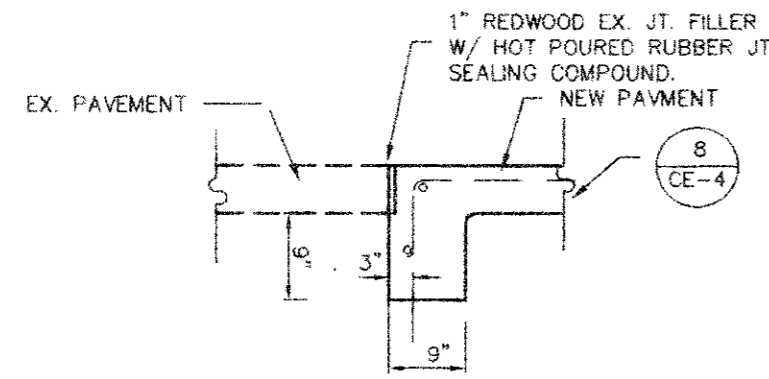


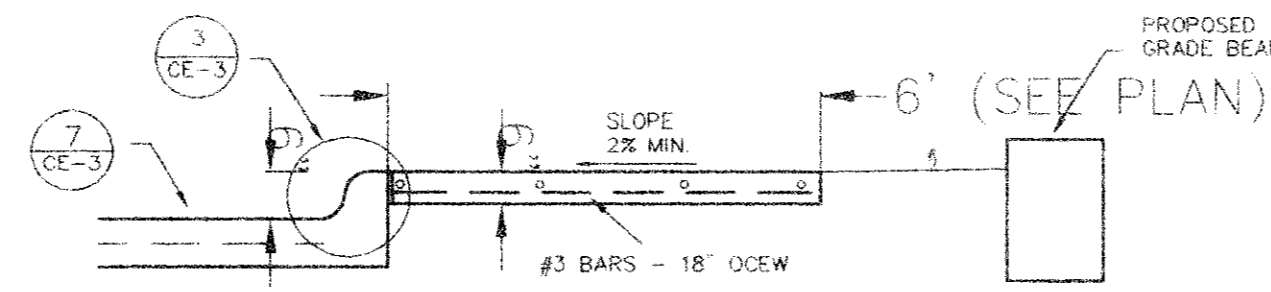
"AS BUILT"

This project was constructed in conformance to the Town of Addison Standards and Specifications, and functions as designed.

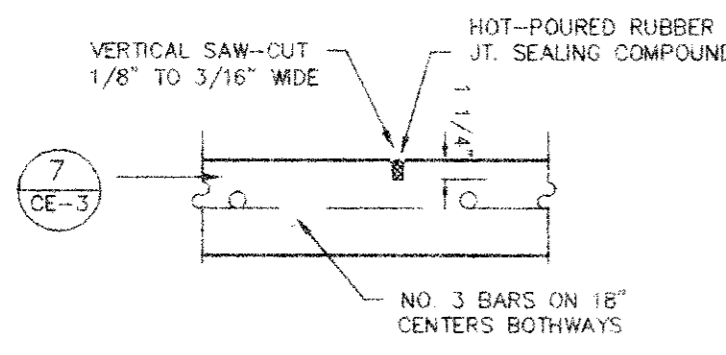


PAVEMENT BARS TO BE BENT DOWN INTO HEADER AND PAVEMENT TO BE MONOLITHIC.

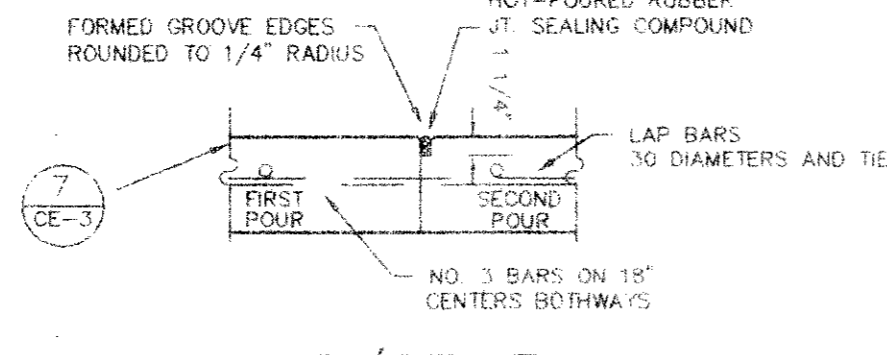
HEADER DETAIL  
6/CE-3



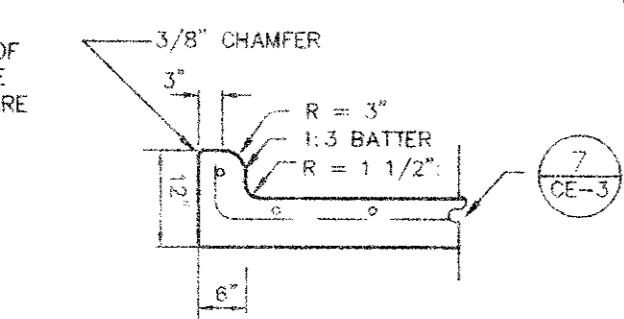
SIDEWALK ADJACENT TO BUILDING  
5/CE-3



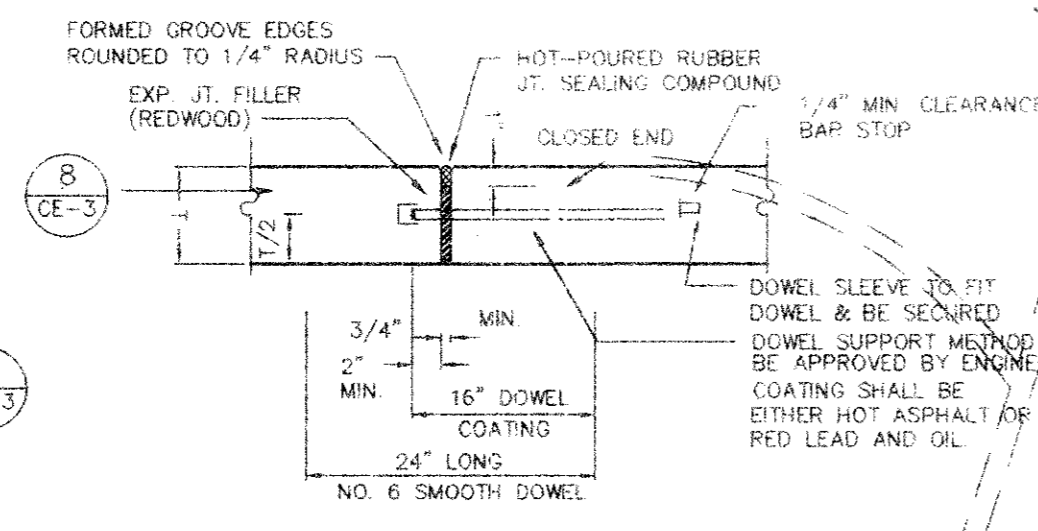
1/CE-3  
SAWED DUMMY  
JOINT DETAIL



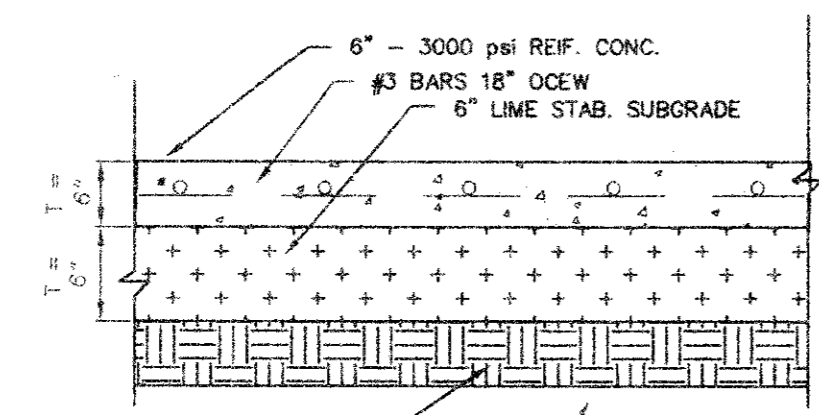
2/CE-3  
CONSTRUCTION  
JOINT DETAIL



3/CE-3  
INTERGAL CURB &  
GUTTER DETAILS



4/CE-3  
TRANSVERSE EXPANSION  
JOINT DETAIL



CONCRETE PAVEMENT DESIGN  
7/CE-3

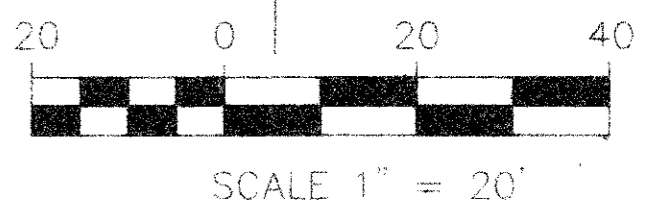
GENERAL NOTES:

- THE MINIMUM COMPRESSIVE STRENGTH OF CONCRETE AT 28 DAYS SHALL BE 3500 PSI AND SHALL BE 5 SACK MIN. CONCRETE SHALL CONFORM TO ASTM C-94 AND SHALL BE PLACED WITH A SLUMP OF 4 PLUS/MINUS 1" AIR ENTRAINMENT SHALL BE 6 TO 7% BY VOLUME. A SAND CUSHION MAY BE PLACED IF MOISTENED WITH WATER IMMEDIATELY PRIOR TO CONCRETE PLACEMENT.
- BARS SHALL CONFORM TO A.S.T.M. DESIGNATION A-615 WITH A MAXIMUM SPACING OF 18" O.C.W. SIZES AND SPACING SHALL BE INDICATED HEREIN EXCEPT SUCH ALTERNATES THAT MAY BE ALLOWED IN THE SPECIFICATIONS.
- ALL CURB AND GUTTER SHALL BE INTERCAL WITH PAVEMENT AND SHALL BE THE SAME COMPRESSIVE STRENGTH AS PAVEMENT.
- BAR LAPS SHALL BE 30 DIAMETERS.
- REFER TO THE GEOTECHNICAL INVESTIGATION DESCRIBED IN THE GEOTECHNICAL REPORT PREPARED BY BENCHMARK ENVIRONMENTAL CONSULTANTS, INC. AND IN THE APPENDIX OF THE PROJECT SPECIFICATIONS.
- THE TOP 6" OF SUBGRADE SHALL BE COMPACTED AND MIXED WITH APPROXIMATELY 5 TO 6% OF HYDRATED LIME (BY DRY WEIGHT OF 95% OF SOIL) TO A MINIMUM OF 95% OF STD. PROCTER (ASTM D-698) PLUS OR MINUS 3% ABOVE OPTIMUM IN ALL AREAS WHERE LIMESTONE OR SILTY CLAY ARE EXPOSED. THE PAVEMENT SUBGRADE SHALL BE RIPPED OR SCARIFIED TO A DEPTH OF 5" TO BREAK UP LIMESTONE LEDGES AND PROVIDE A UNIFORM BEARING SURFACE. THE SOIL AND BROKEN ROCK SHOULD BE RECOMPACTED TO AT LEAST 95% OF STD. PROCTER MIN. DRY DENSITY (ASTM D-698) AT OR WITHIN THREE PERCENTAGE POINTS OF THE MATERIALS OPTIMUM MOISTURE CONTENT.
- ALL CONCRETE SHALL BE CURED BY THE USE OF MEMBRANE CURING COMPOUND CONFORMING TO THE REQUIREMENTS OF ASTM C-309 FOR TYPE II, WHITE PIGMENTED.
- EXPANSION JOINT MATERIAL SHALL BE REDWOOD OR PREMOLDED ASPHALT AS SHOWN DRAWINGS AND JOINT SEALER SHALL BE HOT Poured RUBBER.
- PORTLAND CEMENT CONCRETE AND RELATED MATERIALS SHALL CONFORM TO ITEM 2.2 OF THE COG SPECIFICATIONS UNLESS OTHERWISE NOTED.
- PORTLAND CEMENT CONCRETE CONSTRUCTION SHALL CONFORM TO COG SPECIFICATIONS UNLESS OTHERWISE NOTED.
- DUST CONTROL: DURING CONSTRUCTION CONTRACTOR SHALL MAINTAIN SITE IN SUCH A MANNER THAT DUST SHALL BE PREVENTED FROM BLOWING ONTO ADJACENT PROPERTIES.
- EROSION CONTROL: DURING CONSTRUCTION, CONTRACTOR SHALL MAINTAIN SITE IN SUCH A MANNER THAT EROSION DOES NOT OCCUR CAUSING SILT TO FLOW ONTO ADJACENT PROPERTIES. CONTRACTOR SHALL SUBMIT IN WRITING PROPOSED EROSION CONTROL MEASURES.
- STORM WATERS: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREVENTION OF STORM WATER FLOWING FROM THE SITE DURING CONSTRUCTION BEING DIVERTED ONTO THE ADJACENT PROPERTIES IN A CONCENTRATED MANNER. IF IT IS NECESSARY DURING CONSTRUCTION TO INTERRUPT THE NATURAL DRAINAGE OF THE SURFACE, OR THE FLOW OF ARTIFICIAL DRAINS, THE CONTRACTOR SHALL PROVIDE TEMPORARY DRAINAGE FACILITIES THAT SHALL PREVENT DAMAGE TO PUBLIC OR PRIVATE FACILITIES, AND SHALL RESTORE THE ORIGINAL DRAINS AS SOON AS THE WORK IS COMPLETED.
- ALL DISTURBED AREAS SHALL BE HYDROMULCHED AND MAINTAINED UNTIL BOX GROWTH UNLESS OTHERWISE INDICATED ON THE PLANS.
- ALL AVAILABLE DATA WAS USED TO LOCATE EXISTING UTILITIES AS SHOWN ON THESE PLANS. HOWEVER, THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH ALIGNMENT, AND SIZE OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION.

C:\ACAD\ACAD12\VELADI\ADDISON\ADDISON Thu Jul 25 10:20:34 1996

EX. S.S.M.H.  
RIM = 564.41  
FL 10" IN(EAST) = 575.01  
FL 10" OUT(WEST) = 566.01

EX. STORM  
INLET  
RIM = 563.05  
FL = 579.85



SCALE 1" = 20'

NO.	DATE	REVISION	BY
<b>PAVING PLAN AND DETAILS</b>			
<b>VELADI RANCH STEAKHOUSE</b>			
BELTLINE ROAD AT COMMERCIAL ADDISON, TEXAS			
<b>MP MICHAEL PEEPLES</b> Engineers and Planners		4660 Sunbelt Dallas, Texas 75248 (214) 248-1968	
DATE: 07/25/96		DRAWN BY: MNP	
DRAWING NAME: ADDISON		SCALE: 1" = 20'	

- LEGEND
- F.I.P. = FOUND IRON PIPE
  - F.I.R. = FOUND IRON ROD
  - FND "X" = FOUND SCRIBED X
  - S.I.R. = SET IRON ROD
  - ⊕ = FIRE HYDRANT
  - ⊕ = GAS MANHOLE
  - ⊕ = LIGHT POLE
  - ⊕ = ELECTRIC BOX
  - ⊕ = POWER POLE
  - ⊕ = STORM SEWER MANHOLE
  - ⊕ = SANITARY SEWER CLEANOUT
  - ⊕ = SANITARY SEWER MANHOLE
  - ⊕ = WATER METER
  - ⊕ = WATER VALVE
  - ⊕ = TRAFFIC BOX
  - ⊕ = TRAFFIC LIGHT
  - ⊕ = TELEPHONE PEDISTAL
  - ⊕ = SIGN
  - = FENCE

BELTLINE ROAD  
VARIABLE R.O.W.

NORTH

N 41° 13' 05" W 342.92'

S 25° 08' 43" E 215.51'

N 25° 08' 43" W 18.00'

N 64° 51' 17" E 93.08'

N 64° 51' 17" E 69.48'

S 52° 33' 10" E 61.03'

S 25° 08' 43" E 120.82'

S 10° 42' 39" W 34.00'

S 33° 06' 17" W 84.83'

SOUTH 70.00'

S 05° 46' 28" W 15.57'

N 30° 49' 52" E 262.96'

S 89° 00' 26" E 178.12'

EX. S.S.M.H. EX. 18" SAN. SEWER  
RIM = 561.73  
FL 18" IN(EAST) = 567.43  
FL 18" OUT(WEST) = 567.23

FND "X"

FND "X"

FND "X"

FND "X"