

**LINE TABLE**

L1	N 04°43'48"	W	49.74'
L2	S 89°00'26"	E	10.00'
L3	S 00°59'34"	W	346.57'
L4	S 89°00'26"	E	130.96'
L5	N 89°00'26"	W	130.96'
L6	S 00°59'34"	W	69.91'
L7	S 04°43'48"	E	47.43'
L8	N 06°05'39"	E	191.81'
L9	N 17°53'37"	E	10.45'
L10	N 89°00'26"	W	10.00'
L11	N 89°00'26"	W	108.00'
L12	N 89°00'26"	W	142.58'
L13	N 82°43'48"	W	100.60'
L14	N 89°00'26"	W	28.09'
L15	N 88°53'15"	W	48.88'
L16	N 01°06'45"	E	10.00'
L17	S 17°53'37"	W	25.00'
L18	S 27°04'06"	E	53.70'
L19	N 27°04'06"	W	53.70'
L20	N 88°52'54"	W	26.10'
L21	S 89°03'54"	E	27.73'
L22	S 85°27'33"	W	20.11'
L23	N 00°56'06"	E	44.29'
L24	N 00°56'06"	E	18.00'
L25	N 04°32'25"	W	4.58'
L26	S 89°00'26"	E	20.04'
L27	S 49°26'50"	W	15.00'
L28	N 40°33'10"	W	68.10'
L29	S 89°00'26"	E	22.75'
L30	S 27°27'23"	W	1.46'
L31	N 45°59'34"	E	37.49'
L32	N 27°27'23"	E	12.30'
L33	S 80°56'06"	E	11.76'
L34	S 80°56'06"	W	11.52'
L35	S 00°56'06"	W	40.27'
L36	S 89°03'54"	E	15.00'

**NOTES:**

PARK & GREENBELT ALONG BELTWAY DRIVE DEDICATED TO TOWN OF ADDISON FOR PARK PURPOSES BY THIS PLAT.

SIDEYARD SETBACK TO GARAGE DOORS ON LOT 1, BLOCK B, & LOT 1 & 19, BLOCK A IS 15'

THE LINE HEREON LABELED "APPROX. FULLY DEVELOPED CONDITIONS 100 YEAR FLOOD PLAIN" IS BASED ON HYDRAULIC MODELING PERFORMED BY O'BRIEN ENGINEERING, ASSUMING A CONDITION OF ULTIMATE DEVELOPMENT THROUGHOUT THE WATERSHED. THE HYDROLOGIC AND HYDRAULIC MODELS ARE ON FILE WITH THE TOWN OF ADDISON.

JIM O'BRIEN, P.E. #55881  
DATE \_\_\_\_\_

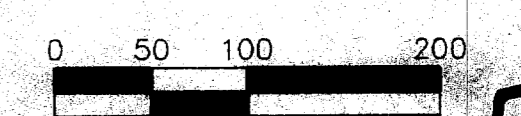
**FINAL PLAT**  
**ADDISON TOWN CENTER**  
A REPLAT OF  
PRINTEMPS ADDITION NO. 1  
AND A PART OF  
THE REMAINDER OF LES LACS PLAZA SUBDIVISION  
BEING IN THE  
THOMAS L. CHENOWITH SURVEY, ABSTRACT NO. 273

TOWN OF ADDISON  
DALLAS COUNTY, TEXAS

ENGINEER:  
LAWRENCE A. CATES & ASSOC., INC.  
14200 MIDWAY ROAD, SUITE 122  
DALLAS, TEXAS 75244  
(214) 385-2272

OWNER:  
ADDISON INVESTORS, LTD.  
131 FALLS ST., STE. 201  
GREENVILLE, S.C. 29601  
(803) 271-3894

JUNE 8, 1993



FF-4 SHEET 1 OF 2

OWNER'S CERTIFICATE

WHEREAS ADDISON INVESTORS ARE THE SOLE OWNERS OF A TRACT OF LAND SITUATED IN THE TOWN OF ADDISON, DALLAS COUNTY, TEXAS; AND BEING OUT OF THE THOMAS L. CHENOWITH SURVEY, ABSTRACT NO. 273; AND BEING PART OF LES LACS PLAZA SUBDIVISION, AN ADDITION TO THE TOWN OF ADDISON AS RECORDED IN VOLUME 83064, PAGE 2724 OF THE MAP RECORDS OF DALLAS COUNTY, TEXAS AND BEING ALL OF PRINTEMPS ADDITION NO. 1, AN ADDITION TO THE TOWN OF ADDISON AS RECORDED IN VOLUME 89013, PAGE 0827 OF THE MAP RECORDS OF DALLAS COUNTY, TEXAS; AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT AN IRON ROD FOUND AT THE INTERSECTION OF THE EAST LINE OF MARSH LANE (100 FOOT WIDE RIGHT-OF-WAY) AND THE NORTH LINE OF BELTWAY DRIVE (80 FOOT WIDE RIGHT-OF-WAY);

THENCE: N 00°56' 06" E, ALONG THE EAST LINE OF SAID MARSH LANE, A DISTANCE OF 686.45 FEET TO AN IRON ROD FOUND AT THE SOUTHWEST CORNER OF A TRACT OF LAND CONVEYED TO A.P. STEPHENS BY DEED RECORDED IN VOLUME 88159, PAGE 4535 OF THE MAP RECORDS OF DALLAS COUNTY, TEXAS;

THENCE: S 89°03' 54" E, ALONG THE SOUTH LINE OF SAID A.P. STEPHENS TRACT A DISTANCE OF 248.50 FEET TO AN IRON ROD FOUND AT THE SOUTHWEST CORNER OF SAID PRINTEMPS ADDITION NO. 1;

THENCE: N 00°56' 06" E, ALONG A COMMON LINE OF THE SAID A.P. STEPHENS AND PRINTEMPS ADDITION NO. 1 TRACTS, A DISTANCE OF 284.73 FEET TO AN IRON ROD FOUND FOR CORNER;

THENCE: S 88°53' 11" E, ALONG A COMMON LINE OF SAID A.P. STEPHENS AND PRINTEMPS ADDITION NO. 1 TRACTS, A DISTANCE OF 230.72 FEET TO AN IRON ROD FOUND FOR CORNER;

THENCE: N 01°06' 45" E, ALONG A COMMON LINE OF SAID A.P. STEPHENS AND PRINTEMPS ADDITION NO. 1 TRACTS, A DISTANCE OF 252.35 FEET TO AN IRON ROD FOUND AT THE NORTHEAST CORNER OF SAID A.P. STEPHENS TRACT, SAID POINT ALSO BEING IN THE SOUTH LINE OF BELT LINE ROAD (100 FOOT WIDE RIGHT-OF-WAY);

THENCE: S 88°53' 15" E, ALONG THE SOUTH LINE OF SAID BELT LINE ROAD AND THE NORTH LINE OF SAID PRINTEMPS ADDITION NO. 1, A DISTANCE OF 48.54 FEET TO AN IRON ROD FOUND FOR CORNER;

THENCE: S 89°00' 26" E, CONTINUING ALONG THE SOUTH LINE OF SAID BELT LINE ROAD AND THE NORTH LINE OF SAID PRINTEMPS ADDITION NO. 1, A DISTANCE OF 464.39 FEET TO AN IRON ROD FOUND FOR CORNER;

THENCE: S 82° 41' 55" E, CONTINUING ALONG THE SOUTH LINE OF SAID BELT LINE ROAD AND THE NORTH LINE OF SAID PRINTEMPS ADDITION NO. 1, A DISTANCE OF 100.11 FEET TO AN IRON ROD FOUND FOR CORNER;

THENCE: S 89° 00' 26" E, CONTINUING ALONG THE SAID SOUTH LINE OF BELTLINE ROAD AND THE NORTH LINE OF SAID PRINTEMPS ADDITION NO. 1, A DISTANCE OF 156.50 FEET TO AN "X" SET IN CONCRETE FOR CORNER IN THE WEST LINE OF A 20' X 260' QUIT CLAIM TRACT FROM THE TOWN OF ADDISON, TEXAS AS RECORDED IN VOLUME 92205 AT PAGE 5407 OF THE DEED RECORDS OF DALLAS COUNTY, TEXAS;

THENCE: N 00° 59' 34" E, A DISTANCE OF 11.00 FEET TO THE NORTHWEST CORNER OF SAID QUIT CLAIM TRACT, SAID POINT BEING IN THE SOUTH LINE OF BELT LINE ROAD (100.00 FOOT RIGHT-OF-WAY AT THIS POINT);

THENCE: S 89° 00' 26" E, ALONG THE SOUTH LINE OF BELT LINE ROAD A DISTANCE OF 20.00 FEET TO AN "X" SET IN CONCRETE, SAID POINT BEING THE NORTHEAST CORNER OF THE SAID PRINTEMPS ADDITION NO. 1;

THENCE: S 00° 59' 34" W, ALONG THE EAST LINE OF SAID PRINTEMPS ADDITION NO. 1 A DISTANCE OF 260.00 FEET TO THE SOUTHEAST CORNER OF SAME, A 1/2" IRON ROD FOUND FOR CORNER;

THENCE: S 89° 00' 26" E, A DISTANCE OF 20.00 FEET TO A 5/8" IRON ROD SET FOR CORNER, SAID POINT BEING THE MOST WESTERLY SOUTHWEST CORNER OF LOT 3 IN BLOCK A OF PRINTEMPS ADDITION NO. 2, AN ADDITION TO THE TOWN OF ADDISON AS RECORDED IN VOLUME 92165 AT PAGE 2251 OF THE MAP RECORDS OF DALLAS COUNTY, TEXAS;

THENCE: S 00° 59'34" W, A DISTANCE OF 32.25 FEET TO A 5/8" IRON ROD SET FOR CORNER;

THENCE: N 89° 00' 26" W, A DISTANCE OF 136.87 FEET TO A 5/8" IRON ROD SET FOR CORNER;

THENCE: S 00° 59' 34" W, A DISTANCE OF 857.82 FEET TO A 5/8" IRON ROD SET FOR CORNER;

THENCE: N 85° 27' 35" E, A DISTANCE OF 254.33 FEET TO A 5/8" IRON ROD SET FOR CORNER;

THENCE: N 45° 59' 34" E, A DISTANCE OF 224.57 FEET TO AN IRON ROD FOUND AT THE BEGINNING OF A CURVE TO THE LEFT;

THENCE: IN A NORTHEASTERLY DIRECTION ALONG SAID CURVE TO THE LEFT HAVING A RADIUS OF 458.50 FEET, A CENTRAL ANGLE OF 31° 20' 46" AND AN ARC LENGTH OF 250.84 FEET TO AN IRON ROD FOUND AT THE BEGINNING OF A COMPOUND CURVE TO THE LEFT;

THENCE: IN A NORTHERLY DIRECTION ALONG SAID COMPOUND CURVE TO THE LEFT HAVING A RADIUS OF 308.05 FEET, A CENTRAL ANGLE OF 29° 37' 16" AND AN ARC LENGTH OF 159.26 FEET TO AN IRON ROD FOUND AT THE END OF SAID CURVE;

THENCE: N 14° 58' 28" W, A DISTANCE OF 75.00 FEET TO AN IRON ROD FOUND AT THE SOUTHWEST CORNER OF LOT 3, BLOCK A OF THE SAID PRINTEMPS ADDITION NO. 2;

THENCE: N 79° 49' 35" E, ALONG THE SOUTH LINE OF SAID LOT 3, BLOCK A OF THE PRINTEMPS ADDITION NO. 2, A DISTANCE OF 535.35 FEET TO AN IRON ROD FOUND AT THE SOUTHEAST CORNER OF SAID LOT 3, BLOCK A, SAID POINT ALSO BEING THE SOUTHWEST CORNER OF A TRACT OF LAND CONVEYED TO FIRST INTERSTATE BANK OF TEXAS BY DEED RECORDED IN VOLUME 88192, PAGE 2509 OF THE MAP RECORDS OF DALLAS COUNTY, TEXAS AND CONTINUING ALONG SAID BEARING AND THE SOUTH LINE OF SAID FIRST INTERSTATE BANK TRACT IN ALL A DISTANCE OF 750.73 FEET TO AN IRON ROD FOUND IN THE WEST LINE OF A 100 FOOT WIDE TEXAS POWER AND LIGHT RIGHT-OF-WAY;

THENCE: S 00° 55' 55" W, ALONG THE WEST LINE OF SAID T.P. & L. R.O.W. A DISTANCE OF 233.20 FEET TO AN IRON ROD FOUND IN THE NORTH LINE OF SAID BELTWAY DRIVE, SAID POINT ALSO BEING IN A CURVE TO THE LEFT WHOSE CHORD BEARS S 76°28' 43" W, A DISTANCE OF 193.94 FEET;

THENCE: IN A WESTERLY DIRECTION ALONG THE NORTH LINE OF SAID BELTWAY DRIVE AND SAID CURVE TO THE LEFT HAVING A RADIUS OF 408.50 FEET, A CENTRAL ANGLE OF 27°27' 51", A CHORD WHICH BEARS S 76°28'43" W A DISTANCE OF 193.94 FEET, AND AN ARC LENGTH OF 195.81 FEET TO AN IRON ROD FOUND AT THE BEGINNING OF A COMPOUND CURVE TO THE LEFT;

THENCE: IN A SOUTHWESTERLY DIRECTION CONTINUING ALONG THE NORTH LINE OF SAID BELTWAY DRIVE AND SAID COMPOUND CURVE TO THE LEFT HAVING A RADIUS OF 610.00 FEET, A CENTRAL ANGLE OF 26°43' 56", AND AN ARC LENGTH OF 284.61 FEET TO AN IRON ROD FOUND AT THE END OF SAID COMPOUND CURVE TO THE LEFT;

THENCE: S 36° 00' 52" W, CONTINUING ALONG THE NORTH LINE OF SAID BELTWAY DRIVE A DISTANCE OF 550.90 FEET TO AN IRON ROD FOUND AT THE BEGINNING OF A CURVE TO THE RIGHT;

THENCE: IN A WESTERLY DIRECTION CONTINUING ALONG THE NORTH LINE OF SAID BELTWAY DRIVE AND SAID CURVE TO THE RIGHT HAVING A RADIUS OF 760.00 FEET, A CENTRAL ANGLE OF 89° 54' 30" AND AN ARC LENGTH OF 1,192.59 FEET TO AN IRON ROD FOUND AT THE END OF SAID CURVE TO THE RIGHT;

THENCE: N 54° 04' 38" W, ALONG THE NORTH LINE OF SAID BELTWAY DRIVE A DISTANCE OF 290.76 FEET TO AN IRON ROD FOUND AT THE BEGINNING OF A CURVE TO THE LEFT;

THENCE: IN A NORTHWESTERLY DIRECTION CONTINUING ALONG THE NORTH LINE OF SAID BELTWAY DRIVE AND SAID CURVE TO THE LEFT HAVING A RADIUS OF 540.00 FEET, A CENTRAL ANGLE OF 35° 00' 00" AND AN ARC LENGTH OF 329.87 FEET TO AN IRON ROD FOUND AT THE END OF SAID CURVE TO THE LEFT;

THENCE: N 89° 04' 38" W, CONTINUING ALONG THE NORTH LINE OF SAID BELTWAY DRIVE A DISTANCE OF 56.88 FEET TO THE POINT OF BEGINNING AND CONTAINING 46.2515 ACRES (2,014,715 S.F.) OF LAND, MORE OR LESS.

THAT ADDISON INVESTORS ("OWNER") DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREBY PROPERTY AS LOTS 1 - 19, BLOCK A, LOTS 1 - 18, BLOCK B, LOTS 1 - 18, BLOCK C AND LOTS 1 - 3, BLOCK D, ADDISON TOWN CENTER, AN ADDITION TO THE TOWN OF ADDISON, TEXAS, AND, SUBJECT TO THE CONDITIONS, RESTRICTIONS AND RESERVATIONS STATED HEREINAFTER, OWNER DEDICATES TO THE PUBLIC USE FOREVER THE STREETS AND ALLEYS SHOWN THEREON.

THE EASEMENTS SHOWN ON THIS PLAT ARE HEREBY RESERVED FOR THE PURPOSES AS INDICATED, INCLUDING, BUT NOT LIMITED TO, THE INSTALLATION AND MAINTENANCE OF WATER, SANITARY SEWER, STORM SEWER, DRAINAGE, ELECTRIC, TELEPHONE, GAS AND CABLE TELEVISION. OWNER SHALL HAVE THE RIGHT TO USE THESE EASEMENTS, PROVIDED HOWEVER, THAT IT DOES NOT UNREASONABLY INTERFERE OR IMPEDE WITH THE PROVISION OF THE SERVICES TO OTHERS. SAID UTILITY EASEMENTS ARE HEREBY BEING RESERVED BY MUTUAL USE AND ACCOMMODATION OF ALL PUBLIC UTILITIES USING OR DESIRING TO USE THE SAME. AN EXPRESS EASEMENT OF INGRESS AND EGRESS IS HEREBY EXPRESSLY GRANTED ON, OVER AND ACROSS ALL SUCH EASEMENTS FOR THE BENEFIT OF THE PROVIDER OF SERVICES FOR WHICH EASEMENTS ARE GRANTED.

ANY DRAINAGE AND FLOODWAY EASEMENT SHOWN HEREON IS HEREBY DEDICATED TO THE PUBLIC'S USE FOREVER, BUT INCLUDING THE FOLLOWING COVENANTS WITH REGARDS TO MAINTENANCE RESPONSIBILITIES. THE EXISTING CHANNELS OR CREEKS TRAVERSING THE DRAINAGE AND FLOODWAY EASEMENT AS AN OPEN CHANNEL, UNLESS REQUIRED TO BE ENCLOSED BY ORDINANCE, AT ALL TIMES AND SHALL BE MAINTAINED BY THE INDIVIDUAL OWNERS OF THE LOT OR LOTS THAT ARE TRAVERSED BY OR ADJACENT TO THE DRAINAGE AND FLOODWAY EASEMENT. THE CITY WILL NOT BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATION OF SAID CREEK OR CREEKS OR FOR ANY DAMAGE OR INJURY OF PRIVATE PROPERTY OR PERSON THAT RESULTS FROM THE FLOW OF WATER ALONG SAID CREEK, OR FOR THE CONTROL OF FLOODS. NO OBSTRUCTION TO THE NATURAL FLOW OF WATER FROM ANY SOURCE PERMITTED BY CONSTRUCTION OF ANY TYPE BUILDING, FENCE OR ANY OTHER STRUCTURE WITHIN THE DRAINAGE AND FLOODWAY EASEMENT. PROVIDED, HOWEVER, IT IS UNDERSTOOD THAT IN THE EVENT IT BECOMES NECESSARY FOR THE CITY TO CHANNELIZE OR CONSIDER ERECTING ANY TYPE OF DRAINAGE STRUCTURE IN ORDER TO IMPROVE THE STORM DRAINAGE, THEN IN SUCH EVENT, THE CITY SHALL HAVE THE RIGHT, BUT NOT THE OBLIGATION, TO ENTER UPON THE DRAINAGE AND FLOODWAY EASEMENT AT ANY POINT OR POINTS, WITH ALL RIGHTS OF INGRESS AND EGRESS TO INVESTIGATE, SURVEY, ERECT, CONSTRUCT OR MAINTAIN AND DRAINAGE FACILITY DEEMED NECESSARY BY THE CITY FOR DRAINAGE PURPOSES. EACH PROPERTY OWNER SHALL KEEP THE NATURAL DRAINAGE CHANNELS AND CREEKS TRAVERSING THE DRAINAGE AND FLOODWAY EASEMENT ADJACENT TO HIS PROPERTY CLEAN AND FREE OF DEBRIS, SILT, GROWTH, VEGETATION, WEEDS, RUBBISH, REFUSE, MATTER AND ANY SUBSTANCE WHICH WOULD RESULT IN UNSANITARY CONDITIONS OR OBSTRUCT THE FLOW OF WATER, AND THE CITY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS FOR THE PURPOSE OF INSPECTION AND SUPERVISION AND MAINTENANCE WORK BY THE PROPERTY OWNER TO ALLEVIATE AND UNDESIRABLE CONDITIONS WHICH MAY OCCUR. THE NATURAL DRAINAGE CHANNELS AND CREEKS THROUGH THE DRAINAGE AND FLOODWAY EASEMENT, AS IN THE CASE OF ALL NATURAL CHANNELS, ARE SUBJECT TO STORM WATER OVERFLOW AND NATURAL BANK EROSION TO AN EXTENT THAT CANNOT BE DEFINITELY DEFINED. THE CITY SHALL NOT BE HELD LIABLE FOR ANY DAMAGES OR INJURIES OF ANY NATURE RESULTING FROM THE OCCURRENCE OF THESE NATURAL PHENOMENA, NOR RESULTING FROM THE FAILURE OF ANY STRUCTURE OR STRUCTURES, WITHIN THE NATURAL DRAINAGE CHANNELS, AND THE OWNERS HEREBY AGREE TO IDENTIFY AND HOLD HARMLESS THE CITY FROM ANY SUCH DAMAGES AND INJURIES. BUILDING AREAS OUTSIDE THE DRAINAGE AND FLOODWAY EASEMENT LINE SHALL BE FILLED TO A MINIMUM ELEVATION AS SHOWN ON THE PLAT. THE MINIMUM FLOOR OF ELEVATION OF EACH LOT SHALL BE SHOWN ON THE PLAT.

THE MAINTENANCE OR PAVING OF THE UTILITY AND FIRE LANE EASEMENTS IS THE RESPONSIBILITY OF THE PROPERTY OWNER. ALL PUBLIC UTILITIES SHALL AT ALL TIMES HAVE THE FULL RIGHT OF INGRESS AND EGRESS TO AND FROM AND UPON THE SAID UTILITY EASEMENTS FOR THE PURPOSE OF CONSTRUCTING, RECONSTRUCTING, INSPECTING, PATROLLING, MAINTAINING AND ADDING TO OR REMOVING ALL OR PARTS OF ITS RESPECTIVE SYSTEM WITHOUT THE NECESSITY AT ANY TIME OF PROCURING THE PERMISSION OF ANYONE. ANY PUBLIC UTILITY SHALL HAVE THE RIGHT OF INGRESS AND EGRESS TO PRIVATE PROPERTY FOR THE PURPOSE OF READING METERS AND ANY MAINTENANCE AND SERVICE REQUIRED OR ORDINARILY PERFORMED BY THAT UTILITY. BUILDINGS, FENCES, TREES, SHRUBS OR OTHER IMPROVEMENTS OR GROWTHS MAY BE CONSTRUCTED, RECONSTRUCTED OR PLACED UPON, OVER OR ACROSS THE UTILITY EASEMENTS AS SHOWN; PROVIDED, HOWEVER, THAT OWNER SHALL AT ITS SOLE COST AND EXPENSE BE RESPONSIBLE UNDER ANY AND ALL CIRCUMSTANCES FOR THE MAINTENANCE AND REPAIR OF SUCH IMPROVEMENTS OR GROWTH, AND ANY PUBLIC UTILITY SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PARTS OF ANY BUILDINGS, FENCES, TREES, SHRUBS OR OTHER IMPROVEMENTS OR GROWTH WHICH IN ANY WAY ENDANGER OR INTERFERE WITH THE CONSTRUCTION, MAINTENANCE OR EFFICIENCY OF ITS RESPECTIVE SYSTEM OR SERVICE.

WATER MAIN AND SANITARY SEWER EASEMENTS SHALL ALSO INCLUDE ADDITIONAL AREA OF WORKING SPACE FOR CONSTRUCTION AND MAINTENANCE OF THE SYSTEMS. ADDITIONAL EASEMENT AREA IS ALSO CONVEYED FOR INSTALLATION AND MAINTENANCE OF MANHOLES, CLEANOUTS, FIRE HYDRANTS, WATER SERVICE AND SEWER SERVICES FROM THE MAIN TO CURB OR PAVEMENT LINE, AND THE DESCRIPTIONS OF SUCH ADDITIONAL EASEMENTS HEREIN GRANTED SHALL BE DETERMINED BY THEIR LOCATIONS AS INSTALLED.

THIS PLAT IS APPROVED SUBJECT TO ALL PLATTING ORDINANCES, RULES, REGULATIONS AND RESOLUTIONS OF THE TOWN OF ADDISON, TEXAS.

WITNESS MY HAND AT DALLAS, TEXAS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 1993.

ADDISON INVESTORS  
BY: CENTENNIAL AMERICAN PROPERTIES  
NEVADA, LTD., GENERAL PARTNER  
DAVID GLENN, PRESIDENT

OWNER:  
ADDISON INVESTORS, LTD.  
131 FALLS ST., STE. 201  
GREENVILLE, S.C. 29601  
(803) 271-3894

ENGINEER:  
LAWRENCE A. CATES & ASSOC., INC.  
14200 MIDWAY ROAD, SUITE 122  
DALLAS, TEXAS 75244  
(214) 385-2272

STATE OF TEXAS  
COUNTY OF DALLAS

KNOW ALL MEN BY THESE PRESENTS

THAT I, DAVID PETREE, DO HEREBY CERTIFY THAT I HAVE PREPARED THIS REPLAT FROM AN ACTUAL SURVEY OF THE LAND, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PLACED AS DEFINED BY THE FIELD NOTES FOR SAID TRACT IN ACCORDANCE WITH THE PLATTING RULES AND REGULATIONS OF THE TOWN OF ADDISON, TEXAS.

DAVID PETREE  
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 1890

STATE OF TEXAS  
COUNTY OF DALLAS

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED, DAVID PETREE, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE ABOVE AND FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 1993.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS EXPIRATION \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF DALLAS

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED DAVID GLENN KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE ABOVE AND FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 1993.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS EXPIRATION \_\_\_\_\_

THIS PLAT HAS BEEN APPROVED BY THE PLANNING AND ZONING COMMISSION ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 1993.

CHAIRMAN  
PLANNING AND ZONING COMMISSION

THIS PLAT HAS BEEN APPROVED BY THE CITY COUNCIL ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 1993.

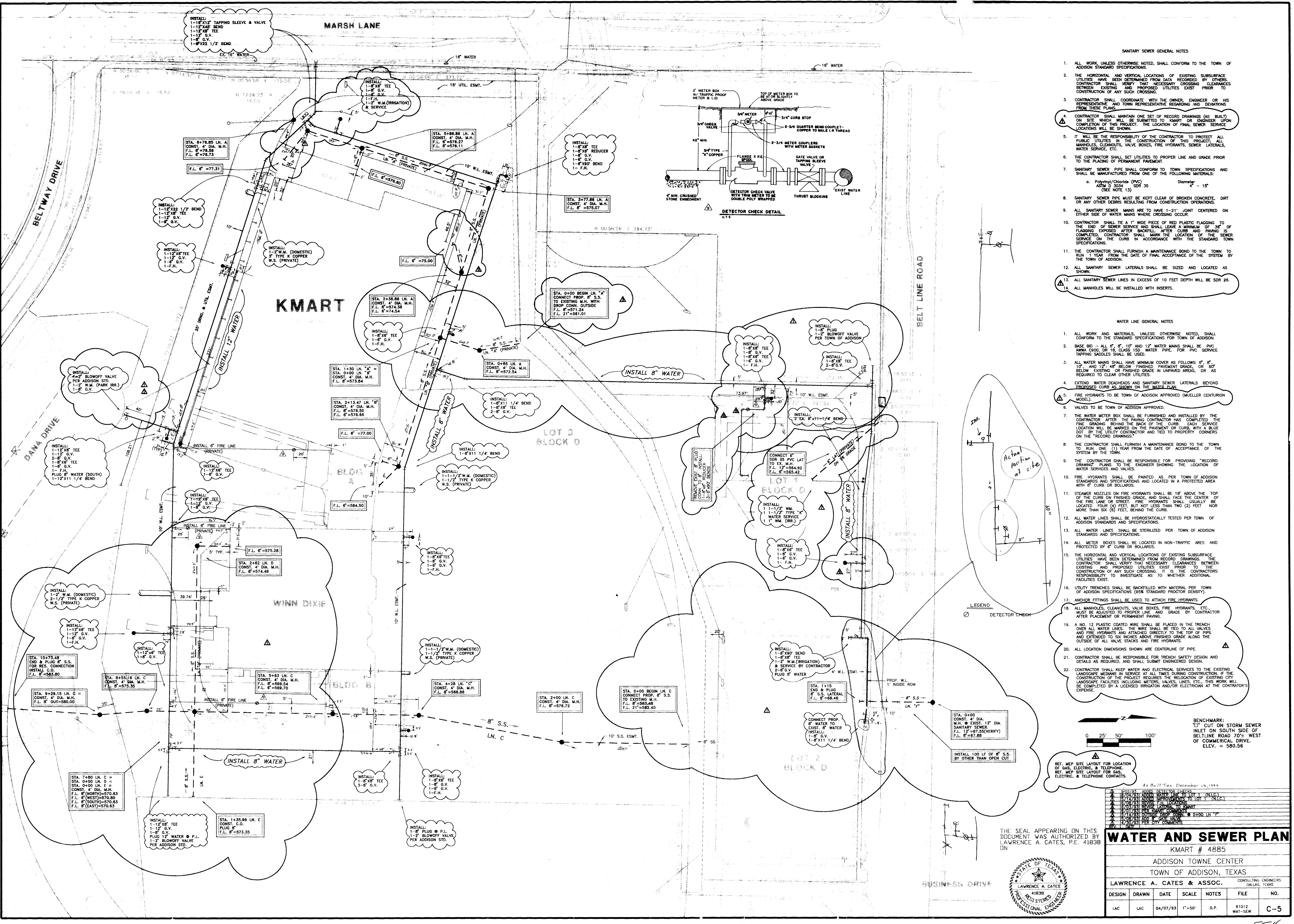
MAYOR CITY SECRETARY

FINAL PLAT  
ADDISON TOWN CENTER

A REPLAT OF  
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AND A PART OF  
THE REMAINDER OF LES LACS PLAZA SUBDIVISION  
BEING IN THE  
THOMAS L. CHENOWITH SURVEY, ABSTRACT NO. 273

TOWN OF ADDISON  
DALLAS COUNTY, TEXAS

MAY 6, 1993

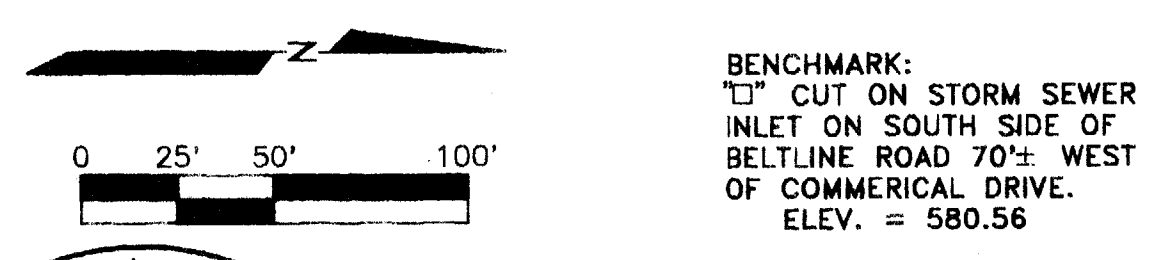
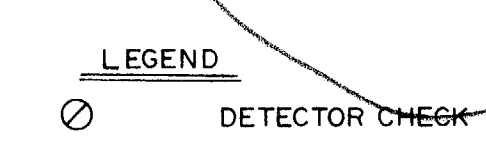


**SANITARY SEWER GENERAL NOTES**

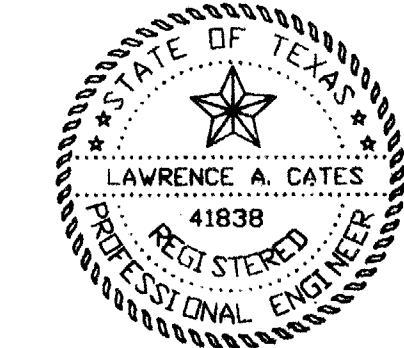
1. ALL WORK, UNLESS OTHERWISE NOTED, SHALL CONFORM TO THE TOWN OF ADDISON STANDARD SPECIFICATIONS.
2. THE HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING SUBSURFACE UTILITIES HAVE BEEN DETERMINED FROM DATA RECORDED BY OTHERS. CONTRACTOR SHALL VERIFY THAT NECESSARY CROSSING CLEARANCES BETWEEN EXISTING AND PROPOSED UTILITIES EXIST PRIOR TO CONSTRUCTION OF ANY SUCH CROSSING.
3. CONTRACTOR SHALL COORDINATE WITH THE OWNER, ENGINEER OR HIS REPRESENTATIVE AND TOWN REPRESENTATIVE REGARDING AND DEVIATIONS FROM THESE PLANS.
4. CONTRACTOR SHALL MAINTAIN ONE SET OF RECORD DRAWINGS (AS BUILT) ON SITE WHICH WILL BE SUBMITTED TO KMART OR ENGINEER UPON COMPLETION OF THIS PROJECT. THE LOCATION OF FINAL SEWER SERVICE LOCATIONS WILL BE SHOWN.
5. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT; ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, SEWER LATERALS, WATER SERVICE, ETC.
6. THE CONTRACTOR SHALL SET UTILITIES TO PROPER LINE AND GRADE PRIOR TO THE PLACING OF PERMANENT PAVEMENT.
7. SANITARY SEWER PIPE SHALL CONFORM TO TOWN SPECIFICATIONS AND SHALL BE MANUFACTURED FROM ONE OF THE FOLLOWING MATERIALS:
  - a. Polyvinyl Chloride (PVC) Diameter: 15"
  - ASTM D 3035 SDR 35
  - (SEE NOTE 13)
8. SANITARY SEWER PIPE MUST BE KEPT CLEAR OF BROKEN CONCRETE, DIRT OR ANY OTHER DEBRIS RESULTING FROM CONSTRUCTION OPERATIONS.
9. ALL SANITARY SEWER MAINS ARE TO HAVE 1'-2 1/2" JOINT CENTERED ON EITHER SIDE OF WATER MAINS WHERE CROSSING OCCUR.
10. CONTRACTOR SHALL TIE A 1" WIDE PIECE OF RED PLASTIC FLAGGING TO THE END OF SEWER SERVICE AND SHALL LEAVE A MINIMUM OF 36" OF FLAGGING EXPOSED AFTER BACKFILL. AFTER FINISHED GRADE AND PAVING IS COMPLETED, CONTRACTOR SHALL MARK THE LOCATION OF THE SEWER SERVICE TO THE CURB IN ACCORDANCE WITH THE STANDARD TOWN SPECIFICATIONS.
11. THE CONTRACTOR SHALL FURNISH A MAINTENANCE BOND TO THE TOWN TO RUN 1 YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE SYSTEM BY THE TOWN OF ADDISON.
12. ALL SANITARY SEWER LATERALS SHALL BE SIZED AND LOCATED AS SHOWN.
13. ALL SANITARY SEWER LINES IN EXCESS OF 10 FEET DEPTH WILL BE SDR 26.
14. ALL MANHOLES WILL BE INSTALLED WITH INSERTS.

**WATER LINE GENERAL NOTES**

1. ALL WORK AND MATERIALS, UNLESS OTHERWISE NOTED, SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR TOWN OF ADDISON.
2. BASE BID - ALL 4", 6", 8", 10" AND 12" WATER MAINS SHALL BE PVC ANMA C900 DR 18, CLASS 150 WATER PIPE. FOR PVC SERVICE TAPPING SADDLES SHALL BE USED.
3. ALL WATER MAINS SHALL HAVE MINIMUM COVER AS FOLLOWS: 6" OF AND 12" OF BELOW FINISHED GRADE. AFTER FINISHED GRADE IS COMPLETED, CONTRACTOR SHALL MARK THE LOCATION OF THE SEWER SERVICE TO THE CURB IN ACCORDANCE WITH THE STANDARD TOWN SPECIFICATIONS.
4. EXTEND WATER DEADHEADS AND SANITARY SEWER LATERALS BEYOND PROPOSED CURB AS SHOWN ON THE WATER PLAN.
5. FIRE HYDRANTS TO BE TOWN OF ADDISON APPROVED (MUELLER CENTURION MODEL).
6. VALVES TO BE TOWN OF ADDISON APPROVED.
7. THE WATER METER BOX SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR AFTER THE PAVING CONTRACTOR HAS COMPLETED THE FINE GRADING BEHIND THE BACK OF THE CURB. EACH SERVICE LOCATION WILL BE MARKED ON THE PAVEMENT OR CURB, WITH A BLUE DOT BY THE UTILITY CONTRACTOR AND TIED TO PROPERTY CORNERS ON THE RECORD DRAWINGS.
8. THE CONTRACTOR SHALL FURNISH A MAINTENANCE BOND TO THE TOWN TO RUN 1 YEAR FROM THE DATE OF ACCEPTANCE OF THE SYSTEM BY THE TOWN.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING RECORD DRAWING PLANS TO THE ENGINEER SHOWING THE LOCATION OF WATER SERVICES AND VALVES.
10. FIRE HYDRANTS SHALL BE PAINTED AS PER TOWN OF ADDISON STANDARDS AND SPECIFICATIONS AND LOCATED IN A PROTECTED AREA WITH 6" CURB OR BOLLARDS.
11. STEAMER NOZZLES ON FIRE HYDRANTS SHALL BE 18" ABOVE THE TOP OF THE CURB ON FINISHED GRADE, AND SHALL FACE THE CENTER OF THE FIRE LANE OR STREET. FIRE HYDRANTS SHALL USUALLY BE LOCATED FOUR (4) FEET BUT NOT LESS THAN TWO (2) FEET NOR MORE THAN SIX (6) FEET, BEHIND THE CURB.
12. ALL WATER LINES SHALL BE HYDROSTATICALLY TESTED PER TOWN OF ADDISON STANDARDS AND SPECIFICATIONS.
13. ALL WATER LINES SHALL BE STERILIZED PER TOWN OF ADDISON STANDARDS AND SPECIFICATIONS.
14. ALL METER BOXES SHALL BE LOCATED IN NON-Traffic AREAS AND PROTECTED BY 6" CURB OR BOLLARDS.
15. THE HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING SUBSURFACE UTILITIES HAVE BEEN DETERMINED FROM RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THAT NECESSARY CLEARANCES BETWEEN EXISTING AND PROPOSED UTILITIES EXIST PRIOR TO THE CONSTRUCTION OF ANY SUCH CROSSING. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AS TO WHETHER ADDITIONAL FACILITIES EXIST.
16. UTILITY TRENCHES SHALL BE BACKFILLED WITH MATERIAL PER TOWN OF ADDISON SPECIFICATIONS (SEE STANDARD PROCTOR DENSITY).
17. ANCHOR FITTINGS SHALL BE USED TO ATTACH FIRE HYDRANTS.
18. ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, ETC., MUST BE ADJUSTED TO PROPER LINE AND GRADE BY CONTRACTOR AFTER PLACEMENT OR PERMANENT PAVING.
19. A NO. 12 PLASTIC COATED WIRE SHALL BE PLACED IN THE TRENCH OVER ALL WATER LINES. THE WIRE SHALL BE TIED TO ALL VALVES AND FIRE HYDRANTS AND ATTACHED DIRECTLY TO THE TOP OF PIPE AND EXTENDED TO SIX INCHES ABOVE FINISHED GRADE ALONG THE OUTSIDE OF ALL VALVE STACKS AND FIRE HYDRANTS.
20. ALL LOCATION DIMENSIONS SHOWN ARE CENTERLINE OF PIPE.
21. CONTRACTOR SHALL BE RESPONSIBLE FOR TRENCH SAFETY DESIGN AND DETAILS AS REQUIRED, AND SHALL SUBMIT ENGINEERED DESIGN.
22. CONTRACTOR SHALL KEEP WATER AND ELECTRICAL SERVICES TO THE EXISTING LANDSCAPE MEDIANS IN SERVICE AT ALL TIMES DURING CONSTRUCTION, IF THE CONSTRUCTION OF THE PROJECT REQUIRES THE RELOCATION OF EXISTING CITY LANDSCAPE FACILITIES INCLUDING TREES, VALVES, LINES, ETC., THIS WORK WILL BE COMPLETED BY A LICENSED IRRIGATOR AND/OR ELECTRICIAN AT THE CONTRACTOR'S EXPENSE.



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY LAWRENCE A. CATES, P.E. 41838

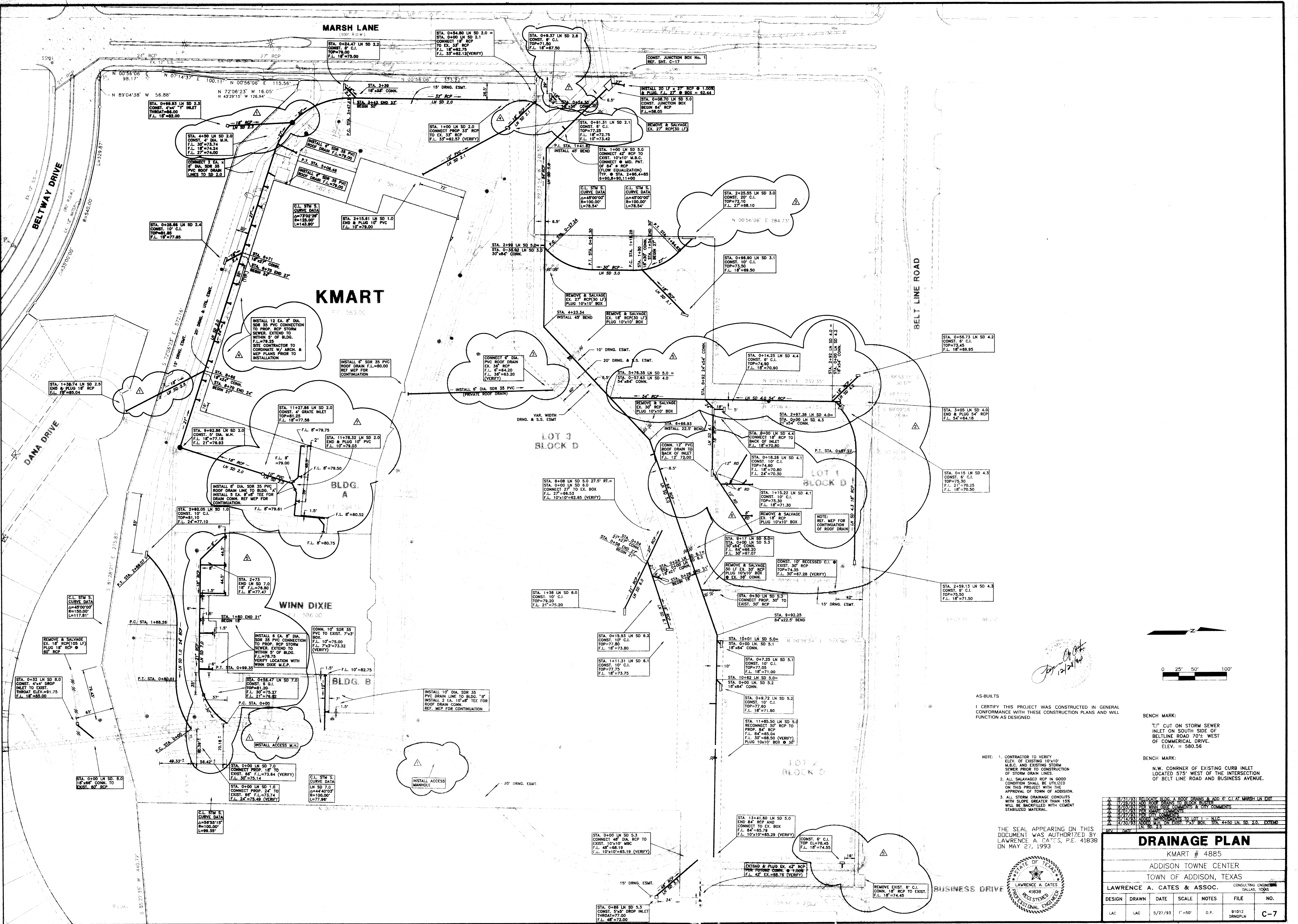


**WATER AND SEWER PLAN**  
 KMART # 4885  
 ADDISON TOWNE CENTER  
 TOWN OF ADDISON, TEXAS

LAWRENCE A. CATES & ASSOC.  
 CONSULTING ENGINEERS  
 DALLAS, TEXAS

DESIGN DRAWN	DATE	SCALE	NOTES	FILE	NO.
LAC	LAC	04/07/93	1"=50'	D.P.	9102 WAT-SEW

FF4



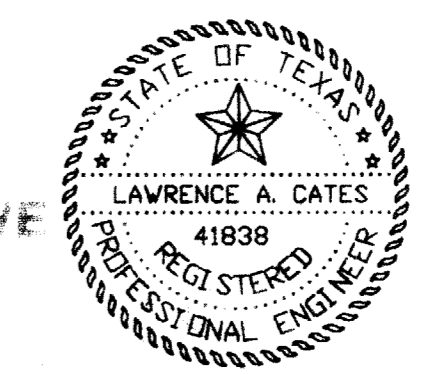
AS-BUILTS  
 I CERTIFY THIS PROJECT WAS CONSTRUCTED IN GENERAL CONFORMANCE WITH THESE CONSTRUCTION PLANS AND WILL FUNCTION AS DESIGNED.

- NOTE:
- CONTRACTOR TO VERIFY ELEV. OF EXISTING 10"x10" M.B.C. AND EXISTING STORM SEWER PRIOR TO CONSTRUCTION OF STORM DRAIN LINES.
  - ALL SALVAGED RCP IN GOOD CONDITION SHALL BE UTILIZED ON THIS PROJECT WITH THE APPROVAL OF TOWN OF ADDISON.
  - ALL STORM DRAINAGE CONDUITS WITH SLOPE GREATER THAN 15% WILL BE BACKFILLED WITH CEMENT STABILIZED MATERIAL.

BENCH MARK:  
 "1" CUT ON STORM SEWER INLET ON SOUTH SIDE OF BELTLINE ROAD 70'± WEST OF COMMERCIAL DRIVE. ELEV. = 580.56

BENCH MARK:  
 N.W. CORNER OF EXISTING CURB INLET LOCATED 575'± WEST OF THE INTERSECTION OF BELT LINE ROAD AND BUSINESS AVENUE.

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY LAWRENCE A. CATES, P.E. 41838 ON MAY 27, 1993

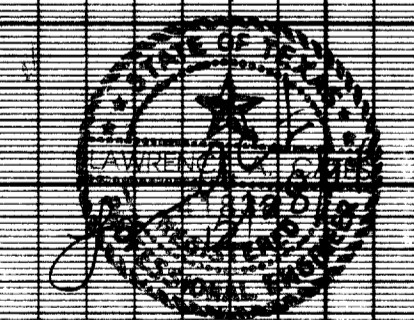
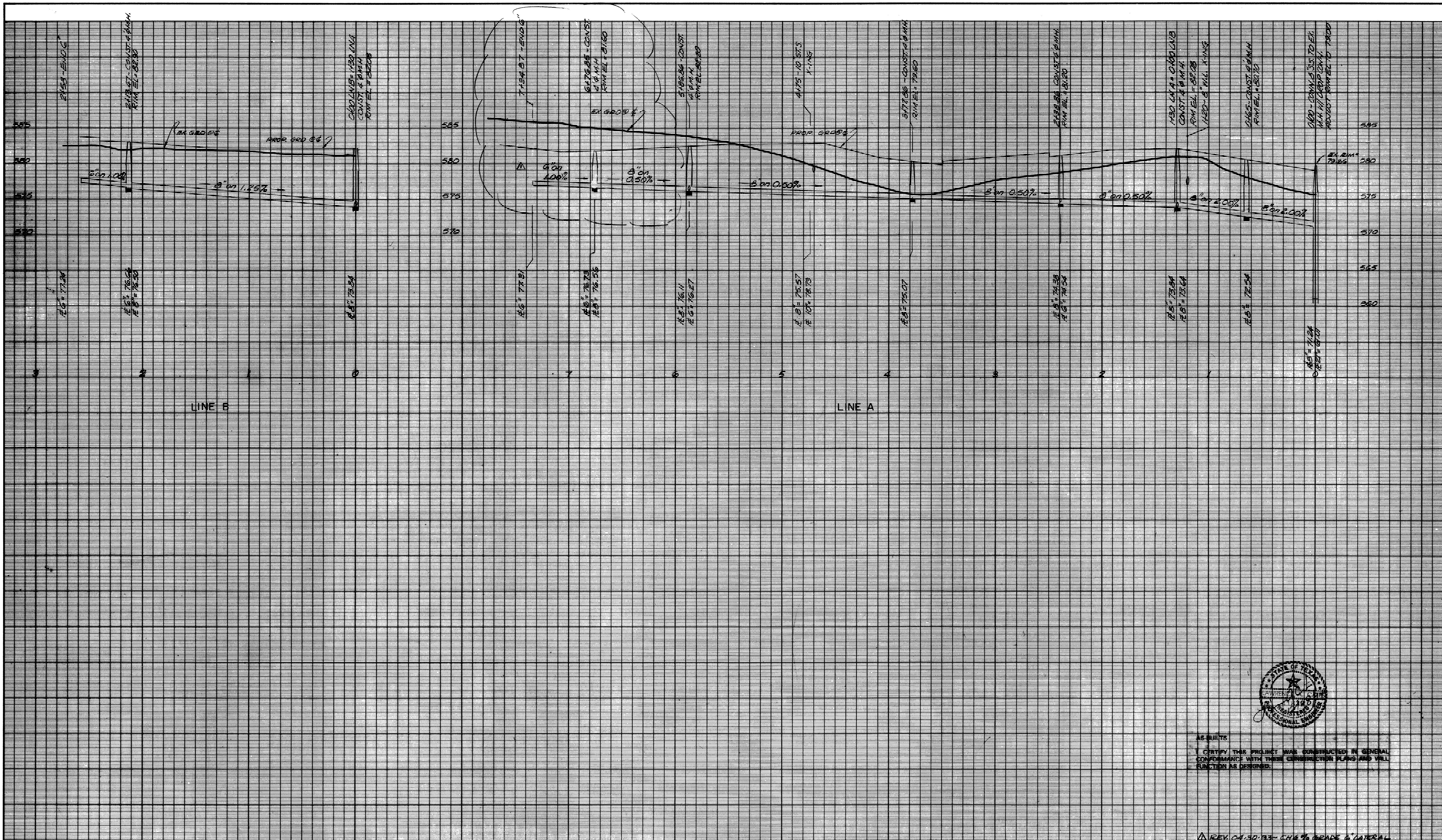


DESIGN						DRAWN		DATE	SCALE	NOTES	FILE	NO.
LAC	LAC	5/27/93	1"=50'	D.P.	91012	DRN/PLN	C-7					

### DRAINAGE PLAN

KMART # 4885  
 ADDISON TOWNE CENTER  
 TOWN OF ADDISON, TEXAS

LAWRENCE A. CATES & ASSOC. CONSULTING ENGINEERS DALLAS, TEXAS

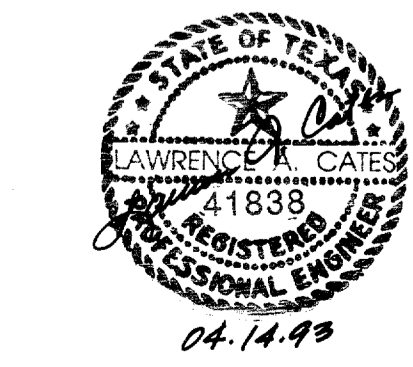


AS SHOWN  
 I CERTIFY THIS PROJECT WAS CONSTRUCTED IN GENERAL CONFORMANCE WITH THESE CONSTRUCTION PLANS AND WILL MAINTAIN AS SHOWN.

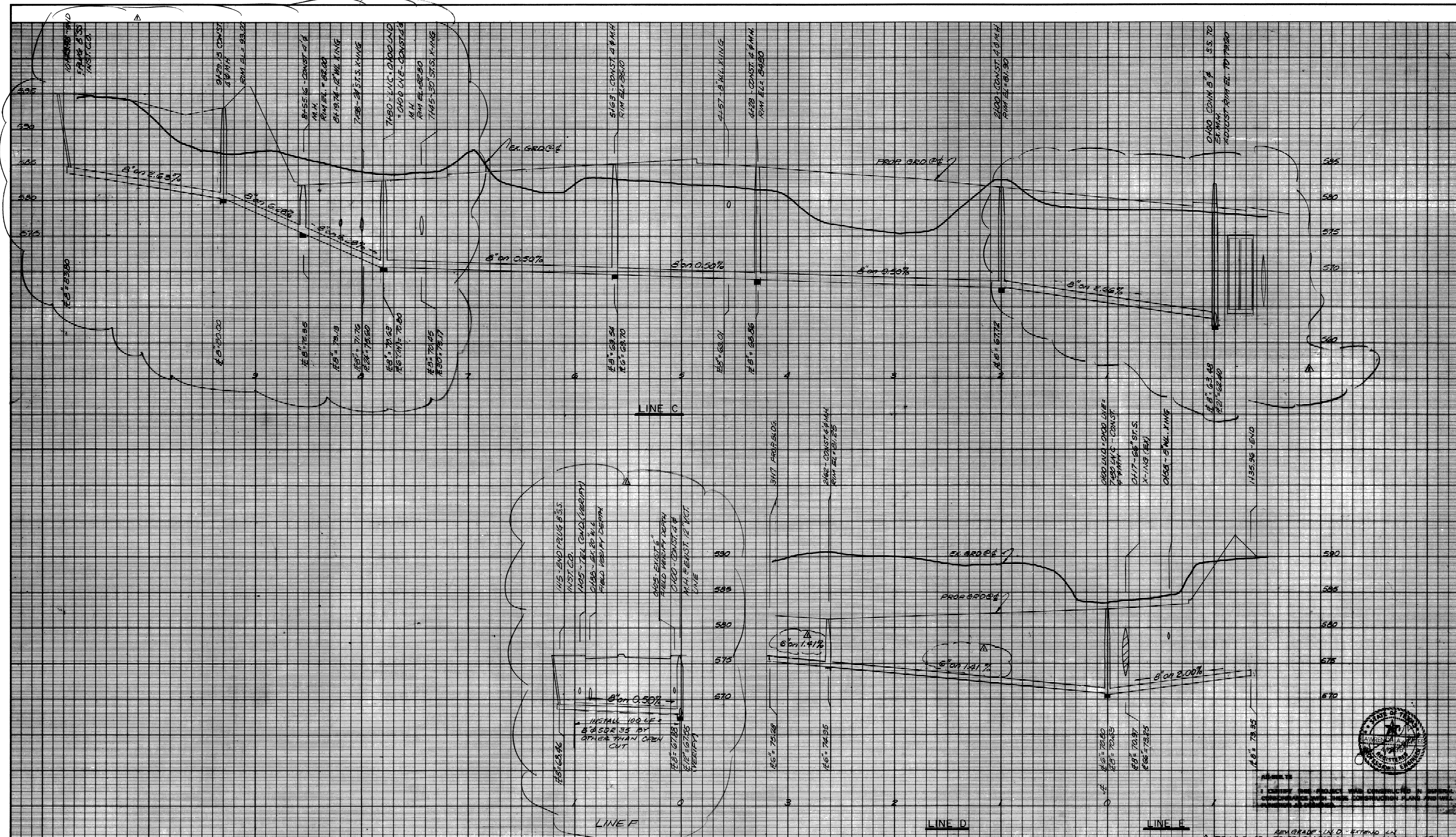
REV. 04.10.93 - 4.1% GRADE & LATERAL

BENCH MARK:  
 N.W. CORNER OF EXISTING CURB INLET LOCATED ON SOUTH SIDE OF BELT LINE ROAD. INLET LOCATED 575' WEST OF THE INTERSECTION OF BELT LINE ROAD AND BUSINESS AVENUE.  
 ELEV. 573.06'

BENCHMARK:  
 "□" CUT ON STORM SEWER INLET ON SOUTH SIDE OF BELT LINE ROAD 70'± WEST OF COMMERCIAL DRIVE.  
 ELEV. 580.56'

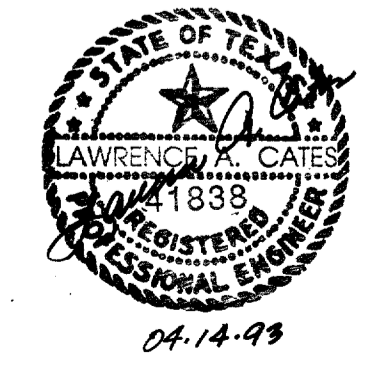


LINE A & LINE B					
SANITARY SEWER PROFILES					
ADDISON TOWN CENTER					
TOWN OF ADDISON, TEXAS					
LAWRENCE A. CATES & ASSOC. CONSULTING ENGINEERS DALLAS, TEXAS					
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE NO.
LAC	LAC	04/07/93	H: V: 1" = 40' / 1" = 6'	D.P.	91012
					<b>C-9</b>



BENCHMARK:  
 N.W. CORNER OF EXISTING CURB INLET LOCATED ON SOUTH SIDE OF BELT LINE ROAD. INLET LOCATED 575' WEST OF THE INTERSECTION OF BELT LINE ROAD AND BUSINESS AVENUE.  
 ELEV. 573.06'

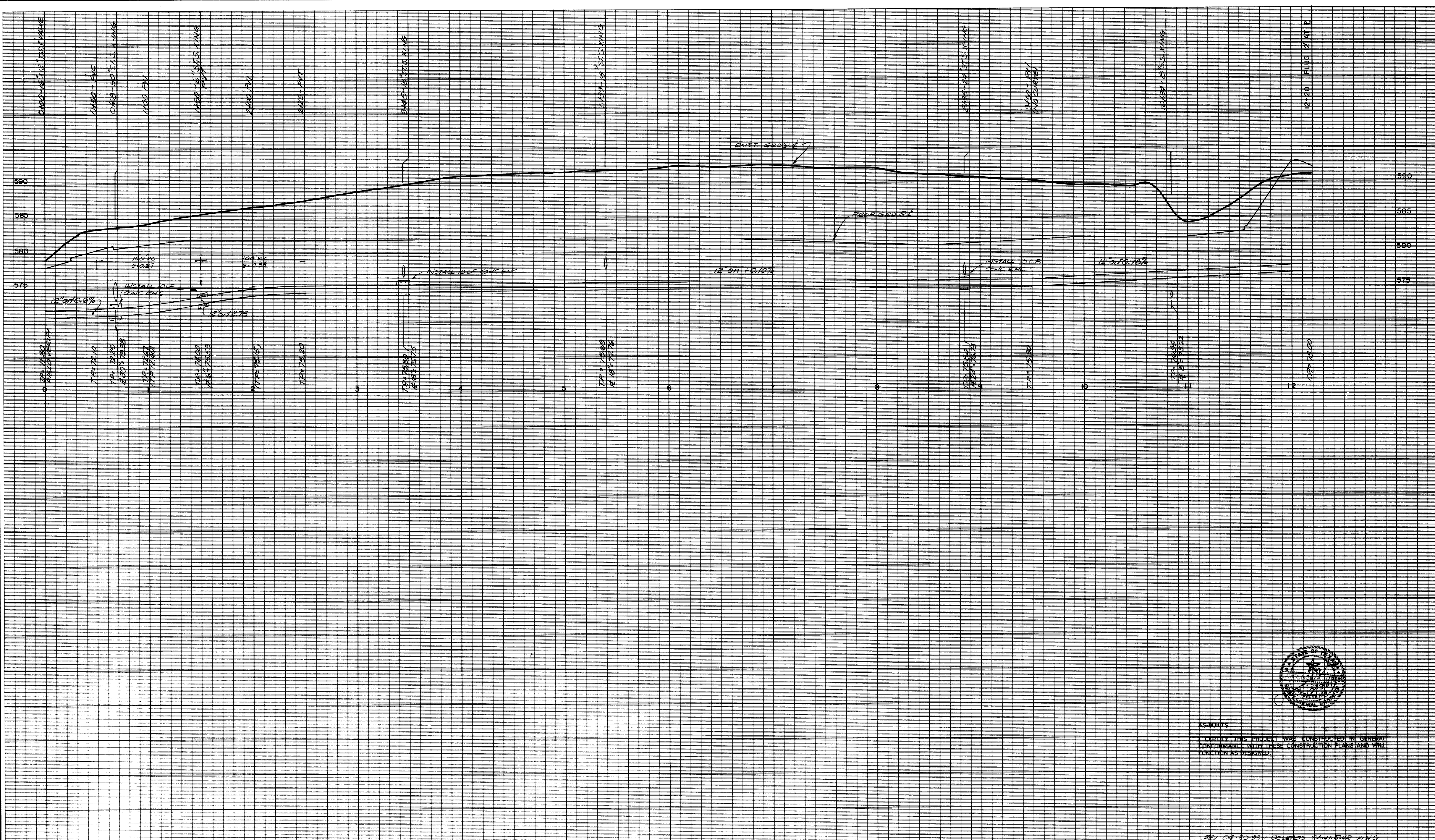
BENCHMARK:  
 " " CUT ON STORM SEWER INLET ON SOUTH SIDE OF BELT LINE ROAD 70' WEST OF COMMERCIAL DRIVE.  
 ELEV. 580.56'



LINES C, D & E					
SANITARY SEWER PROFILES					
ADDISON TOWN CENTER					
TOWN OF ADDISON, TEXAS					
LAWRENCE A. CATES & ASSOC. CONSULTING ENGINEERS DALLAS, TEXAS					
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE NO.
LAC	LAC	4/7/93	H <sub>1</sub> 1"=40' V <sub>1</sub> 1"=6'	D.P.	91012 C-10

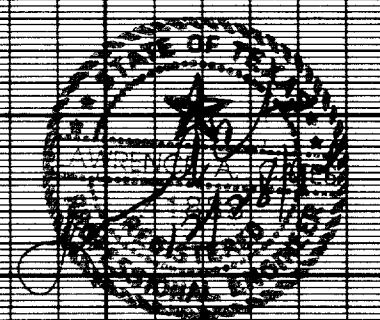
1. VERIFY ALL PROFILES WITH CONTRACTOR IN FIELD. DISCREPANCIES WILL BE CORRECTED IMMEDIATELY. APPROVED BY CONTRACTOR.

2. ANY GRADE IN LINE D - EXTEND TO PROPERTY LINE 30'-35' + BELT LINE ROAD CONSTRUCTION BLADE TO 40' W.



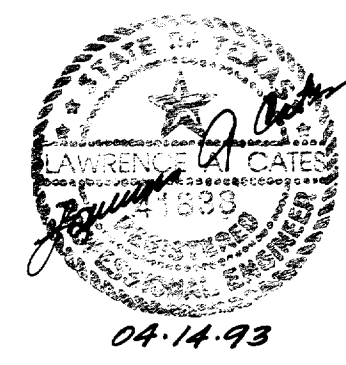
BENCHMARK:  
 N.W. CORNER OF EXISTING CURB INLET LOCATED ON SOUTH SIDE OF BELT LINE ROAD. INLET LOCATED 575' WEST OF THE INTERSECTION OF BELT LINE ROAD AND BUSINESS AVENUE.  
 ELEV. 573.06'

BENCHMARK:  
 " " CUT ON STORM SEWER INLET ON SOUTH SIDE OF BELT LINE ROAD 70'± WEST OF COMMERCIAL DRIVE.  
 ELEV. 580.56'

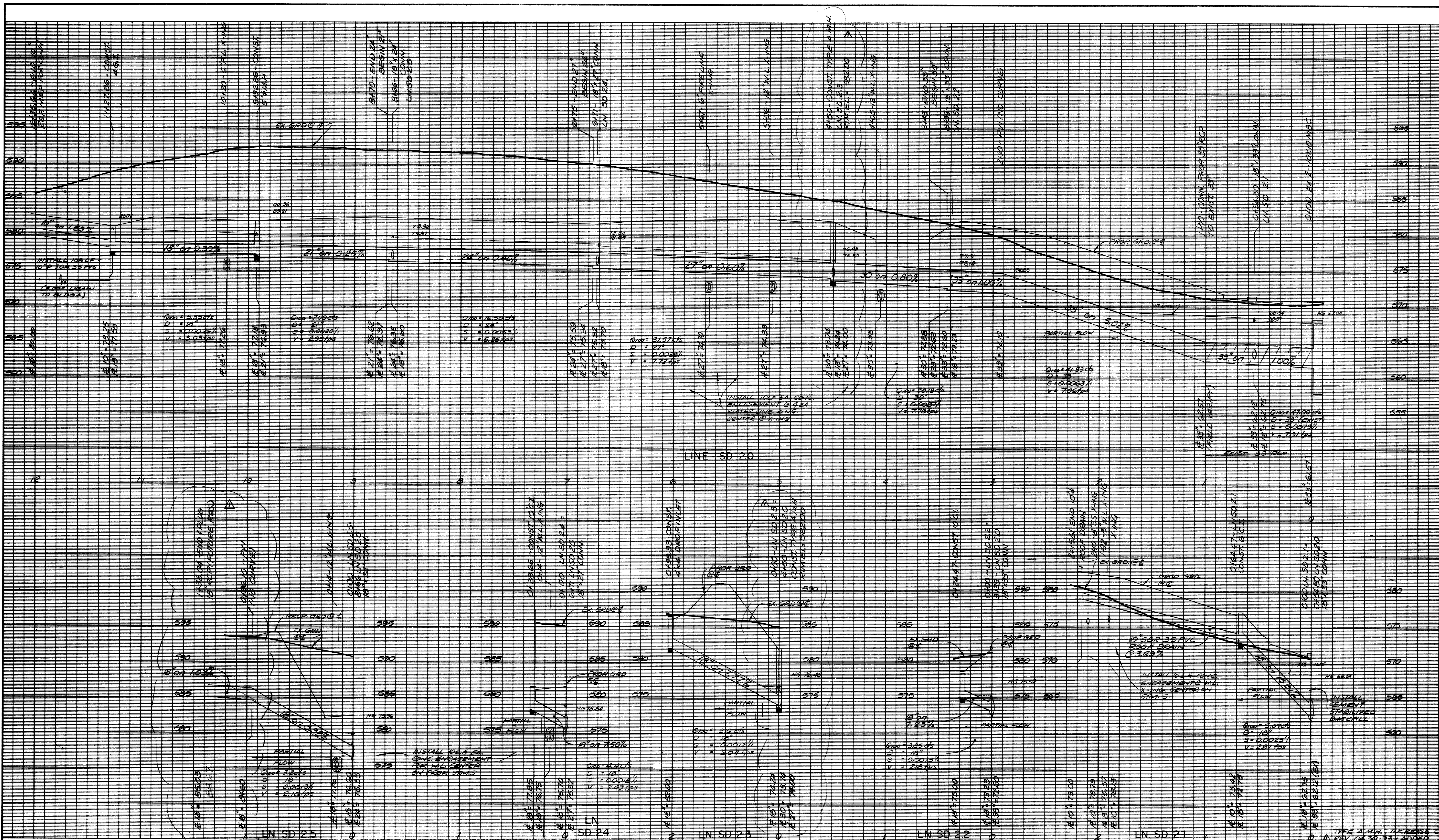


AS-BUILTS  
 I CERTIFY THIS PROJECT WAS CONSTRUCTED IN GENERAL CONFORMANCE WITH THESE CONSTRUCTION PLANS AND WILL FUNCTION AS DESIGNED.

REV. 04-30-93 BY DELONDA SANKU SUR KING



<b>12" WATER LINE PROFILE</b>						
KMARK NO. 4885						
BELTLINE & MARSH						
ADDISON, TEXAS						
LAWRENCE A. CATES & ASSOC.						CONSULTING ENGINEERS DALLAS, TEXAS
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
LAC	LAC	4/12/93	H: 1" = 40' V: 1" = 6'	D.P.	91012	C-11

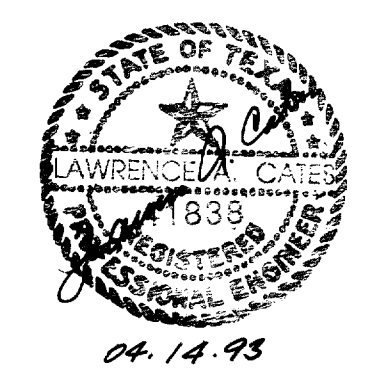


AS-BUILTS  
 I CERTIFY THIS PROJECT WAS CONSTRUCTED IN GENERAL CONFORMANCE WITH THESE CONSTRUCTION PLANS AND WILL FUNCTION AS DESIGNED.



BENCHMARK:  
 N.W. CORNER OF EXISTING CURB INLET LOCATED ON SOUTH SIDE OF BELT LINE ROAD. INLET LOCATED 575' WEST OF THE INTERSECTION OF BELT LINE ROAD AND BUSINESS AVENUE.  
 ELEV. 573.06'

BENCHMARK:  
 "□" CUT ON STORM SEWER INLET ON SOUTH SIDE OF BELT LINE ROAD 70' WEST OF COMMERCIAL DRIVE.  
 ELEV. 580.56'

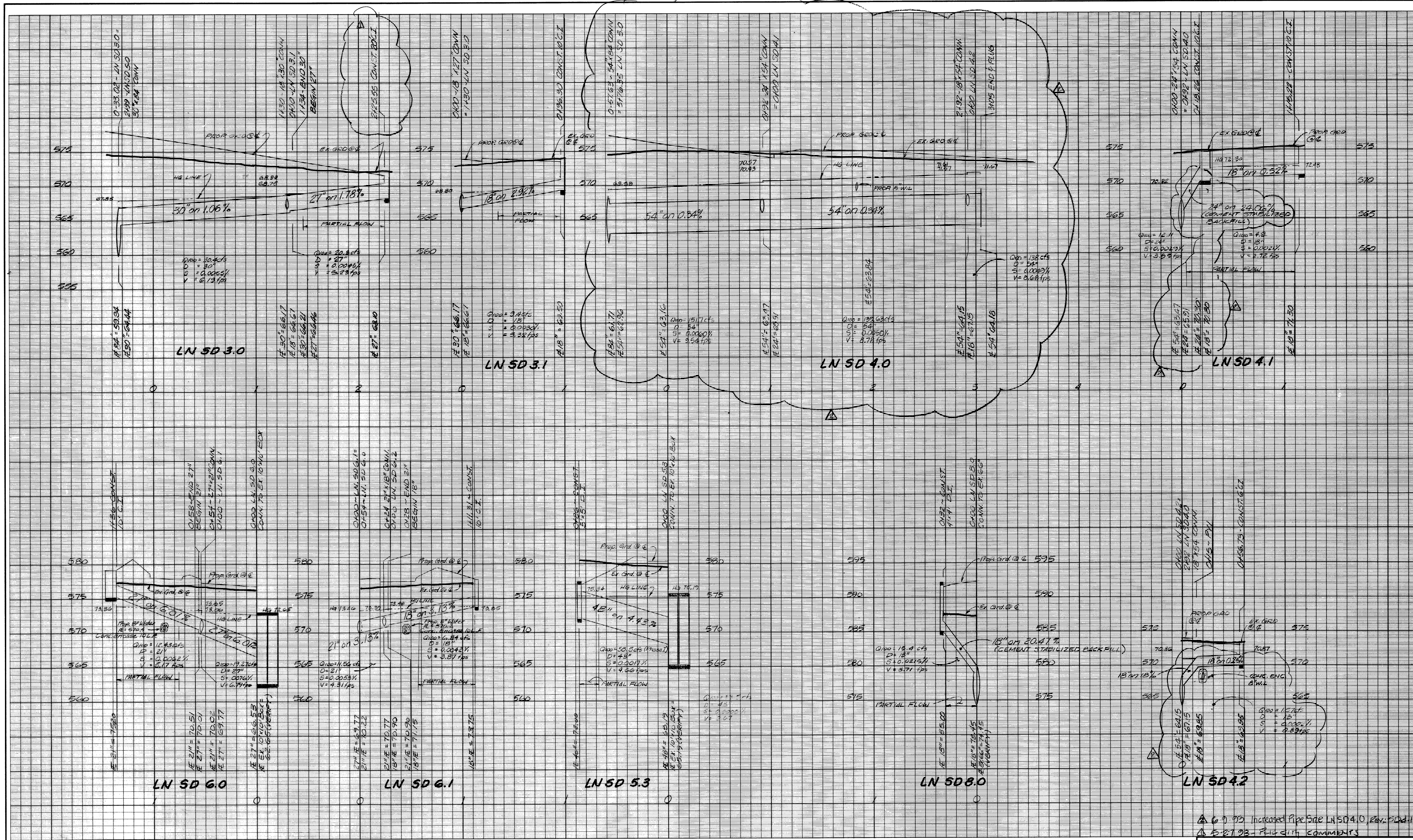


LINES SD 20, 21, 22, 23, 24 & 25  
 STORM SEWER PROFILES  
 ADDISON TOWN CENTER  
 TOWN OF ADDISON, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
LAC	LAC	4/7/93	H: 1"=40' V: 1"=6'	D.P.	91012	C-12

THIS A.M.M. INCORPORATED 04/30/95  
 REV. 04.30.93.11 ADDED





6-9-93 Increased Pipe Size LN SD 4.0, Rev. 5/24/14  
 5-21-93-PLUG CITY COMMENTS

STORM SEWER PROFILES						
LN SD 3.0, 3.1, 4.0, 4.1, 5.3, 6.0, 6.1, & 8.0						
KMART No. 4885						
TOWN OF ADDISON, TEXAS						
LAWRENCE A. CATES & ASSOC. CONSULTING ENGINEERS DALLAS, TEXAS						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
LAC	LAC	4/07/93	H: 1"=40' V: 1"=6'	DP	9102	C-13

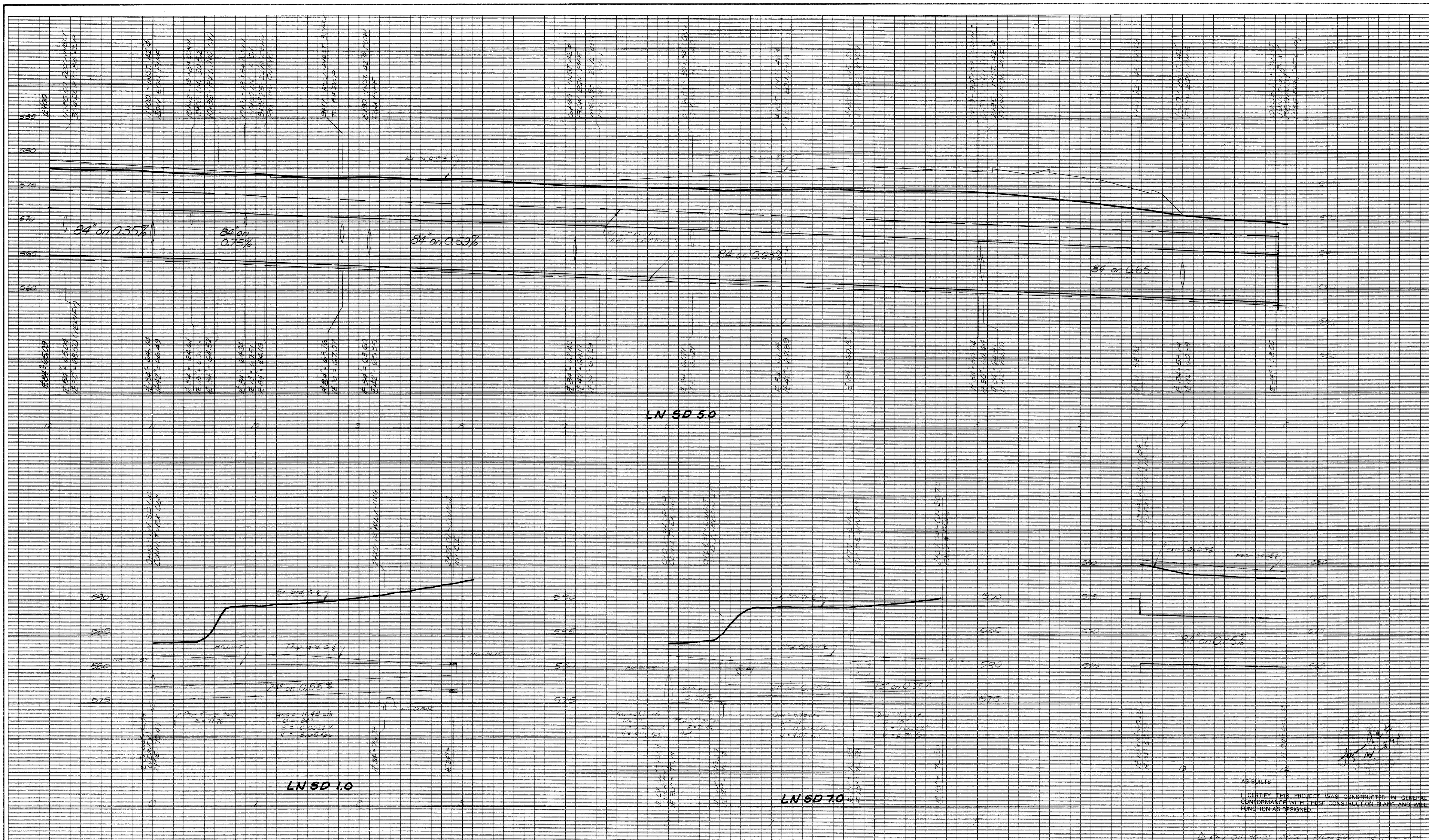
AS-BUILTS  
 I CERTIFY THIS PROJECT WAS CONSTRUCTED IN GENERAL CONFORMANCE WITH THESE CONSTRUCTION PLANS AND WILL FUNCTION AS DESIGNED.

*[Signature]*

BENCHMARK:  
 N.W. CORNER OF EXISTING CURB INLET LOCATED ON SOUTH SIDE OF BELT LINE ROAD. INLET LOCATED 575' WEST OF THE INTERSECTION OF BELT LINE ROAD AND BUSINESS AVENUE.  
 ELEV. 573.06'

BENCHMARK:  
 " " CUT ON STORM SEWER INLET ON SOUTH SIDE OF BELT LINE ROAD 70' WEST OF COMMERCIAL DRIVE.  
 ELEV. 580.56'

*[Signature]*  
 04.14.93



LN SD 5.0

LN SD 1.0

LN SD 7.0

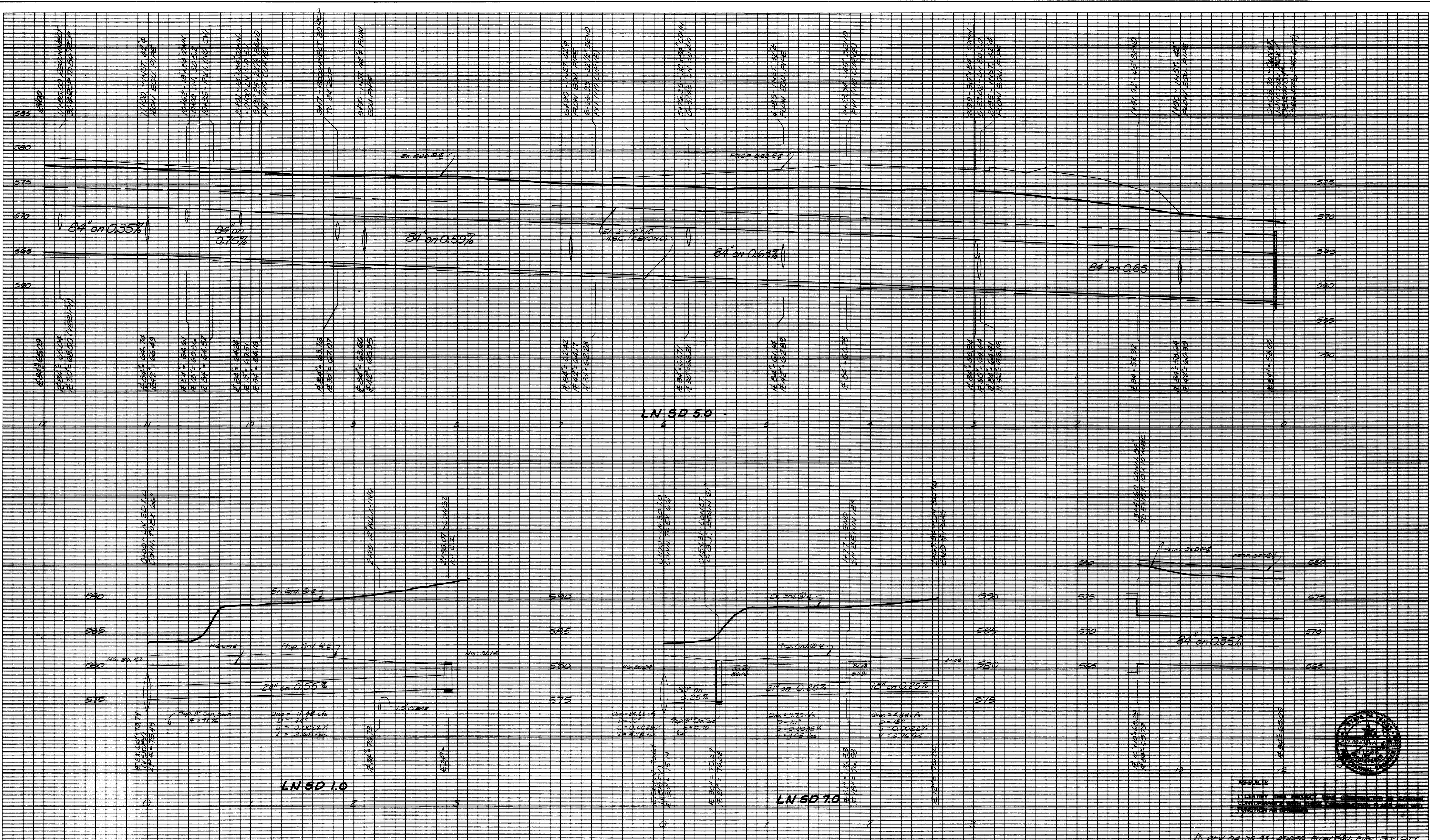
BENCH MARK:  
 N.W. CORNER OF EXISTING CURB INLET LOCATED ON SOUTH SIDE OF BELT LINE ROAD. INLET LOCATED 575' WEST OF THE INTERSECTION OF BELT LINE ROAD AND BUSINESS AVENUE.  
 ELEV. 573.06'

BENCH MARK:  
 " " CUT ON STORM SEWER INLET ON SOUTH SIDE OF BELT LINE ROAD 70' WEST OF COMMERCIAL AVENUE.  
 ELEV. 580.56'

*Signature of Lawrence A. Cates*  
 04.14.93

AS-BUILTS  
 I CERTIFY THIS PROJECT WAS CONSTRUCTED IN GENERAL CONFORMANCE WITH THESE CONSTRUCTION PLANS AND WILL FUNCTION AS DESIGNED.

STORM SEWER PROFILES						
LN. SD 1.0, 5.0 & 7.0						
KMART No. 4885						
TOWN OF ADDISON, TEXAS						
LAWRENCE A. CATES & ASSOC.						CONSULTING ENGINEERS DALLAS, TEXAS
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
LAC	LAC	4/07/93	H: 1"=40' V: 1"=6'	D.P.	31012	C-14



BENCHMARK:

N.W. CORNER OF EXISTING CURB INLET LOCATED ON SOUTH SIDE OF BELT LINE ROAD. INLET LOCATED 575' WEST OF THE INTERSECTION OF BELT LINE ROAD AND BUSINESS AVENUE.

ELEV. 573.06'

BENCHMARK:

"□" CUT ON STORM SEWER INLET ON SOUTH SIDE OF BELT LINE ROAD 70'± WEST OF COMMERCIAL DRIVE.

ELEV. 580.56'



**STORM SEWER PROFILES**

LN. SD 1.0, 5.0 & 7.0

**KMAT No. 4885**

TOWN OF ADDISON, TEXAS

LAWRENCE A. CATES & ASSOC.

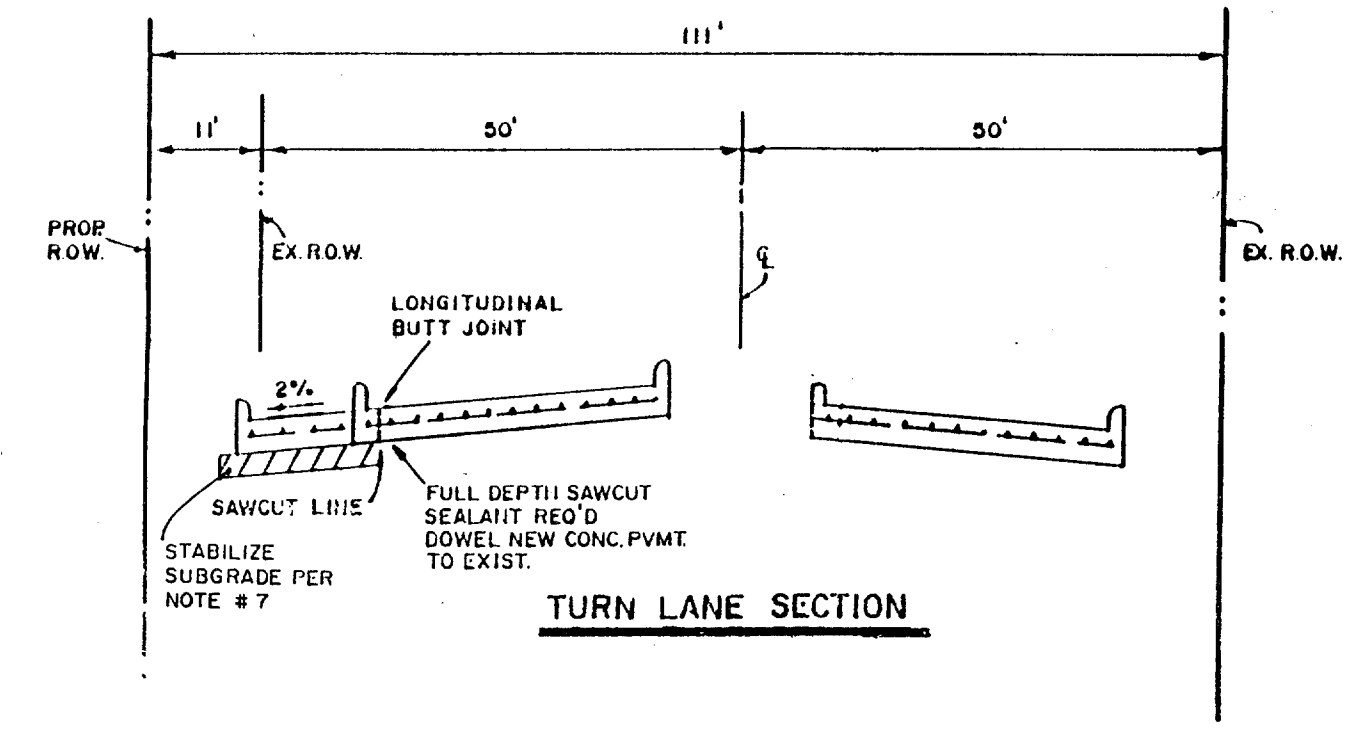
CONSULTING ENGINEERS  
DALLAS, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.

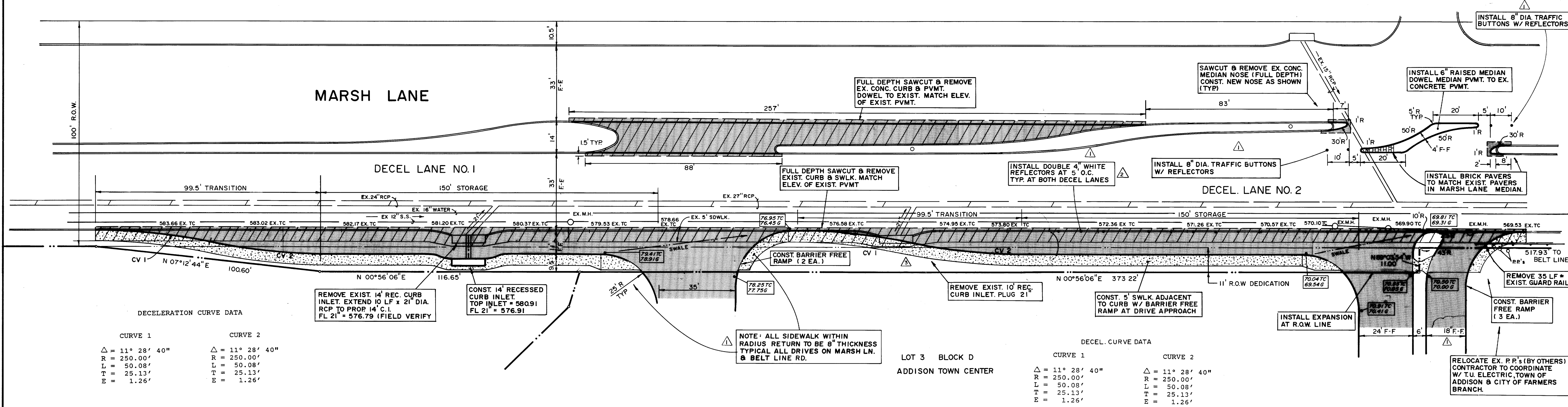
04-14-93

GENERAL NOTES

1. ALL CURBS TO BE PLACED INTEGRAL WITH PAVEMENT AND SHALL MEET THE SAME COMPRESSIVE STRENGTH AS THE PROPOSED CONCRETE PAVEMENT.
2. ARRANGEMENT OF JOINTS SHALL MATCH JOINTS IN EXISTING PAVEMENT.
3. ALL BAR LAPS SHALL BE 30" DIAMETERS.
4. BAR CHAIRS SHALL BE FURNISHED.
5. CROSS SLOPE OF PROPOSED TURN LANE WILL BE 1/4" PER FOOT.
6. CONCRETE PAVEMENT FOR TURN LANE WILL BE 8" THICK, 3,600 PSI COMPRESSIVE STRENGTH AT 28 DAYS WITH A MIXTURE THAT IS MINIMUM 5.5 SACKS PER CUBIC YARDS. REINFORCEMENT WILL BE #3 BARS @ 18" O.C.M.
7. SUBGRADE WILL BE SCARIFIED TO A DEPTH OF 6" AND RECOMPACTED TO 95% STANDARD PROCTOR DENSITY. SUBGRADE TO BE STABILIZED WITH 6% BY WEIGHT OF HYDRATED LIME. SUBGRADE SHALL EXTEND 1' BACK OF PROPOSED CURB. 6" CTB MAY BE ALLOWED AS ALTERNATE TO LIME STABILIZATION.
8. ALL JOINTS IN CONCRETE PAVEMENT TO BE SEALED WITH 0A55 ASPHALT OR RUBBER BASED COMPOUND.
9. INSTALLATION OF DRIVE APPROACHES, SIDEWALKS, RIGHT-TURN LANE AND MEDIAN IMPROVEMENTS SHALL MEET TOWN OF ADDISON STANDARDS.
10. RELOCATION OF ANY TOWN OF ADDISON OR FARMERS BRANCH IRRIGATION FACILITIES IS RESPONSIBILITY OF CONTRACTOR.



NOTE: MEDIAN RECONSTRUCTION ON MARSH LANE TO BE COMPLETED PRIOR TO START OF CONSTRUCTION ON DECEL. LANE NO. 1 OR NO. 2



DECELERATION CURVE DATA

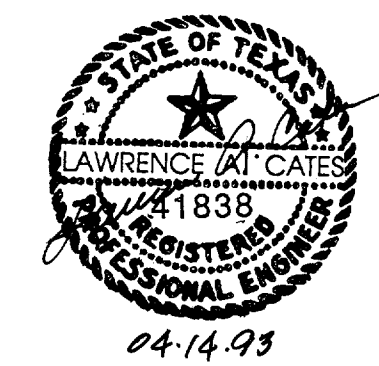
CURVE 1	CURVE 2
Δ = 11° 28' 40"	Δ = 11° 28' 40"
R = 250.00'	R = 250.00'
L = 50.08'	L = 50.08'
T = 25.13'	T = 25.13'
E = 1.26'	E = 1.26'

DECEL. CURVE DATA

CURVE 1	CURVE 2
Δ = 11° 28' 40"	Δ = 11° 28' 40"
R = 250.00'	R = 250.00'
L = 50.08'	L = 50.08'
T = 25.13'	T = 25.13'
E = 1.26'	E = 1.26'

BENCHMARK:  
N.W. CORNER OF EXISTING CURB INLET LOCATED ON SOUTH SIDE OF BELT LINE ROAD. INLET LOCATED 575' WEST OF THE INTERSECTION OF BELT LINE ROAD AND BUSINESS AVENUE.  
ELEV. 573.06'

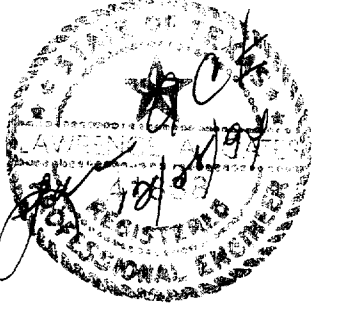
BENCHMARK:  
" " CUT ON STORM SEWER INLET ON SOUTH SIDE OF BELT LINE ROAD 70'± WEST OF COMMERCIAL DRIVE.  
ELEV. 580.56'



AS-BUILTS

- △ REV 9/3/93 DELETE 14' C.I.
- △ REV. 6/14/93 ADD DOUBLE REFLECTORS AT 5' O.C.
- △ REV 4/30/93 ADDED 3,600 PSI CONC. PER ADDISON STD.

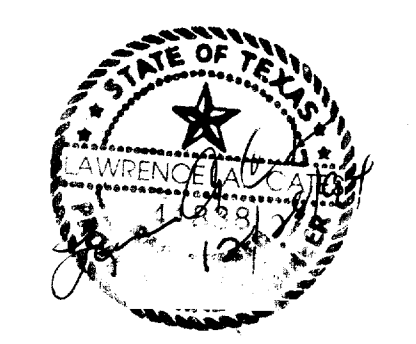
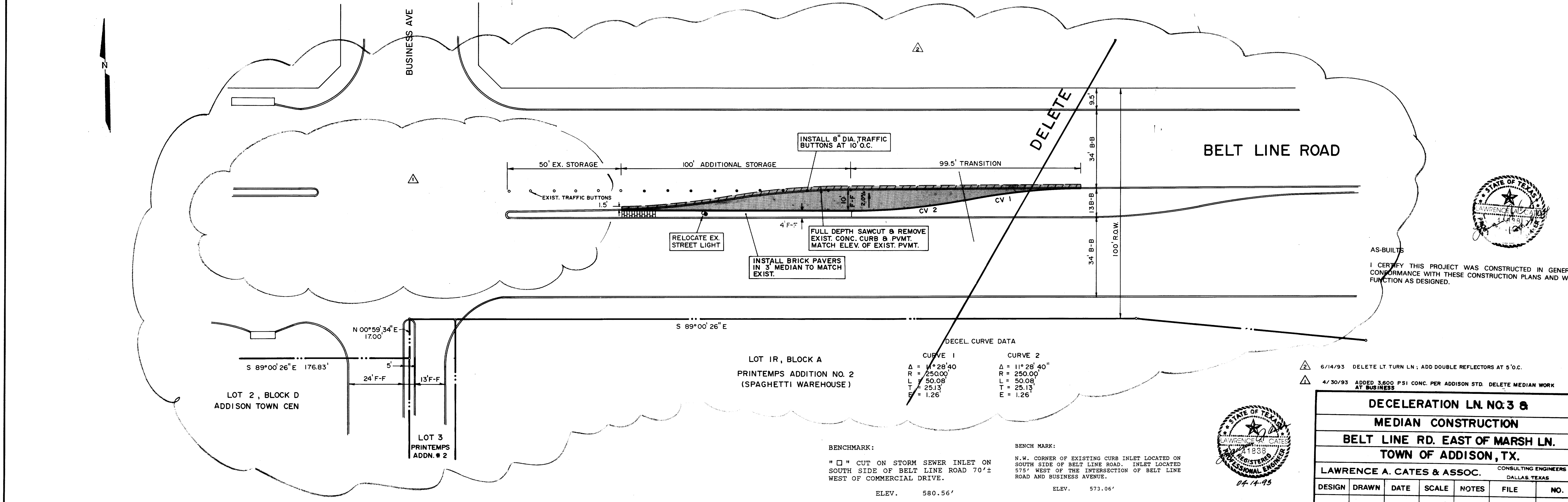
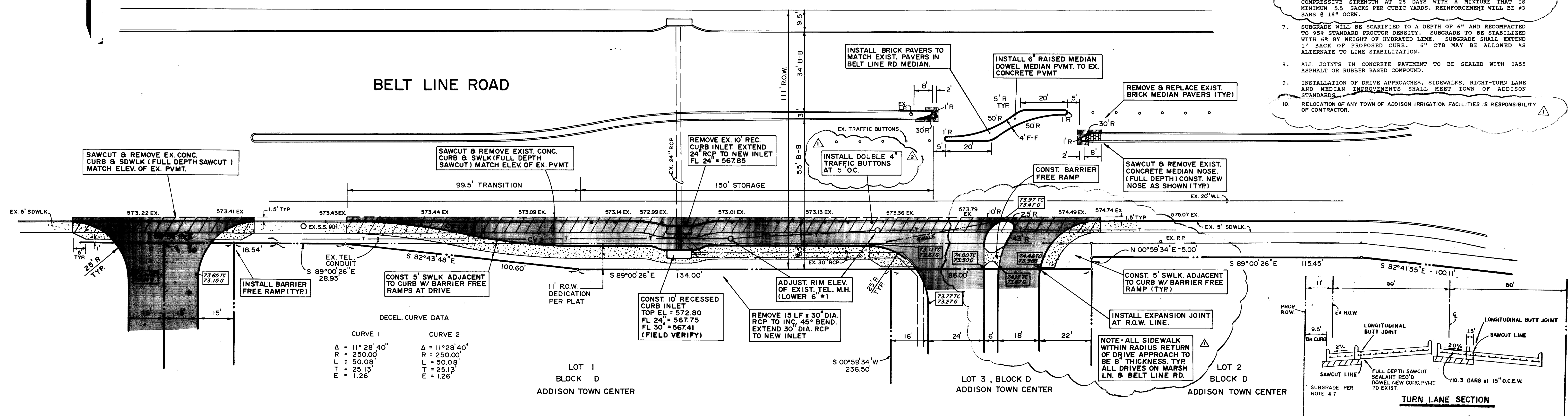
DECEL. LANES NO. 1 & 2 &						
MEDIAN CONSTRUCTION						
MARSH LN. SOUTH OF BELT LINE RD.						
TOWN OF ADDISON, TX.						
LAWRENCE A. CATES & ASSOC.						CONSULTING ENGINEERS DALLAS, TEXAS
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
LAC	LAC	3/22/93	1"=20'	D.P.	91012	C-15



GENERAL NOTES

1. ALL CURBS TO BE PLACED INTEGRAL WITH PAVEMENT AND SHALL MEET THE SAME COMPRESSIVE STRENGTH AS THE PROPOSED CONCRETE PAVEMENT.
2. ARRANGEMENT OF JOINTS SHALL MATCH JOINTS IN EXISTING PAVEMENT.
3. ALL BAR LAPS SHALL BE 30" DIAMETERS.
4. BAR CHAIRS SHALL BE FURNISHED.
5. CROSS SLOPE OF PROPOSED TURN LANE WILL BE 1/4" PER FOOT.
6. CONCRETE PAVEMENT FOR TURN LANE WILL BE 8" THICK, 3,600 PSI COMPRESSIVE STRENGTH AT 28 DAYS WITH A MIXTURE THAT IS MINIMUM 5.5 SACKS PER CUBIC YARD. REINFORCEMENT WILL BE #3 BARS @ 18" O.C.E.W.
7. SUBGRADE WILL BE SCARIFIED TO A DEPTH OF 6" AND RECOMPACTED TO 95% STANDARD PROCTOR DENSITY. SUBGRADE SHALL BE STABILIZED WITH 6% BY WEIGHT OF HYDRATED LIME. SUBGRADE SHALL EXTEND 1' BACK OF PROPOSED CURB. 6" CTB MAY BE ALLOWED AS ALTERNATE TO LIME STABILIZATION.
8. ALL JOINTS IN CONCRETE PAVEMENT TO BE SEALED WITH 0A55 ASPHALT OR RUBBER BASED COMPOUND.
9. INSTALLATION OF DRIVE APPROACHES, SIDEWALKS, RIGHT-TURN LANE AND MEDIAN IMPROVEMENTS SHALL MEET TOWN OF ADDISON STANDARDS.
10. RELOCATION OF ANY TOWN OF ADDISON IRRIGATION FACILITIES IS RESPONSIBILITY OF CONTRACTOR.

NOTE: MEDIAN WORK TO BEGIN AFTER COMPLETION OF DECEL. LANE



AS-BUILT  
I CERTIFY THIS PROJECT WAS CONSTRUCTED IN GENERAL CONFORMANCE WITH THESE CONSTRUCTION PLANS AND WILL FUNCTION AS DESIGNED.

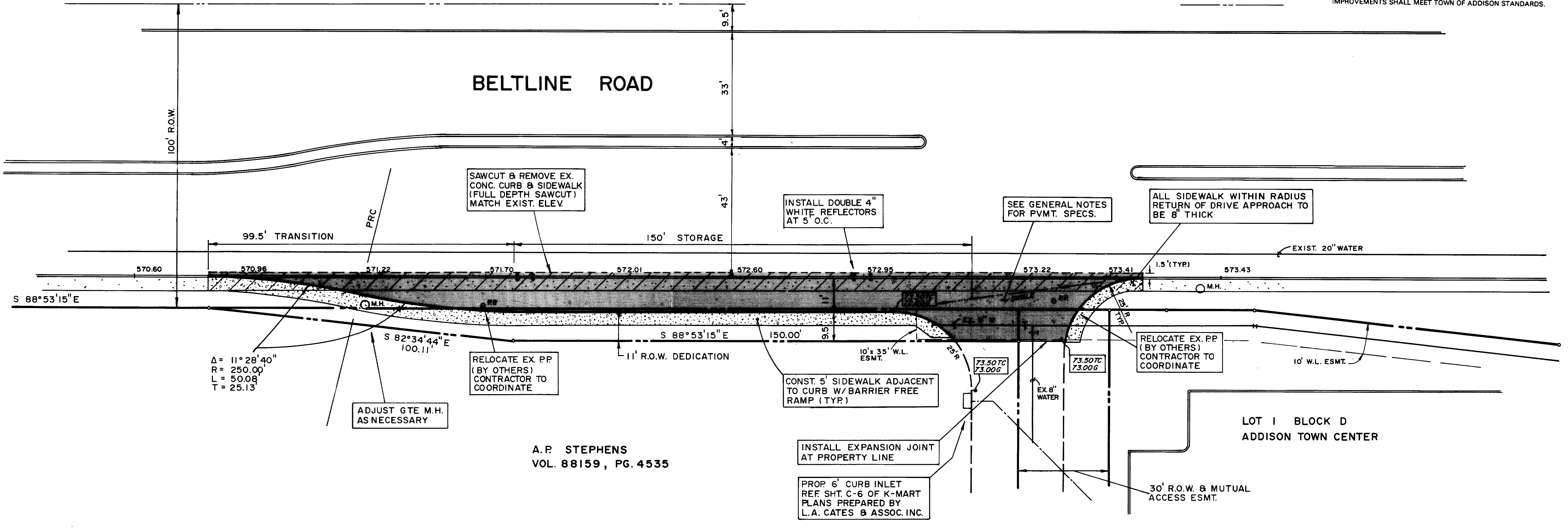
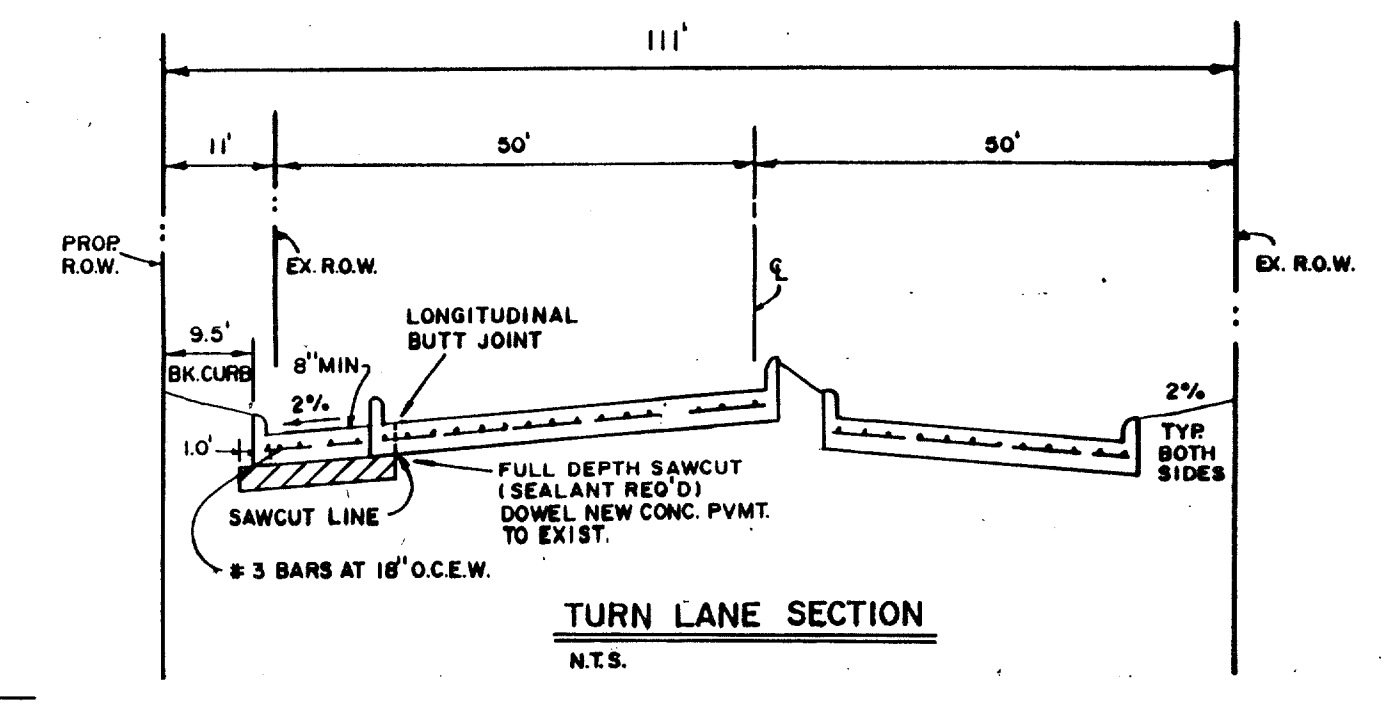
- 6/14/93 DELETE LT TURN LN; ADD DOUBLE REFLECTORS AT 5' O.C.
- 4/30/93 ADDED 3,600 PSI CONC. PER ADDISON STD. DELETE MEDIAN WORK AT BUSINESS

DECELERATION LN. NO. 3 & MEDIAN CONSTRUCTION					
BELT LINE RD. EAST OF MARSH LN. TOWN OF ADDISON, TX.					
LAWRENCE A. CATES & ASSOC. CONSULTING ENGINEERS DALLAS, TEXAS					
DESIGN	DRAWN	DATE	SCALE	NOTES	NO.
LAC	LAC	3/22/93	1"=20'	D.P.	91012 C-16

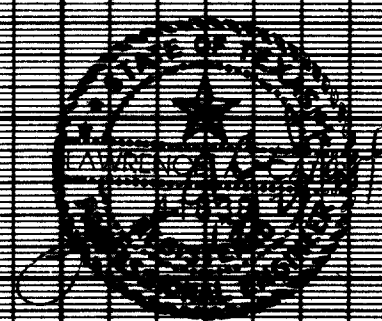


GENERAL NOTES

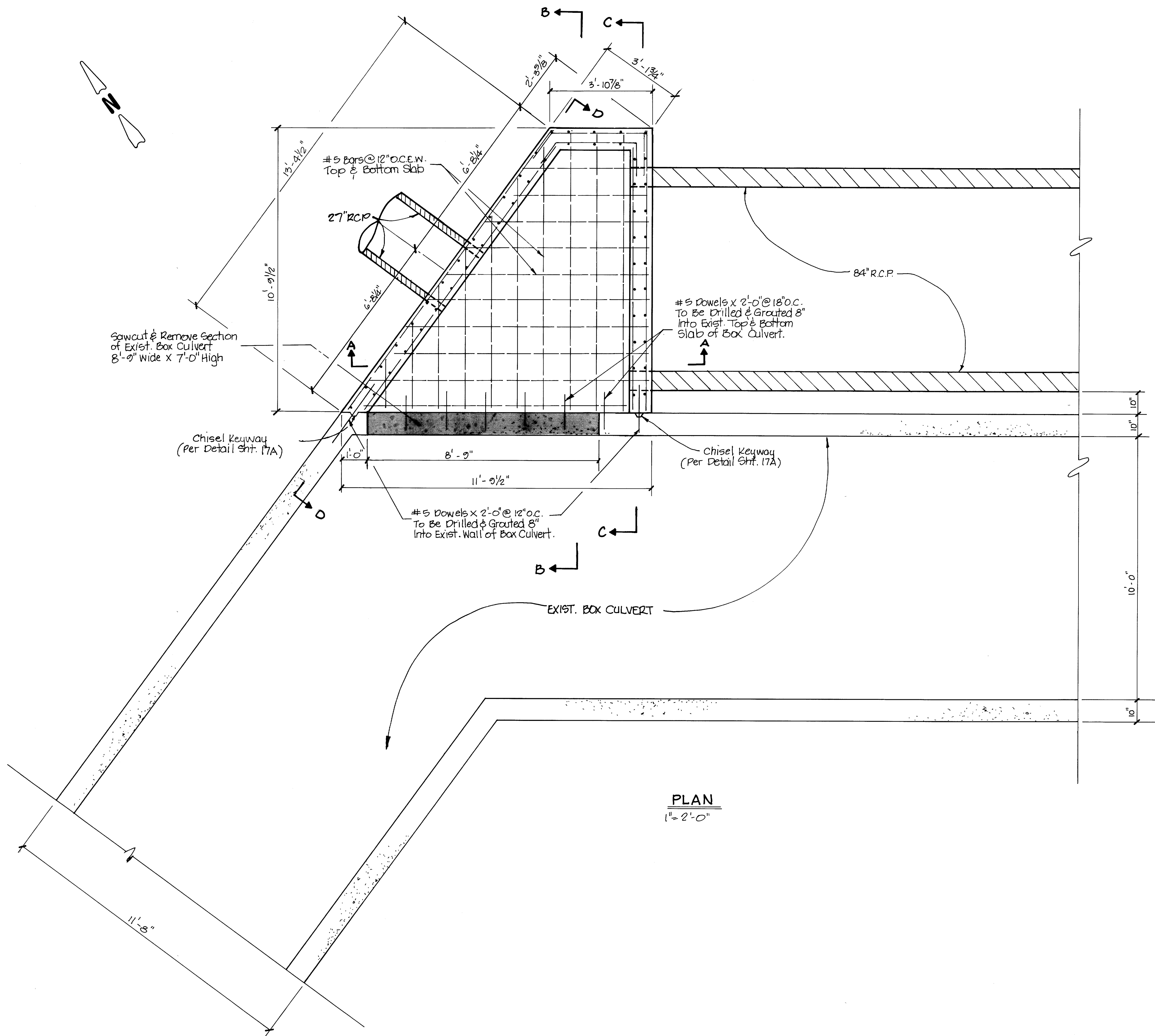
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2. ARRANGEMENT OF JOINTS SHALL MATCH JOINTS IN EXISTING PAVEMENT.
3. ALL BAR LAPS SHALL BE 30" DIAMETERS.
4. BAR CHAIRS SHALL BE FURNISHED.
5. CROSS SLOPE OF PROPOSED TURN LANE WILL BE 1/4" PER FOOT.
6. CONCRETE PAVEMENT FOR TURN LANE WILL BE 8" THICK, 3600 PSI COMPRESSIVE STRENGTH AT 28 DAYS WITH A MIXTURE THAT IS MINIMUM FIVE SACKS PER CUBIC YARD. REINFORCEMENT WILL BE #3 BARS AT 18" O.C.E.W.
7. SUBGRADE WILL BE SCARIFIED TO A DEPTH OF 8" AND RECOMPACTED TO 95% STANDARD PROCTOR DENSITY. SUBGRADE TO BE STABILIZED WITH 5% BY WEIGHT OF HYDRATED LIME. SUBGRADE SHALL EXTEND 1 FOOT BACK OF PROPOSED CURB. 6" CTB MAY BE ALLOWED AS ALTERNATE TO LIME STABILIZATION.
8. ALL JOINTS IN CONCRETE PAVEMENT TO BE SEALED WITH GASS ASPHALT OR RUBBER BASED COMPOUND.
9. INSTALLATION OF DRIVE APPROACHES, SIDEWALKS, RIGHT-TURN LANE AND MEDIAN IMPROVEMENTS SHALL MEET TOWN OF ADDISON STANDARDS.



A.P. STEPHENS  
VOL. 88159, PG. 4535



<p>DECELERATION LANE BELTLINE RD. EAST OF MARSH LN. KMART / STEPHENS APPROACH TOWN OF ADDISON</p>						
LAWRENCE A. CATES & ASSOC.						CONSULTING ENGINEERS DALLAS, TEXAS
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
LAC	LAC	8/16/93	1" = 20'		92023	C-16A



- GENERAL NOTES
1. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF  $f'c = 3000$  PSI AT 28 DAYS.
  2. REINFORCING STEEL  $F_y = 40$  KSI.
  3. BAR LAPS SHALL BE 30" DIAMETERS.
  4. EXPOSED EDGES AND CORNERS TO BE CHAMFERED  $3/4"$ .

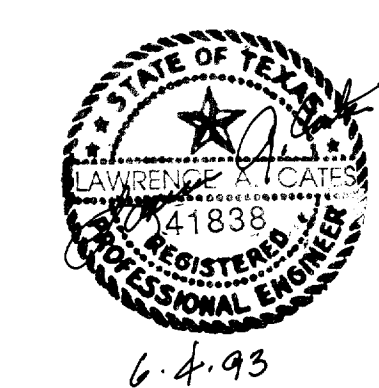
PLAN  
1" = 2'-0"



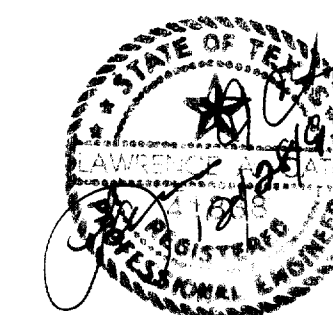
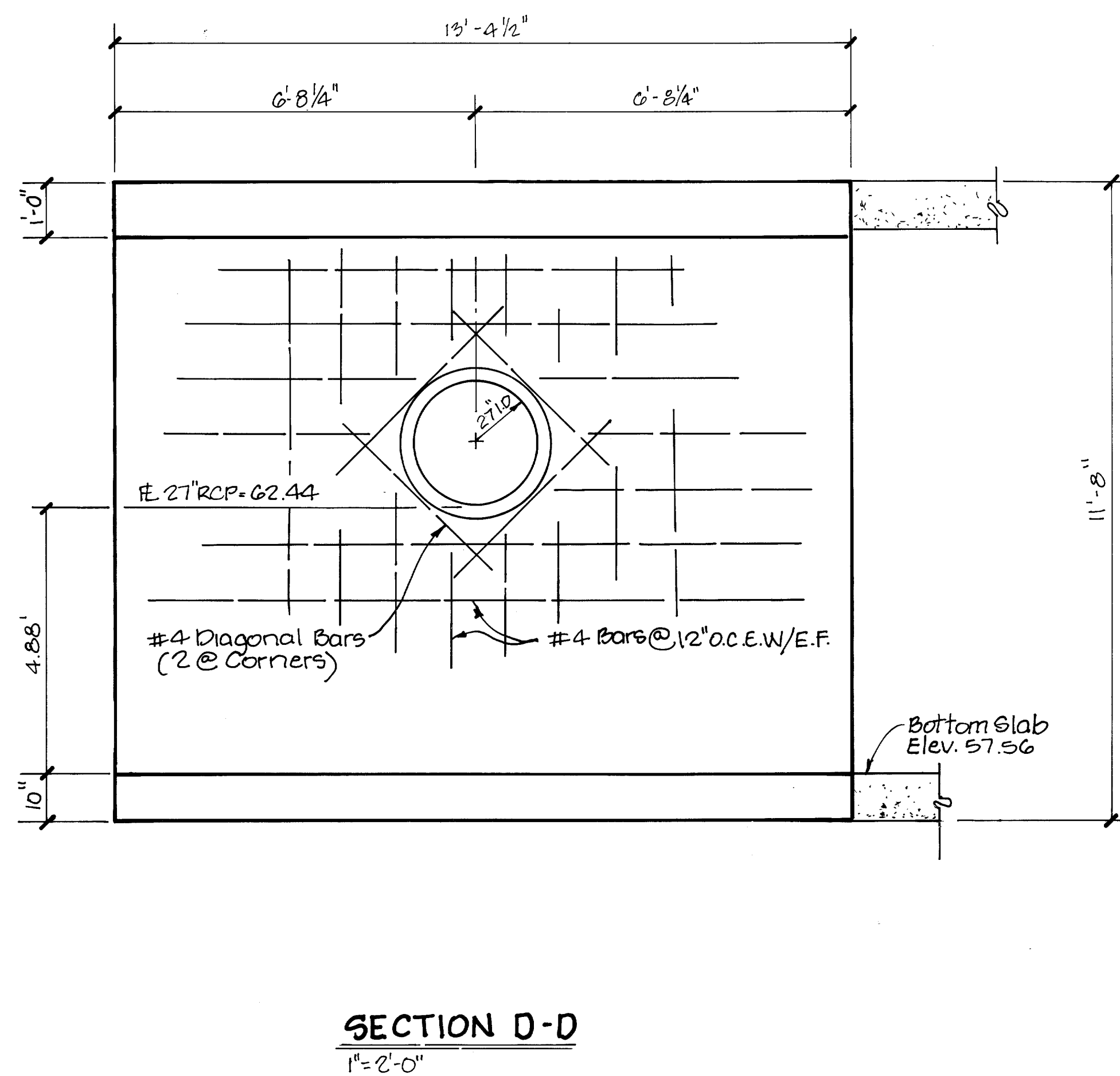
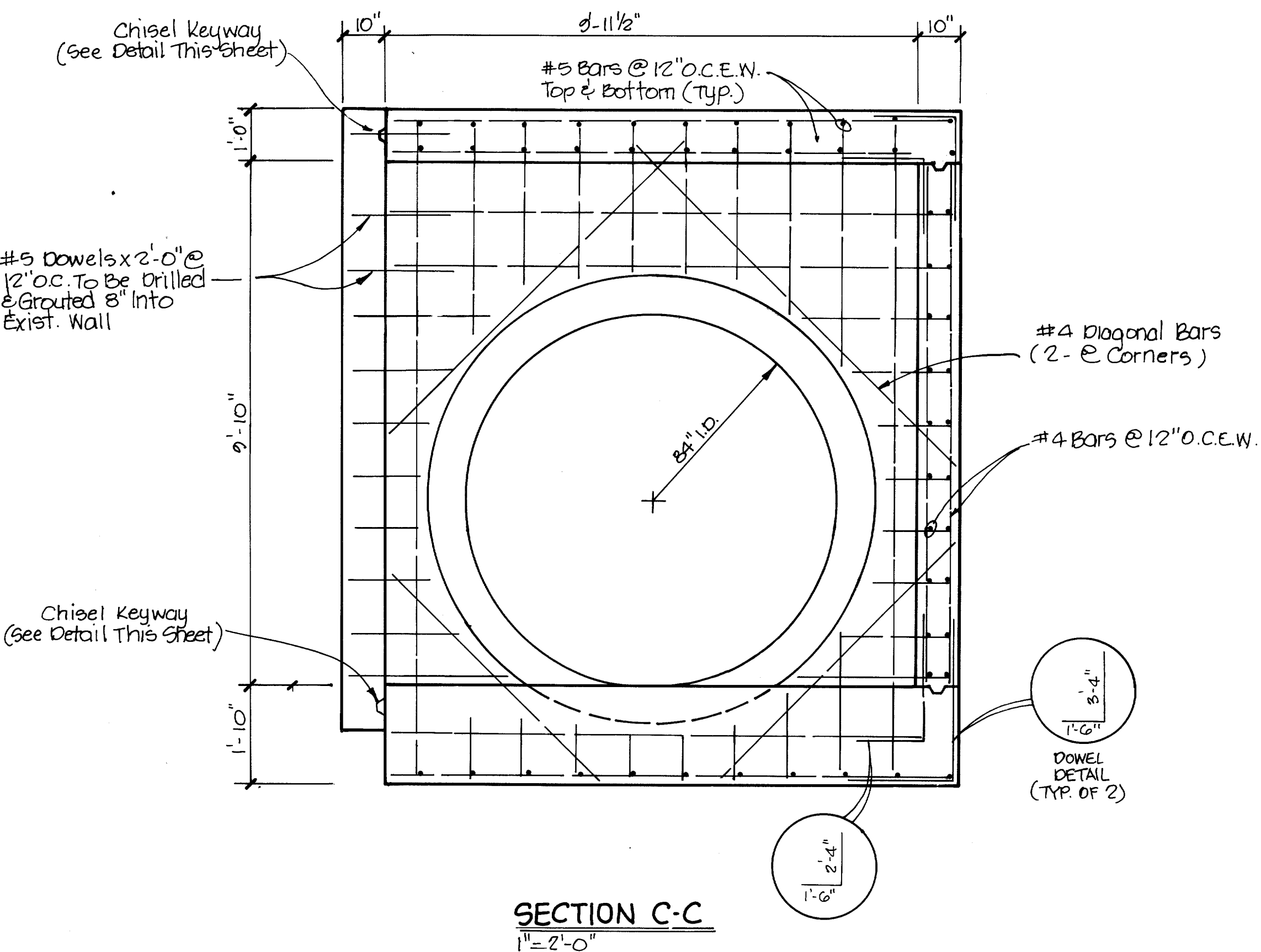
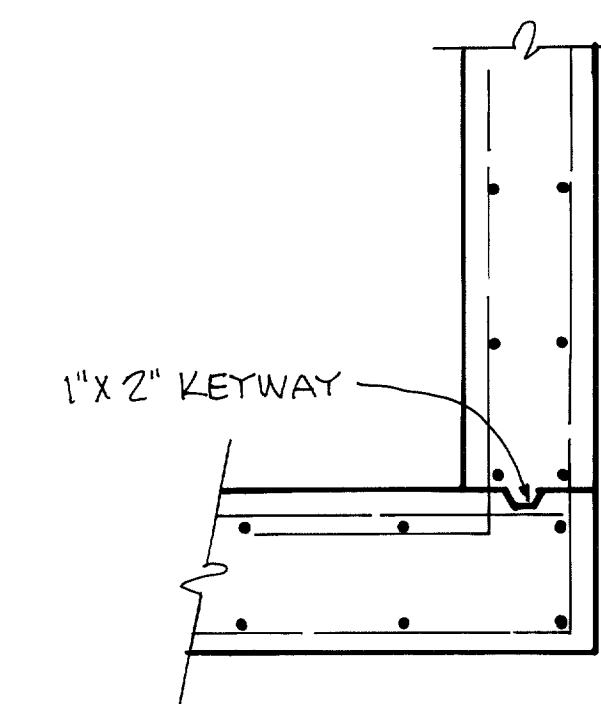
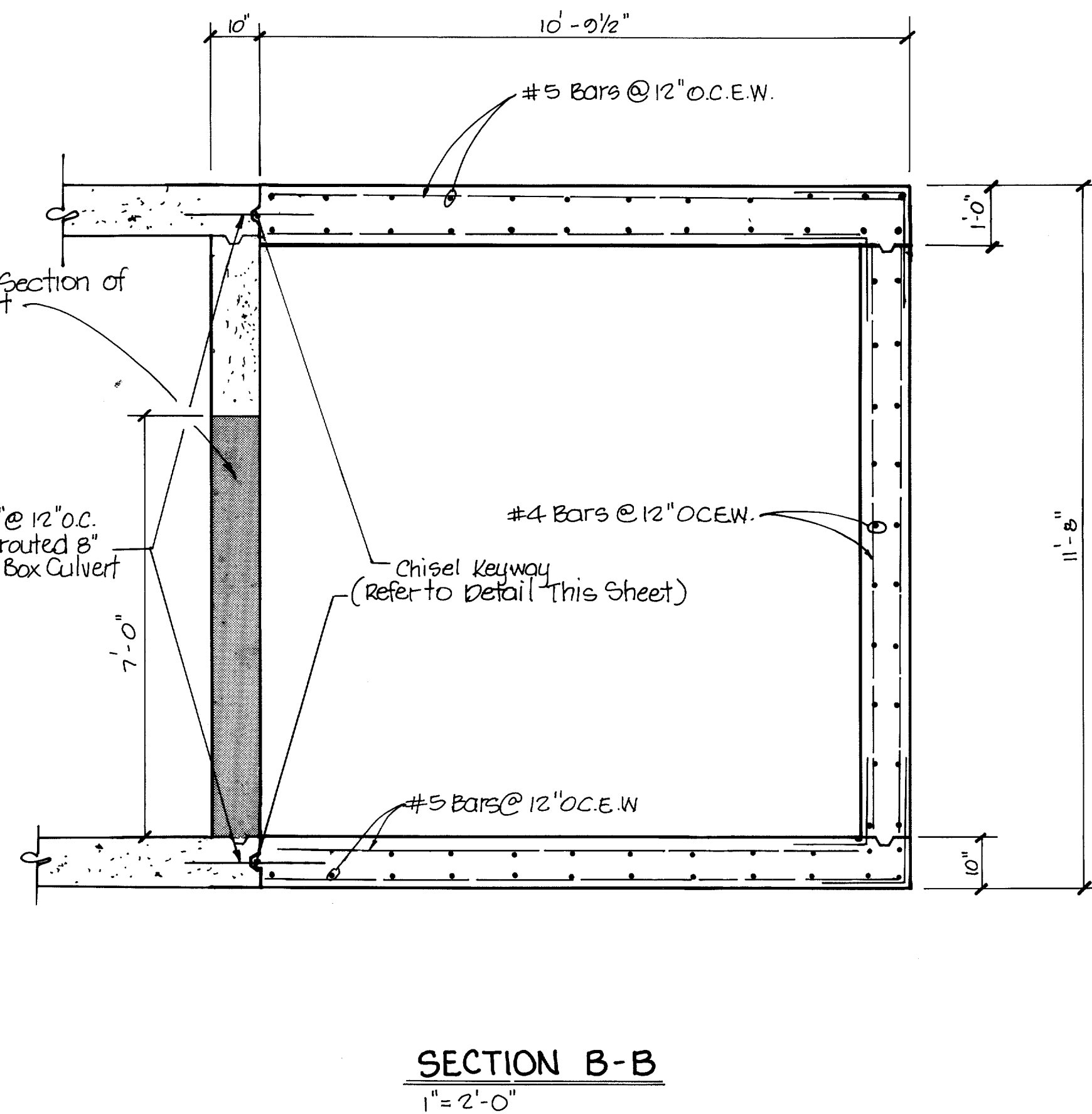
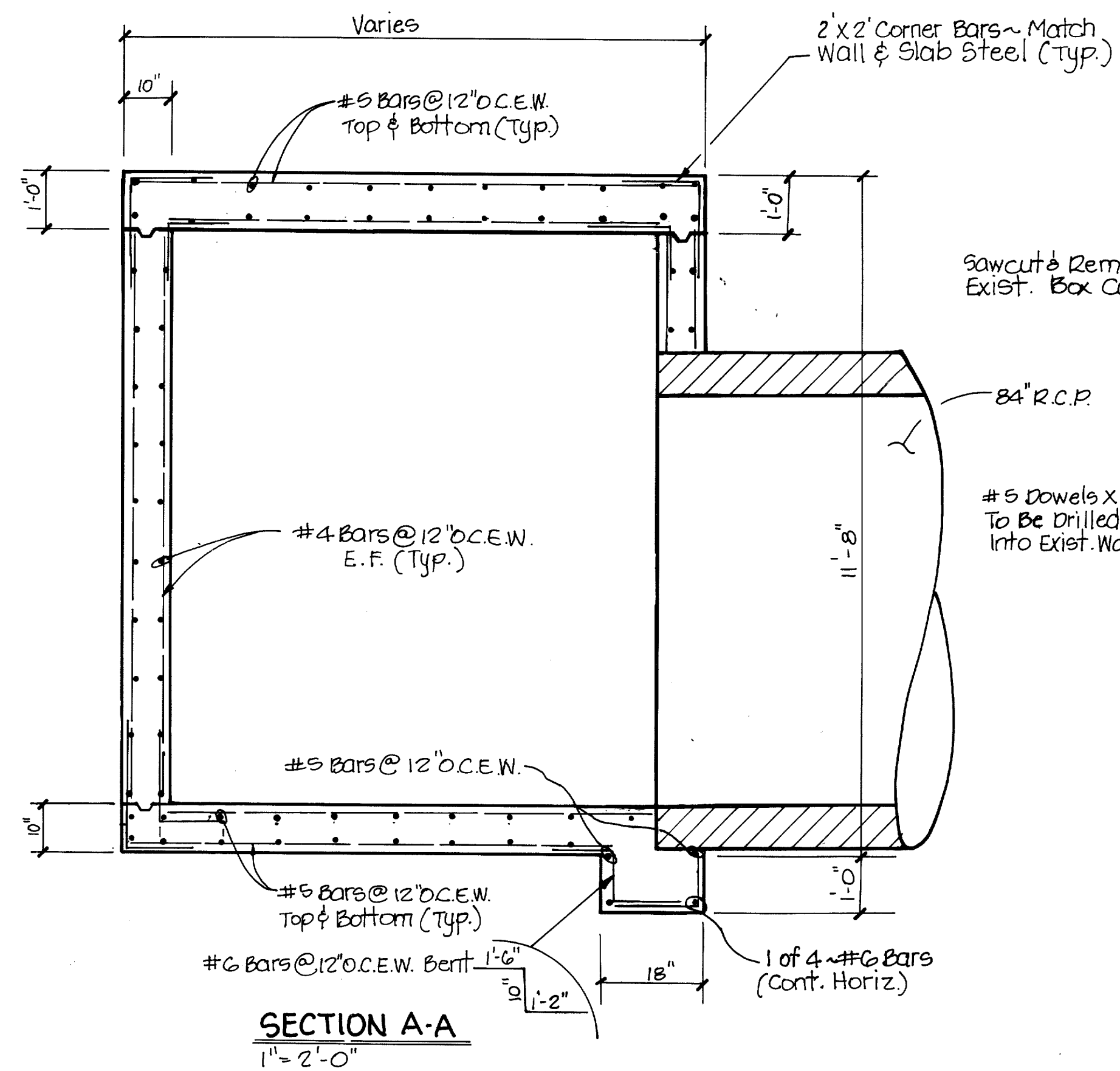
AS-BUILTS  
I CERTIFY THIS PROJECT WAS CONSTRUCTED IN GENERAL CONFORMANCE WITH THESE CONSTRUCTION PLANS AND WILL FUNCTION AS DESIGNED.

• DENOTES CONCRETE REMOVAL

REV. 6-10-93 Added 27" RCP To Junc. Box



84" RCP JUNCTION BOX DETAILS						
KMART NO. 4885						
BELTLINE AND MARSH						
ADDISON, TEXAS						
LAWRENCE A. CATES & ASSOC.					CONSULTING ENGINEERS DALLAS, TEXAS	
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
LAC	LAC	6-4-93	1" = 2'-0"		91012	C-17



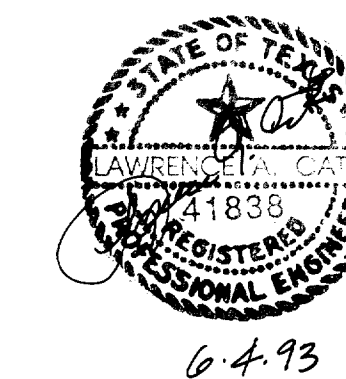
AS-BUILTS

I CERTIFY THIS PROJECT WAS CONSTRUCTED IN GENERAL CONFORMANCE WITH THESE CONSTRUCTION PLANS AND WILL FUNCTION AS DESIGNED.

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						DALLAS, TEXAS
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
LAC	LAC	6-4-93	1" = 2'-0"		9102	C-17A



6-4-93