

BUSINESS AVE.
(60' R.O.W.)

COMMERCIAL DR.
(60' R.O.W.)

LOT 1, BLOCK 3
MARSH LANE BUSINESS PARK, REPLAT
VOL. 81060, PG. 0170

BLOCK 1

THE LINE HEREON LABELED "FULLY DEVELOPED CONDITIONS 100 YEAR FLOOD PLAIN" IS BASED ON HYDRAULIC MODELING PERFORMED BY O'BRIEN ENGINEERING ASSURING A CONDITION OF ULTIMATE DEVELOPMENT THROUGHOUT THE WATERBED. THE HYDROLOGIC AND HYDRAULIC MODELS ARE ON FILE WITH THE TOWN OF ADDISON.

STATE OF TEXAS }
COUNTY OF DALLAS }
WHEREAS PALOMAR PARTNERS LTD., IS THE OWNER OF A TRACT OF LAND SITUATED IN THE TOWN OF ADDISON, DALLAS COUNTY, TEXAS AND BEING PART OF THE THOMAS CHENOWETH SURVEY, ABSTRACT NO. 273 AND ALSO BEING PART OF PRINTTEMPS ADDITION NO. 2 AN ADDITION TO THE TOWN OF ADDISON AS RECORDED IN VOLUME 89013, PAGE 0835 OF THE MAP RECORDS OF DALLAS COUNTY, TEXAS, SAID TRACT MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTHWEST CORNER OF SAID PRINTTEMPS ADDITION NO. 2, SAID POINT BEING IN THE SOUTH LINE OF BELT LINE ROAD (100 FEET R.O.W.);

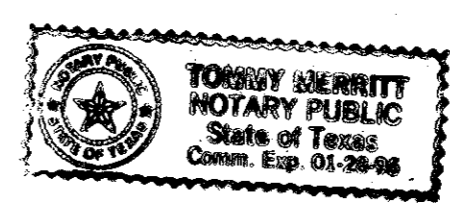
THENCE: S 89° 00' 26" E - 20.00 FEET WITH THE SOUTH LINE OF BELT LINE ROAD TO THE PLACE OF BEGINNING AT THE NORTHEAST CORNER OF A 20 FEET WIDE STRIP OF LAND DEDICATED FOR STREET RIGHT OF WAY PURPOSES AS RECORDED IN VOLUME 89038, PAGE 2415, DEED RECORDS OF DALLAS COUNTY, TEXAS;
THENCE: S 89° 00' 26" E - CONTINUING ALONG THE SAID SOUTHERLY LINE OF BELT LINE ROAD A DISTANCE OF 338.77 FEET TO AN IRON ROD AND THE BEGINNING OF A CURVE TO THE LEFT;
THENCE: NORTHEASTERLY CONTINUING ALONG THE SAID SOUTHERLY LINE OF BELT LINE ROAD AND ALONG SAID CURVE TO THE LEFT HAVING A RADIUS OF 1,960.00 FEET, A CENTRAL ANGLE OF 09° 58' 40" AND AN ARC LENGTH OF 341.32 FEET TO AN IRON ROD FOR CORNER;
THENCE: S 25° 08' 43" E - ALONG THE SOUTHWESTERLY LINE OF A TRACT OF LAND CONVEYED TO FIRST INTERSTATE BANK OF TEXAS BY DEED AS RECORDED IN VOLUME 88125, PAGE 0467 OF THE DEED RECORDS OF DALLAS COUNTY, TEXAS A DISTANCE OF 498.12 FEET TO AN IRON ROD FOR CORNER;
THENCE: S 79° 49' 35" W - ALONG A NORTHERLY LINE OF A TRACT OF LAND CONVEYED TO LES LACS JOINT VENTURE BY DEED AS RECORDED IN VOLUME 88125, PAGE 0467 OF THE DEED RECORDS OF DALLAS COUNTY, TEXAS A DISTANCE OF 335.35 FEET TO AN IRON ROD FOR CORNER;
THENCE: N 14° 58' 28" W - ALONG THE NORTHEASTERLY LINE OF A TRACT OF LAND CONVEYED TO CO-TENANCY ET AL BY DEED AS RECORDED IN VOLUME 88159, PAGE 4543 OF THE DEED RECORDS OF DALLAS COUNTY, TEXAS A DISTANCE OF 52.99 FEET TO AN IRON ROD AND THE BEGINNING OF A CURVE TO THE LEFT;
THENCE: IN A NORTHWESTERLY DIRECTION CONTINUING ALONG SAID NORTHEASTERLY LINE ALONG SAID CURVE TO THE LEFT HAVING A RADIUS OF 260.50 FEET, A CENTRAL ANGLE OF 38° 46' 04" AND AN ARC LENGTH OF 176.26 FEET TO AN IRON ROD AND THE END OF SAID CURVE AND THE BEGINNING OF A CURVE TO THE LEFT;
THENCE: CONTINUING IN A NORTHWESTERLY DIRECTION ALONG SAID NORTHEASTERLY LINE AND ALONG SAID CURVE TO THE LEFT HAVING A RADIUS OF 377.27 FEET, A CENTRAL ANGLE OF 35° 15' 54" AND AN ARC LENGTH OF 232.21 FEET TO A POINT FOR CORNER;
THENCE: N 89° 00' 26" W - ALONG THE NORTHERLY LINE OF SAID CO-TENANCY ET AL TRACT A DISTANCE OF 40.15 FEET TO AN IRON ROD FOR CORNER;
THENCE: N 00° 59' 34" E - ALONG THE EAST LINE OF A 20 FEET WIDE STRIP OF LAND DEDICATED FOR STREET R.O.W. PURPOSES AS RECORDED IN VOLUME 89038, PAGE 2415, DEED RECORDS OF DALLAS COUNTY, TEXAS A DISTANCE OF 260.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 7.4544 ACRES (324,714 S.F.) OF LAND MORE OR LESS.

Jim O'Brien
JIM O'BRIEN, P.E. #58861
DATE 8-12-92



GROSS ACRES: 7.4544 AC
R.O.W. DEDICATION: 0.1101 AC
NET: 7.3443 AC

STATE OF TEXAS }
COUNTY OF DALLAS }
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JIM O'BRIEN, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE ABOVE AND FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION EXPRESSED AND IN THE CAPACITY THEREIN STATED.
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12 DAY OF August, 1992.
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS EXPIRATION 01-28-96



THAT PALOMAR PARTNERS, LTD. ("OWNER") DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREINABOVE PROPERTY AS PRINTTEMPS ADDITION NO. 2, AN ADDITION TO THE TOWN OF ADDISON, TEXAS, AND, SUBJECT TO THE CONDITIONS, RESTRICTIONS AND RESERVATIONS STATED HEREINAFTER, THE OWNER DEDICATES TO THE PUBLIC USE FOREVER THE STREETS AND ALLEYS SHOWN THEREON.

THE EASEMENTS SHOWN ON THIS PLAT ARE HEREBY RESERVED FOR THE PURPOSES AS INDICATED, INCLUDING, BUT NOT LIMITED TO, THE INSTALLATION AND MAINTENANCE OF WATER, SANITARY SEWER, STORM SEWER, DRAINAGE, ELECTRIC, TELEPHONE, GAS AND CABLE TELEVISION. OWNER SHALL HAVE THE RIGHT TO USE THESE EASEMENTS, PROVIDED HOWEVER, THAT IT DOES NOT UNREASONABLY INTERFERE OR IMPEDE WITH THE PROVISION OF THE SERVICES TO OTHERS. SAID UTILITY EASEMENTS ARE HEREBY BEING RESERVED BY MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES USING OR DESIRING TO USE THE SAME. AN EXPRESS EASEMENT OF INGRESS AND EGRESS IS HEREBY EXPRESSLY GRANTED ON, OVER AND ACROSS ALL SUCH EASEMENTS FOR THE BENEFIT OF THE PROVIDER OF SERVICES FOR WHICH EASEMENTS ARE GRANTED.

ANY DRAINAGE AND FLOODWAY EASEMENT SHOWN HEREON IS HEREBY DEDICATED TO THE PUBLIC'S USE FOREVER, BUT INCLUDING THE FOLLOWING COVENANTS WITH REGARD TO MAINTENANCE RESPONSIBILITIES. THE EXISTING CHANNELS OR CREEKS TRAVERSING THE DRAINAGE AND FLOODWAY EASEMENT WILL REMAIN AS AN OPEN CHANNEL, UNLESS REQUIRED TO BE ENCLOSED BY ORDINANCE, AT ALL TIMES AND SHALL BE MAINTAINED BY THE INDIVIDUAL OWNERS OF THE LOT OR LOTS THAT ARE TRAVERSED BY OR ADJACENT TO THE DRAINAGE AND FLOODWAY EASEMENT. THE CITY WILL NOT BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF SAID CREEK OR CREEKS OR FOR ANY DAMAGE OR INJURY OF PRIVATE PROPERTY OR FOR THE CONTROL OF EROSION. NO OBSTRUCTION TO THE NATURAL FLOW OF WATER RUN-OFF SHALL BE PERMITTED BY CONSTRUCTION OF ANY TYPE BUILDING, FENCE OR OTHER STRUCTURE WITHIN THE DRAINAGE AND FLOODWAY EASEMENT. PROVIDED, HOWEVER, IT IS UNDERSTOOD THAT IN THE EVENT IT BECOMES NECESSARY FOR THE CITY TO CHANNELIZE OR CONSIDER ERECTING ANY TYPE OF DRAINAGE STRUCTURE IN ORDER TO IMPROVE THE STORM DRAINAGE, THEN IN SUCH EVENT, THE CITY SHALL HAVE THE RIGHT, BUT NOT THE OBLIGATION, TO ENTER UPON THE DRAINAGE AND FLOODWAY EASEMENT AT ANY POINT, OR POINTS, WITH ALL RIGHTS OF INGRESS AND EGRESS TO INVESTIGATE, SURVEY, ERECT, CONSTRUCT OR MAINTAIN ANY DRAINAGE FACILITY DEEMED NECESSARY BY THE CITY FOR DRAINAGE PURPOSES. EACH PROPERTY OWNER SHALL KEEP THE NATURAL DRAINAGE CHANNELS AND CREEKS TRAVERSING THE DRAINAGE AND FLOODWAY EASEMENT ADVANCED TO HIS PROPERTY CLEAR AND FREE OF DEBRIS, SILT, GROWTH, VEGETATION, WEEDS, RUBBISH, REFUSE, MATTER AND ANY SUBSTANCE WHICH WOULD RESULT IN UNSANITARY CONDITIONS OR OBSTRUCT THE FLOW OF WATER, AND THE CITY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF INSPECTION AND SUPERVISION AND MAINTENANCE WORK BY THE PROPERTY OWNER TO ALLEVIATE ANY UNDESIRABLE CONDITIONS WHICH MAY OCCUR. THE NATURAL DRAINAGE CHANNELS AND CREEKS THROUGH THE DRAINAGE AND FLOODWAY EASEMENT, AS IN THE CASE OF ALL NATURAL CHANNELS, ARE SUBJECT TO STORM

WATER OVERFLOW AND NATURAL BANK EROSION TO AN EXTENT THAT CANNOT BE DEFINITELY DEFINED. THE CITY SHALL NOT BE HELD LIABLE FOR ANY DAMAGES OR INJURIES OF ANY NATURE RESULTING FROM THE OCCURRENCE OF THESE NATURAL PHENOMENA, NOR RESULTING FROM THE FAILURE OF ANY STRUCTURE OR STRUCTURES, WITHIN THE NATURAL DRAINAGE CHANNELS, AND THE OWNERS HEREBY AGREE TO IDENTIFY AND HOLD HARMLESS THE CITY FROM ANY SUCH DAMAGES AND INJURIES. BUILDING AREAS OUTSIDE THE DRAINAGE AND FLOODWAY EASEMENT LINE SHALL BE FILLED TO A MINIMUM ELEVATION AS SHOWN ON THE PLAT. THE MINIMUM FLOOR OF ELEVATION OF EACH LOT SHALL BE SHOWN ON THE PLAT.

THE MAINTENANCE OR PAVING OF THE UTILITY AND FIRE LANE EASEMENTS IS THE RESPONSIBILITY OF THE PROPERTY OWNER. ALL PUBLIC UTILITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF INGRESS AND EGRESS TO AND FROM AND UPON THE SAID UTILITY EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING AND ADDING TO OR REMOVING ALL OR PARTS OF ITS RESPECTIVE SYSTEM WITHOUT THE NECESSITY AT ANY TIME OF PROCURING THE PERMISSION OF ANYONE. ANY PUBLIC UTILITY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS TO PRIVATE PROPERTY FOR THE PURPOSE OF READING METERS AND ANY MAINTENANCE AND SERVICE REQUIRED OR ORDINARILY PERFORMED BY THAT UTILITY. BUILDINGS, FENCES, TREES, SHRUBS OR OTHER IMPROVEMENTS OR GROWTH MAY BE CONSTRUCTED, RECONSTRUCTED OR PLACED UPON, OVER OR ACROSS THE UTILITY EASEMENTS AS SHOWN PROVIDED, HOWEVER, THAT OWNER SHALL AT ITS SOLE COST AND EXPENSE BE RESPONSIBLE UNDER ANY AND ALL CIRCUMSTANCES FOR THE MAINTENANCE AND REPAIR OF SUCH IMPROVEMENTS OR GROWTH, AND ANY PUBLIC UTILITY SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDINGS, FENCES, TREES, SHRUBS OR OTHER IMPROVEMENTS OR GROWTH WHICH IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE OR EFFICIENCY OF ITS RESPECTIVE SYSTEM OR SERVICE.

WATER MAIN AND SANITARY SEWER EASEMENTS SHALL ALSO INCLUDE ADDITIONAL AREA OF WORKING SPACE FOR CONSTRUCTION AND MAINTENANCE OF THE SYSTEMS. ADDITIONAL EASEMENT AREA IS ALSO CONVEYED FOR INSTALLATION AND MAINTENANCE OF MANHOLES, CLEANOUTS, FIRE HYDRANTS, WATER SERVICE AND SEWER SERVICES FROM THE MAIN TO CURB OR PAVEMENT LINE. AND THE DESCRIPTIONS OF SUCH ADDITIONAL EASEMENTS HEREIN GRANTED SHALL BE DETERMINED BY THEIR LOCATIONS AS INSTALLED.

THIS PLAT IS APPROVED SUBJECT TO ALL PLATTING ORDINANCES, RULES, REGULATIONS AND RESOLUTIONS OF THE TOWN OF ADDISON, TEXAS.
WITNESS MY HAND AT DALLAS, TEXAS, THIS THE 10 DAY OF AUGUST, 1992.

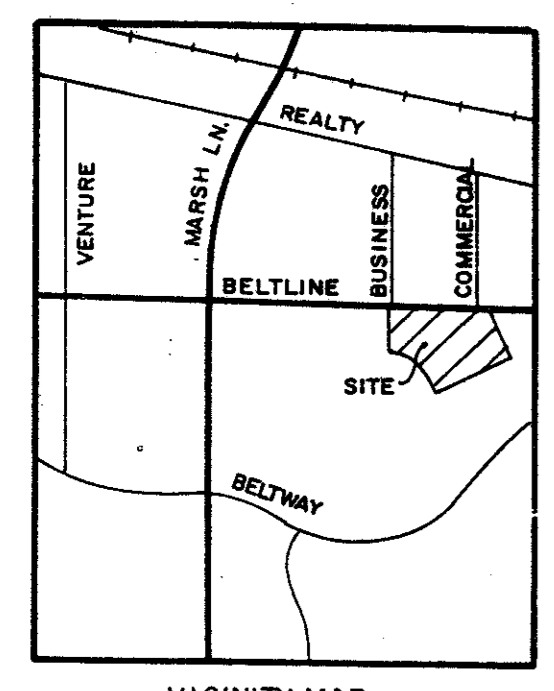
John Rebsdorf
PALOMAR PARTNERS, LTD.
BY: HPI MANAGEMENT CO., GENERAL PARTNER
JOHN REBSDORF, PRESIDENT

VOLUME 72162
PAGE 2881

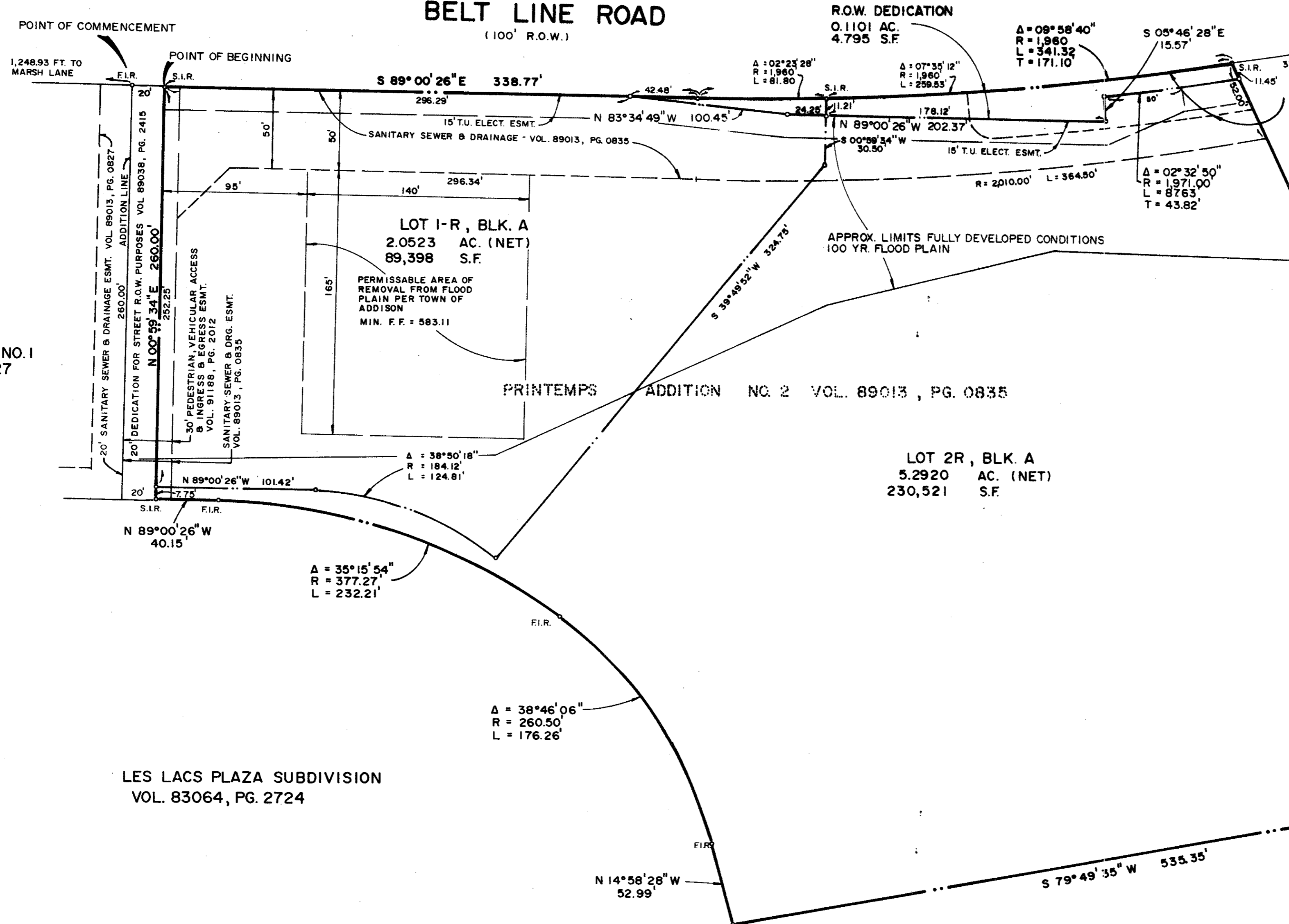
OWNER: PALOMAR PARTNERS, LTD.
8235 DOUGLAS STE 1300
DALLAS, TEXAS 75225
(214) 360-9500
ENGINEER / SURVEYOR: LAWRENCE A. CATES & ASSOC.
14200 MIDWAY SUITE 122
DALLAS, TEXAS 75244
(214) 385-2272

MAY 6, 1992

SCALE: 1" = 50'
0 25 50 75 100



PRINTTEMPS ADDN. NO. 1
VOL. 89013, PG. 0827



STATE OF TEXAS }
COUNTY OF DALLAS }
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JOHN REBSDORF, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE ABOVE AND FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION EXPRESSED AND IN THE CAPACITY THEREIN STATED.
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10 DAY OF August, 1992.
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS EXPIRATION 01-28-96

STATE OF TEXAS }
COUNTY OF DALLAS }
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED LAWRENCE A. CATES, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE ABOVE AND FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION EXPRESSED AND IN THE CAPACITY THEREIN STATED.
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12 DAY OF August, 1992.
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS EXPIRATION 01-28-96

STATE OF TEXAS }
COUNTY OF DALLAS }
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JOHN REBSDORF, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE ABOVE AND FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION EXPRESSED AND IN THE CAPACITY THEREIN STATED.
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10 DAY OF August, 1992.
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS EXPIRATION 01-28-96

THIS PLAT HAS BEEN APPROVED BY THE PLANNING AND ZONING COMMISSION ON THIS THE 10 DAY OF August, 1992.

John Rebsdorf
PALOMAR PARTNERS, LTD.
BY: HPI MANAGEMENT CO., GENERAL PARTNER
JOHN REBSDORF, PRESIDENT

THIS PLAT HAS BEEN APPROVED BY THE CITY COUNCIL ON THIS THE 10 DAY OF August, 1992.

Mayor: [Signature] City Secretary: [Signature]

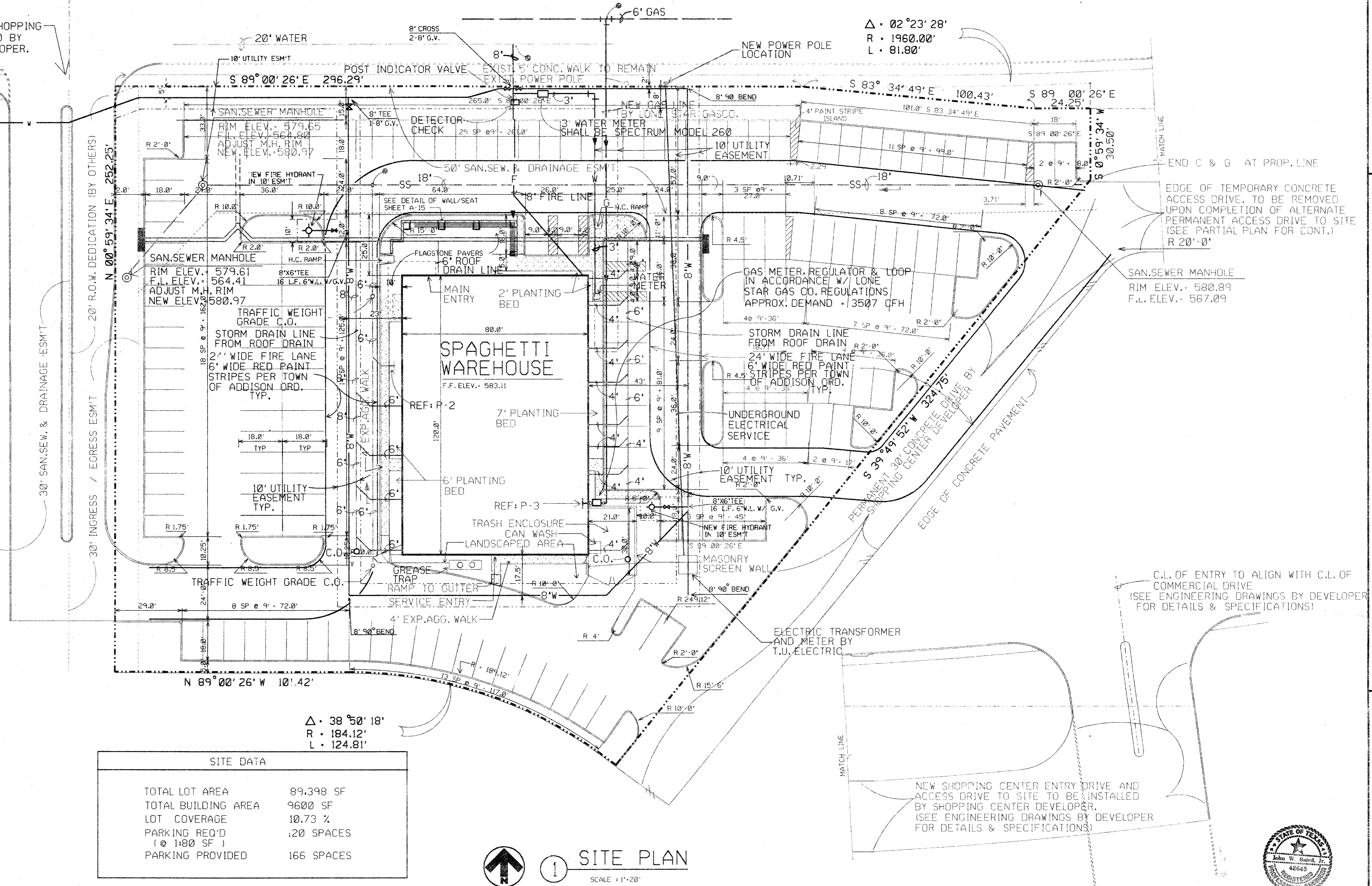
BELT LINE ROAD

(100.0' R.O.W. - CONC. CURB & GUTTER W/ CONC. PAVING)

APROX. CENTERLINE BUSINESS AVENUE

NOTE:
NEW ENTRY TO FUTURE SHOPPING CENTER TO BE INSTALLED BY SHOPPING CENTER DEVELOPER.

SEE SHT A-1 IF FOR CONT.
NEW R.O.W. LINE



Δ • 38° 50' 18"
R • 184.12'
L • 124.81'

SITE DATA	
TOTAL LOT AREA	89,398 SF
TOTAL BUILDING AREA	9600 SF
LOT COVERAGE	10.73 %
PARKING REQ'D	120 SPACES
(@ 1180 SF)	
PARKING PROVIDED	166 SPACES

- NOTES
1. ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF MASONRY.
 2. WHEN PERMANENT EAST DRIVE IS CONSTRUCTED, TEMPORARY DRIVE WILL BE REMOVED.
 3. ALL WALKS ARE 4' WIDE UNLESS SHOWN OTHERWISE.
 4. SEE SHT. P-1 & E-1 FOR UTILITY LOCATIONS.

↑ 1 SITE PLAN
SCALE 1"=20'

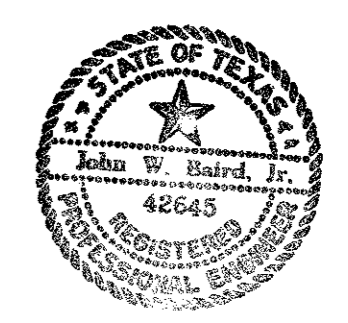
NOTE: PRIOR TO BEGINNING CONSTRUCTION ALL CONTRACTORS PERFORMING WORK IN STREET R.O.W. SHALL OBTAIN R.O.W. PERMIT FROM THE TOWN OF ADDISON.

↑ PARTIAL PLAN @ EAST DRIVE
SCALE 1"=20'

AS BUILT SITE PLAN

I CERTIFY THAT THIS PROJECT WAS CONSTRUCTED IN GENERAL CONFORMANCE WITH THESE CONSTRUCTION PLANS AND WILL FUNCTION AS DESIGNED.

John W. Hurd, Jr.
1-12-93



REVISION DATA

SPAGHETTI WAREHOUSE, INC.
6120 ALDWICK DRIVE GARLAND, TEXAS 75043
CONTACT - JAMES AITKEN
(214) 226-6000



PROJECT DATA

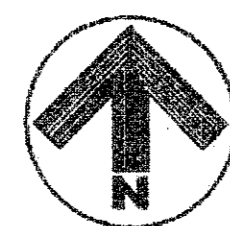
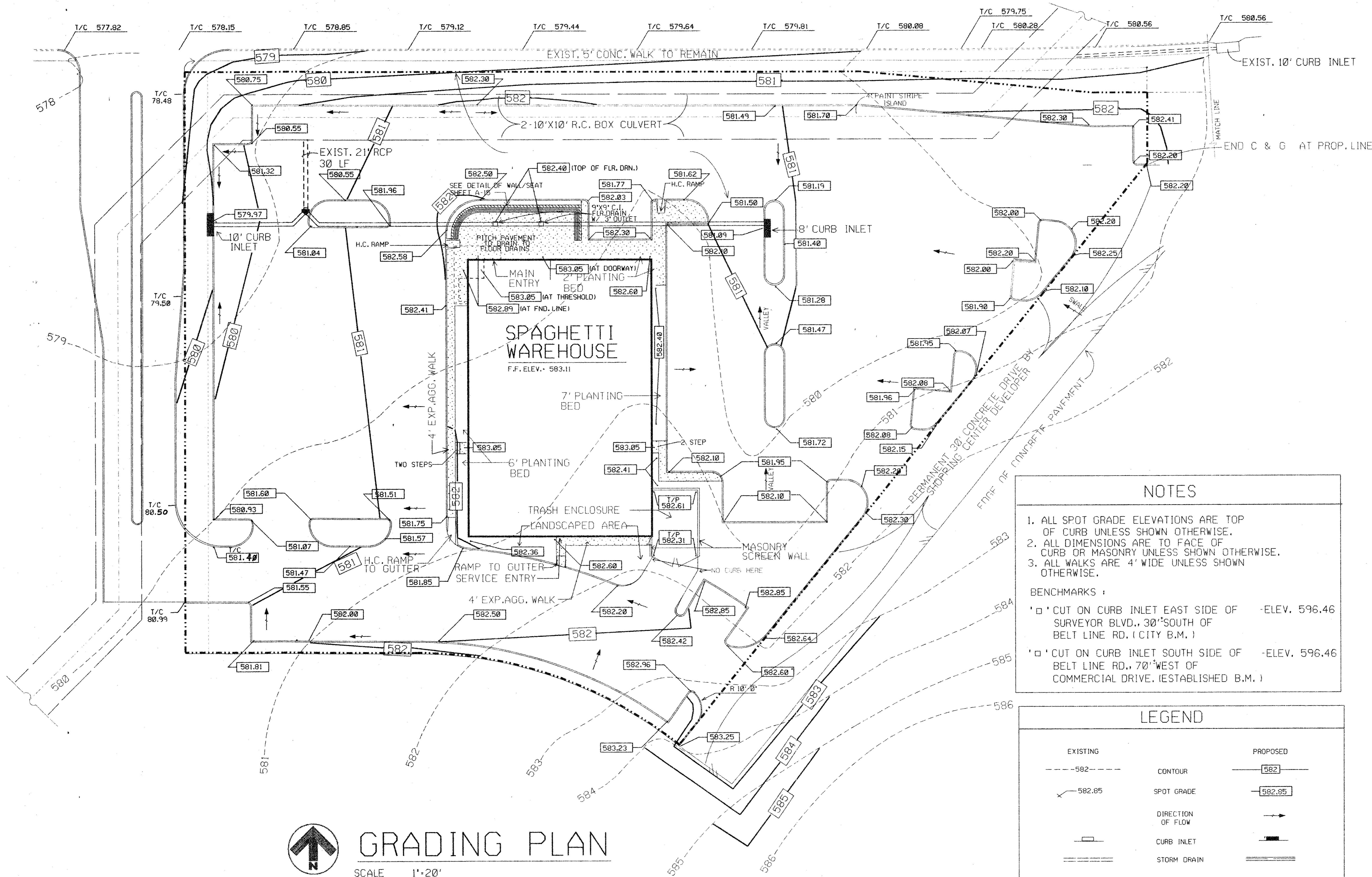
ADDRESS 3820 BELT LINE ROAD
CITY ADDISON
STATE TEXAS

DATE 7/31/92
SHEET

A-1

OF 20 A SHEETS

BELT LINE ROAD
 (100.0' R.O.W.-CONC. CURB & GUTTER W/ CONC. PAVING)



GRADING PLAN

SCALE 1"=20'

NOTE: EXIST. GRADES IN R.O.W. ARE TO BE MAINTAINED AS IS.
 NO CHANGES IN ELEVATION WILL BE ALLOWED.

NOTES

1. ALL SPOT GRADE ELEVATIONS ARE TOP OF CURB UNLESS SHOWN OTHERWISE.
2. ALL DIMENSIONS ARE TO FACE OF CURB OR MASONRY UNLESS SHOWN OTHERWISE.
3. ALL WALKS ARE 4' WIDE UNLESS SHOWN OTHERWISE.

BENCHMARKS:

- 1' x 1' CUT ON CURB INLET EAST SIDE OF SURVEYOR BLVD., 30' SOUTH OF BELT LINE RD. (CITY B.M.) -ELEV. 596.46
- 1' x 1' CUT ON CURB INLET SOUTH SIDE OF BELT LINE RD., 70' WEST OF COMMERCIAL DRIVE. (ESTABLISHED B.M.) -ELEV. 596.46

LEGEND

EXISTING	PROPOSED
--- 582 ---	--- 582 ---
x 582.85	--- 582.85 ---
→	→
▭	▭
====	====

CONTOUR
 SPOT GRADE
 DIRECTION OF FLOW
 CURB INLET
 STORM DRAIN

REVISION DATA

SPAGHETTI WAREHOUSE, INC.
 6120 ALDWICK DRIVE GARLAND, TEXAS 75043
 (214) 226-6000 CONTACT - JAMES AITKEN

PROJECT DATA

ADDRESS 3820 BELT LINE ROAD
 CITY ADDISON
 STATE TEXAS

DATE 7/31/92
 SHEET A-1C
 OF 20 A SHEETS

James W. Aitken
 9-4-92

GRADING PLAN

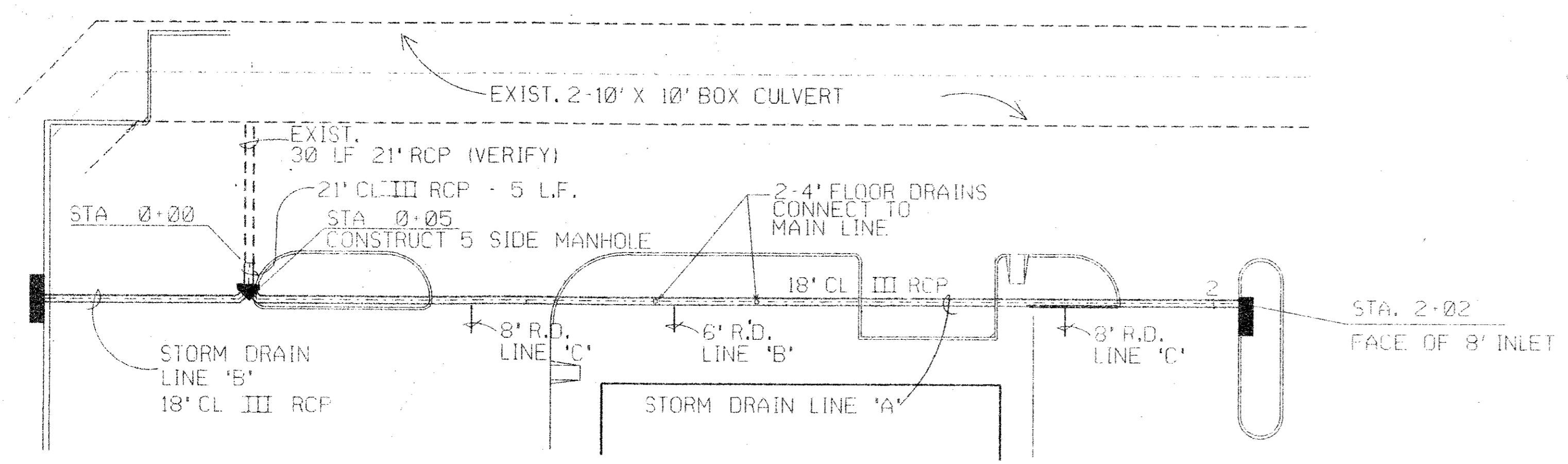
STORM DRAINAGE COMPUTATIONS
ULTIMATE CONDITIONS WITH NO OFFSITE CONTRIBUTIONS

DIST.	DRAINAGE AREA			'C'	'CA'	TOTAL 'CA'	TIME OF CONCRETE			DESIGN FREQ.	INTENSITY	'D'	SIZE OF PIPE	FRIC. GRAD. S _f
	NO.	AREA	TOTAL AREA				INLET TIME	FLOW TIME IN SEWER	TOTAL TIME					
INLET	A1	.91	.91	.9	.82	.82	5		5	100	10.49	8.6	18"	.7
INLET	A2	1.04	1.04	.9	.94	.94	5		5	100	10.49	9.06	18"	.95
PIPE			1.95	.9	1.76	1.76				100		10.46	21"	1.40

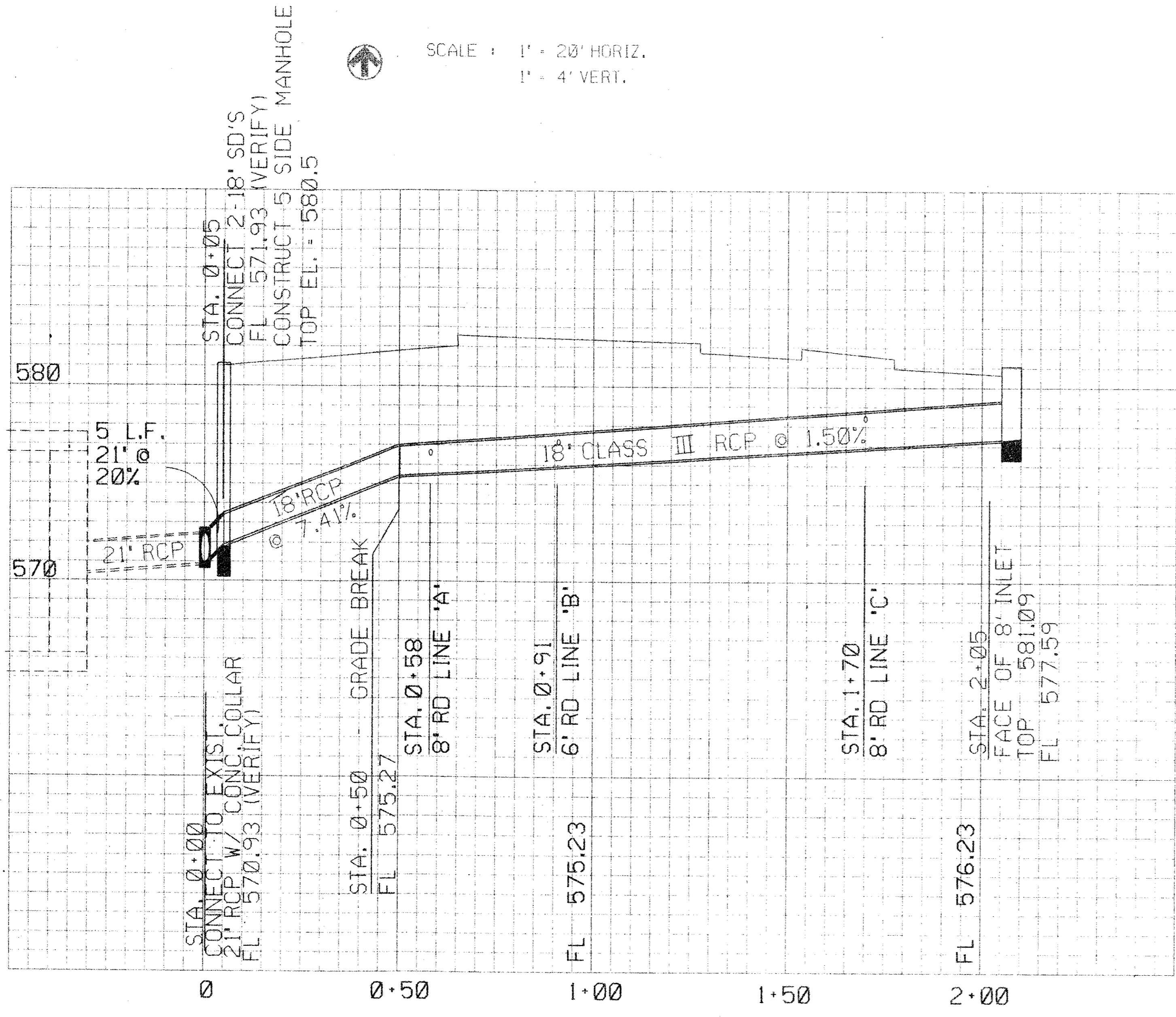
STORM DRAINAGE COMPUTATIONS
INTERIM CONDITIONS WITH NO OFFSITE CONTRIBUTIONS

DIST.	DRAINAGE AREA			'C'	'CA'	TOTAL 'CA'	TIME OF CONCRETE			DESIGN FREQ.	INTENSITY	'D'	SIZE OF PIPE	FRIC. GRAD. S _f
	NO.	AREA	TOTAL AREA				INLET TIME	FLOW TIME IN SEWER	TOTAL TIME					
OFF SITE	A1A	.38	.38	.5	.19	.19								
INLET	A1B	.91	1.29	.9	.82	1.01	10		10	100	8.74	8.83	18"	.75
OFF SITE	A2A	.61	.61	.5	.31	.31								
INLET	A2B	1.04	1.65	.9	.94	1.25	10		10	100	8.74	10.53	18"	1.10
PIPE	COMBINED		2.94			1.26				100		15.76	21"	1.55

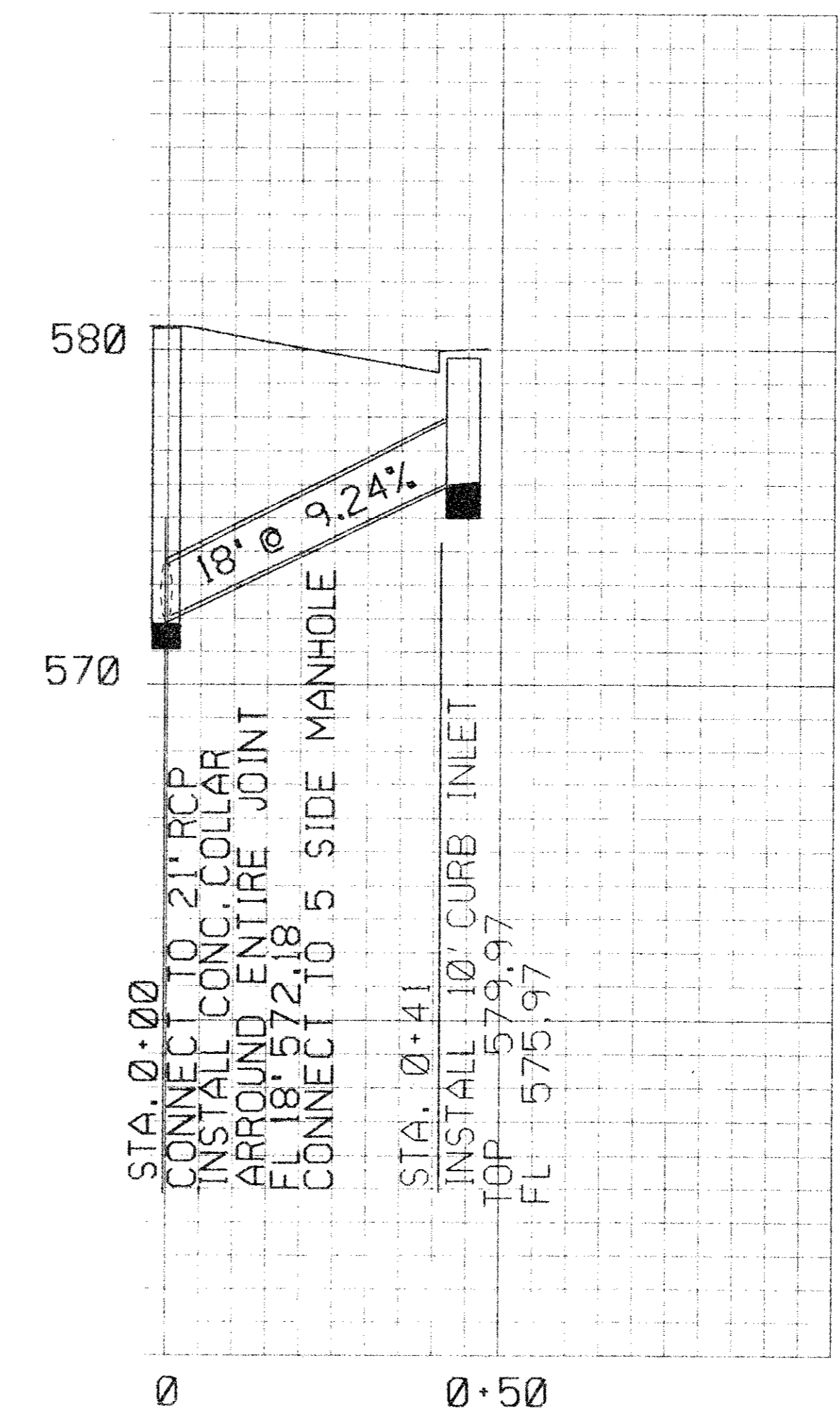
NOTE: THIS PLAN CONFORMS TO THE TOWN OF ADDISON DRAINAGE REQUIREMENTS.



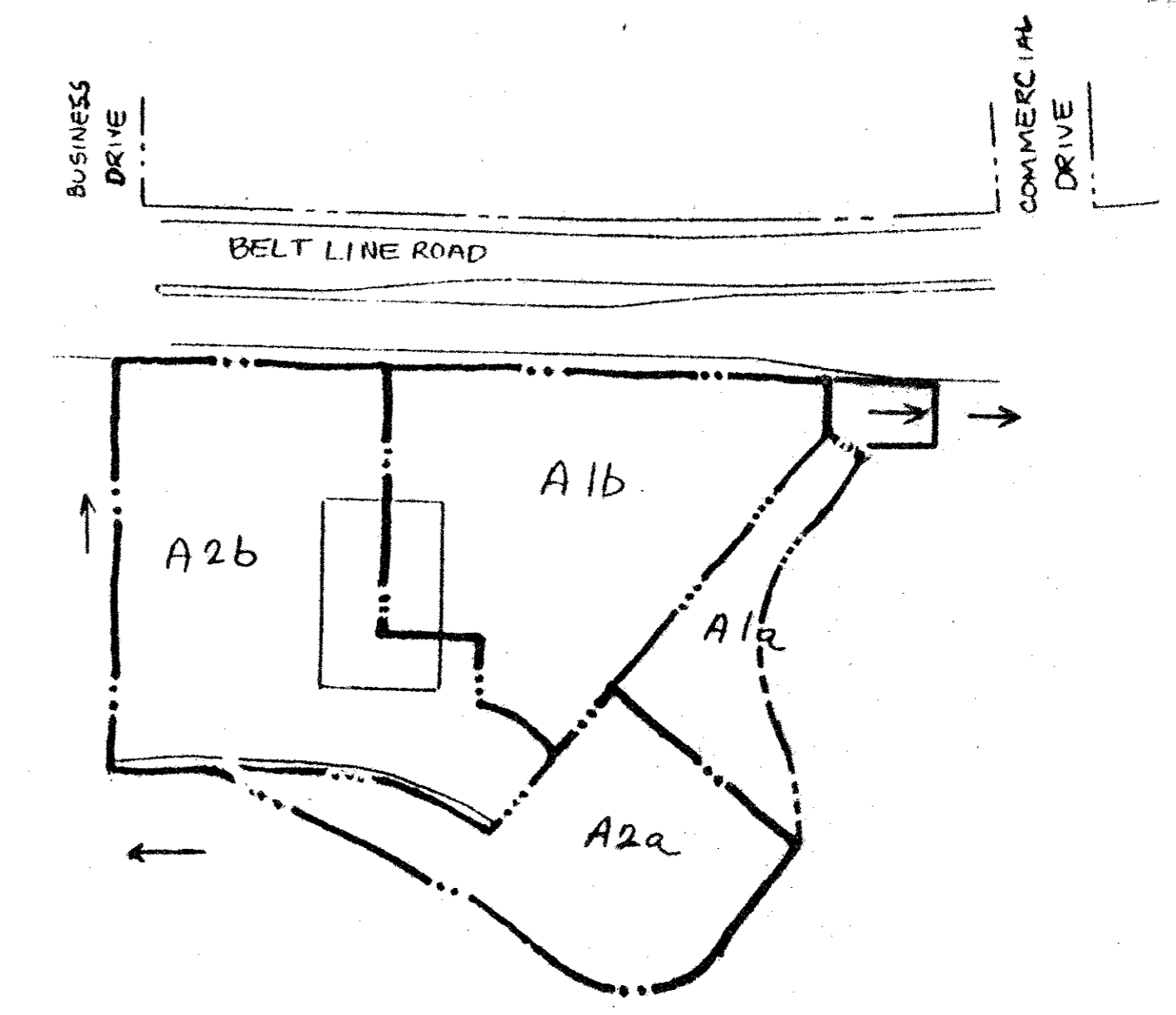
SCALE : 1" = 20' HORIZ.
1" = 4' VERT.



STORM DRAIN LINE 'A'



STORM DRAIN LINE 'B'



DRAINAGE AREA MAP
SCALE : 1" = 100'

NOTE : A SAFETY PLAN IS REQUIRED FOR ALL TRENCHES IN EXCESS OF 5' DEEP SEE SPEC SECTION 02160 FOR REQUIREMENTS.

STATE OF TEXAS
Professional Engineer
John W. Brantley
7-4-92

REVISION DATA

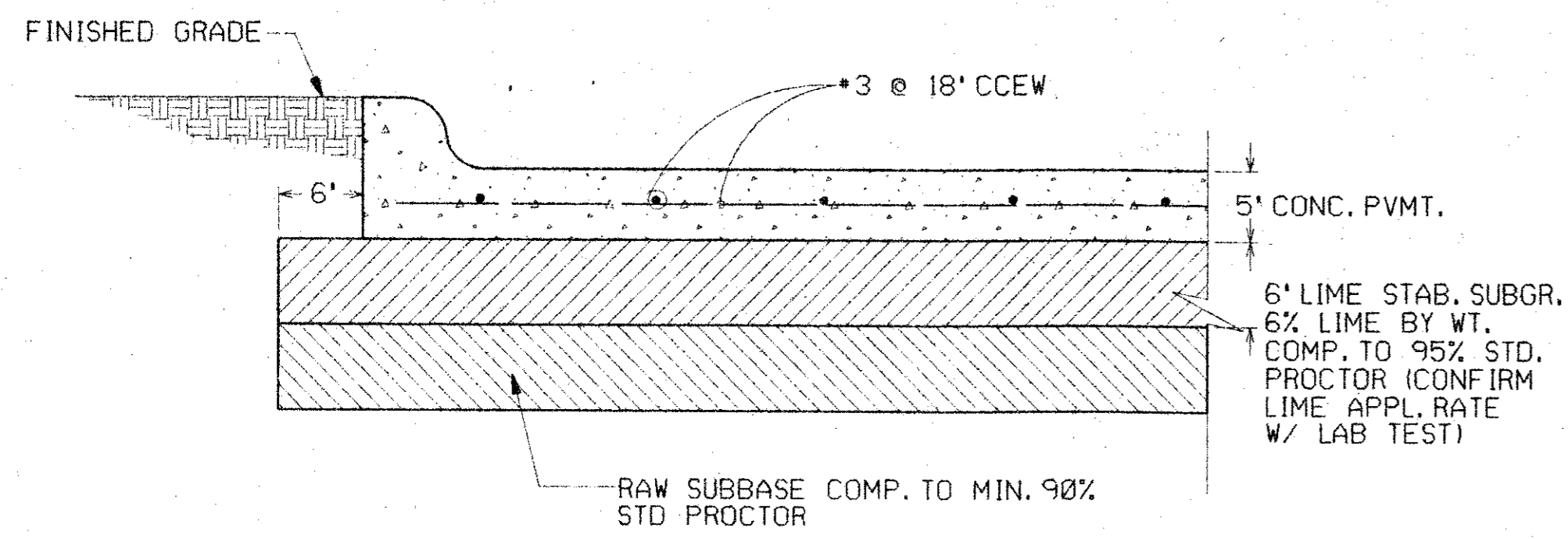
SPAGHETTI WAREHOUSE, INC.
6120 ALDWICK DRIVE GARLAND, TEXAS 75043
(214) 226-6000 CONTACT - JAMES AITKEN

PROJECT DATA
ADDRESS 3820 BELT LINE ROAD
CITY ADDISON
STATE TEXAS

DATE 7/31/92

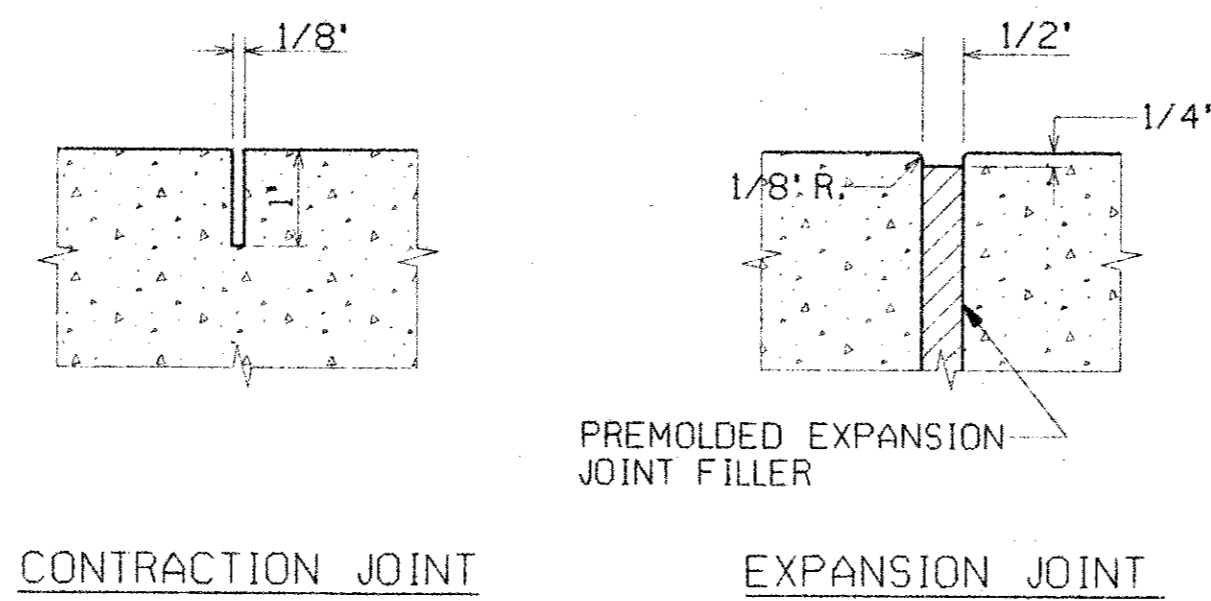
SHEET A-1D

OF 20 E SHEETS

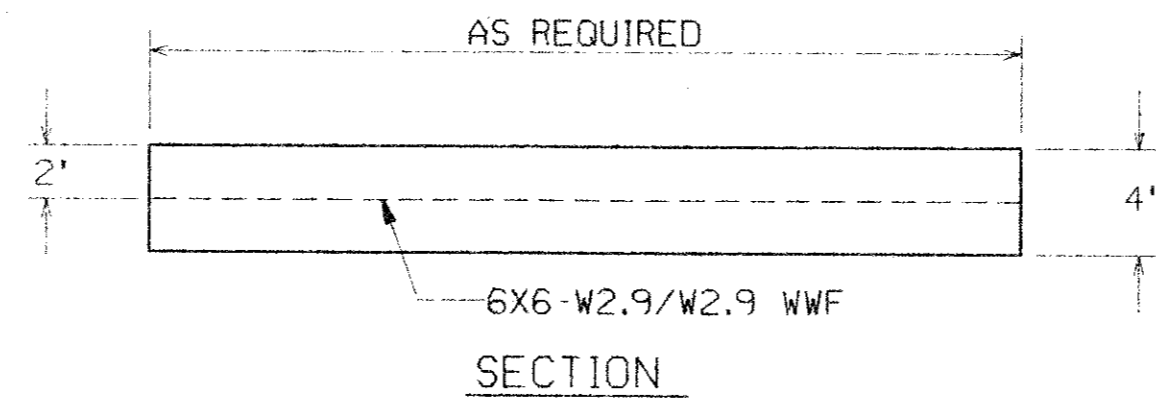


CONCRETE PAVEMENT W/ CURB AND GUTTER

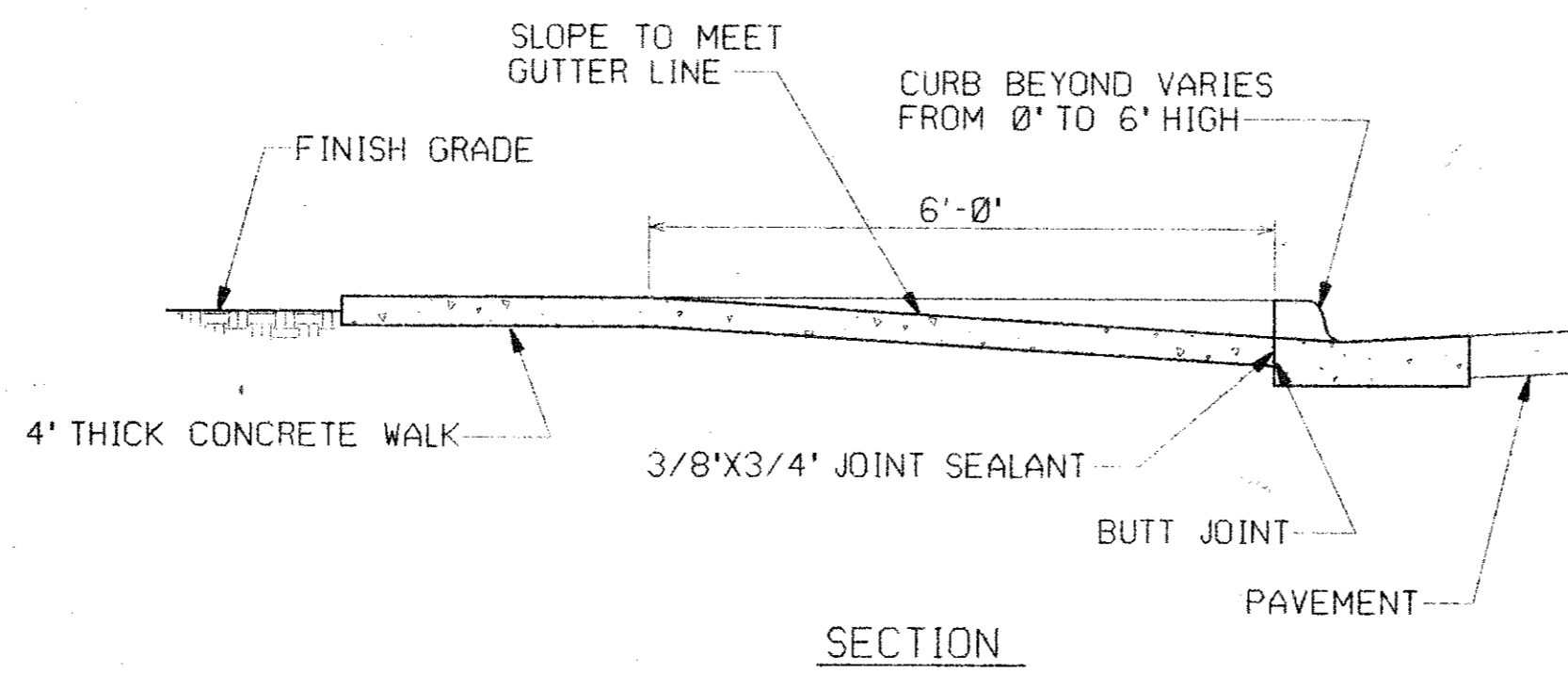
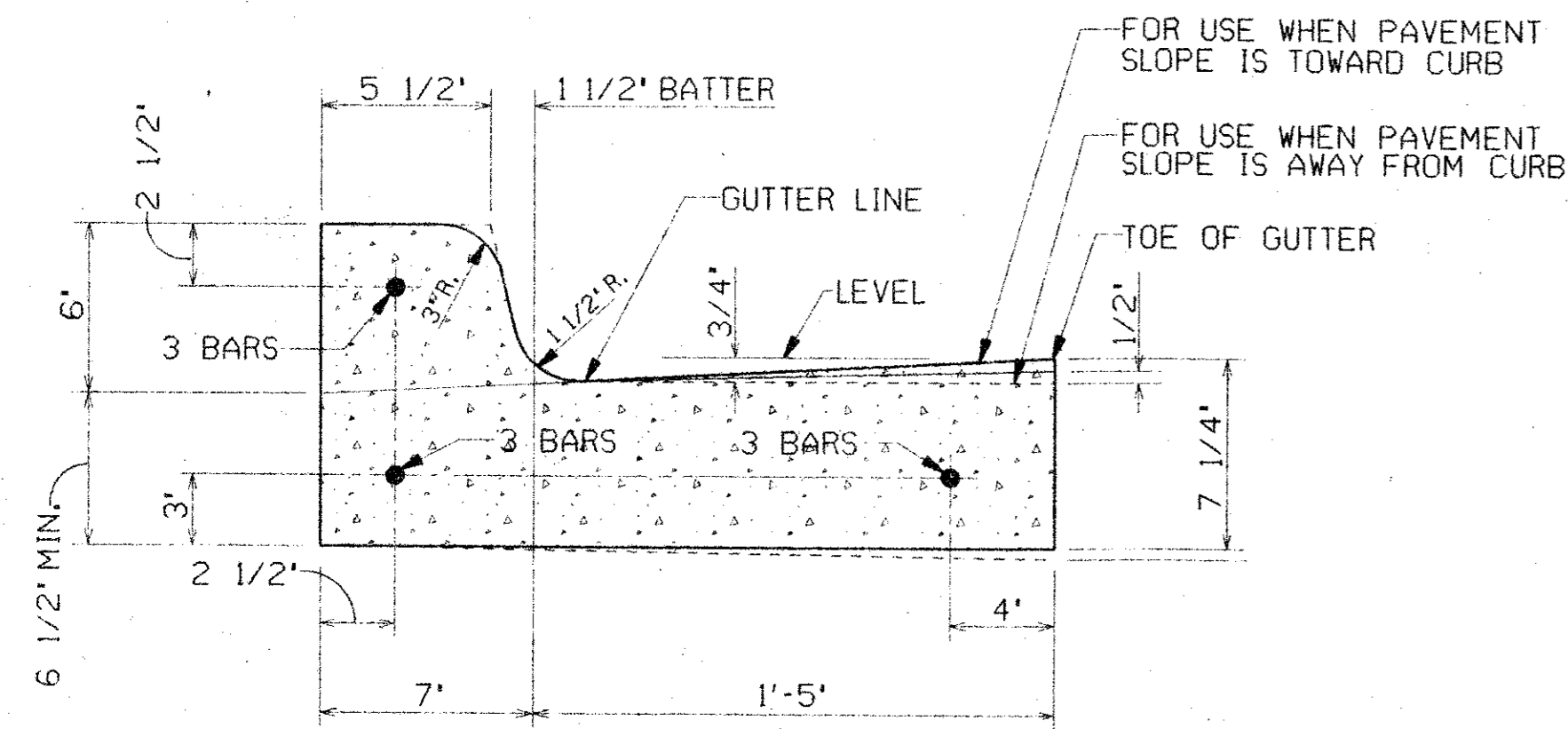
①
N.T.S.



CONTRACTION JOINT EXPANSION JOINT

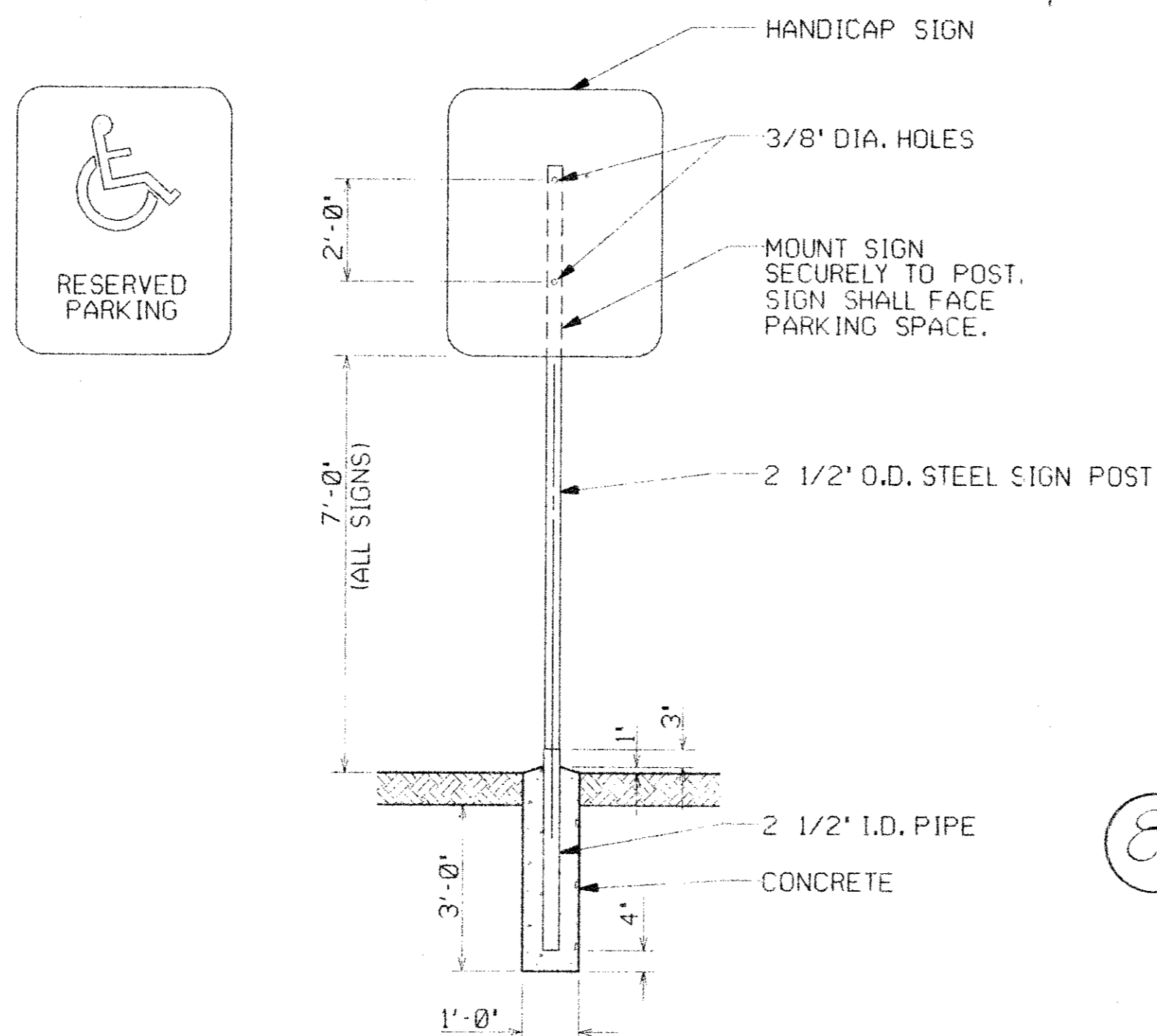


② SIDEWALK DETAILS



⑤ HANDICAPPED CURB-RAMP DETAIL

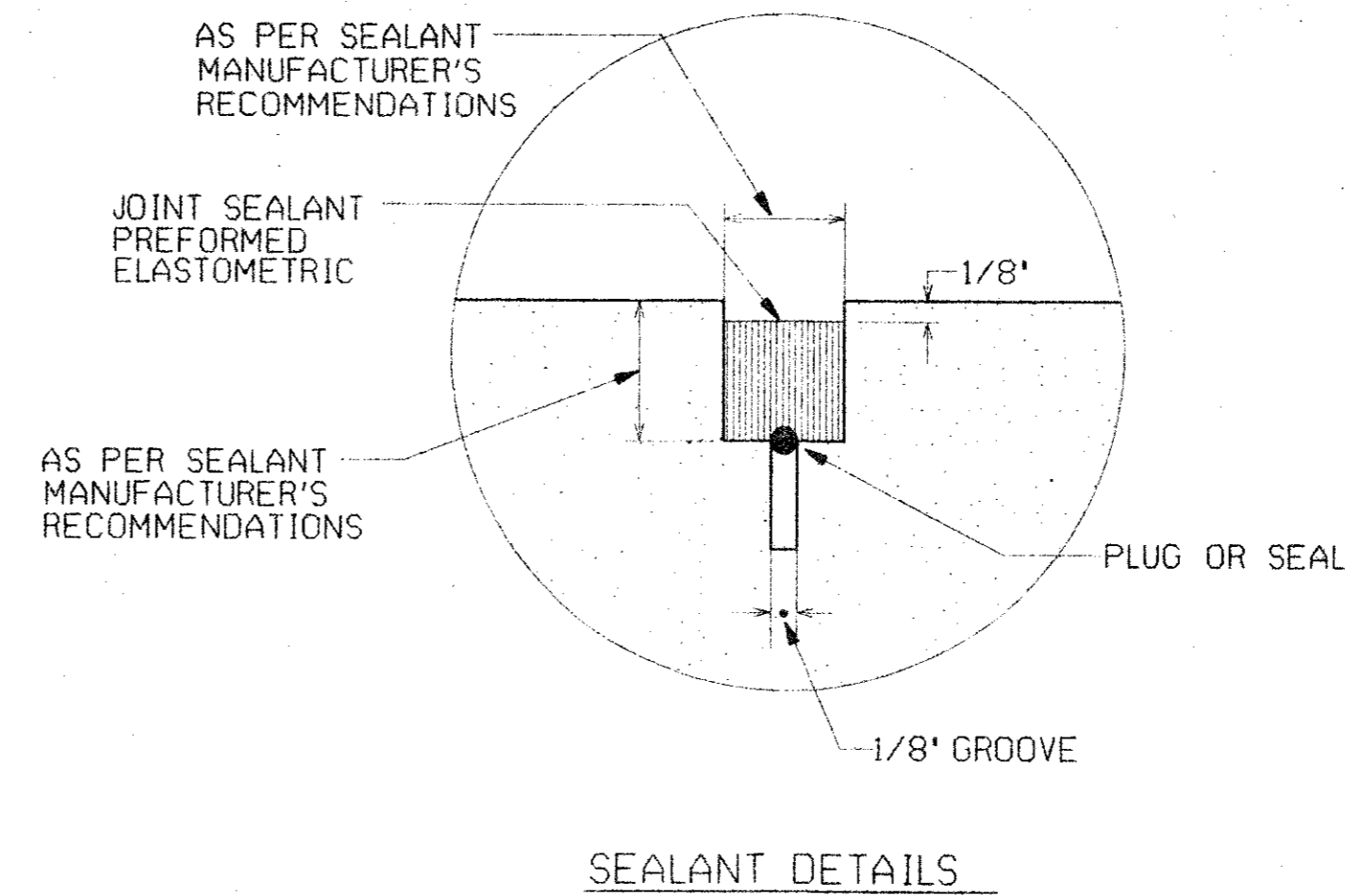
⑤
N.T.S.



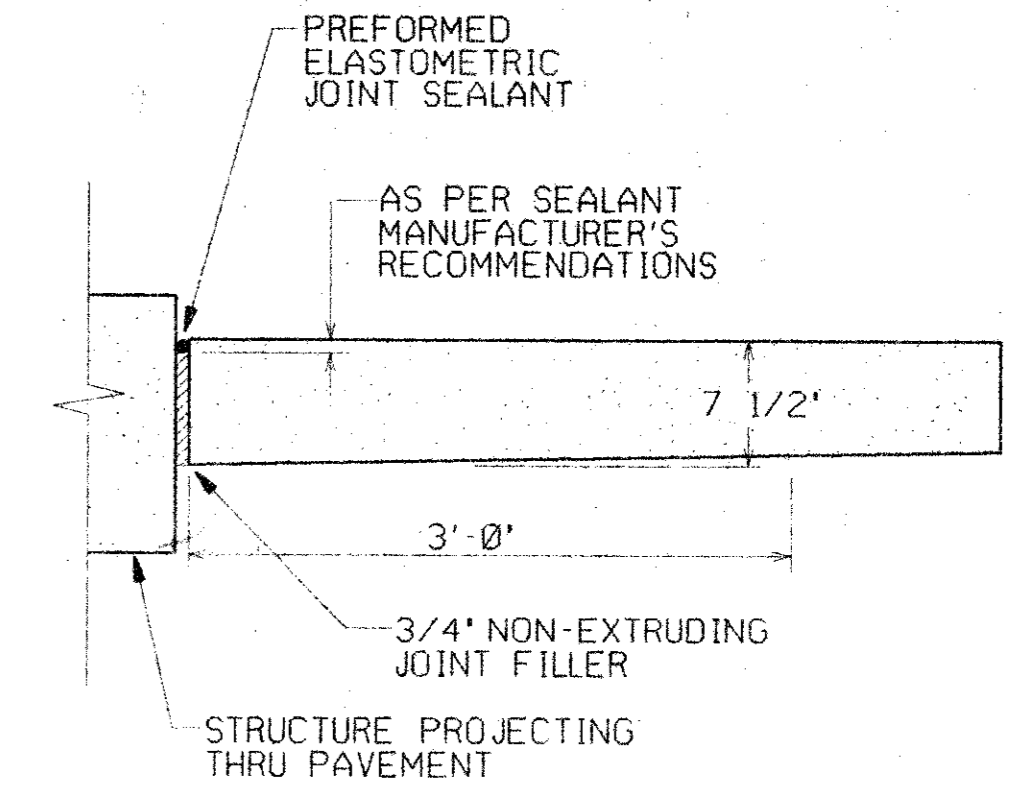
HANDICAP SIGN SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (DEPARTMENT OF TRANSPORTATION)

⑦ HANDICAP SIGN MOUNTING DETAILS

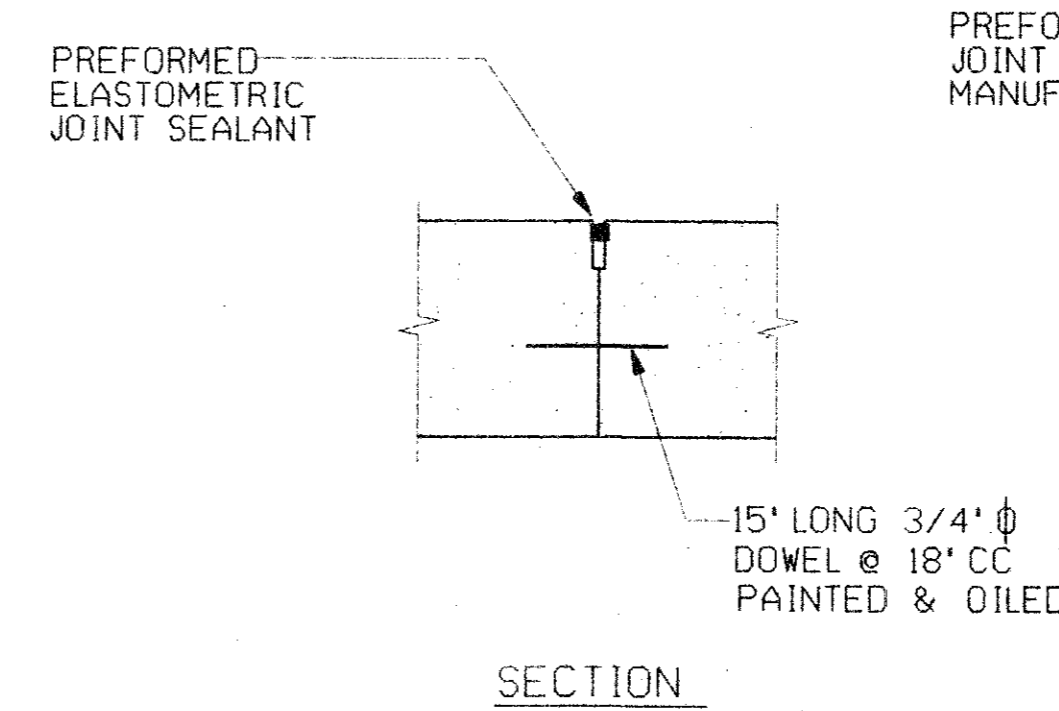
⑦
N.T.S.



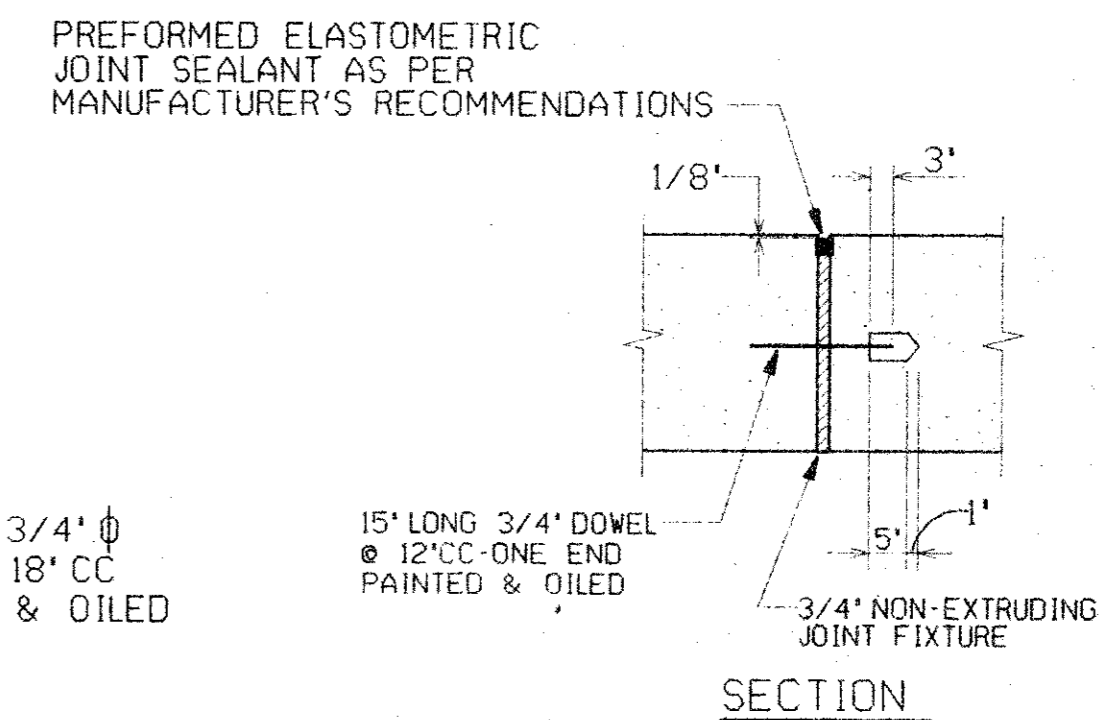
SEALANT DETAILS



AT STRUCTURES



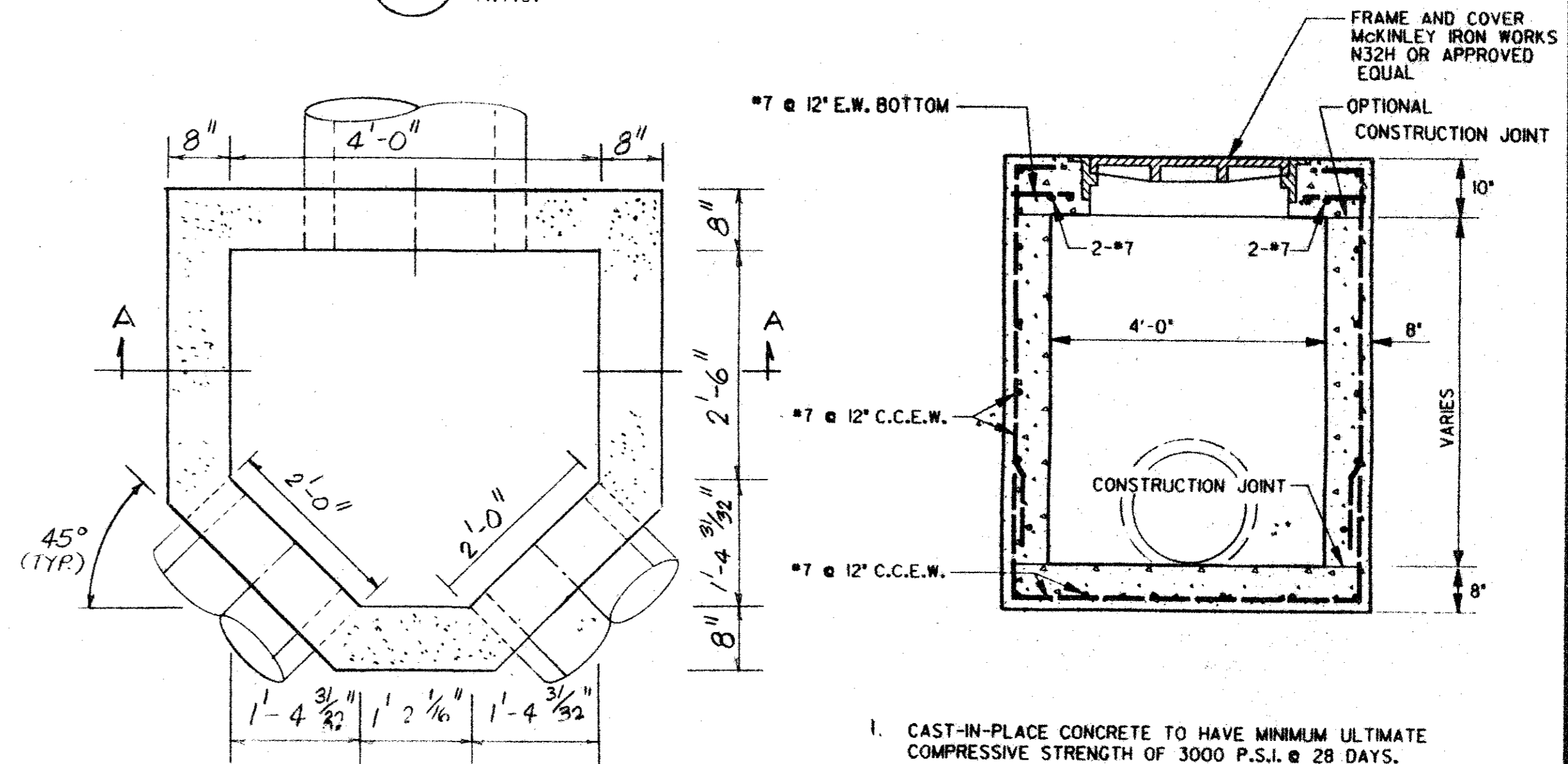
CONTRACTION JOINT



EXPANSION JOINT

③ PAVEMENT JOINT DETAILS

③
N.T.S.



⑧ PLAN - 5 SIDE MANHOLE

SCALE: 3/4" = 1'-0"

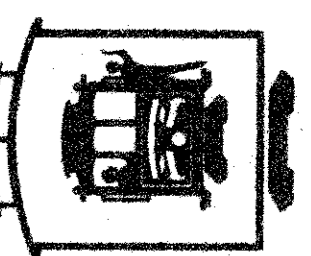
SECTION A-A

N.T.S.

- CAST-IN-PLACE CONCRETE TO HAVE MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 3000 P.S.I. @ 28 DAYS.
- ALL LAPS AND EXTENSIONS OF REINFORCING BARS SHALL BE 30 DIA. MIN. EXCEPT AS OTHERWISE NOTED.

REVISION DATA

SPAGHETTI WAREHOUSE, INC.
6120 ALDWICK DRIVE GARLAND, TEXAS 75043
12141226-6000 CONTACT - JAMES AITKEN



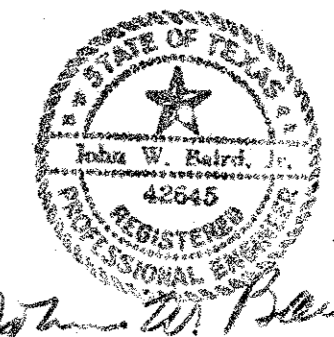
PROJECT DATA

ADDRESS 3820 BELT LINE ROAD
CITY ADDISON
STATE TEXAS

DATE 7/31/92
SHEET

A-1E

OF 20 A SHEETS

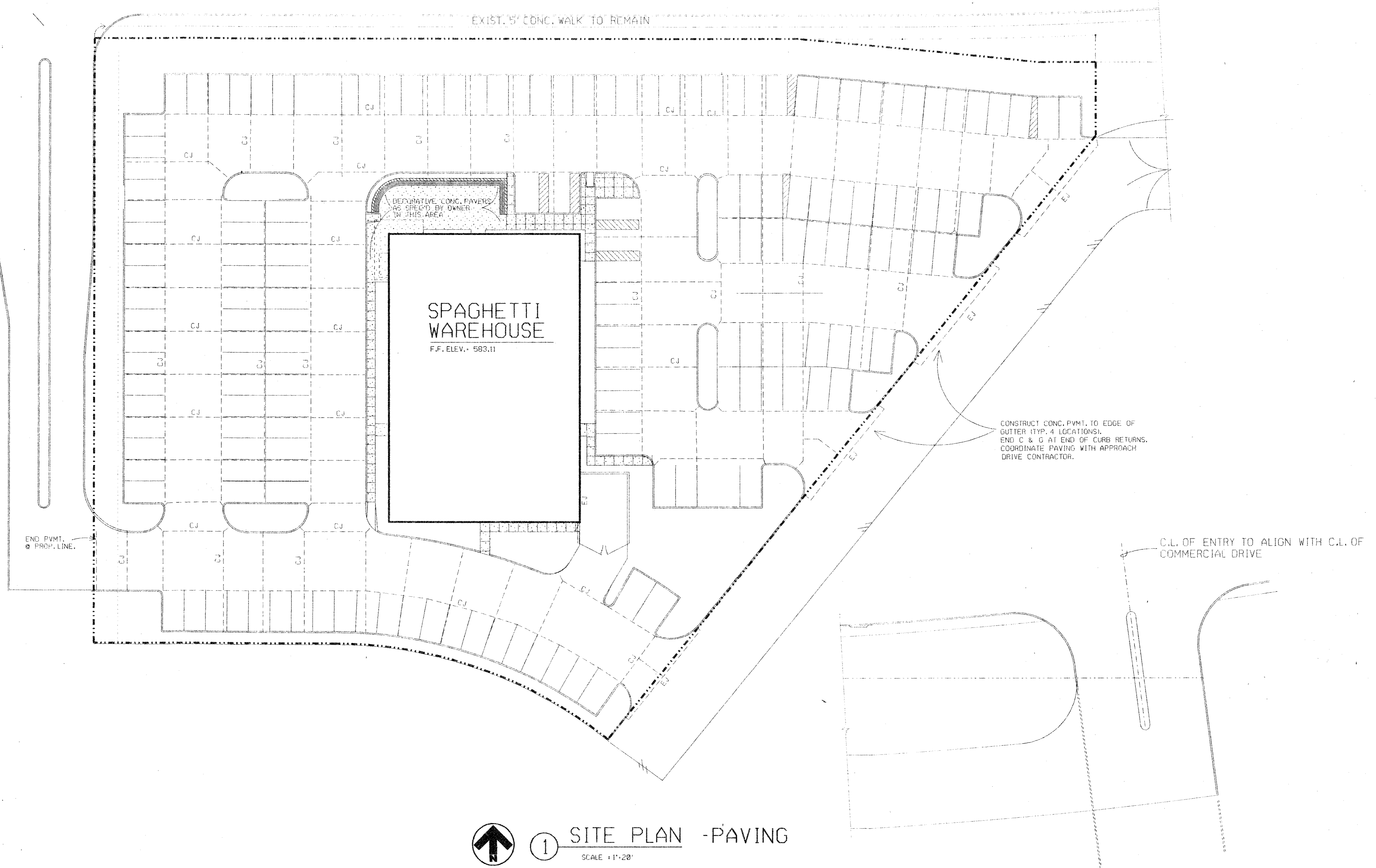


James W. Bandy

APROX. CENTERLINE
BUSINESS AVENUE

BELT LINE ROAD

(100.0' R.O.W. - CONC. CURB & GUTTER W/ CONC. PAVING)




1 SITE PLAN - PAVING
SCALE 1/4" = 1'-0"

SCALE 1/4" = 1'-0"

J. W. B...
SITE PLAN

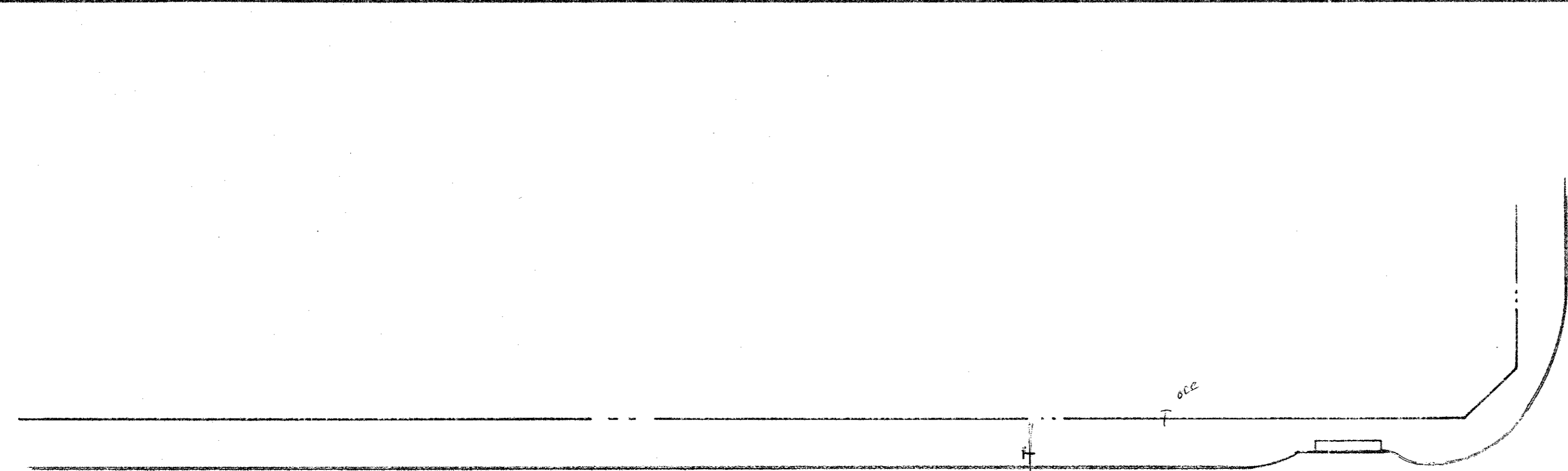
REVISION DATA

SPAGHETTI WAREHOUSE, INC.
 6120 ALDWICK DRIVE GARLAND, TEXAS 75043
 CONTACT - JAMES AITKEN
 (214) 226-6000

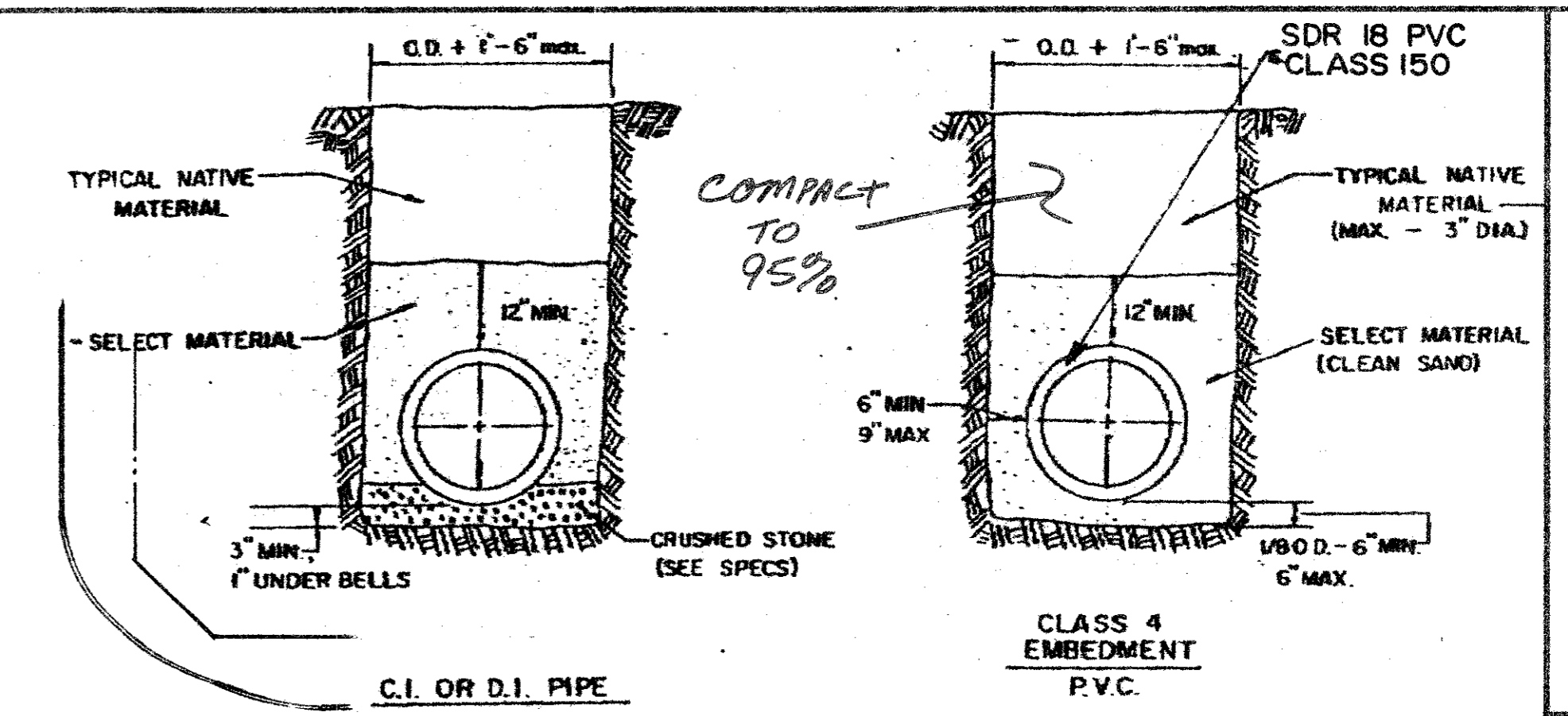


PROJECT DATA
 ADDRESS 3820 BELT LINE ROAD
 CITY ADDISON
 STATE TEXAS

DATE 9/31/92
 SHEET
 A-1F
 OF 20 A SHEETS



BUSINESS AVE



EMBEDMENT DETAILS FOR WATER MAIN

STA. 0+00
CONNECT TO
EXISTING 8"
FH LEAD LINE
-CONFIRM ELD
OF 8" W.L.

STA. 0+06
RELOCATE EXIST.
FH 1-8"x6" TEE
5 LF 6" W.L.
1-8" G.V.

STA. 0+13
P.I. 90° LT. -8" TEE
1-8" G.V.
1-8" PLUG

STA. 0+90.5
P.I. 57° 18' 51" LT

STA. 2+98.95
P.I. 520° 08' 10.7"

SEE SHT. A-1
FOR CONTINUATION

STA. 2+67 (E OF DRIVE)
P.I. 520° 08' 10.7"

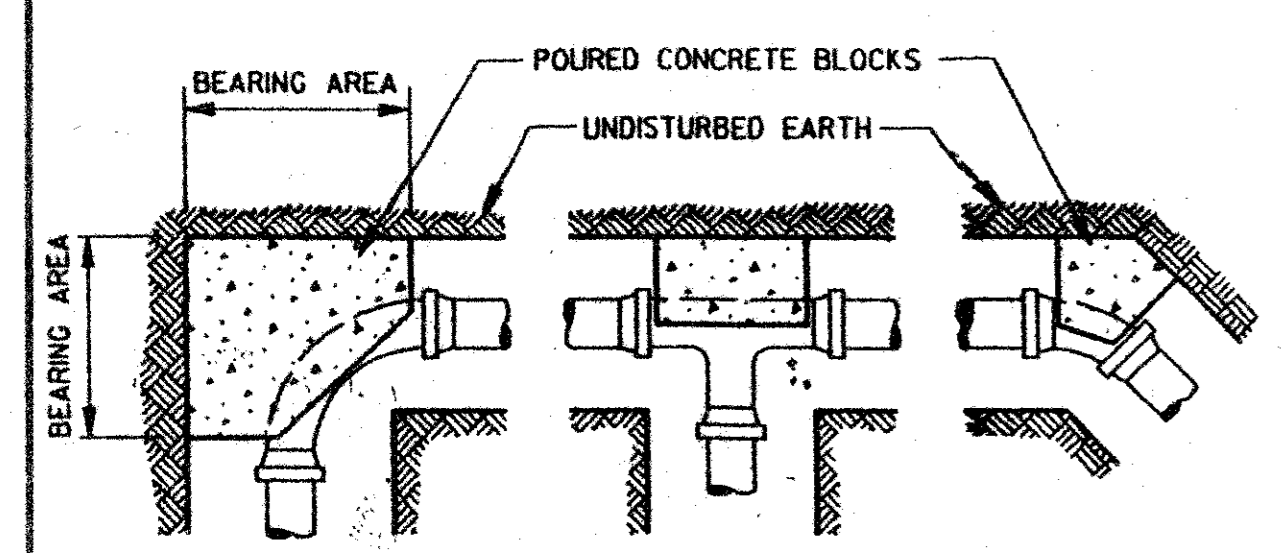
BELT LINE ROAD

EXISTING F.H. RELOCATED
BY DEVELOPER SEE
REF. DWG. NO. C-1 FILE 92023

PRINTED AND ADJ. NO. 1
VOL. 29013, PG. 0827

GENERAL NOTES:

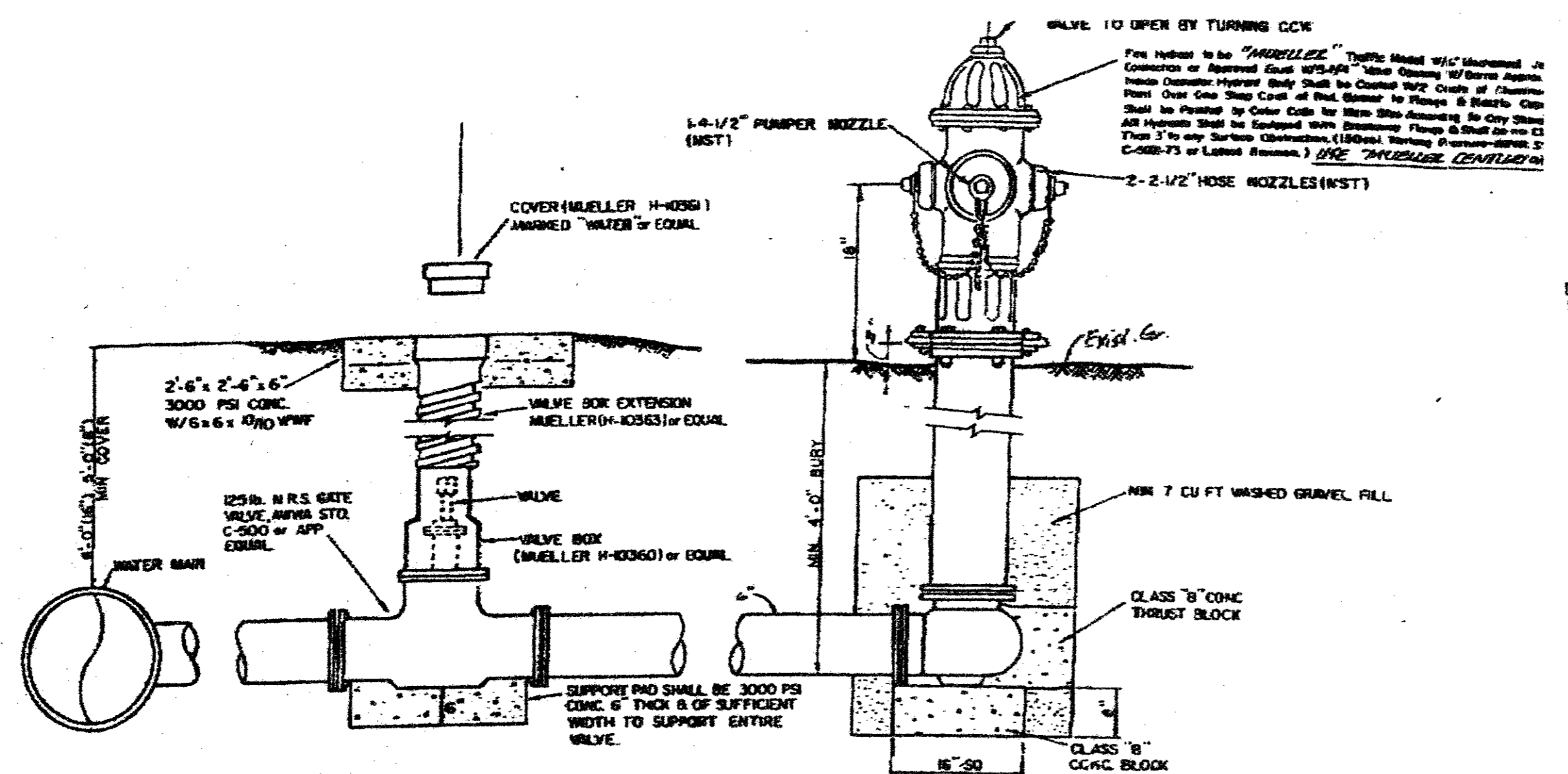
1. The water line Contractor shall be an approved Utilities Contractor in the Town of Addison.
2. All water line construction materials and practices shall be in accordance with Town of Addison standards.



BEARING AREA OF BLOCK IN SQ. FT.			
FITTING SIZES	TEE AND END	90° BEND	45° BEND
6"	7.2	10.8	5.0
8"	12.6	17.8	9.6
10"	19.8	27.8	15.2
12"	28.4	40.0	21.8

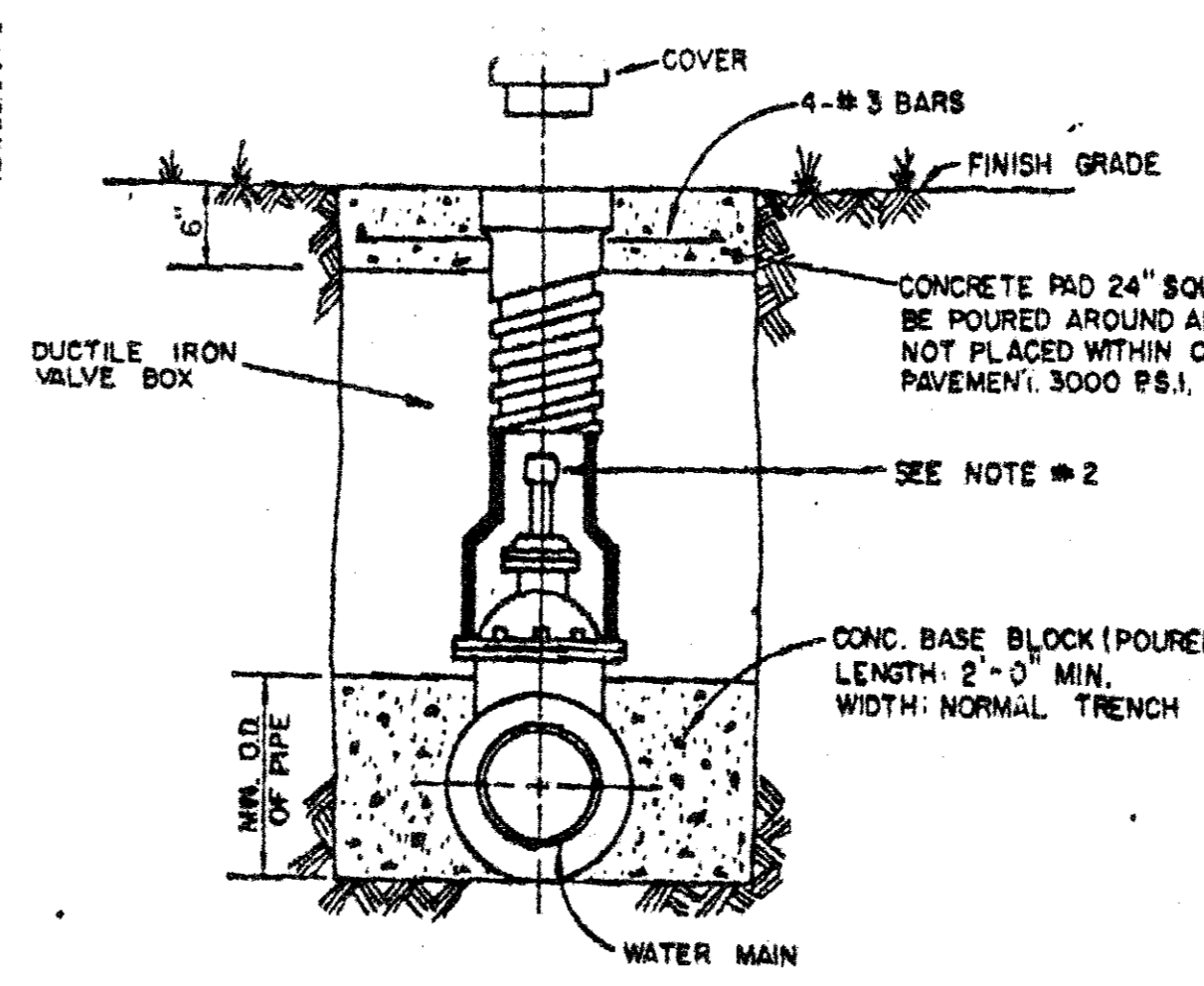
THRUST BLOCK DETAILS

N.T.S.



VALVE BOX DETAIL
(SEE PLANS FOR "MAIN SIZE")

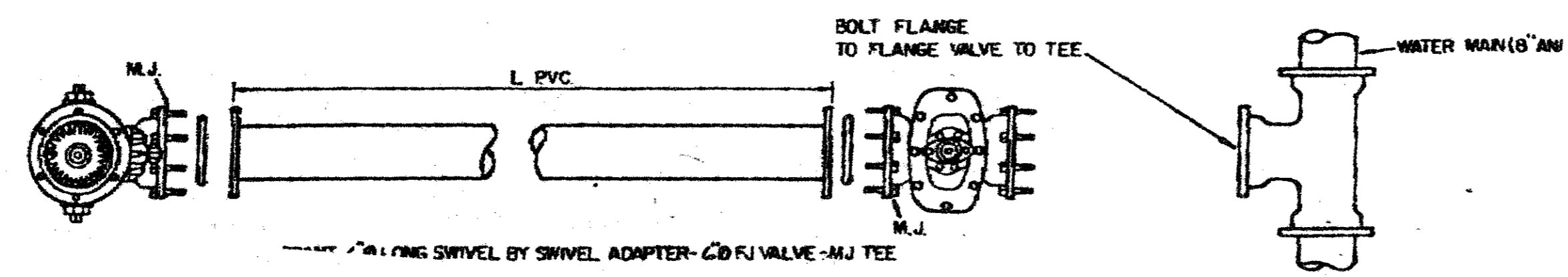
FIRE HYDRANT INSTALLATION
(INCLUDES 4" W/VE)



- NOTE:
1. GATE VALVES SHALL BE IN ACCORDANCE WITH AWWA STANDARD C-509-80 OR LATEST THEREOF ALL VALVES SHALL BE "MULLER" OR APPROVED EQUAL.
 2. A PERMANENTLY ATTACHED VALVE EXTENSION STEM SHALL BE REQUIRED FOR ANY VALVE THATS OPERATING NUT IS LOCATED IN EXCESS OF 4 FEET BELOW THE TOP OF VALVE BOX THIS EXTENSION SHALL BE OF SUFFICIENT LENGTH TO INSURE THAT ITS TOP IS WITHIN 4" OF VALVE BOX LID. MANUFACTURED VALVE-STACK DUCTILE IRON PIPE TO BE USED FOR EXTENSION GREATER THAN 4'-0" BELL END OF STACK TO BE FITTED OVER VALVE. VALVE AND VALVE STACK IS TO BE POLY WRAPPED.
 3. VALVES SHALL BE OF DUCTILE IRON W/RUBBER ENCAPSULATED DISK BODY BOLTS SHALL BE STAINLESS STEEL OF SAME SIZE ON EACH VALVE.

TYPICAL VALVE SETTING AND BOX

EMBEDMENT DETAIL FOR STORM SEWER



OFF-SITE WATER LINE

SCALE: 1"=20'

REVISION DATA

SPAGHETTI WAREHOUSE, INC.
6120 ALDWICK DRIVE GARLAND, TEXAS 75043
214-226-6000 CONTACT - JAMES AITKEN



PROJECT DATA

ADDRESS 9820 BELT LINE ROAD
CITY ADDISON
STATE TEXAS

DATE 7/31/92
SHEET

A:G
OF 15 SHEETS

John M. Blair
7-2-92

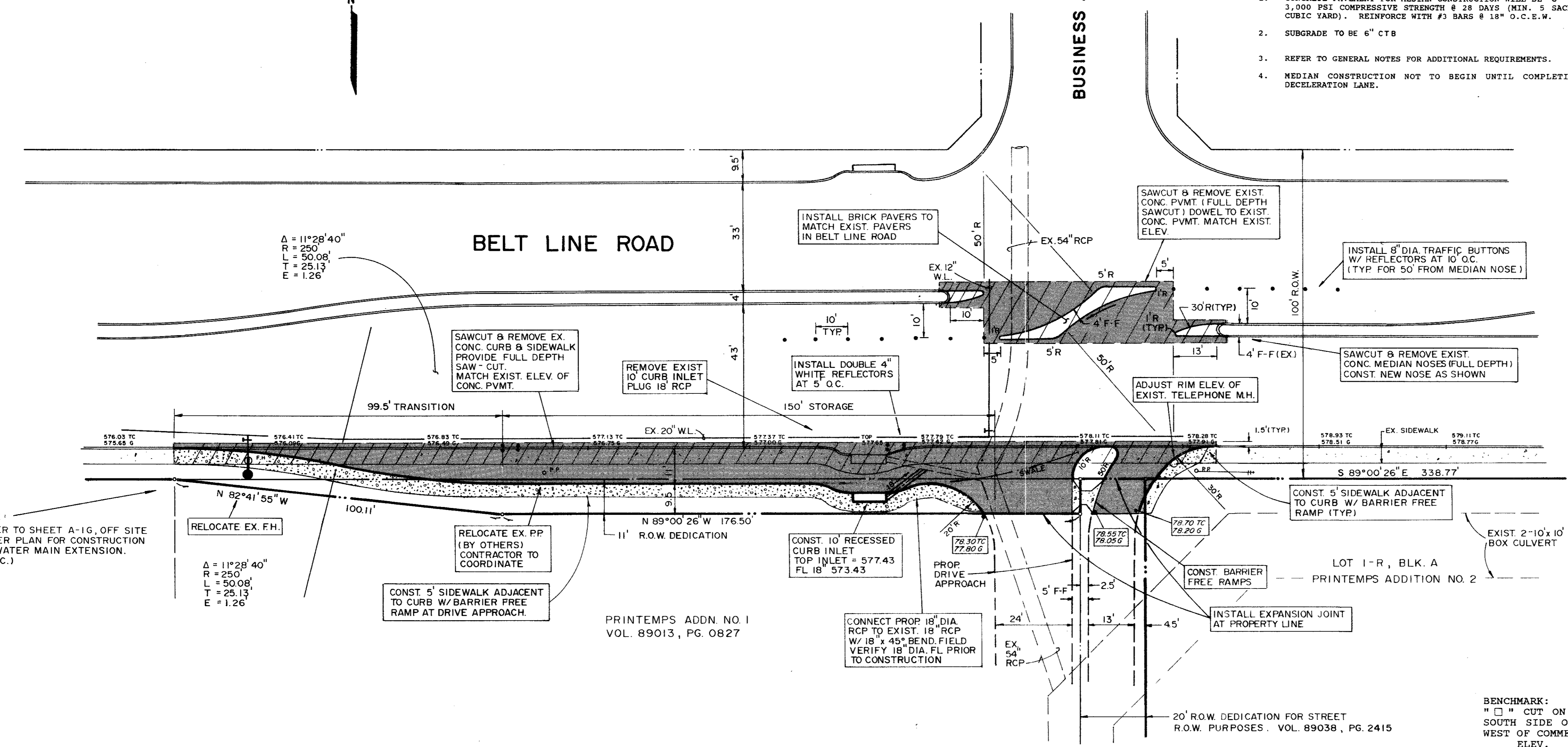




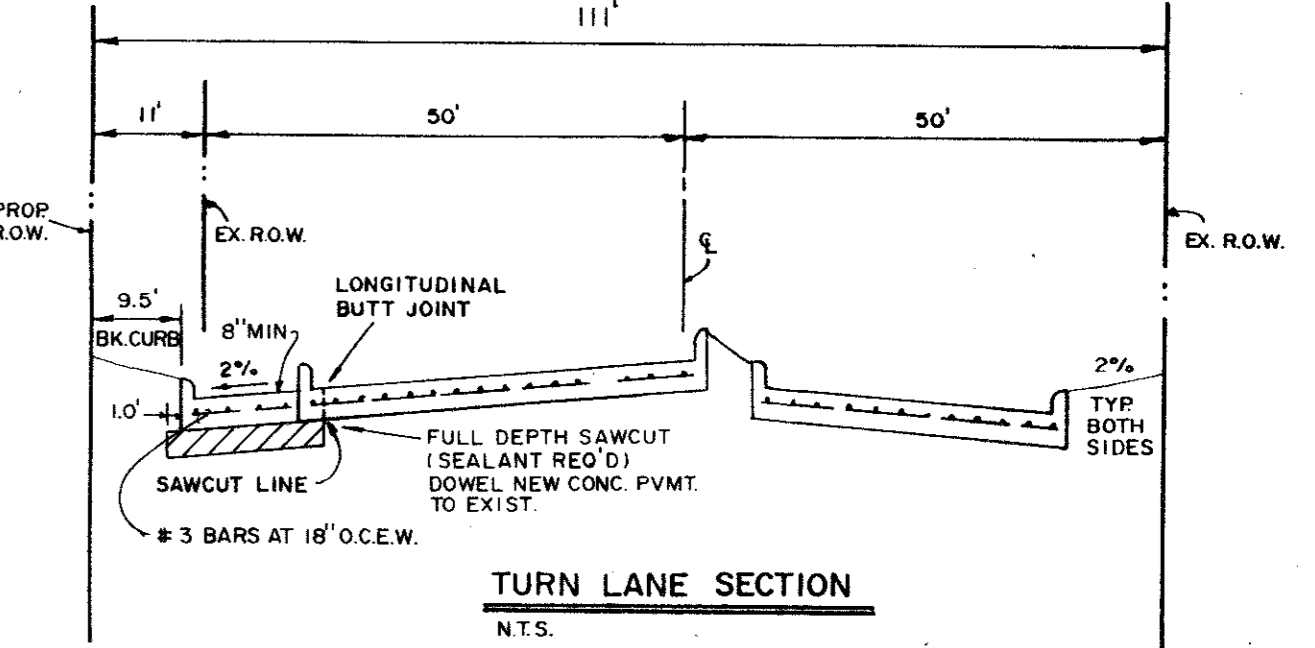
BUSINESS AVE.

- MEDIAN NOTES**
1. CONCRETE PAVEMENT FOR MEDIAN CONSTRUCTION WILL BE 8" THICK, 3,000 PSI COMPRESSIVE STRENGTH @ 28 DAYS (MIN. 5 SACKS PER CUBIC YARD). REINFORCE WITH #3 BARS @ 18" O.C.E.W.
 2. SUBGRADE TO BE 6" CTB
 3. REFER TO GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.
 4. MEDIAN CONSTRUCTION NOT TO BEGIN UNTIL COMPLETION OF DECELERATION LANE.

- GENERAL NOTES**
1. ALL CURBS TO BE PLACED INTEGRAL WITH PAVEMENT AND SHALL MEET THE SAME COMPRESSIVE STRENGTH AS THE PROPOSED CONCRETE PAVEMENT.
 2. ARRANGEMENT OF JOINTS SHALL MATCH JOINTS IN EXISTING PAVEMENT.
 3. ALL BAR LAPS SHALL BE 30" DIAMETERS.
 4. BAR CHAIRS SHALL BE FURNISHED.
 5. CROSS SLOPE OF PROPOSED TURN LANE WILL BE 1/4" PER FOOT.
 6. CONCRETE PAVEMENT FOR TURN LANE WILL BE 8" THICK, 3000 PSI COMPRESSIVE STRENGTH AT 28 DAYS WITH A MIXTURE THAT IS MINIMUM FIVE SACKS PER CUBIC YARD. REINFORCEMENT WILL BE #3 BARS @ 18" O.C.W.
 7. SUBGRADE WILL BE SCARIFIED TO A DEPTH OF 6" AND RECOMPACTED TO 95% STANDARD PROCTOR DENSITY. SUBGRADE TO BE STABILIZED WITH 6% BY WEIGHT OF HYDRATED LIME. SUBGRADE SHALL EXTEND 1' BACK OF PROPOSED CURB. 6" CTB MAY BE ALLOWED AS ALTERNATE TO LIME STABILIZATION.
 8. ALL JOINTS IN CONCRETE PAVEMENT TO BE SEALED WITH 0A55 ASPHALT OR RUBBER BASED COMPOUND.
 9. INSTALLATION OF DRIVE APPROACHES, SIDEWALKS, RIGHT-TURN LANE AND MEDIAN IMPROVEMENTS SHALL MEET TOWN OF ADDISON STANDARDS.

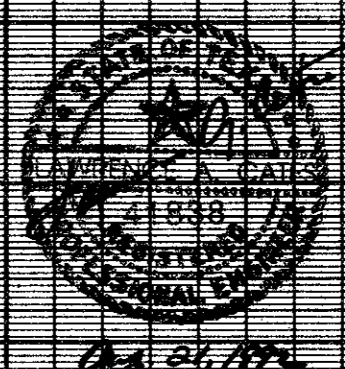


NOTE: REFER TO SHEET A-1G, OFF SITE WATER PLAN FOR CONSTRUCTION OF WATER MAIN EXTENSION. (N.I.C.)



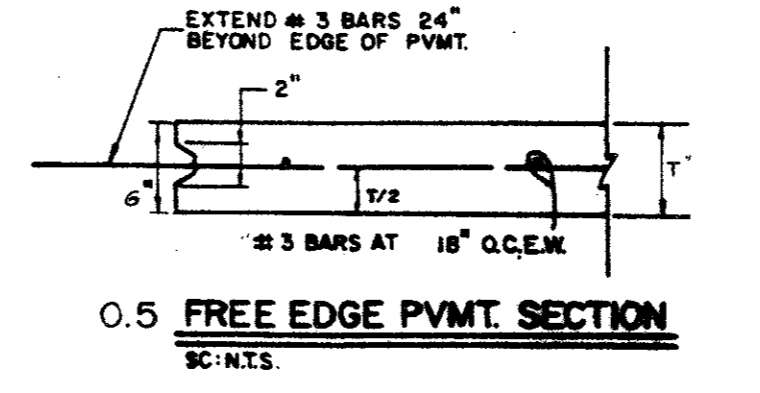
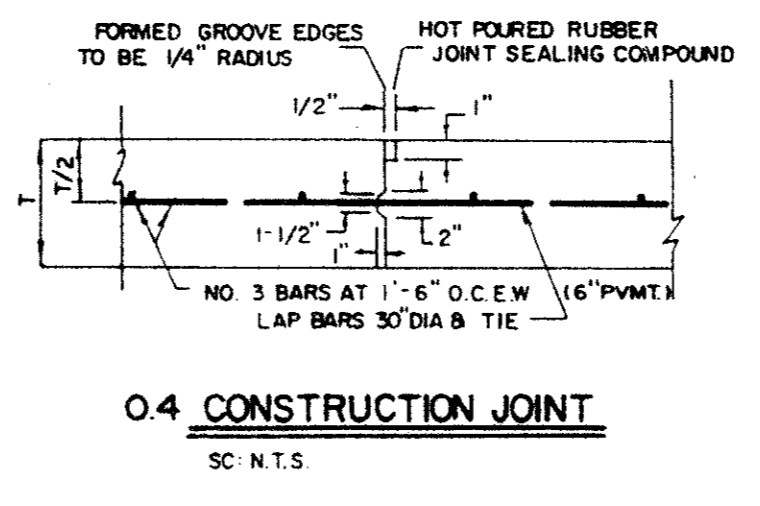
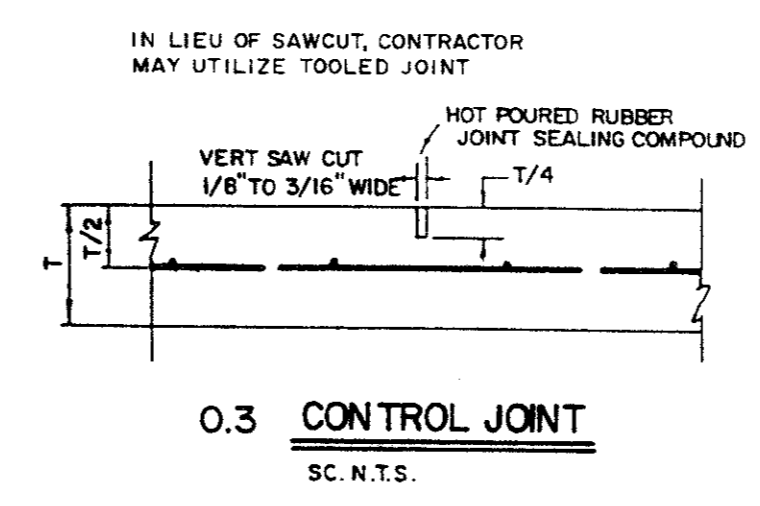
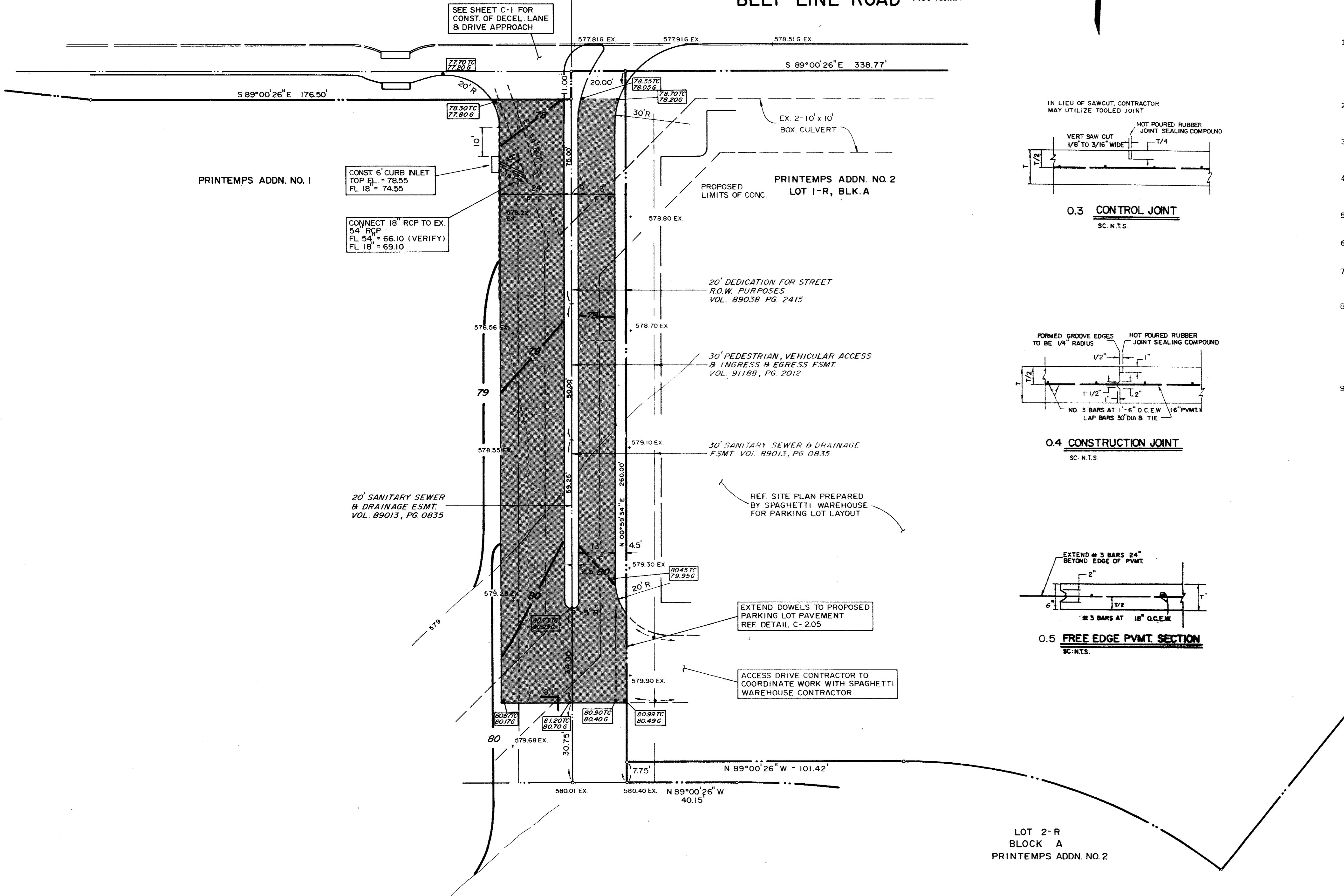
BENCHMARK: " " CUT ON STORM SEWER INLET ON SOUTH SIDE OF BELT LINE ROAD 70'± WEST OF COMMERCIAL DRIVE. ELEV. 580.56'

8/7/92 REV. MEDIAN PER CITY COMMENTS
8/28/92 REV. PROP. DRIVE, MEDIAN NOSES & ALLEES PAVERS

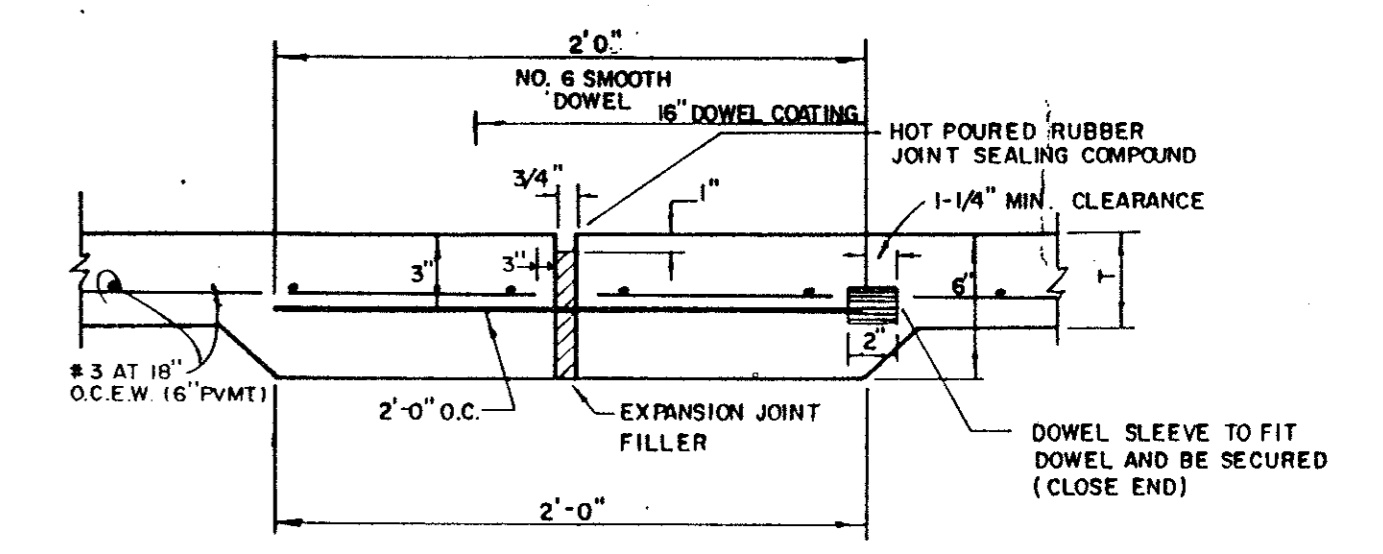
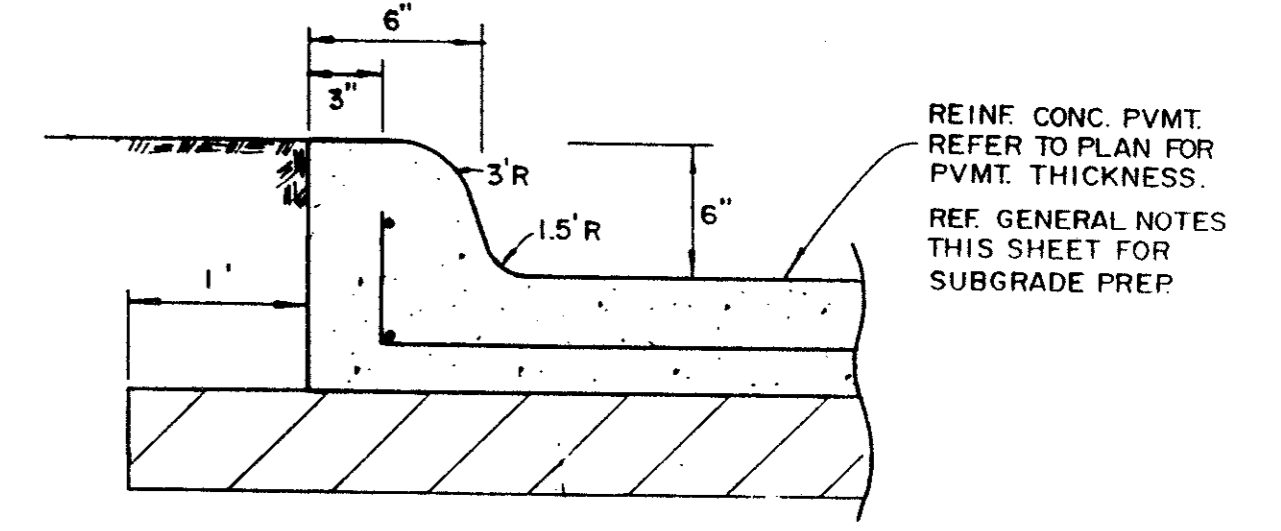


DECELERATION LANE & MEDIAN CONSTRUCTION						
BELT LINE RD. & BUSINESS AVE.						
TOWN OF ADDISON						
CONSULTING ENGINEERS LAWRENCE A. CATES & ASSOC. DALLAS, TEXAS						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
LAC	LAC	6/19/92	1" = 20'		92023	C-1

BELT LINE ROAD (100' R.O.W.)



- PAVING GENERAL NOTES**
- ALL CONCRETE PAVING SHALL BE 6" THICKNESS AND BE 3,000 PSI CONCRETE AT 28 DAYS WITH A MIXTURE THAT IS A MINIMUM OF FIVE SACKS PER CUBIC YARD AND HAVING A ONE INCH TO FOUR INCH SLUMP AND REINFORCED WITH #3 BARS @ 18" O.C.E.W. FOR 6" THICK PAVEMENT AND REINFORCING SHALL BE SUPPORTED BY CHAIRS AND SPACED AT 16 S.F. MAXIMUM INTERVAL.
 - SUBGRADE SHALL BE SCARIFIED TO A DEPTH OF SIX INCHES (6") AND RECOMPACTED TO 95% STANDARD PROCTOR DENSITY AT ±3% OPTIMUM MOISTURE CONTENT.
 - SEALANT MATERIAL TO BE OA55 ASPHALT OR A RUBBER BASED COMPOUND. SPECIFICATIONS TO BE SUBMITTED TO THE ENGINEER PRIOR TO INSTALLATION.
 - BREAKOUTS FOR REMOVAL OF EXISTING PAVEMENT AND CURBS SHALL BE MADE BY SAW CUT WHEN ADJACENT TO PROPOSED PAVING AND/OR CURBS.
 - PROPOSED CONCRETE CURBS SHALL MATCH ELEVATIONS OF EXISTING CURB.
 - CONCRETE TO BE FLOAT FINISHED AND CURED FOR A MINIMUM OF 72 HOURS.
 - ALL WORKMANSHIP AND MATERIALS SHALL BE ACCORDANCE WITH TOWN OF ADDISON STANDARD SPECIFICATIONS AND/OR SPECIFICATIONS ESTABLISHED BY THIS PROJECT.
 - CONTRACTOR SHALL SUBMIT A JOINT SPACING PLAN TO THE ENGINEER PRIOR TO PLACEMENT OF CONCRETE PAVEMENT. CONTROL JOINTS SHALL BE INSTALLED AT A MAXIMUM SPACING OF 15' O.C.E.W. EXPANSION JOINTS SHALL BE INSTALLED AT A MAXIMUM SPACING OF 90'. CONCRETE SHALL BE PLACED IN STRIPS NOT TO EXCEED 30 FEET IN WIDTH. LEVEL UP SAND COARSE WILL NOT BE ALLOWED. JOINT SPACING PLAN SHOULD BE SUBMITTED TO ENGINEER FOR APPROVAL.
 - CONTRACTOR WILL PROVIDE A TWO (2) YEAR UNCONDITIONAL MAINTENANCE FREE WARRANTY ON PORTLAND CEMENT CONCRETE PAVEMENT.

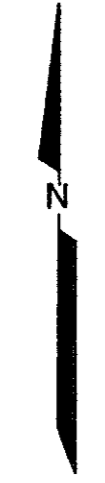
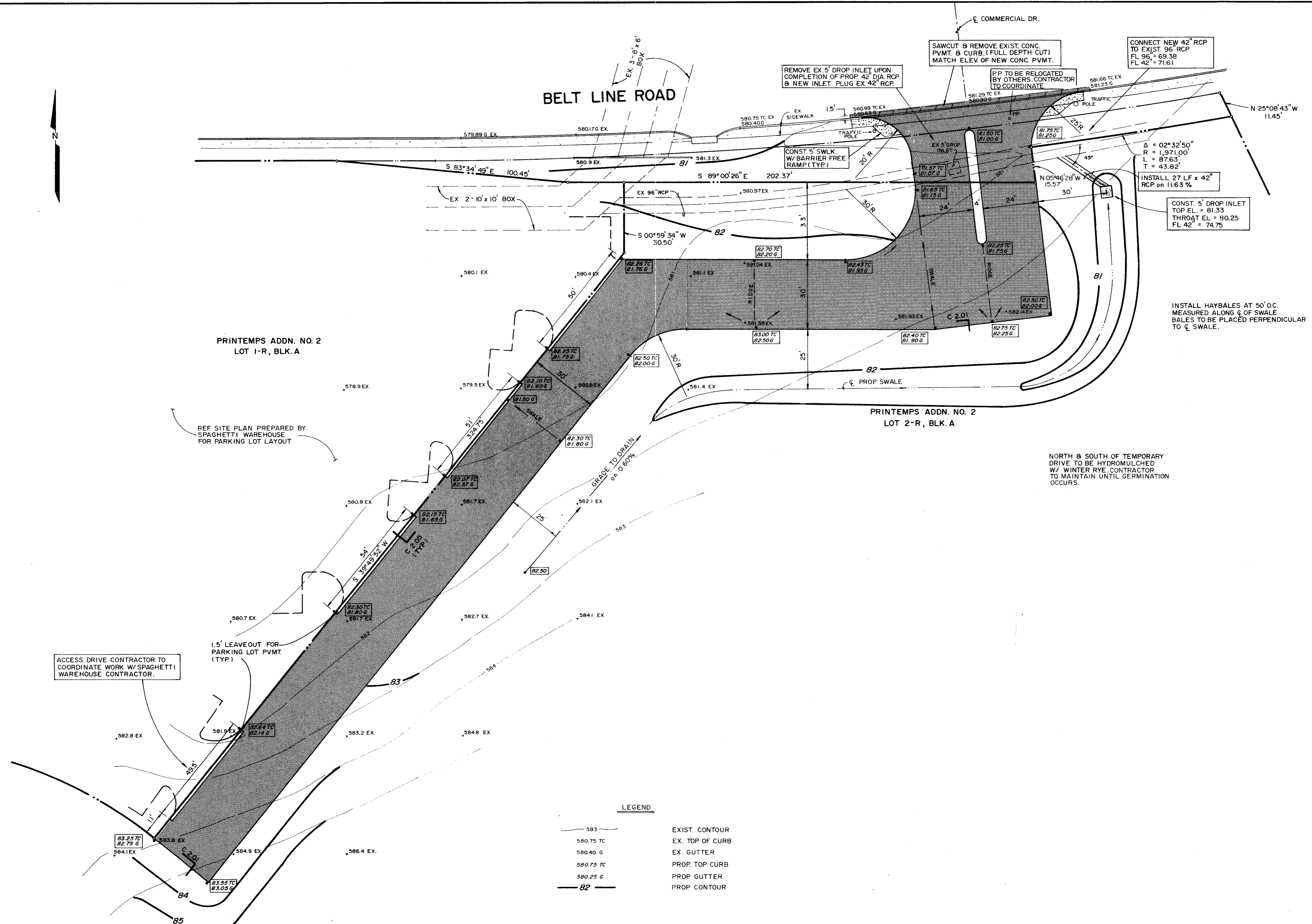


LOT 2-R
BLOCK A
PRINTEMPS ADDN. NO. 2

BENCHMARK:
" " CUT ON STORM SEWER INLET ON
SOUTH SIDE OF BELT LINE ROAD 70'±
WEST OF COMMERCIAL DRIVE.
ELEV. 580.56'



REV: 08-28-92 REV. DRIVE					
REV: 08-17-92 PER CITY COMMENTS					
WEST ACCESS DRIVE					
SPAGHETTI WAREHOUSE					
LOT 1-R, PRINTEMPS NO. 1 ADDN.					
TOWN OF ADDISON, TX.					
LAWRENCE A. CATES & ASSOC.					CONSULTING ENGINEERS DALLAS, TEXAS
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE NO.
L.A.C.	L.A.C.	7/20/92	1"=20'		92023 C-2



REF SITE PLAN PREPARED BY SPAGHETTI WAREHOUSE FOR PARKING LOT LAYOUT

ACCESS DRIVE CONTRACTOR TO COORDINATE WORK W/ SPAGHETTI WAREHOUSE CONTRACTOR.

1.5' LEAVEOUT FOR PARKING LOT PVMT. (TYP.)

NORTH & SOUTH OF TEMPORARY DRIVE TO BE HYDROMULCHED W/ WINTER RYE. CONTRACTOR TO MAINTAIN UNTIL GERMINATION OCCURS.

LEGEND

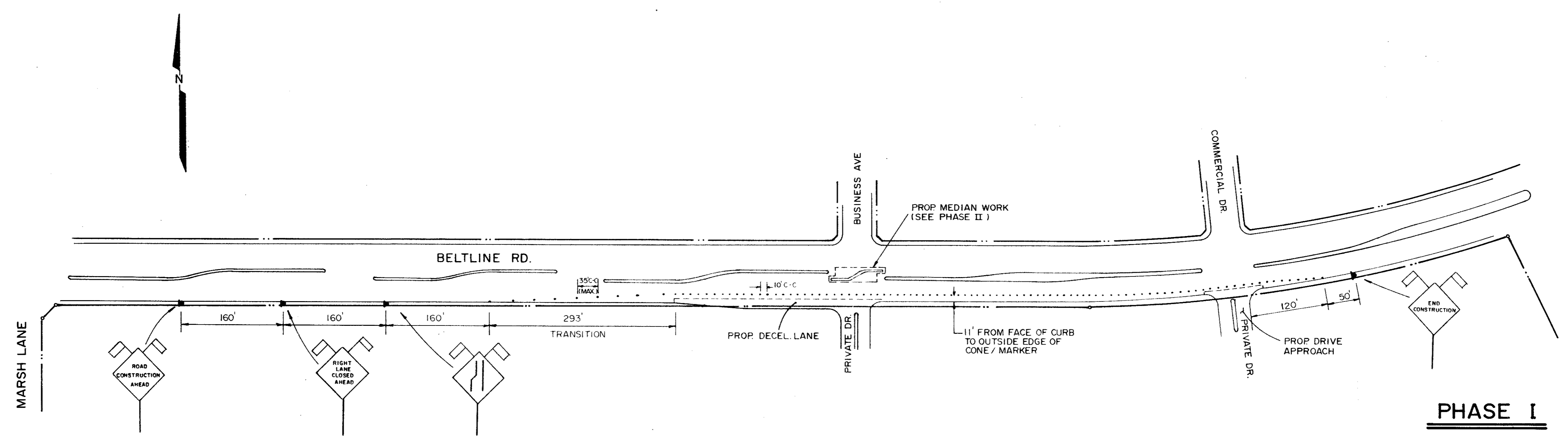
— 583 —	EXIST CONTOUR
— 580.75 TC —	EX. TOP OF CURB
— 580.40 G —	EX. GUTTER
— 580.75 TC —	PROP. TOP CURB
— 580.25 G —	PROP. GUTTER
— 82 —	PROP. CONTOUR

BENCHMARK:
 "□" CUT ON STORM SEWER INLET ON SOUTH SIDE OF BELT LINE ROAD 70'± WEST OF COMMERCIAL DRIVE.
 ELEV. 580.56'

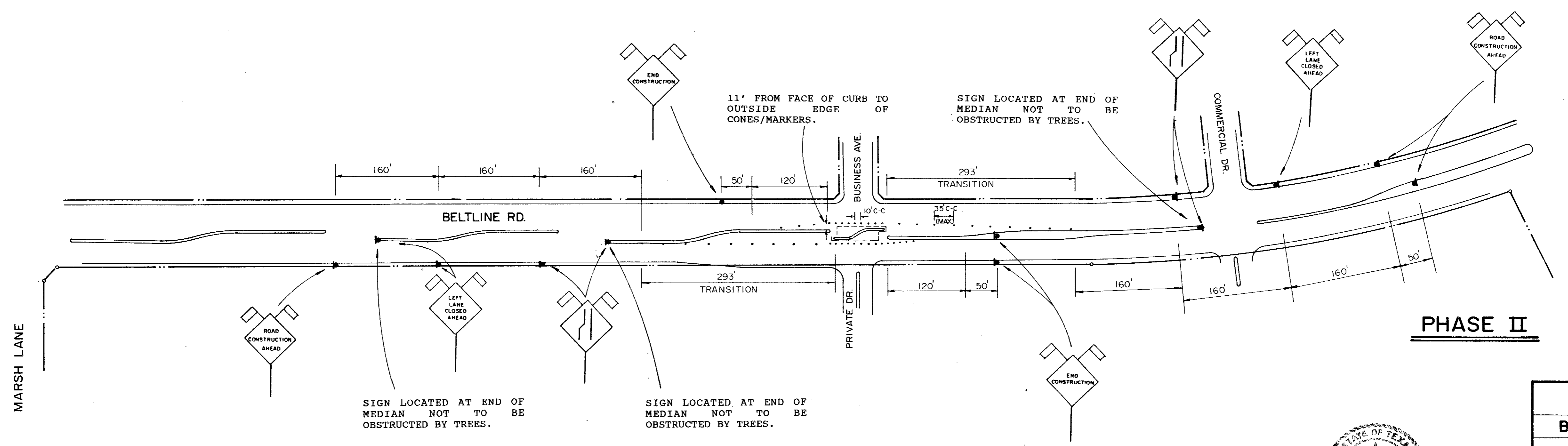


EAST ACCESS DRIVE						
SPAGHETTI WAREHOUSE						
LOT 1-R, PRINTEMPS NO. 1 ADDN.						
TOWN OF ADDISON, TX.						
LAWRENCE A. CATES & ASSOC. CONSULTING ENGINEERS DALLAS, TEXAS						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
LAC	LAC	8/3/92	1" = 20'		92023	C-3

B10-3



PHASE I



PHASE II



TRAFFIC CONTROL PLAN						
BELTLINE RD. EAST OF MARSH LN.						
TOWN OF ADDISON, TEXAS						
LAWRENCE A. CATES & ASSOC. CONSULTING ENGINEERS DALLAS, TEXAS						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
L.A.C.	L.A.C.	8/24/92	1"=100'		92023	C-4