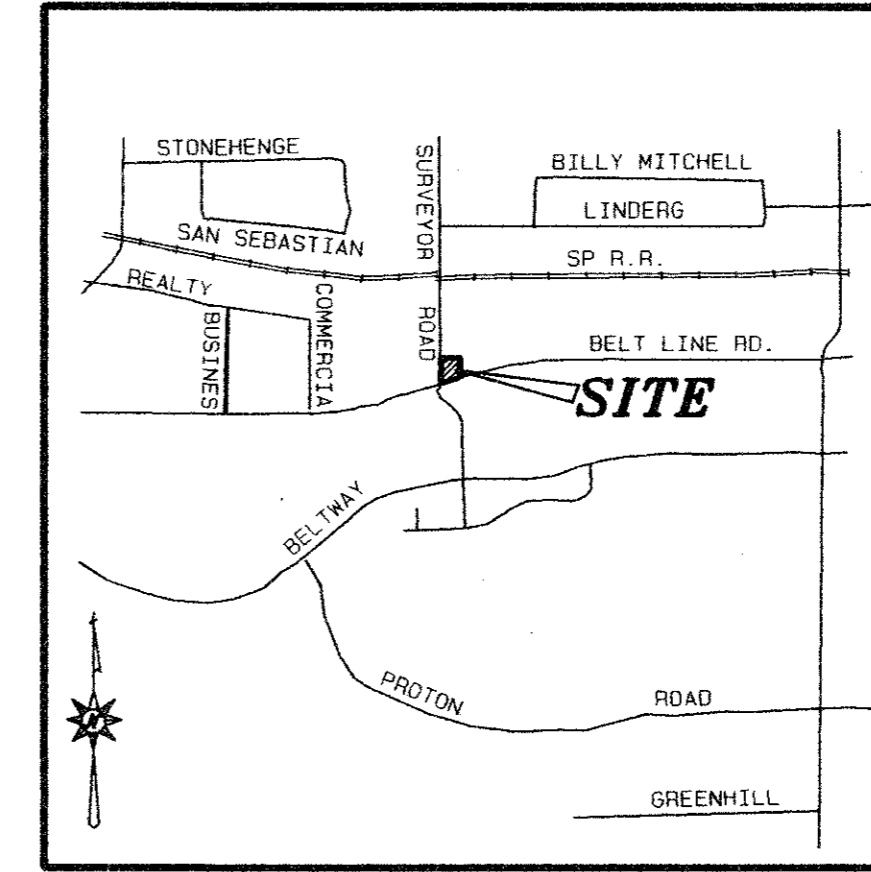


REVISION	DATE	DESCRIPTION	DRAWN BY	CHECKED BY



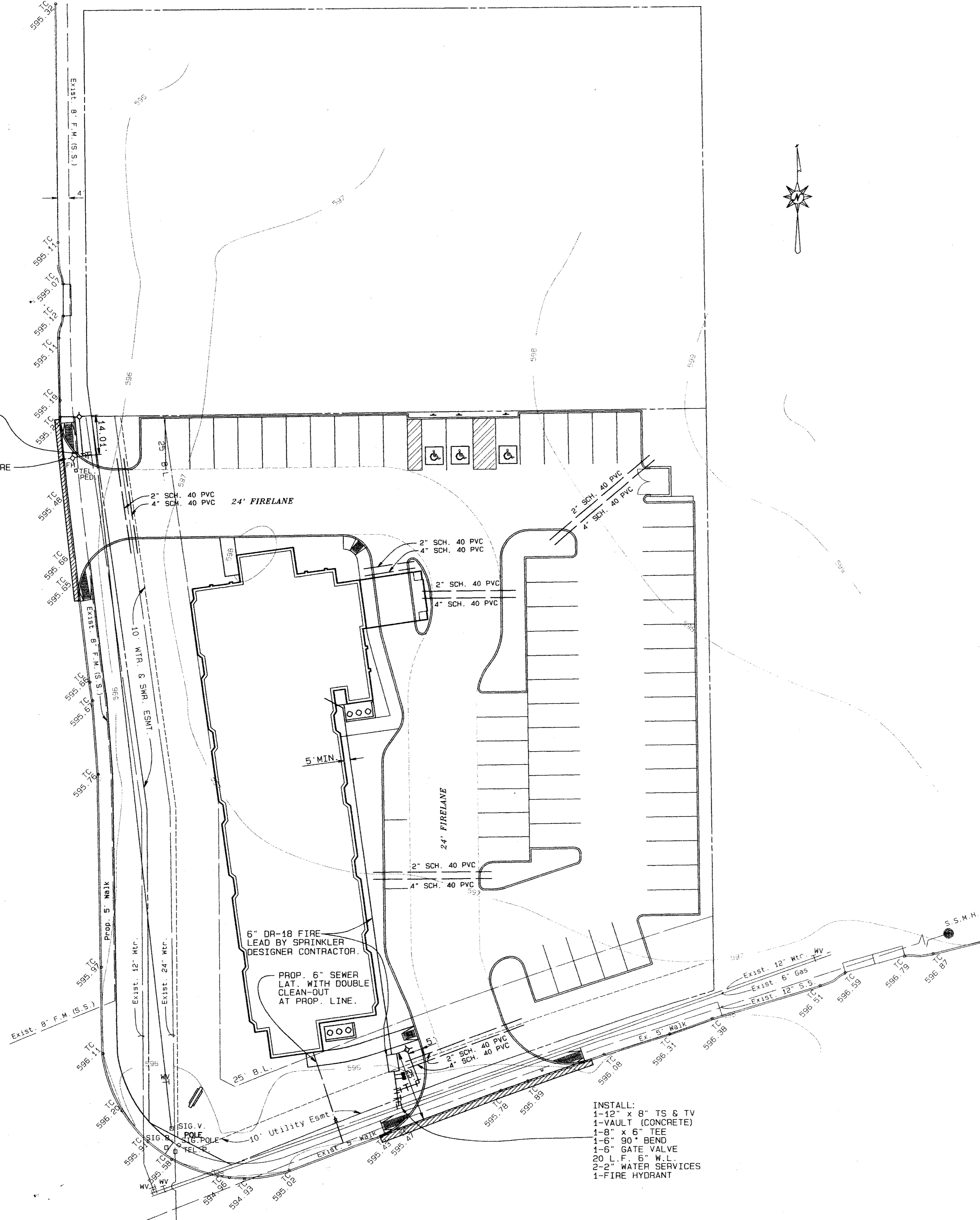
LOCATION MAP
NTS

GENERAL NOTES

- A. Prior to final acceptance by the Town of Addison.
 - 1) A Texas Registered Professional Engineer shall certify that the project was constructed in accordance with the plans and specifications approved by the Town of Addison.
 - 2) The owner shall provide 1 reproducible set of as-builts (sealed and certified by a Texas Registered Engineer) and 2 blue line sets.
 - 3) A five foot sidewalk shall be installed along Belt Line and Surveyor.
 - 4) A one year 10% maintenance bond is required for the internal subdivision infrastructure.
 - 5) Contractor shall demonstrate that the water and sanitary sewer systems meet the proper pressure, bacteria, and mandrel tests. In addition, the owner shall provide a VHS format video tape of the sanitary sewer.
- B. Prior to starting construction, the contractor shall contact the utility companies to locate existing facilities. These include but may not be limited to the following:
 - 1) Town of Addison
 - 2) Lone Star Gas
 - 3) Southwestern Bell
 - 4) Stoner Cable
 - 5) Planned Cable Systems
 - 6) TU Electric
- C. Prior to beginning construction, the owner or his authorized representative shall convene a Pre-Construction Conference between the Town of Addison, Consulting Engineer, Contractor (s), Utility companies and any other affected parties. Notify Bruce Ellis 450-2847 at least 48 hours prior to beginning of construction.
- D. Any existing pavement, curbs, and/or sidewalks damaged or removed will be repaired by the contractor at their expense.
- E. Lot pins shall be installed after construction and prior to final acceptance, concrete monuments shall be placed as shown on the final plat and iron pins shall be placed at Block corners, curve points and angle point in public right-of-way. Concrete monuments shall be six (6) inches in diameter and twenty-four (24) inches long. An iron rod one-half inch in diameter embedded at least three (3) inches in the monument at the exact intersection point of the monument. The monuments shall be set at such an elevation that after construction, the top of the monument will be not less than twelve (12) inches below the ground surface.
- F. The contractor shall stamp a 2-inch "S" and 2-inch "M" in the curb at the location of the sewer service and water service lines, respectively.
- G. At intersections that have valley drainage, the crown of the intersecting streets will culminate in a distance of 40 feet from the intersecting curb line unless otherwise noted.
- H. Temporary or permanent street barricades shall remain at all points of ingress and egress to prevent public use until such street received final acceptance.
- I. Contractor shall obtain a right-of-way permit by the town of Addison for working within the public right-of-way.
- J. During construction, the owner shall provide a qualified geotechnical lab to perform materials testing during the construction, at the request of the Town of Addison.
- K. The contractor shall submit material sheets to the Town of Addison for approval prior to incorporating materials into the job.
- L. The utility contractor shall submit to the Town of Addison for approval a trench safety plan sealed by a registered professional engineer for the installation of utilities greater than five (5) feet in depth.
- M. Any areas of disturbed vegetation shall be re-vegetated prior to acceptance by the Town of Addison.
- N. Water services shall have testable double checks.
- O. The Fire line shall have a testable double detector check with a remote read.
- P. All Backflow prevention devices shall be tested and certified that they are functioning as designed upon installation.
- Q. All valves, manholes, cleanouts, etc., shall be adjusted to finished grade.
- R. The domestic meter shall be a magnetic compound meter manufactured by Badger or Hersey.

INSTALL:
1-6" 90° BEND
14 L.F. 6" W.L.

RELOCATE EX. FIRE
HYDRANT

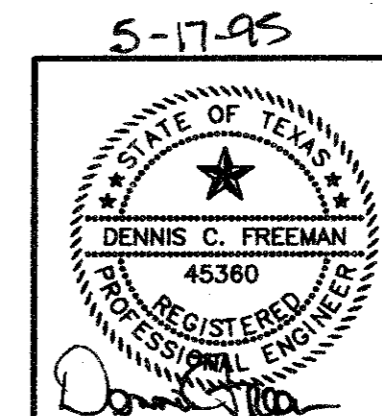


INSTALL:
1-12" x 8" TS & TV
1-VAULT (CONCRETE)
1-8" x 6" TEE
1-6" 90° BEND
1-6" GATE VALVE
20 L.F. 6" W.L.
2-2" WATER SERVICES
1-FIRE HYDRANT

CONSTRUCTION SET
ISSUED BY
TOWN OF ADDISON
PUBLIC WORKS DEPARTMENT

NAME: *John Boyer* DATE: *6-17-95*

NAME: _____ DATE: _____
PUBLIC WORKS DEPARTMENT
TOWN OF ADDISON
ISSUED BY
CONSTRUCTION SET



SITE UTILITES PLAN					
SLEEP INN HOTEL					
TOWN OF ADDISON, TEXAS					
THE NELSON CORPORATION PLANNING ENGINEERING SURVEYING					
6999 SUMMERSIDE DRIVE SUITE 202 DALLAS, TEXAS 76252 (214) 380-2805					
DESIGN	DRAWN	DATE	SCALE	FILE	SHEET NO.
TNC	TNC	05/17/95	1"=20'	9501800	C-1

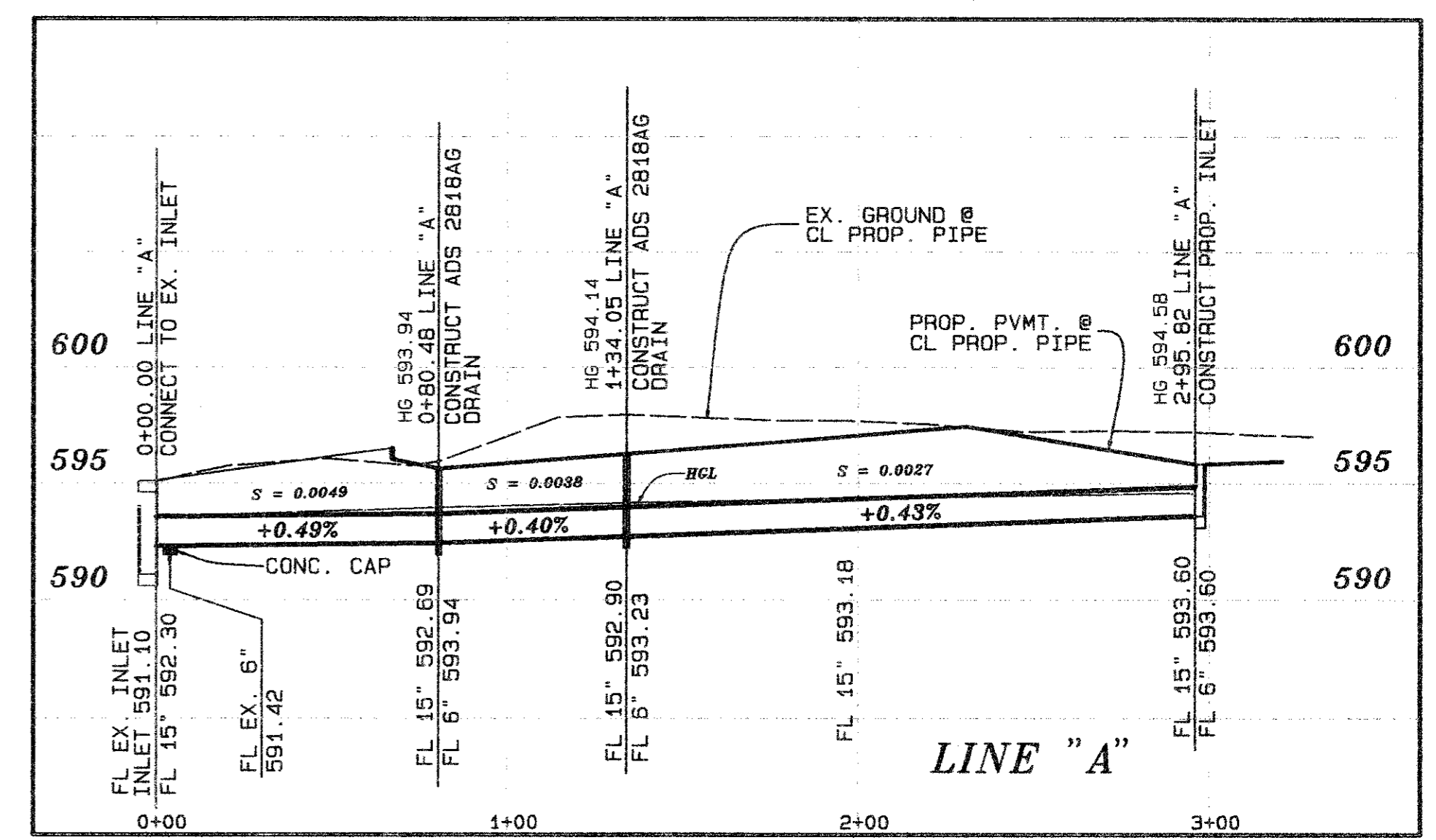
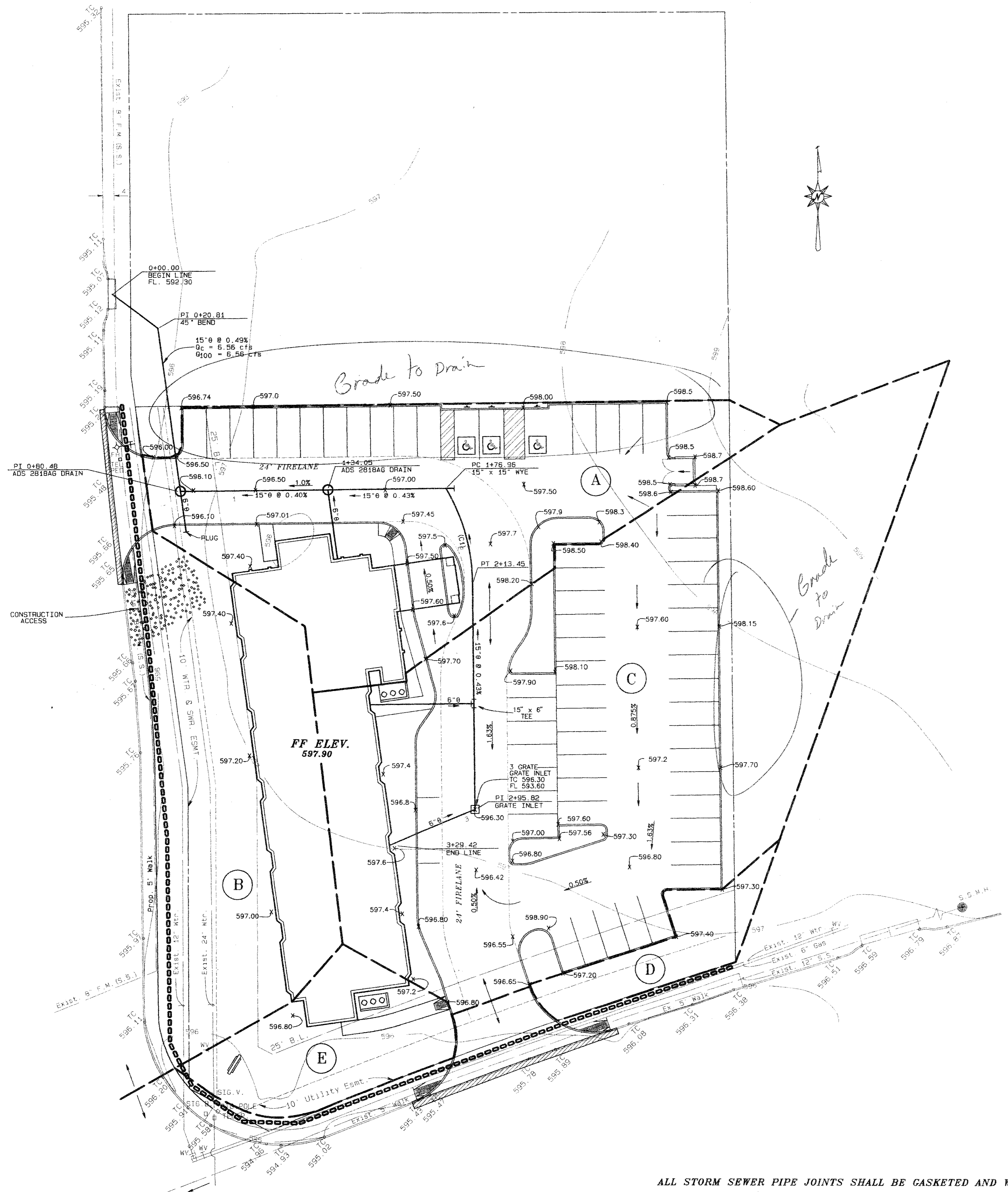
REVISION	DATE	DESCRIPTION	DRAWN BY	CHECKED BY

DRAINAGE CALCULATIONS

AREA NO.	ACRES	TC	I 100	C	Q100	INLET BY-PASS
A	0.31	10	8.74	0.90	2.44	0.76
B	0.19	10	8.74	0.90	1.49	1.49
C	0.62	10	8.74	0.90	4.88	0
D	0.04	10	8.74	0.90	0.31	0.31
E	0.06	10	8.74	0.90	0.47	0.47

FLOW TO INLET TO SURVEYOR IN PIPE = 6.56 CFS

CURVE NO.	DELTA	RADIUS	ARC	CHORD BEARING	CHORD
C1	29°52'01"	70.00	36.49'	S19°22'51"E	36.08'



15" STORM SEWER PROFILE
 1" = 40' H.
 1" = 6' H.

- LEGEND:**
- PROPOSED STORM SEWER WITH INLET
 - EXISTING STORM SEWER
 - DRAINAGE AREA DIVIDE
 - PROPOSED FLOW DIRECTION ARROWS
 - DRAINAGE AREA NUMBER
 - INLET NUMBER
 - EROSION CONTROL DEVICE BY GRADING CONTRACTOR MAINTAINED TO PROJECT COMPLETION SILT FENCE OR HAY BALES

SITE GRADING & DRAINAGE
SLEEP INN HOTEL
CITY OF ADDISON, TEXAS

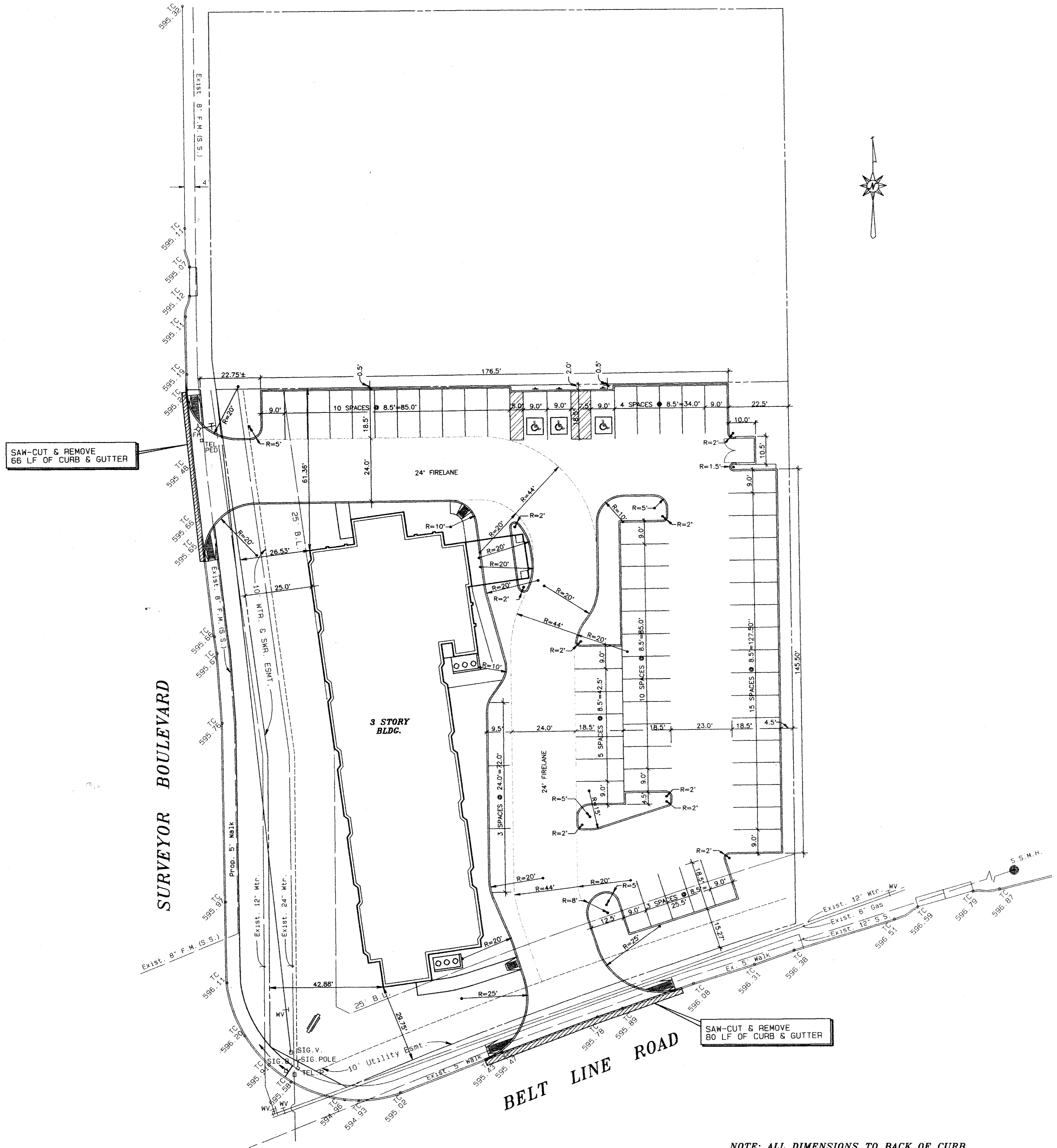
NC THE NELSON CORPORATION
 PLANNING ENGINEERING SURVEYING

5990 SUMMERSIDE DRIVE SUITE 202 DALLAS, TEXAS 75252 (214) 380-2605

DESIGN	DRAWN	DATE	SCALE	FILE	SHEET NO
TNC	TNC	6/08/95	1"=20'	9501800	C-2

ALL STORM SEWER PIPE JOINTS SHALL BE GASKETED AND WATER TIGHT.
 NOTE: ALL ELEVATIONS ON TOP OF CURB UNLESS OTHERWISE NOTED.

REVISION	DATE	DESCRIPTION	DRAWN BY	CHECKED BY



PROJECT SUMMARY			
SITE AREA: 1.10 ACRES (48,139.25 SQ. FT.)			
PARKING PROVIDED:	60	REQUIRED:	60
SURFACE:	60	SURFACE:	60
HANDICAP:	3	HANDICAP:	3
TOTAL:	63		
BUILDING HEIGHT: 3			
IMPERVIOUS AREA			
LANDSCAPE AREA			

SITE NOTES	
STANDARD DOUBLE PARKING	8.5' X 18'
HANDICAP PARKING SPACE	13' X 18' W/ 2' OVERHANG

PAVING & HORIZONTAL CONTROL PLAN

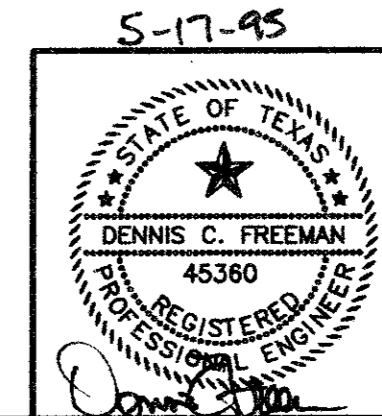
SLEEP INN HOTEL

CITY OF ADDISON, TEXAS

THE NELSON CORPORATION
PLANNING ENGINEERING SURVEYING

5909 SUMMERSIDE DRIVE SUITE 202 DALLAS, TEXAS 75262 (214) 380-2606

DESIGN	DRAWN	DATE	SCALE	FILE	SHEET NO
TNC	TNC	05/17/95	1"=20'	9501800	C-3



NOTE: ALL DIMENSIONS TO BACK OF CURB
NOTE: ALL RADIUS TO FACE OF CURB

THE NELSON CORPORATION • DALLAS, TEXAS

REVISION	DATE	DESCRIPTION	DRAWN BY	CHECKED BY

EROSION CONTROL SPECIFICATIONS

- The Excavation Contractor shall provide and maintain erosion control devices in the areas indicated on the Erosion Control Plan or any other areas as directed by the Owner's representative.
- The Utility Contractor shall provide and maintain an erosion control device around all openings into the storm sewer system to project completion or as directed by the Owner's representative.
- The Electrical Utility, Natural Gas, Telephone, and Cable TV Contractor shall re-establish any previously established erosion control measure or device that is disturbed by their construction, including vegetative cover.
- Site entry and exit locations shall be maintained in a condition which will prevent tracking or flowing of sediment onto public roadways. All sediment spilled, dropped, washed or tracked onto a public roadway must be removed immediately. When washing is required to remove sediment prior to entrance to a public roadway, it shall be done on an area stabilized with crushed stone which drains into an approved sediment basin. All fines imposed for tracking onto public roads shall be paid by the Contractor.
- Temporary seeding or other method of stabilization shall be initiated within 14 days of the last disturbance on any area of the site, unless additional construction on the area is expected within 21 days of the last disturbance.
- Upon completion of fine grading by the Paving and/or Grading Contractor, all areas not otherwise permanently stabilized shall be seeded and maintained until a uniform coverage of 70% minimum density, as determined by the Owner's representative, is achieved.
- Erosion control devices may be added or reduced in the field as directed by the Owner's representative.
- INSPECTION** - The Contractor or Owner's representative shall conduct inspections of all erosion controls provided in the SWPPP at a minimum of once every seven calendar days and within 24 hours of the end of a rain of 0.5 inches or greater. When field inspection reveals an inadequacy in erosion control measures, the SWPPP shall be revised and erosion control measures shall be upgraded within seven calendar days.
- MAINTENANCE** - Erosion controls shall be repaired or replaced as inspection deems necessary or as directed by the Owner's representative. Accumulated silt at any erosion control device shall be removed when it reaches a depth of 6", and shall be distributed on site in a manner not contributing to additional siltation.
- The Contractor is responsible for re-establishing any erosion control device which he disturbs. Each Contractor shall notify the Owner's representative of any deficiencies in the established erosion control measures which may lead to unauthorized discharge of storm water pollution, sedimentation, or other pollutants. Unauthorized pollutants include, but are not limited to, excess concrete dumping or concrete residue, paints, solvents, greases, fuel and lube oil, pesticides, and solid waste materials.

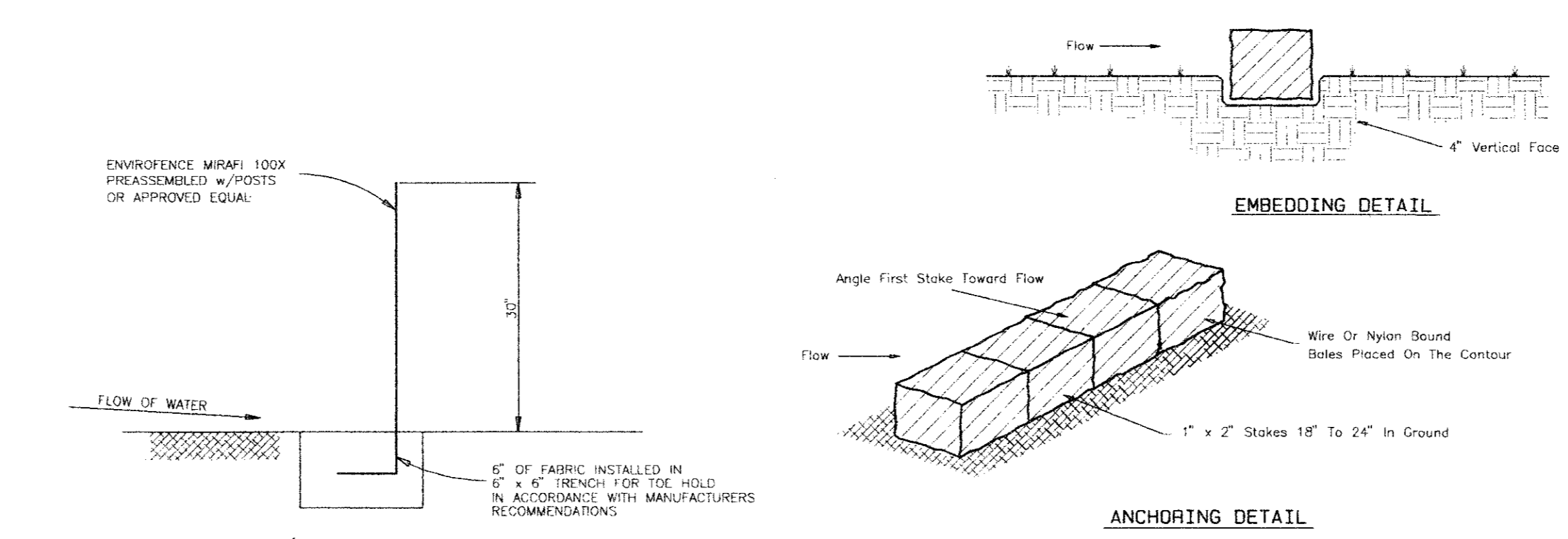
GRADING SPECIFICATIONS

- All grading shall conform to the following sections of the North Central Texas C.O.G. Standard Specifications for Public Works Construction, latest edition, as applicable:
 - Item 3.2 - Clearing and Grubbing
 - Item 3.3 - Unclassified Street Excavation
 - Item 3.4 - Parkways
 - Item 3.5 - Unclassified Channel Excavation
 - Item 3.6 - Borrow
 - Item 3.7 - Embankment
- Compaction performed in pad areas and streets shall be a minimum of 95% density at a moisture content of 1 to 3% wet of optimum.
- Remove topsoil in street right-of-way and pad areas to a depth of 4". Place topsoil in front and backyard areas at the direction of the Owner's representative.
- Finished Floor elevations are assumed to be 8" above finished pad elevations.
- The Grading Contractor is to provide pad compaction testing for each 8" lift as directed in the Geotechnical Report.
- All lots are to be left in a smooth, bladed condition, without any severe change in slope or low spots. Minimum grade across any lot is to be 1%. Maximum slope is to be 3:1, unless otherwise approved in the field, or shown on the plans.
- TOLERANCES FOR GRADING ARE:**

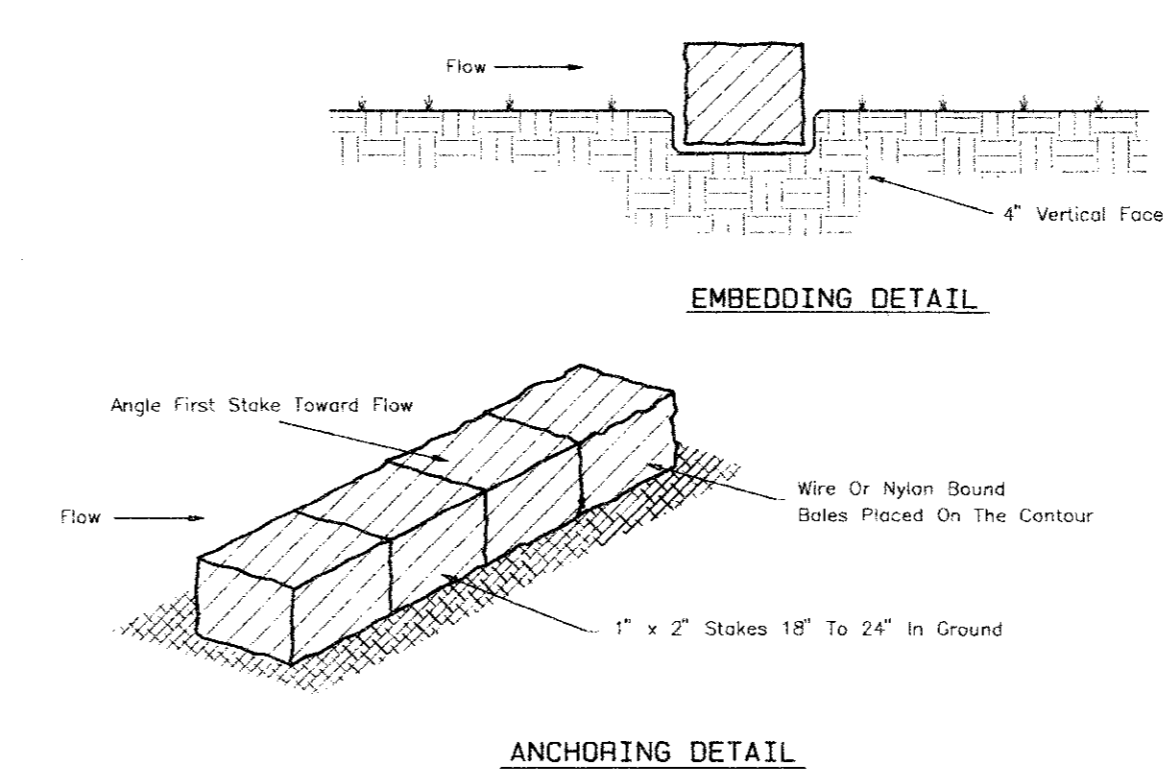
	ROUGH GRADING	FINAL GRADING
Streets	± 0.2'	± 0.1'
Pads	± 0.20'	± 0.1'
Lot Corners	± 0.25'	± 0.1'
- All stockpiled material for berms and topsoiling will be placed as directed by the owner's representative. Do not block natural drainage ways.
- Do not bench any lot until all streets have been cut. Complete reclamation filling first before construction of pads.
- All grading and clearing shall be constructed in accordance with Southlake's tree ordinance. Grading limits are as shown on the grading plan. Grading and clearing work is limited to street right-of-ways, easements, lots with no trees, reclamation areas and slope areas adjacent to street right-of-way.
- A Notice of Intent (NOI) shall be submitted to EPA no less than two days prior to commencement of construction activities.
- A copy of the SWPPP, including Contractor Certifications and any Revisions, shall be submitted to the City and filed with the construction plans, and shall be retained on-site during construction.
- Certain lots on the grading plan are believed to contain trees from observation of aerial photos. These lots are not to have pads constructed on them. If trees as defined in the tree ordinance are not situated on these lots, notify the engineer for revision of the grading plan.

FINAL STABILIZATION and TERMINATION OF STORM WATER DISCHARGE AUTHORIZATION

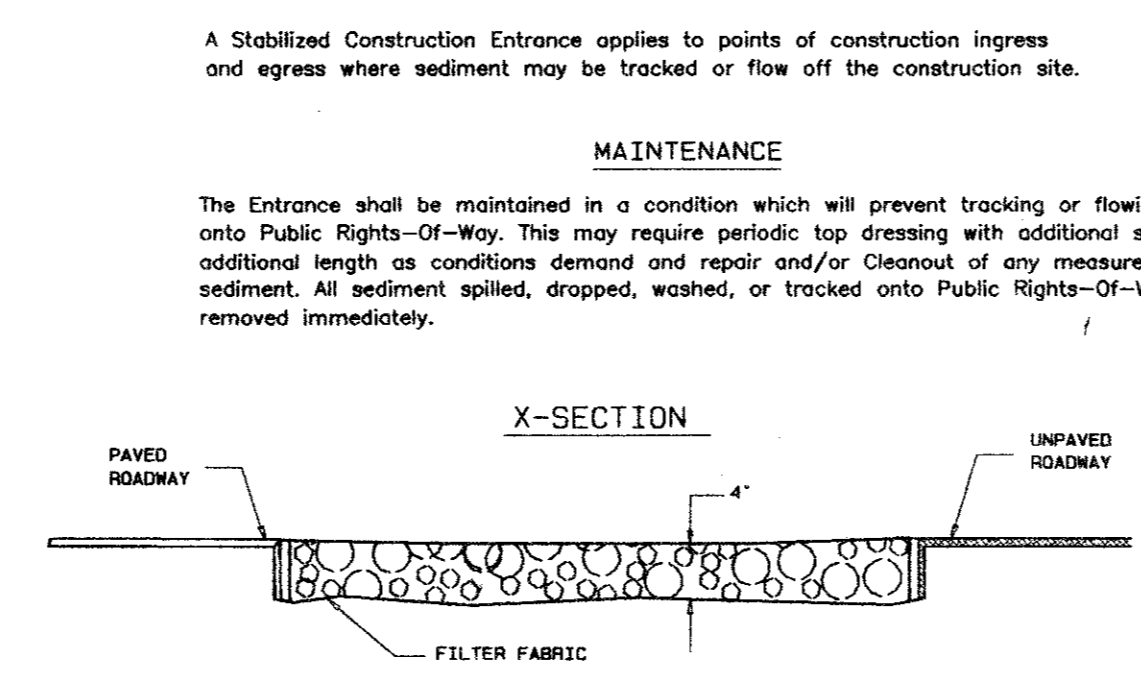
- Upon completion of all soil disturbing construction, all areas not paved or covered by permanent structures or equivalent permanent stabilization measures shall be stabilized with a uniform perennial vegetative cover. For termination of industrial status of the construction site, the vegetative cover must meet a minimum density of 70%, as determined by the Owner's representative. All temporary erosion and sediment control measures must be removed.
- A Notice of Termination (NOT) shall be submitted to EPA when the site has 100% of the disturbed areas stabilized and the site no longer has storm water discharges associated with industrial activities (construction), or the NOI permittee or co-permittee no longer holds operational control of the construction.



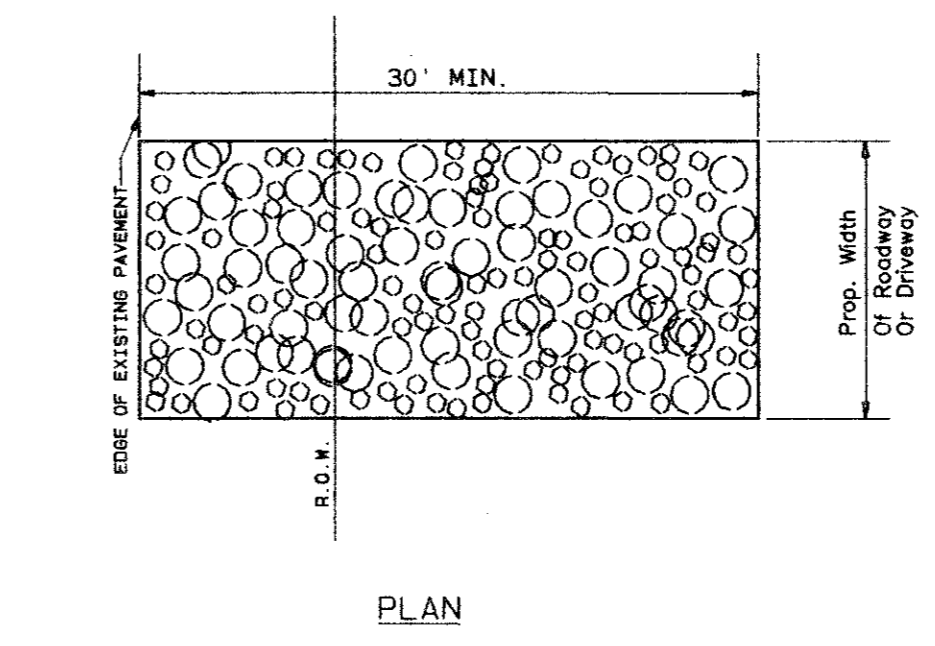
SILTATION FENCE EROSION CONTROL DEVICE



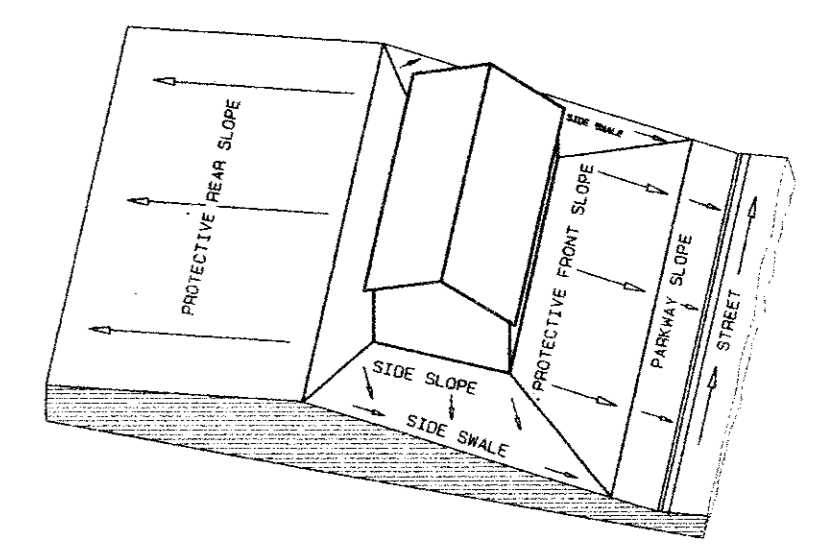
HAY BALE EROSION CONTROL DEVICE



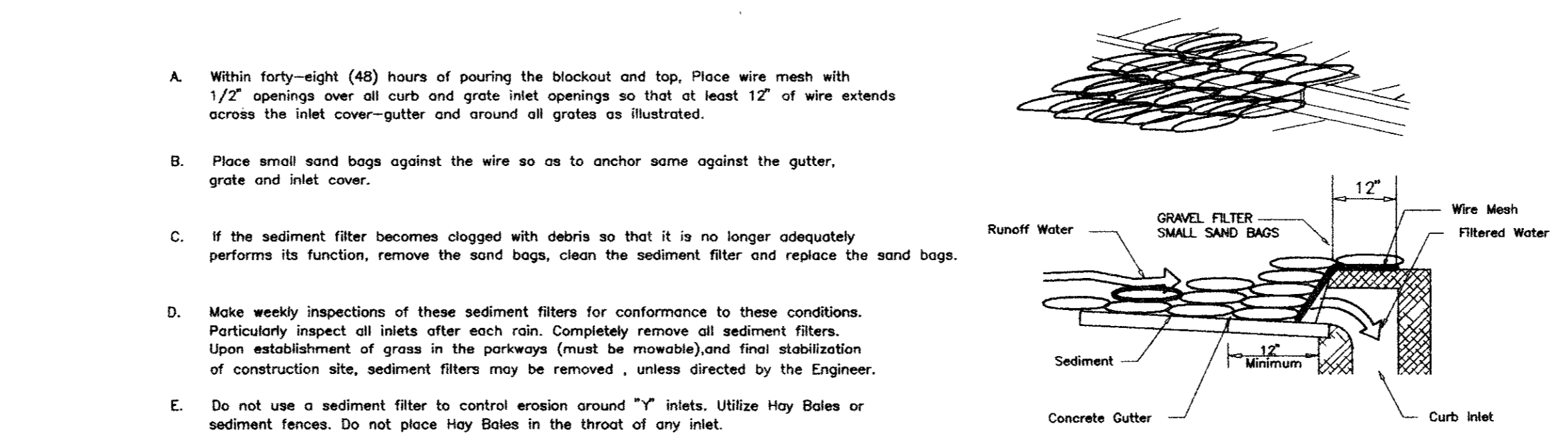
STABILIZED CONSTRUCTION ACCESS



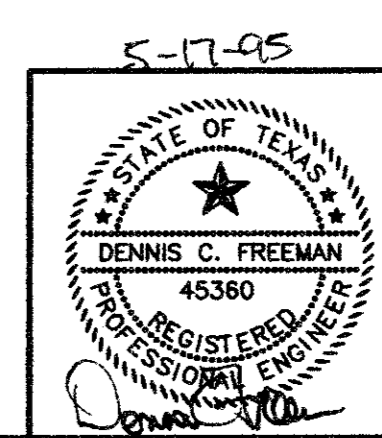
LOT GRADING TYPE A



LOT GRADING TYPE B



TEMPORARY INLET SEDIMENT FILTER BY THE PAVING CONTRACTOR



S.W.P.P.P.

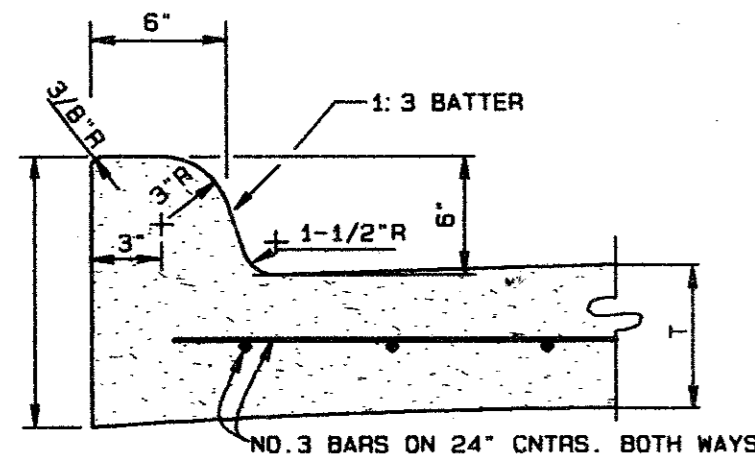
EROSION CONTROL DETAILS
SLEEP INN HOTEL
CITY OF ADDISON, TEXAS

THE NELSON CORPORATION
 PLANNING ENGINEERING SURVEYING

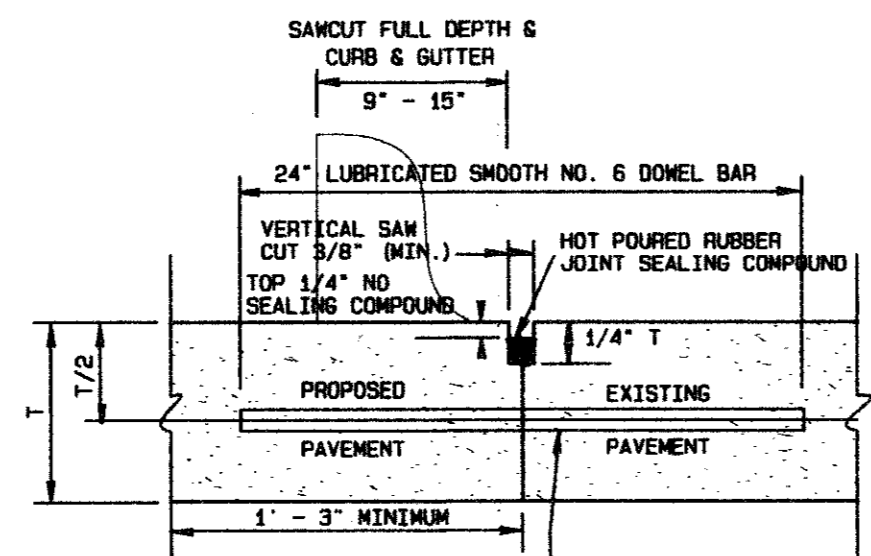
6999 SUMMERSIDE DRIVE SUITE 202 DALLAS, TEXAS 75262 (214) 380-2806

DESIGN	DRAWN	DATE	SCALE	FILE	SHEET NO.
TNC	TNC	05/17/95	N.T.S.	9501800	C-4

REVISION	DATE	DESCRIPTION	DRAWN BY	CHECKED BY

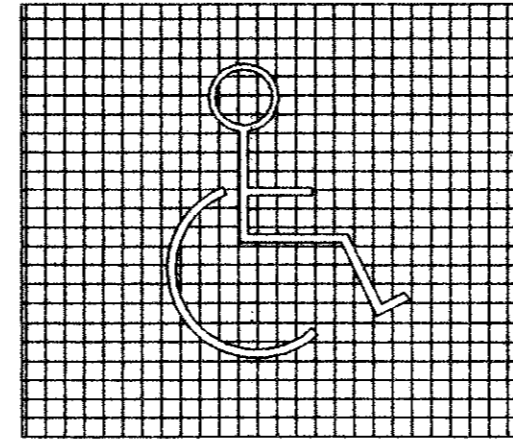


INTEGRAL CURB DETAIL (ON-SITE)
NOT TO SCALE

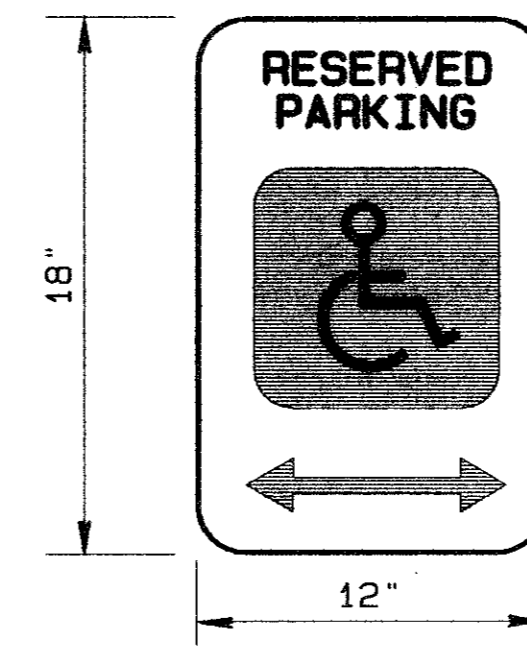


- NOTES:
- NO. 5 SMOOTH DOME BAR MAY BE USED IN 5 INCH AND 6 INCH PAVEMENT THICKNESS.
 - LONGITUDINAL BUTT CONSTRUCTION MAY BE UTILIZED IN PLACE OF LONGITUDINAL HINGED (KEYWAY) JOINT AT CONTRACTOR'S OPTION.
 - DOME BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF A MECHANICAL RIG. DRILLING BY HAND IS NOT ACCEPTABLE. PUSHING DOME BARS INTO GREEN CONCRETE NOT ACCEPTABLE.

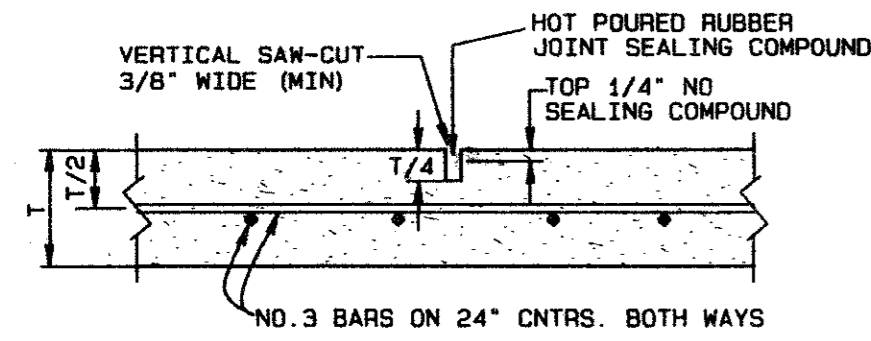
LONGITUDINAL BUTT JOINT
NOT TO SCALE



COLORS:
LEGEND AND BORDER - GREEN
WHITE SYMBOL ON BLUE BACKGROUND
BACKGROUND - WHITE

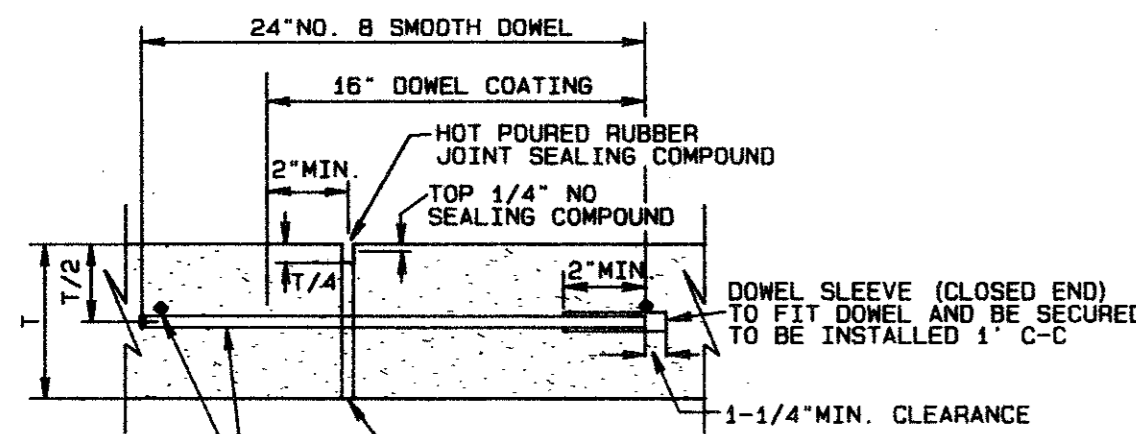


HANDICAP SIGN
N.T.S.



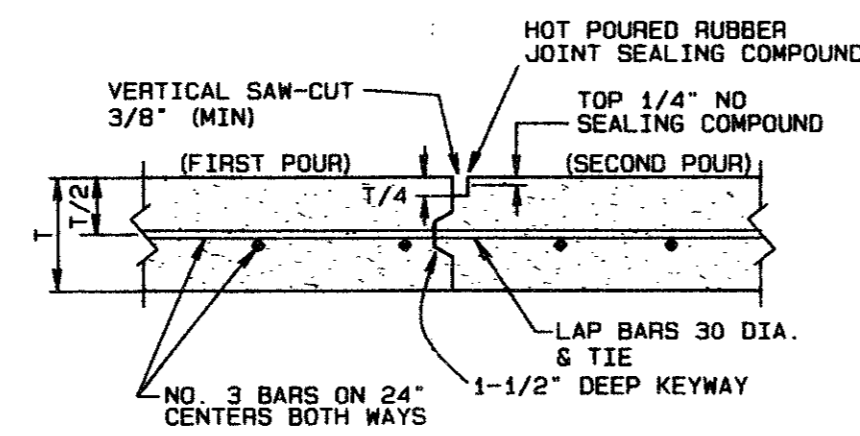
SAWED DUMMY JOINT DETAIL (ON-SITE)
NOT TO SCALE

NOTE: MAXIMUM DISTANCE BETWEEN JOINTS SHALL BE 15 FEET IN BOTH DIRECTIONS.

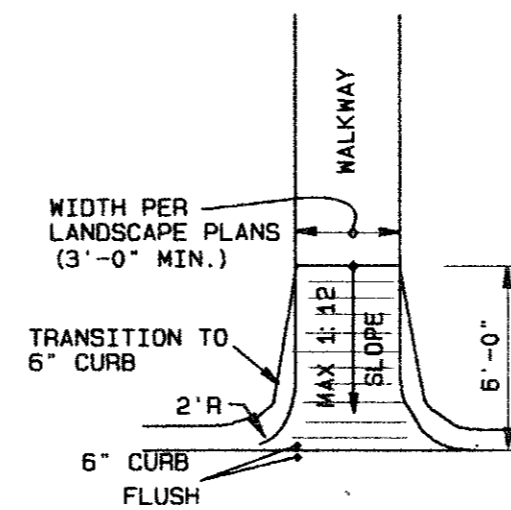


NOTE: DOWELS AND REINFORCING BARS SHALL BE SUPPORTED BY AN APPROVED DEVICE

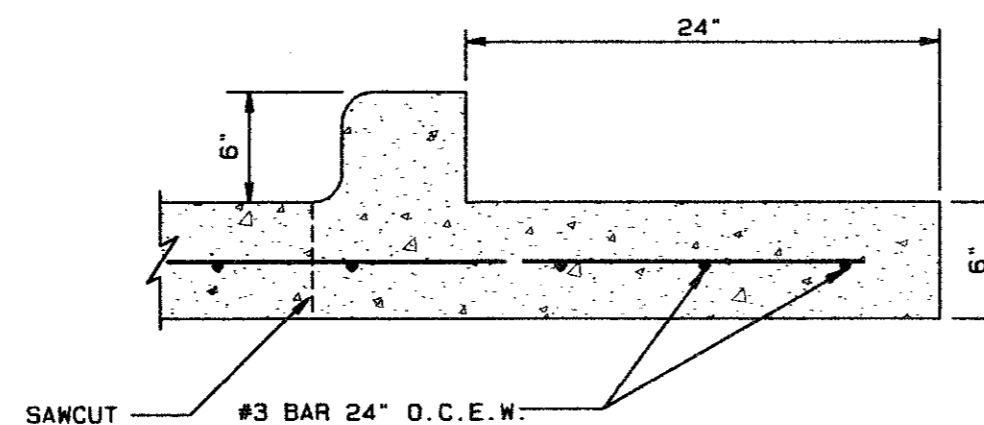
TRANSVERSE EXPANSION JOINT DETAIL (ON-SITE)
NOT TO SCALE



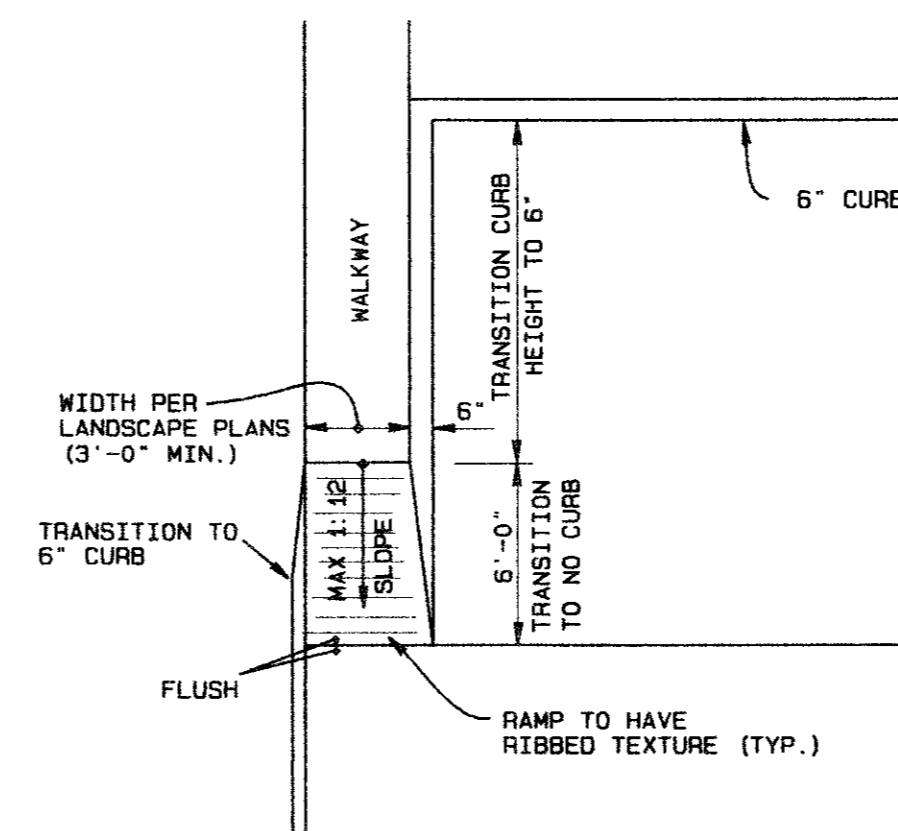
CONSTRUCTION JOINT DETAIL (ON-SITE)
NOT TO SCALE



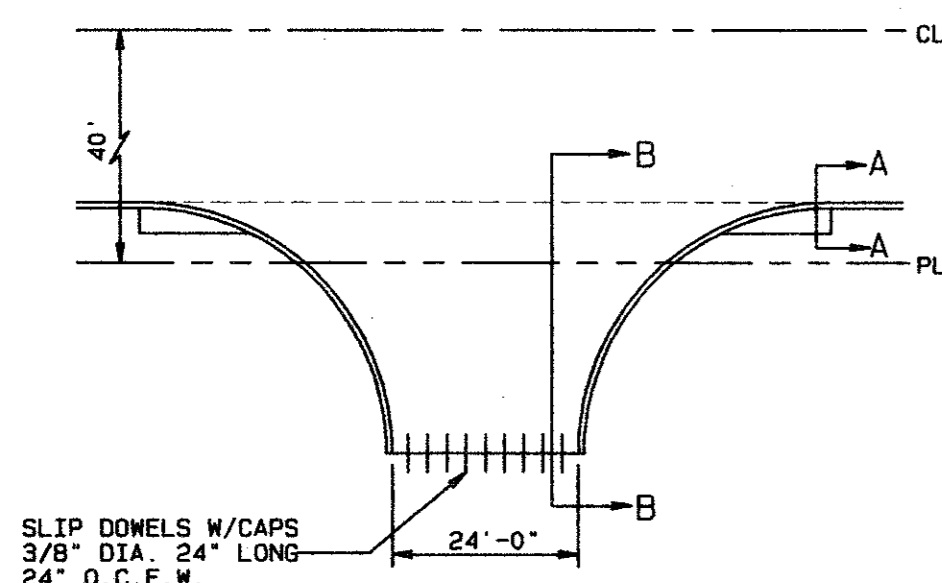
HANDICAP RAMP WITH RETURNED CURBS
N.T.S.



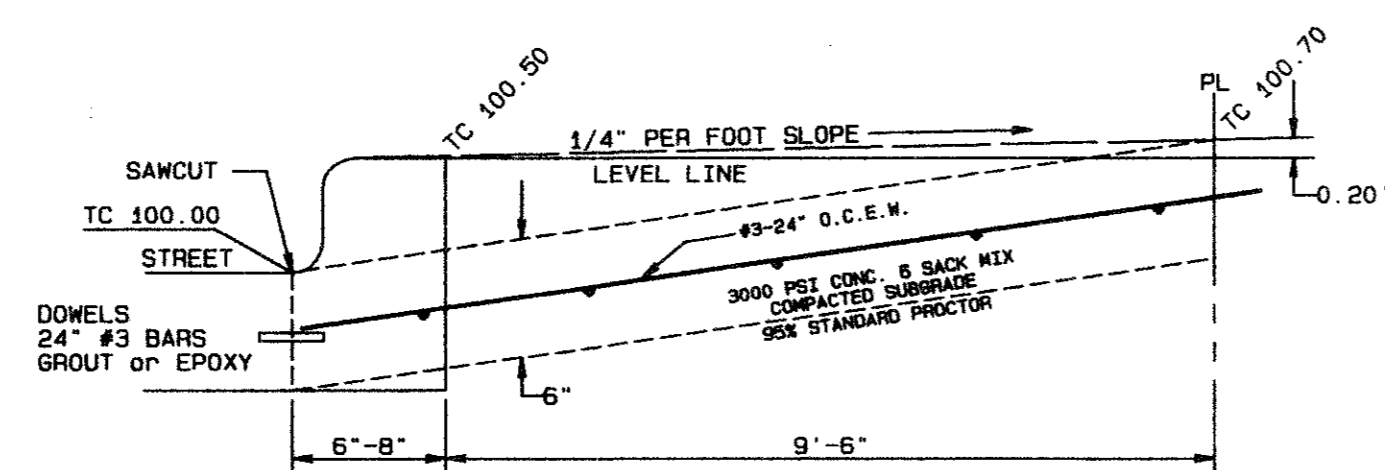
SECTION A-A
N.T.S.



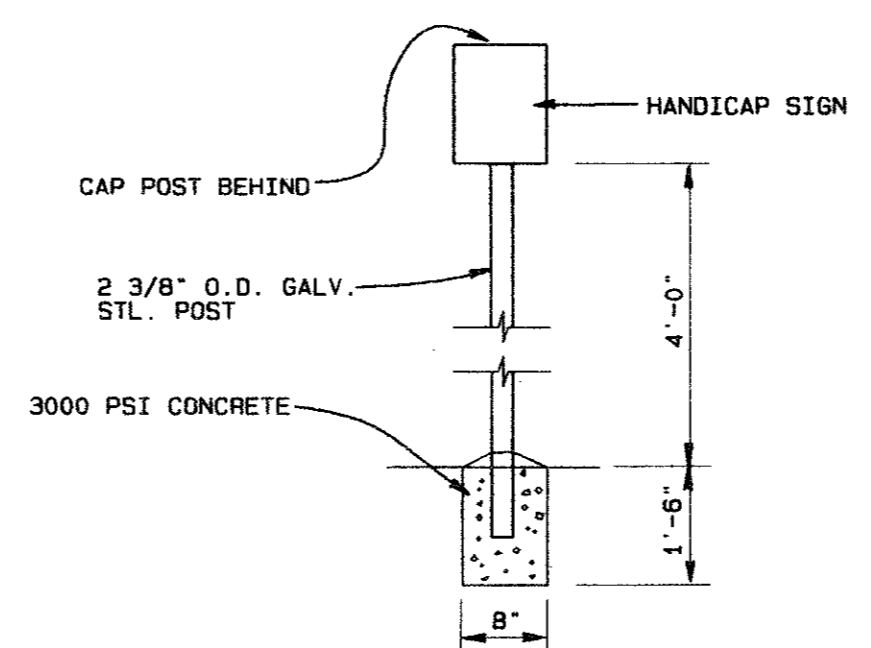
HANDICAP RAMP AT WALK ADJACENT TO CURB
N.T.S.



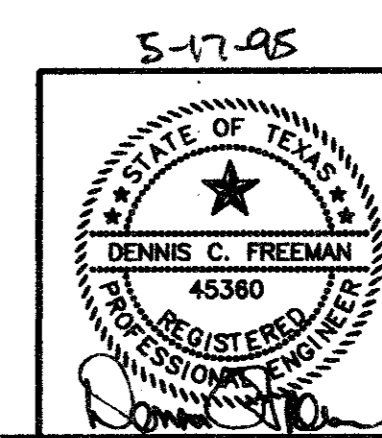
PLAN
N.T.S.



SECTION B-B
TYPICAL DRIVEWAY DETAIL
N.T.S.

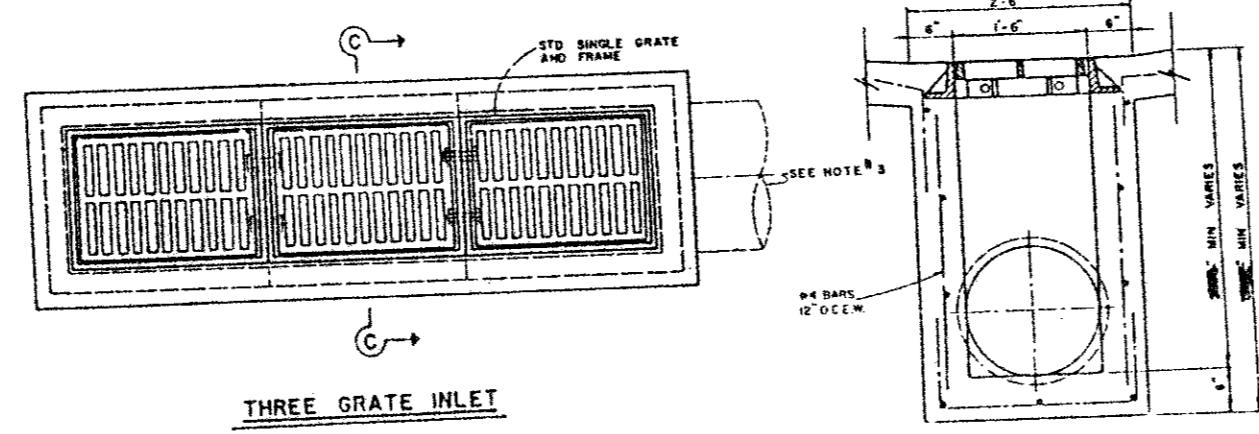


HANDICAP SIGN POST
N.T.S.



ON-SITE PAVING DETAILS					
SLEEP INN HOTEL					
CITY OF ADDISON, TEXAS					
THE NELSON CORPORATION PLANNING ENGINEERING SURVEYING					
5099 SUMMERSIDE DRIVE SUITE 202 DALLAS, TEXAS 75252 (214) 380-2805					
DESIGN	DRAWN	DATE	SCALE	FILE	SHEET NO.
TNC	TNC	05/17/95	AS SHOWN	9501800	C-5

REVISION	DATE	DESCRIPTION	BY	CHECKS

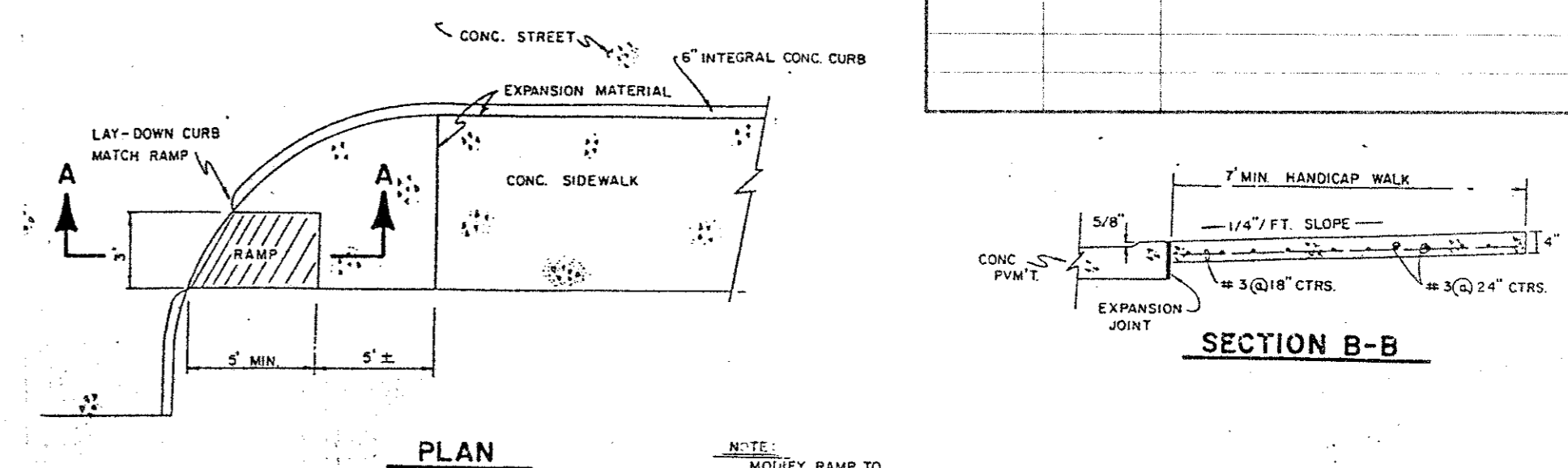


THREE GRATE INLET

SECTION C-C

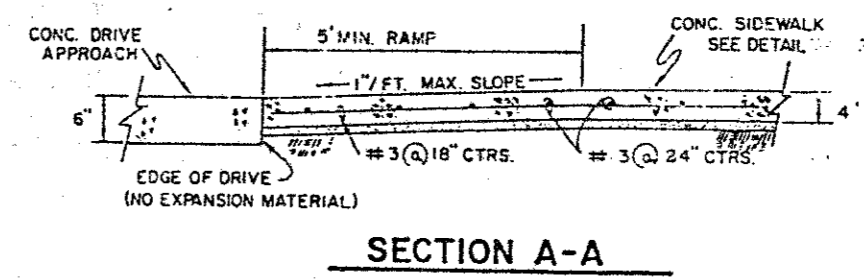
NOTES

1. ALL LAPS AND EXTENSIONS OF REINFORCING BARS SHALL BE 50% LAP UNLESS NOTED OTHERWISE.
2. LAY "T" BAR SPACERS IN PLACE OF USE & PULL BARS IN PLACE UNLESS NOTED OTHERWISE.
3. ALL CONCRETE TO BE MIN. OF 4000 PSI.

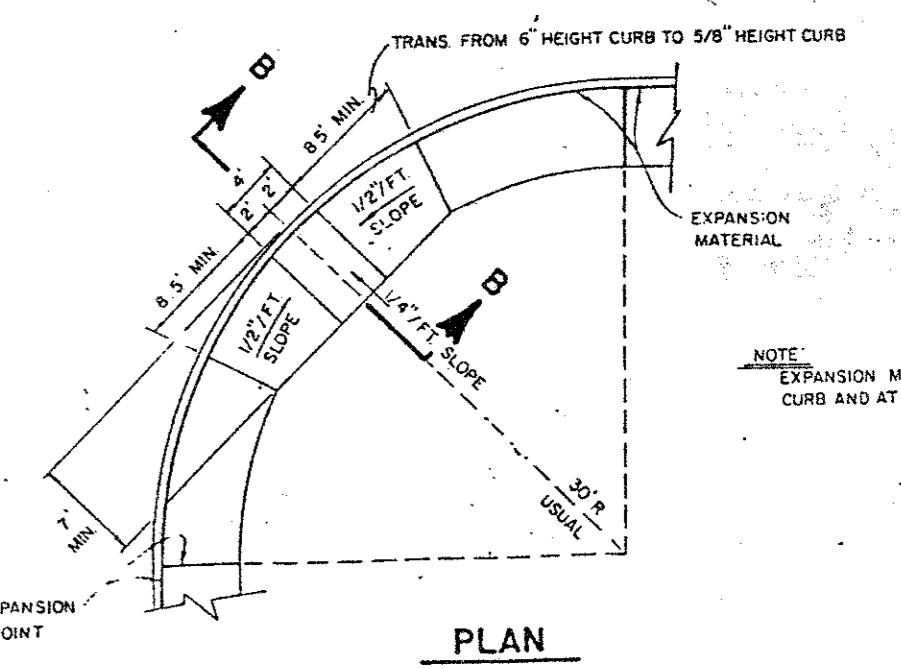


PLAN

SECTION B-B



SECTION A-A



PLAN

CONCRETE SIDEWALK DETAIL

GENERAL NOTES

Reinforced concrete sidewalk shall be 5 or 7 feet wide, a minimum of four (4) inches thick and shall be 3000 psi at 28 days (5 sack mix). Unless noted otherwise.

Chamber all exposed edges of concrete (1/4) inch.

All bar dimensions are given as center to center of bars and are located as shown.

All reinforcing steel shall be No. 3 on 18 inch centers longitudinally, 24 inch centers transversely and shall conform to the requirements of ASTM A-615, Grade 60.

1" thick min. fine, washed sand cushion shall be free from organic materials or clays and shall be used for grade adjustment.

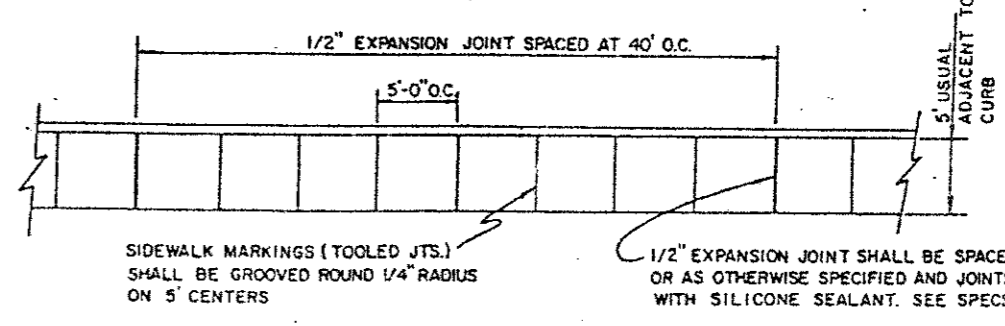
Subgrade shall be compacted to a density not less than 95% at optimum moisture.

Tooled joints (contraction joints) shall be on five (5) foot centers and shall be round one-fourth (1/4) inch radius.

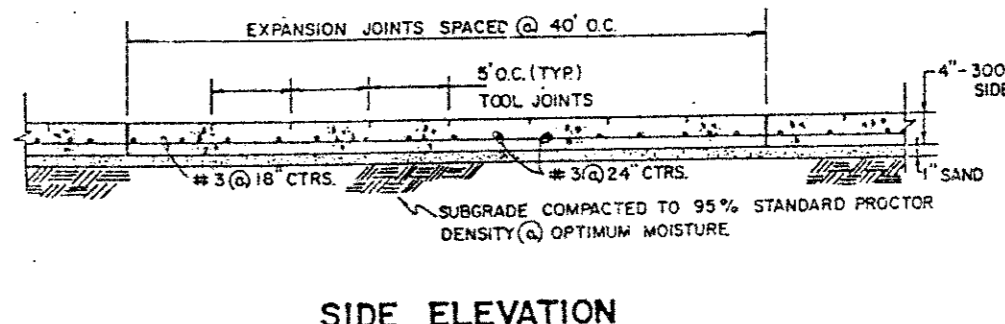
A one-half (1/2) inch expansion joint shall be placed every eight (8) feet, and where works abut old work, or where new work is constructed adjacent to other concrete, a one-half inch expansion joint shall be used where sidewalk is adjacent to curb, the expansion joint shall be made of pre-molded bituminous expansion joint filler or redwood with silicone sealant. See Specs.

Sidewalks shall be finished by lightly brooming surface transversely to direction of main traffic or where adjacent sidewalks differ from this standard, new sidewalks shall conform to adjacent sidewalk (e.g. exposed aggregate).

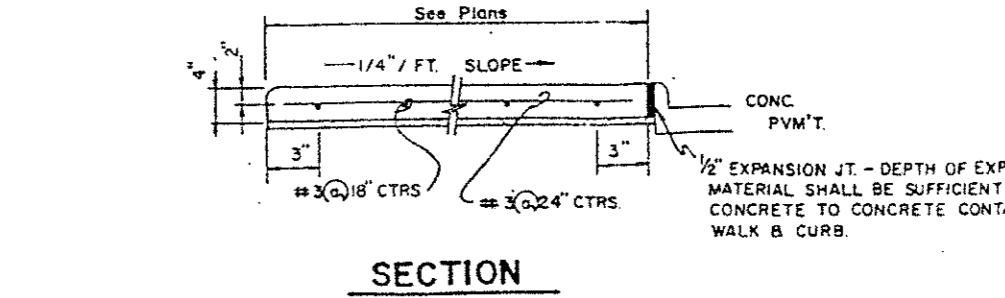
Curb: slope walk one-fourth (1/4) inch per foot towards curb or as shown on the drawings to provide drainage.



PLAN

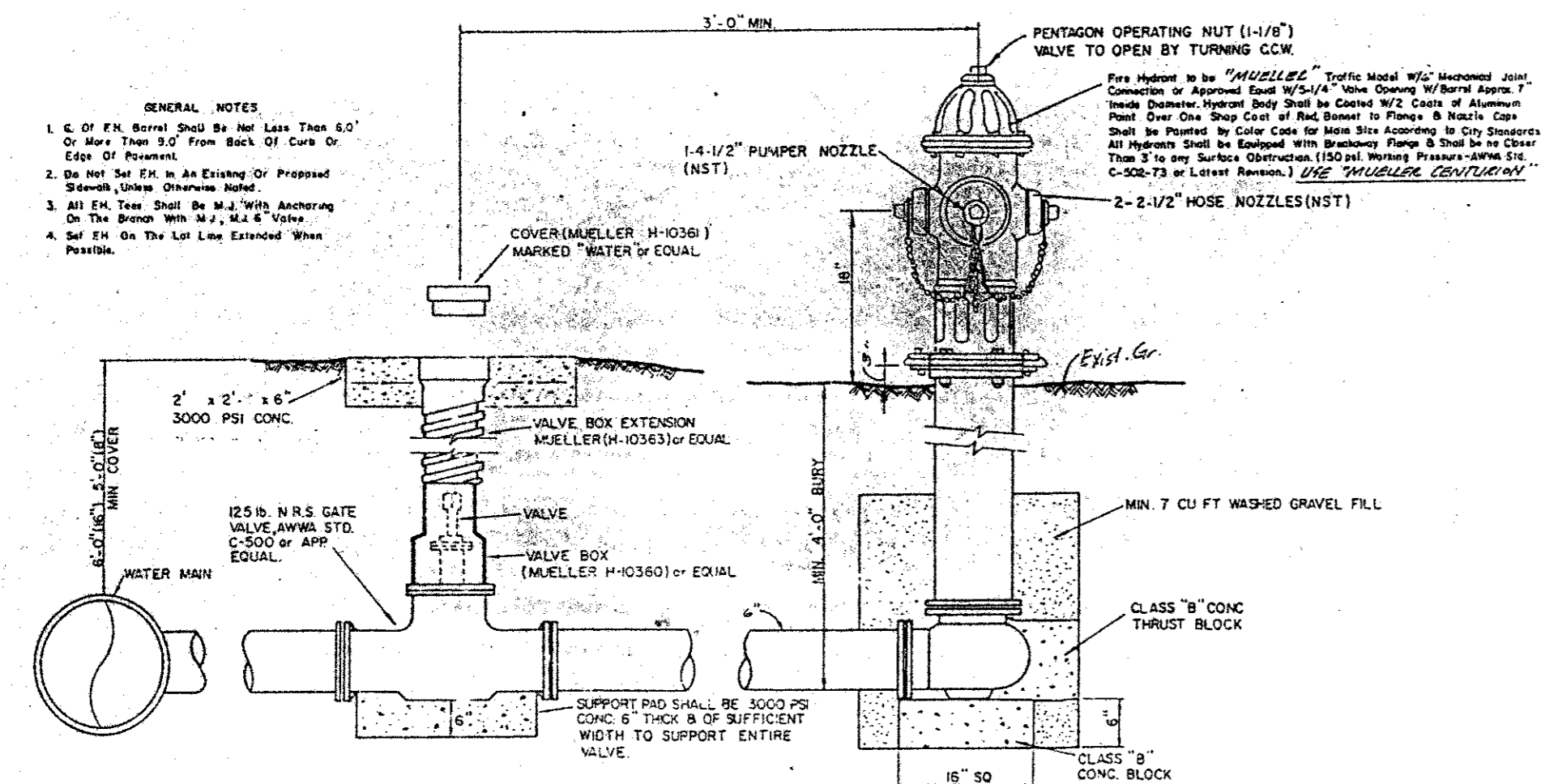


SIDE ELEVATION



SECTION

- GENERAL NOTES**
1. It is to final acceptance by the Town of Addison.
 2. A Texas Registered Professional Engineer shall certify that the project is in accordance with the plans and specifications approved by the Town of Addison.
 3. The owner shall provide 1 reproducible set of submittals (sealed and certified by a Texas Registered Engineer) in 2 blue line sets.
 4. A five foot sidewalk shall be installed along Lee's Lane. See attached detail.
 5. A one year 10% maintenance bond is required for the internal subdivision infrastructure.
 6. Contractor shall demonstrate that the water and sanitary sewer systems meet the proper pressure, bacteria, and material tests. In addition, the owner shall provide a 1/2" format video log of the sanitary sewer.
 7. Prior to starting construction, the contractor shall contact the utility companies to locate existing facilities. These include, but may not be limited to the following:
 - 1) Town of Addison
 - 2) Lone Star Gas
 - 3) Southwestern Bell
 - 4) Starline Cable
 - 5) Trained Cable Systems
 - 6) TUE Electric
 8. Prior to beginning construction, the owner or his authorized representative shall verify a Pre-Construction Conference between the Town of Addison, Consulting Engineer, Contractor(s), utility companies and any other affected parties. Notify Bruce Ellis 450-2847 at least 48 hours prior to beginning of construction.
 9. Any existing pavements, curbs, and/or sidewalks damaged or removed will be repaired by the contractor at their expense.
 10. Low plus shall be installed after construction and prior to final acceptance. Concrete monuments shall be placed as shown on the final plan and iron pins shall be placed a 300K corner, curve points and angle points in public right-of-way. Concrete monuments shall be six (6) inches in diameter and twenty-four (24) inches long. An iron monument shall be six (6) inches in diameter and twenty-four (24) inches long. An iron cross intersecting a point of the monument. The monuments shall be set at such an elevation that after construction, the top of the monument will be not less than twelve (12) inches below the grade of surface.
 11. The contractor shall stamp a 2 inch "S" and 2 inch "W" in the curb at the location of the sewer service and water service lines, respectively.
 12. At intersections that have valley drainage, the crown of the intersecting streets will continue in a flat line of 40 feet from the intersection, curb line unless otherwise noted.
 13. Temporary or permanent street barricades shall remain at all points of ingress and egress to prevent public use until such street received final acceptance.
 14. Contractor shall obtain a right-of-way permit by the Town of Addison for working within the public right-of-way.
 15. During construction, the owner shall provide a qualified geotechnical lab to perform materials testing during the construction, at the request of the Town of Addison.
 16. The contractor shall submit material sheets to the Town of Addison for approval prior to incorporating materials into the job.
 17. The utility contractor shall submit to the Town of Addison for approval a trench safety plan sealed by a registered professional engineer for the installation of utilities greater than five (5) feet in depth.



VALVE BOX DETAIL

FIRE HYDRANT INSTALLATION

VALVE BOX DETAIL

FIRE HYDRANT INSTALLATION

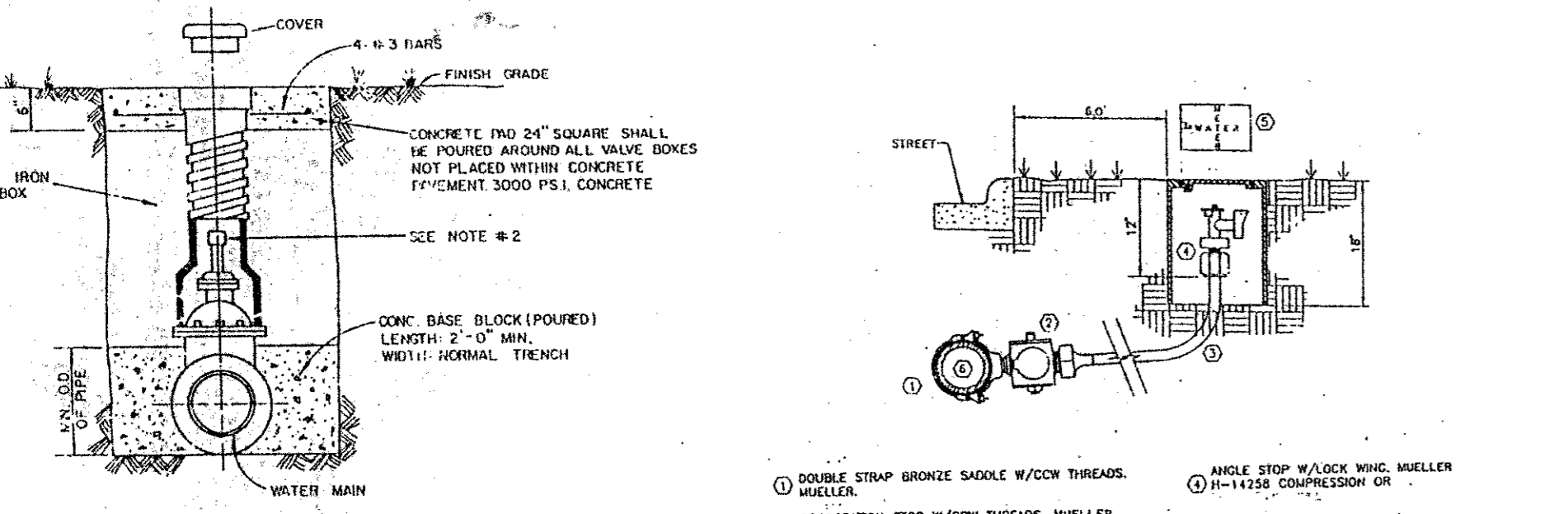
GENERAL NOTES

1. 6" or 8" N.R. Gate Valve shall be not less than 5'0" or more than 2'0" from Back of Curb or Edge of Pavement.
2. Do not set fire in an Existing or Proposed Street, Utility or Driveway.
3. All Fire Hydrants shall be set with a minimum of 12" clearance from the curb and 12" clearance from the edge of the driveway.
4. Set fire in the Lot Line Extended When Possible.

VALVE BOX DETAIL

GATE VALVES SHALL BE IRON BODY, BRASS OR BRASS MOUNTED, NON-RISING STEM, PARALLEL SEAT TYPE VALVES SHALL BE OF EQUAL OR GREATER PRESSURE CLASS THAN THE PIPING IN WHICH THEY ARE TO BE INSTALLED.

VALVE BOXES SHALL BE CAST IRON AND SHALL BE OF SUFFICIENT LENGTH AND DIAMETER TO OPERATE ALL VALVES BURIED IN THE GROUND. COVERS SHALL BE MARKED "WATER" THE BOXES SHALL REST ON THE VALVE AND BE ADJUSTED SO THAT THE COVER MAY BE SET FLUSH WITH THE FINISHED GRADE.

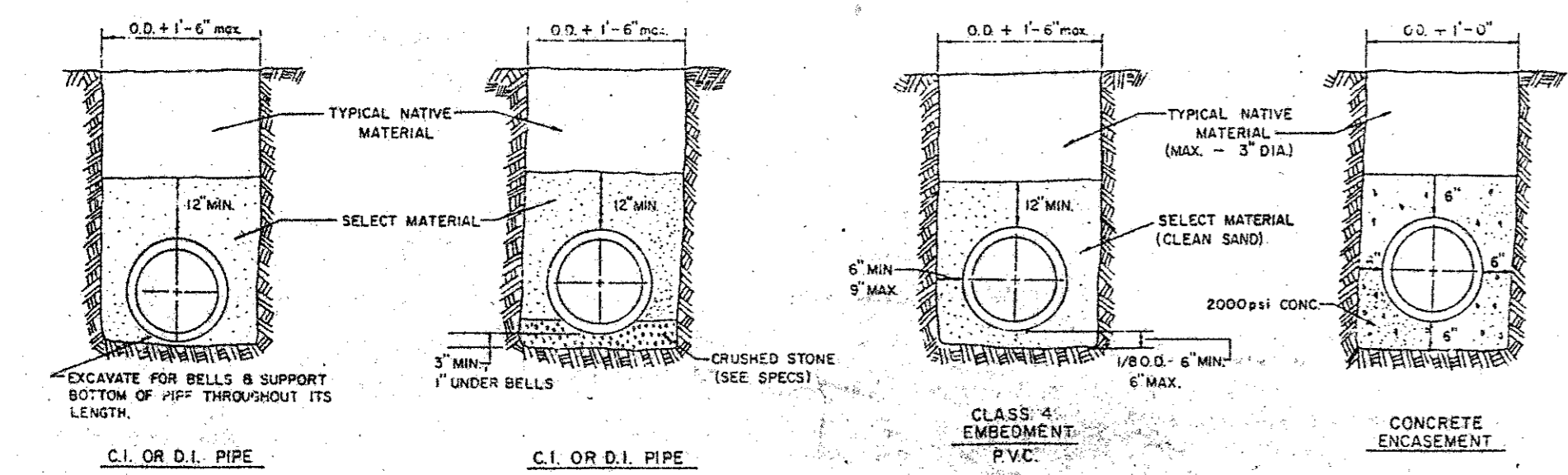


TYPICAL WATER SERVICE DETAIL

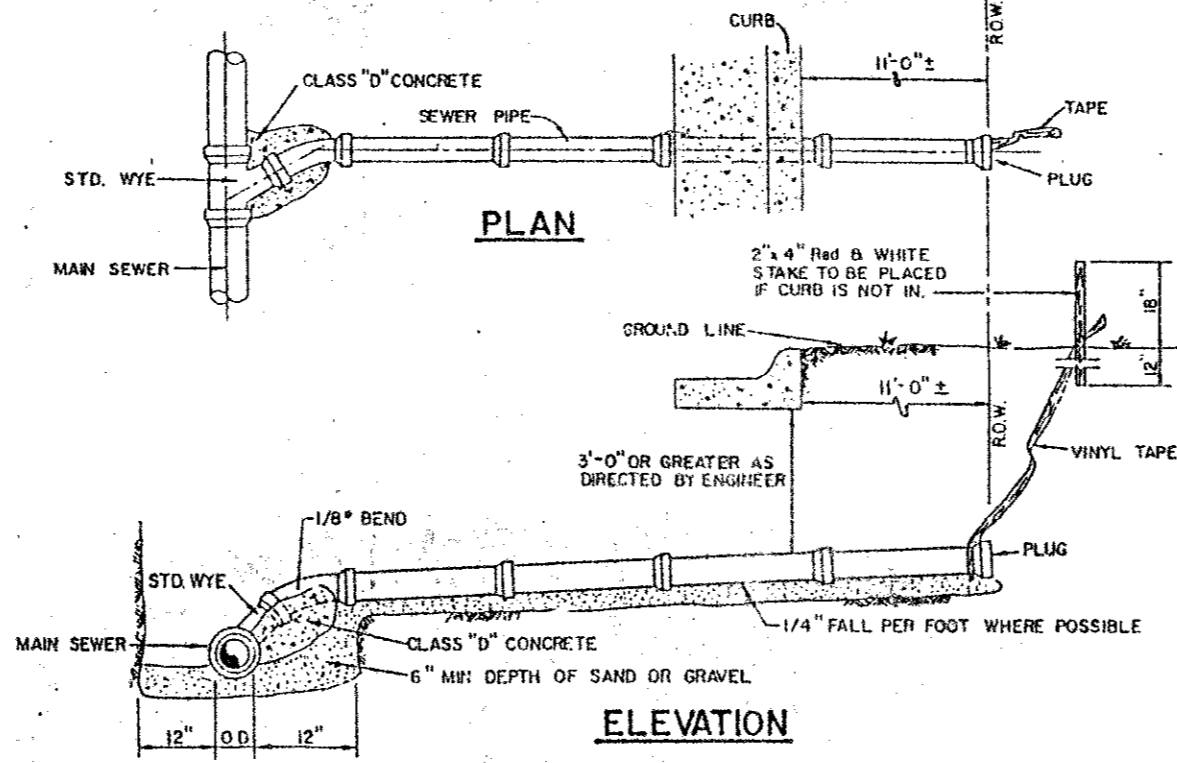
NOTE:

1. GATE VALVES SHALL BE IN ACCORDANCE WITH APWA STANDARD C-509-80 OR LATEST THEREOF. ALL VALVES SHALL BE "WATER" OR APPROVED EQUAL.
2. A PERMANENTLY ATTACHED VALVE EXTENSION STEM SHALL BE REQUIRED FOR ANY VALVE THAT OPERATING NUT IS LOCATED IN EXCESS OF 4 FEET BELOW THE TOP OF VALVE BOX. THIS EXTENSION SHALL BE OF SUFFICIENT LENGTH TO INSURE THAT ITS TOP IS WITHIN 4" OF VALVE BOX LID. MANUFACTURED VALVE STACK DUCTILE IRON PIPE TO BE USED FOR EXTENSION GREATER THAN 4" O.D. BELL END OF STACK TO BE FITTED OVER VALVE. VALVE AND VALVE STACK IS TO BE POLY WROUGHT.
3. VALVES SHALL BE OF DUCTILE IRON W/RUBBER ENCAPSULATED DISK BODY BOLTS SHALL BE STAINLESS STEEL OF SAME SIZE ON EACH VALVE.

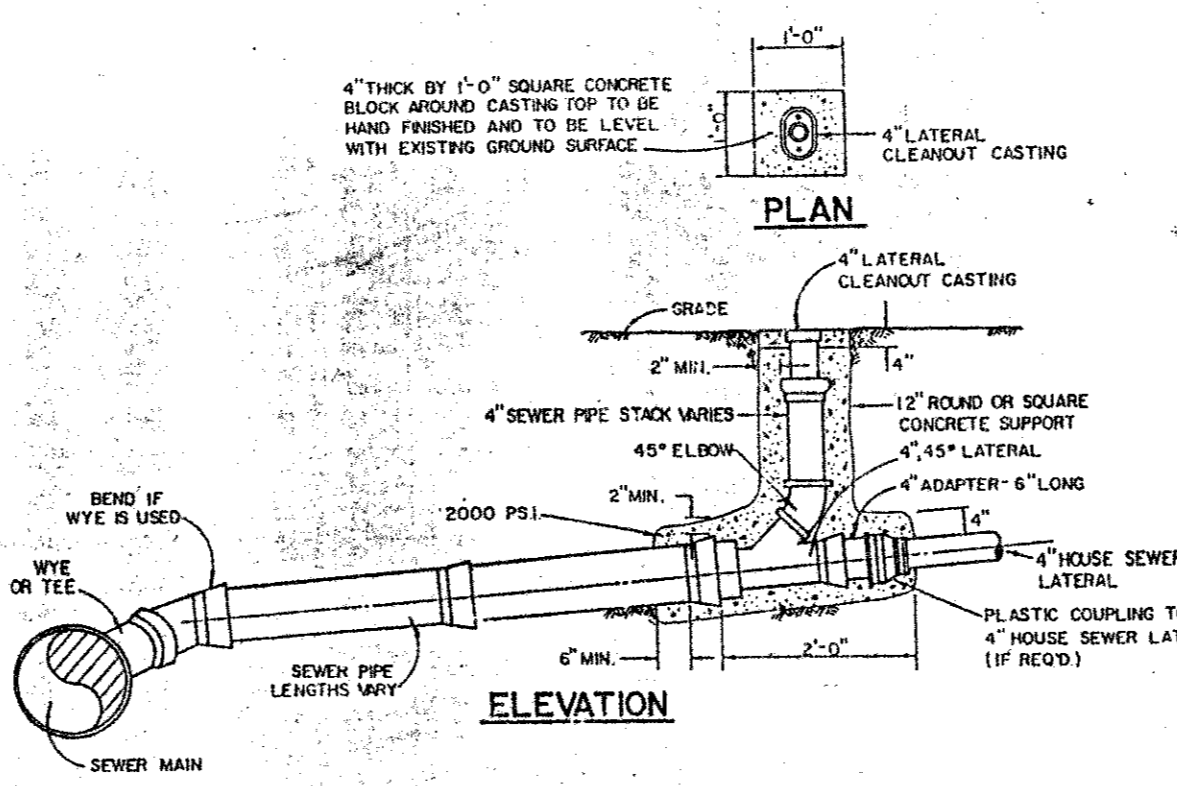
TYPICAL VALVE SETTING AND BOX



EMBEDMENT DETAILS FOR WATER MAIN



SANITARY SEWER SERVICE CONNECTION



TYPICAL CLEANOUTS

ALL PVC SANITARY SEWER PIPE TO BE SDR 35 WITH INTEGRAL BELL. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD LOCATE HORIZONTALLY EACH 4' SERVICE IN RELATION TO THE SANITARY SEWER STATIONING. FIELD TIES ARE TO BE INCLUDED AND RECORDED ON ACCUMULATED SANITARY SEWER MAP. THIS MAP, WHICH SHOULD BE IN COLOR IS TO BE ATTACHED TO THE 4' SERVICE AT THE ROW LINE AND BROUGHT TO THE SURFACE TO BE USED AS A PERMANENT MARKER.

DETAILS

SLEEP INN HOTEL

CITY OF ADDISON, TEXAS

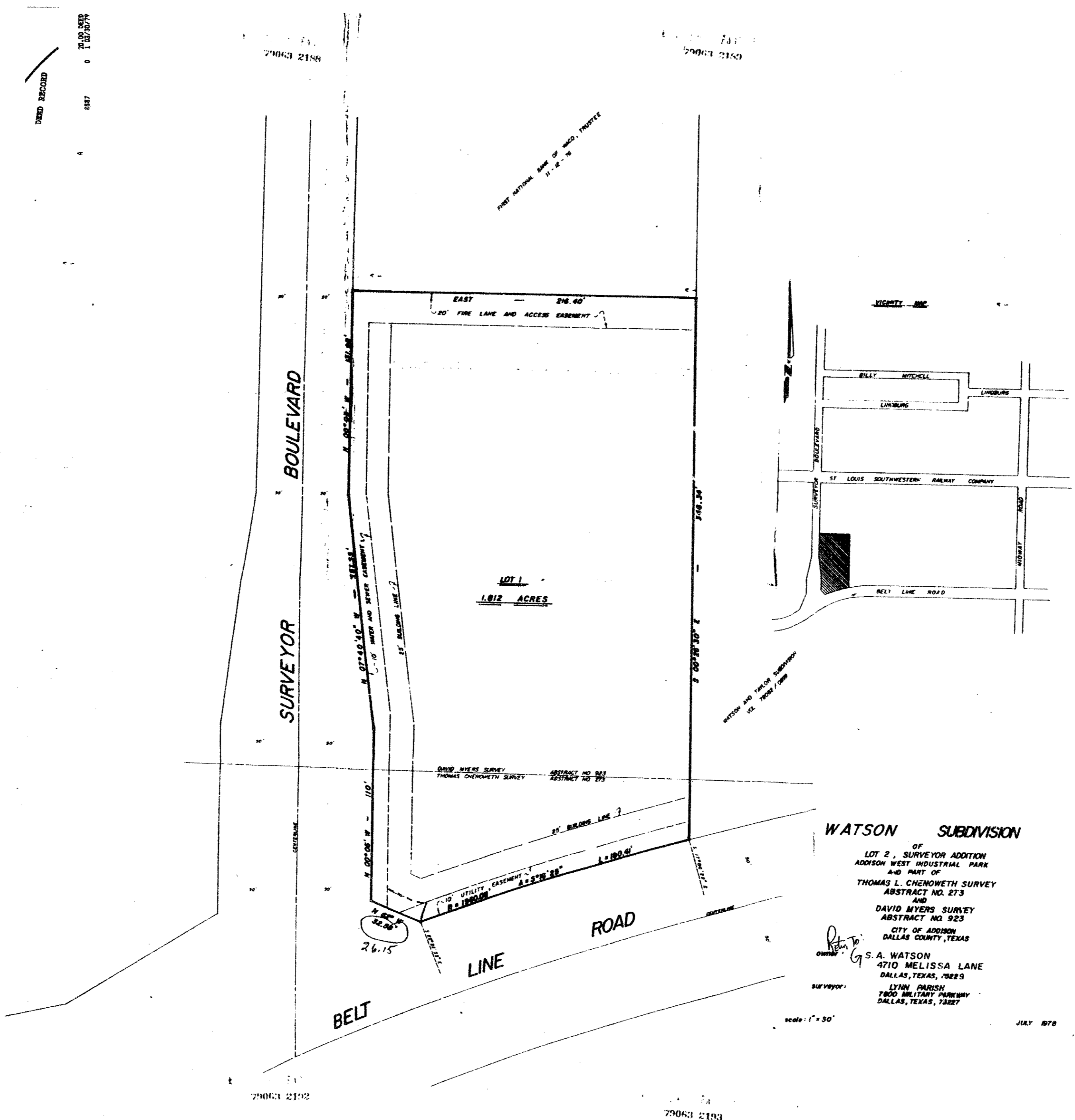
THE NELSON CORPORATION

PLANNING ENGINEERING SURVEYING

5698 SUMMERSIDE DRIVE SUITE 202 DALLAS, TEXAS 75262 (214) 380-2600

DESIGN	DRAWN	DATE	SCALE	FILE	SHEET NO.
TNC	TNC	02/27/95	1"=20'	9501800	C-6

STATE OF TEXAS
DENNIS C. FREEMAN
45360
REGISTERED PROFESSIONAL ENGINEER



79063 2190
79063 2191

OWNER'S CERTIFICATE AND DEDICATION

STATE OF TEXAS;
COUNTY OF DALLAS;

WHEREAS, S.A. Watson, Trustee, is the owner of a certain tract of land situated in the City of Addison, Dallas County, Texas, and being Lot 1 of Surveyor Addition, Addison West Industrial Park, and part of the Thomas L. Chenoweth Survey, Abstract No. 273 and the David Myers Survey, Abstract No. 923 and being more particularly described as follows:

BEGINNING at the intersection of the North right of way line of Belt Line Road with the East right of way line of Surveyor Boulevard;

THENCE with said line of Surveyor Boulevard the following: North 82° 00' West a distance of 32.58 feet; North 00° 05' West a distance of 110 feet; North 07° 40' West a distance of 151.33 feet; North 00° 05' East a distance of 131.99 feet to an iron rod for corner;

THENCE East a distance of 216.40 feet to an iron rod for corner;

THENCE South 08° 24' 30" East a distance of 346.34 feet to an iron rod for corner in the North and whose center bears South 17° 06' 28" East a distance of 1060.08 feet;

THENCE with said curve to the left and said North line having a central angle of 5° 16' 25", an arc distance of 180.41 feet to the place of BEGINNING and containing 1.812 acres of land, more or less.

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT I, S.A. Watson, Trustee, do hereby adopt this plat designating the herein above described property as WATSON SUBDIVISION, an Addition to the City of Addison, Dallas County, Texas, and do hereby dedicate to the public use forever the streets and alleys shown hereon. The assessments shown thereon shall be open to the public, fire and police utility, garbage and rubbish collection, and all public and private utilities for each particular use. The maintenance of parking on the utility and fire lanes assessments is the responsibility of the property owner. The maintenance of all public utilities shall be the responsibility of the property owner. The maintenance of any buildings, fences, trees, shrubs or other improvements or growths shall be constructed, repaired, maintained or replaced by the property owner. All and any public utility shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which in any way endanger or interfere with the construction, maintenance or efficiency of its respective system. All and any public utility shall at all times have the full right of ingress and egress to or from upon the said assessments for the purpose of construction, reconstruction, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective system without the necessity at any time of procuring the permission of anyone. Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and any maintenance and service required or ordinarily performed by that utility.

WITNESS MY HAND at Dallas, Texas, this the 26th day of July, 1978.

S.A. Watson, Trustee
S.A. Watson, Trustee

STATE OF TEXAS;
COUNTY OF DALLAS;

Before me, the undersigned, a Notary Public in and for said County and State on this day personally appeared S.A. Watson, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes in the capacity therein expressed.

Given under my hand and seal of office this 26th day of July, 1978.

Adam M. Hill
Notary Public, Dallas County, Texas

KNOW ALL MEN BY THESE PRESENTS:

That I, Lynn Parish, do hereby certify that I have prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my supervision in accordance with the platting rules and regulations of the City of Addison, Texas.

Lynn Parish
Lynn Parish
Registered Public Surveyor # 642

STATE OF TEXAS;
COUNTY OF DALLAS;

Before me, the undersigned, a Notary Public in and for said County and State on this day personally appeared Lynn Parish, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes in the capacity therein expressed.

Given under my hand and seal of office this 27th day of July, 1978.

This Plat approved subject to all rules, regulations, and platting ordinances of the City of Addison, Texas.

The 27th day of July, 1978.

79063 2191

Attest

James Hays
City Secretary

Marta Parish
Notary Public, Dallas County, Texas

MARTA PARISH, Notary Public
Dallas County, Texas
My Commission Expires July 28, 1980

MAR 30 1979

79063 2190