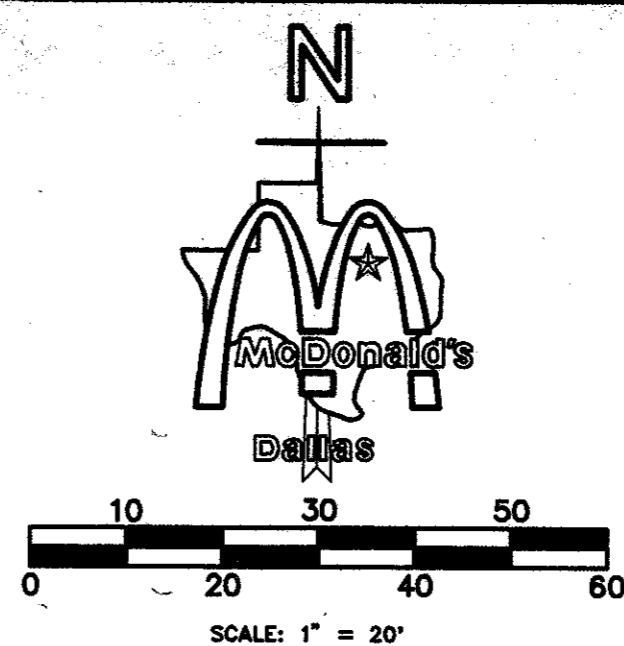
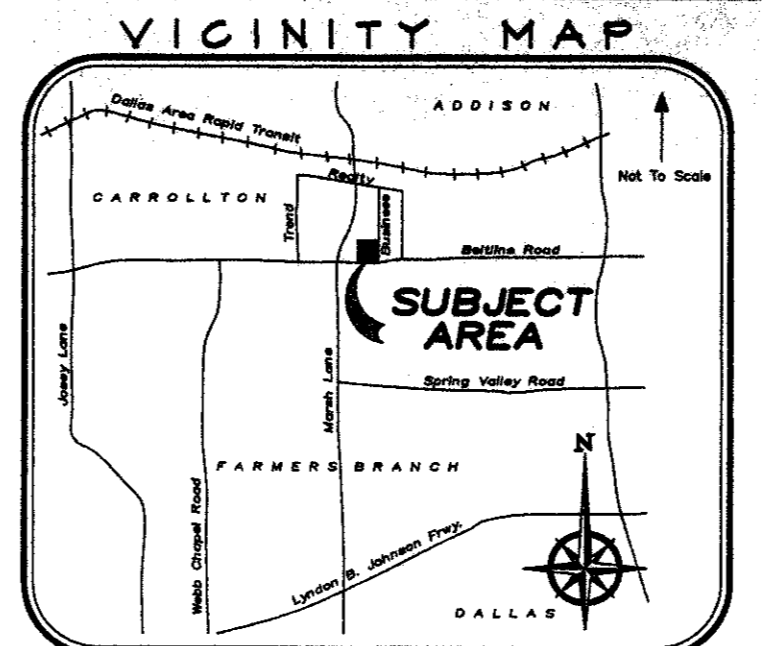


CONSTRUCTION SCHEDULE			CONSTRUCTION SCHEDULE			CONSTRUCTION SCHEDULE		
MARK	REF.	SHEET	MARK	REF.	SHEET	MARK	REF.	SHEET
1	5	SD-5	11	-	-	21	-	-
2	6	SD-5	12	-	-	22	6	SD-5
3	-	-	13	4	SD-3	23	-	-
4	-	-	14	-	-	24	-	-
5	-	-	15	-	-	25	-	-
6	-	-	16	3	SD-2	26	-	-
7	-	-	17	B	A2	27	-	-
8	12	SD-5	18	-	-	28	-	-
9	-	-	19	-	-	29	-	-
10	5	SD-3	20	C1,3	-	30	-	-



- NOTICE TO CONTRACTOR:**
- CONTRACTOR TO MAINTAIN INTEGRITY OF BENCHMARKS DURING CONSTRUCTION. BENCHMARKS MAY BE TRANSFERRED WHERE NECESSARY BUT MUST BE RELOCATED TO WITHIN A TOLERANCE OF 0.01'.
 - CONTRACTOR SHALL COORDINATE WITH THE CITY OF BONHAM FOR WATER LINE AND SANITARY SEWER MAIN EXTENSIONS TO THE PROPERTY. CONTRACTOR SHALL VERIFY WITH McDONALD'S PROJECT MANAGER AMOUNT OF WORK TO BE DONE OUTSIDE OF PROPERTY.
 - CONTRACTOR SHALL REFER TO SITE LIGHTING LAYOUT FOR EXACT LOCATIONS OF ALL LIGHT POLES AND VERIFY WITH McDONALD'S PROJECT MANAGER FOR LOCATION OF ALL UNDERGROUND 3/4" CONDUIT WITH WIRE TO LIGHT POLES.
 - CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES AND HAVE ALL EXISTING UTILITIES LOCATED TO FIELD VERIFY EXACT DEPTH & LOCATION OF ALL UNDERGROUND UTILITIES.
 - WATER LINE CONSTRUCTION SHALL COMPLY WITH THE TOWN OF ADDISON SPECIFICATIONS.

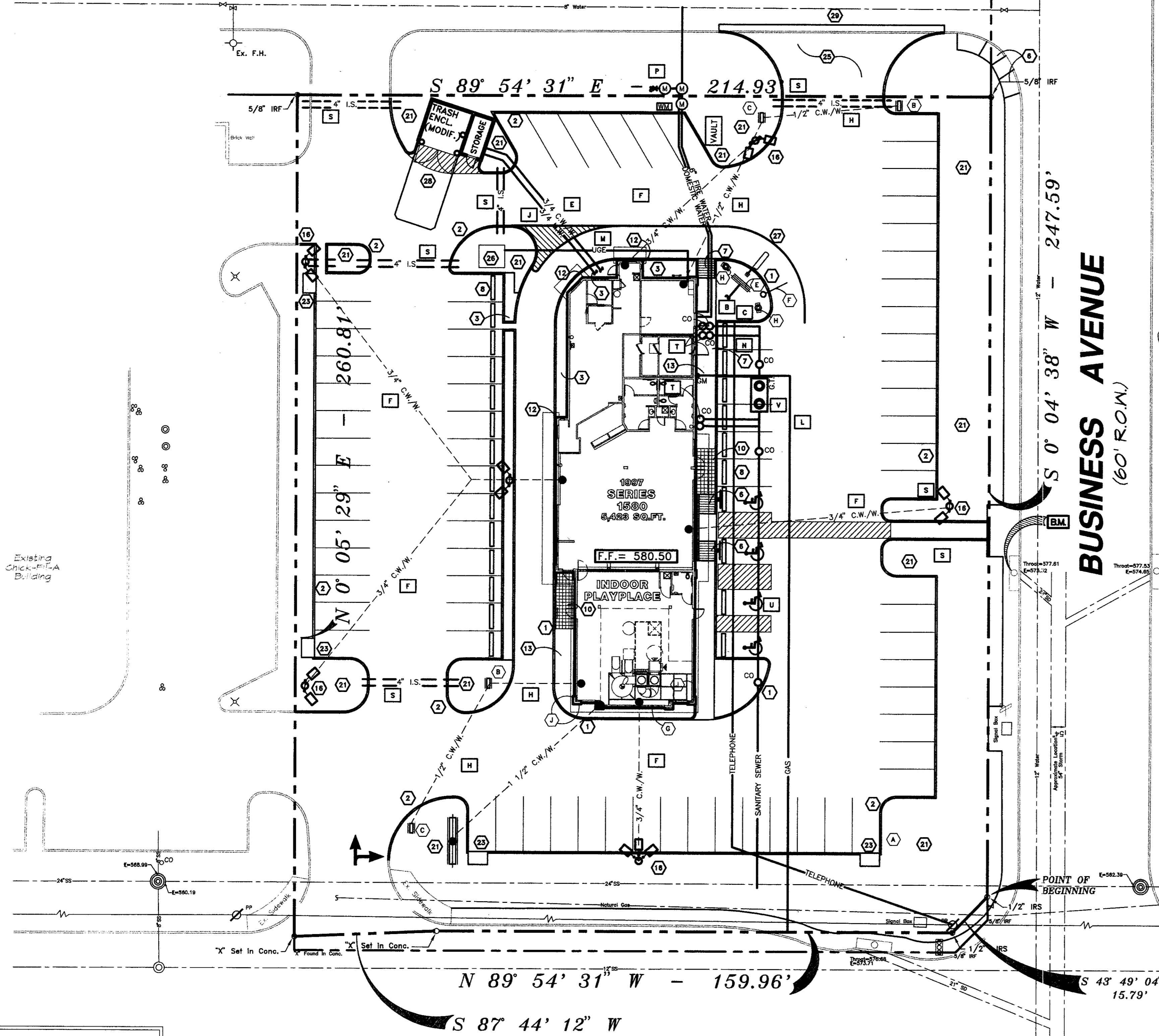
UTILITY NOTE SCHEDULE

MARK	REF.	SHEET	MARK	DESCRIPTION
A	1	SD1A	SERV.	TO PRESELL BRD. (FOUNDATION REF: SD1C/3)
B	1	SD1A	2"	CONDUIT TO MENU BOARD FOR CONTROLS
C	E4,	SD1A	1 1/2"	CONDUIT FROM BLDG. ELECT. PANEL TO MENU BRD.
D	-	SD-1	3/4"	CONDUIT W/LOW VOLTAGE WIRE FROM PRE-WARNING VEHICLE LOOP DETECTION.
E	-	-	3/4"	EMPTY CONDUIT (FUTURE VIDEO COAX)
F	-	-	3/4"	CONDUIT WITH WIRE (SITE LIGHTING)
G	-	-	3/4"	EMPTY CONDUIT
H	-	-	1/2"	CONDUIT WITH WIRE
J	-	-	3/4"	MIXED TEMP. WATER LINE
K	-	-	1 1/2"	EMPTY CONDUIT WITH WIRE (ROAD SIGN)
L	-	-	2"	GAS LINE- VERIFY IN FIELD SIZE & TAP LOCATION
M	-	-	-	UNDER GROUND ELECT. SERV. TO SITE BY ELECT. CO. G.C. TO FIELD VERIFY TAP W/ McD'S & UTYL. CO.
N	-	-	-	UNDER GROUND TELE. SERV. TO SITE BY TELE. CO. G.C. TO FIELD VERIFY CONN. LOCATION
P	-	C-3	1 1/2"	IRRIGATION METER & 1 1/2" DOMESTIC USE METER, PROVIDE 2- 1 1/2" TAPS W/VALVES AND SLEEVE PER CITY SPECS. TAP TO BE INSTALLED BY CITY. FIRE LINE METER SHALL BE A DUEL DETECTOR CHECK ASSEMBLY WITH ER-1 'PITPAK', SEE TOWN SPECS.
R	-	-	-	PROPOSED FRENCH DRAIN PER MOD'S SPECS.
S	-	-	-	EMPTY 4" IRRIGATION SLEEVE (TYP. - 3 LOCATIONS)
T	-	-	-	TWO-WAY SANITARY SEWER CLEANOUT
U	-	-	-	CONNECT 6" SANITARY SEWER TO EX. SANITARY SEWER
V	-	-	-	1000 GAL. GREASE TRAP PER CITY REQUIREMENTS
W	-	-	-	EX. WATER METER TO BE REMOVED AS REQUIRED
X	-	-	-	SANITARY SEWER CLEANOUT

SIGN SCHEDULE

NO.	MARK	DESCRIPTION
1	(A)	70-25 ROAD SIGN
3	(B)	90-5 DIR. SIGN "THANK YOU" / "EXIT"
3	(C)	90-5 DIR. SIGN "WELCOME" / "ENTER"
1	(D)	FLAG POLE 25' HIGH MAX.
1	(E)	90-45 TRI-VIEW ORDER BOARD
2	(F)	McDONALD'S LOGO ARCHES
1	(G)	CLEARANCE SIGN (NON ILLUMINATED)
1	(H)	FASCIA SIGN (McDONALD'S)
2	(J)	90-10 TRI-VIEW PRE-SELL BOARD
1	(K)	"PLAYPLACE" FASCIA SIGN
22	(L)	ROOF BEAMS

UTILITY GENERAL CONDITIONS
 ALL UTILITY AND ELECTRICAL/CONDUITS RUNS ARE SCHEMATIC ONLY.
 LOT LIGHTS ARE TO BE WIRED TO 2 (TWO) OR MORE CIRCUITS IN AN ALTERNATING SEQUENCES.



AS-BUILT
07/28/98

- McDONALD'S ROAD SIGN AND BASE ARE BY THE SIGN CONTRACTOR. CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR.
- BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.
- 3/4" EMPTY CONDUIT TO LOCATIONS SHOWN AT THE LOT PERMETER FOR LIGHTING IS BY THE GENERAL CONTRACTOR. LIGHTING FIXTURES, BASES, POLES, CONDUIT, AND WIRING ARE BY THE OWNER/OPERATOR.
- GENERAL CONTRACTOR MUST PROVIDE EXACT "AS BUILT" INFORMATION UPON COMPLETION.
- PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.

REVISIONS

REV	DATE	DESCRIPTION	ISSUE REF.
1	11/14/97	REVISIONS AS PER McDONALD'S	J.L.
2	11/19/97	REVISIONS AS PER McDONALD'S	J.L.
3	12/18/97	REVISIONS AS PER CITY COMMENTS	S.P.S.

PAVING SPECIFICATION VERIFY W/McDONALD'S: ASPHALT: CONCRETE:
 CONTRACTOR TO BID: ASPHALT: CONCRETE:

NOTE: ALL PAVING/SUBGRADE SPECS TO COMPLY W/ SOIL TEST. CONCRETE:

- 5" TOTAL THICKNESS FOR PARKING AREA.
- 6" TOTAL THICKNESS FOR DRIVES.
- 7" TRASH ENCLOSURE PAD
- 5" DRIVE THRU PAD
- 6" IN. CONC. SURF. 5% AIR ENTRAINED W/ #5 REBAR @ CENTER OF SLAB ON CHAIRS) 18" O.C.E.W. OVER; COMPACTED SUBGRADE

CONCRETE IN PARKING AREAS SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI.
 CONTROL JOINTS SHALL BE PLACED 15' CENTER TO CENTER

SCAFFRY: AS PER GEOTECHNICAL REPORT BY HBC ENGINEERING, INC. DATED JUNE 1997 No. 42-1608-97
NOTE: McDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF McDONALD'S, OTHERWISE, G.C. WILL BE CHARGED.

LOT LIGHTING RECOMMENDATION

SECURITY LIGHTING TO PROVIDE LIGHTING RECOMMENDATION, BASED ON LIGHT FIXTURE AND POLE HGT. SPECIFIED BY DEVELOPER.
 STEVE FRIEDMAN
 3477 W. TOUHY AVENUE / LINCOLNWOOD, ILLINOIS 60645
 1-800-LIGHT-IT

NOTE: ELECTRICAL CONTRACTOR TO CIRCUIT LOT LIGHTING AS REQUIRED.

PARKING PROVIDED
 (REQUIRED 1 PER 70 SQ. FT. OF BLDG. FLOOR SPACE 5,423 / 70 = 78 SPACES)

TOTAL SPACES	72 SPACES 8.5' X 17' @ 90°
81	3 SPACES 8.5' X 17' @ 90°
	6 SPACES 8.5' X 17' @ 60°

BUILDING: 1997 SERIES 1580 W/ INDOOR PLAYPLACE (5,500 SQ.FT.)

UTILITY INFORMATION

SIZE	TYPE	LOCATION
12" & 24"	BELTLINE ROW, 12" @ BUSINESS AVE.	SANITARY SEWER
12"	WATER IN BUSINESS AVE. ROW	WATER
54" W/ A 21" & 24" SERV. LAT.	IN BUSINESS AVE	STORM SEWER
OHE ALONG BELTLINE RD.		ELECTRIC
LINE IN FRNT. LANDSCAPE AREA BELTLINE RD.		GAS

SURVEY INFORMATION

PREPARED BY: **RINGLEY & ASSOCIATES, INC.**
 112 W. VIRGINIA STREET
 MCKINNEY, TEXAS 75069
 972-562-1286

LEGAL DESCRIPTION:
 T.I. CHENOWETH SURVEY
 ABSTRACT NO. 273
 DALLAS COUNTY, TEXAS
 VOLUME 79252, PAGE 0210

DATE: JUNE 16, 1997

SITE CONDITIONS

ZONING: PD-92-037 BLDG SETBACK FRONT: 25'
 PARKING: 1/70 SQ.FT. BLDG. SPACE BLDG SETBACK: RIGHT=25', LEFT=0
 LANDSCAPING: 20% MIN. EXT., 5% INT. BLDG SETBACK REAR: = 0
 SIGN SETBACK: 20' PROP. LINE FLOOD ZONE: NO
 SIGN: 36 SQFT. MAX.-20 FT. MAX. HGT. LOT SIZE: 48,216 S.F./1.1069 Ac.

PLAN SCALE: 1" = 20'

STREET ADDRESS
NW9 BELTLINE ROAD @ BUSINESS AVE.

CITY ADDISON **STATE** TEXAS

COUNTY: DALLAS **LOT:** 2 **BLOCK:** 2 **ADDITION:** BELTLINE-MARSH BUSINESS PARK

REGIONAL DWG. NO 42/1916 **CORPORATE DWG. NO.** UTILITY PLAN

STATUS DATE BY
 DATE DRAWN 7/8/97 MCD'S
 PLAN CHECKED -
 AS-BUILT

McDONALD'S

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

McDONALD'S I/C: 42/1916 BELTLINE RD. @ BUSINESS AVE. ADDISON, TEXAS

ADAMS CONSULTING ENGINEERS, INC.
 CIVIL/ENVIRONMENTAL ENGINEERS - SURVEYORS
 9820 S. Main St., Suite 180 - Grapevine, Texas 76051 - 817/288-8880

CONTRACTOR SIGNATURES

CO-SIGN SIGNATURES

PLAN APPROVALS

REGIONAL MGR. **CONST. MGR.** **OPERATIONS DEPT.** **REAL ESTATE DEPT.** **CONTRACTOR** **OWNER**

SIGNATURE (2 REQUIRED) **DATE** **STATUS** **DATE** **BY**

DATE DRAWN 7/8/97 MCD'S
 PLAN CHECKED -
 AS-BUILT

REGIONAL DWG. NO 42/1916 **CORPORATE DWG. NO.** UTILITY PLAN **G-3**