY SEWER MANHOLE
- TELEPHONE RISER
- OVERHEAD ELECTRIC
- UNDERGROUND ELECTRIC
- UNDER GROUND WATER
- UNDER GROUND TELEPHONE
- PROPOSED GAS METER
- UNDER GROUND GAS LINE
- SANITARY SEWER
- POWER POLE
- GUY WIRE

**SIGN SCHEDULE**

NO.	MRK.	DESCRIPTION
1	(A)	70-25 ROAD SIGN
3	(B)	90-5 DIR. SIGN "THANK YOU" / "EXIT"
3	(C)	90-5 DIR. SIGN "WELCOME" / "ENTER"
1	(D)	FLAG POLE 25' HIGH MAX.
1	(E)	90-45 TRI-VIEW ORDER BOARD
2	(F)	McDONALD'S LOGO ARCHES
1	(G)	CLEARANCE SIGN (NON ILLUMINATED)
1	(H)	FASCIA SIGN (McDONALD'S)
2	(J)	90-10 TRI-VIEW PRE-SELL BOARD
1	(K)	"PLAYPLACE" FASCIA SIGN
22	(L)	ROOF BEAMS

**AS-BUILT**  
**07/28/98**

- GENERAL NOTES**
- McDONALD'S ROAD SIGN AND BASE ARE BY THE SIGN CONTRACTOR. CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR.
  - BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.
  - 3/4" EMPTY CONDUIT TO LOCATIONS SHOWN AT THE LOT PERIMETER FOR LOT LIGHTING ARE BY THE GENERAL CONTRACTOR. LIGHTING FIXTURES, BASES, POLES, CONDUIT, AND WIRING ARE BY THE OWNER/OPERATOR.
  - BASES FOR FLAGPOLES ARE BY THE GENERAL CONTRACTOR. ANCHOR BOLTS ARE BY THE FLAGPOLE SUPPLIER.
  - PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.
  - THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.
  - GENERAL CONTRACTOR MUST PROVIDE EXACT "AS BUILT" INFORMATION UPON COMPLETION.
  - ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUND/BREAK.
  - FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT.
  - ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 1" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.
  - LOT LIGHTING CONCRETE FOOTINGS TO CONFORM WITH THE SOILS REPORT RECOMMENDATIONS FOR THIS PARTICULAR SITE.
  - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL REQUEST (IN WRITING) A COPY OF THE REVIEW REPORT PREPARED BY THE TEXAS DEPARTMENT OF LICENSING & REGULATION FROM THE OWNER OR ARCHITECT. THIS REVIEW REPORT MAY CONTAIN COMMENTS OR REQUIREMENTS THAT WILL ALTER SITE LAYOUT/DESIGN REGARDING ISSUES RELATED TO HANDICAP ACCESSIBILITY.
  - IT IS STRONGLY RECOMMENDED THAT NO CONTRACTUAL AGREEMENTS OF ANY KIND BE SIGNED PRIOR TO RECEIVING AND THOROUGHLY REVIEWING ALL APPROVALS FROM ALL OF THE REGULATORY AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT.
  - DUO TO THE NATURE OF THE WORK, ALL DIMENSIONS SHOWN SHALL BE CONSIDERED APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION OR INSTALLATION OF ANY ITEM. FAILURE TO ADHERE TO THIS PROCEDURE SHALL PLACE FULL RESPONSIBILITY FOR ANY ERRORS DIRECTLY UPON THE CONTRACTOR.

**PAVING SPECIFICATION** VERIFY W/McDONALD'S: ASPHALT:  CONCRETE:  CONTRACTOR TO BID: ASPHALT:  CONCRETE:

**NOTE: ALL PAVING/SUBGRADE SPECS TO COMPLY W/ SOIL TEST. CONCRETE:**

- TOTAL THICKNESS FOR PARKING AREA.
- TOTAL THICKNESS FOR DRIVES.
- TRASH ENCLOSURE PAD
- DRIVE THRU PAD
- IN CONC. SURF. 5% AIR ENTRAINED W/ #3 REBAR @ CENTER OF SLAB ON CHAIRS) 18" O.C.E.W. OVER; COMPACTED SUBGRADE
- CONCRETE IN PARKING AREAS SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI.
- CONTROL JOINTS SHALL BE PLACED 15' CENTER TO CENTER

**SECURITY:** AS PER GEOTECHNICAL REPORT BY HBC ENGINEERING, INC. DATED JUNE 1997 NO. 42-1606-97

**NOTE:** McDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION TESTS WILL BE THE EXPENSE OF McDONALD'S. OTHERWISE, G.C. WILL BE CHARGED.

**LOT LIGHTING RECOMMENDATION**

SECURITY LIGHTING TO PROVIDE LIGHTING RECOMMENDATION, BASED ON LIGHT FIXTURE AND POLE HGT. SPECIFIED BY DEVELOPER.

STEVE FRIEDMAN  
3477 W. TOLUAY AVENUE / UNCOLWOOD, ILLINOIS 60645  
1-800-LIGHT-IT

**NOTE:** ELECTRICAL CONTRACTOR TO CIRCUIT LOT LIGHTING AS REQUIRED.

**PARKING PROVIDED**

REQUIRED 1 PER 70 SQ. FT. OF BLDG. FLOOR SPACE 5,423 / 70 = 79 SPACES)	TOTAL SPACES	72 SPACES 8.5' X 17' @ 90°	3 SPACES 8.5' X 17' @ 90°	6 SPACES 8.5' X 17' @ 60°
81	72	3	3	6

**BUILDING:** 1997 SERIES 1580 W/ INDOOR PLAYPLACE (5,500 SQ.FT.)

**UTILITY INFORMATION**

	SIZE	TYPE	LOCATION
SANITARY SEWER	12" & 24"	@ BELTLINE ROW, 12" @ BUSINESS AVE.	
WATER	12"	WATER IN BUSINESS AVE. ROW	
STORM SEWER	54" W/ A 21" & 24" SERV. LAT.	IN BUSINESS AVE	
ELECTRIC	ONE	ALONG BELTLINE RD.	
GAS	LINE	IN FRNT. LANDSCAPE AREA BELTLINE RD.	

**SURVEY INFORMATION**

PREPARED BY: RINGLEY & ASSOCIATES, INC.  
112 W. VIRGINIA ST. SUITE 100  
MCKINNEY, TEXAS 75069  
972-562-1266  
DATE: JUNE 16, 1997

LEGAL DESCRIPTION: T.I. CHENOWETH SURVEY ABSTRACT NO. 273 DALLAS COUNTY, TEXAS VOLUME 79252, PAGE 0210

**SITE CONDITIONS**

ZONING: PD-92-037 BLDG SETBACK FRONT: 25'  
PARKING: 1/70 SQ.FT. BLDG. SPACE BLDG SETBACK: RIGHT=25', LEFT=0'  
LANDSCAPING: 20% MIN. EXT., 5% INT. BLDG SETBACK REAR: = 0'  
SIGN SETBACK: 20' PROP. LINE FLOOD ZONE: NO  
SIGN: 36 SQ.FT. MAX.-20 FT. MAX. HGT./LOT SIZE: 48,216 S.F./1.1069 AC.

**PLAN SCALE:** 1" = 20'

**STREET ADDRESS**

**NW 1/4 BELTLINE ROAD @ BUSINESS AVE.**

**CITY:** ADDISON **STATE:** TEXAS

**COUNTY:** DALLAS **LOT:** 2 **BLOCK:** 2 **ADDITION:** BELTLINE-MARSH BUSINESS PARK

**REGIONAL DWG. NO:** 42/1916 **CORPORATE DWG. NO:** SITE PLAN

**McDONALD'S**

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

McDONALD'S L/C: 42/1916 BELTLINE RD. @ BUSINESS AVE. ADDISON, TEXAS

REV	DATE	DESCRIPTION	BY	ISSUE REF
1	11/14/97	REVISIONS AS PER McDONALD'S	J.L.	
2	11/19/97	REVISIONS AS PER McDONALD'S	J.L.	
3	12/18/97	REVISIONS AS PER CITY COMMENTS	S.P.S.	

**PLAN APPROVALS**

SIGNATURE (2 REQUIRED)	DATE	STATUS	DATE DRAWN	DATE	BY
			7/8/97		MCD'S

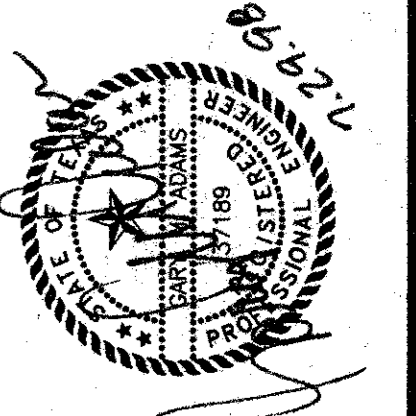
**CO-SIGN SIGNATURES**

REGIONAL MGR.	CONS. MGR.	OPERATIONS DEPT.	REAL ESTATE DEPT.	CONTRACTOR	OWNER

**AS-BUILT**

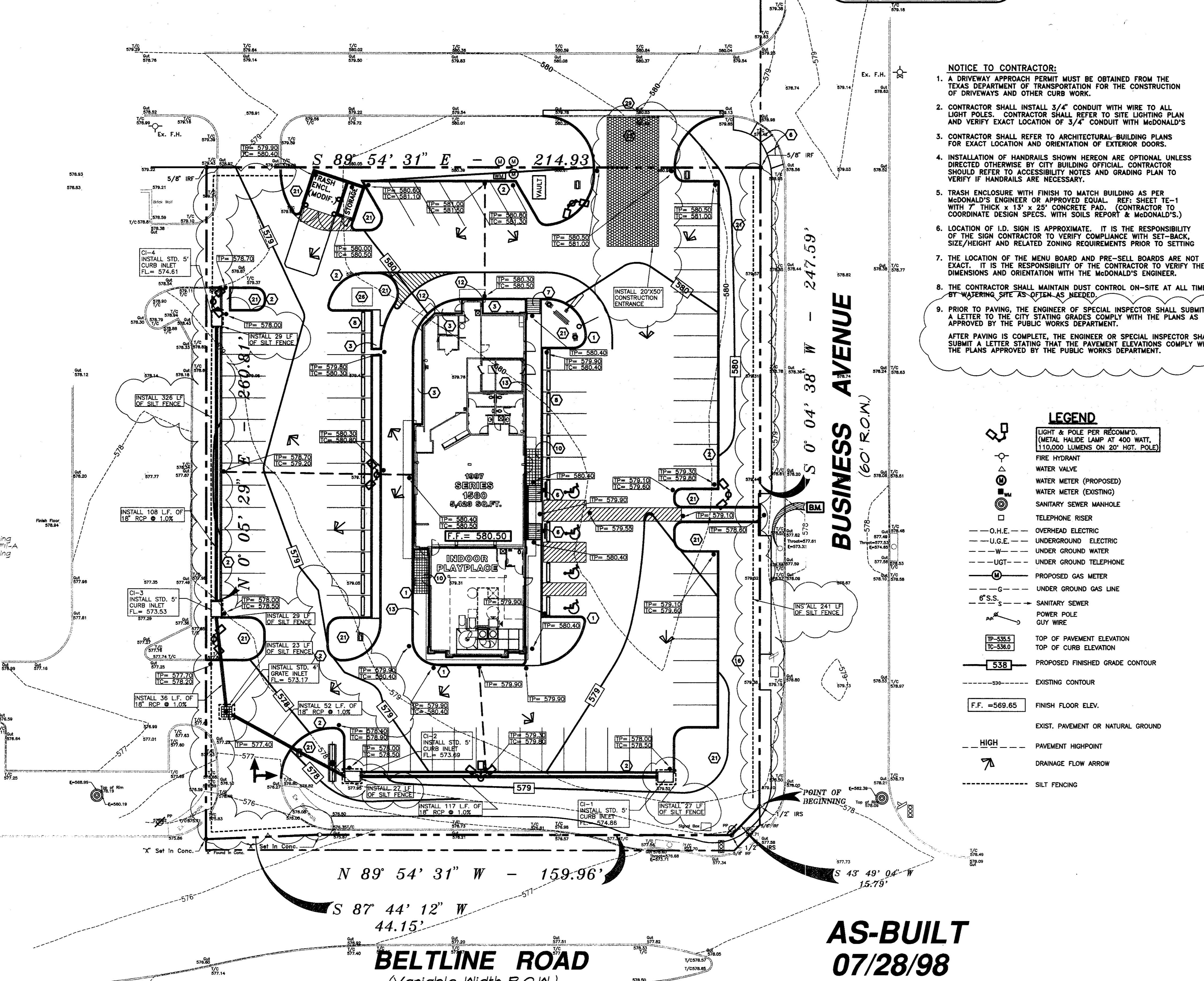
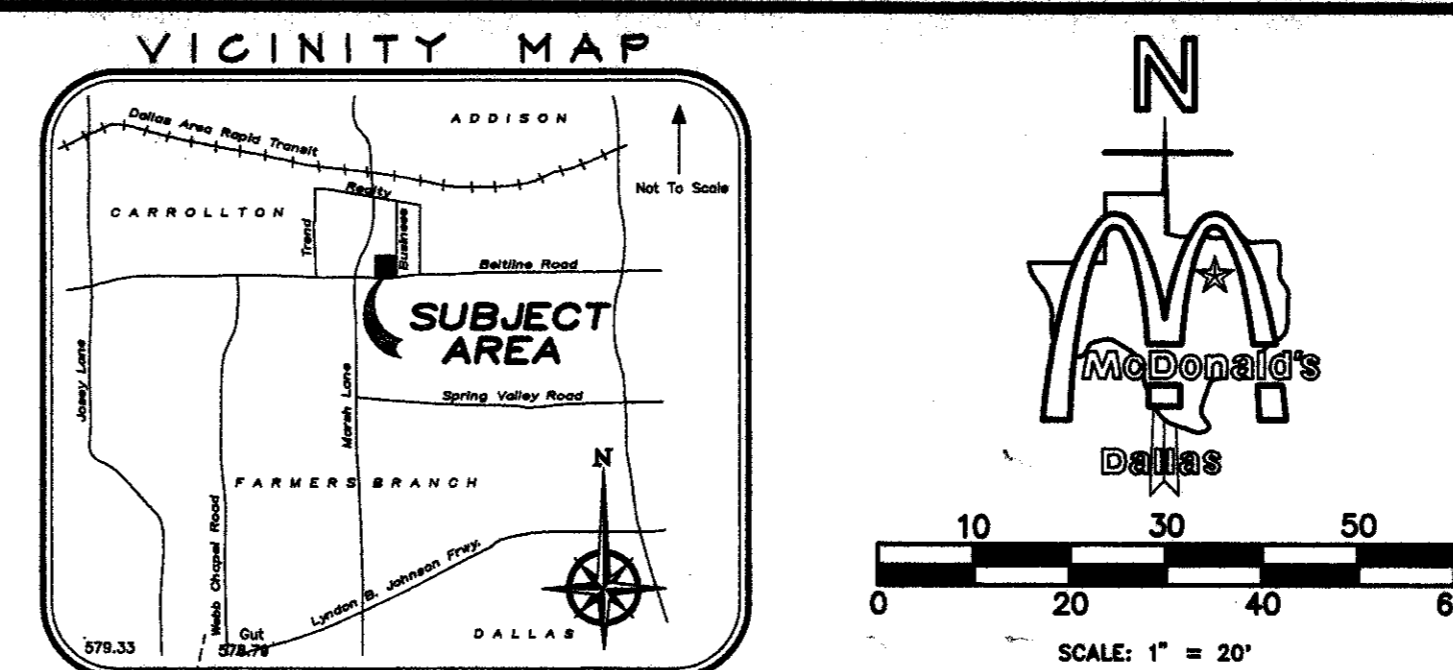
**C-1**

**Adams Consulting Engineers, Inc.**  
Civil / Environmental Engineers - Surveyors  
820 E. Main St., Suite 160 - Grapevine, Texas 76041 - (817) 389-6880





CONSTRUCTION SCHEDULE			CONSTRUCTION SCHEDULE			CONSTRUCTION SCHEDULE		
MARK	REF.	SHEET	MARK	REF.	SHEET	MARK	REF.	SHEET
1	5	SD-5	11	-	-	21	-	-
6"x18" VERTICAL CURB (TYP.) AT BLDG. PERIMETER			HANDRAIL			LANDSCAPE AREA, SUBGRADE ELEV. 2" BELOW TOP OF CURB		
2	6	SD-5	12	-	-	22	6	SD-5
18" CURB AND GUTTER (TYP.) AT PERIMETER OF SITE			RECYCLED GUARD POST			FRENCH DRAIN		
3	-	-	13	4	SD-3	23	-	-
CONCRETE			CONC. WALK TO HAVE BROOM FINISH AND SEALANT			5" CURB INLET		
4	-	-	14	-	-	24	-	-
6" THK., 10' WIDE CONC. PAD REINF. PER SOILS REPORT			PAVING SYMBOLS			4.5" CONCRETE (MIN. 3000 PSI) WITH 6x6x6 W.W.F.		
5	-	-	15	C2,3	4"	25	-	-
6" THK. CONC. REINF. PAD WITH DETECTOR LOOP			4" PVC ROOF DRAIN FROM D.S. TO OUT FLOW AT CURB			NEW CONCRETE DRIVE APPROACH PER McDONALD'S SPECS.		
6	-	SD-4	16	3	SD-2	26	-	-
H.C. ACCESS RAMP @ 1:12 MAX. SLOPE W/WARNING SURF.			LOT LIGHTING PRELIMINARY, REF: LOT LG. RECOMMENDATIONS			TRANSFORMER PAD PER ELECTRIC COMPANY		
7	-	SD-4	17	B	A2	27	B	A2
CONC. REINF. RAMP @ 1:12 MAX. SLOPE			ROOF ACCESS LADDER			PAINT STRIPING FOR DRIVE THRU AS PER McDONALD'S SPECS.		
8	12	SD-5	18	-	-	28	-	-
PROPOSED CONCRETE WHEELSTOP			3" TAPERED CURB			PAVEMENT STRIPING TYPICAL		
9	-	-	19	C1,3	IRRIGATION	29	-	-
LEVEL TILE AREA, SLOPE AWAY FROM BLDG.			WATER METER			SAWCUT EXISTING PAVEMENT FOR PROP. DRIVE		
10	5	SD-3	20	C1,3	DOMESTIC	30	-	-
TILE FINISH OVER CONC. WALK			WATER METER					



**NOTICE TO CONTRACTOR:**

- A DRIVEWAY APPROACH PERMIT MUST BE OBTAINED FROM THE TEXAS DEPARTMENT OF TRANSPORTATION FOR THE CONSTRUCTION OF DRIVEWAYS AND OTHER CURB WORK.
- CONTRACTOR SHALL INSTALL 3/4" CONDUIT WITH WIRE TO ALL LIGHT POLES. CONTRACTOR SHALL REFER TO SITE LIGHTING PLAN AND VERIFY EXACT LOCATION OF 3/4" CONDUIT WITH McDONALD'S.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL-BUILDING PLANS FOR EXACT LOCATION AND ORIENTATION OF EXTERIOR DOORS.
- INSTALLATION OF HANDRAILS SHOWN HEREON ARE OPTIONAL UNLESS DIRECTED OTHERWISE BY CITY BUILDING OFFICIAL. CONTRACTOR SHOULD REFER TO ACCESSIBILITY NOTES AND GRADING PLAN TO VERIFY IF HANDRAILS ARE NECESSARY.
- TRASH ENCLOSURE WITH FINISH TO MATCH BUILDING AS PER McDONALD'S ENGINEER OR APPROVED EQUAL. REF: SHEET TE-1 WITH 7" THICK x 13' x 25' CONCRETE PAD. (CONTRACTOR TO COORDINATE DESIGN SPECS. WITH SOILS REPORT & McDONALD'S.)
- LOCATION OF I.D. SIGN IS APPROXIMATE. IT IS THE RESPONSIBILITY OF THE SIGN CONTRACTOR TO VERIFY COMPLIANCE WITH SET-BACK, SIZE/HEIGHT AND RELATED ZONING REQUIREMENTS PRIOR TO SETTING.
- THE LOCATION OF THE MENU BOARD AND PRE-SELL BOARDS ARE NOT EXACT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE DIMENSIONS AND ORIENTATION WITH THE McDONALD'S ENGINEER.
- THE CONTRACTOR SHALL MAINTAIN DUST CONTROL ON-SITE AT ALL TIMES BY WATERING SITE AS OFTEN AS NEEDED.
- PRIOR TO PAVING, THE ENGINEER OR SPECIAL INSPECTOR SHALL SUBMIT A LETTER TO THE CITY STATING GRADES COMPLY WITH THE PLANS AS APPROVED BY THE PUBLIC WORKS DEPARTMENT.

AFTER PAVING IS COMPLETE, THE ENGINEER OR SPECIAL INSPECTOR SHALL SUBMIT A LETTER STATING THAT THE PAVEMENT ELEVATIONS COMPLY WITH THE PLANS APPROVED BY THE PUBLIC WORKS DEPARTMENT.

**LEGEND**

	LIGHT & POLE PER RECOMM. (METAL HALIDE LAMP AT 400 WATT, 110,000 LUMENS ON 20' HGT. POLE)
	FIRE HYDRANT
	WATER VALVE
	WATER METER (PROPOSED)
	WATER METER (EXISTING)
	SANITARY SEWER MANHOLE
	TELEPHONE RISER
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	UNDER GROUND WATER
	UNDER GROUND TELEPHONE
	PROPOSED GAS METER
	UNDER GROUND GAS LINE
	SANITARY SEWER
	POWER POLE
	GUY WIRE
	TOP OF PAVEMENT ELEVATION
	TOP OF CURB ELEVATION
	PROPOSED FINISHED GRADE CONTOUR
	EXISTING CONTOUR
	FINISH FLOOR ELEV.
	EXIST. PAVEMENT OR NATURAL GROUND
	PAVEMENT HIGHPOINT
	DRAINAGE FLOW ARROW
	SILT FENCING

1. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUND/BREAK.

2. FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT.

3. ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.

4. ALL "SPOT" ELEVATIONS SHOWN ARE AT GUTTER, UNLESS NOTED OTHERWISE.

5. GENERAL CONTRACTOR MUST PROVIDE EXACT "AS BUILT" INFORMATION UPON COMPLETION.

PAVING SPECIFICATION: VERIFY W/MCDONALD'S: ASPHALT:  CONCRETE:  CONTRACTOR TO BID: ASPHALT:  CONCRETE:

NOTE: ALL PAVING/SUBGRADE SPECS TO COMPLY W/ SOIL TEST.

CONCRETE:

- 5" TOTAL THICKNESS FOR PARKING AREA.
- 6" TOTAL THICKNESS FOR DRIVES.
- 7" TRASH ENCLOSURE PAD
- 5" DRIVE THRU PAD
- 6" IN. CONC. SURF. 5% AIR ENTRAINED W/ #3 REBAR @ CENTER OF SLAB ON CHAIRS) 18" O.C.E.W. OVER; COMPACTED SUBGRADE

CONCRETE IN PARKING AREAS SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI.

CONTROL JOINTS SHALL BE PLACED 15' CENTER TO CENTER

SCAFFRY: AS PER GEOTECHNICAL REPORT BY HBC ENGINEERING, INC. DATED JUNE 1997 No. 42-1508-97

NOTE: McDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF McDONALD'S, OTHERWISE, E.C. WILL BE CHARGED.

**LOT LIGHTING RECOMMENDATION**

SECURITY LIGHTING TO PROVIDE LIGHTING RECOMMENDATION, BASED ON LIGHT FIXTURE AND POLE HGT. SPECIFIED BY DEVELOPER.

STEVE FRIEDMAN  
3477 W. TOLUAY AVENUE / LINCOLNWOOD, ILLINOIS 60645  
1-800-LIGHT-IT

NOTE: ELECTRICAL CONTRACTOR TO CIRCUIT LOT LIGHTING AS REQUIRED.

**PARKING PROVIDED**

(REQUIRED 1 PER 70 SQ. FT. OF BLDG. FLOOR SPACE 5,423 / 70 = 78 SPACES)

TOTAL SPACES	72 SPACES 8.5' X 17' @ 90°
81	3 SPACES 8.5' X 17' @ 90° (HANDICAP)
	6 SPACES 8.5' X 17' @ 60°

BUILDING: 1997 SERIES 1580 W/ INDOOR PLAYPLACE (5,500 SQ.FT.)

**UTILITY INFORMATION**

	SIZE	TYPE	LOCATION
SANITARY SEWER	12" & 24"	@ BELTLINE ROW, 12" @ BUSINESS AVE.	
WATER	12"	WATER IN BUSINESS AVE. ROW	
STORM SEWER	54" W/ A 21" & 24" SERV. LAT.	IN BUSINESS AVE	
ELECTRIC	ONE	ALONG BELTLINE RD.	
GAS	LINE	IN FRNT. LANDSCAPE AREA BELTLINE RD.	

**SURVEY INFORMATION**

PREPARED BY: RINGLEY & ASSOCIATES, INC. 112 W. VIRGINIA STREET MCKINNEY, TEXAS 75069 972-562-1266 DATE: JUNE 16, 1997

LEGAL DESCRIPTION: T.I. CHENOWETH SURVEY ABSTRACT NO. 273 DALLAS COUNTY, TEXAS VOLUME 79252, PAGE 0210

**SITE CONDITIONS**

ZONING: PD-92-037 BLDG SETBACK FRONT: 25'

PARKING: 1/70 SQ.FT. BLDG. SPACE BLDG SETBACK: RIGHT=25', LEFT=0

LANDSCAPING: 20% MIN. EXT., 5% INT. BLDG SETBACK REAR: = 0

SIGN SETBACK: 20' PROP. LINE FLOOD ZONE: NO

SIGN: 36 SOFT. MAX.-20 FT. MAX. HGT. LOT SIZE: 48,216 S.F./1.1069 Ac.

PLAN SCALE: 1" = 20'

**STREET ADDRESS**

NW 80 BELTLINE ROAD @ BUSINESS AVE.

CITY: ADDISION STATE: TEXAS

COUNTY: DALLAS LOT: 2 BLOCK: 2 ADDITION: BELTLINE-MARSH BUSINESS PARK

REGIONAL DWG. NO: 42/1916 CORPORATE DWG. NO: GRADING PLAN C-2

STATUS: DATE: 7/8/97 BY: MCD'S

DATE DRAWN: 7/8/97 PLAN CHECKED: AS-BUILT

REGIONAL MGR. CONST. MGR. OPERATIONS DEPT. REAL ESTATE DEPT. CONTRACTOR OWNER

CO-SIGN SIGNATURES

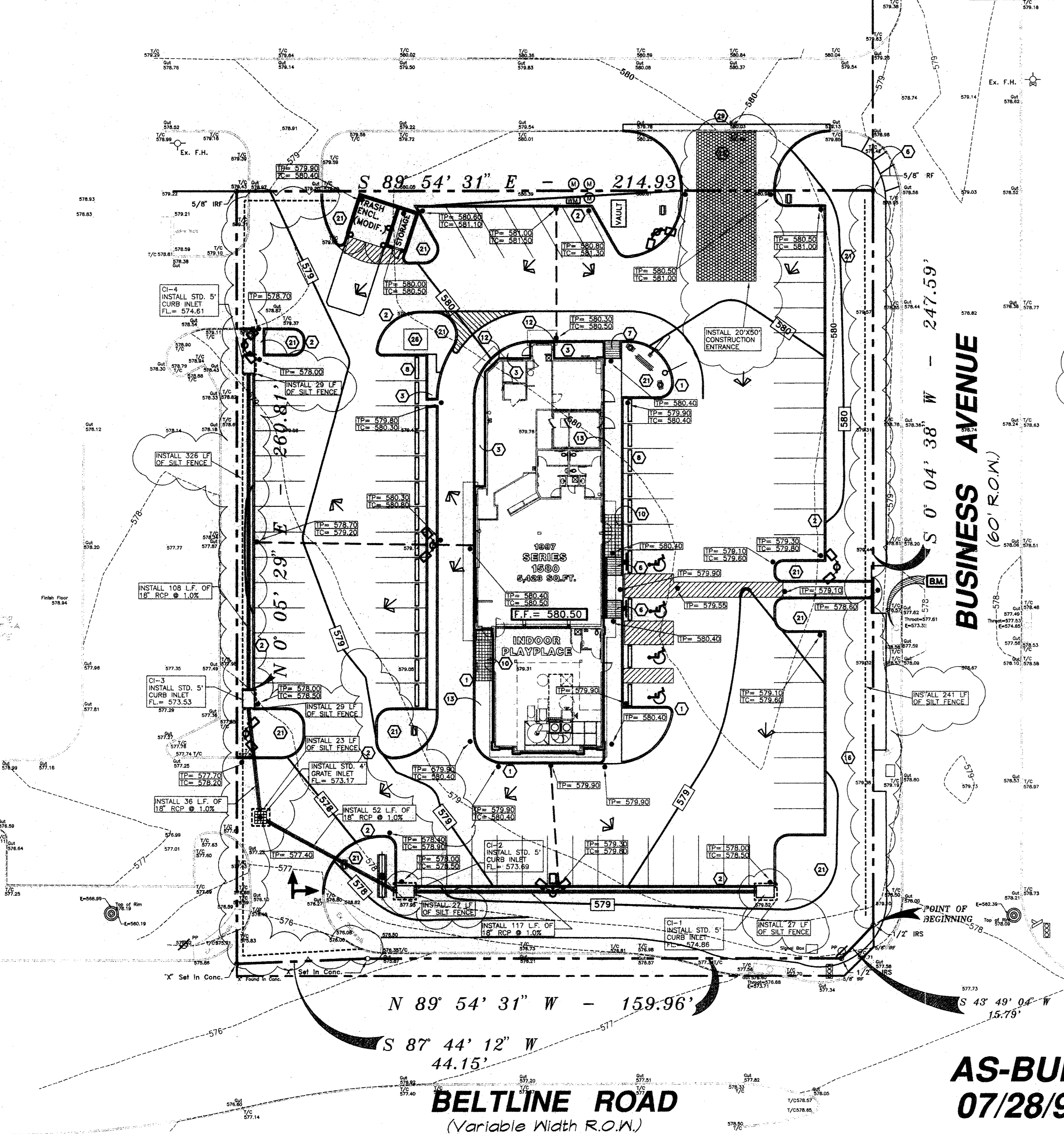
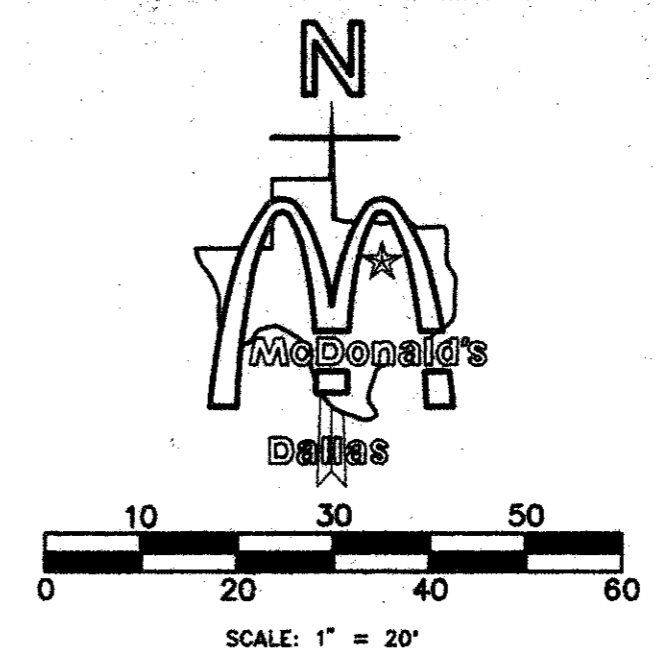
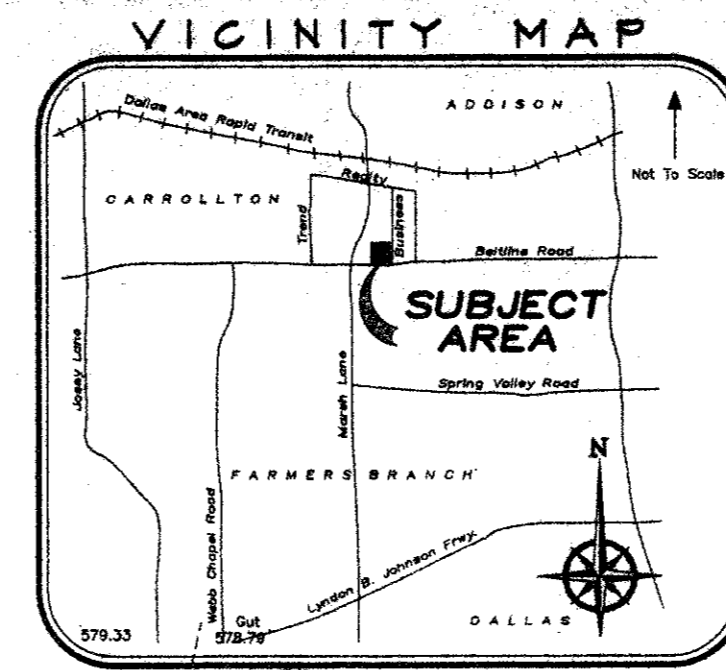
ADAMS CONSULTING ENGINEERS, INC. CIVIL/ENVIRONMENTAL ENGINEERS-SURVEYORS 920 E. MAIN ST., SUITE 100 • CROPPVILLE, TEXAS 76031 • (817) 328-9880

**AS-BUILT**  
07/28/98

**BELTLINE ROAD**  
(Variable Width R.O.W.)



CONSTRUCTION SCHEDULE		CONSTRUCTION SCHEDULE		CONSTRUCTION SCHEDULE	
MARK	REF. SHEET	MARK	DESCRIPTION	MARK	DESCRIPTION
1	5	SD-5	6"x18" VERTICAL CURB (TYP.) AT BLDG. PERIMETER	11	HANDRAIL
2	6	SD-5	18" CURB AND GUTTER (TYP.) AT PERIMETER OF SITE	12	RECYCLED GUARD POST
3	-	-	CONCRETE	13	4
4	-	-	6" THK., 10' WIDE CONC. PAD REINF. PER SOILS REPORT	14	SD-3
5	-	-	6" THK. CONC. REINF. PAD WITH DETECTOR LOOP	15	CONC. WALK TO HAVE BROOM FINISH AND SEALANT
6	-	-	H.C. ACCESS RAMP @ 1:12 MAX. SLOPE W/WARNING SURF.	16	-
7	-	-	CONC. REINF. RAMP @ 1:12 MAX. SLOPE	17	-
8	12	SD-5	PROPOSED CONCRETE WHEELSTOP	18	A2
9	-	-	LEVEL TILE AREA, SLOPE AWAY FROM BLDG.	19	3' TAPERED CURB
10	5	SD-3	TILE FINISH OVER CONC. WALK	20	C1,3
				21	IRRIGATION WATER METER
				22	DOMESTIC WATER METER
				23	LANDSCAPE AREA, SUBGRADE ELEV. 2" BELOW TOP OF CURB
				24	6
				25	SD-5
				26	FRENCH DRAIN
				27	5' CURB INLET
				28	4.5" CONCRETE (MIN. 3000 PSI) WITH 6x6x6 W.W.F.
				29	NEW CONCRETE DRIVE APPROACH PER McDONALD'S SPECS.
				30	TRANSFORMER PAD PER ELECTRIC COMPANY
					PAINT STRIPING FOR DRIVE THRU AS PER McDONALD'S SPECS.
					PAVEMENT STRIPING TYPICAL
					SAWCUT EXISTING PAVEMENT FOR PROP. DRIVE



**NOTICE TO CONTRACTOR:**

- A DRIVEWAY APPROACH PERMIT MUST BE OBTAINED FROM THE TEXAS DEPARTMENT OF TRANSPORTATION FOR THE CONSTRUCTION OF DRIVEWAYS AND OTHER CURB WORK.
- CONTRACTOR SHALL INSTALL 3/4" CONDUIT WITH WIRE TO ALL LIGHT POLES. CONTRACTOR SHALL REFER TO SITE LIGHTING PLAN AND VERIFY EXACT LOCATION OF 3/4" CONDUIT WITH McDONALD'S.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL BUILDING PLANS FOR EXACT LOCATION AND ORIENTATION OF EXTERIOR DOORS.
- INSTALLATION OF HANDRAILS SHOWN HEREON ARE OPTIONAL UNLESS DIRECTED OTHERWISE BY CITY BUILDING OFFICIAL. CONTRACTOR SHOULD REFER TO ACCESSIBILITY NOTES AND GRADING PLAN TO VERIFY IF HANDRAILS ARE NECESSARY.
- TRASH ENCLOSURE WITH FINISH TO MATCH BUILDING AS PER McDONALD'S ENGINEER OR APPROVED EQUAL. REF: SHEET TE-1 WITH 7" THICK x 13' x 25' CONCRETE PAD. (CONTRACTOR TO COORDINATE DESIGN SPECS. WITH SOILS REPORT & McDONALD'S.)
- LOCATION OF I.D. SIGN IS APPROXIMATE. IT IS THE RESPONSIBILITY OF THE SIGN CONTRACTOR TO VERIFY COMPLIANCE WITH SET-BACK, SIZE/HEIGHT AND RELATED ZONING REQUIREMENTS PRIOR TO SETTING.
- THE LOCATION OF THE MENU BOARD AND PRE-SELL BOARDS ARE NOT EXACT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE DIMENSIONS AND ORIENTATION WITH THE McDONALD'S ENGINEER.
- THE CONTRACTOR SHALL MAINTAIN DUST CONTROL ON-SITE AT ALL TIMES BY WATERING SITE AS OFTEN AS NEEDED.
- PRIOR TO PAVING, THE ENGINEER OF SPECIAL INSPECTOR SHALL SUBMIT A LETTER TO THE CITY STATING GRADES COMPLY WITH THE PLANS AS APPROVED BY THE PUBLIC WORKS DEPARTMENT.

AFTER PAVING IS COMPLETE, THE ENGINEER OR SPECIAL INSPECTOR SHALL SUBMIT A LETTER STATING THAT THE PAVEMENT ELEVATIONS COMPLY WITH THE PLANS APPROVED BY THE PUBLIC WORKS DEPARTMENT.

**LEGEND**

	LIGHT & POLE PER RECOMM'D. (METAL HALIDE LAMP AT 400 WATT, 110,000 LUMENS ON 20' HGT. POLE)
	FIRE HYDRANT
	WATER VALVE
	WATER METER (PROPOSED)
	WATER METER (EXISTING)
	SANITARY SEWER MANHOLE
	TELEPHONE RISER
	O.H.E. OVERHEAD ELECTRIC
	U.G.E. UNDERGROUND ELECTRIC
	U.G.W. UNDER GROUND WATER
	U.G.T. UNDER GROUND TELEPHONE
	PROPOSED GAS METER
	UNDER GROUND DUST LINE
	SANITARY SEWER
	POWER POLE
	GUY WIRE
	TOP OF PAVEMENT ELEVATION
	TOP OF CURB ELEVATION
	PROPOSED FINISHED GRADE CONTOUR
	EXISTING CONTOUR
	FINISH FLOOR ELEV.
	EXIST. PAVEMENT OR NATURAL GROUND
	PAVEMENT HIGHPOINT
	DRAINAGE FLOW ARROW
	SILT FENCING

- ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUND-BREAK.
- FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT.
- ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.
- ALL "SPOT" ELEVATIONS SHOWN ARE AT GUTTER, UNLESS NOTED OTHERWISE.
- GENERAL CONTRACTOR MUST PROVIDE EXACT "AS BUILT" INFORMATION UPON COMPLETION.

REV	DATE	DESCRIPTION	BY	ISSUE REF
1	11/14/97	REVISIONS AS PER McDONALD'S	J.L.	
2	11/19/97	REVISIONS AS PER McDONALD'S	J.L.	
3	12/18/97	REVISIONS AS PER CITY COMMENTS	S.P.S.	

**PAVING SPECIFICATION** VERIFY W/MCDONALD'S: ASPHALT:  CONCRETE:   
 CONTRACTOR TO BID: ASPHALT:  CONCRETE:

NOTE: ALL PAVING/SUBGRADE SPECS TO COMPLY W/ SOIL TEST, CONCRETE:

- 5" TOTAL THICKNESS FOR PARKING AREA.
- 6" TOTAL THICKNESS FOR DRIVES.
- 7" TRASH ENCLOSURE PAD
- 5" DRIVE THRU PAD
- 8" IN. CONC. SURFC. 5% AIR ENTRAINED W/ #3 REBAR @ CENTER OF SLAB ON CHAIRS) 16" O.C.E.W. OVER; COMPACTED SUBGRADE

CONCRETE IN PARKING AREAS SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI.

CONTROL JOINTS SHALL BE PLACED 15' CENTER TO CENTER

SCARIFY: AS PER GEOTECHNICAL REPORT BY HBC ENGINEERING, INC. DATED JUNE 1997 No. 42-1606-97

NOTE: McDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF McDONALD'S, OTHERWISE, G.C. WILL BE CHARGED.

**LOT LIGHTING RECOMMENDATION**

SECURITY LIGHTING TO PROVIDE LIGHTING RECOMMENDATION, BASED ON LIGHT FIXTURE AND POLE HGT. SPECIFIED BY DEVELOPER.

STEVE FRIEDMAN  
3477 W. TOUHY AVENUE / LINCOLNWOOD, ILLINOIS 60645  
1-800-LIGHT-IT

NOTE: ELECTRICAL CONTRACTOR TO CIRCUIT LOT LIGHTING AS REQUIRED.

**PARKING PROVIDED**  
 (REQUIRED 1 PER 70 SQ. FT. OF BLDG. FLOOR SPACE 5,423 /70 = 78 SPACES)

TOTAL SPACES	72 SPACES 8.5' X 17' @ 90°
81	3 SPACES 8.5' X 17' @ 90° (HANDICAP)
	6 SPACES 8.5' X 17' @ 60°

BUILDING: 1997 SERIES 1580 W/ INDOOR PLAYPLACE (5,500 SQ.FT.)

**UTILITY INFORMATION**

	SIZE	TYPE	LOCATION
SANITARY SEWER	12" & 24"	@ BELTLINE ROW, 12" @ BUSINESS AVE	
WATER	12"	WATER IN BUSINESS AVE. ROW	
STORM SEWER	54" W/ A 21" & 24" SERV. LAT.	IN BUSINESS AVE	
ELECTRIC	OHE	ALONG BELTLINE RD.	
GAS	LINE	IN FRNT. LANDSCAPE AREA BELTLINE RD.	

**SURVEY INFORMATION**

PREPARED BY: RINGLEY & ASSOCIATES, INC.  
 112 W. VIRGINIA STREET  
 MCKINNEY, TEXAS 75069  
 972-562-1266  
 DATE: JUNE 16, 1997

LEGAL DESCRIPTION: T.I. CHENOWETH SURVEY ABSTRACT NO. 273 DALLAS COUNTY, TEXAS VOLUME 79252, PAGE 0210

**SITE CONDITIONS**

ZONING: PD-92-037 BLDG SETBACK FRONT: 25'  
 PARKING: 1/70 SQ.FT. BLDG. SPACE BLDG SETBACK: RIGHT=25', LEFT=0  
 LANDSCAPING: 20% MIN. EXT., 5% INT. BLDG SETBACK REAR: = 0  
 SIGN SETBACK: 20' PROP. LINE FLOOD ZONE: NO  
 SIGN: 36 SOFT. MAX.-20 FT. MAX. HGT. LOT SIZE: 48,216 S.F./1.1069 AC.

PLAN SCALE: 1" = 20'

**STREET ADDRESS**  
 NWQ BELTLINE ROAD @ BUSINESS AVE.

CITY: ADDISION STATE: TEXAS

COUNTY: DALLAS LOT: 2 BLOCK: 2 ADDITION: BELTLINE-MARSH BUSINESS PARK

REGIONAL DWG. NO: 42/1916 CORPORATE DWG. NO: GRADING PLAN

**McDONALD'S**

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

McDONALD'S 1/C: 42/1916 BELTLINE RD. @ BUSINESS AVE. ADDISION, TEXAS

PLANNING & DESIGN DIVISION

DATE: 7/8/97

BY: MCD'S

STATUS: AS-BUILT

DATE DRAWN: 7/8/97

PLAN CHECKED: -

AS-BUILT

REGIONAL MGR. CONST. MGR. OPERATIONS DEPT. REAL ESTATE DEPT. CONTRACTOR OWNER

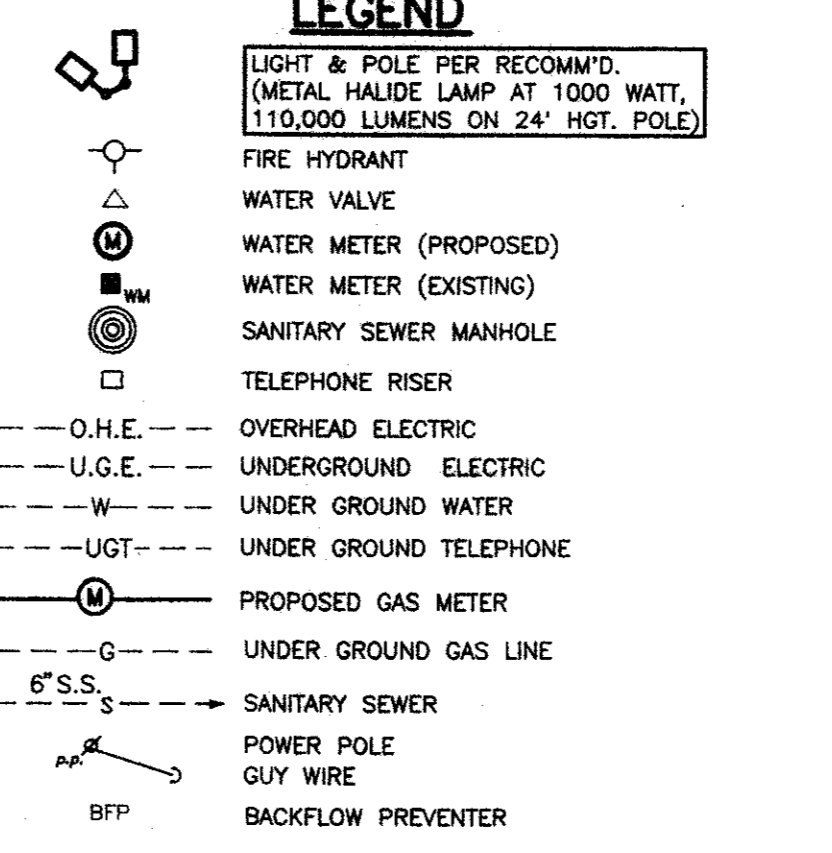
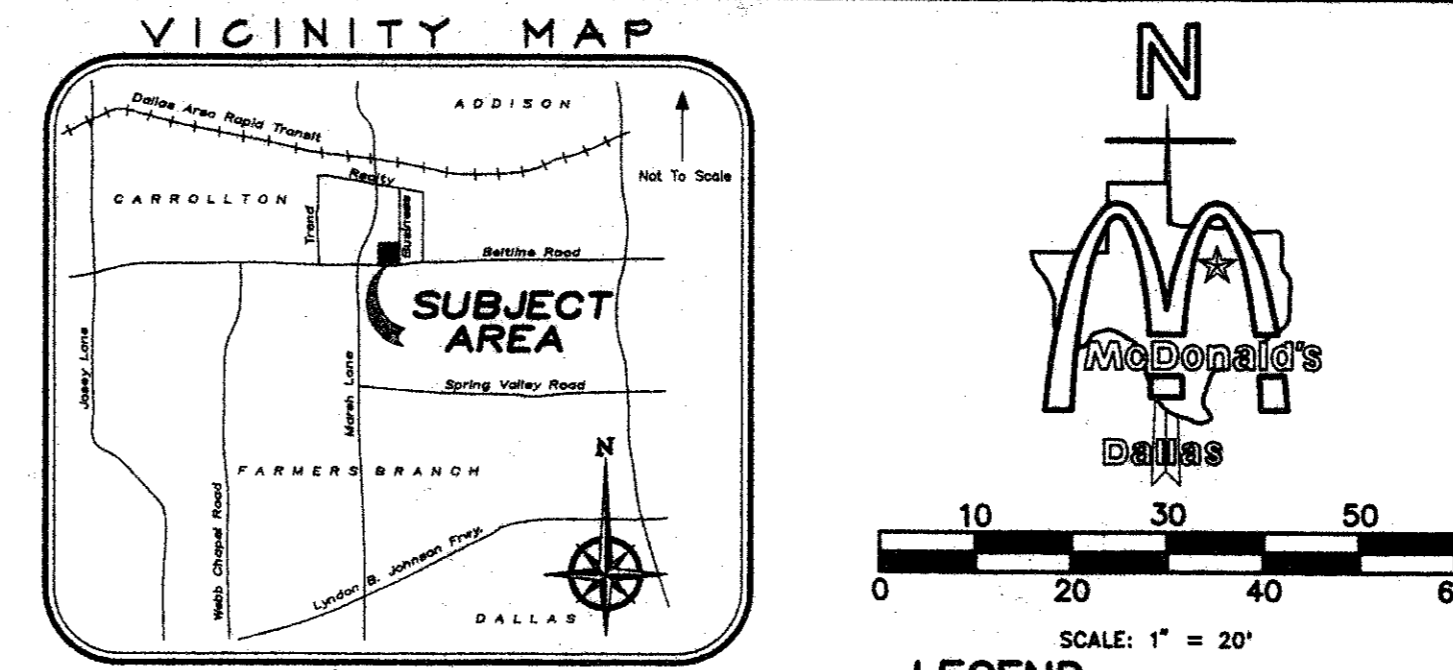
ADAMS CONSULTING ENGINEERS - SURVEYORS  
 CIVIL/ENVIRONMENTAL ENGINEERS - SURVEYORS  
 820 S. Main St., Suite 180 • Grapevine, Texas 76041 • (817) 929-8860

**AS-BUILT**  
**07/28/98**

**BELTLINE ROAD**  
 (Variable Width R.O.W.)



CONSTRUCTION SCHEDULE			CONSTRUCTION SCHEDULE			CONSTRUCTION SCHEDULE		
MARK/REF.	SHEET	MARK DESCRIPTION	MARK/REF.	SHEET	MARK DESCRIPTION	MARK/REF.	SHEET	MARK DESCRIPTION
1	5	SD-5 6"x18" VERTICAL CURB (TYP.) AT BLDG. PERIMETER	11	--	HANDRAIL	21	--	LANDSCAPE AREA, SUBGRADE ELEV. 2" BELOW TOP OF CURB
2	6	SD-5 18" CURB AND GUTTER (TYP.) AT PERIMETER OF SITE	12	--	RECYCLED GUARD POST	22	6	SD-5 FRENCH DRAIN
3	--	CONCRETE	13	4	SD-3 CONC. WALK TO HAVE BROOM FINISH AND SEALANT	23	--	5' CURB INLET
4	--	6" THK., 10' WIDE CONC. PAD REINF. PER SOILS REPORT	14	--	PAVING SYMBOLS	24	--	4.5" CONCRETE (MIN. 3000 PSI) WITH 6x6x6 W.W.F.
5	--	6" THK. CONC. REINF. PAD WITH DETECTOR LOOP	15	CZ,3	4" PVC ROOF DRAIN FROM D.S. TO OUT FLOW AT CURB	25	--	NEW CONCRETE DRIVE APPROACH PER McDONALD'S SPECS.
6	--	SD-4 H.C. ACCESS RAMP @ 1:12 MAX. SLOPE W/WARNING SURF.	16	3	SD-2 LOT LIGHTING PRELIMINARY, REF: LOT LGT. RECOMMENDATIONS	26	--	TRANSFORMER PAD PER ELECTRIC COMPANY
7	--	SD-4 CONC. REINF. RAMP @ 1:12 MAX. SLOPE	17	B	A2 ROOF ACCESS LADDER	27	--	PAINT STRIPING FOR DRIVE THRU AS PER McDONALD'S SPECS.
8	12	SD-5 PROPOSED CONCRETE WHEELSTOP	18	--	3' TAPERED CURB	28	--	PAVEMENT STRIPING TYPICAL
9	--	LEVEL TILE AREA, SLOPE AWAY FROM BLDG.	19	C1,3	IRRIGATION WATER METER	29	--	SAWCUT EXISTING PAVEMENT FOR PROP. DRIVE
10	5	SD-3 TILE FINISH OVER CONC. WALK	20	C1,3	DOMESTIC WATER METER	30	--	

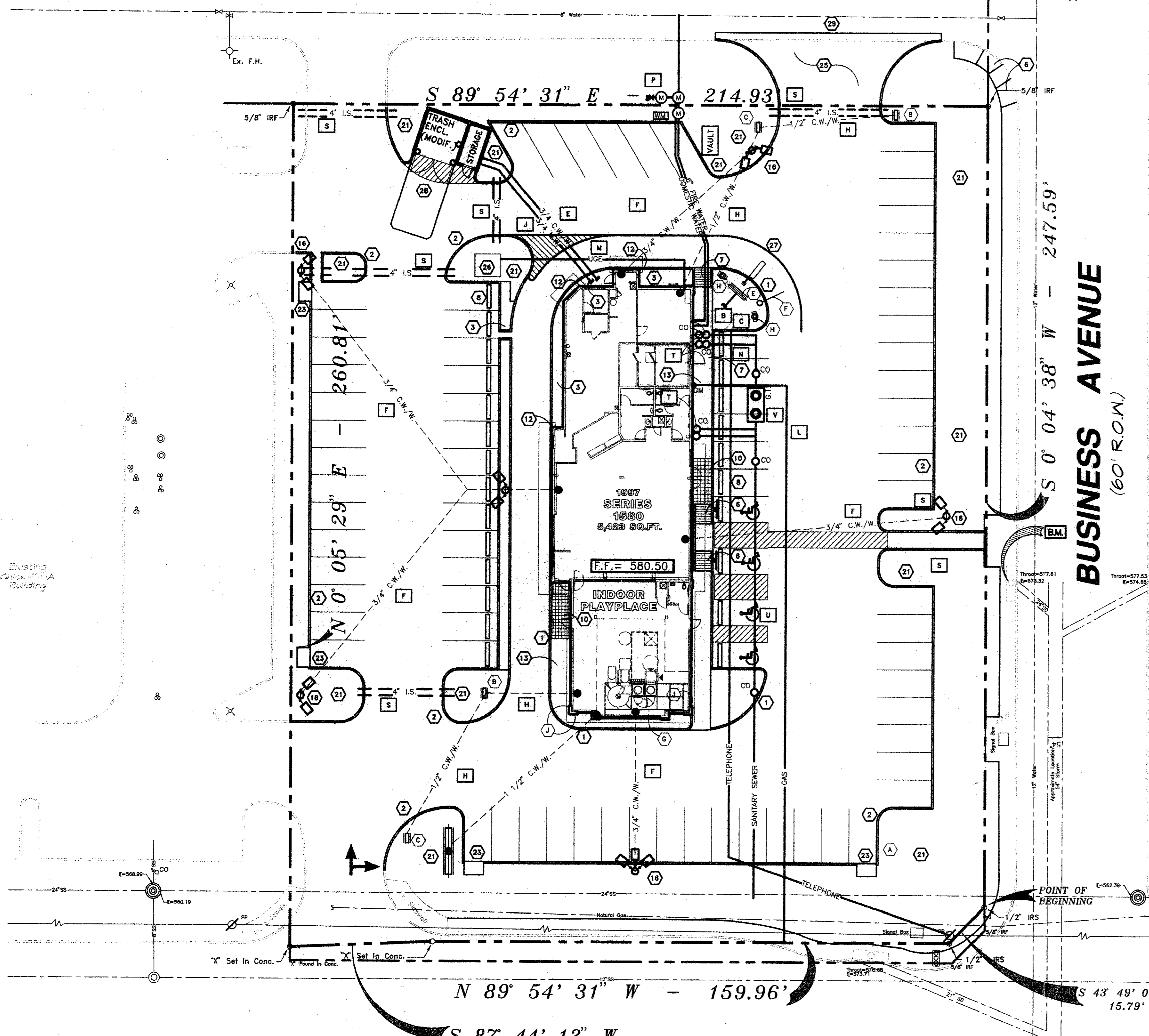


**NOTICE TO CONTRACTOR:**

- CONTRACTOR TO MAINTAIN INTEGRITY OF BENCHMARKS DURING CONSTRUCTION. BENCHMARKS MAY BE TRANSFERRED WHERE NECESSARY BUT MUST BE RELOCATED TO WITHIN A TOLERANCE OF 0.01'
- CONTRACTOR SHALL COORDINATE WITH THE CITY OF BONHAM FOR WATER LINE AND SANITARY SEWER MAIN EXTENSIONS TO THE PROPERTY. CONTRACTOR SHALL VERIFY WITH McDONALD'S PROJECT MANAGER AMOUNT OF WORK TO BE DONE OUTSIDE OF PROPERTY.
- CONTRACTOR SHALL REFER TO SITE LIGHTING LAYOUT FOR EXACT LOCATIONS OF ALL LIGHT POLES AND VERIFY WITH McDONALD'S PROJECT MANAGER FOR LOCATION OF ALL UNDERGROUND 3/4" CONDUIT WITH WIRE TO LIGHT POLES.
- CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES AND HAVE ALL EXISTING UTILITIES LOCATED TO FIELD VERIFY EXACT DEPTH & LOCATION OF ALL UNDERGROUND UTILITIES.
- WATER LINE CONSTRUCTION SHALL COMPLY WITH THE TOWN OF ADDISON SPECIFICATIONS.

UTILITY NOTE SCHEDULE	
MARK/REF.	MARK DESCRIPTION
A 1	SD1A SERV. TO PRESELL BRD. (FOUNDATION REF: SD1C/3)
B 1	SD1A 2" CONDUIT TO MENU BOARD FOR CONTROLS
C E4, SD1A	1/2" CONDUIT FROM BLDG. ELECT. PANEL TO MENU BRD.
D --	SD-1 3/4" CONDUIT W/LOW VOLTAGE WIRE FROM PRE-WARNING VEHICLE LOOP DETECTION.
E --	3/4" EMPTY CONDUIT (FUTURE VIDEO COAX)
F --	3/4" CONDUIT WITH WIRE (SITE LIGHTING)
G --	3/4" EMPTY CONDUIT
H --	1/2" CONDUIT WITH WIRE
J --	3/4" MIXED TEMP. WATER LINE
K --	1 1/2" EMPTY CONDUIT WITH WIRE (ROAD SIGN)
L --	2" GAS LINE- VERIFY IN FIELD SIZE & TAP LOCATION
M --	UNDER GROUND ELECT. SERV. TO SITE BY ELECT. CO. G.C. TO FIELD VERIFY TAP W/ McD'S & UTYL. CO.
N --	UNDER GROUND TELE. SERV. TO SITE BY TELE. CO. G.C. TO FIELD VERIFY CONN. LOCATION
P --	C-3 1 1/2" IRRIGATION METER & 1 1/2" DOMESTIC USE METER, PROVIDE 2- 1 1/2" TAPS W/VALVES AND SLEEVE PER CITY SPECS. TAP TO BE INSTALL BY CITY. FIRE LINE METER SHALL BE A DUEL DETECTOR CHECK ASSEMBLY WITH ER-1 'PITPAK', SEE TOWN SPECS.
R --	PROPOSED 4" FRENCH DRAIN PER McD'S SPECS.
S --	EMPTY 4" IRRIGATION SLEEVE (TYP. - 3 LOCATIONS)
T --	TWO-WAY SANITARY SEWER CLEANOUT
U --	CONNECT 6" SANITARY SEWER TO EX. SANITARY SEWER
V --	1000 GAL. GREASE TRAP PER CITY REQUIREMENTS
W --	EX. WATER METER TO BE REMOVED AS REQUIRED
X --	SANITARY SEWER CLEANOUT

SIGN SCHEDULE	
NO.	MARK DESCRIPTION
1	(A) 70-25 ROAD SIGN
3	(B) 90-5 DIR. SIGN "THANK YOU" / "EXIT"
3	(C) 90-5 DIR. SIGN "WELCOME" / "ENTER"
1	(D) FLAG POLE 25' HIGH MAX.
1	(E) 90-45 TRI-VIEW ORDER BOARD
2	(F) McDONALD'S LOGO ARCHES
1	(G) CLEARANCE SIGN (NON ILLUMINATED)
1	(H) FASCIA SIGN (McDONALD'S)
2	(J) 90-10 TRI-VIEW PRE-SELL BOARD
1	(K) "PLAYPLACE" FASCIA SIGN
22	(L) ROOF BEAMS



**UTILITY GENERAL CONDITIONS**  
 ALL UTILITY AND ELECTRICAL/CONDUITS RUNS ARE SCHEMATIC ONLY.  
 LOT LIGHTS ARE TO BE WIRED TO 2 (TWO) OR MORE CIRCUITS IN AN ALTERNATING SEQUENCES.

**AS-BUILT**  
**07/28/98**

- McDONALD'S ROAD SIGN AND BASE ARE BY THE SIGN CONTRACTOR. CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR.
- BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.
- 3/4" EMPTY CONDUIT TO LOCATIONS SHOWN AT THE LOT PERIMETER FOR LOT LIGHTING IS BY THE GENERAL CONTRACTOR. LIGHTING FIXTURES, BASES, POLES, CONDUIT, AND WIRING ARE BY THE OWNER/OPERATOR.
- GENERAL CONTRACTOR MUST PROVIDE EXACT "AS BUILT" INFORMATION UPON COMPLETION.
- PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.

**PAVING SPECIFICATION** VERIFY W/McDONALD'S: ASPHALT:  CONCRETE:   
 CONTRACTOR TO BID: ASPHALT:  CONCRETE:

NOTE: ALL PAVING/SUBGRADE SPECS TO COMPLY W/ SOIL TEST. CONCRETE:

- 5" TOTAL THICKNESS FOR PARKING AREA.
- 6" TOTAL THICKNESS FOR DRIVES.
- 7" TRASH ENCLOSURE PAD
- 5" DRIVE THRU PAD
- 6" IN. CONC. SURFC. 5% AIR ENTRAINED W/ #3 REBAR (@ CENTER OF SLAB ON CHAIRS) 15' O.C.E.W. OVER; COMPACTED SUBGRADE

CONCRETE IN PARKING AREAS SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI.  
 CONTROL JOINTS SHALL BE PLACED 15' CENTER TO CENTER

SCARIFY: AS PER GEOTECHNICAL REPORT BY HBC ENGINEERING, INC. DATED JUNE 1997 No. 42-1806-97  
 NOTE: McDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A CORRECTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF McDONALD'S, OTHERWISE, G.C. WILL BE CHARGED.

**LOT LIGHTING RECOMMENDATION**

SECURITY LIGHTING TO PROVIDE LIGHTING RECOMMENDATION, BASED ON LIGHT FIXTURE AND POLE HGT. SPECIFIED BY DEVELOPER.  
 STEVE FRIEDMAN  
 3477 W. TOUHY AVENUE / LINCOLNWOOD, ILLINOIS 60645  
 1-800-LIGHT-IT

NOTE: ELECTRICAL CONTRACTOR TO CIRCUIT LOT LIGHTING AS REQUIRED.

**PARKING PROVIDED**  
 (REQUIRED 1 PER 70 SQ. FT. OF BLDG. FLOOR SPACE 5,423 / 70 = 79 SPACES)  
 TOTAL SPACES: 81  
 3 (HANDICAP) 3 SPACES 8.5' X 17' @ 90'  
 6 SPACES 8.5' X 17' @ 60'

BUILDING: 1997 SERIES 1580 W/ INDOOR PLAYPLACE (5,500 SQ.FT.)

UTILITY INFORMATION		
	SIZE	TYPE LOCATION
SANITARY SEWER	12" & 24" @ BELTLINE ROW, 12" @ BUSINESS AVE.	
WATER	12" WATER IN BUSINESS AVE. ROW	
STORM SEWER	54" W/ A 21" & 24" SERV. LAT. IN BUSINESS AVE	
ELECTRIC	ONE ALONG BELTLINE RD.	
GAS	LINE IN FRNT. LANDSCAPE AREA BELTLINE RD.	

**SURVEY INFORMATION**

PREPARED BY: RINGLEY & ASSOCIATES, INC. LEGAL DESCRIPTION: T.I. CHENOWETH SURVEY ABSTRACT NO. 273 DALLAS COUNTY, TEXAS VOLUME 79252, PAGE 0210  
 112 W. VIRGINIA STREET, MCKINNEY, TEXAS 75069  
 972-562-1266  
 DATE: JUNE 16, 1997

**SITE CONDITIONS**

ZONING: PD-92-037 BLDG SETBACK FRONT: 25'  
 PARKING: 1/70 SQ.FT. BLDG. SPACE BLDG SETBACK: RIGHT=25', LEFT=0  
 LANDSCAPING: 20% MIN. EXT., 5% INT. BLDG SETBACK REAR: = 0  
 SIGN SETBACK: 20' PROP. LINE FLOOD ZONE: NO  
 SIGN: 36 SQFT. MAX.-20 FT. MAX. HGT. LOT SIZE: 48,216 S.F./1.1069 AC.

PLAN SCALE: 1" = 20'

STREET ADDRESS: **NW 36 BELTLINE ROAD @ BUSINESS AVE.**

CITY: **ADDISON** STATE: **TEXAS**

COUNTY: **DALLAS** LOT:  BLOCK: **2** ADDITION: **BELTLINE-MARSH BUSINESS PARK**

REGIONAL DWG. NO: **42/1916** CORPORATE DWG. NO: **UTILITY PLAN**

ADAMS CONSULTING ENGINEERS, INC.  
 CIVIL/ENVIRONMENTAL ENGINEERS - SURVEYORS  
 920 E. Main St., Suite 160 • Irving, Texas 76031 • (817) 369-8880

REV. DATE DESCRIPTION BY ISSUE REF.

1	11/14/97	REVISIONS AS PER McDONALD'S	J.L.	
2	11/19/97	REVISIONS AS PER McDONALD'S	J.L.	
3	12/19/97	REVISIONS AS PER CITY COMMENTS	S.P.S.	

86-127-11  
 86-127-11  
 86-127-11

**McDONALD'S**  
 THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.  
 McDONALD'S I/C: 42/1916 BELTLINE RD. @ BUSINESS AVE. ADDISON, TEXAS

OFFICE: DALLAS REGION  
 ADDRESS: KROC DRIVE - OAK BROOK, ILLINOIS 60521

DATE: 7/8/97  
 DRAWN BY: MCD'S  
 CHECKED BY: AS-BUILT

CO-SIGN SIGNATURES

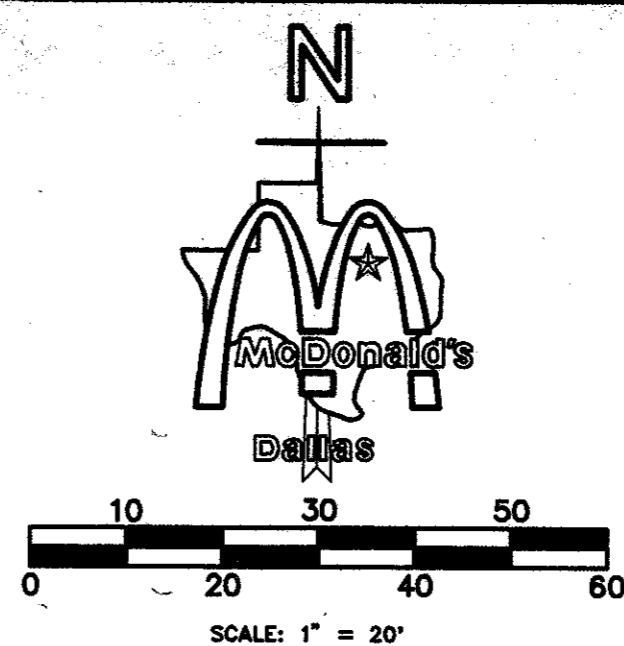
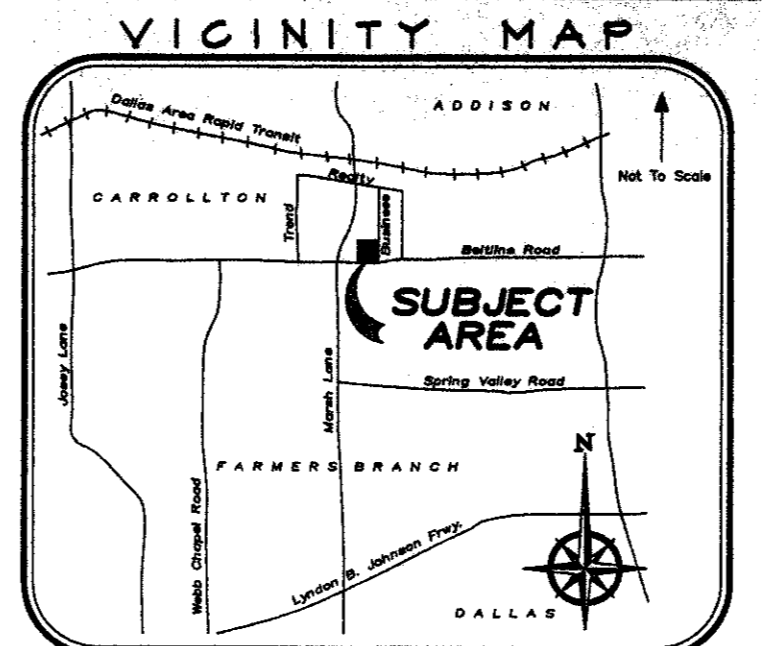
REGIONAL MGR. CONST. MGR. OPERATIONS DEPT. REAL ESTATE DEPT. CONTRACTOR OWNER

STATUS: **C-3**

AS-BUILT 7/28/98 McDonalds 3795 Belt Line  
 B8-14



CONSTRUCTION SCHEDULE			CONSTRUCTION SCHEDULE			CONSTRUCTION SCHEDULE		
MARK	REF.	SHEET	MARK	REF.	SHEET	MARK	REF.	SHEET
1	5	SD-5	11	-	-	21	-	-
2	6	SD-5	12	-	-	22	6	SD-5
3	-	-	13	4	SD-3	23	-	-
4	-	-	14	-	-	24	-	-
5	-	-	15	-	-	25	-	-
6	-	-	16	3	SD-2	26	-	-
7	-	-	17	B	A2	27	-	-
8	12	SD-5	18	-	-	28	-	-
9	-	-	19	-	-	29	-	-
10	5	SD-3	20	C1,3	-	30	-	-

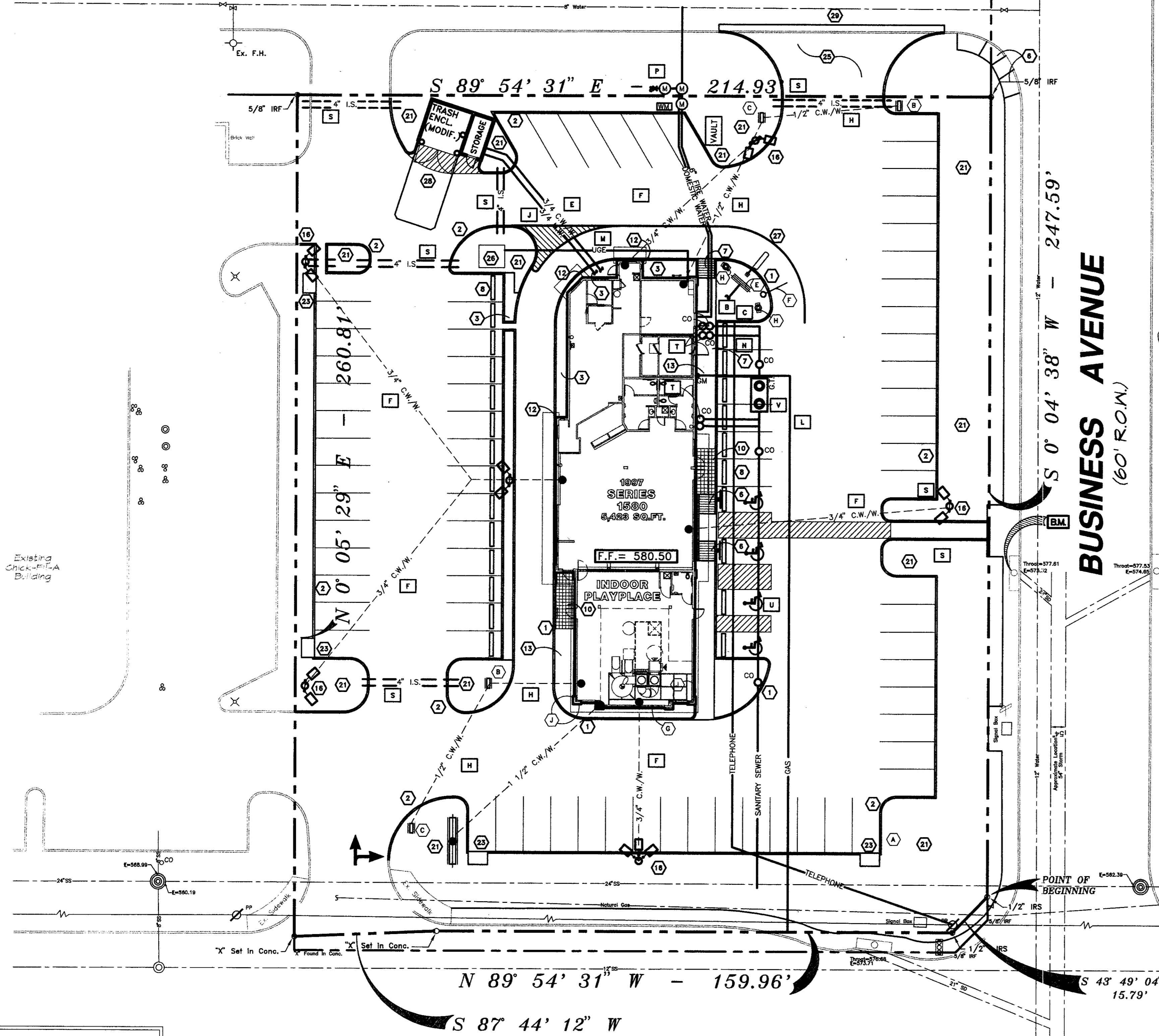


- NOTICE TO CONTRACTOR:**
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  - WATER LINE CONSTRUCTION SHALL COMPLY WITH THE TOWN OF ADDISON SPECIFICATIONS.

MARK	REF.	SHEET	MARK	DESCRIPTION
A	1	SD1A	1	SERV. TO PRESELL BRD. (FOUNDATION REF: SD1C/3)
B	1	SD1A	2	CONDUIT TO MENU BOARD FOR CONTROLS
C	E4,	SD1A	1 1/2"	CONDUIT FROM BLDG. ELECT. PANEL TO MENU BRD.
D	-	SD-1	3/4"	CONDUIT W/LOW VOLTAGE WIRE FROM PRE-WARNING VEHICLE LOOP DETECTION.
E	-	-	3/4"	EMPTY CONDUIT (FUTURE VIDEO COAX)
F	-	-	3/4"	CONDUIT WITH WIRE (SITE LIGHTING)
G	-	-	3/4"	EMPTY CONDUIT
H	-	-	1/2"	CONDUIT WITH WIRE
J	-	-	3/4"	MIXED TEMP. WATER LINE
K	-	-	1 1/2"	EMPTY CONDUIT WITH WIRE (ROAD SIGN)
L	-	-	2"	GAS LINE- VERIFY IN FIELD SIZE & TAP LOCATION
M	-	-	-	UNDER GROUND ELECT. SERV. TO SITE BY ELECT. CO. G.C. TO FIELD VERIFY TAP W/ McD'S & UTYL. CO.
N	-	-	-	UNDER GROUND TELE. SERV. TO SITE BY TELE. CO. G.C. TO FIELD VERIFY CONN. LOCATION
P	-	C-3	1 1/2"	IRRIGATION METER & 1 1/2" DOMESTIC USE METER, PROVIDE 2- 1 1/2" TAPS W/VALVES AND SLEEVE PER CITY SPECS. TAP TO BE INSTALLED BY CITY. FIRE LINE METER SHALL BE A DUEL DETECTOR CHECK ASSEMBLY WITH ER-1 'PITPAK', SEE TOWN SPECS.
R	-	-	-	PROPOSED FRENCH DRAIN PER MOD'S SPECS.
S	-	-	-	EMPTY 4" IRRIGATION SLEEVE (TYP. - 3 LOCATIONS)
T	-	-	-	TWO-WAY SANITARY SEWER CLEANOUT
U	-	-	-	CONNECT 6" SANITARY SEWER TO EX. SANITARY SEWER
V	-	-	-	1000 GAL. GREASE TRAP PER CITY REQUIREMENTS
W	-	-	-	EX. WATER METER TO BE REMOVED AS REQUIRED
X	-	-	-	SANITARY SEWER CLEANOUT

NO.	MARK	DESCRIPTION
1	(A)	70-25 ROAD SIGN
3	(B)	90-5 DIR. SIGN "THANK YOU" / "EXIT"
3	(C)	90-5 DIR. SIGN "WELCOME" / "ENTER"
1	(D)	FLAG POLE 25' HIGH MAX.
1	(E)	90-45 TRI-VIEW ORDER BOARD
2	(F)	McDONALD'S LOGO ARCHES
1	(G)	CLEARANCE SIGN (NON ILLUMINATED)
1	(H)	FASCIA SIGN (McDONALD'S)
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1	(K)	"PLAYPLACE" FASCIA SIGN
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REV	DATE	DESCRIPTION	ISSUE REF.
1	11/14/97	REVISIONS AS PER McDONALD'S	J.L.
2	11/19/97	REVISIONS AS PER McDONALD'S	J.L.
3	12/18/97	REVISIONS AS PER CITY COMMENTS	S.P.S.

PAVING SPECIFICATION: VERIFY W/McDONALD'S: ASPHALT:  CONCRETE:   
 CONTRACTOR TO BID: ASPHALT:  CONCRETE:

NOTE: ALL PAVING/SUBGRADE SPECS TO COMPLY W/ SOIL TEST. CONCRETE:  
 5" TOTAL THICKNESS FOR PARKING AREA.  
 6" TOTAL THICKNESS FOR DRIVES.  
 7" TRASH ENCLOSURE PAD  
 5" DRIVE THRU PAD  
 6" IN CONC. SURF. 5% AIR ENTRAINED W/ #5 REBAR @ CENTER OF SLAB ON CHAIRS) 18" O.C.E.W. OVER; COMPACTED SUBGRADE  
 CONCRETE IN PARKING AREAS SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI.  
 CONTROL JOINTS SHALL BE PLACED 15' CENTER TO CENTER

SCAFFRY: AS PER GEOTECHNICAL REPORT BY HBC ENGINEERING, INC. DATED JUNE 1997 No. 42-1608-97  
 NOTE: McDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF McDONALD'S, OTHERWISE, G.C. WILL BE CHARGED.

LOT LIGHTING RECOMMENDATION  
 SECURITY LIGHTING TO PROVIDE LIGHTING RECOMMENDATION, BASED ON LIGHT FIXTURE AND POLE HGT. SPECIFIED BY DEVELOPER.  
 STEVE FRIEDMAN  
 3477 W. TOUHY AVENUE / LINCOLNWOOD, ILLINOIS 60645  
 1-800-LIGHT-IT  
 NOTE: ELECTRICAL CONTRACTOR TO CIRCUIT LOT LIGHTING AS REQUIRED.

PARKING PROVIDED	
(REQUIRED 1 PER 70 SQ. FT. OF BLDG. FLOOR SPACE 5,423 / 70 = 78 SPACES)	72 SPACES 8.5' X 17' @ 90°
81 (H) (HANDICAP)	3 SPACES 8.5' X 17' @ 90°
	6 SPACES 8.5' X 17' @ 60°

UTILITY INFORMATION	
SIZE	TYPE LOCATION
SANITARY SEWER	12" & 24" @ BELTLINE ROW, 12" @ BUSINESS AVE.
WATER	12" WATER IN BUSINESS AVE. ROW
STORM SEWER	54" W/ A 21" & 24" SERV. LAT. IN BUSINESS AVE
ELECTRIC	OHE ALONG BELTLINE RD.
GAS	LINE IN FRNT. LANDSCAPE AREA BELTLINE RD.

PREPARED BY: RINGLEY & ASSOCIATES, INC. 112 W. VIRGINIA STREET McKNNEY, TEXAS 75069 972-562-1286  
 LEGAL DESCRIPTION: T.I. CHENOWETH SURVEY ABSTRACT NO. 273 DALLAS COUNTY, TEXAS VOLUME 79252, PAGE 0210  
 DATE: JUNE 16, 1997

SURVEY INFORMATION  
 ZONING: PD-92-037 BLDG SETBACK FRONT: 25'  
 PARKING: 1/70 SQ.FT. BLDG. SPACE BLDG SETBACK: RIGHT=25', LEFT=0  
 LANDSCAPING: 20% MIN. EXT., 5% INT. BLDG SETBACK REAR: = 0  
 SIGN SETBACK: 20' PROP. LINE FLOOD ZONE: NO  
 SIGN: 36 SQFT. MAX.-20 FT. MAX. HGT. LOT SIZE: 48,216 S.F./1.1069 Ac.

PLAN SCALE: 1" = 20'  
 STREET ADDRESS: NWQ BELTLINE ROAD @ BUSINESS AVE.  
 CITY: ADDISON STATE: TEXAS  
 COUNTY: DALLAS LOT: 2 BLOCK: BELTLINE-MARSH BUSINESS PARK

REGIONAL DWG. NO: 42/1916 CORPORATE DWG. NO: UTILITY PLAN  
 STATUS: DATE: 7/8/97 BY: MCD'S  
 DATE DRAWN: 7/8/97  
 PLAN CHECKED: AS-BUILT

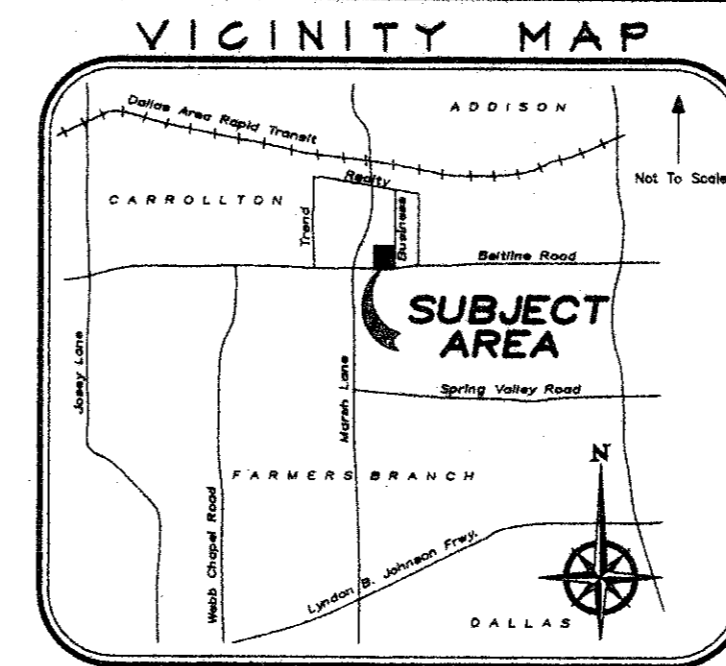
McDONALD'S  
 THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.  
 McDONALD'S I/C: 42/1916 BELTLINE RD. @ BUSINESS AVE. ADDISON, TEXAS

REGIONAL MGR.	CONST. MGR.	OPERATIONS DEPT.	REAL ESTATE DEPT.	CONTRACTOR	OWNER

**AS-BUILT**  
**07/28/98**



CONSTRUCTION SCHEDULE			CONSTRUCTION SCHEDULE			CONSTRUCTION SCHEDULE		
MARK/REF.	SHEET	MARK DESCRIPTION	MARK/REF.	SHEET	MARK DESCRIPTION	MARK/REF.	SHEET	MARK DESCRIPTION
1	5	SD-5 6"x18" VERTICAL CURB (TYP.) AT BLDG. PERIMETER	11	-	HANDRAIL	21	-	LANDSCAPE AREA, SUBGRADE ELEV. 2" BELOW TOP OF CURB
2	6	SD-5 18" CURB AND GUTTER (TYP.) AT PERIMETER OF SITE	12	-	RECYCLED GUARD POST	22	6	SD-5 FRENCH DRAIN
3	-	CONCRETE	13	4	SD-3 CONC. WALK TO HAVE BROOM FINISH AND SEALANT	23	-	5" CURB INLET
4	-	6" THK., 10' WIDE CONC. PAD REINF. PER SOILS REPORT	14	-	PAVING SYMBOLS	24	-	4.5" CONCRETE (MIN. 3000 PSI) WITH 6x6x6 W.W.F.
5	-	6" THK. CONC. REINF. PAD WITH DETECTOR LOOP	15	C2,3	4" PVC ROOF DRAIN FROM D.S. TO OUT FLOW AT CURB	25	-	NEW CONCRETE DRIVE APPROACH PER McDONALD'S SPECS.
6	-	SD-4 H.C. ACCESS RAMP @ 1:12 MAX. SLOPE W/WARNING SURF.	16	3	SD-2 LOT LIGHTING PRELIMINARY, REF: LOT LG. RECOMMENDATIONS	26	-	TRANSFORMER PAD PER ELECTRIC COMPANY
7	-	SD-4 CONC. REINF. RAMP @ 1:12 MAX. SLOPE	17	B	A2 ROOF ACCESS LADDER	27	-	PAINT STRIPING FOR DRIVE THRU AS PER McDONALD'S SPECS.
8	12	SD-5 PROPOSED CONCRETE WHEELSTOP	18	-	3" TAPERED CURB	28	-	PAVEMENT STRIPING TYPICAL
9	-	LEVEL TILE AREA, SLOPE AWAY FROM BLDG.	19	-	C1,3 IRRIGATION WATER METER	29	-	SAWCUT EXISTING PAVEMENT FOR PROP. DRIVE
10	5	SD-3 TILE FINISH OVER CONC. WALK	20	-	C1,3 DOMESTIC WATER METER	30	-	



**LEGEND**

○	LIGHT & POLE PER RECOMM. (METAL HALIDE LAMP AT 1000 WATT, 110,000 LUMENS ON 24' HGT. POLE)
○	FIRE HYDRANT
○	WATER VALVE
○	WATER METER (PROPOSED)
○	WATER METER (EXISTING)
○	SANITARY SEWER MANHOLE
○	TELEPHONE RISER
---	O.H.E. OVERHEAD ELECTRIC
---	U.G.E. UNDERGROUND ELECTRIC
---	W UNDER GROUND WATER
---	UGT UNDER GROUND TELEPHONE
○	PROPOSED GAS METER
---	UNDER GROUND GAS LINE
---	6" S.S. SANITARY SEWER
---	POWER POLE
---	GUY WIRE
---	BFP BACKFLOW PREVENTER

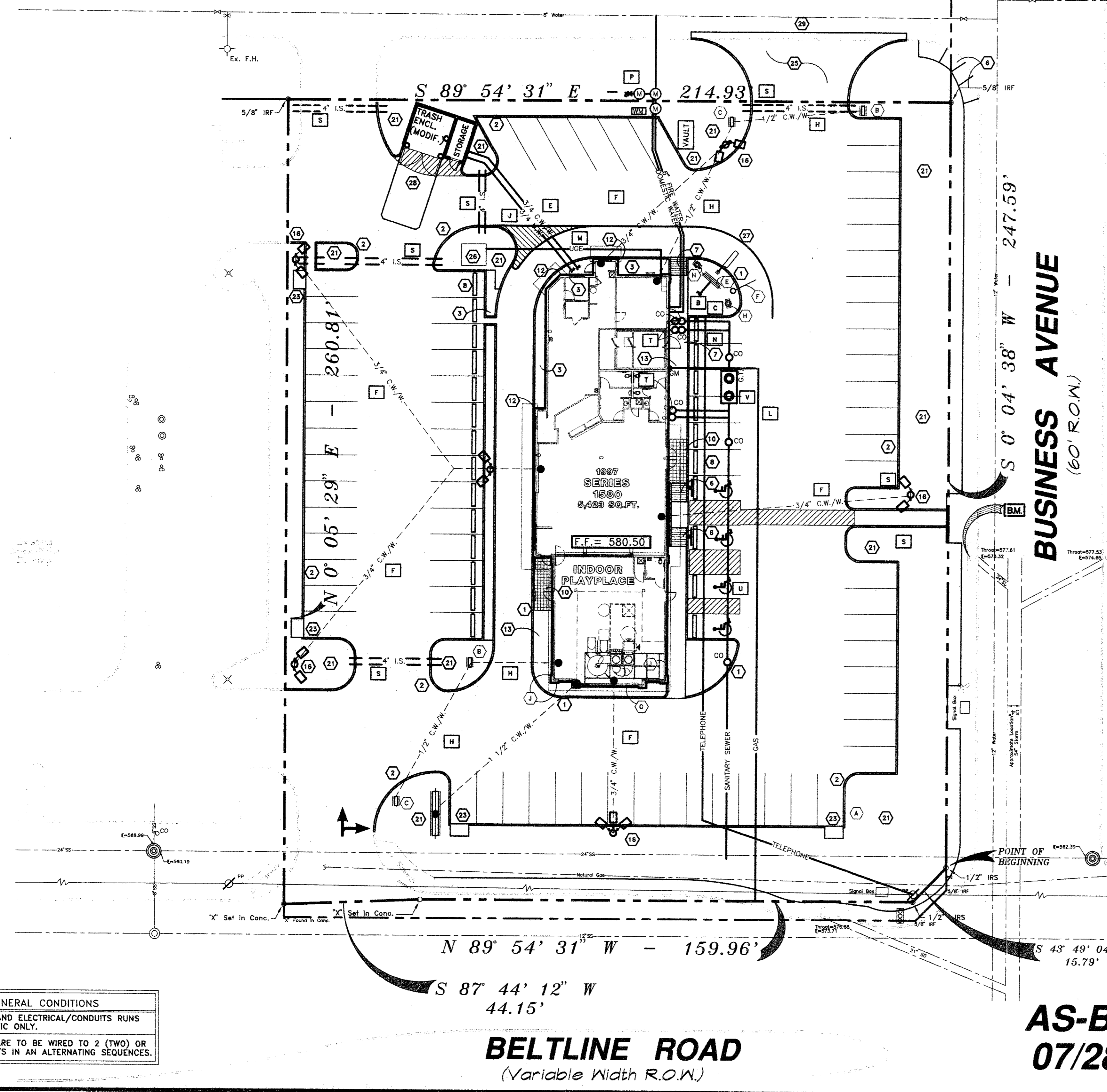
- NOTICE TO CONTRACTOR:**
- CONTRACTOR TO MAINTAIN INTEGRITY OF BENCHMARKS DURING CONSTRUCTION. BENCHMARKS MAY BE TRANSFERRED WHERE NECESSARY BUT MUST BE RELOCATED TO WITHIN A TOLERANCE OF 0.01'
  - CONTRACTOR SHALL COORDINATE WITH THE CITY OF BONHAM FOR WATER LINE AND SANITARY SEWER MAIN EXTENSIONS TO THE PROPERTY. CONTRACTOR SHALL VERIFY WITH McDONALD'S PROJECT MANAGER AMOUNT OF WORK TO BE DONE OUTSIDE OF PROPERTY.
  - CONTRACTOR SHALL REFER TO SITE LIGHTING LAYOUT FOR EXACT LOCATIONS OF ALL LIGHT POLES AND VERIFY WITH McDONALD'S PROJECT MANAGER FOR LOCATION OF ALL UNDERGROUND 3/4" CONDUIT WITH WIRE TO LIGHT POLES.
  - CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES AND HAVE ALL EXISTING UTILITIES LOCATED TO FIELD VERIFY EXACT DEPTH & LOCATION OF ALL UNDERGROUND UTILITIES.
  - WATER LINE CONSTRUCTION SHALL COMPLY WITH THE TOWN OF ADDISON SPECIFICATIONS.

**UTILITY NOTE SCHEDULE**

MARK/REF.	SHEET	MARK DESCRIPTION
A	1	SD1A SERV. TO PRESELL BRD. (FOUNDATION REF: SD1C/3)
B	1	SD1A 2" CONDUIT TO MENU BOARD FOR CONTROLS
C	E4	SD1A 1/2" CONDUIT FROM BLDG. ELECT. PANEL TO MENU BRD.
D	-	SD-1 3/4" CONDUIT W/LOW VOLTAGE WIRE FROM PRE-WARNING VEHICLE LOOP DETECTION.
E	-	3/4" EMPTY CONDUIT (FUTURE VIDEO COAX)
F	-	3/4" CONDUIT WITH WIRE (SITE LIGHTING)
G	-	3/4" EMPTY CONDUIT
H	-	1/2" CONDUIT WITH WIRE
J	-	3/4" MIXED TEMP. WATER LINE
K	-	1 1/2" EMPTY CONDUIT WITH WIRE (ROAD SIGN)
L	-	2" GAS LINE - VERIFY IN FIELD SIZE & TAP LOCATION
M	-	UNDER GROUND ELECT. SERV. TO SITE BY ELECT. CO. G.C. TO FIELD VERIFY TAP W/ McD'S & UTYL. CO.
N	-	UNDER GROUND TELE. SERV. TO SITE BY TELE. CO. G.C. TO FIELD VERIFY CONN. LOCATION
P	-	C-3 1 1/2" IRRIGATION METER & 1 1/2" DOMESTIC USE METER, PROVIDE 2- 1 1/2" TAPS W/VALVES AND SLEEVE PER CITY SPECS. TAP TO BE INSTALL BY CITY. FIRE LINE METER SHALL BE A DUEL DETECTOR CHECK ASSEMBLY WITH ER-1 'PITPAK', SEE TOWN SPECS.
R	-	PROPOSED 4" FRENCH DRAIN PER McD'S SPECS.
S	-	EMPTY 4" IRRIGATION SLEEVE (TYP. - 3 LOCATIONS)
T	-	TWO-WAY SANITARY SEWER CLEANOUT
U	-	CONNECT 6" SANITARY SEWER TO EX. SANITARY SEWER
V	-	1000 GAL. GREASE TRAP PER CITY REQUIREMENTS
W	-	EX. WATER METER TO BE REMOVED AS REQUIRED
X	-	SANITARY SEWER CLEANOUT

**SIGN SCHEDULE**

NO.	MRK.	DESCRIPTION
1	(A)	70-25 ROAD SIGN
3	(B)	90-5 DIR. SIGN "THANK YOU" / "EXIT"
3	(C)	90-5 DIR. SIGN "WELCOME" / "ENTER"
1	(D)	FLAG POLE 25' HIGH MAX.
1	(E)	90-45 TRI-VIEW ORDER BOARD
2	(F)	McDONALD'S LOGO ARCHES
1	(G)	CLEARANCE SIGN (NON ILLUMINATED)
1	(H)	FASCIA SIGN (McDONALD'S)
2	(J)	90-10 TRI-VIEW PRE-SELL BOARD
1	(K)	"PLAYPLACE" FASCIA SIGN
22	(L)	ROOF BEAMS



**UTILITY GENERAL CONDITIONS**  
 ALL UTILITY AND ELECTRICAL/CONDUITS RUNS ARE SCHEMATIC ONLY.  
 LOT LIGHTS ARE TO BE WIRED TO 2 (TWO) OR MORE CIRCUITS IN AN ALTERNATING SEQUENCES.

- McDONALD'S ROAD SIGN AND BASE ARE BY THE SIGN CONTRACTOR. CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR.
- BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.
- 3/4" EMPTY CONDUIT TO LOCATIONS SHOWN AT THE LOT PERIMETER FOR LOT LIGHTING IS BY THE GENERAL CONTRACTOR. LIGHTING FIXTURES, BASES, POLES, CONDUIT, AND WIRING ARE BY THE OWNER/OPERATOR.
- GENERAL CONTRACTOR MUST PROVIDE EXACT "AS BUILT" INFORMATION UPON COMPLETION.
- PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.

**PAVING SPECIFICATION**

VERIFY W/McDONALD'S: ASPHALT: <input type="checkbox"/> CONCRETE: <input checked="" type="checkbox"/>
CONTRACTOR TO BID: ASPHALT: <input type="checkbox"/> CONCRETE: <input checked="" type="checkbox"/>

**NOTE:** ALL PAVING/SUBGRADE SPECS TO COMPLY W/ SOIL TEST. CONCRETE:

- 5' TOTAL THICKNESS FOR PARKING AREA.
- 6' TOTAL THICKNESS FOR DRIVES.
- 7' TRASH ENCLOSURE PAD
- 5' DRIVE THRU PAD
- 6" IN. CONC. SURF, 5% AIR ENTRAINED W/ #3 REBAR @ CENTER OF SLAB ON CHAIRS 18" O.C.E.W. OVER; COMPACTED SUBGRADE

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**SECURITY:** AS PER GEOTECHNICAL REPORT BY HBC ENGINEERING, INC. DATED JUNE 1997 No. 42-1806-97

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**LOT LIGHTING RECOMMENDATION**

SECURITY LIGHTING TO PROVIDE LIGHTING RECOMMENDATION, BASED ON LIGHT FIXTURE AND POLE HGT. SPECIFIED BY DEVELOPER.

STEVE FRIEDMAN  
 3477 W. TOLBY AVENUE / LINCOLNWOOD, ILLINOIS 60645  
 1-800-LIGHT-IT

**NOTE:** ELECTRICAL CONTRACTOR TO CIRCUIT LOT LIGHTING AS REQUIRED.

**PARKING PROVIDED**

(REQUIRED 1 PER 70 SQ. FT. OF BLDG. FLOOR SPACE 5,423 / 70 = 79 SPACES)

TOTAL SPACES	72 SPACES 8.5' X 17' @ 90°
81	(HANDICAP) 3 SPACES 8.5' X 17' @ 90°
	6 SPACES 8.5' X 17' @ 60°

**BUILDING:** 1997 SERIES 1580 W/ INDOOR PLAYPLACE (5,500 SQ.FT.)

**UTILITY INFORMATION**

	SIZE	TYPE	LOCATION
SANITARY SEWER	12" & 24" @ BELTLINE ROW, 12" @ BUSINESS AVE.		
WATER	12" WATER IN BUSINESS AVE. ROW		
STORM SEWER	54" W/ A 21" & 24" SERV. LAT. IN BUSINESS AVE		
ELECTRIC	OHE ALONG BELTLINE RD.		
GAS	LINE IN FRNT. LANDSCAPE AREA BELTLINE RD.		

**PREPARED BY:** RINCLEY & ASSOCIATES, INC.  
 112 W. VIRGINIA STREET  
 MCKINNEY, TEXAS 75069  
 972-562-1266

**LEGAL DESCRIPTION:** T.J. CHENOWETH SURVEY ABSTRACT NO. 273 DALLAS COUNTY, TEXAS VOLUME 79252, PAGE 0210

**DATE:** JUNE 16, 1997

**SITE CONDITIONS**

ZONING: PD-92-037	BLDG SETBACK FRONT: 25'
PARKING: 1/70 SQ.FT. BLDG. SPACE	BLDG SETBACK: RIGHT=25', LEFT=0
LANDSCAPING: 20% MIN. EXT., 5% INT.	BLDG SETBACK REAR: = 0
SIGN SETBACK: 20' PROP. LINE	FLOOD ZONE: NO
SIGN: 36 SQ.FT. MAX.-20 FT. MAX. HGT. LOT SIZE: 48,216 S.F./1.1089 Ac.	

**PLAN SCALE:** 1" = 20'

**STREET ADDRESS:** NWQ BELTLINE ROAD @ BUSINESS AVE.

CITY	STATE	STATUS	DATE	BY
ADDISON	TEXAS			

COUNTY:	LOT:	BLOCK:	ADDITION:
DALLAS		2	BELTLINE-MARSH BUSINESS PARK

REGIONAL DWG. NO. 42/1916      CORPORATE DWG. NO. UTILITY PLAN

**McDONALD'S**

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McDONALD'S L/C: 42/1916 BELTLINE RD. @ BUSINESS AVE. ADDISON, TEXAS

REV.	DATE	DESCRIPTION	BY	ISSUE REF.
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2	11/19/97	REVISIONS AS PER McDONALD'S	J.L.	
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**PLANNING APPROVALS**

REGIONAL MGR.	CONST. MGR.	OPERATIONS DEPT.	REAL ESTATE DEPT.	CONTRACTOR OWNER

**CO-SIGN SIGNATURES**

DATE DRAWN	DATE	BY
7/8/97		MCD'S

**PLAN CHECKED:** AS-BUILT

**DATE:** 7/8/97

**BY:** MCD'S

**SCALE:** C-3

**ADAMS CONSULTING ENGINEERS - SURVEYORS, INC.**  
 CIVIL / ENVIRONMENTAL ENGINEERS - SURVEYORS  
 8802 S. Main St., Suite 100 • Grapevine, Texas 76047 • (817) 583-8880

