

*CIVIL ENGINEERING PLANS*

*FOR*

**HILTON GARDEN INN**

**RUNYON EXT. @ BELTLINE ROAD**

**BELT LINE CENTRE LOT 2A, BLOCK 1**

*TOWN OF ADDISON, DALLAS COUNTY, TEXAS*

*PREPARED BY*

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**PACHECO KOCH** Consulting Engineers, Inc. 9401 LBJ Freeway, Suite 300  
Dallas, Texas 75243 (972) 235-3031  
Contact: Matthew W. Alexander

**AZIMUTH ARCHITECTURE. INC.**

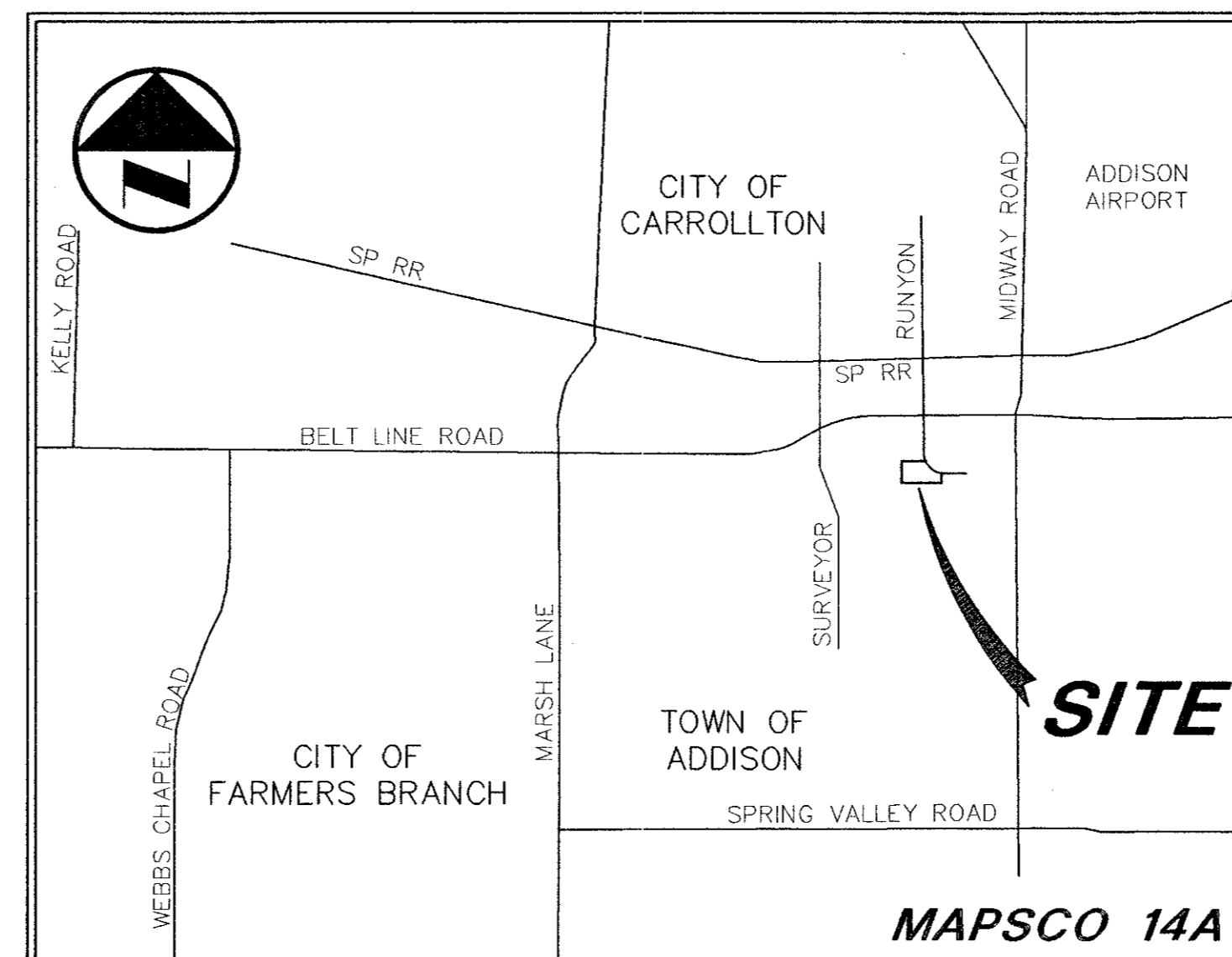
3027 ROUTH STREET  
DALLAS, TEXAS 75201 (214) 979-9004  
Contact: GARY R. TURK

*FOR*

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**MAGNOLIA HOSPITALITY GROUP, LTD.**

HOMWOOD SUITES  
2401 AIRPORT FREEWAY  
BEDFORD, TEXAS 76021 (817) 283-5006  
Contact: JAY SHINN



**VICINITY MAP**

N.T.S.

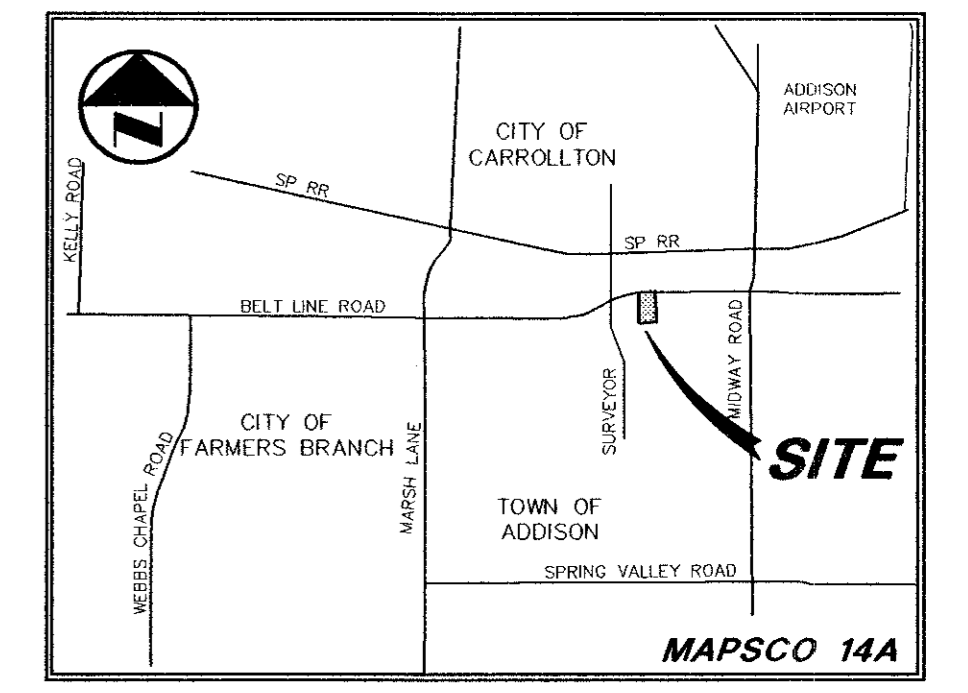
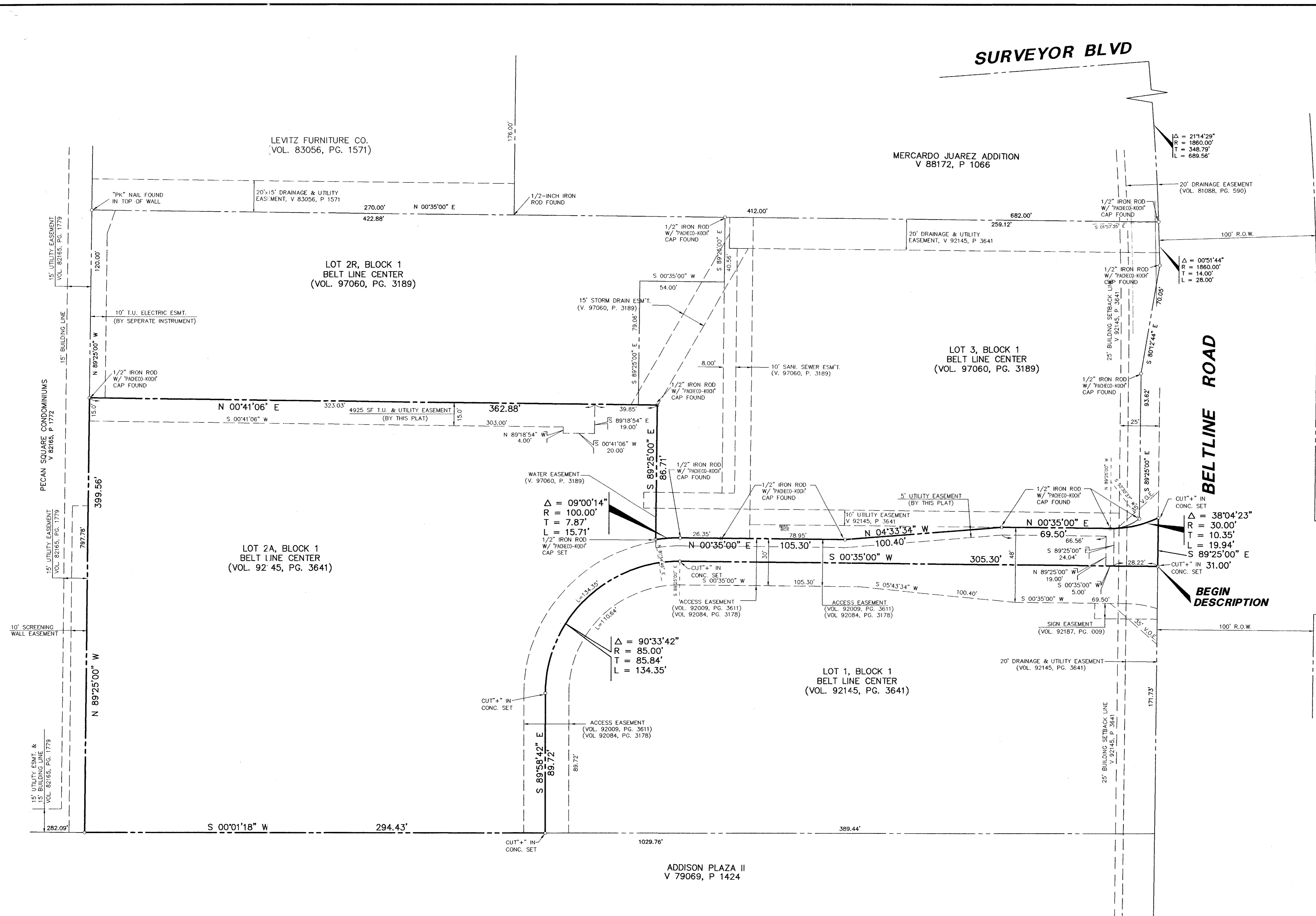
*DRAWING SHEET INDEX*

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FOR  
HILTON GARDEN INN  
RUNYON EXT. @ BELTLINE ROAD  
LOT 2A, BLOCK 1 - BELT LINE CENTRE  
TOWN OF ADDISON, DALLAS COUNTY, TEXAS

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<i>SHEET</i>	<i>PLAN</i>
C-0.0	COVER SHEET
C-1.1,1.2	PLAT
C-2.0	DIMENSIONAL CONTROL PLAN
C-3.0	GRADING & DRAINAGE PLAN
C-4.0	UTILITY PLAN
C-5.0	STANDARDS & DETAILS
L-1.1	LANDSCAPE PLAN



VICINITY MAP



GRAPHIC SCALE IN FEET

RUNYON DRIVE

SHEET 1 OF 2  
 FINAL PLAT  
 OF  
**LOT 2A, BLOCK 1  
 BELT LINE CENTER**  
 LOCATED IN THE TOWN OF ADDISON, TEXAS  
 AND BEING OUT OF THE  
**THOMAS L. CHENOWETH SURVEY, ABSTRACT NO. 273,  
 DALLAS COUNTY, TEXAS**

<b>PACHECO KOCH</b> Consulting Engineers, Inc. Civil Engineering • Land Surveying		9401 LBJ Freeway, Suite 300 Dallas, Texas 75243 (972) 235-3031
DRAWN BY CHI	CHECKED BY JAK	SCALE 1"=30'
DATE 10/31/97	JOB NUMBER 1488-97.146	C 1.1

OWNER:  
 MAGNOLIA HOSPITALITY GROUP LTD.  
 2401 AIRPORT FREEWAY  
 BEDFORD, TEXAS 76021  
 TEL (817)283-5006

C 1.1

**OWNER'S CERTIFICATE**

STATE OF TEXAS  
COUNTY OF DALLAS

WHEREAS, MAGNOLIA HOSPITALITY GROUP LTD., A TEXAS LIMITED PARTNERSHIP, is the owner of a 2.451 acre tract of land out of the Thomas L. Chenoweth Survey, Abstract No. 273, Dallas County, Texas; said tract being part of Lot 2, Block 1 and all of Lot 3, Block 1 of the Belt Line Center, an addition to the Town of Addison, Texas according to the plat recorded in Volume 92145, Page 3641 of the Deed Records, Dallas County, Texas; said 2.451 acre tract being more particularly described as follows:

**BEGINNING**, at a cut "+" in concrete set in the south right-of-way line of Belt Line Road (a 100 foot wide right-of-way); said point also being the northwest corner of Lot 1, Block 1 said Belt Line Center; said point also the intersection of the centerline of a variable width Access Easement, dedicated by instruments recorded in Volume 92009, Page 3611 and Volume 92084, Page 3178 of the Deed Records of Dallas County, Texas;

**THENCE**, departing said south right-of-way line of Belt line road and along the said center line of the said Access Easement and the west and south line of said Lot 1, the following: three courses and distances;

South 00 degrees, 35 minutes, 00 seconds West, a distance of 305.30 feet to a cut "+" in concrete set at the beginning of a curve to the left whose center bears South 81 degrees, 25 minutes, 00 seconds East, a distance of 85.00 feet from said point;

Southerly, southeasterly and easterly, along said curve to the left, through a central angle of 90 degrees, 33 minutes, 42 seconds, an arc distance of 134.35 feet, on a chord bearing and distance of South 44 degrees, 41 minutes, 51 seconds East, 120.82 feet, to a cut "+" in concrete set at the end of said curve;

South 89 degrees, 58 minutes, 42 seconds East, a distance of 89.72 feet to a cut "+" in concrete set; said point being in the west line of the Addison Plaza II Addition, an addition to the Town of Addison, Texas according to the plat recorded in Volume 79069, Page 1424 of the Deed Records of Dallas County, Texas;

**THENCE**, South 00 degrees, 01 minutes, 18 seconds West, along said west line, a distance of 294.43 feet to a 1/2-inch iron rod with "Pacheco Koch" cap set at the southwest corner of said Addison Plaza II; said point being in the north line of the Pecan Square Condominiums Addition, an addition to the Town of Addison, Texas according to the plat recorded in Volume 82185, Page 1772 of the Deed Records of Dallas County, Texas;

**THENCE**, North 89 degrees, 25 minutes, 00 seconds West along the said north line of the Pecan Square Condominiums Addition, a distance of 279.56 feet to a 1/2-inch iron rod with "Pacheco Koch" cap found for corner; said point being the southeast corner of Lot 2R, Block 1, of the Replat of the Belt Line Center Addition, an addition to the Town of Addison, Texas according to the plat recorded in Volume 17060, Page 3189 of the Deed Records of Dallas County, Texas;

**THENCE**, North 00 degrees, 41 minutes, 06 seconds East, along the east line of said Lot 2R, a distance of 362.88 feet to a 1/2-inch iron rod with "Pacheco Koch" cap found at the e-entrant corner of said Lot 2R;

**THENCE**, South 89 degrees, 25 minutes, 00 seconds East, along a south line of said Lot 2R, a distance of 86.71 feet to a 1/2-inch iron rod with "Pacheco Koch" cap set at the beginning of a non-tangent curve to the right whose center bears North 81 degrees, 34 minutes, 46 seconds East, a distance of 100.00 feet from said point; said point also being in the west line of said Access Easement;

**THENCE**, along the west line of the said Access Easement the following four courses and distances;

Northerly, along said curve to the left through a central angle of 09 degrees, 00 minutes, 14 seconds, an arc distance of 15.71 feet to a 1/2-inch iron rod with "Pacheco Koch" cap found at the end of said curve;

North 00 degrees, 35 minutes, 00 seconds East, a distance of 105.30 feet to a 1/2-inch iron rod with "Pacheco Koch" cap found;

North 04 degrees, 33 minutes, 34 seconds West, a distance of 100.40 feet to a 1/2-inch iron rod with "Pacheco Koch" cap set at an angle point;

North 00 degrees, 35 minutes, 00 seconds East, a distance of 69.50 feet to a 1/2-inch iron rod with "Pacheco Koch" cap set at the beginning of a curve to the left whose center bears North 89 degrees, 25 minutes, 00 seconds West, a distance of 70.00 feet from said point;

Northerly, along said curve to the left, through a central angle of 25 degrees, 50 minutes, 08 seconds, an arc distance of 31.56 feet, on a chord bearing and distance of North 12 degrees, 20 minutes, 04 seconds West, 31.30 feet, to a cut "+" in concrete set in the said south right-of-way line of Belt Line Road.

**THENCE**, South 89 degrees, 25 minutes, 00 seconds East, along said south right-of-way line, a distance of 31.00 feet to the POINT OF BEGINNING;

CONTAINING, 96,354 square feet or 2.212 acres of land, more or less.

**OWNERS DEDICATION**

That MAGNOLIA HOSPITALITY GROUP LTD., a Texas limited partnership, acting through its managing partner, MAGNOLIA HOSPITALITY, L.L.C., does hereby adopt this plat designating the hereinabove property as the Replat Lot 2AR, Block 1, Belt Line Center, an addition to the Town of Addison, Texas, and, subject to the conditions, restrictions and reservations stated hereinafter, owner dedicates to the public use forever the streets and alleys shown hereon.

The easements shown on this plat are hereby reserved for the purposes as indicated, including, but not limited to, the installation and maintenance of water, sanitary sewer, storm sewer, drainage, electric, telephone, gas and cable television. Owner shall have the right to use the easements, provided however, that it does not unreasonably interfere or impede with the provision of the services to others. Said utility accommodation of all public utilities using or desiring to use the same. An express easement of ingress and egress is hereby expressly granted on, over and across all such easements for the benefit of the provider of services for which easements are granted.

Any drainage and floodway easement shown hereon is hereby dedicated to the public's use forever, but including the following covenants with regards to maintenance responsibilities. The existing channels or creeks traversing the drainage and floodway easement will remain as an open channel, unless required to be enclosed by ordinance, at all times and shall be maintained by the individual owners of the lot or lots that are traversed by or adjacent to the drainage and floodway easement. The City will not be responsible for the maintenance and operation of said creek or creeks or for any damage or injury to private property or person that results from the flow of water along said creek, or for the control of erosion. No obstruction to the natural flow of water run-off shall be permitted by construction of any type building, fence or any other structure within the drainage and floodway easement. Provided, however, it is understood that in the event it becomes necessary for the City to channelize or consider erecting any type of drainage structure in order to improve the storm drainage, then in such event, the City shall have the right, but not the obligation, to enter upon the drainage and floodway easement at any point, or points, with all rights of ingress and egress to investigate, survey, erect, construct or maintain any drainage facility deemed necessary by the City for drainage purposes. Each property owner shall keep the natural drainage channels and creeks traversing the drainage and floodway easement adjacent to his property clean and free of debris, silt, growth, vegetation, weeds, rubbish, refuse, matter and any substance which would result in unsanitary conditions or obstruct the flow of water, and the City shall have the right of ingress and egress for the purpose of inspection and supervision and maintenance work by the property owner to alleviate any undesirable conditions which may occur. The natural drainage channels and creeks through the drainage and floodway easement, as in the case of all natural channels, are subject to storm water overflow and natural bank erosion to an extent that cannot be definitely defined. The City shall not be held liable for any damages or injuries of any nature resulting from the occurrence of the so natural phenomena, nor resulting from the failure of any structure or structures, within the natural drainage channels, and the owners hereby agree to indemnify and hold harmless the City from any such damages and injuries. Building areas outside the drainage and floodway easement line shall be filled to a minimum elevation as shown on the plat. The minimum floor elevation of each lot shall be shown on the plat.

The maintenance or paving of the utility and fire lane easements is the responsibility of the property owner. All public utilities shall at all times have upon the said utility easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective system without the necessity of procuring the permission of anyone. Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and any maintenance and service required or ordinarily performed by the utility. Buildings, fences, trees shrubs or other improvements or growth may be constructed, reconstructed or placed upon, over or across the utility easement as shown; provided, however, that owner shall at its sole cost and expense be responsible under any and all circumstances for the maintenance and repair of such improvements or growth, and any public utility shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growth which in any way endanger or interfere with the construction, maintenance or efficiency of its respective system or service.

Water main and sanitary sewer easements shall also include additional area of working space for construction and maintenance of the systems. Additional easement area is also conveyed for installation and maintenance of manholes, cleanouts, fire hydrants, water service and sewer services from the main to curb or pavement line, and the descriptions of such additional easements herein granted shall be determined by their locations as installed.

This plat is approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Addison, Texas.

WITNESS my hand at Dallas, Texas, this the \_\_\_\_ day of \_\_\_\_\_, 1997.

MAGNOLIA HOSPITALITY GROUP, L.L.C.  
JAY SHINN, PRESIDENT  
MANAGING PARTNER

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared JAY SHINN, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed and in the capacity stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this \_\_\_\_ day of \_\_\_\_\_, 1997.

My commission expires:

Notary Public in and for Dallas County, Texas

**SURVEYOR'S CERTIFICATE**

THAT I, JAMES A. KOCH, JR., Registered Professional Land Surveyor, do hereby certify that this plat was prepared from an actual and accurate survey of the land made on the ground and that the corner monuments shown thereon were properly placed under my personal supervision in accordance with the platting rules and regulations of the City of Addison, Texas.

James A. Koch, Jr.  
Registered Professional Land Surveyor  
No. 4688

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared James A. Koch, Jr., known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this \_\_\_\_ day of \_\_\_\_\_, 1997.

My commission expires:

Notary Public in and for Dallas County, Texas

SHEET 2 OF 2  
FINAL PLAT  
OF

**LOT 2A, BLOCK 1  
BELT LINE CENTER**

LOCATED IN THE TOWN OF ADDISON, TEXAS  
AND BEING OUT OF THE  
THOMAS L. CHENOWETH SURVEY, ABSTRACT NO. 273,  
DALLAS COUNTY, TEXAS

C 1.2

OWNER:  
MAGNOLIA HOSPITALITY GROUP LTD.  
2401 AIRPORT FREEWAY  
BEDFORD, TEXAS 76021  
TEL (817)283-5006

**PACHECO KOCH**  
Consulting Engineers, Inc.  
Civil Engineering • Land Surveying  
9401 LBJ Freeway, Suite 300  
Dallas, Texas 75243  
(972) 235-3031

DRAWN BY	CHECKED BY	SCALE	DATE	JOB NUMBER
CHI	JAK	1"=30'	10/31/97	1488-97.146

- BENCHMARK LIST**
- BM # 1 "C" CUT IN CENTER OF A 21' INLET WEST SIDE OF PARKING AREA 275'+/- SOUTH OF SOUTH LINE OF BELTLINE AND 251'+/- EAST OF EAST LINE OF MARSH LANE. ELEV. 572.14
  - BM # 2 "C" CUT IN CENTER OF INLET SOUTH SIDE OF BELTLINE ROAD, 80'+/- WEST OF ENTRANCE TO 4050 BELTLINE ROAD. ELEV. 599.40
  - BM # 3 "C" CUT IN CENTER OF MEDIAN NOSE IN CENTER LINE OF BELTLINE ROAD, 85'+/- WEST OF ENTRANCE TO 4050 BELTLINE ROAD. ELEV. 600.21
  - BM # 4 "C" CUT SOUTHWEST CORNER OF TRANSFORMER PAD, AT SOUTHWEST CORNER OF "OLD CHICAGO RESTAURANT" 4060 BELTLINE ROAD. ELEV. 607.81
  - BM # 5 "C" CUT SET IN BASE OF LIGHT STANDARD, NORTHWEST CORNER OF SUBJECT TRACT. ELEV. 611.34

LEVITZ FURNITURE CO.  
(VOL. 83056, PG. 1571)

1.638 ACRES  
MERCADO JUAREZ ADDITION  
VOL. 88172, PG. 1066

**ROCK BOTTOM BREWERY**  
4050 BELTLINE ROAD  
1-STORY BRICK & STUCCO BUILDING

**ROCK BOTTOM BREWERY**  
PARKING EXPANSION  
LOT 2R, BLOCK 1  
BELT LINE CENTER  
(VOL. 97060, PG. 3189)

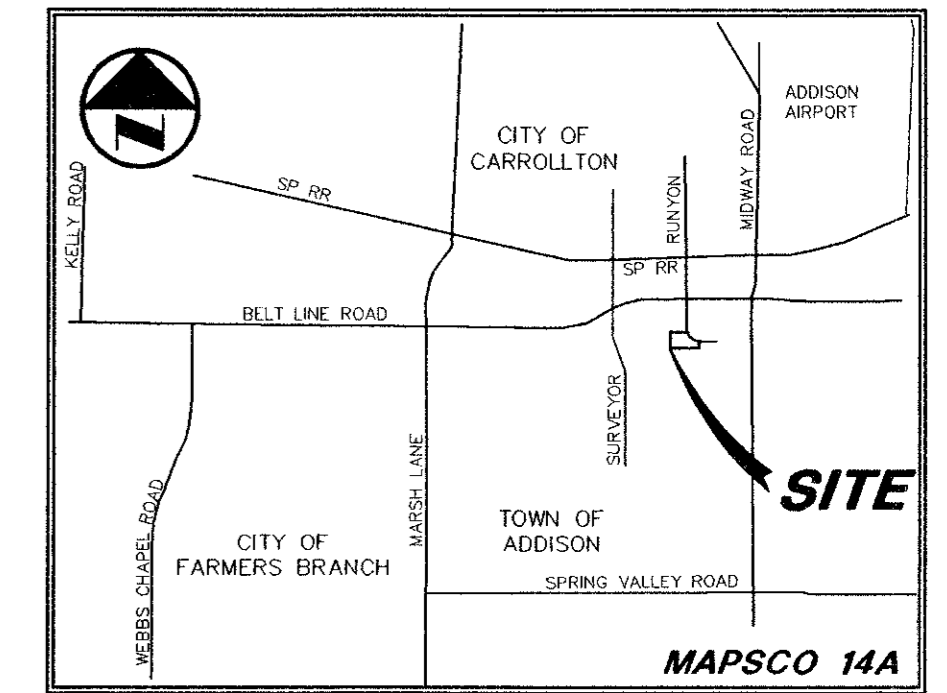
**HILTON GARDEN INN**  
3 STORY BUILDING  
(18,010 SF)  
FF= 615.00

**OLD CHICAGO**  
LOT 3, BLOCK 1  
1.644 ACRES  
EXISTING ONE STORY BRICK

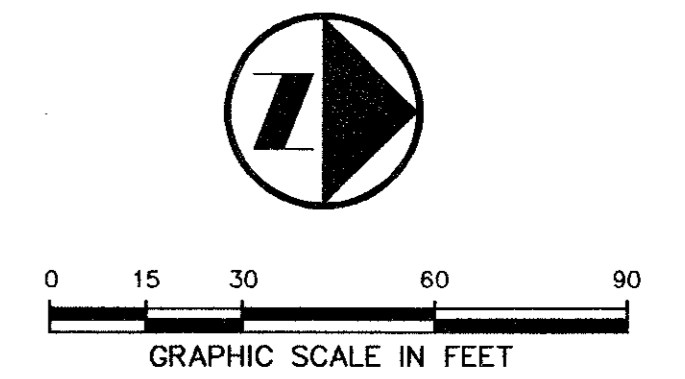
**LOT 3, BLOCK 1**  
BELT LINE CENTER  
(VOL. 97060, PG. 3189)

**FRESH CHOICE**  
LOT 1, BLOCK 1  
BELT LINE CENTER  
(VOL. 92145, PG. 3641)

**ADDISON PLAZA II**  
V 79069, P 1424



**VICINITY MAP**



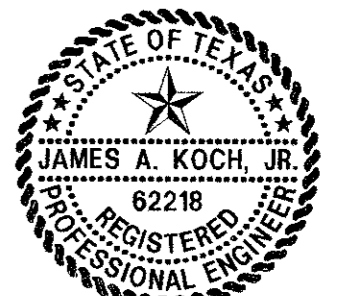
- LEGEND**
- FDH FIRE HYDRANT
  - PP POWER POLE
  - LS LIGHT STANDARD
  - WM WATER METER
  - WV WATER VALVE
  - CO CLEANOUT
  - MH MANHOLE
  - GM GAS METER
  - PROPERTY LINE
  - EXIST CONTOUR
  - EL 612.39 EXIST SPOT ELEVATION
  - TC 612.39 EXIST TOP OF CURB ELEVATION
  - G 611.92 EXIST GUTTER ELEVATION
  - - - EXPANSION JOINT

**BELTLINE ROAD**

**RUNYON DRIVE**

**BEGIN DESCRIPTION**

- NOTES:**
1. ALL DIMENSIONS ARE FROM BACK OF CURB UNLESS OTHERWISE NOTED.
  2. SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES WERE REPRODUCED FROM INFORMATION ON FILE WITH THE TOWN OF ADDISON, CONTRACTOR TO VERIFY.
  3. THE BEARING SYSTEM OF THIS SURVEY IS BASED ON THE ROCK BOTTOM BREWERY PARKING EXPANSION VOL. 97060, PG. 3189, DEED RECORDS, DALLAS COUNTY, TEXAS.
  4. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
  5. REFER TO ARCHITECTURAL PLANS FOR DETAILED ENTRANCE LAYOUTS.
  6. CONTRACTOR MAY SUBMIT ALTERNATE JOINTING PLAN FOR ENGINEERS APPROVAL IN LIEU OF WHAT IS SHOWN.



THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF JAMES A. KOCH, JR., P.E. 62218 ON 10/31/97. IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.

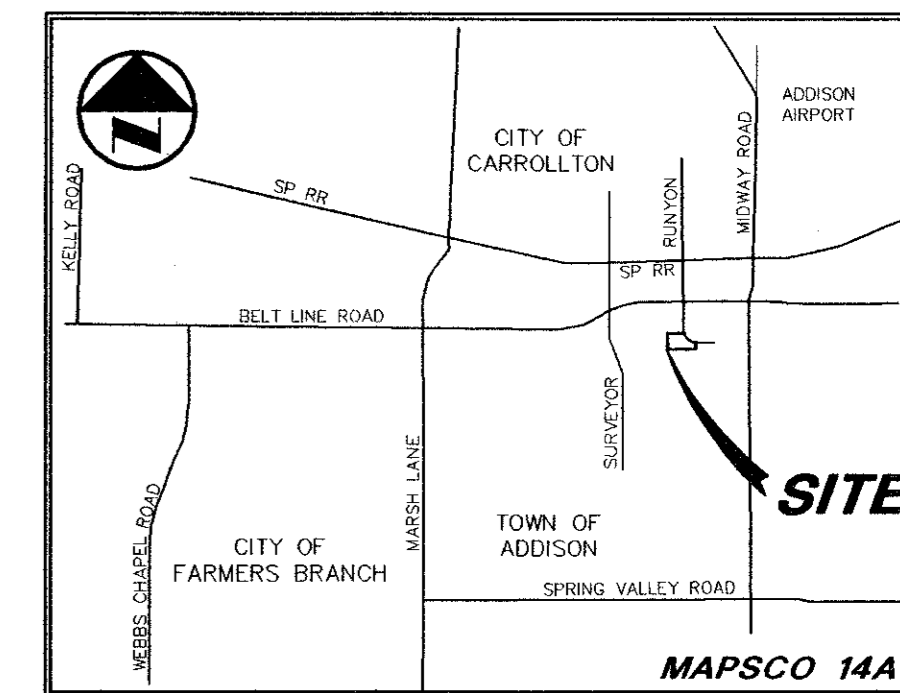
**PACHECO KOCH** 9401 LBJ Freeway, Suite 300  
Consulting Engineers, Inc. Dallas, Texas 75243  
Civil Engineering • Land Surveying (214) 235-3031

**DIMENSIONAL CONTROL PLAN**  
**HILTON GARDEN INN**  
**RUNYON EXT. AT BELTLINE ROAD**  
**LOT 2A, BLOCK 1**  
TOWNES of ADDISON, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
JAK	MWA/CHI	OCT 1997	1"=30'			<b>C-2</b>

**LEGEND**

- PP FIRE HYDRANT
- LS LIGHT STANDARD
- WM WATER METER
- WV WATER VALVE
- CN CLEANOUT
- MH MANHOLE
- GM GAS METER
- PL PROPERTY LINE
- EL. 612.32 EXIST. CONTOUR
- EL. 612.32 EXIST. SPOT ELEVATION
- EL. 611.92 EXIST. TOP OF CURB ELEVATION
- EL. 611.92 EXIST. GUTTER ELEVATION
- 613 PROPOSED CONTOUR
- TC 614.5 PROP. TOP OF CURB ELEVATION
- G 614.0 PROP. GUTTER ELEVATION
- S 614.5 PROP. SPOT ELEVATION
- PROP. DRAINAGE FLOW DIRECTION
- PROP. DRAINAGE DIVIDE
- DA DRAINAGE AREA
- Q cfs.



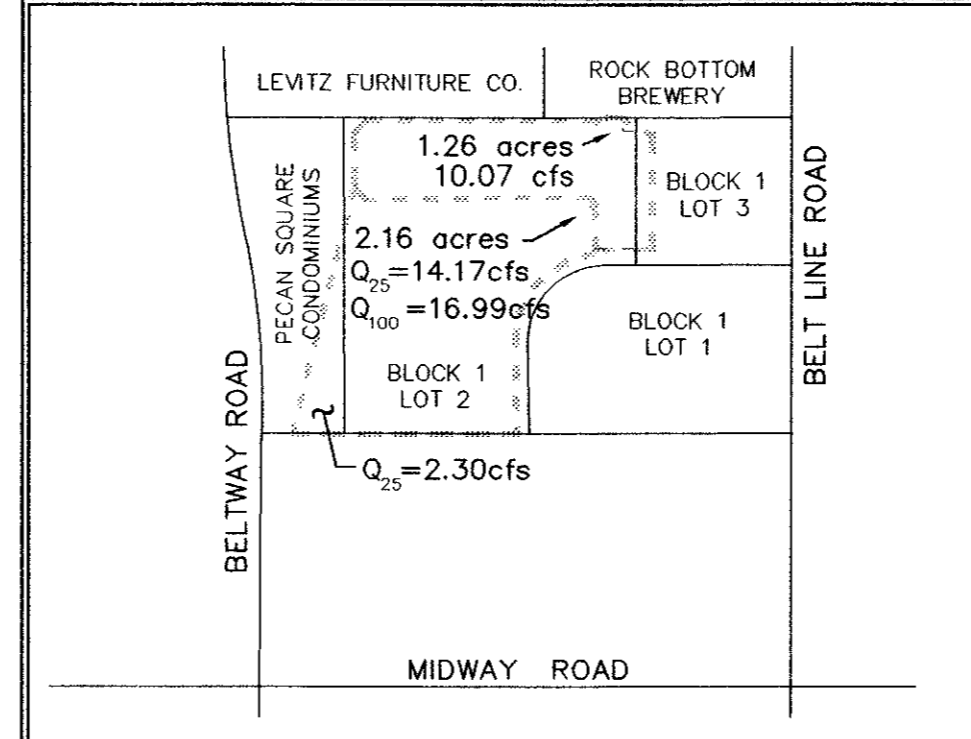
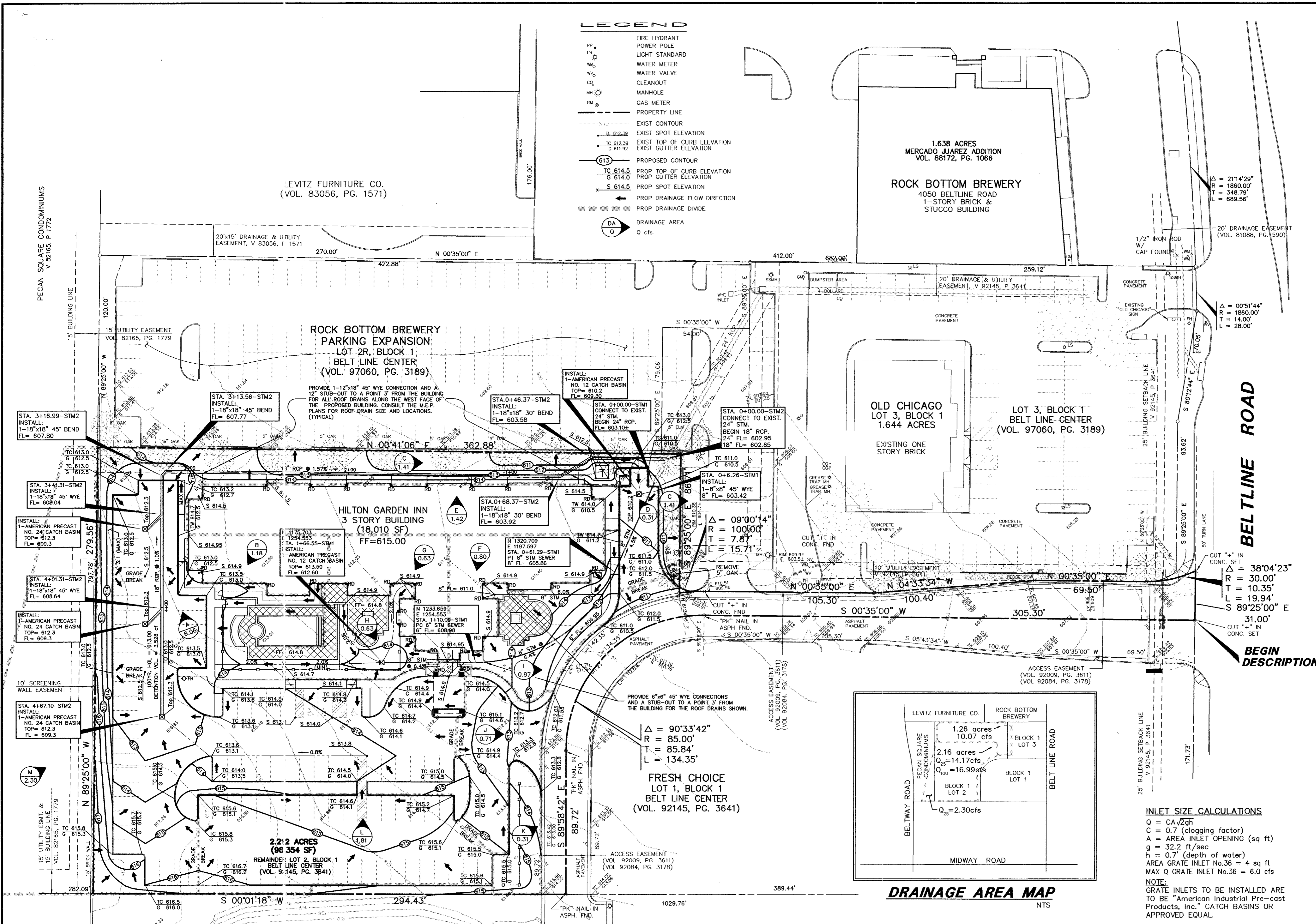
**VICINITY MAP**

**DETENTION BASIN DESIGN CALCULATIONS**

GIVEN: Area = 1.61  
Prop C = 0.90  
Prop Tc = 10 min  
Max Q = 9.66 cfs

RESULT: Maximum Required Storage = 3,405 cf  
RESULT: Maximum Provided Storage = 3,528 cf

Storm Duration	Inlet	Outlet	Volume
5 min	10.49	8.74	15.2 cfs
10 min	8.74	7.52	12.7 cfs
15 min	7.52	6.80	10.9 cfs
20 min	6.80	5.75	9.9 cfs
30 min	5.75	4.45	8.3 cfs
40 min	5.00	3.91	7.2 cfs
50 min	4.45	3.35	6.4 cfs
60 min	3.91	3.10	5.7 cfs
70 min	3.35	3.10	5.1 cfs
80 min	3.10	3.10	4.8 cfs
90 min	3.10	3.10	4.5 cfs



**DRAINAGE AREA MAP**

**INLET SIZE CALCULATIONS**

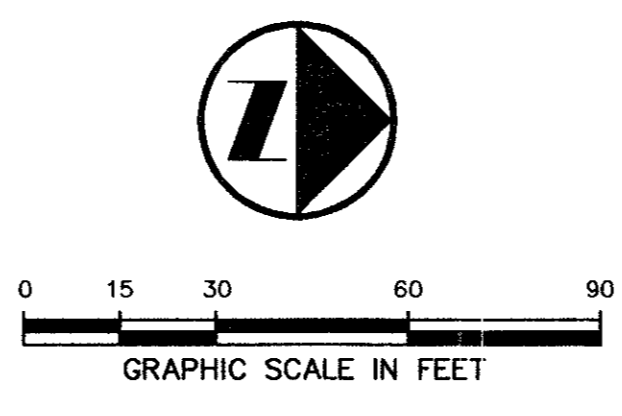
Q = CA√gh  
C = 0.7 (clogging factor)  
A = AREA INLET OPENING (sq ft)  
g = 32.2 ft/sec  
h = 0.7' (depth of water)  
AREA GRATE INLET No.36 = 4 sq ft  
MAX Q GRATE INLET No.36 = 6.0 cfs

**OUTLET CONTROL CALCULATIONS**

DA'S AFFECTED BY DETENTION: A,B,E,L  
A = AREA OF OPENING = Q/(C√2gh), WHERE  
Q<sub>100</sub> = TOTAL GENERATED DISCHARGE (A-L) = 16.99 cfs  
Q<sub>25</sub> = TOTAL ALLOWABLE DISCHARGE (A-L) = 14.17 cfs  
Q<sub>100</sub> = BYPASS DISCHARGE INTO STREET (I,J,K) = 1.89 cfs  
Q<sub>100</sub> = BYPASS DISCHARGE INTO PARKING (C) = 1.41 cfs  
Q<sub>25</sub> = BYPASS DISCHARGE INTO STM (E,D,F,G,H) = 3.78 cfs  
Q<sub>25</sub> = OFFSITE DISCHARGE INTO DETENTION (M) = 2.30 cfs  
Q<sub>25</sub> = DETAILED DISCHARGE  
= Q<sub>25</sub> - Q<sub>100</sub>(BYPASS) + Q<sub>25</sub>(OFFSITE) = 9.66 cfs  
C = CLOGGING FACTOR = 0.7  
g = GRAVITATIONAL CONSTANT = 32.2 ft/sec  
h = AVAILABLE HEAD = 613.0-612.3 = 0.7 ft  
A = 2.06 SF/3 = 0.69 SF per GRATE INLET  
CONTRACTOR TO REDUCE EACH NO. 24 GRATE INLET OPENING WITHIN THE DETENTION AREA TO 0.69 SF.

**DRAINAGE CALCULATION TABLE**

DA DESTINATION	DA	AREA	C	I <sub>25</sub>	I <sub>100</sub>	Q <sub>25</sub>	Q <sub>100</sub>
INTO DETENTION/STM	A	0.77	0.9	7.29	8.74	5.05	6.06
INTO DETENTION/STM	B	0.15	0.9	7.29	8.74	0.98	1.18
INTO ADJACENT PARKING	C	0.18	0.9	7.29	8.74	1.18	1.41
INTO STM. W/O DETENTION	D	0.04	0.9	7.29	8.74	0.26	0.31
INTO STM. W/O DETENTION	E	0.18	0.9	7.29	8.74	1.18	1.42
INTO STM. W/O DETENTION	F	0.10	0.9	7.29	8.74	0.66	0.80
INTO STM. W/O DETENTION	G	0.08	0.9	7.29	8.74	0.52	0.63
INTO STM. W/O DETENTION	H	0.08	0.9	7.29	8.74	0.52	0.63
INTO STREET W/O DETENTION	I	0.11	0.9	7.29	8.74	0.72	0.87
INTO STREET W/O DETENTION	J	0.09	0.9	7.29	8.74	0.59	0.71
INTO STREET W/O DETENTION	K	0.04	0.9	7.29	8.74	0.26	0.31
INTO DETENTION/STM	L	0.23	0.9	7.29	8.74	1.51	1.81
OFF SITE	M	0.35	0.9	7.29	8.74	2.30	-



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**GRADING & DRAINAGE PLAN**

**HILTON GARDEN INN**  
**RUNYON AT BELTLINE ROAD**  
**REMAINDER LOT 2, BLOCK 1**  
**TOWNES of ADDISON, TEXAS**

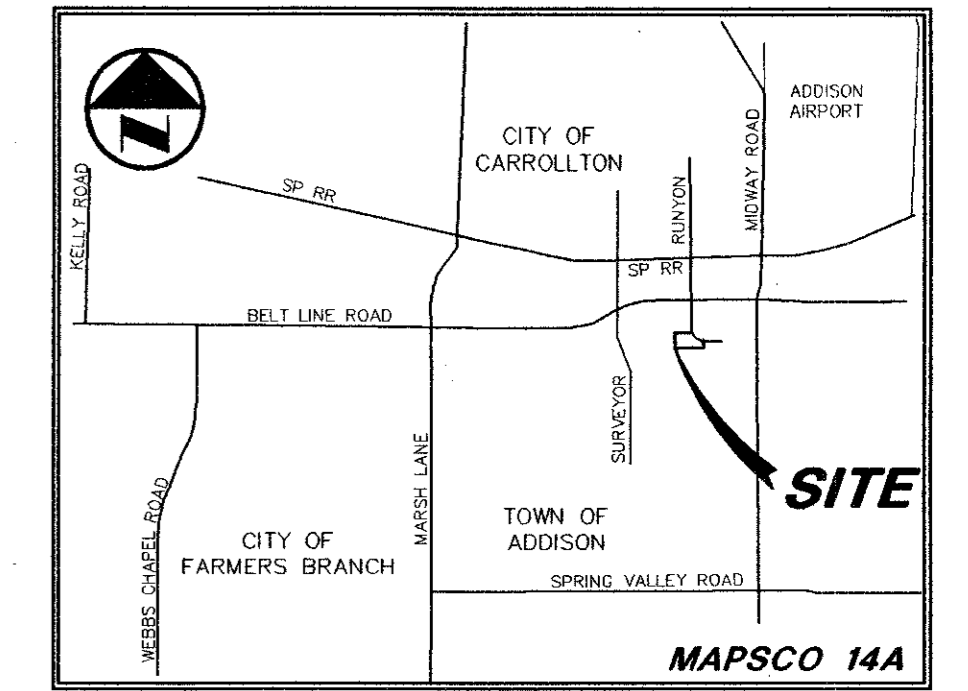
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
JAK	MWA/CHI	OCT 1997	1"=30'			<b>C-3</b>

- BENCHMARK LIST**
- BM # 1 "I" CUT IN CENTER OF A 21" INLET WEST SIDE OF PARKING AREA 275'+/- SOUTH OF SOUTH LINE OF BELTLINE AND 251'+/- EAST OF EAST LINE OF MARSH LANE. ELEV. 572.14
  - BM # 2 "I" CUT IN CENTER OF INLET SOUTH SIDE OF BELTLINE ROAD, 80'+/- WEST OF ENTRANCE TO 4050 BELTLINE ROAD. ELEV. 599.40
  - BM # 3 "I" CUT IN CENTER OF MEDIAN NOSE IN CENTER LINE OF BELTLINE ROAD, 85'+/- WEST OF ENTRANCE TO 4050 BELTLINE ROAD. ELEV. 600.21
  - BM # 4 "I" CUT SOUTHWEST CORNER OF TRANSFORMER PAD, AT SOUTHWEST CORNER OF "OLD CHICAGO RESTAURANT" 4050 BELTLINE ROAD. ELEV. 607.81
  - BM # 5 "I" CUT SET IN BASE OF LIGHT STANDARD, NORTHWEST CORNER OF SUBJECT TRACT. ELEV. 611.34

LEVITZ FURNITURE CO.  
(VOL. 83056, PG. 1571)

1.638 ACRES  
MERCADO JUAREZ ADDITION  
VOL. 88172, PG. 1066

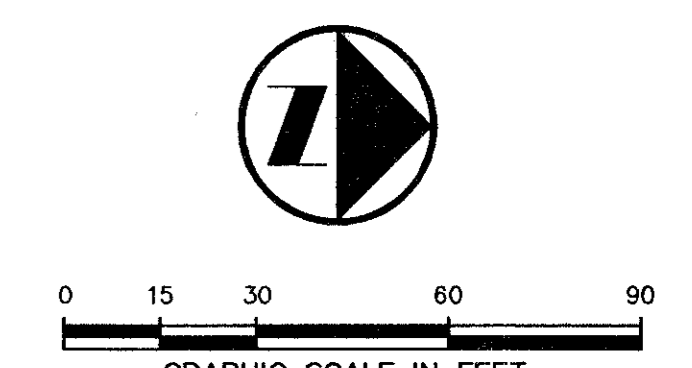
**ROCK BOTTOM BREWERY**  
4050 BELTLINE ROAD  
1-STORY BRICK & STUCCO BUILDING



**VICINITY MAP**

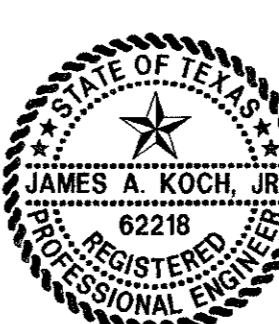
**LEGEND**

- ⊕ BOLLARD
- ⊕ ELECTRIC METER
- ⊕ POWER POLE
- ⊕ LIGHT STANDARD
- ⊕ WATER METER
- ⊕ WATER VALVE
- ⊕ IRRIGATION CONTROL VALVE
- ⊕ FIRE HYDRANT
- ⊕ CLEANOUT
- ⊕ MANHOLE
- ⊕ GAS METER
- ⊕ TRAFFIC SIGNAL CONTROL
- ⊕ TRAFFIC SIGNAL POLE
- ⊕ TELEPHONE BOX
- ⊕ TV BOX
- ⊕ FLAG POLE
- PROPERTY LINE
- O.H. POWER LINES
- TEL. POWER LINES
- U/G WATER LINE
- U/G GAS LINE
- FENCE



**WATER AND SANITARY SEWER GENERAL NOTES**

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2. UNLESS OTHERWISE NOTED, ALL CONCRETE SHALL BE CLASS "A", (3000 PSI).
3. THE HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING SUBSURFACE UTILITIES HAVE BEEN DETERMINED FROM DATA RECORDED BY OTHERS. CONTRACTOR SHALL VERIFY THAT NECESSARY CROSSING CLEARANCES BETWEEN EXISTING AND PROPOSED UTILITIES EXIST PRIOR TO CONSTRUCTION OF ANY SUCH CROSSING. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT.
4. CONTRACTOR SHALL MAINTAIN ONE SET OF "RECORD DRAWINGS" ON SITE WHICH WILL BE SUBMITTED TO OWNER OR ENGINEER UPON COMPLETION OF THE PROJECT. RECORD DRAWINGS SHALL INDICATE THE LOCATION OF ALL SUBTERRANEAN UTILITY IMPROVEMENTS, AND INDICATE TIES TO ALL MANHOLES, CULVERTS, INLETS, JUNCTION BOXES, ETC.
5. ALL WATER MAINS SHALL BE DUCTILE IRON CLASS 51 WITH CATHODIC PROTECTION OR PVC C900, DR 18, CLASS 150.
6. ALL WATER MAINS UNLESS OTHERWISE NOTED SHALL HAVE A MINIMUM COVER OF 48" BELOW FINISHED GRADE.
7. SANITARY SEWER PIPE SHALL BE PVC C-900 SDR-35.
8. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS REGARDING TRENCH SAFETY.
9. BARRICADING AND PROJECT SIGNS SHALL CONFORM TO "STATE DEPARTMENT OF HIGHWAYS AND PUBLIC TRANSPORTATION BARRICADING AND CONSTRUCTION STANDARDS."
10. WHERE A SANITARY SEWER PARALLELS A WATERLINE, THE SEWER SHALL BE CONSTRUCTED OF CAST IRON DUCTILE IRON OR PVC MEETING ASTM SPECIFICATIONS WITH A PRESSURE RATING FOR BOTH THE PIPE AND JOINTS OF 150 PSI. THE VERTICAL SEPARATION SHALL BE MINIMUM OF TWO FEET BETWEEN OUTSIDE DIAMETERS AND THE HORIZONTAL SEPARATION SHALL BE A MINIMUM OF FOUR FEET BETWEEN OUTSIDE DIAMETERS. THE SEWER SHALL BE LOCATED BELOW THE WATERLINE.
11. WHERE PROPOSED WATER IS CROSSING ABOVE THE PROPOSED SANITARY SEWER THE CONTRACTOR SHALL CENTER ONE JOINT OF SEWER PIPE UNDERNEATH THE WATER LINES. THE SEWER LINE SHALL BE CEMENT STABILIZED, SAND BACKFILLED ZONE FOR 9 FEET ON EITHER SIDE OF THE CROSSING.

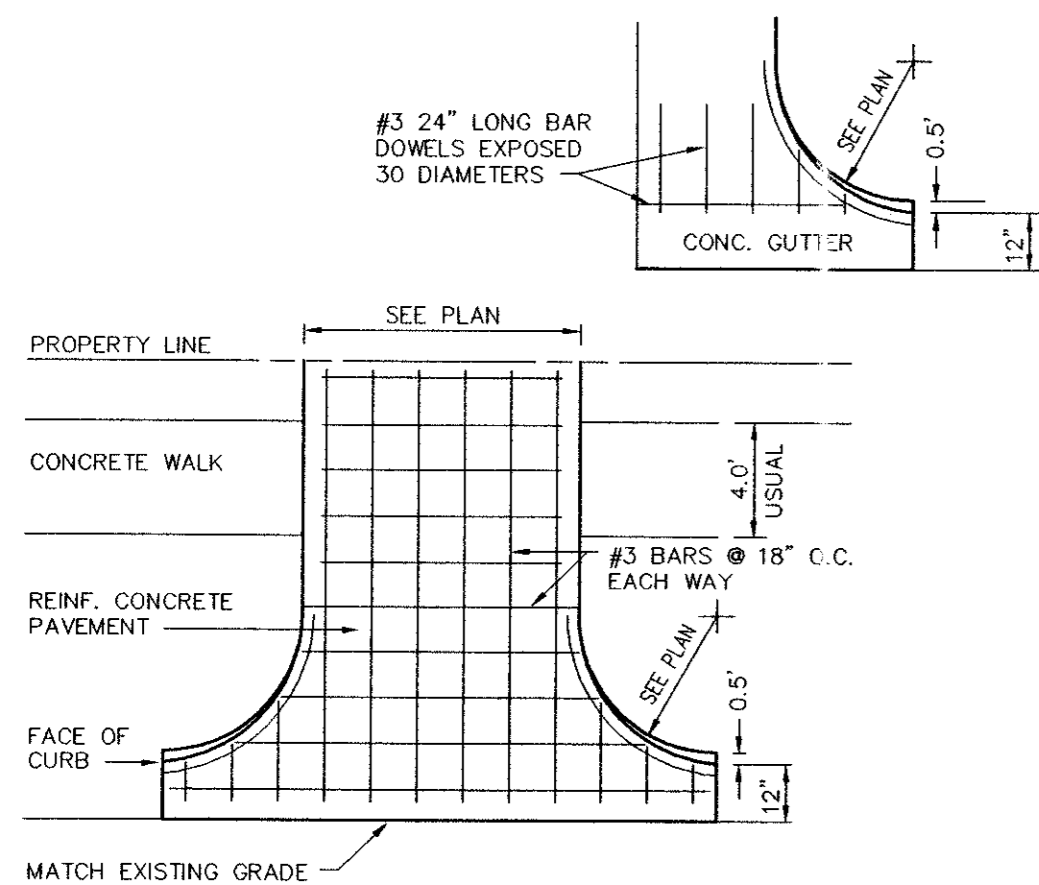


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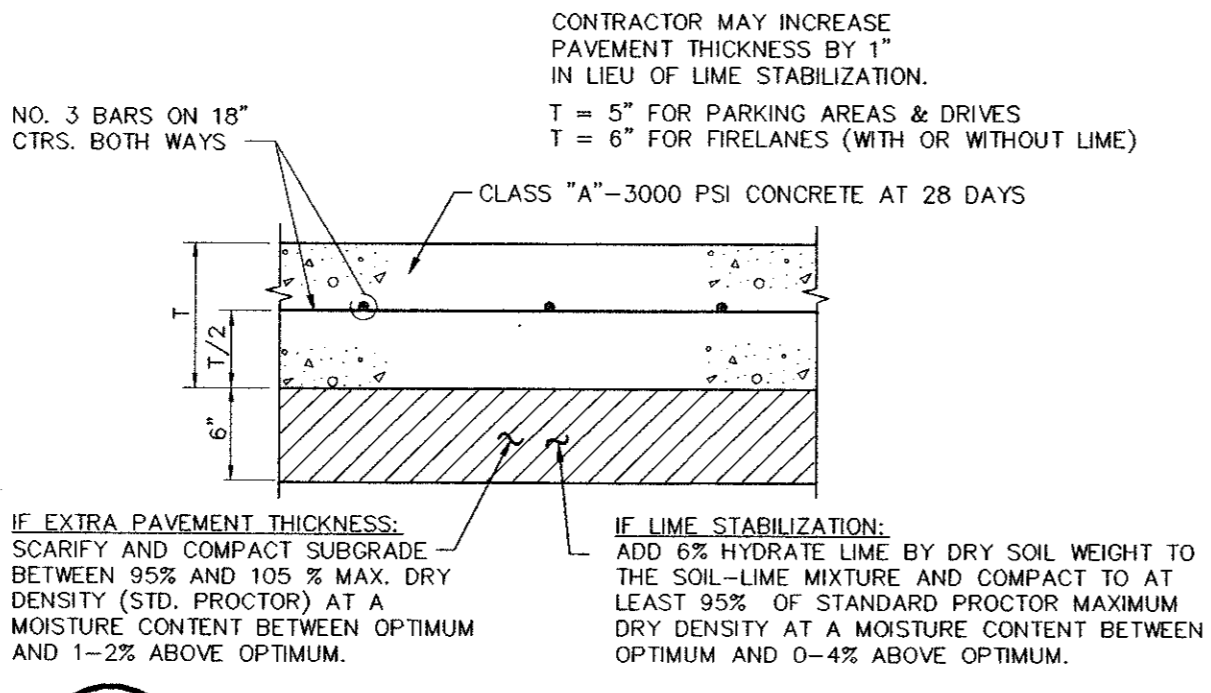
**PACHECO KOCH** 9401 LBJ Freeway, Suite 300  
Consulting Engineers, Inc. Dallas, Texas 75243  
Civil Engineering • Land Surveying (214) 235-3031

PROPOSED UTILITY PLAN					
HILTON GARDEN INN					
RUNYON EXT. AT BELTLINE ROAD					
LOT 2, BLOCK 1					
TOWNES of ADDISON, TEXAS					
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE
JAK	MWA/CHI	OCT 1997	1"=30'		C-4

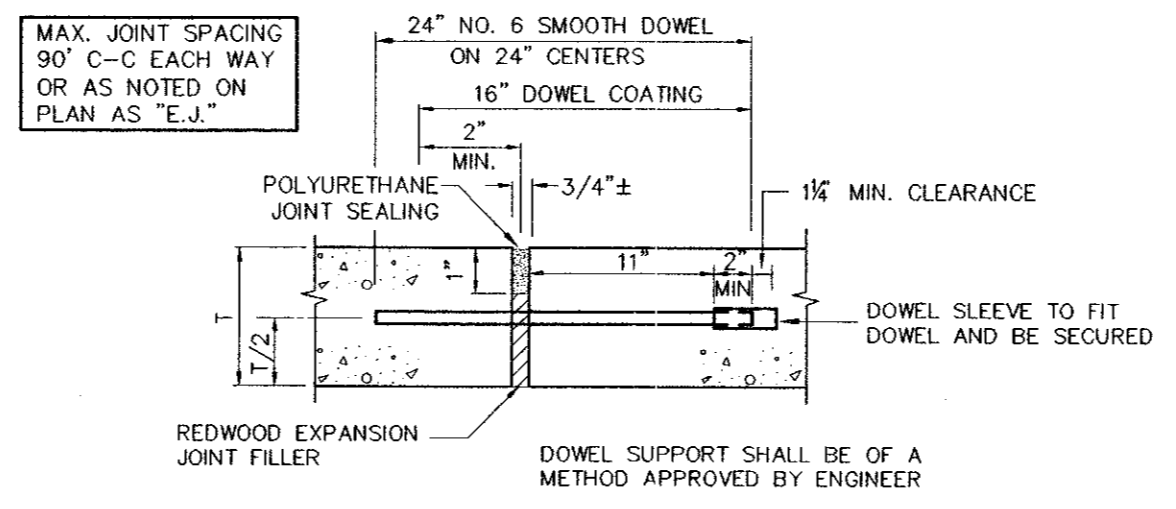
23-2  
 10/24  
 BELL LINE  
 #1030



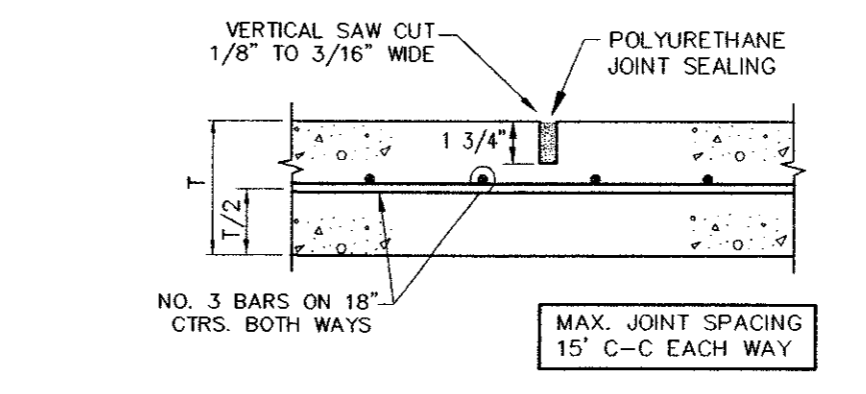
**1 DRIVEWAY APPROACH**  
NOT TO SCALE



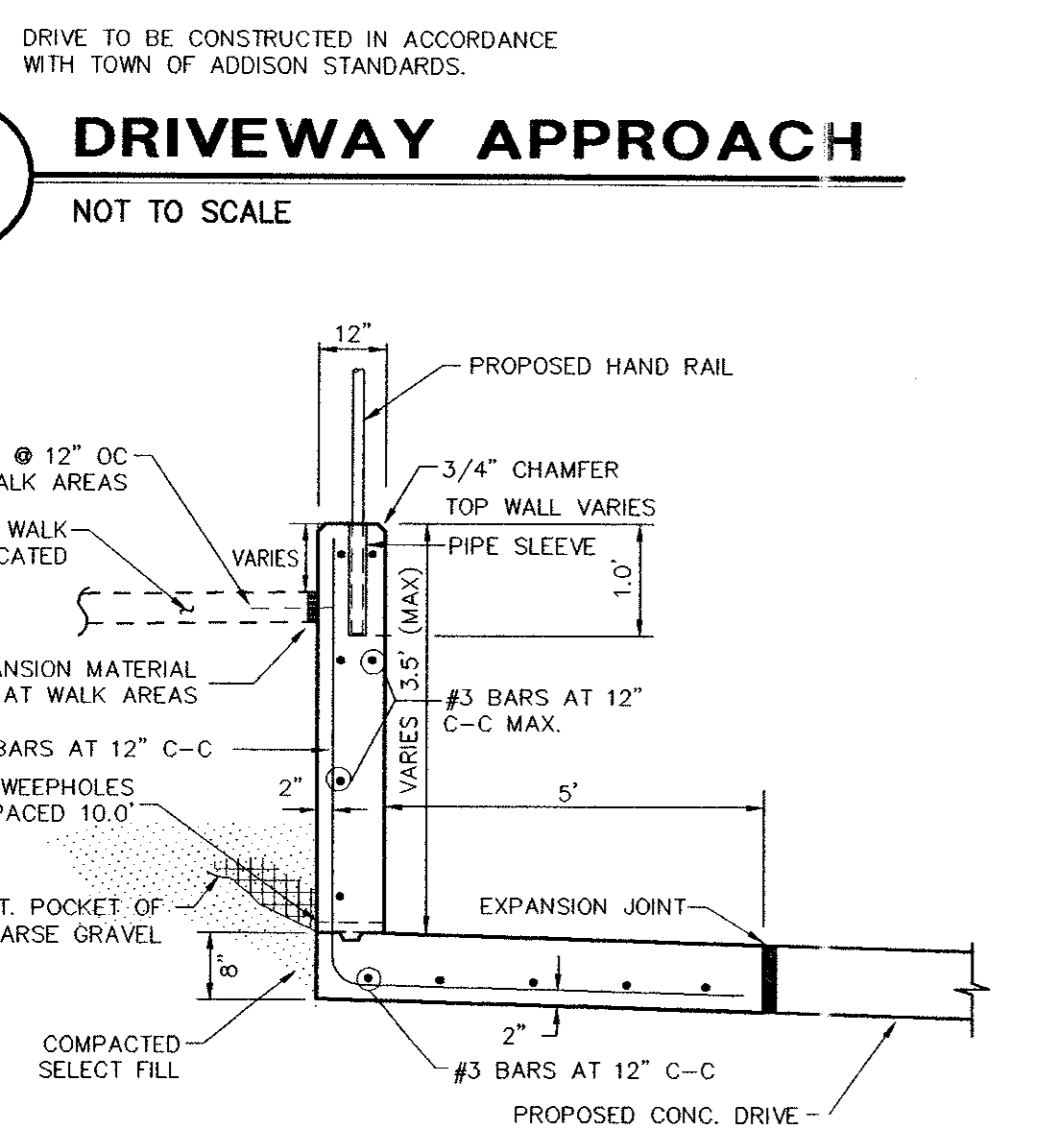
**2 PAVEMENT SECTION**  
NOT TO SCALE



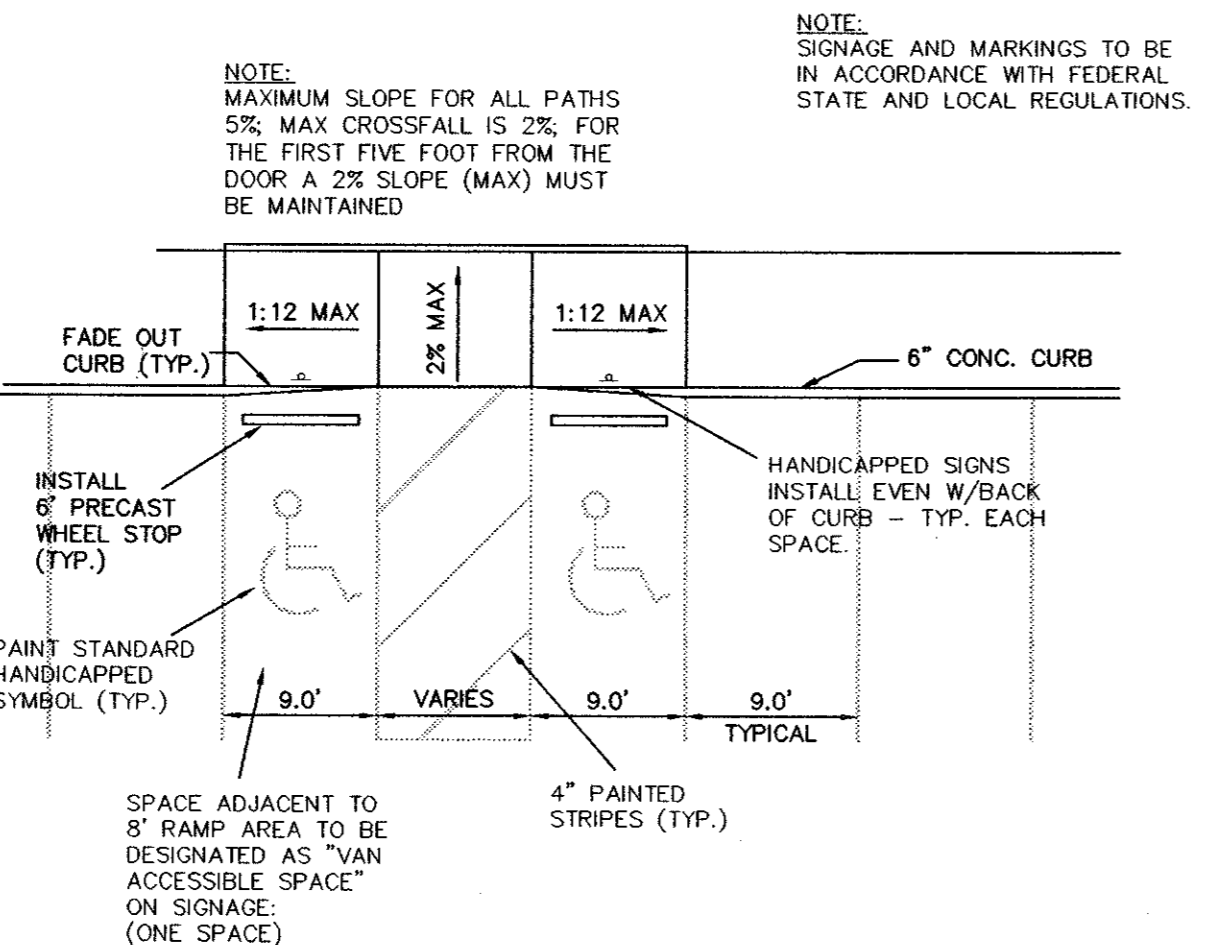
**3 EXPANSION JOINT**  
NOT TO SCALE



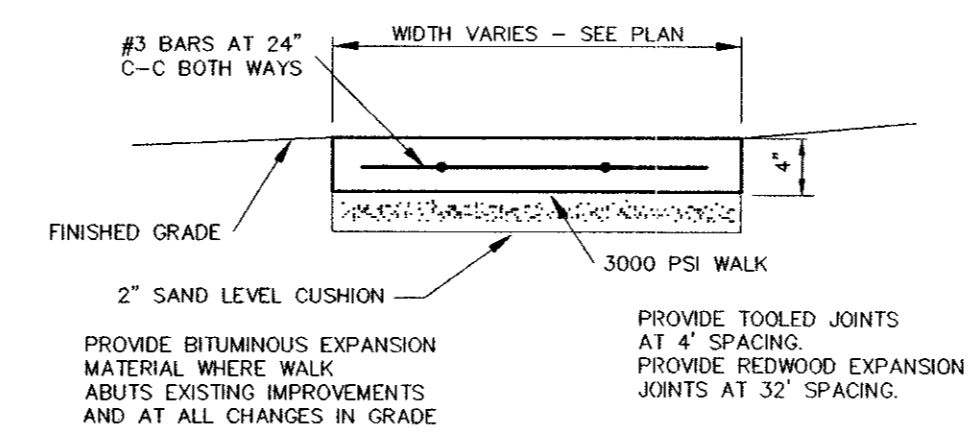
**4 SAWED DUMMY JOINT**  
NOT TO SCALE



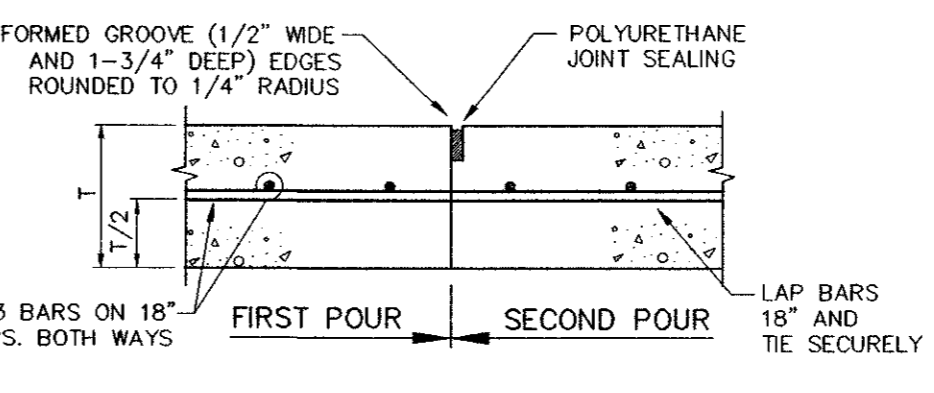
**5 RETAINING WALL DETAIL**  
NOT TO SCALE



**6 HANDICAP PARKING DETAIL**  
NOT TO SCALE

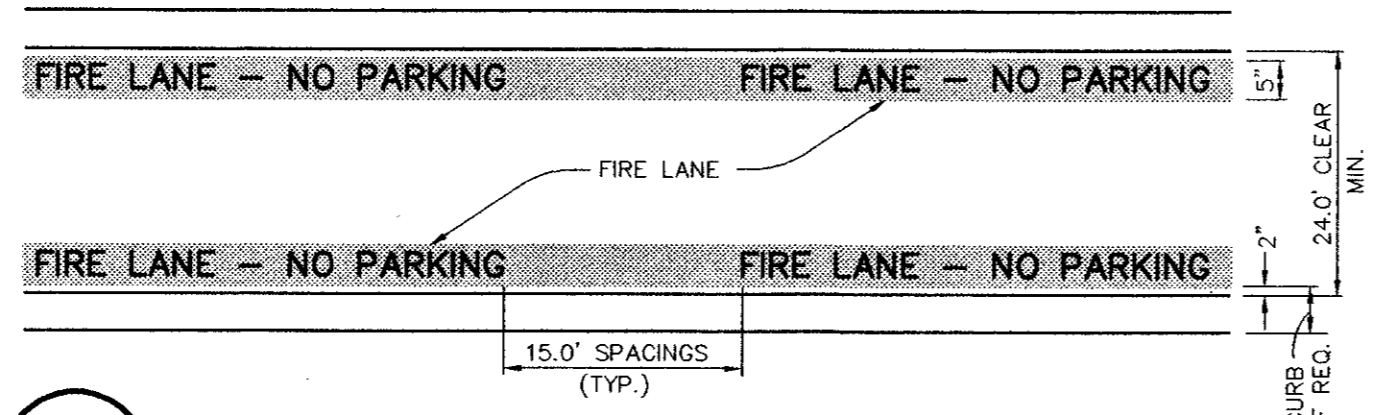


**7 CONCRETE WALK**  
NOT TO SCALE



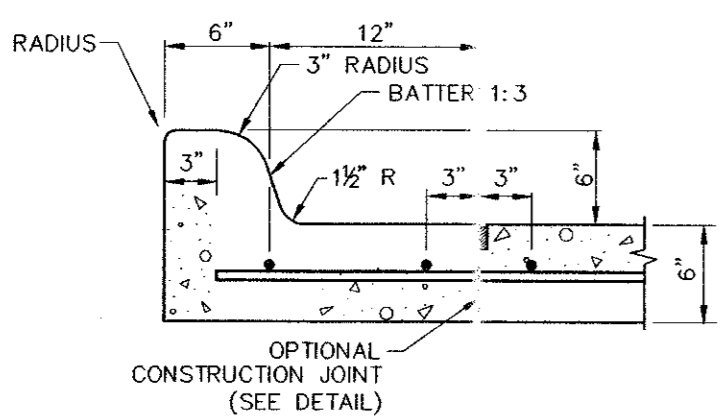
**8 CONSTRUCTION JOINT**  
NOT TO SCALE

- GENERAL NOTES**
- Prior to final acceptance by the Town of Addison,
    - A Texas Registered Professional Engineer shall certify that the project was constructed in accordance with the plans and specifications approved by the Town of Addison.
    - The owner shall provide 1 reproducible set of as-built (sealed and certified by a Texas Registered Engineer) and 2 blue line sets.
    - A five foot sidewalk shall be installed along the public street. See attached detail.
    - A one year 10% maintenance bond is required for the public infrastructure.
    - Contractor shall demonstrate that the water and sanitary sewer systems meet the property pressure, bacteria, and mandrel tests. In addition, the owner shall provide a VHS format video tape of the sanitary sewer.
  - Prior to starting construction, the contractor shall contact the utility companies to locate existing facilities. These include but may not be limited to the following:
    - Town of Addison
    - Lone Star Gas
    - Southwestern Bell Telephone
    - Storer Cable
    - Planned Cable Systems
    - T.U. Electric
  - Prior to beginning construction, the owner or his authorized representative shall convene a preconstruction conference among the Town of Addison, Consulting Engineers, Contractor(s), Utility companies and any other affected parties. Notify Bruce Ellis at (972) 450-2847 at least 48 hours prior to beginning construction.
  - Any existing pavement, curbs, and/or sidewalks damaged or removed will be repaired by the contract at their expense.
  - Lot pins shall be installed after construction and prior to final acceptance. Concrete monuments shall be placed as shown on the final plot and iron pins shall be placed at block corners, curve points and angle points in public right-of-way. Concrete monuments shall be six (6) inches in diameter and twenty-four (24) inches long. An iron rod one-half inch in diameter embedded at least three (3) inches in the monument at the exact intersection point of the monument. The monument shall be set at such an elevation that after construction, the top of the monument will be not less than twelve (12) inches below the ground surface.
  - The contractor shall stamp a 2-inch "S" and a 2-inch "W" in the curb at the location of the sewer service and water service lines respectfully.
  - At intersections that have valley drainage, the crown of the intersecting streets will culminate in a distance of 40 feet from the intersection curve line unless otherwise noted.
  - Temporary or permanent street barricades shall remain at all points of ingress and egress to prevent public use until such street received final acceptance.
  - Contractor shall obtain right-of-way permit by the Town of Addison for working within the public right-of-way.
  - During construction, the owner shall provide a qualified geotechnical lab to perform materials testing during the construction at the request of the Town of Addison.
  - The contractor shall submit material sheets to the Town of Addison for approval prior to incorporating materials into the job.
  - The utility contractor shall submit to the Town of Addison for approval a trench safety plan sealed by a registered professional engineer for the installation of utilities greater than five (5) feet in depth.
  - All existing and proposed improvements ( valves, manholes, fire hydrants, water meters, etc.) shall be adjusted to finished grade by the contractor.

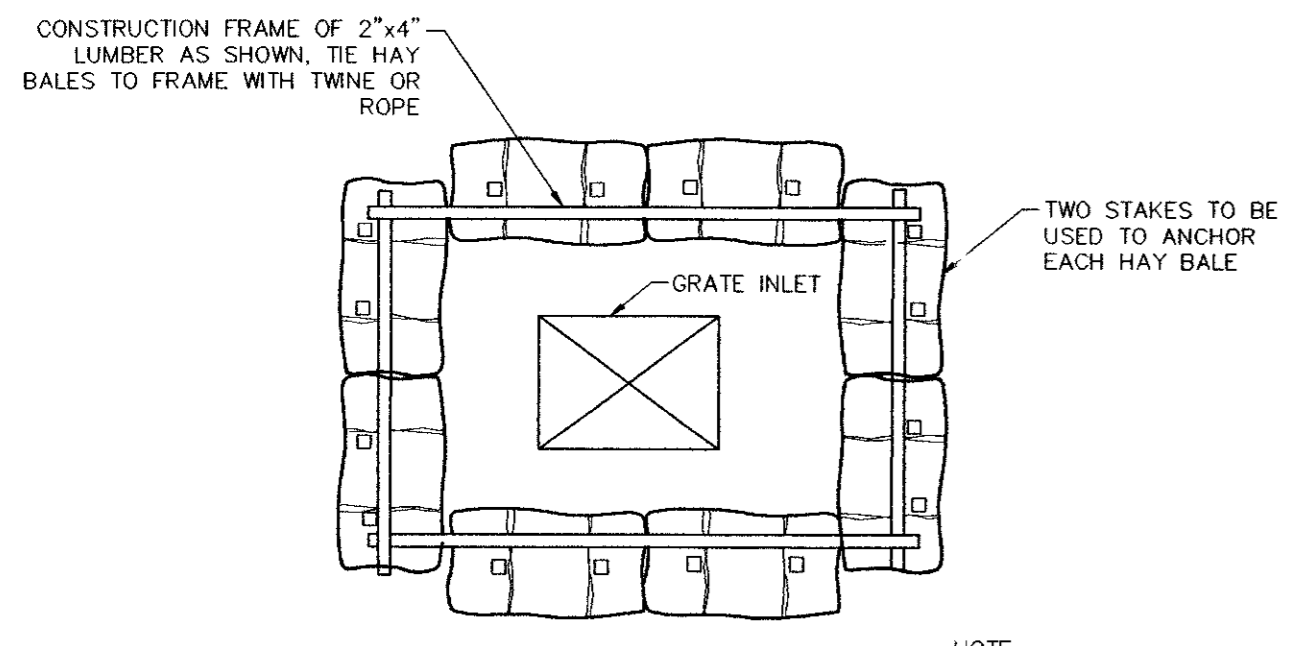


**10 FIRE LANE STRIPING DETAIL**

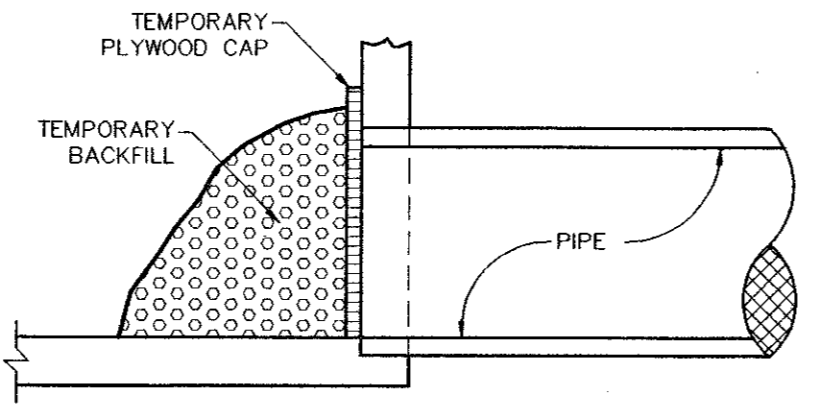
- STRIPING DETAIL:**
- PAINT:**
    - STRIPES SHALL BE FIVE (5) INCHES WIDE PAINTED WITH AN EXTERIOR ACRYLIC LATEX PAINT.
      - COLOR SHALL BE "TRAFFIC RED" GULDEN NO. 63251 OR EQUAL.
      - LETTERS SHALL BE FOUR (4) INCHES HIGH PAINTED WITH AN EXTERIOR ACRYLIC LATEX PAINT.
        - COLOR SHALL BE "TRAFFIC WHITE" GULDEN NO. 563245 OR EQUAL.
    - APPLICATION:**
      - STRIPES MAY BE BRUSHED OR SPRAYED, ONE COAT TO FINISH.
      - LETTERS SHALL BE STENCIL FORMED, BRUSH APPLIED AND SPACED AS DETAILED ON THIS SHEET.



**9 CURB DETAIL**  
NOT TO SCALE



**11 GRATE INLET PROTECTION**  
NOT TO SCALE



**CROSS SECTION PHASE ONE GRATE INLET PROTECTION**  
N.T.S.

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- PAVING AND DRAINAGE GENERAL NOTES**
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  - STORM DRAIN LINES MAY BE OF THE FOLLOWING MATERIALS:
    - RCP C-76, CLASS III
    - ADS N-12
    - HANCOR HI-Q
 INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
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**PACHECO KOCH** 9401 LB  
 Consulting Engineers, Inc.  
 Civil Engineering • Land Surveying

**STANDARDS**

**HILTON GA**  
**RUNYON EXT. / I**  
**LOT 2A, B**

**TOWNES of ADD**

DESIGN	DRAWN	DATE	SCALE
JAK	MWA/CHI	OCT 1997	1"=30'