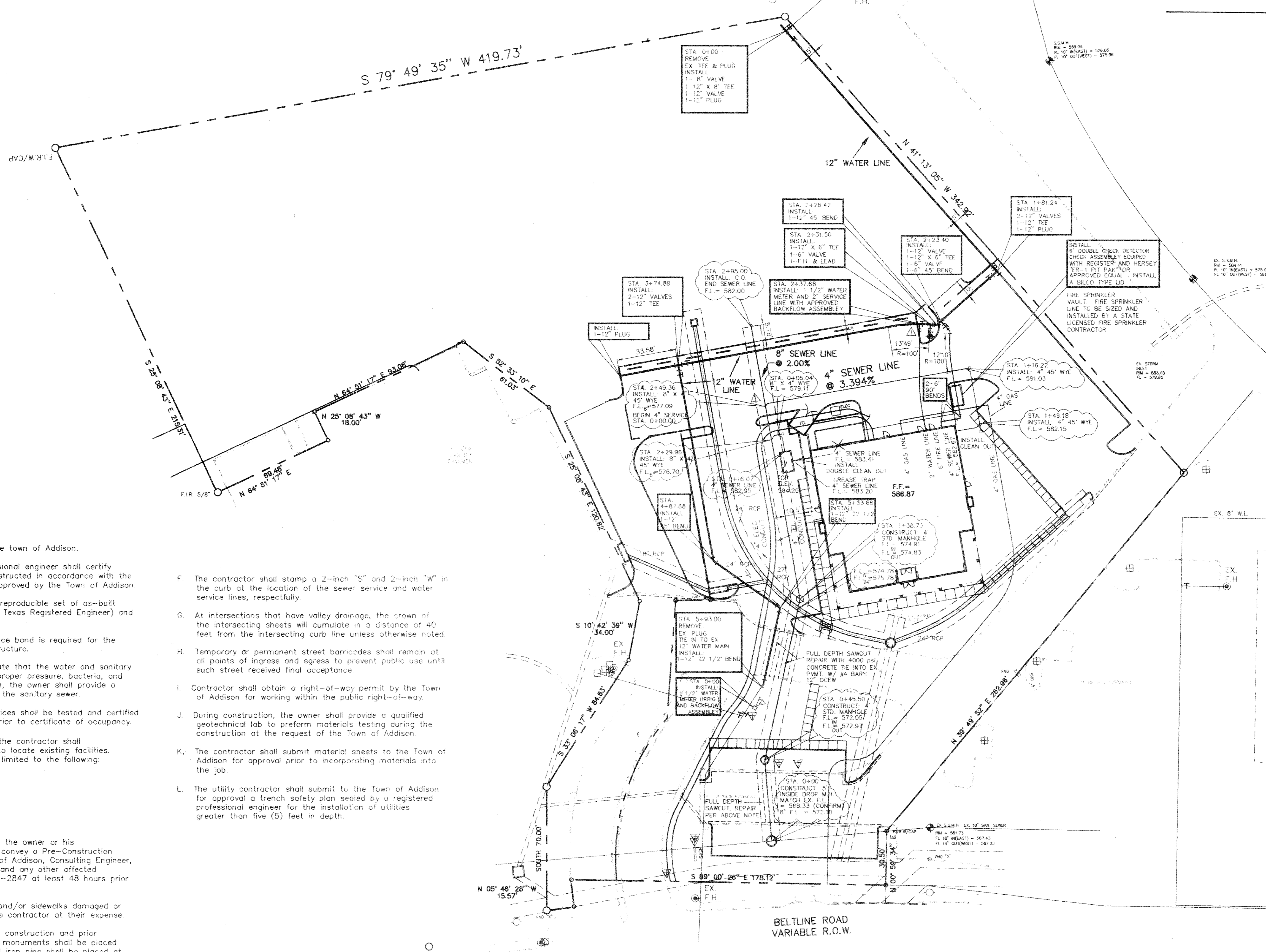


"AS BUILT"

This project was constructed in conformance to the Town of Addison Standards and Specifications, and functions as designed.



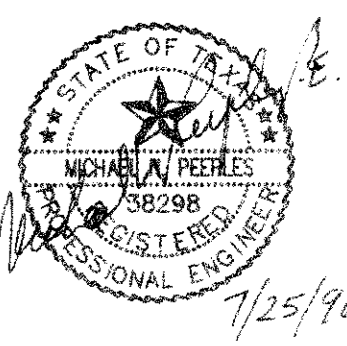
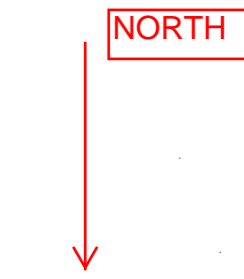
WATER METER DATA

NO.	SIZE	TYPE	STATUS
▲	1 1/2"	DOMESTIC	PROPOSED
▲	1 1/2"	IRRIGATION	PROPOSED

SEWER SERVICE DATA

NO.	SIZE	TYPE	STATUS
▲	4"	DOMESTIC	PROPOSED

- LEGEND**
- F.I.P. = FOUND IRON PIPE
 - F.I.R. = FOUND IRON ROD
 - F.N.D. "X" = FOUND SCRIBED X
 - S.I.R. = SET IRON ROD
 - ⊙ = FIRE HYDRANT
 - ⊕ = GAS MANHOLE
 - ⊕ = LIGHT POLE
 - ⊕ = ELECTRIC BOX
 - ⊕ = POWER POLE
 - ⊕ = STORM SEWER MANHOLE
 - ⊕ = SANITARY SEWER CLEANOUT
 - ⊕ = SANITARY SEWER MANHOLE
 - ⊕ = WATER METER
 - ⊕ = WATER VALVE
 - ⊕ = TRAFFIC BOX
 - ⊕ = TRAFFIC LIGHT
 - ⊕ = TELEPHONE PEDISTAL
 - ⊕ = SIGN
 - = FENCE



GENERAL NOTICE

- A. Prior to final acceptance by the town of Addison.
- 1) A Texas Registered Professional engineer shall certify that the project, was constructed in accordance with the plans and specifications approved by the Town of Addison.
 - 2) The owner shall provide 1 reproducible set of as-built (scaled and certified by a Texas Registered Engineer) and 2 blue line sets.
 - 3) A one year 10% maintenance bond is required for the internal subdivision infrastructure.
 - 4) Contractor shall demonstrate that the water and sanitary sewer systems meet the proper pressure, bacteria, and mandrel tests. In addition, the owner shall provide a VHS format video tape of the sanitary sewer.
 - 5) All backflow prevention devices shall be tested and certified to be operating properly prior to certificate of occupancy.
- B. Prior to starting construction, the contractor shall contact the utility companies to locate existing facilities. These include but may not be limited to the following:
- 1) Town of Addison
 - 2) Lone Star Gas
 - 3) Southwestern Bell
 - 4) Storer Cable
 - 5) Planned Cable Systems
 - 6) TU Electric
- C. Prior to beginning construction, the owner or his authorized representative shall convey a Pre-Construction Conference between the Town of Addison, Consulting Engineer, Contractors, Utility Companies and any other affected parties. Notify Bruce Ellis 450-2847 at least 48 hours prior to beginning of construction.
- D. Any existing pavement, curbs, and/or sidewalks damaged or removed will be repaired by the contractor at their expense.
- E. Lot pins shall be installed after construction and prior to final acceptance. Concrete monuments shall be placed as shown on the final plat and iron pins shall be placed at block corners. Curve points and angle points in public right-of-way. Concrete monuments shall be six (6) inches in diameter embedded at least three (3) inches in the monument at the exact intersection point of the monument. The monuments shall be set at such an elevation that after construction, the top of the monument will not less than twelve (12) inches below the ground surface.
- F. The contractor shall stamp a 2-inch "S" and 2-inch "W" in the curb at the location of the sewer service and water service lines, respectfully.
- G. At intersections that have valley drainage, the crown of the intersecting sheets will cumulate in a distance of 40 feet from the intersecting curb line unless otherwise noted.
- H. Temporary or permanent street barricades shall remain at all points of ingress and egress to prevent public use until such street received final acceptance.
- I. Contractor shall obtain a right-of-way permit by the Town of Addison for working within the public right-of-way.
- J. During construction, the owner shall provide a qualified geotechnical lab to perform materials testing during the construction at the request of the Town of Addison.
- K. The contractor shall submit material sheets to the Town of Addison for approval prior to incorporating materials into the job.
- L. The utility contractor shall submit to the Town of Addison for approval a trench safety plan sealed by a registered professional engineer for the installation of utilities greater than five (5) feet in depth.

NO.	DATE	REVISION

UTILITY PLAN

VELADI RANCH STEAKHOUSE

BELTLINE ROAD AT COMMERCIAL
ADDISON, TEXAS

MP MICHAEL PEEPLES
Engineers and Planners

4660 Sunbelt
Dallas, Texas 75248
(214) 248-1966

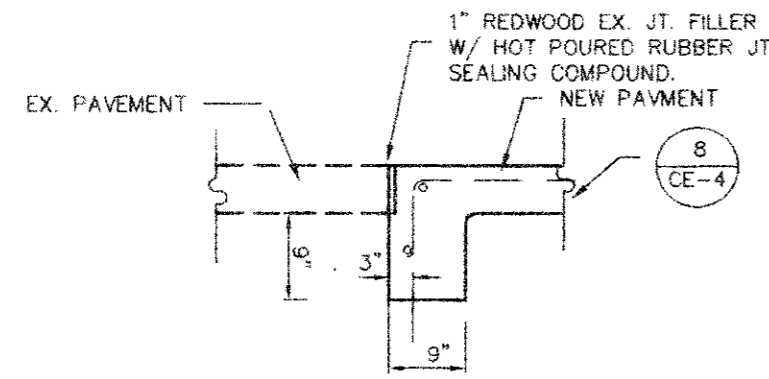
DATE: 07/25/96 DRAWN BY: MNP
DRAWING NO: ADDISON SCALE: 1" = 40'

CE-2

T. VACAVACAD/VELADI RANCH/ADDISON/ADDISON Thu Jul 25 13:25:30 1996

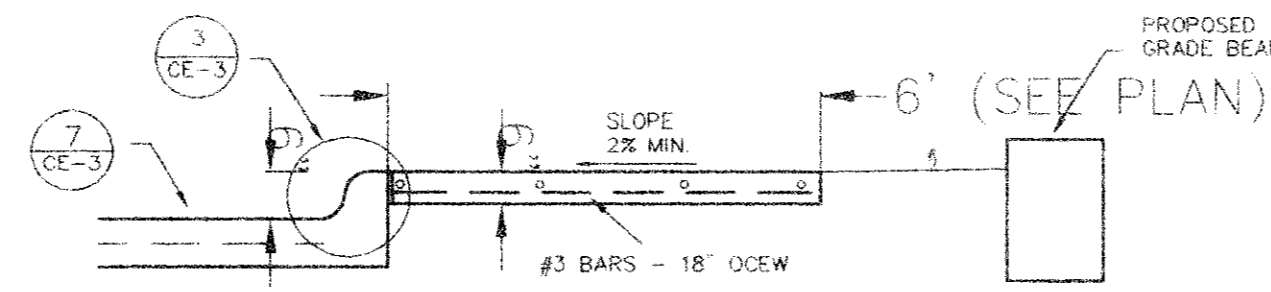
"AS BUILT"

This project was constructed in conformance to the Town of Addison Standards and Specifications, and functions as designed.

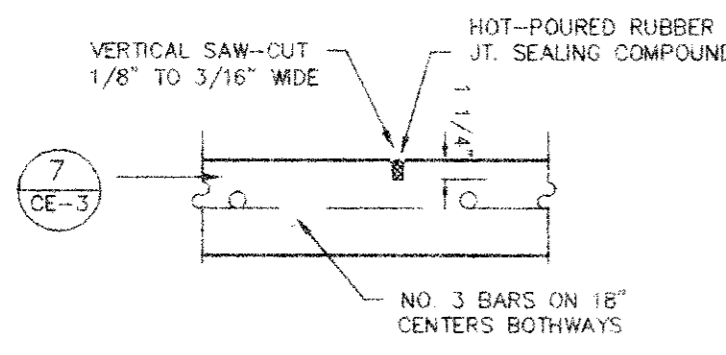


PAVEMENT BARS TO BE BENT DOWN INTO HEADER AND PAVEMENT TO BE MONOLITHIC.

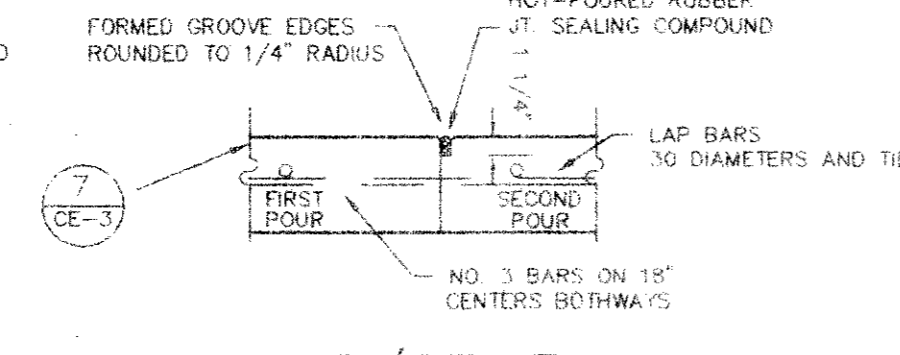
HEADER DETAIL
6/CE-3



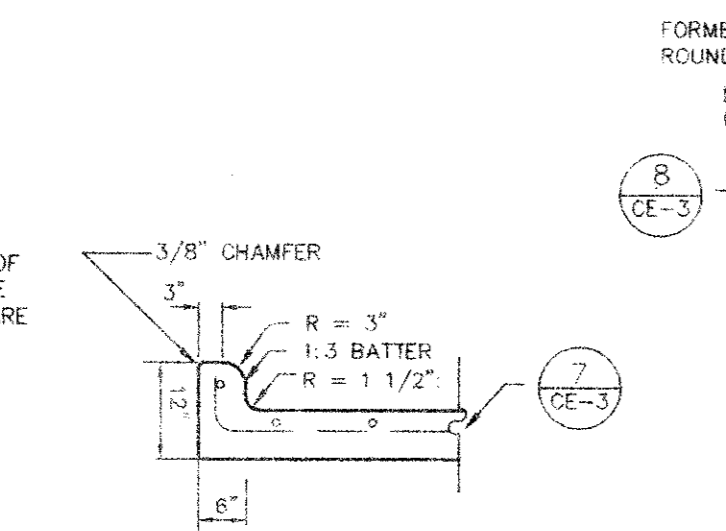
SIDEWALK ADJACENT TO BUILDING
5/CE-3



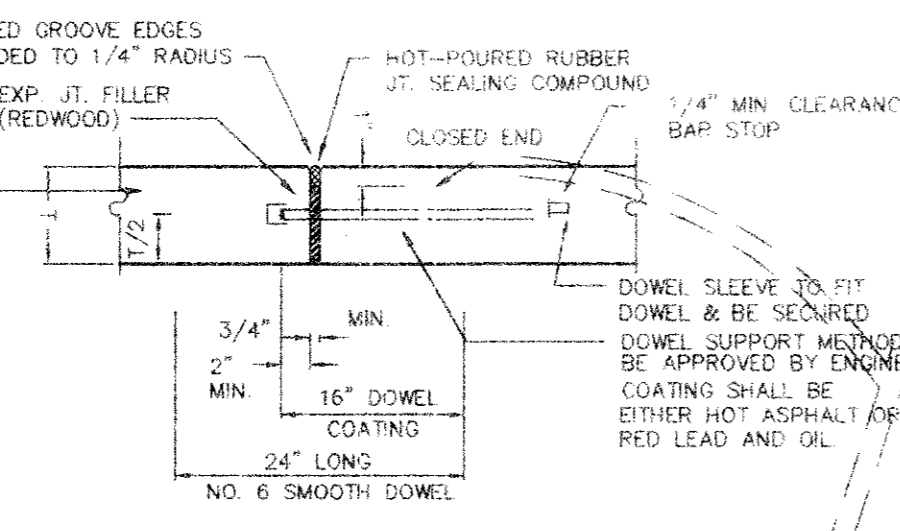
1/CE-3
SAWED DUMMY
JOINT DETAIL



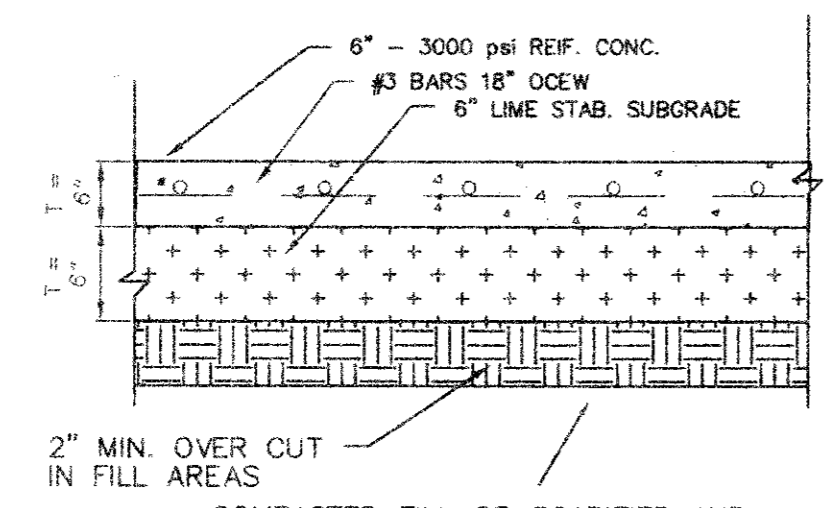
2/CE-3
CONSTRUCTION
JOINT DETAIL



3/CE-3
INTERGAL CURB &
GUTTER DETAILS



4/CE-3
TRANSVERSE EXPANSION
JOINT DETAIL



CONCRETE PAVEMENT DESIGN
7/CE-3

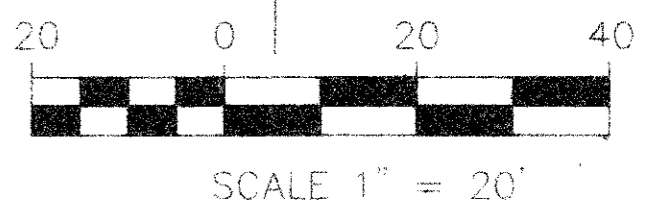
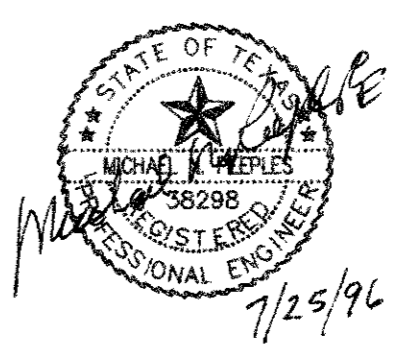
GENERAL NOTES:

- THE MINIMUM COMPRESSIVE STRENGTH OF CONCRETE AT 28 DAYS SHALL BE 3500 PSI AND SHALL BE 5 SACK MIN. CONCRETE SHALL CONFORM TO ASTM C-94 AND SHALL BE PLACED WITH A SLUMP OF 4" PLUS/MINUS 1" AIR ENTRAINMENT SHALL BE 6 TO 7% BY VOLUME. A SAND CUSHION MAY BE PLACED IF MOISTENED WITH WATER IMMEDIATELY PRIOR TO CONCRETE PLACEMENT.
- BARS SHALL CONFORM TO A.S.T.M. DESIGNATION A-615 WITH A MAXIMUM SPACING OF 18" O.C.W. SIZES AND SPACING SHALL BE INDICATED HEREIN EXCEPT SUCH ALTERNATES THAT MAY BE ALLOWED IN THE SPECIFICATIONS.
- ALL CURB AND GUTTER SHALL BE INTERCAL WITH PAVEMENT AND SHALL BE THE SAME COMPRESSIVE STRENGTH AS PAVEMENT.
- BAR LAPS SHALL BE 30 DIAMETERS.
- REFER TO THE GEOTECHNICAL INVESTIGATION DESCRIBED IN THE GEOTECHNICAL REPORT PREPARED BY BENCHMARK ENVIRONMENTAL CONSULTANTS, INC. AND IN THE APPENDIX OF THE PROJECT SPECIFICATIONS.
- THE TOP 6" OF SUBGRADE SHALL BE COMPACTED AND MIXED WITH APPROXIMATELY 5 TO 6% OF HYDRATED LIME (BY DRY WEIGHT OF 95% OF SOIL) TO A MINIMUM OF 95% OF STD. PROCTER (ASTM D-698) PLUS OR MINUS 3% ABOVE OPTIMUM IN ALL AREAS WHERE LIMESTONE OR SILTY CLAY ARE EXPOSED. THE PAVEMENT SUBGRADE SHALL BE RIPPED OR SCARIFIED TO A DEPTH OF 6" TO BREAK UP LIMESTONE LEDGES AND PROVIDE A UNIFORM BEARING SURFACE. THE SOIL AND BROKEN ROCK SHOULD BE RECOMPACTED TO AT LEAST 95% OF STD. PROCTER MIN. DRY DENSITY (ASTM D-698) AT OR WITHIN THREE PERCENTAGE POINTS OF THE MATERIALS OPTIMUM MOISTURE CONTENT.
- ALL CONCRETE SHALL BE CURED BY THE USE OF MEMBRANE CURING COMPOUND CONFORMING TO THE REQUIREMENTS OF ASTM C-309 FOR TYPE II, WHITE PIGMENTED.
- EXPANSION JOINT MATERIAL SHALL BE REDWOOD OR PREMOLDED ASPHALT AS SHOWN DRAWINGS AND JOINT SEALER SHALL BE HOT Poured RUBBER.
- PORTLAND CEMENT CONCRETE AND RELATED MATERIALS SHALL CONFORM TO ITEM 2.2 OF THE COG SPECIFICATIONS UNLESS OTHERWISE NOTED.
- PORTLAND CEMENT CONCRETE CONSTRUCTION SHALL CONFORM TO COG SPECIFICATIONS UNLESS OTHERWISE NOTED.
- DUST CONTROL: DURING CONSTRUCTION CONTRACTOR SHALL MAINTAIN SITE IN SUCH A MANNER THAT DUST SHALL BE PREVENTED FROM BLOWING ONTO ADJACENT PROPERTIES.
- EROSION CONTROL: DURING CONSTRUCTION, CONTRACTOR SHALL MAINTAIN SITE IN SUCH A MANNER THAT EROSION DOES NOT OCCUR CAUSING SILT TO FLOW ONTO ADJACENT PROPERTIES. CONTRACTOR SHALL SUBMIT IN WRITING PROPOSED EROSION CONTROL MEASURES.
- STORM WATERS: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREVENTION OF STORM WATER FLOWING FROM THE SITE DURING CONSTRUCTION BEING DIVERTED ONTO THE ADJACENT PROPERTIES IN A CONCENTRATED MANNER. IF IT IS NECESSARY DURING CONSTRUCTION TO INTERRUPT THE NATURAL DRAINAGE OF THE SURFACE, OR THE FLOW OF ARTIFICIAL DRAINS, THE CONTRACTOR SHALL PROVIDE TEMPORARY DRAINAGE FACILITIES THAT SHALL PREVENT DAMAGE TO PUBLIC OR PRIVATE FACILITIES, AND SHALL RESTORE THE ORIGINAL DRAINS AS SOON AS THE WORK IS COMPLETED.
- ALL DISTURBED AREAS SHALL BE HYDROMULCHED AND MAINTAINED UNTIL BOX GROWTH UNLESS OTHERWISE INDICATED ON THE PLANS.
- ALL AVAILABLE DATA WAS USED TO LOCATE EXISTING UTILITIES AS SHOWN ON THESE PLANS. HOWEVER, THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH ALIGNMENT, AND SIZE OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION.

C:\ACAD\ACAD12\VELADI\ADDISON\ADDISON Thu Jul 25 10:20:34 1996

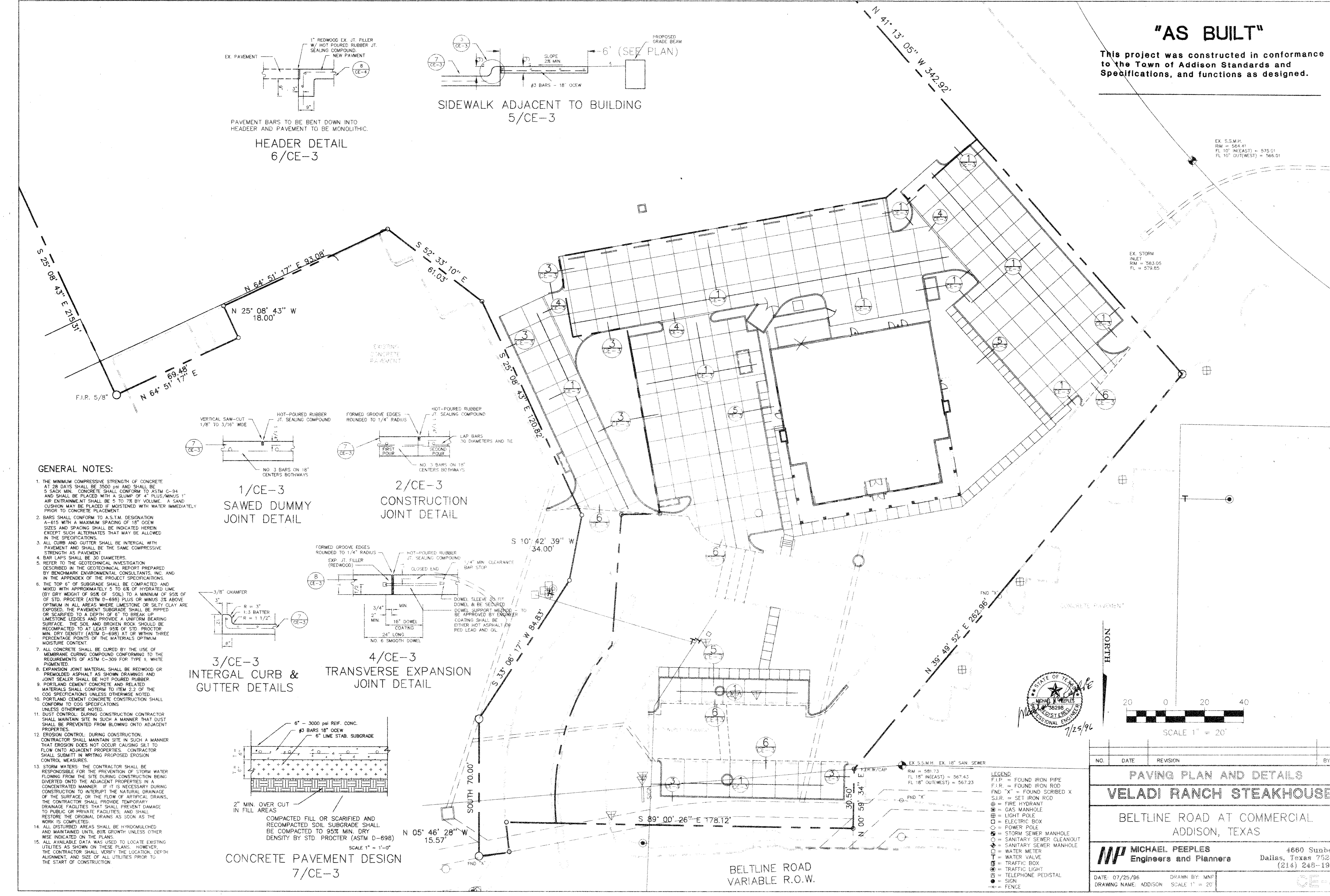
EX S.S.M.H.
RIM = 564.41
FL 10" IN(EAST) = 575.01
FL 10" OUT(WEST) = 566.01

EX. STORM
INLET
RIM = 563.05
FL = 579.85



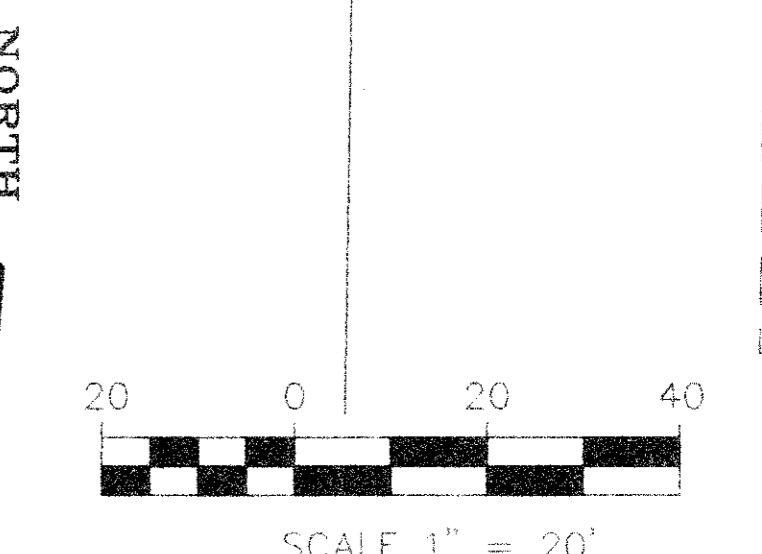
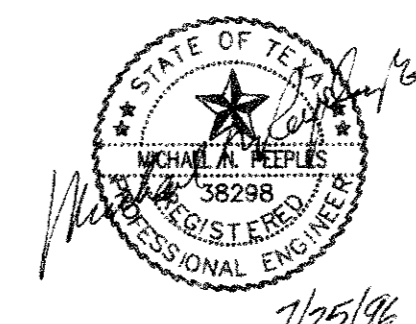
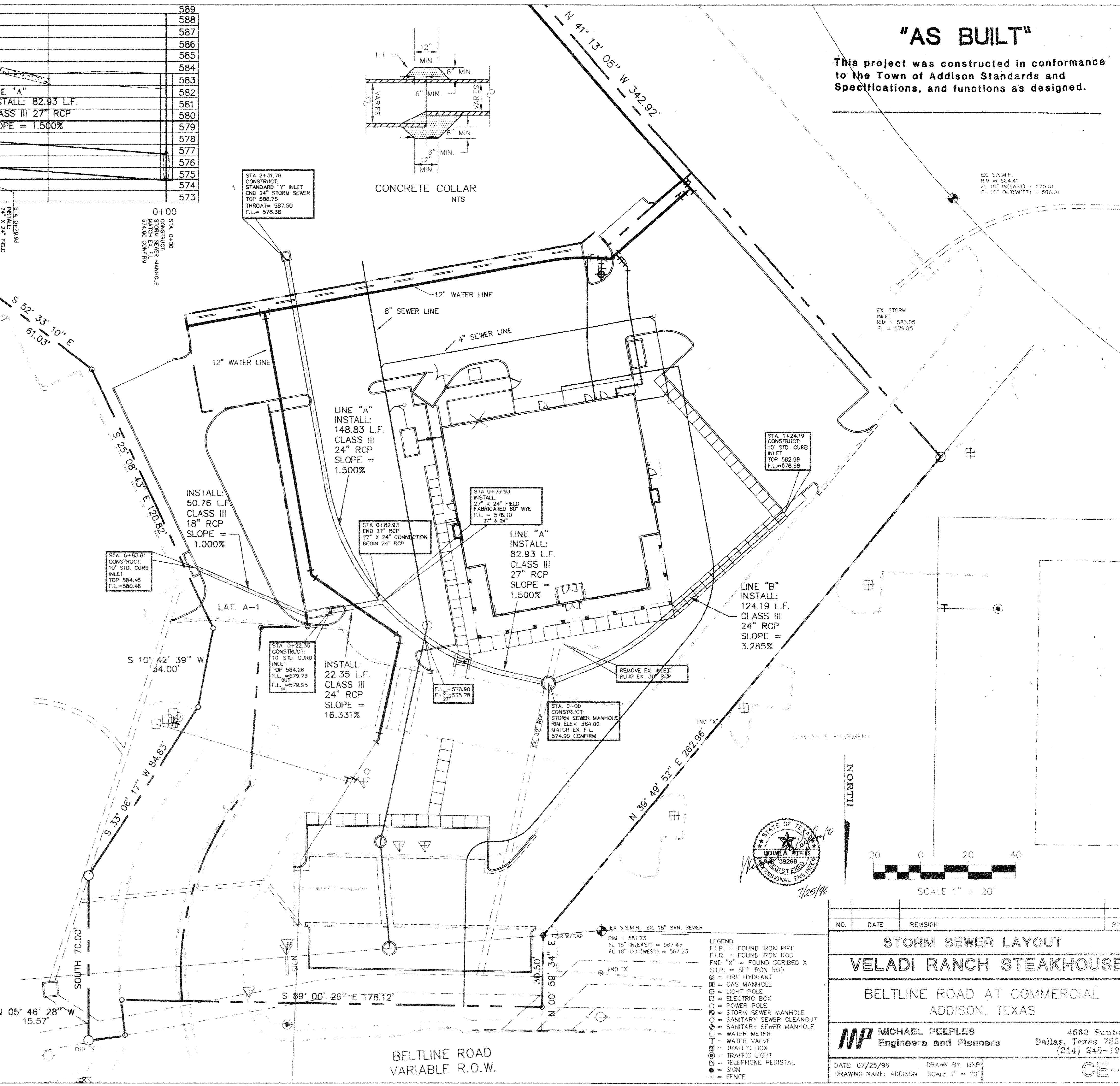
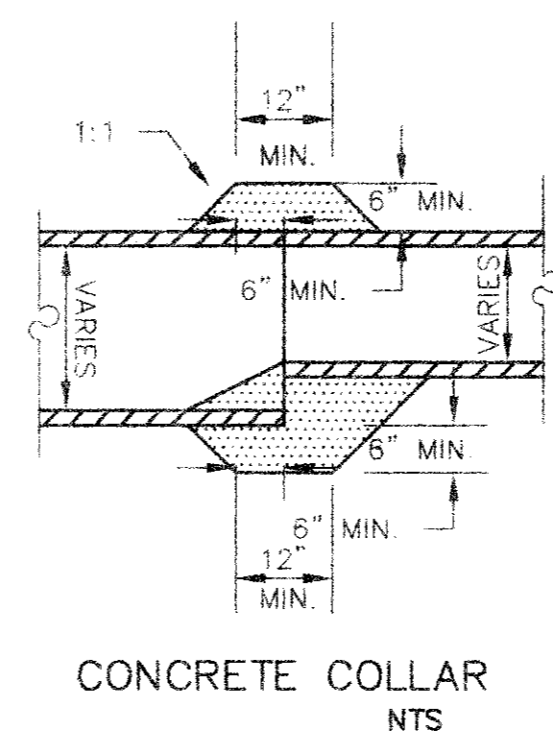
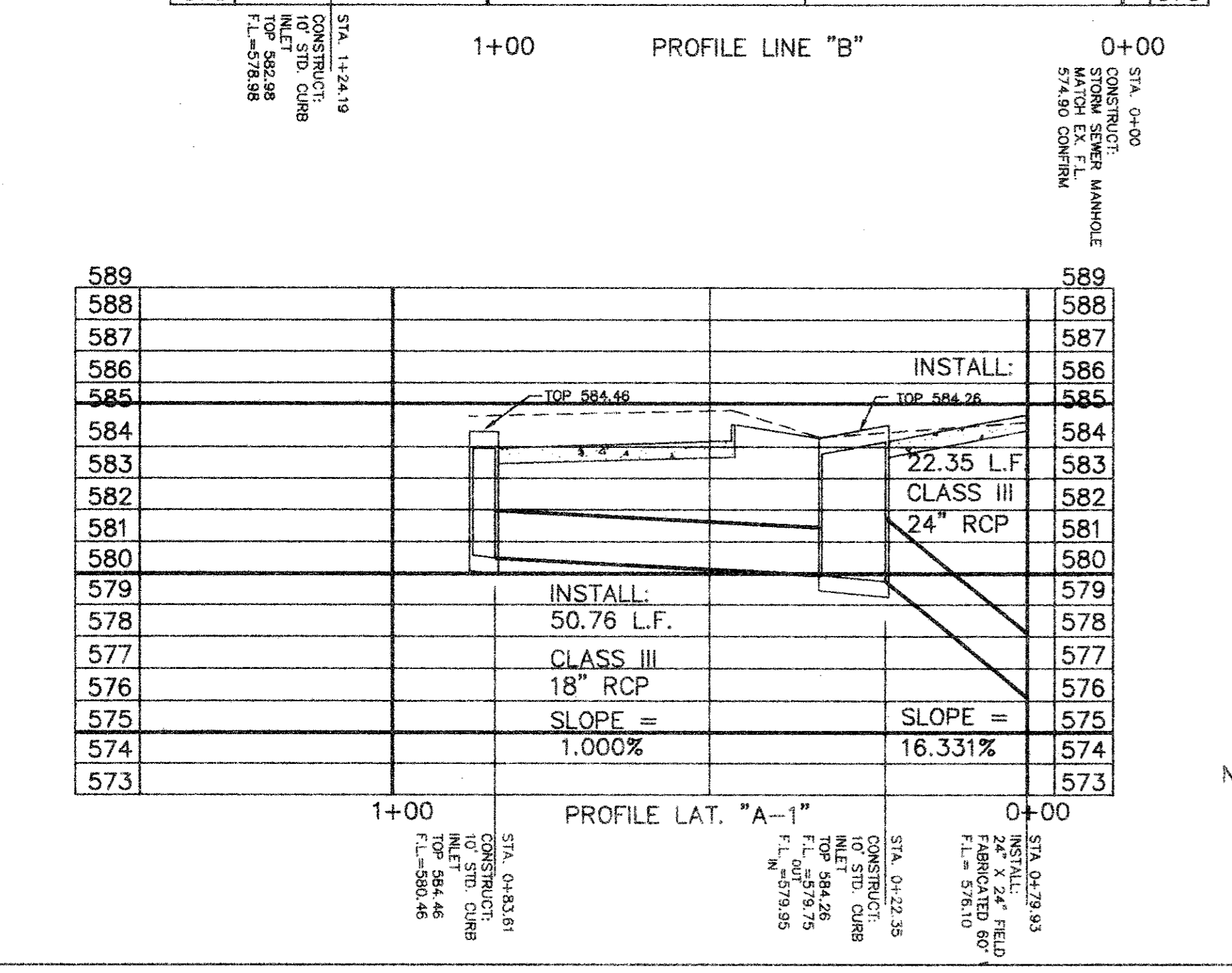
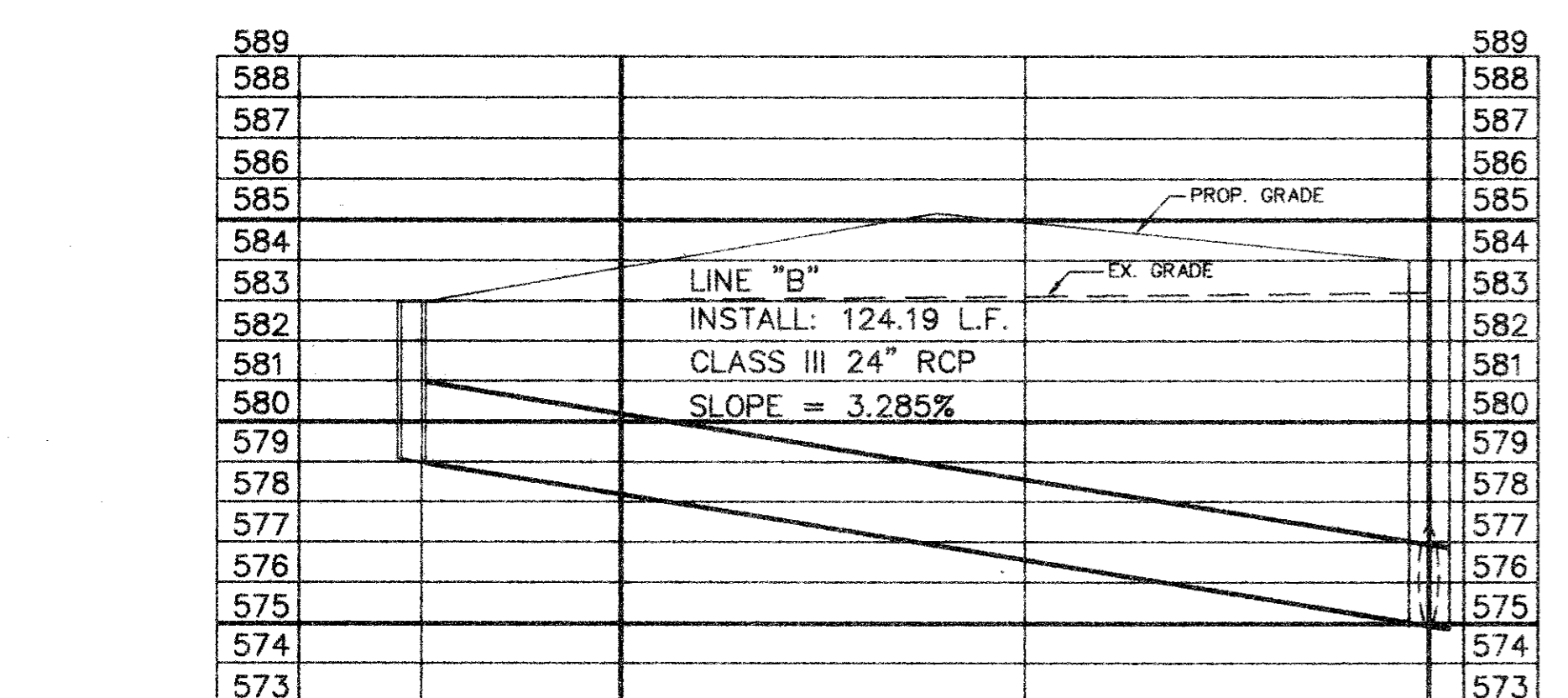
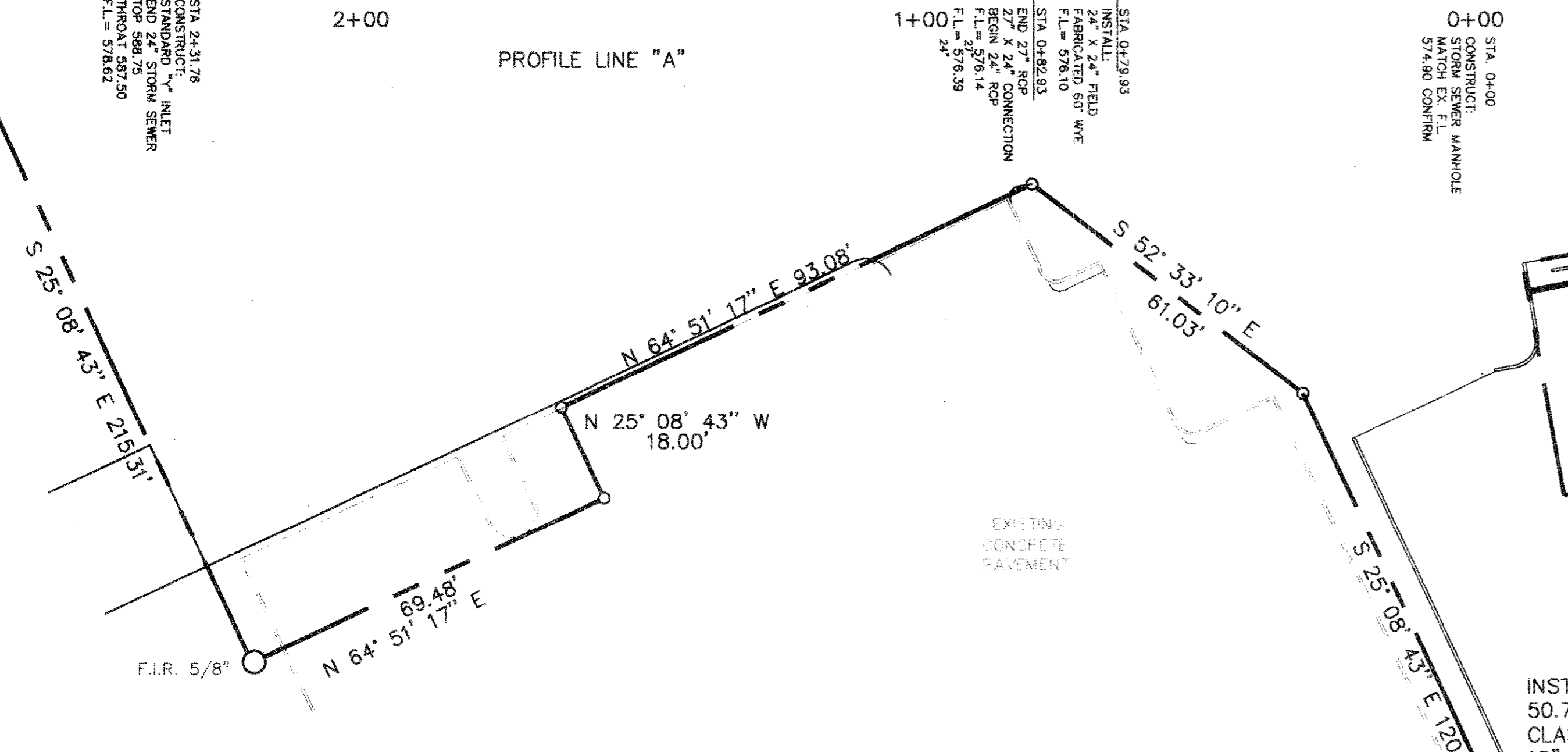
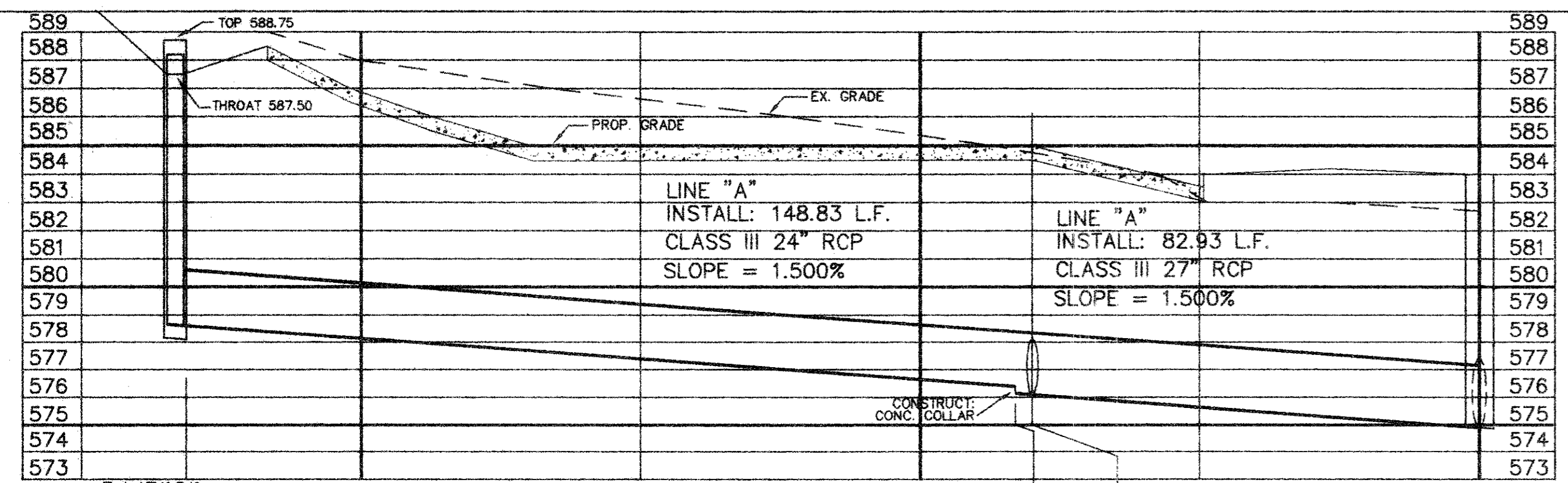
NO.	DATE	REVISION	BY
PAVING PLAN AND DETAILS			
VELADI RANCH STEAKHOUSE			
BELTLINE ROAD AT COMMERCIAL ADDISON, TEXAS			
MP MICHAEL PEEPLES Engineers and Planners		4660 Sunbelt Dallas, Texas 75248 (214) 248-1968	
DATE: 07/25/96		DRAWN BY: MNP	
DRAWING NAME: ADDISON		SCALE: 1" = 20'	

- LEGEND
- F.I.P. = FOUND IRON PIPE
 - F.I.R. = FOUND IRON ROD
 - FND "X" = FOUND SCRIBED X
 - S.I.R. = SET IRON ROD
 - ⊕ = FIRE HYDRANT
 - ⊕ = GAS MANHOLE
 - ⊕ = LIGHT POLE
 - ⊕ = ELECTRIC BOX
 - ⊕ = POWER POLE
 - ⊕ = STORM SEWER MANHOLE
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 - = FENCE



"AS BUILT"

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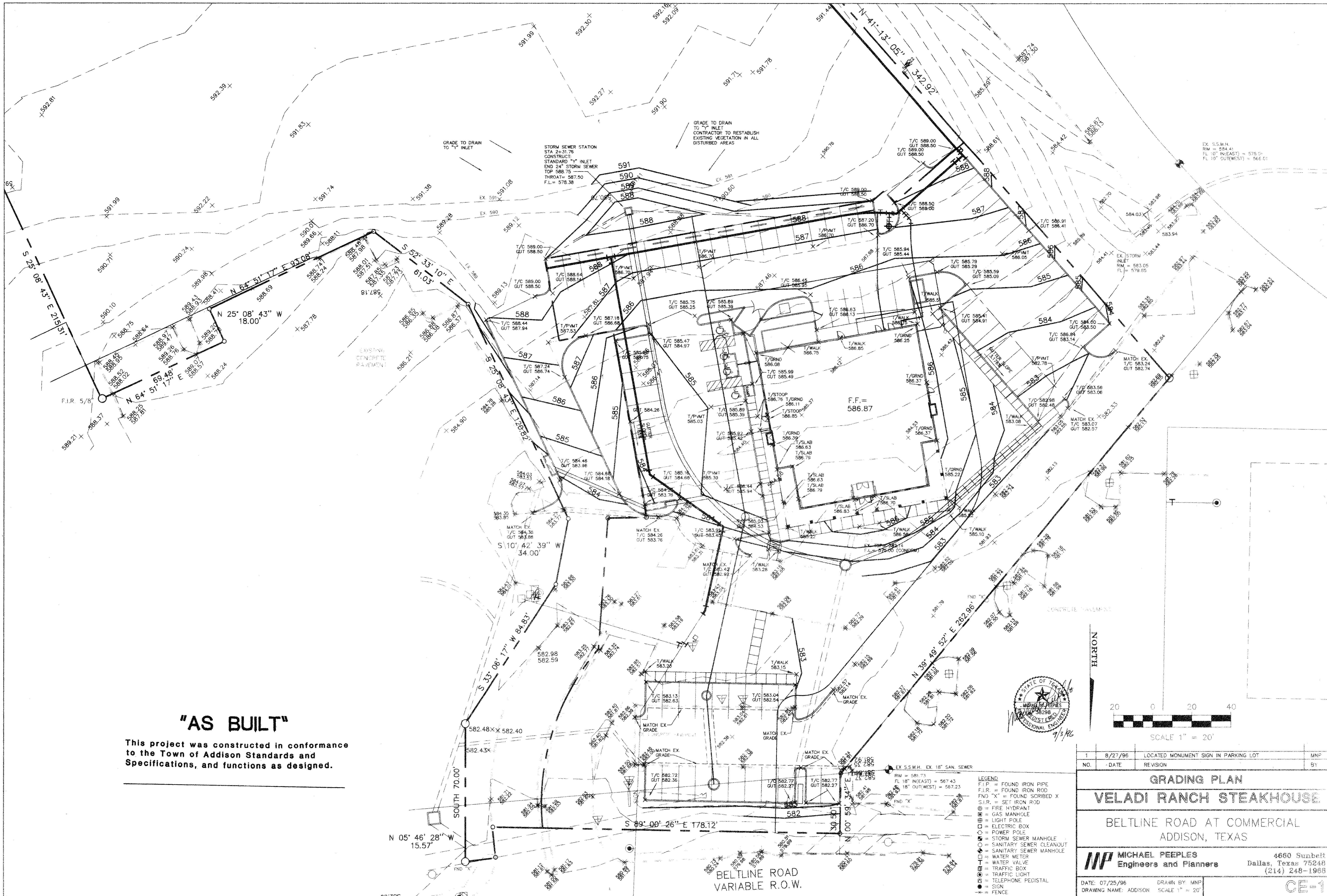


NO.	DATE	REVISION	BY

STORM SEWER LAYOUT
VELADI RANCH STEAKHOUSE
 BELTLINE ROAD AT COMMERCIAL
 ADDISON, TEXAS

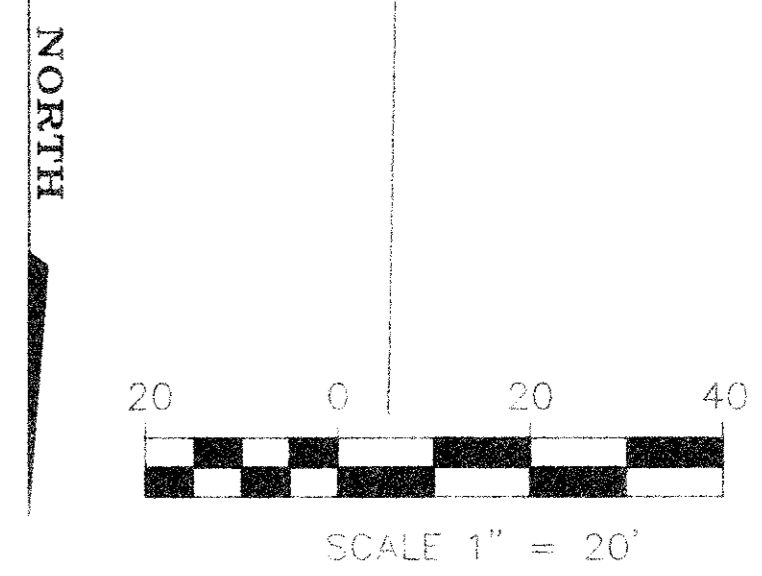
MP MICHAEL PEEPLES Engineers and Planners
 4660 Sunbelt
 Dallas, Texas 75248
 (214) 248-1968

DATE: 07/25/96 DRAWN BY: MNP
 DRAWING NAME: ADDISON SCALE 1" = 20'



"AS BUILT"

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NO.	DATE	REVISION	MNP
1	8/27/96	LOCATED MONUMENT SIGN IN PARKING LOT	MNP

GRADING PLAN
VELADI RANCH STEAKHOUSE

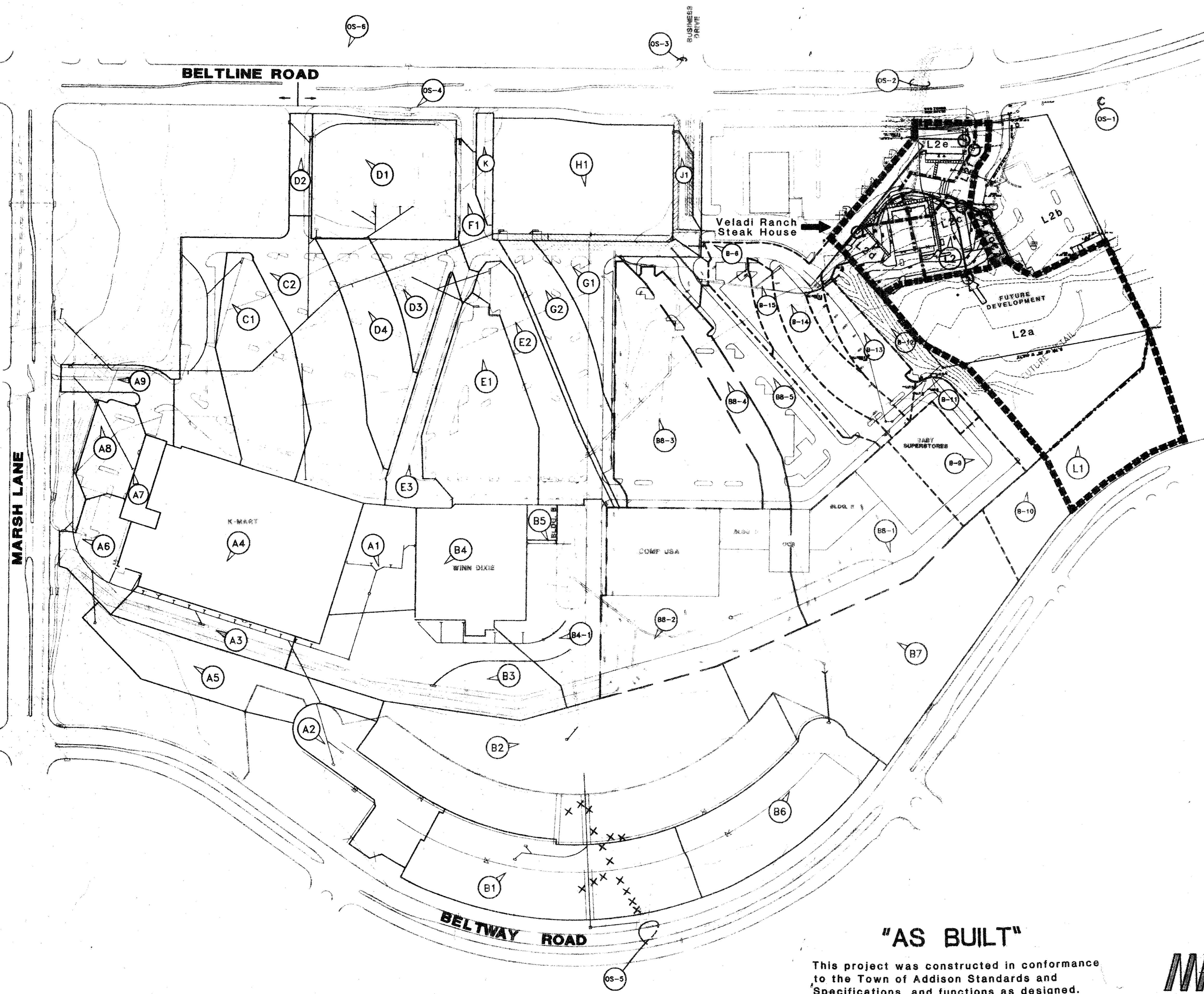
BELTLINE ROAD AT COMMERCIAL
ADDISON, TEXAS

MPP MICHAEL PEEPLES
Engineers and Planners

4660 Sunbelt
Dallas, Texas 75248
(214) 248-1968

DATE: 07/25/96 DRAWN BY: MNP
DRAWING NAME: ADDISON SCALE 1" = 20'

CE-1



VELADI RANCH STEAK HOUSE
DRAINAGE SUMMARY

AREA	ACRES	C	I100	Q100	ACCUM	REMARKS
L1	0.90	0.45	7.70	3.12	3.12	Future Park
L2a	2.97	0.90	8.74	23.36	26.48	Prop. 3'x3' Type "Y" Inlet to 24" RCP (28 cfs cap.)
L2b	0.94	0.90	8.74	7.40	-	IHOP
L2b-1	0.06	0.90	8.74	0.47	0.47	Prop. 10" Inlet to 18" RCP
L2c	0.41	0.90	8.74	3.23	30.18	Prop. 10" Inlet to 27" RCP (37 cfs cap.)
L2d	0.37	0.90	8.74	2.91	33.09	Prop. 10" Inlet to 30" RCP (existing)
L2e	0.54	0.90	8.74	4.25	4.25	ex. 10" curb inlet
L2f	0.27	0.90	8.74	2.12	6.37	ex. 10" curb inlet
L2						
TOTAL	5.56			43.74		

DRAINAGE SUMMARY

AREA	ACRES	C	I100	Q100	REMARKS
A1	0.68	0.9	8.74	5.35	INC. ROOF DRAIN-BLDG. A
A2	0.87	0.5	8.74	3.80	FROM RES. SUBD.
A3	0.56	0.9	8.74	4.40	TO 10" C.I.
A4	2.69	0.9	8.74	21.13	KMART ROOF DRAINAGE
A5	1.18	0.4	7.70	3.60	PARK AREA
A6	0.48	0.9	8.74	3.65	TO 10" C.I.
A7	0.15	0.9	8.74	1.61	GARDEN SHOP DRAINAGE
A8	0.44	0.9	8.74	3.48	TO 6" C.I.
A9	0.56	0.9	8.74	2.83	TO 6" C.I.
B1	1.96	0.5	8.74	8.56	FROM SUBD. TO 54"
B2	4.45	0.45	7.70	15.40	PARK AREA
B3	1.46	0.9	8.74	11.48	TO 14" C.I.
B4	1.24	0.9	8.74	9.75	WINN-DIXIE ROOF DRAIN
B4-1	1.84	0.9	8.74	14.75	8" GRATE INLET
B5	0.10	0.9	8.74	0.79	BLDG. 9 ROOF DRAIN
B6	1.44	0.5	8.74	6.29	FROM SUBD. (6" C)
B7	2.75	0.4	7.70	8.16	FUTURE PARK TO 3x3 DROP
B8-1	1.51	0.9	8.74	11.88	TO 10" C.I.
B8-2	2.81	0.9	8.74	22.10	TO 2X10' CI
B8-3	2.06	0.9	8.74	16.36	TO 14" CI
B8-4	0.83	0.9	8.74	4.87	TO 8" CI
B8-5	1.08	0.9	8.74	8.50	TO 10" CI
B8-6	0.57	0.9	8.74	4.50	TO EX. 10" C.I.
B-9	0.73	0.90	8.74	5.7	TO 8" FLUME
B-10	0.48	0.40	7.70	1.9	TO PROP. SWALE (PARK)
B-11	0.21	0.90	8.74	1.7	TO 5" FLUME
B-12	0.57	0.90	8.74	4.5	PROP. SWALE TO 3'x3' D.I.
B-13	0.44	0.90	8.74	3.5	TO 10" C.I.
B-14	0.57	0.90	8.74	4.5	TO 10" C.I.
B-15	0.46	0.90	8.74	3.6	TO 10" C.I.
C1	1.22	0.9	8.74	9.80	TO 10" C.I.
C2	2.64	0.9	8.74	20.80	TO 20" C.I.
D1	1.66	0.9	8.74	13.06	FUTURE LOT 1, BLK D
D2	0.21	0.9	8.74	1.57	TO 6" C.I.
D3	0.61	0.9	8.74	4.80	TO 10" C.I.
D4	0.93	0.9	8.74	7.31	TO 10" C.I.
E1	1.58	0.9	8.74	12.43	TO 10" C.I.
E2	0.88	0.9	8.74	6.92	TO 10" C.I.
E3	0.60	0.9	8.74	4.72	TO 10" C.I.
F1	0.53	0.9	8.74	4.17	TO 6" C.I.
G1	0.55	0.9	8.74	4.33	TO 10" C.I.
G2	0.85	0.9	8.74	6.69	TO 10" C.I.
H1	2.00	0.9	8.74	15.73	FUTURE LOT 2
J1	0.18	0.9	8.74	1.42	TO EXIST. INLET
K	0.12	0.9	8.74	0.94	TO BELT LINE ROAD
L1	0.90	0.45	7.70	3.12	FUTURE PARK
L2	5.56	0.9	8.74	43.74	FUTURE RETAIL
OS-1	175.00	0.60	6.8	714	FROM 96" RCP
OS-2	414.00	0.80	4.8	1590	FROM AREA N. OF BELT LINE
OS-3	16.73	0.90	7.7	116	54" (BUSINESS DR.)
OS-4	01.14	0.90	8.7	9	FROM BELT LINE RD.
OS-5	62.00	0.52	7.6	246	4" GRATE INLET
OS-6	17.60	0.90	7.7	122	54" TO LOW PT. @ BELTLINE

"AS BUILT"

This project was constructed in conformance to the Town of Addison Standards and Specifications, and functions as designed.

MP MICHAEL PEEPLES
Engineers and Planners
(214) 248-1968
4650 Sunbelt Dallas, Texas 75248



2 8/13/88 ADDED VELADI RANCH STEAK HOUSE						
1 12/17/84 ADDED BABY SUPERSTORES						
REV. DATE						
DRAINAGE AREA MAP						
Veladi Ranch Steak House						
ADDISON TOWN CENTER						
TOWN OF ADDISON, TEXAS						
MICHAEL PEEPLES Engineers & Planners CONSULTING ENGINEERS DALLAS, TEXAS						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
			1"=100'			

CREDIT NOTE: Base Drainage Map for Addison Town Center from "As Built" Plan by LAWRENCE A. GATES & ASSOC., Consulting Engineers, Dallas, Texas, 5/12/94.

"AS BUILT"

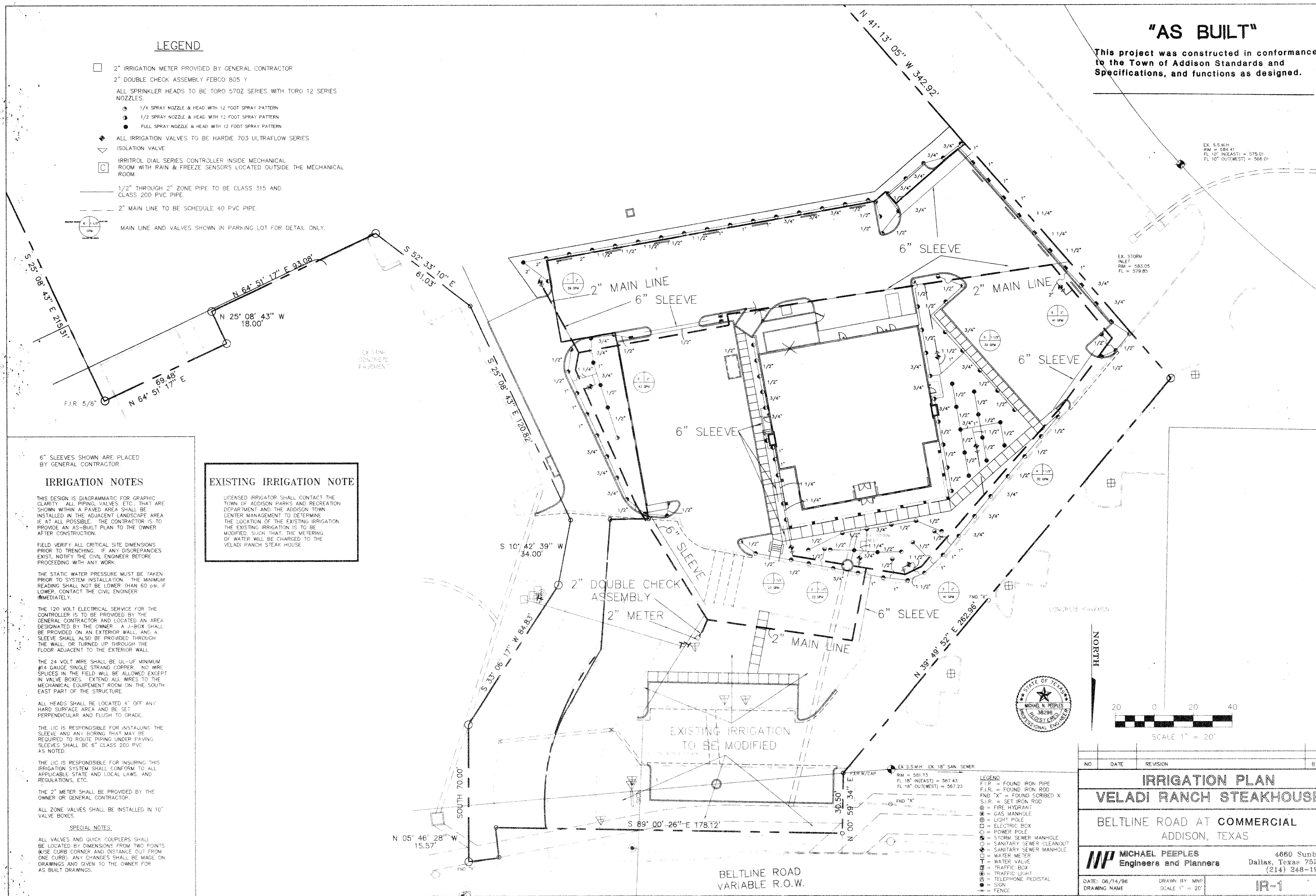
This project was constructed in conformance to the Town of Addison Standards and Specifications, and functions as designed.

LEGEND

- 2" IRRIGATION METER PROVIDED BY GENERAL CONTRACTOR
- 2" DOUBLE CHECK ASSEMBLY FEBCO 805 Y
- ALL SPRINKLER HEADS TO BE TORO 570Z SERIES WITH TORO 12 SERIES NOZZLES.
 - 1/4 SPRAY NOZZLE & HEAD WITH 12 FOOT SPRAY PATTERN
 - 1/2 SPRAY NOZZLE & HEAD WITH 12 FOOT SPRAY PATTERN
 - FULL SPRAY NOZZLE & HEAD WITH 12 FOOT SPRAY PATTERN
- ◆ ALL IRRIGATION VALVES TO BE HARDIE 703 ULTRAFLOW SERIES
- ▽ ISOLATION VALVE
- IRRITROL DIAL SERIES CONTROLLER INSIDE MECHANICAL ROOM WITH RAIN & FREEZE SENSORS LOCATED OUTSIDE THE MECHANICAL ROOM.
- 1/2" THROUGH 2" ZONE PIPE TO BE CLASS 315 AND CLASS 200 PVC PIPE.
- 2" MAIN LINE TO BE SCHEDULE 40 PVC PIPE.
- MAIN LINE AND VALVES SHOWN IN PARKING LOT FOR DETAIL ONLY.

EX. S.S.M.H.
RM = 584.41
FL 10" IN(EAST) = 575.01
FL 10" OUT(WEST) = 566.01

EX. STORM INLET
RM = 583.05
FL = 579.85



6" SLEEVES SHOWN ARE PLACED BY GENERAL CONTRACTOR.

IRRIGATION NOTES

THIS DESIGN IS DIAGRAMMATIC FOR GRAPHIC CLARITY. ALL PIPING, VALVES, ETC., THAT ARE SHOWN WITHIN A PAVED AREA SHALL BE INSTALLED IN THE ADJACENT LANDSCAPE AREA IF, AT ALL POSSIBLE. THE CONTRACTOR IS TO PROVIDE AN AS-BUILT PLAN TO THE OWNER AFTER CONSTRUCTION.

FIELD VERIFY ALL CRITICAL SITE DIMENSIONS PRIOR TO TRENCHING. IF ANY DISCREPANCIES EXIST, NOTIFY THE CIVIL ENGINEER BEFORE PROCEEDING WITH ANY WORK.

THE STATIC WATER PRESSURE MUST BE TAKEN PRIOR TO SYSTEM INSTALLATION. THE MINIMUM READING SHALL NOT BE LOWER THAN 60 PSI. IF LOWER, CONTACT THE CIVIL ENGINEER IMMEDIATELY.

THE 120 VOLT ELECTRICAL SERVICE FOR THE CONTROLLER IS TO BE PROVIDED BY THE GENERAL CONTRACTOR AND LOCATED AN AREA DESIGNATED BY THE OWNER. A J-BOX SHALL BE PROVIDED ON AN EXTERIOR WALL, AND A SLEEVE SHALL ALSO BE PROVIDED THROUGH THE WALL, OR TURNED UP THROUGH THE FLOOR ADJACENT TO THE EXTERIOR WALL.

THE 24 VOLT WIRE SHALL BE UL-UP MINIMUM #14 GAUGE SINGLE STRAND COPPER. NO WIRE SPLICES IN THE FIELD WILL BE ALLOWED EXCEPT IN VALVE BOXES. EXTEND ALL WIRES TO THE MECHANICAL EQUIPMENT ROOM ON THE SOUTH EAST PART OF THE STRUCTURE.

ALL HEADS SHALL BE LOCATED 4" OFF ANY HARD SURFACE AREA AND BE SET PERPENDICULAR AND FLUSH TO GRADE.

THE LIC IS RESPONSIBLE FOR INSTALLING THE SLEEVE AND ANY BORING THAT MAY BE REQUIRED TO ROUTE PIPING UNDER PAVING. SLEEVES SHALL BE 6" CLASS 200 PVC AS NOTED.

THE LIC IS RESPONSIBLE FOR INSURING THIS IRRIGATION SYSTEM SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL LAWS, AND REGULATIONS, ETC.

THE 2" METER SHALL BE PROVIDED BY THE OWNER OR GENERAL CONTRACTOR.

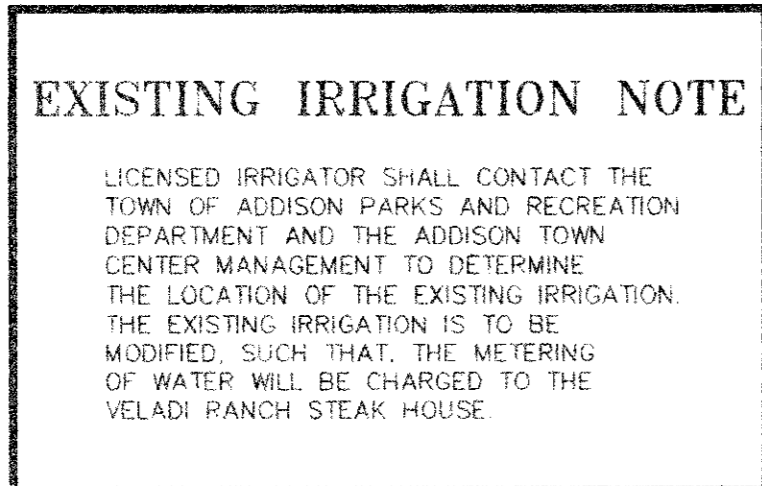
ALL ZONE VALVES SHALL BE INSTALLED IN 16" VALVE BOXES.

SPECIAL NOTES

ALL VALVES AND QUICK COUPLERS SHALL BE LOCATED BY DIMENSIONS FROM TWO POINTS (USE CURB CORNER AND DISTANCE OUT FROM ONE CURB). ANY CHANGES SHALL BE MADE ON DRAWINGS AND GIVEN TO THE OWNER FOR AS BUILT DRAWINGS.

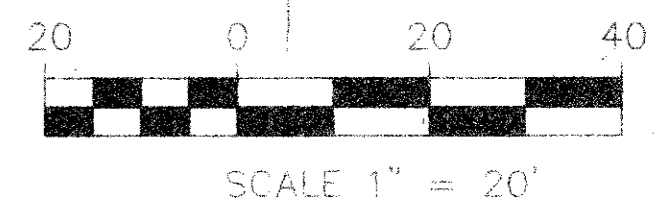
EXISTING IRRIGATION NOTE

LICENSED IRRIGATOR SHALL CONTACT THE TOWN OF ADDISON PARKS AND RECREATION DEPARTMENT AND THE ADDISON TOWN CENTER MANAGEMENT TO DETERMINE THE LOCATION OF THE EXISTING IRRIGATION. THE EXISTING IRRIGATION IS TO BE MODIFIED SUCH THAT THE METERING OF WATER WILL BE CHARGED TO THE VELADI RANCH STEAK HOUSE.



- LEGEND
- FOUND IRON PIPE
 - FOUND IRON ROD
 - FOUND IRON ROD
 - SET IRON ROD
 - FIRE HYDRANT
 - GAS MANHOLE
 - LIGHT POLE
 - ELECTRIC BOX
 - POWER POLE
 - STORM SEWER MANHOLE
 - SANITARY SEWER CLEANOUT
 - WATER METER
 - WATER VALVE
 - TRAFFIC BOX
 - TRAFFIC LIGHT
 - TELEPHONE PEDISTAL
 - SIGN
 - FENCE

NORTH



NO.	DATE	REVISION	BY

IRRIGATION PLAN VELADI RANCH STEAKHOUSE

BELTLINE ROAD AT COMMERCIAL
ADDISON, TEXAS

MICHAEL PEEPLES
Engineers and Planners
4660 Sunbelt
Dallas, Texas 75248
(214) 248-1968

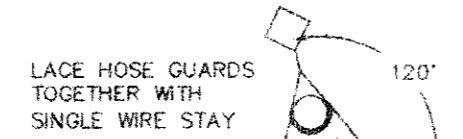
DATE: 06/14/98 DRAWN BY: MNP
DRAWING NAME: SCALE 1" = 20' IR-1

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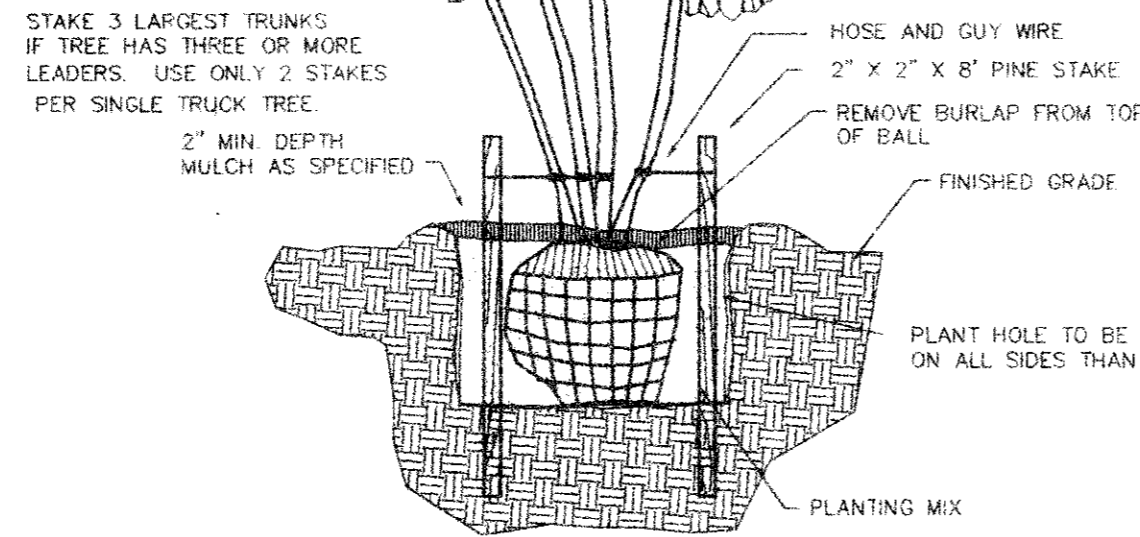
PLANT MATERIALS LIST

Common/Botanical Name	Size	Quantity	Spacing	Remarks
Crape Myrtle/Lagerstroemia indica 'potomac'	10' ht.	4	As Shown	Min. 3-trunks
Dwarf Barbary/Berberis thunbergii 'Crimson Pygmy'	5 gallon	65	As Shown	Full plants, min. 24" n.t.
Nandina 'Gulfstream'/Nandina domestica 'Gulfstream'	3 gallon	44	As Shown	Full plants, well rooted
Indian Hawthorn/Rathiolepis indica 'Clara'	5 gallon	61	As Shown	Full plants, min. 24" ht.
Dwarf Wax Myrtle/Myrica Cerifera 'Nana'	5 gallon (bush)	214	As Shown	30" min. ht., 18" min. spread
Burford Holly/Ilex cornuta	5 gallon	69	As Shown	30" min. ht., 18" min. spread
Ophiopogon japonicus/Mondo grass	1 gallon	375	12" o.c.	min. 1 1/2" root zone
Live Oak/Quercus Virginiana	4" Single Trunk	6	As Shown	16-18" min. ht., 6" min. spread
Shumard Red Oak/Quercus shumardii	4" Single Trunk	5	As Shown	16-18" min. ht., 6" min. spread
Bradford Pear/Pyrus Calleryana 'Bradford'	3" Single Trunk	21	As Shown	12-14" min. ht., 6" min. spread
Chinese Pistache/Pistacia chinensis	4" Single Trunk	2	As Shown	16-18" min. ht., 6" min. spread
Bermuda grass/Cynodon dactylon	Sod	As Shown	Solid	
Annual Color Beds	4"	175 S.F.	As Shown	Plant 6" O.C.

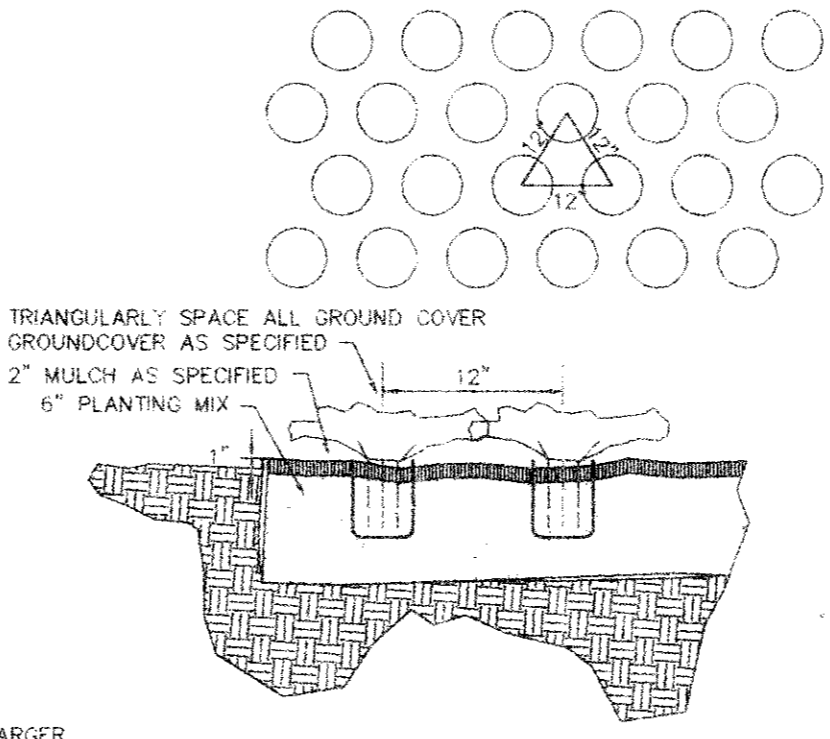
NOTE: PLANT MATERIALS LIST IS TO SHOW THE PROPER PLANT NAME, SIZE AND PLANTING COMMENTS. THE LANDSCAPE CONTRACTOR IS TO PLANT THE NUMBER OF PLANTS AND TREES SHOWN ON THE PLAN. THE CONTRACTOR SHALL DETERMINE BY HIS/HER OWN COUNT THE NUMBER OF PLANTS REQUIRED FOR THE PLAN OF THE PLANTING AND USE THIS LIST AND TO NUMBER AND LOCATION FOR A CHECK OF THE CONTRACTOR'S OWN COUNT OF THE PLANT MATERIALS.



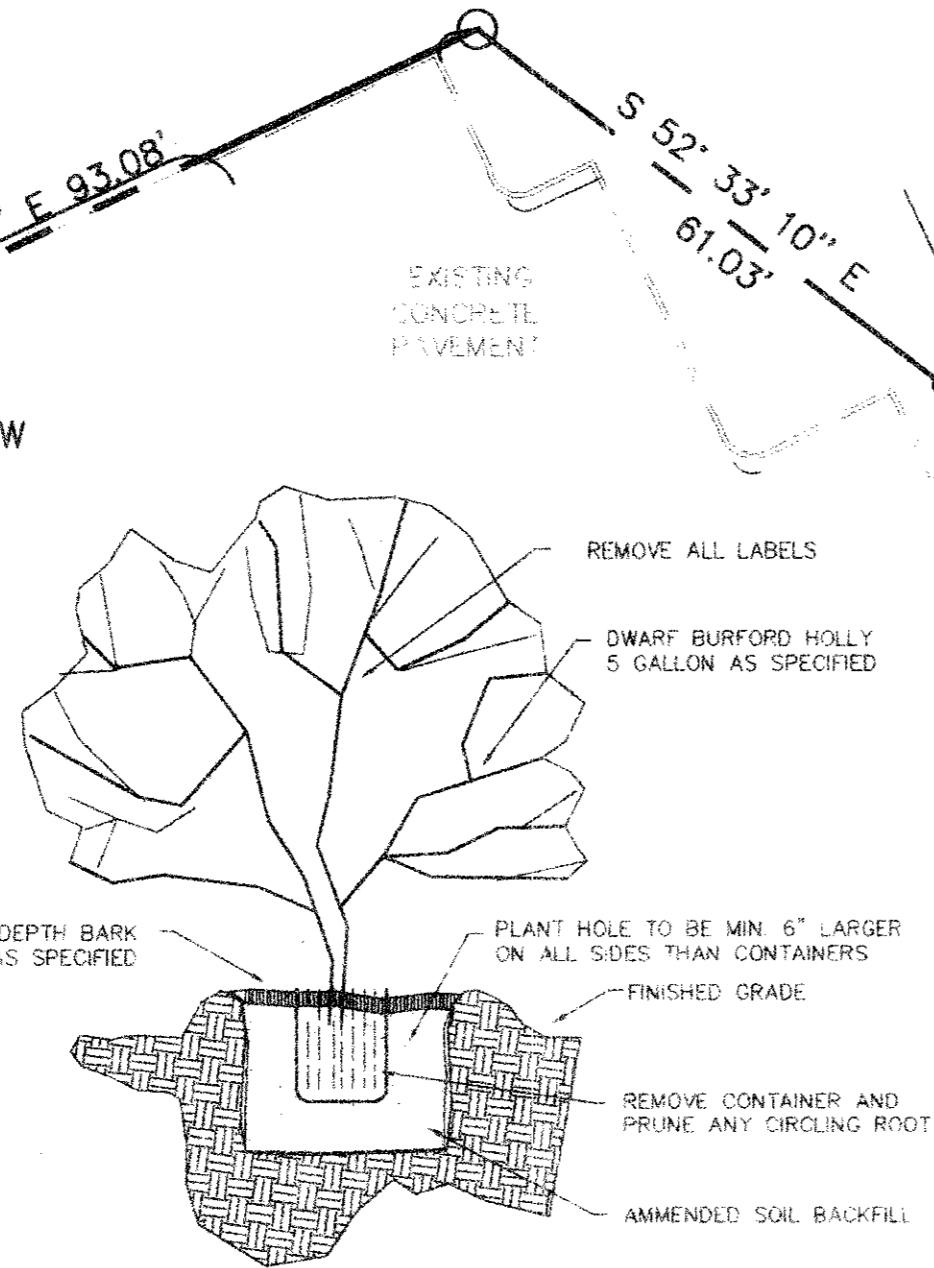
PLAN VIEW



GROUNDCOVER PLANTING DETAIL



ORNAMENTAL TREE PLANTING DETAIL



POCKET-PLANTED SHRUB DETAIL

EXISTING PLANT MATERIAL LIST

Common/Botanical Name	Quantity
Live Oak/Quercus Virginiana	2
Cedar Elm/Ulmus crassifolia	2
Bradford Pear/Pyrus calleryana 'Bradford'	5
Mexican Plum/Prunus species	3
Tam Juniper/Juniperus chinensis	N/A
Nandina 'Gulfstream'/Nandina domestica 'Gulfstream'	N/A
Asian Jasmine/Trachelospermum asiaticum	N/A

LANDSCAPE NOTES

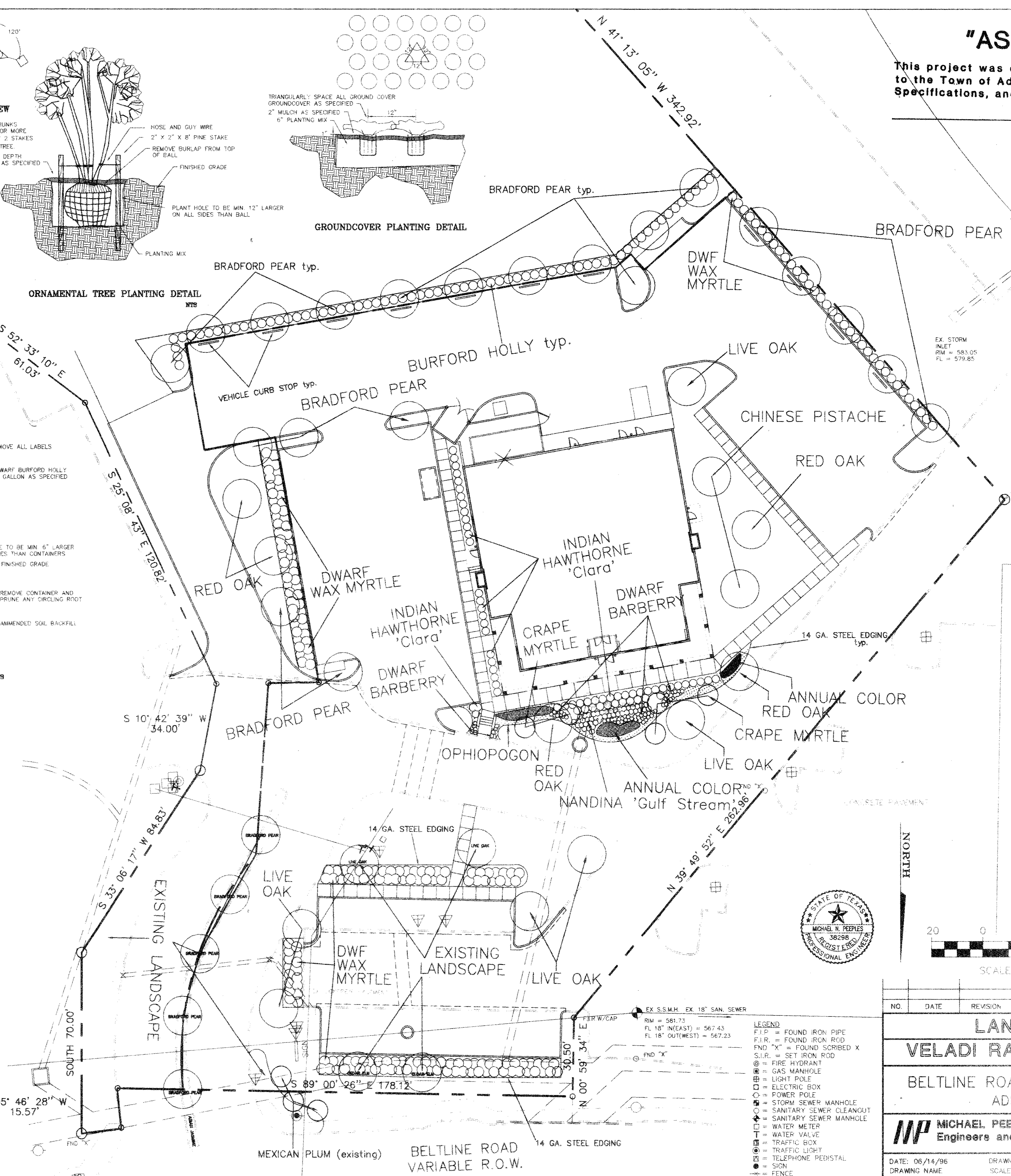
- THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL LINES, UNDERGROUND UTILITIES, PIPES AND STRUCTURES WHETHER OR NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION OF ALL UNDERGROUND UTILITIES AND WILL BE RESPONSIBLE FOR COSTS INCURRED DUE TO DAMAGE OR REPLACEMENT OF SAID LINES, UTILITIES OF STRUCTURES CAUSED BY HIS FORCES.
- DO NOT WILLFULLY PROCEED WITH CONSTRUCTION, AS DESIGNED, WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS OR CONFLICTS EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- THE CROWN OF ALL PLANTS SHALL BE SLIGHTLY HIGHER, AFTER SETTLING, THAN ADJACENT SOIL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING OR ADDING TOP SOIL AS NEEDED FOR THE INCLUSION OF THE SOIL AMENDMENTS AS NEEDED IN THE PREPARED GROUND COVER BEDS.
- ALL GROUND COVERS ARE TO BE ALIGNED IN STRAIGHT EVEN ROWS AND TRIANGULARLY SPACED AT THE SPACING SHOWN ON THE PLANT LIST.
- SEE THE TECHNICAL SPECIFICATIONS AND DETAILS FOR TREE PLANTING AND EXECUTION.
- ALL PLANTING BEDS AND TREE PITS ARE TO RECEIVE A MINIMUM OF 2" OF MULCH TOP DRESSING, AS SPECIFIED. SAVE THIS OPERATION UNTIL NEAR FINAL INSPECTION.
- ALL SHRUBS PLANTED UNDER THIS CONTRACT ARE TO BE POCKET-PLANTED PER DETAILS.
- ALL EXCESS EXCAVATION IS TO BE REMOVED AND DISPOSED OFF SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL IRRIGATION CHANGES AND MODIFICATIONS AS CALLED OUT ON THE PLANS AND CROSS SECTIONS.
- ALL WORK SHALL BE GUARANTEED AGAINST ALL DEFECTS IN WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE.
- ALL SINGLE TRUNK TREES ARE TO BE STAKED; HOSE AND GUY WIRES OVERLAPPED.
- COVER AREAS TO BE PLANTED WITH 3" APPROVED ORGANIC MATTER, 1" PINE BARK MULCH, AND 15-5-10 FERTILIZER AT THE RATE OF 15 LBS. PER 1000 SQUARE FEET OF BED AREA. AFTER SPREADING SOIL AMMENDMENTS IN BED AREAS, TILL TO A DEPTH OF 8".

"AS BUILT"

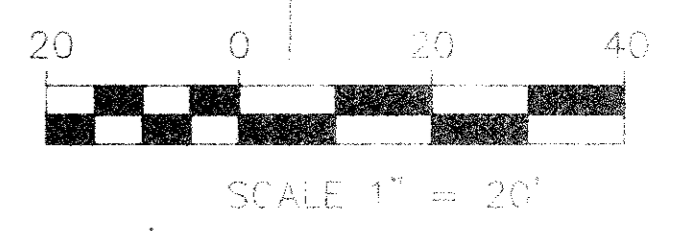
This project was constructed in conformance to the Town of Addison Standards and Specifications, and functions as designed.

EX. S.S.M.H. INLET RM = 584.41 FL 10' IN(EAST) = 576.01 FL 10' OUT(WEST) = 566.01

EX. STORM INLET RM = 583.05 FL = 579.65



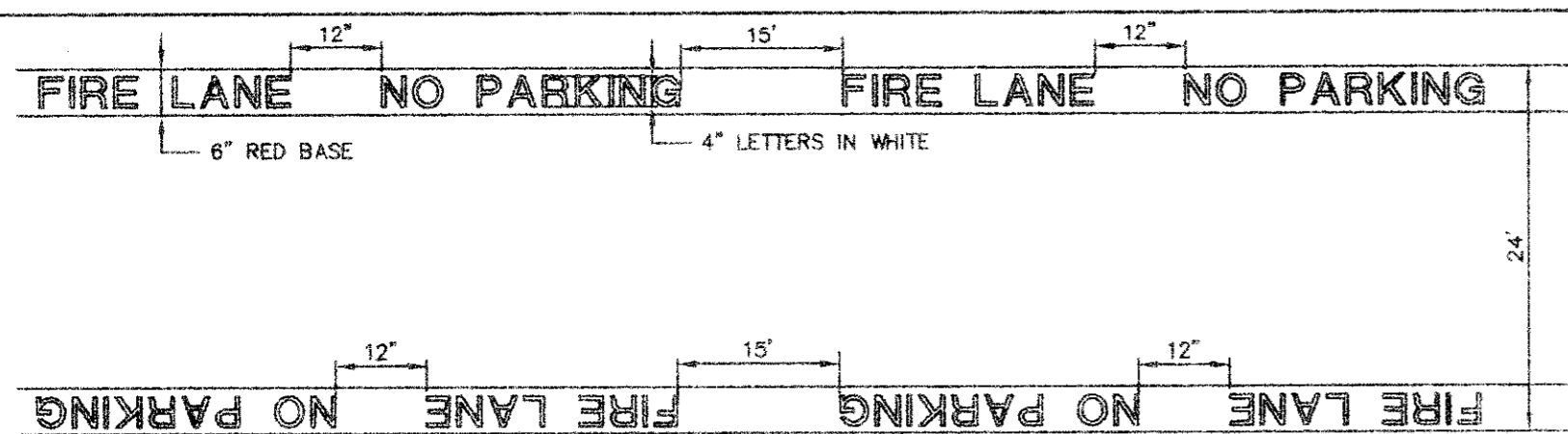
LOT AREA: 69,092 S.F.
 LOT LANDSCAPE AREA: 14,077 S.F.
 PERCENT LANDSCAPING: 20.37%
 R.O.W. LANDSCAPE AREA: 882 S.F.
 TOTAL PERCENT LANDSCAPING: 21.95%



NO.	DATE	REVISION	BY
LANDSCAPE PLAN			
VELADI RANCH STEAKHOUSE			
BELTLINE ROAD AT COMMERCIAL ADDISON, TEXAS			
MP MICHAEL PEEPLES Engineers and Planners		4660 Sunbelt Dallas, Texas 75248 (214) 248-1966	
DATE: 06/14/96 DRAWING NAME		DRAWN BY: WRP SCALE 1" = 20' LS-1	

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B20-2
3870 BELTLINE AS-BUILT
9/96



"AS BUILT"

This project was constructed in conformance to the Town of Addison Standards and Specifications, and functions as designed.

- "FIRE LANE NO PARKING" TO BE PAINTED ENTIRE LENGTH OF DEDICATED FIRE LANE.
- WHERE PRACTICAL, ALL FIRE LANE MARKINGS SHALL BE REQUIRED TO BE PLACED ON THE CURB.
- WHERE THE ABOVE FIRE LANE MARKINGS ARE DETERMINED TO BE INADEQUATE IN CONTROLLING TRAFFIC, THE PROPERTY OWNER WILL BE REQUIRED TO POST FIRE LANE SIGNS IN ADDITION TO OTHER FIRE LANE MARKINGS.
- WHEN RESTRIPING, ADDITIONS TO THE EXISTING FIRE LANES ARE NOT ALLOWED WITHOUT PRIOR APPROVAL OF THE FIRE DEPARTMENT.
- FOR ADDITIONAL FIRE LANE SPECIFICATIONS, PLEASE CONTACT THE FIRE DEPARTMENT.

SPECIFICATIONS FOR FIRE LANE MARKINGS



GENERAL NOTES

- FIRE LANES SHALL BE DESIGNED AND CONSTRUCTED PER CITY STANDARDS.
- HANDICAPPED PARKING AREAS SHALL BE DESIGNED AND PROVIDED PER CITY STANDARDS, AND SHALL COMPLY WITH REQUIREMENTS OF THE CURRENT, ADOPTED UNIFORM BLDG. CODE.
- MECHANICAL UNITS, DUMPSTERS AND TRASH COMPACTORS SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
- ALL SIGNAGE CONTINGENT UPON APPROVAL BY THE BUILDING INSPECTION DEPARTMENT.
- GENERAL CONTRACTOR TO PLACE 6" PVC SLEEVES AS SHOWN.

SITE DATA SUMMARY TABLE:

ZONING: PD SPECIAL USE PERMIT
 PROPOSED USE: RESTAURANT
 LOT AREA: 69,092 S.F.
 LOT LANDSCAPE AREA: 14,077 S.F.
 PERCENT LANDSCAPING: 20.37%
 R.O.W. LANDSCAPE AREA: 882 S.F.
 TOTAL PERCENT LANDSCAPING: 21.95%
 BUILDING AREA: 6,351 S.F.
 LOT COVERAGE: 9.192 PERCENT
 BUILDING HEIGHT: 20' (TOP PARAPET)
 PARKING REQUIRED: 109 SPACES
 PARKING PROVIDED: 142 SPACES
 HANDICAP PARKING REQUIRED: 4 SPACES
 HANDICAP PARKING PROVIDED: 4 SPACES
 DOMESTIC METER: 1-1 1/2" METER
 IRRIGATION METER: 1-1 1/2" METER

SITE NOTES

FIRE LANES ARE EXISTING ON WEST AND SOUTH SIDES AND SHALL REMAIN AS SHOWN. NEW FIRE LANES SHALL BE CONSTRUCTED ON NORTH AND EAST SIDE AS SHOWN. SEE CITY STDS. SD-1 THRU SD-4 FOR PUBLIC PAVING DETAILS. REFER TO CITY OF ADDISON STDS. FOR ALL DETAILS FOR PUBLIC CONSTRUCTION. CONSTRUCT BARRIER FREE RAMPS AT ALL CROSSWALKS AND HC SPACES. 60' FRONT & 10' SIDE YARD SETBACKS. 20' REAR SETBACK REFER TO ZONING ORDINANCE FOR DETAILS. REFER TO BUILDING CODE FOR FIRE PROTECTION.

SEE SP-1 FOR SITE & DIMENSIONAL CONTROL
 SEE CE-1 FOR GRADING PLAN
 SEE CE-2 FOR UTILITY PLAN
 SEE CE-3 FOR PAVING PLAN & DETAILS
 SEE CE-4 FOR STORM SEWER PLAN/PROFILE
 SEE LS-1 FOR LANDSCAPE PLANS
 SEE IR-1 FOR IRRIGATION PLAN

NO.	DATE	REVISION
1	8/27/96	LOCATED MONUMENT SIGN IN PARKING LOT

SITE AND DIMENSION PLAN
VELADI RANCH STEAKHOUSE
 BELTLINE ROAD AT COMMERCIAL
 ADDISON, TEXAS

MP MICHAEL PEEPLES
 Engineers and Planners

4660 Sunbelt
 Dallas, Texas 75248
 (214) 248-1968

DATE: 07/25/96 DRAWN BY: MNP
 DRAWING NAME: ADDISON SCALE: 1" = 20'

SP-1

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