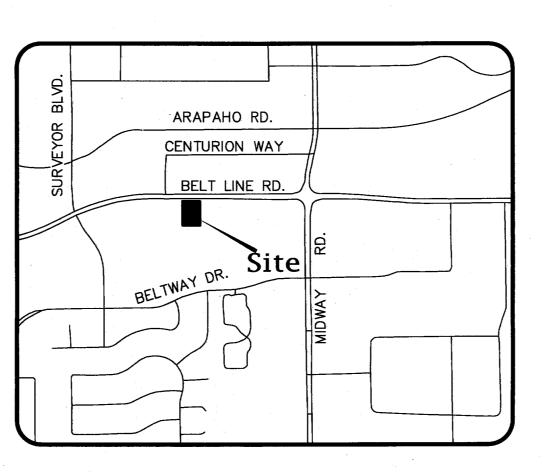
Paving, Drainage, and Utility Plans RAISING CANE'S #98 Lot 4, Block A SAM'S CLUB ADDITION Town of Addison, Texas



Vicinity Map

All responsibility for the adequacy of these plans remains with the Engineer who prepared them. In approving these plans, the Town of Addison makes no representation of adequacy of the work



PW # 2011-05

Index Of Drawings

	Cover Sheet
	Site Plan
C 1	Demolition Plan
C 2	Horizontal Control Plan
C 3	Striping and Signage Plan
C 4	Paving Plan
C 5	Grading Plan
C 6	Drainage Area Map
C 7	Drainage Plan
C 8	Utility Plan
C 9	Erosion Control Plan
C 10	Storm Water Pollution Prevention Guidelines
C 11-C 12	Site Details
L 1.00	Existing Tree Plan
L 1.01	Landscape Plan
L 1.02	Landscape Specifications
L 2.01	Irrigation Plan
L 2.02	Irrigation Specifications

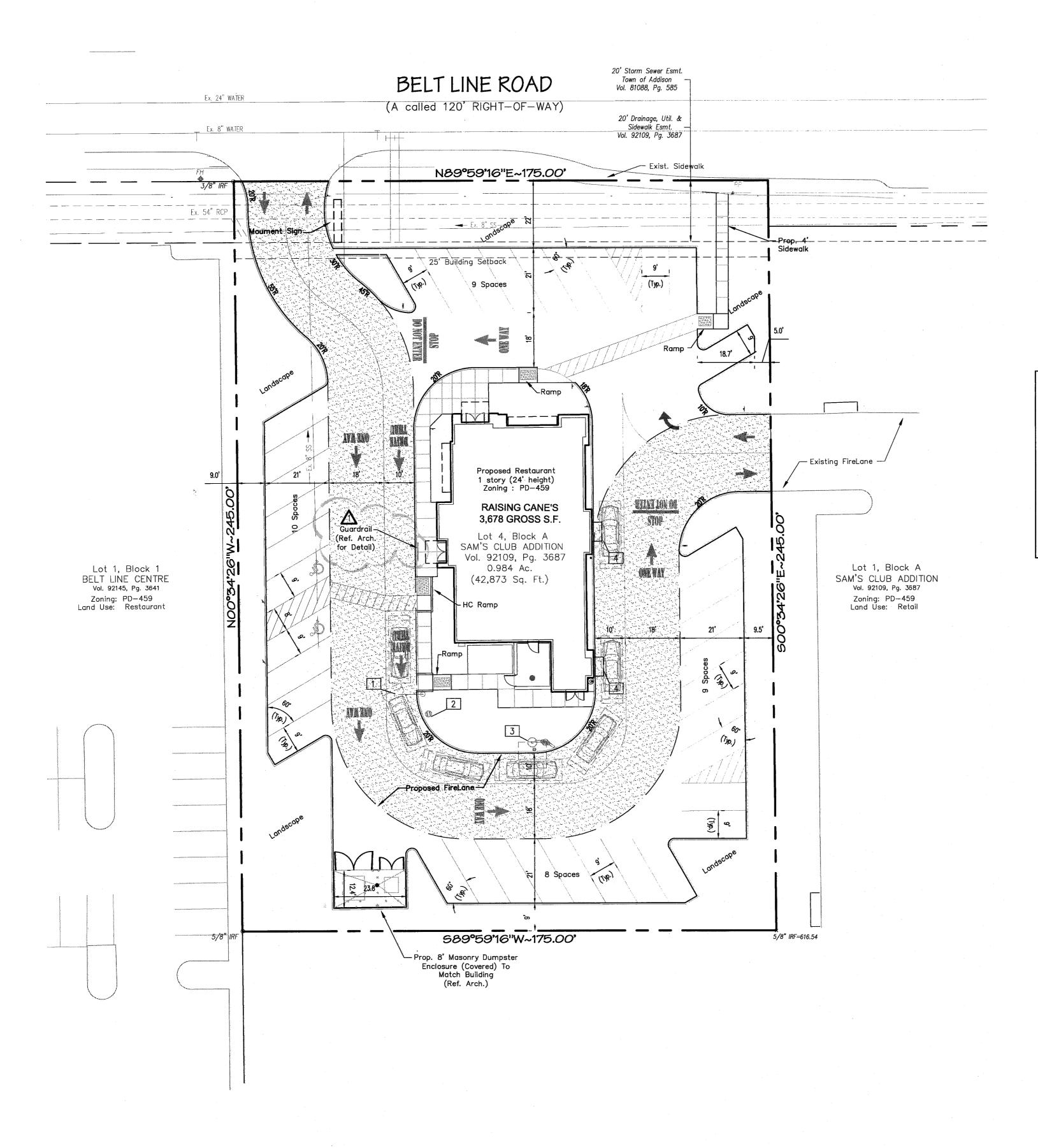
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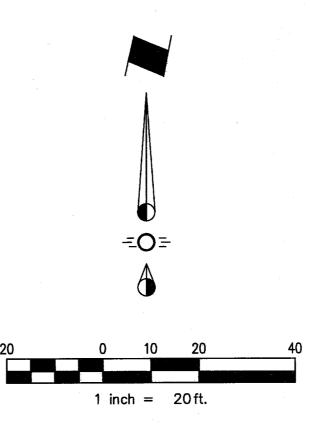




Restaurant Support Office 5800 TENNYSON PARKWAY, SUITE 200 Tele: 972 769-3357 Fax: 972 769-3101







SITE DATA	LOT 4, BLOCK A
Zoning:	PD-459
Proposed Use:	Restaurant (Drive—Thru)
Lot Area:	0.98 Ac. (42,873 S.F.)
Building Area:	3,678 Sq. Ft. Bldg.
Building Height:	1 Story, 24' Max.
Lot Coverage:	8.58%
Floor Area Ratio:	0.08:1
Setbacks: Front Setback:	25'
Parking Required:	37 Spa. (Incl. 2 HC)
Parking Provided:	37 Spa. (Incl. 2 HC)

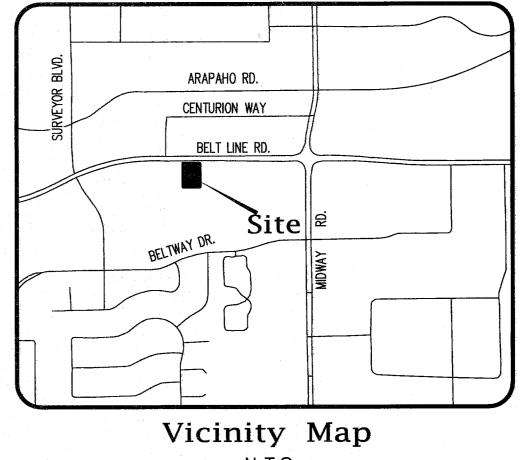
Layout Notes

Height Detector Pole

Pre-Order 2 Board

Drive-Thru Order Board Drive-Thru 4

Window



N.T.S.

GENERAL NOTES

- 1. The development of the site will be in accordance with Town of Addison development standards.
- All current development requirement of the Town as amended shall be met unless otherwise approved.
- 3. All materials and construction shall conform to the Town of Addison standards and specifications.
- 4. All curbs shall be 6" standard except where otherwise
- 5. All dimensions are to the face of curb, or the edge of building.
- 6. All curb radii are 2.0' or 4.0' unless noted otherwise.
- 7. All parking spaces are 8.5'x17' (Min.).

LEGEND

EXISTING FIRE HYDRANT

FIRELANE

SITE PLAN

OF SAM'S CLUB ADDITION

LOT 4, BLOCK A - 0.984 Acres AN ADDITION TO THE TOWN OF ADDISON situated in the

T. Chenoweth Survey, Abstract No. 273 DALLAS, COUNTY, TEXAS

<u>Developer</u>

Raising Cane's
5800 Tennyson Parkway, Suite 200
Plano, Texas 75024
Telephone (972) 769—3357
Fax (972) 769—3101

Architect

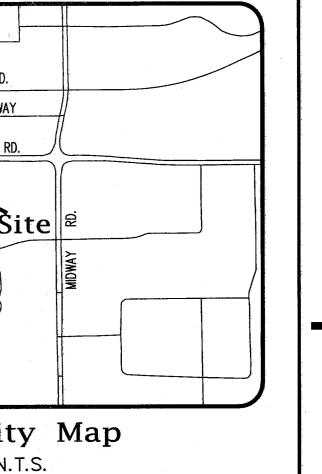
CSRS, Inc.

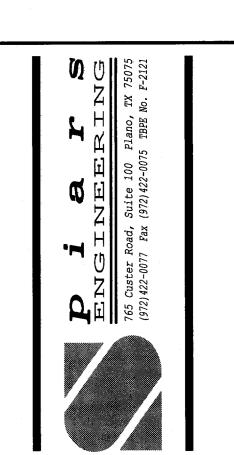
Engineer/Surveyor

Spiars Engineering, Inc. 765 Custer Road, Suite 100 Plano, Texas 75075 Telephone (972) 422-0077 Fax (972) 422-0075

6767 Perkins Road, Suite 200 Baton Rouge, LA 70808 Telephone (225) 769-0546 Fax (225) 767-0060 Contact: John Spiars

Scale 1"=20' August, 2011





Raising Cane's

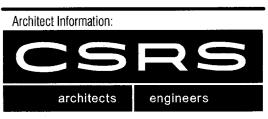
Store # 98

Belt Line Road

Addison, TX 75001

Prototype 2

Professional of Record:



CSRS, Inc. 6767 Perkins Road Suite 200 Baton Rouge, LA 70808 Tele: 225 769-0546 Fax: 225 767-0060 www.csrsonline.com

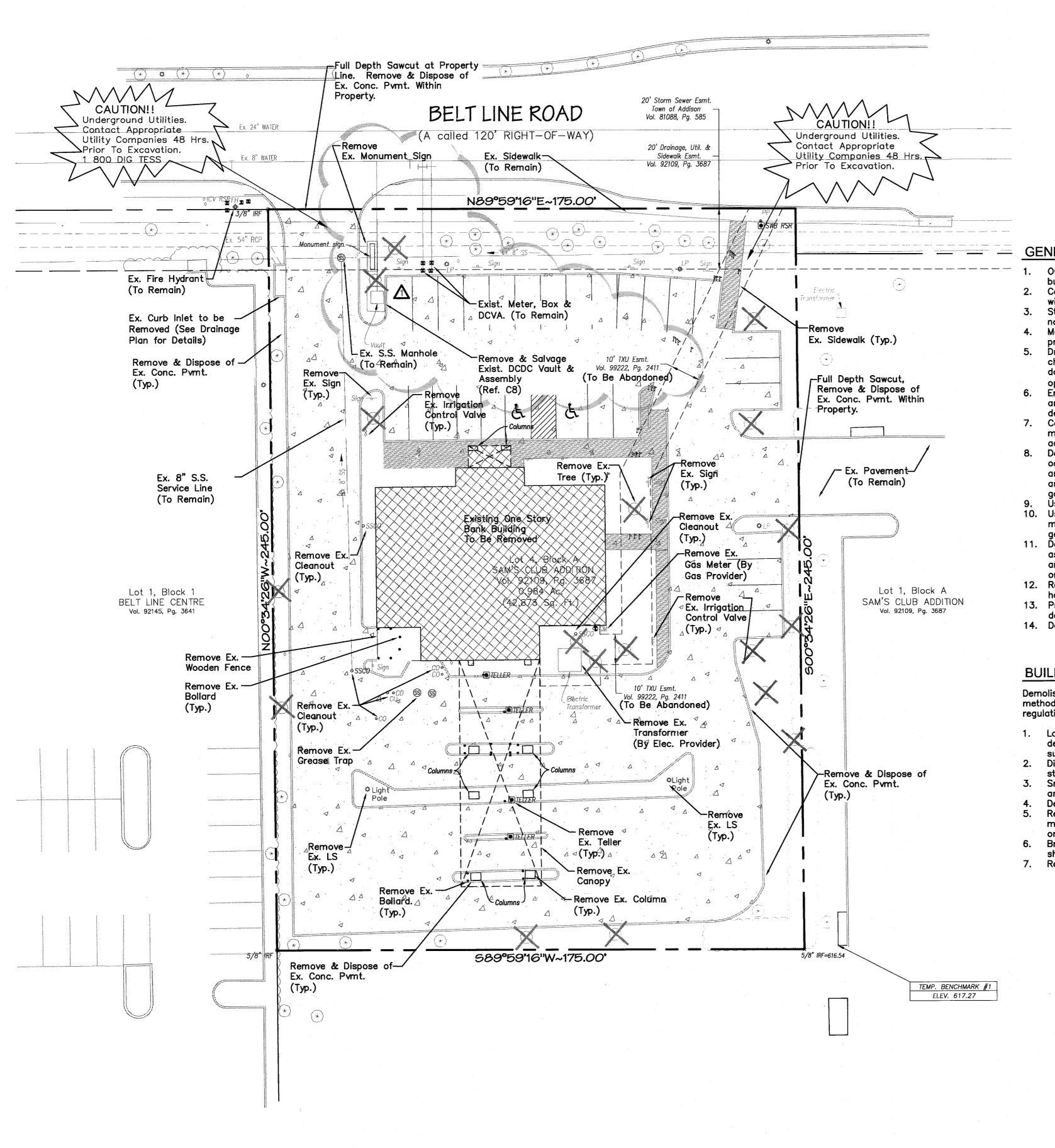
Prototype Issue	Date: August 1, 2010
Design Bulletin	Updates:
Date Issued:	Bulletin Number:
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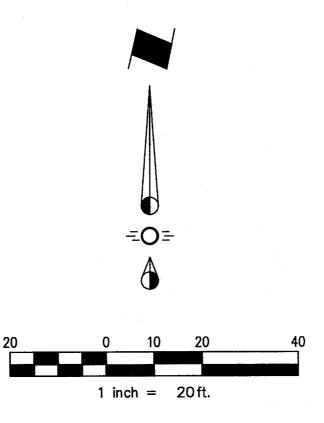
FOR CONSTRUCTION

Revis	SIONS:		
#	Date	Description	
10-07-2011		PERMIT/OWNER REVIEW	
	-		

Sheet Title: **SITE PLAN**

	Date:	October 07, 2011
00	Project Number:	SEI No. 11-101
6	Drawn By:	MPC
	Sheet Number	





GENERAL DEMOLITION SPECIFICATION

- Owner assumes no responsibility for actual condition of buildings to be demolished. Conditions existing at time of inspection for bidding purpose
- will be maintained by owner as far as practical. Storage or sale of removed items or materials on-site will
- not be permitted.
- Maintain existing utilities indicated to remain in service and protect them against damage during demolition operations.
- Drain, purge, or otherwise remove, collect, and dispose of chemicals, gases, explosives, acids, flammables, or other dangerous materials before proceeding with demolition operations according to applicable codes/regulations.
- Employ a certified, licensed exterminator to treat building and to control rodents and vermin before and during demolition operations.
- Conduct demolition operations and remove debris to ensure minimum interference with roads, streets, walks, and other adjacent occupied and used facilities.
- 8. Do not close or obstruct streets, walks, or other adjacent occupied or used facilities without permission from owner and authorities having jurisdiction. Provide alternate routes around closed or obstructed traffic ways if required by governing regulations.
- Use of explosives will not be permitted.
- 10. Use water mist, temporary enclosures, and other suitable methods to limit the spread of dust and dirt. Comply with governing environmental protection regulations.
- 11. Do not create hazardous or objectionable conditions, such as ice, flooding, and pollution, when using water. Remove and transport debris in a manner that will prevent spillage on adjacent surfaces and areas.
- Remove debris from elevated portions of building by chute, hoist, or other device that will convey debris to grade level
- 13. Promptly dispose of demolished materials. Do not allow demolished materials to accumulate on-site.
- 14. Do not burn demolished materials.

BUILDING DEMOLITION

Demolish buildings completely and remove from the site. Use methods required to complete work within limitations of governing regulations and as follows:

- 1. Locate demolition equipment throughout the building and remove debris and materials so as not to impose excessive loads on supporting walls, floors, or framing.
- Dispose of demolished items and materials promptly. On-site storage or sale of removed items is prohibited.
- Small buildings may be removed intact when permitted by

LEGEND

- architect and approved by authorities having jurisdiction.

 Demolish concrete and masonry in small sections. Remove structural framing members and lower to ground by
- method suitable to avoid free fall and to prevent ground impact
- 6. Break up and remove concrete slabs on grade, unless otherwise
- 7. Remove air—conditioning equipment without releasing refrigerants.

Remove Existing Concrete Pavement

Remove Existing Building

Remove Existing Sidewalk

Remove Existing Trees

GENERAL DEMOLITION NOTES:

1. If not shown on the demolition drawings, the contractor shall remove all existing materials as necessary to complete all new work as required by other portions of the contract documents.

2. Salvage rights for all demolished materials shall be first given

- to the owner. Any materials not retained by the owner shall be removed from the site and disposed of by the contractor at the contractors expense. 3. The contractor is responsible to comply with all local, state
- and federal regulations in the removal/demoliton of hazardous
- 4. The contractor is responsible to verify existing utilities prior to demolition & excavation.

Contractor is responsible for all registrations, permits and fees

- required to remove & properly dispose of all demolition materials. 6. Demo contractor is responsible for obtaining approvals and
- notifications to all local, state and federal authorities. Demo contractor is required to visit site prior to bid and notify architect of any inconsistencies.
- Contractor responsible to coordinate and assume any fees associated with removal of utilities. All abandoned utilities to be removed & capped.
- 9. Refer to survey for limits and boundary of property.
- 10. Contractor shall maintain positive drainage at all times during the demolition process.
- 11. Contractor shall protect all existing utilities during the demolition process.
- 12. Perform work in a manner to eliminate hazards to persons or property, and avoid interference with adjacent areas, utilities, and structures.
- 13. Provide temporary barricades, fences, warning signs, guardrails, warning
- Protect existing structures, landscaping materials, and appurtenances which are not being demolished.
- 15. All materials removed shall be disposed of offsite in a legal manner.
- Contractor shall refer to the Storm Water Pollution Prevention Plan for erosion and pollution control during the demolition process. The Contractor shall provide any additional erosion or pollution prevention devices as required during the demolition process in order to completely conform to the United States Environmental Protection Agency and all other agencies having jurisdiction.
- 17. No tree shall be removed without prior approval by the Owner

Demolish foundation walls and other below-grade construction, as

DAMAGES

Promptly repair damages to adjacent facilities caused by demolition operations.

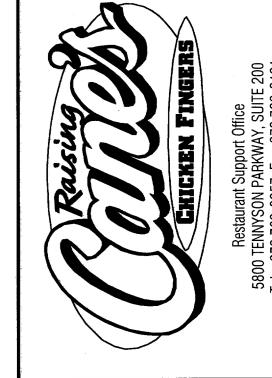
BELOW-GRADE CONSTRUCTION

completely remove below-grade construction, including foundation walls and footings.

TEMPORARY BENCHMARK #1: SOUTHWEST CORNER OF INLET BEING 11.3' EAST OF SOUTHEAST CORNER OF SUBJECT TRACT.

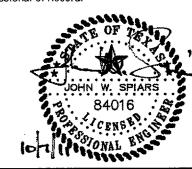
ELEVATION = 617.27

CITY BENCHMARK COA-11: SOUTHEAST CORNER OF INLET 261' EAST AND 5.7' NORTH OF NORTHEAST CORNER OF SUBJECT TRACT. ELEVATION = 611.74



Raising Cane's Store # 98 Belt Line Road Addison, TX 75001 **Prototype 2**

Professional of Record:





CSRS, Inc. 6767 Perkins Road Suite 200 Baton Rouge, LA 70808 Tele: 225 769-0546 Fax: 225 767-0060 www.csrsonline.com

Prototype Issue	Date: August 1, 2010
Design Bulletin	Updates:
Date Issued:	Bulletin Number:
-	-

FOR CONSTRUCTION

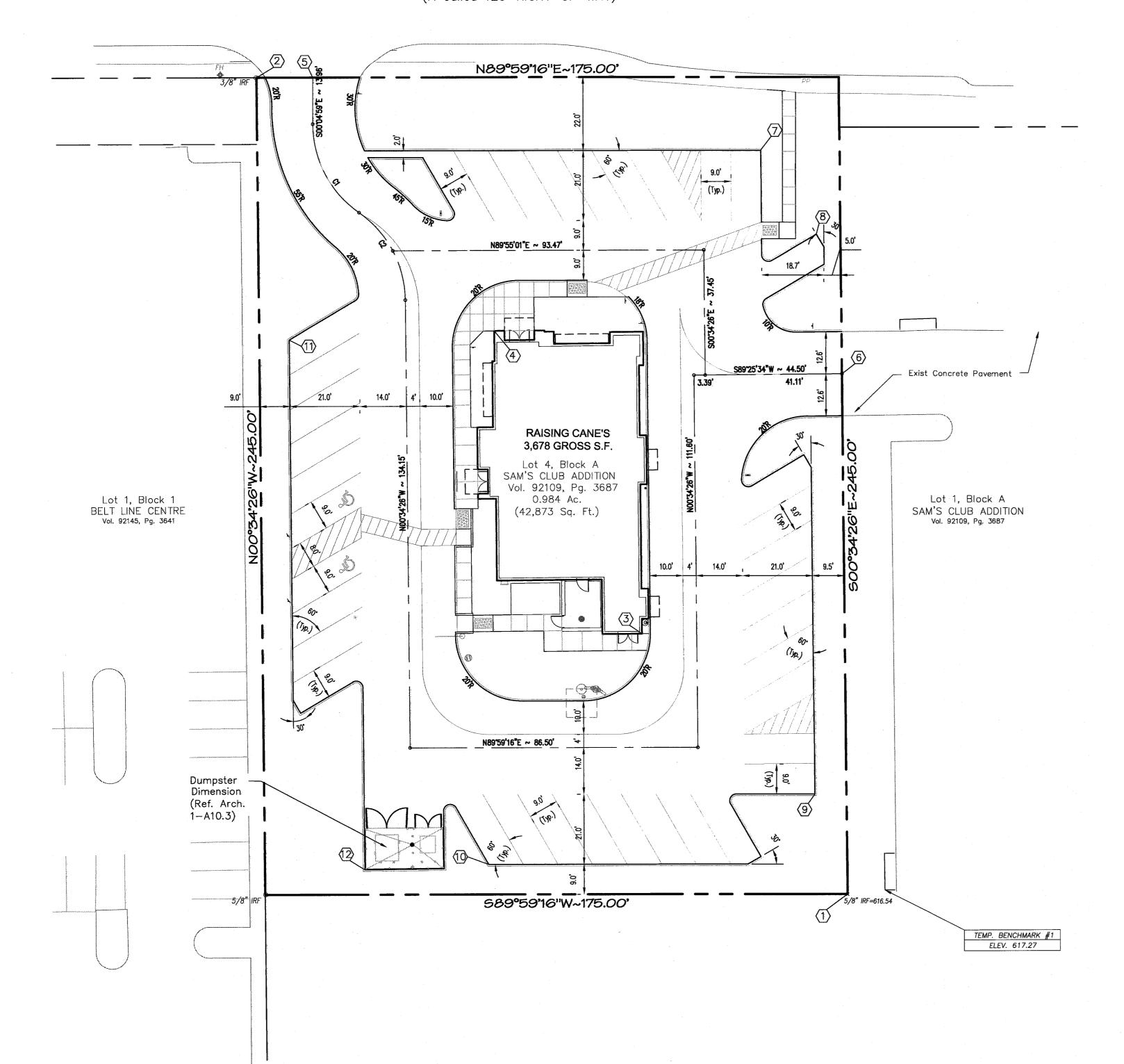
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#	Date	Description		
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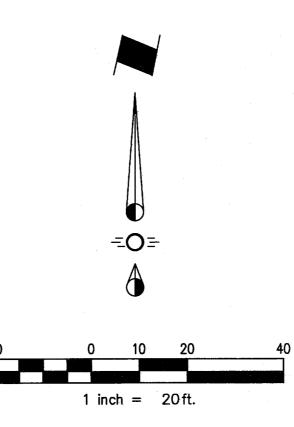
DEMOLITION PLAN

	Date:	October 07, 2011
F	Project Number:	SEI No. 11-101
	Drawn By:	MPC

BELT LINE ROAD

(A called 120' RIGHT-OF-WAY)



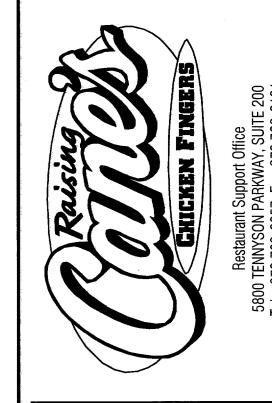


COORDINATE TABLE				
No.	Northing	Easting		
1	7033865.1226	2476852.7506		
2	7034110.0430	2476675.2030		
3	7033943.2684	2476790.9668		
4	7034033.9751	2476746.6604		
5	7034110.0770	2476692.2229		
6	7034021.1580	2476851.1878		
7	7034088.1936	2476826.7893		
8	7034062.9778	2476843.5188		
9	7033895.1206	2476842.9194		
10	7033874.0999	2476744.8844		
11	7034031.4088	2476685.0854		
12	7033872.5493	2476707.6773		

Curve Table						
Curve #	Length	Radius	Delta	Tangent	Chord Bearing	Chord
C1	31.2'	32.5	054*55'39"	16.89'	S27'32'48"E	29.98'
C2	30.9'	32.5'	054"26'12"	16.72'	N27'47'32"W	29.73'

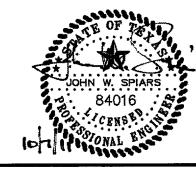
GENERAL NOTES

- All materials and construction shall conform to the Town of Addison standards and specifications.
- 2. It shall be the responsibility of the Contractor to protect all public utilities in the construction of this project. All manholes, cleanouts, valve boxes, fire hydrants, etc. must be adjusted to proper line and grade by the Contractor prior to and after the placing of permanent paving. All utilities must be maintained to proper line and grade during construction of this project.
- All curbs shall be 6" standard except where otherwise noted on plans.
- 4. All dimensions are to the face of curb or the edge of building.
- 5. All curb radii are 2.0' unless noted otherwise.
- 6. All parking spaces are 8.5'x17'(Min.) .



Raising Cane's Store # 98 Belt Line Road Addison, TX 75001 Prototype 2

Professional of Record:



P i a r S
ENGINEERING
765 Custer Road, Suite 100 Plano, TX 75075
(972) 422-0077 Fax (972) 422-0075 TBPE NO. F-2121



CSRS, Inc. 6767 Perkins Road Suite 200 Baton Rouge, LA 70808 Tele: 225 769-0546 Fax: 225 767-0060 www.csrsonline.com

Prototype Issue	Date: August 1, 2010
Design Bulletin	Updates:
Date Issued:	Bulletin Number:
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FOR CONSTRUCTION

Revis	sions:	
#	Date	Description
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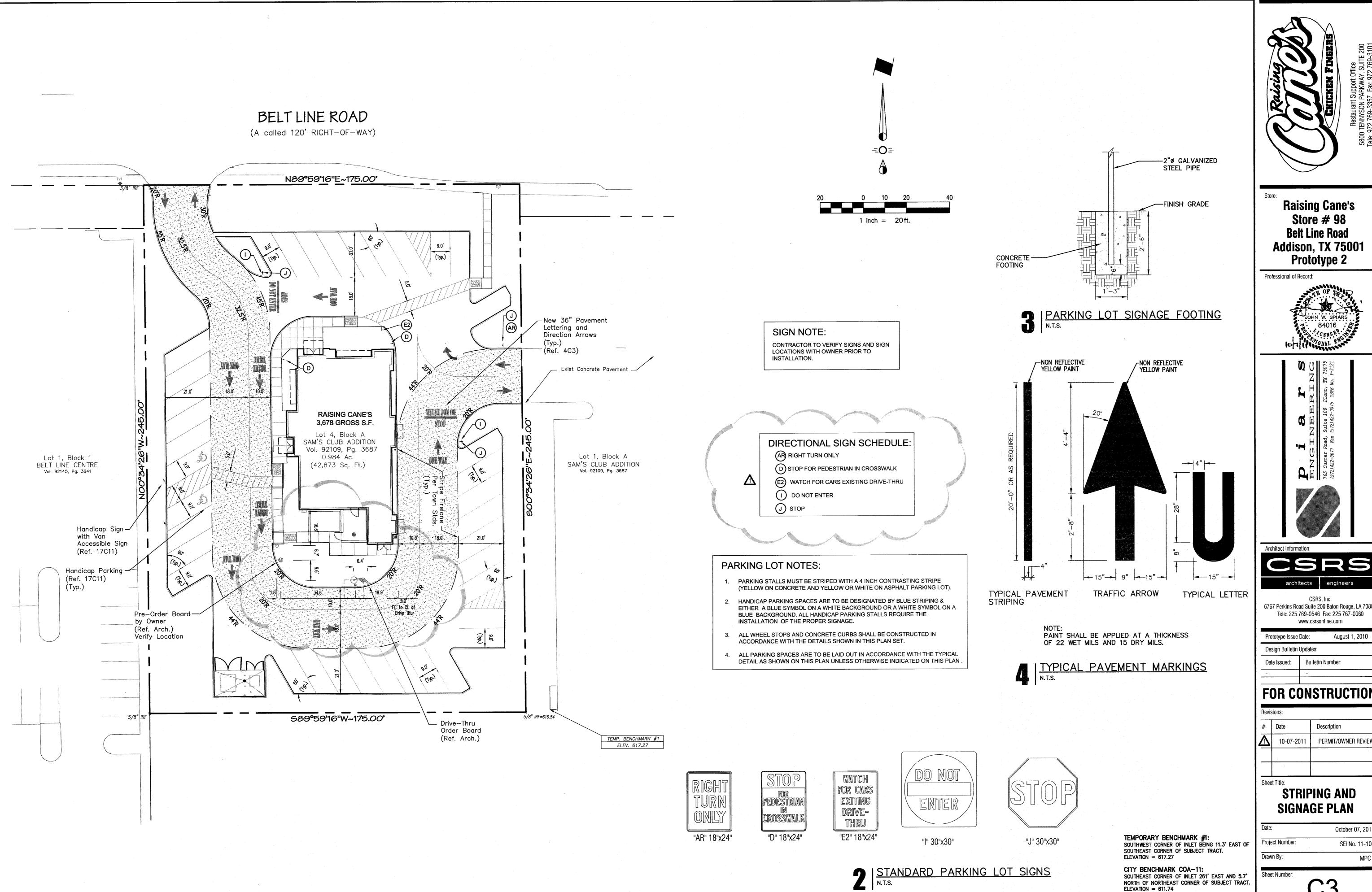
HORIZONTAL CONTROL PLAN

l l		
	Date:	October 07, 2011
T OF	Project Number:	SEI No. 11-101
	Drawn By:	MPC

mber:

TEMPORARY BENCHMARK #1:
SOUTHWEST CORNER OF INLET BEING 11.3' EAST OF SOUTHEAST CORNER OF SUBJECT TRACT.
ELEVATION = 617.27

CITY BENCHMARK COA-11:
SOUTHEAST CORNER OF INLET 261' EAST AND 5.7'
NORTH OF NORTHEAST CORNER OF SUBJECT TRACT.
ELEVATION = 611.74



Raising Cane's Store # 98 Belt Line Road Addison, TX 75001 Prototype 2

Professional of Record:





CSRS, Inc. 6767 Perkins Road Suite 200 Baton Rouge, LA 70808 Tele: 225 769-0546 Fax: 225 767-0060 www.csrsonline.com

Design Bulletin Updates:		
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FOR CONSTRUCTION		

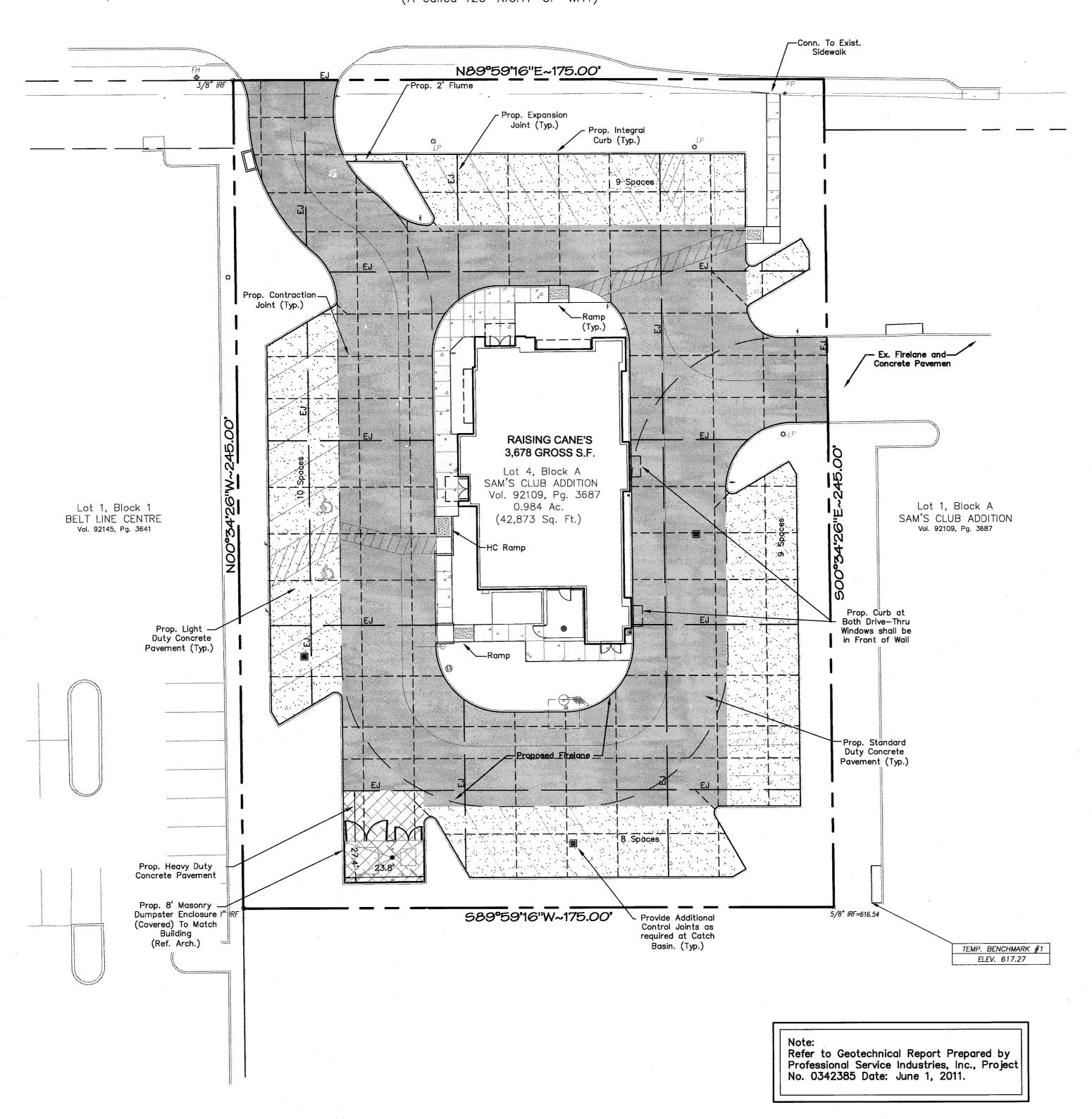
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	#	Date	Description		
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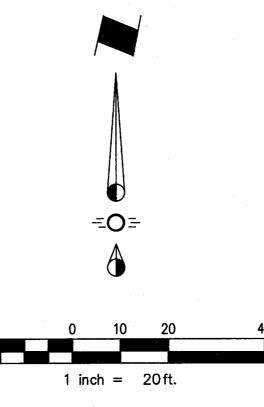
STRIPING AND **SIGNAGE PLAN**

er 07, 2011
No. 11-101
MPC
ľ

BELT LINE ROAD

(A called 120' RIGHT-OF-WAY)





PAVING GENERAL NOTES

- 1. All materials and construction shall conform to the Town of Addison Standard Details and Specifications.
- 2. It shall be the responsibility of the Contractor to protect all public utilities in the construction of this project. All manholes, cleanouts, valve boxes, fire hydrants, etc. must be adjusted to proper line and grade by the Contractor prior to and after the placing of permanent paving. Utilities must be maintained to proper line and grade during construction of this project.
- The Contractor shall be responsible for coordinating with all the appropriate utility companies for the location of all utilities within the construction area.
- 4. The Paving Contractor shall not place permanent pavement until all sleeving for irrigation, electric, gas, telephone, cable TV, site lighting, etc. has been installed. It shall be the Paving Contractor's responsibility to insure that all sleeving is in place prior to placing permanent paving.
- 5. All paving and earthwork operations shall conform to the recommendations in the Geotechnical Investigation and the Town of Addison Standard Construction Details.
- 6. All dimensions are to face of curb or edge of building unless otherwise noted.
- 7. Parking spaces are 8.5'x17'(Min.).
- 8. Fire lanes shall be striped in accordance with the Town of Addison requirements.
- 9. Irrigation sleeves shall be 4" PVC conduit. Ends shall be capped or temporarily plugged, red flag tied to each end and brought to surface 2' behind curb. Minimum depth shall be 18 inches below proposed grade.
- 10. Concrete shall have a minimum compressive strength at 28 days of 3500 psi for pavement and curbs; 3000 psi for sidewalks.
- 11. Refer to Architectural Plans for exact building and related sidewalk dimensions.
- 12. Fences, berms walls, shrubs, trees, signs, structures, etc. are limited to a maximum height of 2 feet above the adjacent curb within visibility easements.
- 13. Contractor shall install traffic control for any work within R.O.W. to conform to part VI of the "Texas Manual on Uniform Traffic Control Devices."
- 14. Reference Site Details (Sheet C11) for pavement section details.
- 15. Longitudinal (Key) Joints (5C11) shall be placed as necessary.
- 16. Contractor shall extend all paving joints through curbs.
- 17. Contractor shall verify building and parking lot layout with the Architect prior to forming of buildings, walks and parking lot areas.
- 18. Contractor shall back fill against top of curbs at 4:1 max. slope to existing grade unless noted otherwise.
- 19. Slope of paving shall not exceed 2% at handicap accessible spaces.
- 20. Contractor shall grade pavement around sidewalks & curbs for positive drainage to an inlet or designated drainage area.
- 21. All landings at doors to be flush with finish floor.

PAVEMENT LEGEND

7" 3500 psi Conc. Pavement W/ #3 @ 18" O.C.E.W. with lime stabilized subgrade compacted at least 95% of standard protoctor (ASTM D-698) maximum dry density at 0 to +4 percent of optimum moisture. (Heavy Duty Pavement)

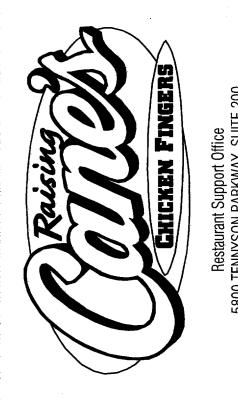
6" 3500 psi Conc. Pavement W/ #3 @ 18" O.C.E.W. with lime stabilized subgrade compacted at least 95% of standard protoctor (ASTM D-698) maximum dry density at 0 to +4 percent of optimum moisture. (Standard Duty Pavement)

5" 3500 psi Conc. Pavement W/ #3 @ 18" O.C.E.W. with lime stabilized subgrade compacted at least 95% of standard protoctor (ASTM D-698) maximum dry density at 0 to +4 percent of optimum moisture. (Light Duty Pavement)

4" 3000 psi Conc. Pavement W/ #3 @ 18"

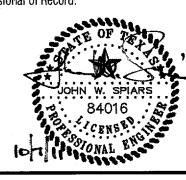
Expansion Joint (60' Max. Spacing) Contraction Joint (15' Max. Spacing) TEMPORARY BENCHMARK #1: SOUTHWEST CORNER OF INLET BEING 11.3' EAST OF SOUTHEAST CORNER OF SUBJECT TRACT. ELEVATION = 617.27

CITY BENCHMARK COA-11: SOUTHEAST CORNER OF INLET 261' EAST AND 5.7' NORTH OF NORTHEAST CORNER OF SUBJECT TRACT. ELEVATION = 611.74



Raising Cane's Store # 98 Belt Line Road Addison, TX 75001 **Prototype 2**

Professional of Record:







CSRS, Inc. 6767 Perkins Road Suite 200 Baton Rouge, LA 70808 Tele: 225 769-0546 Fax: 225 767-0060 www.csrsonline.com

Prototype Issue Date: August 1, 2010 Design Bulletin Updates: Date Issued: Bulletin Number:

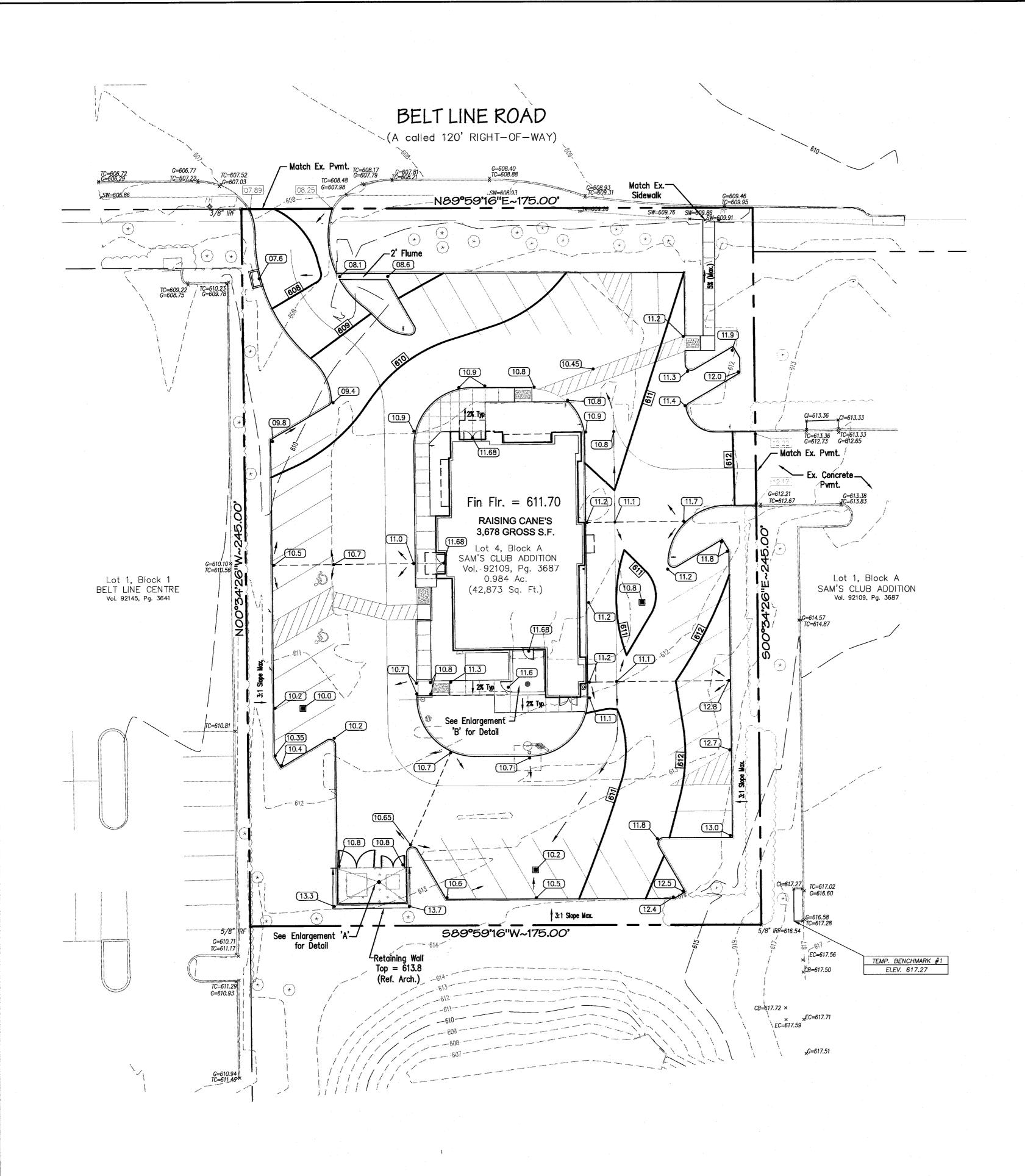
FOR CONSTRUCTION

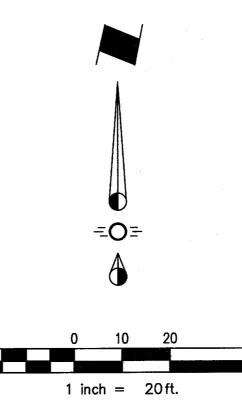
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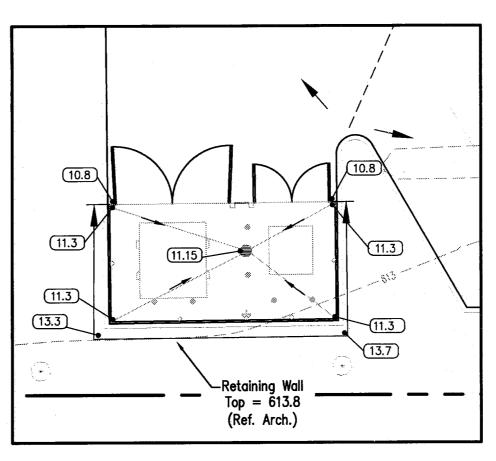
PAVING PLAN

October 07, 2011 Project Number: SEI No. 11-101 Drawn By: MPC

Sheet Number:

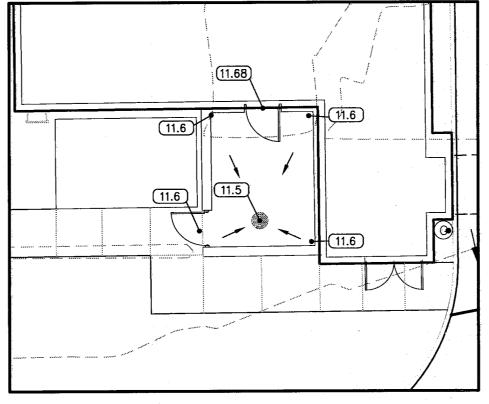






ENLARGEMENT 'A'

SC ALE: 1"=10'



ENLARGEMENT 'B'
SC ALE: 1"=10'

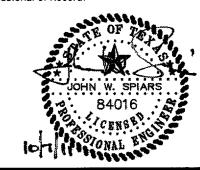
GENERAL NOTES:

- All materials and construction shall conform to the Town of Addison Standards and Specifications, except as noted herein and approved by the Town of Addison.
- Contractor shall be responsible for maintaining trench safety requirements in accordance with Town of Addison Standards, Texas State Law, and O.S.H.A. Standards for all excavation in excess of five feet in depth.
- 3. The location of all utilities located on these plans are taken from existing public records. The exact location and elevation of all public utilities must be determined by the Contractor. It shall be the duty of the Contractor to ascertain whether any additional facilities other than those shown on the plans may be present.
- 4. It shall be the responsibility of the Contractor to protect all public utilities in the construction of this project. All manholes, clean—outs, valve boxes, fire hydrants, etc. must be adjusted to proper line and grade by the Contractor prior to and after the placing of permanent paving. Utilities must be maintained to proper line and grade during construction of the paving for this development.
- 5. Care should be taken that fill materials and areas to receive fill are relatively free of vegetation, roots, debris, large rocks or other objectionable material. Fill shall be placed in accordance with the recommendations provided in the geotechnical investigation.
- Drainage should be maintained away from the foundations, both during and after construction.
- 7. All earthwork operations, pavement installation, etc. shall conform to the Geotechnical Investigation.
- 8. Trees shall remain unless specified otherwise on the Landscape Plan or approved by the Owner.
- 9. Prior to starting construction, the Contractor shall make certain that all required permits and approvals have been obtained. No construction or fabrication shall begin until the Contractor has received and thoroughly reviewed all plans and other documents approved by all of the permitting authorities.
- 10. In the event an item is not covered in the Town of Addison's specifications, the Town of Addison Engineer's decision shall apply.
- 11. The Contractor shall verify the suitablility of all existing and proposed site conditions, including grades and dimensions before commencement of any construction. In the event of any conflict, and prior to commencement of any construction, immediately notify Engineer. Minor adjustments of finish grade to accomplish spot drainage are acceptable if necessary, upon prior approval of Engineer. All paving installed shall "flush out" at any juncture with existing paving.
- 12. Proposed spot elevations are finished grade elevations (Top of pavement, top of sod, etc.).
- 13. Erosion control shall be in place prior to the disturbance of any existing surface.
- 14. All sidewalk and crosswalk slopes shall conform to ADA requirements as follows:1:20 longitudinal (along the walk) max.
- 1:50 transverse (across the walk) max.
- 15. All Landscape areas and other disturbed areas within the limits of the property not designated to be paved shall not excess 3:1 Slope Max.



Raising Cane's
Store # 98
Belt Line Road
Addison, TX 75001
Prototype 2

Professional of Record:



P I A L S
ENGINEERING
765 Custer Road, Suite 100 Plano, TX 75075
(972)422-0077 Fax (972)422-0075 TBPE No. F-2121



CSRS, Inc. 6767 Perkins Road Suite 200 Baton Rouge, LA 70808 Tele: 225 769-0546 Fax: 225 767-0060 www.csrsonline.com

Date: August 1, 2010
Updates:
Bulletin Number:
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FOR CONSTRUCTION

Revisions:				
#	Date	Description		
$\overline{\Lambda}$	10-07-2011	PERMIT/OWNER REVIEW		

GRADING PLAN

Sheet Title:

October 07, 2011
SEI No. 11-101
MPC

C5

LEGEND

Proposed Spot Elevation

Existing Pavement Elevation (Approx.)

× 70=613.77 Existing Spot Elevation

Direction Of Flow

TEMPORARY BENCHMARK #1:
SOUTHWEST CORNER OF INLET BEING 11.3' EAST OF
SOUTHEAST CORNER OF SUBJECT TRACT.

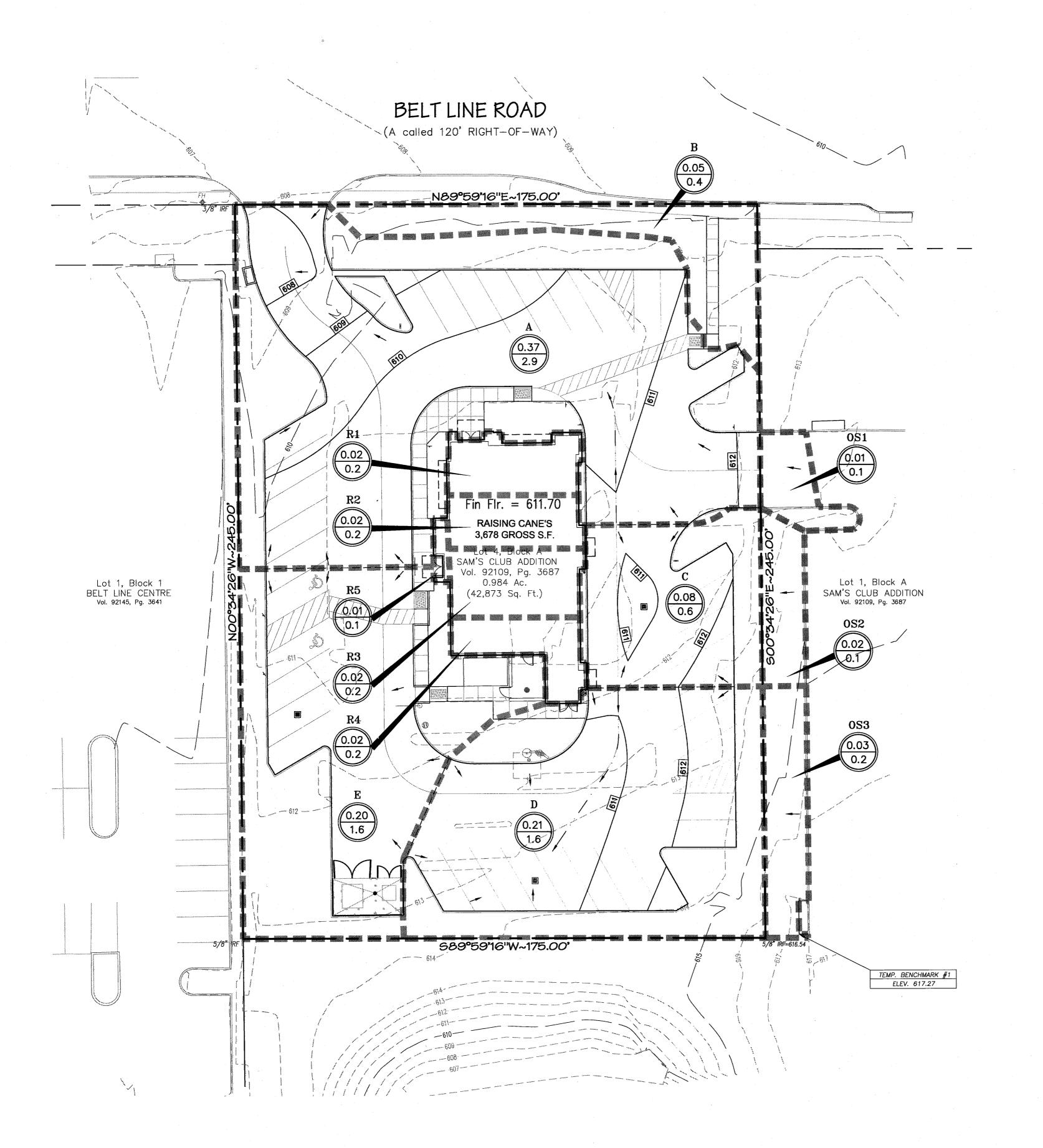
ELEVATION = 617.27

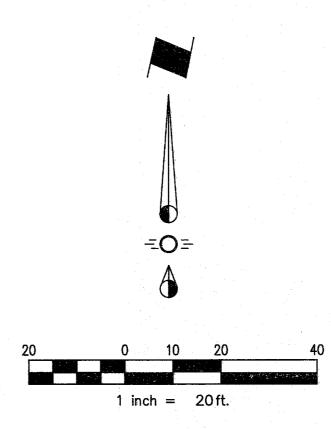
CITY BENCHMARK COA-11:

SOUTHEAST CORNER OF INLET 261' EAST AND 5.7'

NORTH OF NORTHEAST CORNER OF SUBJECT TRACT.

ELEVATION = 611.74





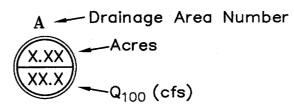
DRAINAGE AREA NO.	DRAINAGE AREA (acres)	С	tc (min)	I ₁₀₀ (in/hr)	Q ₁₀₀ (cfs)	Remarks
Α	0.37	0.90	10	8.74	2.9	To Proposed 5' Curb Inlet
В	0.05	0.90	10	8.74	0.4	Sheet Flow to Beltline Road
С	0.08	0.90	10	8.74	0.6	To Proposed Catch Basin
D	0.21	0.90	10	8.74	1.6	To Proposed Catch Basin
E	0.20	0.90	10	8.74	1.6	To Proposed Catch Basin
R1	0.02	0.90	10	8.74	0.2	Roof Drain — Downspout
R2	0.02	0.90	10	8.74	0.2	Roof Drain — Downspout
R3	0.02	0.90	10	8.74	0.2	Roof Drain — Downspout
R4	0.02	0.90	10	8.74	0.2	Roof Drain — Downspout
R5	0.01	0.90	10	8.74	0.1	Roof Drain — Downspout
0S1	0.01	0.90	10	8.74	0.1	To Proposed 5' Curb Inlet
0S2	0.02	0.90	10	8.74	0.1	To Proposed Catch Basin
0S3	0.03	0.90	10	8.74	0.2	To Proposed Catch Basin

<u>LEGEND</u>

Q = C I AC = 0.9

 $I_{100} = 8.74$

tc = 10 min.



Drainage Divide Line

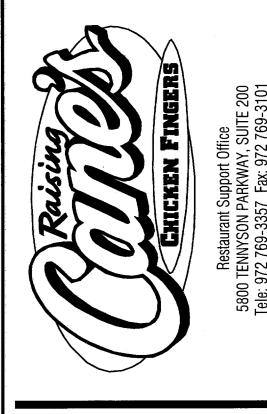
TEMPORARY BENCHMARK #1:
SOUTHWEST CORNER OF INLET BEING 11.3' EAST
SOUTHEAST CORNER OF SUBJECT TRACT.
ELEVATION = 617.27

CITY BENCHMARK COA-11:

SOUTHEAST CORNER OF INLET 261' EAST AND 5.7'

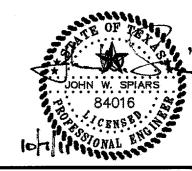
NORTH OF NORTHEAST CORNER OF SUBJECT TRACT.

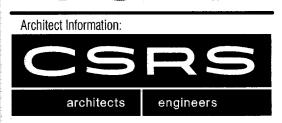
ELEVATION = 611.74



Raising Cane's Store # 98 Belt Line Road Addison, TX 75001 Prototype 2

Professional of Record:





CSRS, Inc. 6767 Perkins Road Suite 200 Baton Rouge, LA 70808 Tele: 225 769-0546 Fax: 225 767-0060 www.csrsonline.com

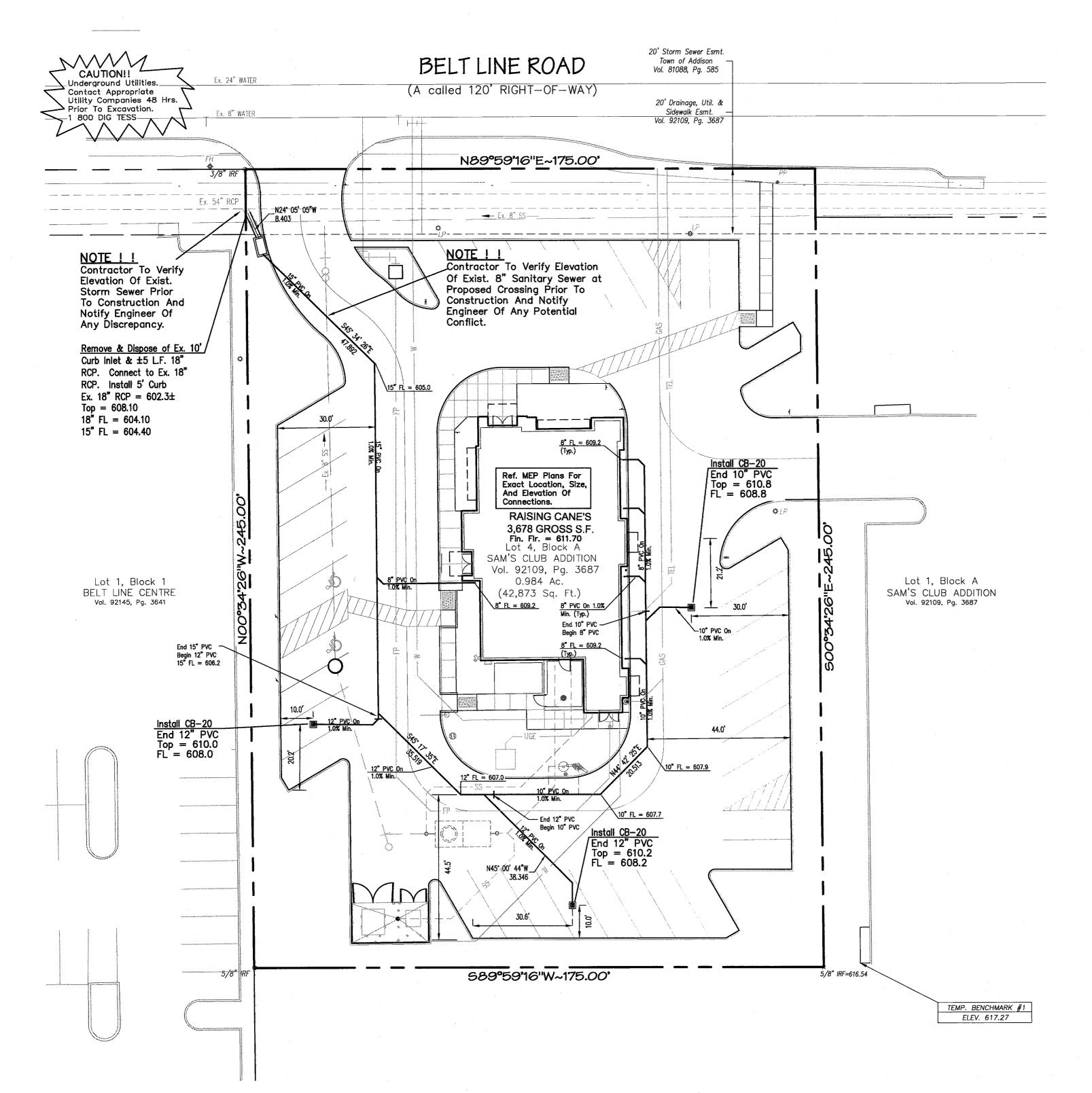
	Prototype Issue	Date: August 1, 2010
	Design Bulletin Updates:	
	Date Issued:	Bulletin Number:
I.		

FOR CONSTRUCTION

	Date	Description
Δ	10-07-2011	PERMIT/OWNER REVIEW

DRAINAGE AREA MAP

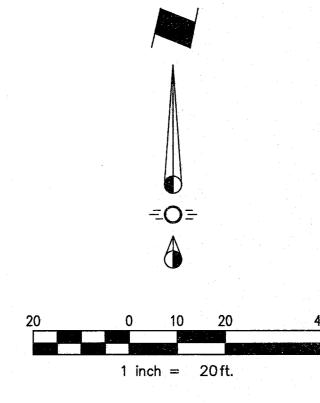
	Date:	October 07, 2011
ST OF	Project Number:	SEI No. 11-101
	Drawn By:	MPC

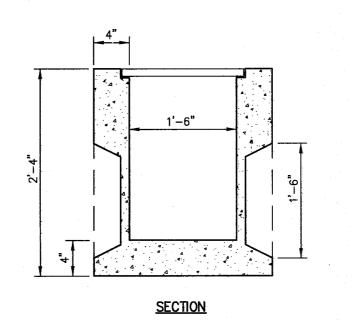


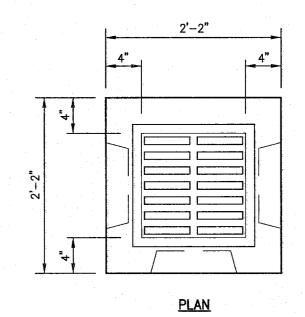


- All materials and construction shall conform to the Town of Addison Standards and Specifications, except as noted herein and approved by the Town.
- 2. Contractor shall be responsible for maintaining trench safety requirements in accordance with Town Standards, Texas State Law, and O.S.H.A. Standards for all excavation in excess of five feet in depth.
- 3. The location of all utilities located on these plans are taken from existing public records. The exact location and elevation of all public utilities must be determined by the Contractor. It shall be the duty of the Contractor to ascertain whether any additional facilities other than those shown on the plans may be present.
- 4. It shall be the responsibility of the Contractor to protect all public utilities in the construction of this project. All manholes, clean—outs, valve boxes, fire hydrants, etc. must be adjusted to proper line and grade by the Contractor prior to and after the placing of permanent paving. Utilities must be maintained to proper line and grade during construction of the paving for this development.
- 5. The General Contractor and all sub—contractors shall verify the suitability of all existing and proposed site conditions, including grades and dimensions before commencement of any construction. In the event of any conflict and prior to commencement of any construction, immediately notify the Engineer. Minor adjustments of finished grade to accomplish spot drainage is acceptable, if necessary, upon prior approval of Engineer. Paving installed shall 'flush out' at any juncture with existing paving.
- 6. Drainage should be maintained away from the foundations, both during and after construction.
- 7. Backfill for utility lines should be carefully placed so that they will be stable. Where utility lines pass through the parking lot, the top 6" should be compacted similarly to the remainder of the lot. Utility ditches should be visually inspected during the excavation process to ensure that undesirable fill is not used.
- 8. If rock is encountered in the trench, rock spoil shall not be used in the upper 1.5 feet of the trench.

- 9. Four-foot RCP sections with beveled ends shall be used if pipe radius is less than 100 feet.
- 10. All storm sewer pipe 18" and larger shall be Class III RCP. All storm sewer pipe 15" and smaller shall be SDR-35 PVC, ADS N-12 pipe, or approved equal.
- Erosion control shall be in place prior to the disturbance of any surface.

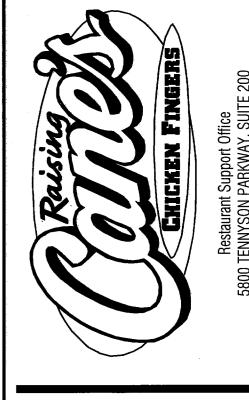






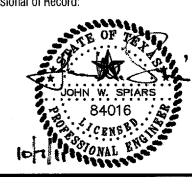
AMERICAN INDUSTRIAL PRE-CAST CATCH BASIN NO. 20 OR APPROVED EQUAL CATCH BASIN NO. 20
FEATURES:
1. CONCRETE: 4500 PSI
2. REINF.: GRADE 60
3. MAX. PIPE SIZE 12"
I.D. R.C.P.
4. 4 THIN WALL K.O.'S

CATCH BASIN NO. 20



Raising Cane's
Store # 98
Belt Line Road
Addison, TX 75001
Prototype 2

Professional of Record:



PIBNGINEERING

765 Custer Road, Suite 100 Plano, TX 75075
(972) 422-0077 Fax (972) 422-0075 TBPE No. F-2121



CSRS, Inc. 6767 Perkins Road Suite 200 Baton Rouge, LA 70808 Tele: 225 769-0546 Fax: 225 767-0060 www.csrsonline.com

Prototype Issue I	Date: August 1, 2010
Design Bulletin l	Jpdates:
Date Issued:	Bulletin Number:

FOR CONSTRUCTION

Revis	sions:	
#	Date	Description
$\overline{\mathbf{A}}$	10-07-2011	PERMIT/OWNER REVIEW

Sheet Title:

DRAINAGE PLAN

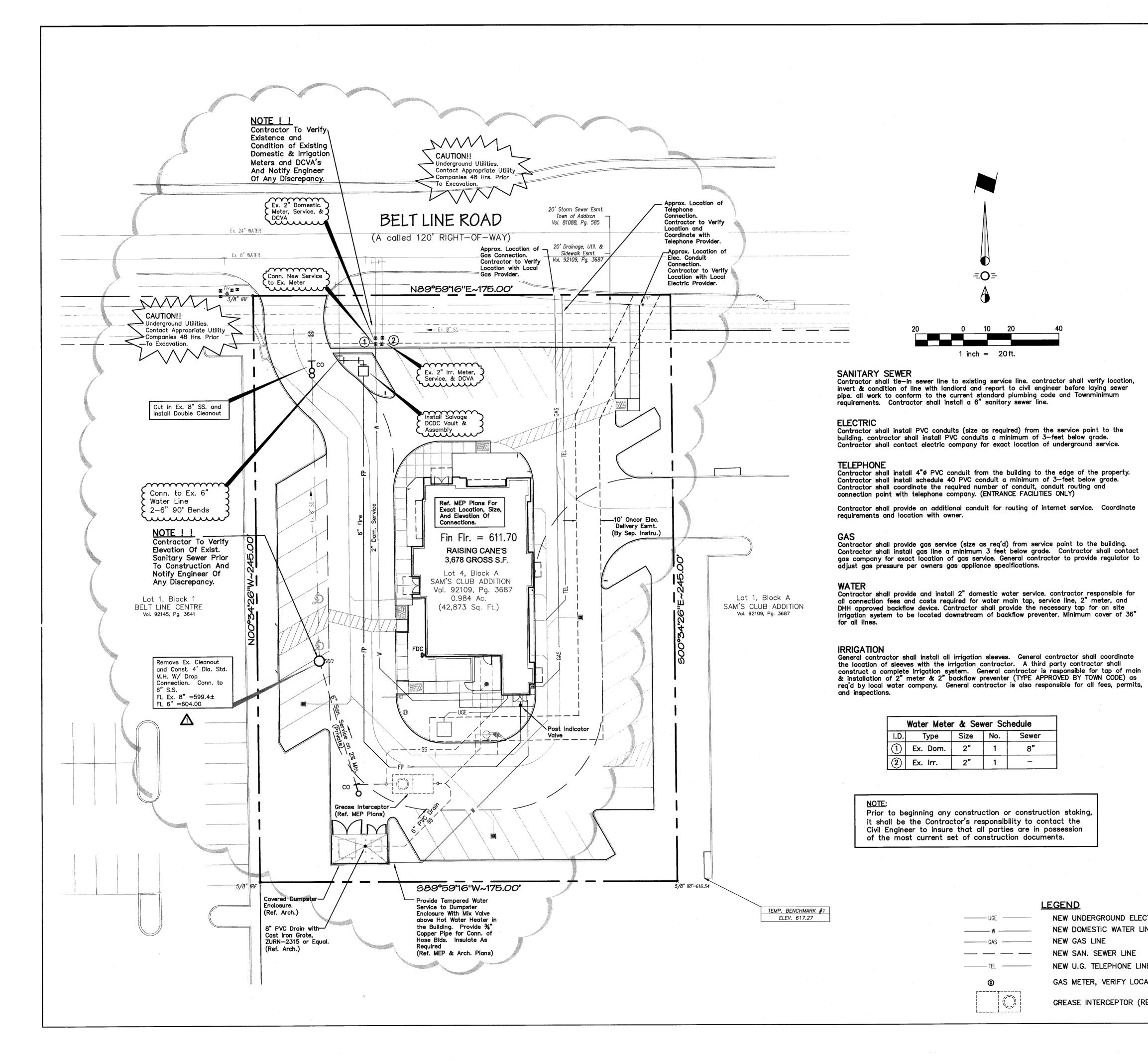
October 07, 2011
SEI No. 11-101
MPC

Prior to beginning any construction or construction staking, it shall be the Contractor's responsibility to contact the Civil Engineer to insure that all parties are in possession of the most current set of construction documents.

TEMPORARY BENCHMARK #1:
SOUTHWEST CORNER OF INLET BEING 11.3' EAST OF
SOUTHEAST CORNER OF SUBJECT TRACT.
ELEVATION = 617.27

CITY BENCHMARK COA-11:

SOUTHEAST CORNER OF INLET 261' EAST AND 5.7'
NORTH OF NORTHEAST CORNER OF SUBJECT TRACT.
ELEVATION = 611.74

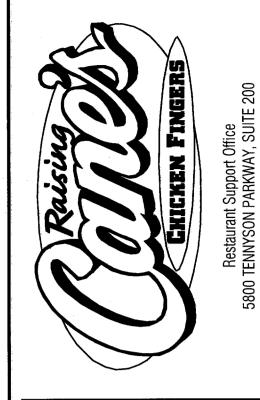


UTILITY GENERAL NOTES

- 1. All materials and construction shall conform to the Town of Addison Standard Details and Specifications, except as noted herein and approved by the Town.
- 2. Contractor shall be responsible for maintaining trench safety requirements in accordance with Town Standards, Texas State Law, and O.S.H.A. Standards for all excavation in excess of five feet
- 3. The location of all utilities located on these plans are taken from existing public records. The exact location and elevation of all public utilities must be determined by the Contractor. It shall be the duty of the Contractor to ascertain whether any additional facilities other than those shown on the plans may be present.
- 4. It shall be the responsibility of the Contractor to protect all public utilities in the construction of this project.
- 5. The Contractor shall be responsible for obtaining permits, inspections, and approval of the completed utility work from all of the approving authorities and each utility company before back filling and/or paving over any of the utility work.
- 6. The Contractor shall be responsible for payment of all connection fees for temporary connections. deposits and any impact fees issues by utility companies for utility service will be paid by Owner.
- 7. The contractor shall verify utility service entrance points and meter locations with the architect prior to the installation of any
- 8. Any utility installed outside of an easement shall be installed by a plumber and inspected by Code Enforcement.
- 9. Backfill for utility lines should be carefully placed so that the utility will be stable. Where utility lines cross the parking lot, the top 6" should be compacted similarly to the remainder of the lot. Utility ditches should be visually inspected during the excavation process to ensure that undesirable fill is not used.
- 10. If rock is encountered in the trench, rock spoil shall not be used in the upper 1.5 feet of the trench. The upper 1.5 feet of the trench is to be backfilled only with quality topsoil.
- 11. All water mains shall be C-900 PVC SDR 18. Domestic and fire water service lines shall be per Town of Addison Building Code
- All ductile iron fittings shall be of the mechanical joint type or slip joint and shall be Class D, or Class 250 on sizes 12" and smaller in accordance with A.W.W.A. Specification C-110-64 and C-111-64.
- All 6" and smaller water mains shall have a minimum cover of 42". all 8"and larger water mains shall have a minimum cover of 48" or sufficient cover to clear other utilities as measured from top of pipe to existing ground level or finished grade, whichever is greater.
- 14. Fire hydrants shall be placed 2' to 6' from back of curb located as
- shown on the plans.
- 15. Fire hydrants shall be Town approved and color coded.
- 16. All gate valves shall be Town approved.
- 17. All water and sanitary mains and services shall have a 10' min. lateral separation.
- 18. Sanitary sewer manholes shall be constructed of cast—in—place concrete or precast concrete with cast iron frames and cover per Town of Addison details.
- Concrete blocking shall be provided on water mains at all tees, fire hydrants, and bends per Town of Addison standards. Payment for concrete blocking shall be subsidiary to pipe installation and shall be included in the bid price thereof.
- 20. The slope for sanitary sewer laterals shall be 2%, or 1/4" per foot. or greater.
- 21. All water meters to be placed in a non-traffic area.
- 22. Refer to Plumbing Plans for exact water and sewer service
- 23. Fire sprinkler line shall be sized and installed by a State Licensed Fire Sprinkler Contractor.

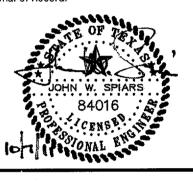
ELEVATION = 611.74

24. Reference Sheets C11 & C12 for Site Details.



Raising Cane's Store # 98 Belt Line Road Addison, TX 75001 **Prototype 2**

Professional of Record:







CSRS, Inc. 6767 Perkins Road Suite 200 Baton Rouge, LA 70808 Tele: 225 769-0546 Fax: 225 767-0060 www.csrsonline.com

Prototype Issue	Date:	August 1, 2010	
Design Bulletin Updates:			
Date Issued:	Bulletin	Bulletin Number:	
	-		

FOR CONSTRUCTION

#	Date	Description
$\overline{\Lambda}$	10-07-2011	PERMIT/OWNER REVIEW

UTILITY PLAN

	Date:	October 07, 2011
TEMPORARY BENCHMARK #1: SOUTHWEST CORNER OF INLET BEING 11.3' EAST OF	Project Number:	SEI No. 11-101
SOUTHEAST CORNER OF SUBJECT TRACT. ELEVATION = 617.27	Drawn By:	MPC
CITY BENCHMARK COA-11:		

SOUTHEAST CORNER OF INLET 261' EAST AND 5.7' Sheet Number: NORTH OF NORTHEAST CORNER OF SUBJECT TRACT. C8

LEGEND

1 inch = 20 ft.

2" | 1

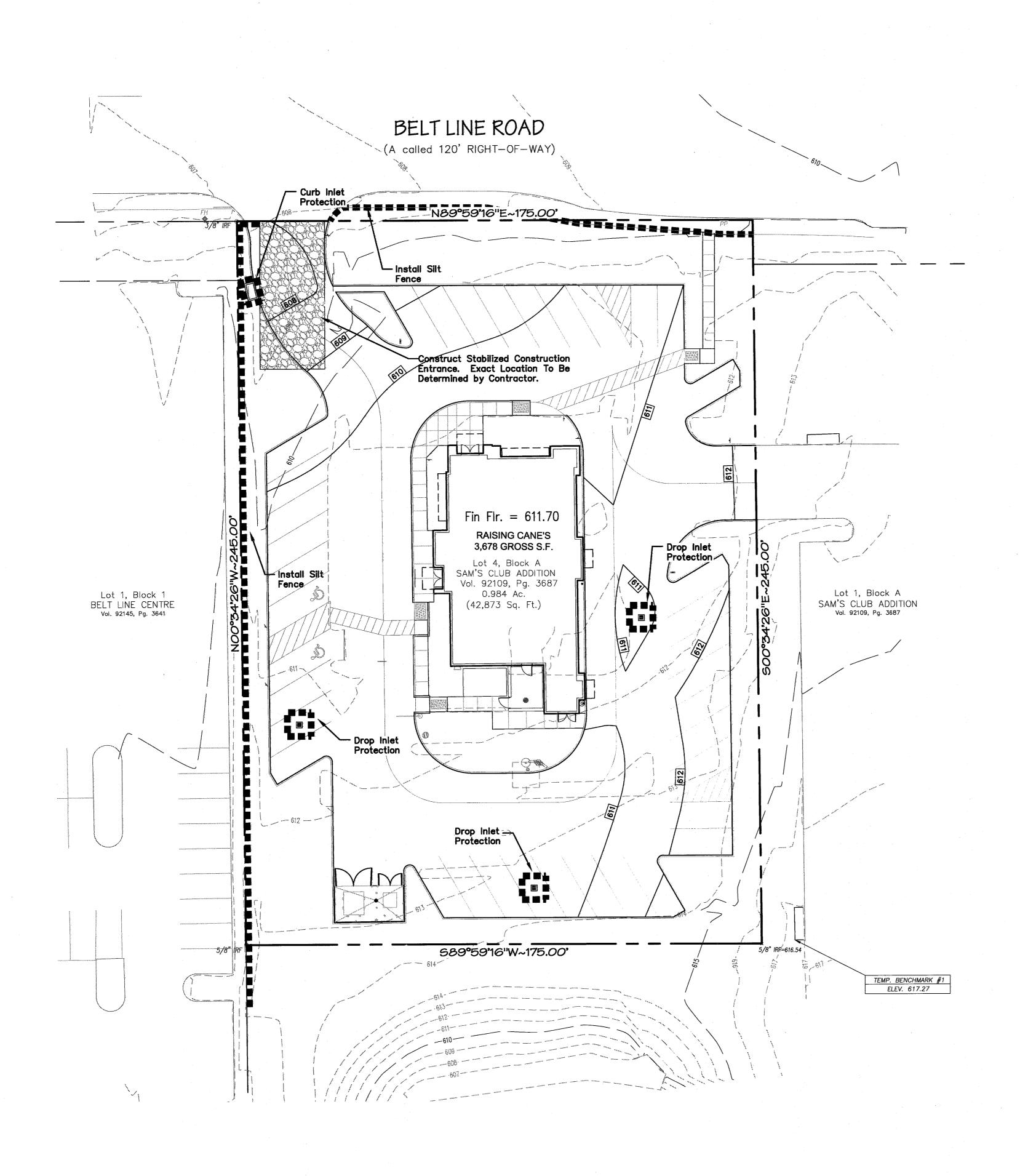
NEW UNDERGROUND ELECTRICAL SERVICE

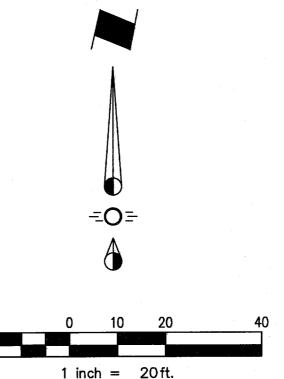
NEW DOMESTIC WATER LINE **NEW GAS LINE**

NEW SAN. SEWER LINE

NEW U.G. TELEPHONE LINE GAS METER, VERIFY LOCATION

GREASE INTERCEPTOR (RE: PLUMBING PLANS)



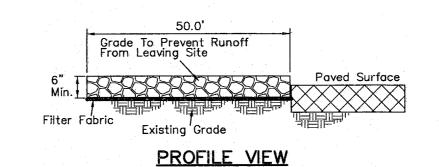


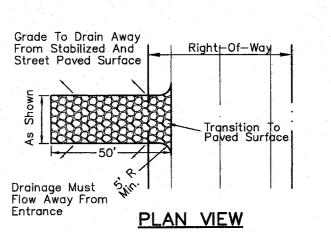
EROSION CONTROL GENERAL NOTES

- 1. Erosion control devices shown on these plans shall be installed prior to the start of land disturbing activities on the project.
- All erosion control devices are to installed in accordance with the approved plans and specifications for this project. Changes are to be approved before construction by the design Engineer and the Town of Addison Engineering Division.
- If the Erosion Control Plan as approved cannot control erosion and off—site sedimentation from the project the Erosion Control Plan will be required to be revised and/or additional erosion control devices will be required on site.
- 4. Off—site soil borrow and spoil areas are considered part of the project site, and must also comply with the erosion control requirements for this project. This includes the installation of BMPs to control offsite sedimentation and the establishment of permanent ground cover on disturbed areas prior to final approval of the project.
- 5. Inspections shall be made weekly and after rain storm events to insure that the devices are functioning properly. When sediment or mud had clogged the void spaces between stones or mud is being tracked onto a public roadway the aggregate pad must be washed down or replaced. Runoff from the washdown operation shall not be allowed to drain directly off the site without first flwoing through another BMP to control off—site sedimentation. Periodic re—grading or the addition of new stone may be required to maintain the efficiency of the installation.
- 6. Contractor shall be responsible for submittal of N.O.I., N.O.T. and any additional information required by T.C.E.Q. Contractor shall comply with all T.C.E.Q. stormwater pollution prevention requirements.

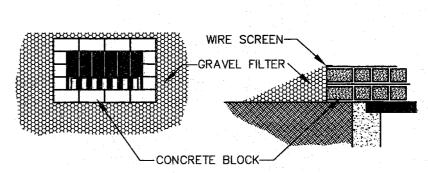
NOTES

- 1. Stone shall be 3 to 5 inch diameter crushed rock or acceptable crushed Portland Cement Concrete.
- 2. When necessary, vehicles shall be cleaned to remove sediment prior to entrance onto a public roadway. When washing is required, it shall be done on a area stabilized with crushed stone, with drainage flowing away from both the street and the stabilized entrance. All sediment shall be prevented from entering any storm drain, ditch, or watercourse using approved methods.
- 3. The entrance shall maintained in a condition which will prevent tracking or flowing of sediment onto paved surfaces. This may require periodic top dressing with additional stone as conditions demand. All sediment spilled, dropped, washed, or tracked onto paved surfaces must be removed immediately.
- 4. The entrance must be properly graded, or incorporate a drainage swale to prevent runoff from leaving the

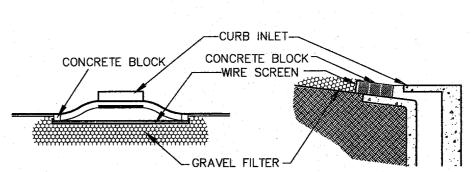




STABILIZED CONSTRUCTION ENTRANCE



DROP INLET PROTECTION



CURB INLET PROTECTION

BLOCK AND GRAVEL PROTECTION

Total Disturbed Area = $1.0\pm$ Acres

Concrete blocks are to be placed on their sides in a single row around the perimeter of the inlet, with ends abutting. Opening in the blocks should face outward, not upward. Wire mesh shall then be placed over the outside face of the blocks covering the holes. Filter stone shall then be piled against the wire mesh to the top of the blocks with the base of the stone being a minimum of 18 inches from the blocks. Periodically, when the stone filter becomes clogged, the stone must be removed and cleaned in a proper manner or replaced with new stone and piled back against the wire mesh.

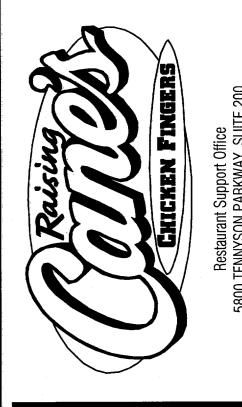
TEMPORARY BENCHMARK #1:

SOUTHWEST CORNER OF INLET BEING 11.3' EAST OF

SOUTHEAST CORNER OF SUBJECT TRACT.

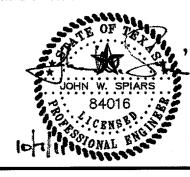
ELEVATION = 617.27

CITY BENCHMARK COA-11: SOUTHEAST CORNER OF INLET 261' EAST AND 5.7' NORTH OF NORTHEAST CORNER OF SUBJECT TRACT. ELEVATION = 611.74



Raising Cane's Store # 98 Belt Line Road Addison, TX 75001 Prototype 2

Professional of Record:



PIST SET NEERING

FINGINEERING

765 Custer Road, Suite 100 Plano, TX 75075
(972) 422-0077 Fax (972) 422-0075 TBPE No. F-2121



CSRS, Inc. 6767 Perkins Road Suite 200 Baton Rouge, LA 70808 Tele: 225 769-0546 Fax: 225 767-0060 www.csrsonline.com

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FOR CONSTRUCTION

#	Date	Description
$\overline{\Lambda}$	10-07-2011	PERMIT/OWNER REVIEW

EROSION CONTROL

PLAN

Sheet Title:

I EAN		
Date:	October 07, 2011	
Project Number:	SEI No. 11-101	
Drawn By:	MPC	

C9

S1' EAST AND 5.7' Sneet Number of Subject tract.

SANDBLASTING WASTE MANAGEMENT

DESCRIPTION

The objective of the management program is to minimize the potential of storm water quality degradation from sandblasting activities at construction sites. The key issues in this program are prudent handling and storage of sandblast media, dust suppression, and proper collection and disposal of spent media. It is not the intent of this program to outline all of the worker safety issues pertinent to this practice. Safety issues should be addressed by construction safety programs as well as local, state, and and federal regulation. utilized at sites in which Sandblasting waste is

INSTALLATION/APPLICATION CRITERIA

Since the media consists of fine abrasive granules, it can be easily transported by running water. Sandblasting activities typically create a significant dust problem which must be contained and collected to prevent off-site migration problem which must be contained and collected to to prevent off-site migration or fines.

Operational Procedures

Use only inert, non-degradable sandblast media. Use appropriate equipment for the job, do not over-blast. Wherever possible, blast in a downward direction. Install a wind sock or other wind direction instrument. Cease blasting activities in high winds or if wind direction could transport grit to drainage facilities. Install dust shielding around sandblasting areas. Collect and dispose of all spent sandblast grit, use dust containment fabrics and dust collection hoppers and barrels.

Non-hazardous sandblast grit may be disposed in permitted construction debris landfills or permitted sanitary landfills. If sandblast media cannot be fully contained, construct sediment traps

downstream from blasting area where appropriate Use sand fencing where appropriate in areas where blast media cannot be

If necessary, install misting equipment to remove sandblast grit from the air — prevent runoff from misting operations from entering drainage

Use vacuum grit collection systems where possible. Keep records of sandblasting materials, procedures, and weather conditions Take all reasonable precautions to ensure that sandblasting grit is contained and kept away from drainage structures.

Educational Issues

Educate all on-site employees of potential dangers to humans and the environment from sandblast grit. Instruct all on-site employees of the potential hazardous nature of sandblast grit and possible symptoms of overexposure to sandblast grit. Instruct operators of sandblasting equipment on safety procedures and personal protection equipment. Instruct operators on proper procedures regarding storage, handling, and

containment of sandblast grit. Instruct operators to recognize unfavorable weather conditions regarding sandblasting activities.

Instruct operators and supervisors on current local, state, and federal federal regulations regarding fugitive dust and hazardous waste from sandblast grit. Have weekly meetings with operators to discuss and reinforce proper

operational procedures. Establish a continuing education program to indoctrinate new employees.

Material Handling Recommendations

Compliance by supervisors and workers.

Sandblast media should always be stored under cover away from drainage Ensure that stored media or grit is not subject to transport by wind. Ensure that all sandblasting equipment as well as storage containers comply with local, state, and federal regulations.

Refer to Hazardous Waste BMP fact sheet if sandblast grit is known or or suspected to contain hazardous components. Capture and treat runoff which comes into contact with sandblasting material or waste.

Foreman and/or construction supervisor should monitor all sandblasting activities and safety procedures.

Quality Assurance

Educate, and if necessary, discipline workers who violate procedures. Take all reasonable precautions to ensure that sandblast grit is not transported off-site or into drainage facilities.

Requirements

Education and awareness program for all employees regarding control of sandblasting and potential dangers to humans and the environment. Operator and supervisor education program for those directly involved in sandblasting activities — instructions on material handling, proper equipment operation, personal protective equipment, fugitive dust control, record keeping and reporting, fugitive dust control, record keeping and reporting. Proper sandblast equipment for the job. Site-specific fugitive dust control and containment equipment. Site-specific fugitive dust control procedure.

Costs

Minimal cost for training and monitoring. Potential for significant cost for containment procedures on large jobs. Potential for significant costs associated with cleanup, correction and remediation if containment occurs.

LIMITATIONS

waste management program.

Site specific solutions to sandblasting problems may be required. Sandblasting operations on structures known to contain hazardous materials require special procedures not specifically outlined above including professional hazardous waste specialists. Where hazardous materials are known or suspected, a site assessment and remediation plan may be necessary. This management program is one part of a comprehensive construction site

HAZARDOUS WASTE MANAGEMENT

The hazardous waste management BMP addresses the problem of storm water Polluted with hazardous waste through spills or other forms of contact. The Objective of the Management Program is to minimize the potential of Storm water contamination from common construction site hazardous wastes Through appropriate recognition, handling, storage, and disposal practices.

It is not the intent of this Management Program to supersede or replace normal site assessment and remediation procedures. Significant spills and/or contamination warrant immediate response by trained professionals. Suspected job-site contamination should be immediately reported to regulatory Authorities and protective actions taken. The General Permit requires reporting Of significant spills to the National Response Center (NRC) at (800)424-8802.

PRIMARY USE

These management practices along with applicable OSHA and EPA guidelines Should be incorporated at all construction sites which use or generate Hazardous wastes. Many wastes such as fuel, oil, grease, fertilizer, and pesticide Are present at most construction sites.

INSTALLATION, APPLICATION AND DISPOSAL CRITERIA The hazardous waste management techniques presented here are based on Proper recognition, handling, and disposal practices by construction workers

And supervisors. Key elements of the management program are education, Proper disposal practices, as well as provisions for safe storage and disposal Following are lists describing the targeted materials and recommended procedures:

Targeted Hazardous Waste Materials

Paints Solvents Stains Wood preservatives Cutting oils Greases Roofing tar Pesticides Fuel and lube oils Lead based paints (Demolition)

Storage Procedures

Wherever possible, minimize use of hazardous materials. Minimize generation of hazardous wastes on the job-site. Segregate potentially hazardous waste from non-hazardous Construction site debris. Designate a foreman or supervisor to oversee hazardous materials

Handling procedures. Keep liquid or semi-liquid hazardous waste in appropriate containers (closed drums or similar) and under cover. Other enclosed trash container that limits contact with rain and. Store waste materials away from drainage ditches, swales, and catch basins.

for spills is high. Ensure that adequate hazardous waste storage volume is available. Ensure that hazardous waste collection containers are conveniently located. Do not allow potentially hazardous waste materials to accumulate on the around. Enforce Hazardous waste handling and storage procedures. Clearly mark on all hazardous waste containers which materials are acceptable for

Use containment berms in fueling and maintenance areas and where the potential

Disposal Procedures

Regularly schedule hazardous waste removal to minimize on—site storage. Use only reputable, licensed hazardous waste haulers.

Education

the container.

Instruct workers in identification of hazardous waste Educate workers of potential dangers to humans and the environment from

Instruct workers on safety procedures for common construction site hazardous wastes Educate all workers on hazardous waste storage and disposal procedures Have regular meetings to discuss and reinforce identification, handling and disposal procedures (incorporate in regular safety seminars). Establish a continuing education program to indoctrinate new employees

Quality Assurance

Foreman and/or construction supervisor shall monitor on-site hazardous waste storage and disposal procedures. Educate, and if necessary, discipline workers who violate procedures. Ensure that the hazardous waste disposal contractor is reputable and licensed.

Requirements

Job-site waste handling and disposal education and awareness program Commitment by management to implement hazardous waste management practices. Compliance by workers. Sufficient and appropriate hazardous waste storage containers. Timely removal of stored hazardous waste materials.

Possible modest cost impact for additional hazardous storage containers. Small cost impact for training and monitoring Potential cost impact for hazardous waste collection and disposal by licensed hauler - actual cost depends on type of material and volume.

LIMITATIONS This practice is not intended to address site—assessments and pre-existing

contamination. Major contamination, large spills and other serious hazardous waste incidents require immediate response from specialists. Demolition activities and potential pre-existing materials, such as asbestos, are not addressed by this program. Site specific information on plans is necessary. Contaminated soils are not addressed. One part of a comprehensive construction site waste management program.

SOLID WASTE MANAGEMENT

Large volumes of solid waste are often generated at construction sites including: packaging, pallets, wood waste, concrete waste, soil, electrical wiring, cuttings, and a variety of other rnaterials. The solid waste management practice lists techniques to minimize the potential of storm water contamination from solid waste through appropriate storage and disposal practices.

PRIMARY USE

These practices should be a part of all construction practices. By limiting the trash and debris on site, storm water quality is improved along with reduced clean up requirements at the completion of the project.

APPLICATIONS

The solid waste management practice for construction sites is based on proper storage and disposal practices by construction workers and supervisors. Key elements of the program are education and modification of improper disposal habits. Cooperation and vigilance is required on the part of supervisors and workers to ensure that the recommendations and procedures are followed. Following are lists describing the targeted materials and recommended procedures:

Targeted Solid Waste Materials

Paper and cardboard containers Plastic packaging Styrofoam packing and forms Insulation materials (non-hazardous) Wood pallets Wood cuttings Pipe and electrical cuttings Concrete, brick, and mortar waste

Roofing tar Steel (cuttings, nails, rust residue) Gypsum board cuttings and waste Sheathing cuttings and waste Miscellaneous cutting and waste Food waste

Shingle cuttings and waste

Demolition waste

Storage Procedures Wherever possible, minimize production of solid waste materials. Designate a foreman or supervisor to oversee and enforce proper solid

waste procedures. Instruct construction workers in proper solid waste procedures. Segregate potentially hazardous waste from non-hazardous construction site debris.

Keep solid waste materials under cover in either a closed dumpster or other enclosed trash container that limits contact with rain and runoff. Store waste materials away from drainage ditches, swales and catch

Do not allow trash containers to overflow. Do not allow waste materials to accumulate on the ground. Prohibit littering by workers and visitors. Police site daily for litter and debris. Enforce solid waste handling and storage procedures.

Disposal Procedures

If feasible, segregate recyclable wastes from non-recyclable waste materials and dispose of properly. General construction debris may be hauled to a licensed construction debris landfill (typically less expensive than a sanitary landfill). Use waste facilities approved by local jurisdiction. Runoff which comes into contact with unprotected waste shall be directed into structural treatment such as silt fence to remove debris.

Educate all workers on solid waste storage and disposal procedures. Instruct workers in identification of solid waste and hazardous waste. Have regular meetings to discuss and reinforce disposal procedures (incorporate in regular safety seminars). Clearly mark on all solid waste containers which materials are acceptable.

Quality Control

Foreman and/or construction supervisor shall monitor on—site solid waste storage and disposal procedures. Discipline workers who repeatedly violate procedures.

Requirements

Jobsite waste handling and disposal education and awareness program Commitment by management to implement and enforce Solid Waste Management Compliance by workers. Sufficient and appropriate waste storage containers.

Timely removal of stored solid waste materials. Possible modest cost impact for additional waste storage containers. Small cost impact for training and monitoring Minimal overall cost impact.

LIMITATIONS

Only addresses non-hazardous solid waste. One part of a comprehensive construction site management program.

SILT FENCE

- 1. STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF 1 FOOT.
- 2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH WASHED GRAVEL ON UPHILL SIDE TO PREVENT FLOW UNDER FENCE
- THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
- 4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IS IN TURN ATTACHED TO THE STEEL FENCE POST. THERE SHALL BE A 6 INCH DOUBLE OVERLAP, SECURELY
- 5. INSPECTION SHALL BE MADE WEEKLY OR AFTER EACH RAINFALL. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
- 6. SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR
- 7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 6 INCHES. THE SILT SHALL BE DISPOSED OF IN AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL

CONCRETE WASTE MANAGEMENT

DESCRIPTION

Concrete waste at construction sites comes in two forms; 1) excess fresh concrete mix including truck and equipment washing, and 2) concrete dust and concrete debris resulting from demolition. Both forms have the potential to impact water quality through storm water runoff contact with the waste.

PRIMARY USE

Concrete waste is present at most construction sites. This BMP should be utilized at sites in which concrete waste is present

A number of water quality parameters can be affected by introduction of concrete - especially fresh concrete. Concrete affects the pH of runoff, causing significant chemical changes in water bodies and harming aquatic life. Suspended solids in the form of both cement and aggregate dust are also Generated from both fresh and demolished concrete waste:

Current Unacceptable Waste Concrete Disposal Practices Dumping in vacant areas on the job-site Illicit dumping off-jobsite Dumping into ditches or drainage facilities

Recommended Disposal Practices

Avoid unacceptable dumping practices listed above. Develop predetermined, safe concrete disposal areas Provide a washout area with a minimum of 6 cubic feet of containment area volume for every 10 cubic vards of concrete poured. Never dump waste concrete illicitly or without property owners knowledge and consent. Treat runoff from storage area through the use of structural controls as required.

Drivers and equipment operators should be instructed on proper disposal and equipment washing practices (see above). Supervisors must be made aware of the potential environmental consequences of improperly handling concrete waste.

The construction site manager or foreman must ensure that employees and pre-mix companies follow proper procedures for concrete disposal and equipment washing. Employees violating disposal or equipment cleaning directives must be reeducated or disciplined if necessary.

Demolition Practices Monitor weather and wind direction to ensure concrete dust is not entering

Prohibit dumping waste concrete anywhere but predetermined areas.

Use predetermined disposal for waste concrete.

drainage structures and surface waters. Where appropriate, construct sediment traps or other types of sediment detention devices downstream of demolition activities.

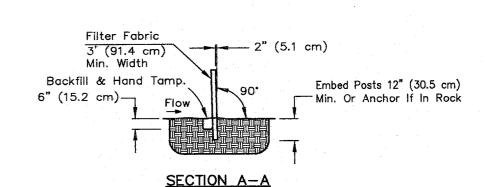
Assign predetermined truck and equipment washing areas.

Educate drivers and operators on proper disposal and equipment cleaning procedures. Minimal cost impact for training and monitoring.

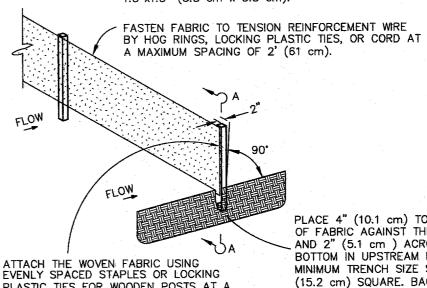
Concrete disposal cost depends on availability and distance to suitable disposal

Additional costs involved in equipment washing could be significant.

This concrete waste management program is one part of a comprehensive construction site management program.



4' (1.2 m) MIN. STEEL OR WOOD POSTS SPACED AT 5' (1.8 m) TO 8' (2.4 m) SOFTWOOD POSTS SHALL BE 3" (7.6 cm) MIN. IN. DIA. OR NOMINAL 2"x4" (5.1 cm x 10.2 cm). HARDWOOD POSTS SHALL HAVE A MIN. CROSS SECTION OF 1.5"x1.5" (3.8 cm x 3.8 cm).



SAME SPACING.

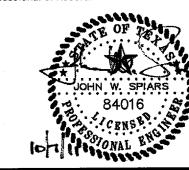
PLACE 4" (10.1 cm) TO 6" (15.2 cm) OF FABRIC AGAINST THE TRENCH SIDE AND 2" (5.1 cm) ACROSS TRENCH BOTTOM IN UPSTREAM DIRECTION. MINIMUM TRENCH SIZE SHALL BE 6' (15.2 cm) SQUARE. BACKFILL AND PLASTIC TIES FOR WOODEN POSTS AT A MAX. SPACING OF 6" (15.2 cm). HAND TAMP. USE LOCKING PLASTIC TIES OR SEWN VERTICAL POCKETS FOR STEEL POSTS AT

SILT FENCE



Raising Cane's **Store # 98 Belt Line Road** Addison, TX 75001 **Prototype 2**

Professional of Record:





6767 Perkins Road Suite 200 Baton Rouge, LA 70808 Tele: 225 769-0546 Fax: 225 767-0060 www.csrsonline.com August 1, 2010 Prototype Issue Date:

Design Bulletin Updates Bulletin Number: Date Issued:

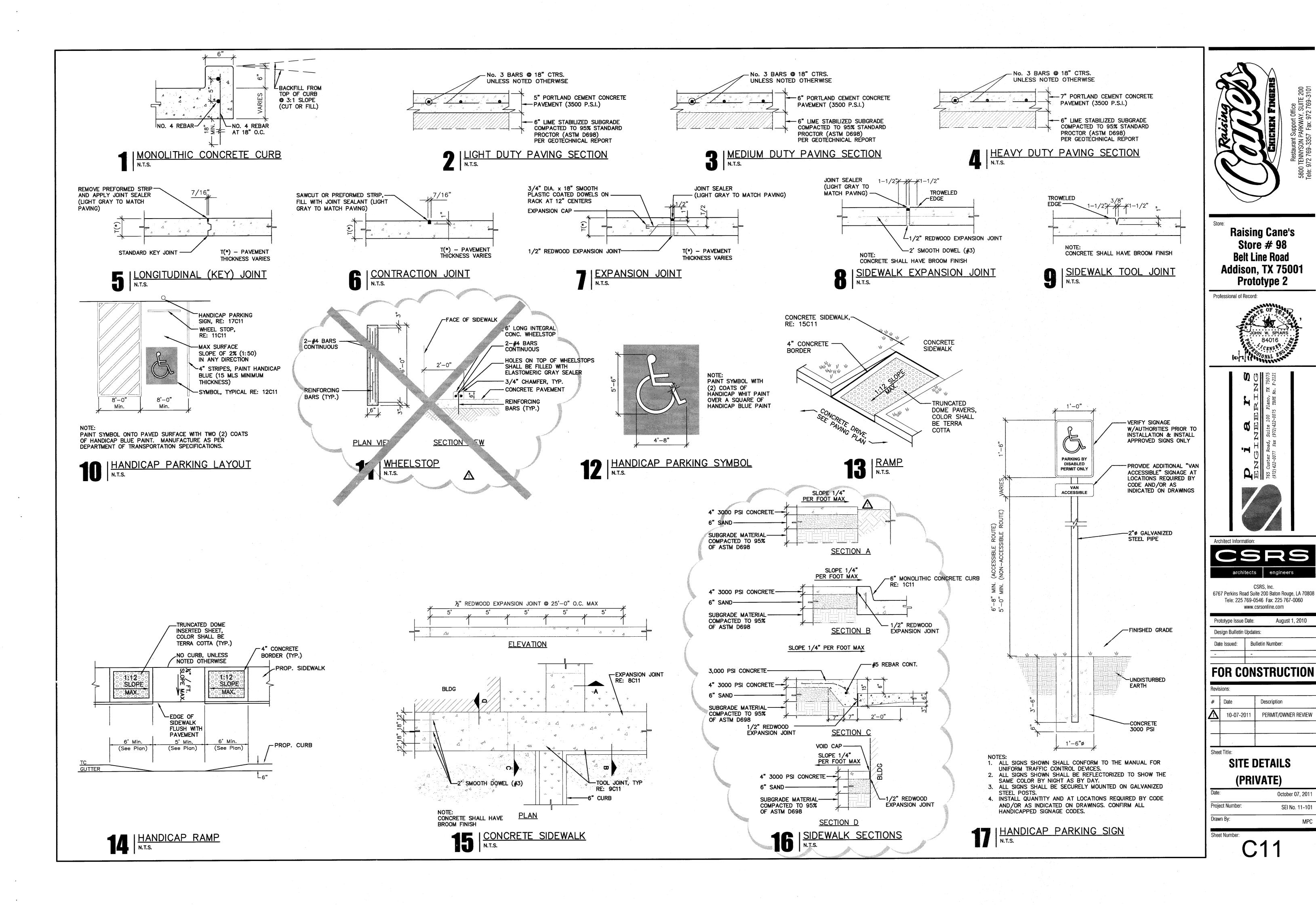
FOR CONSTRUCTION

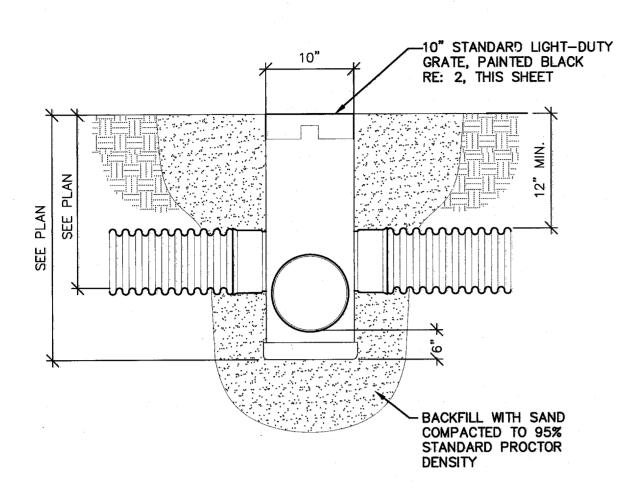
Revisions: Description 10-07-2011 PERMIT/OWNER RÉVIEW Sheet Title:

STORMWATER POLLUTION PREVENTION GUIDELINES

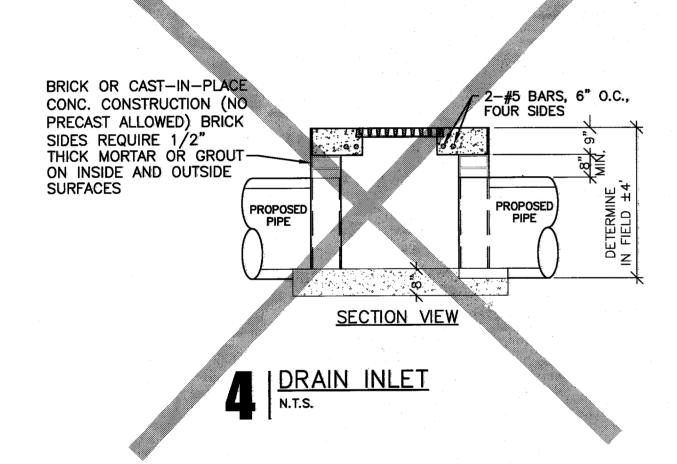
October 07, 2011 Project Number SEI No. 11-101 Drawn By: MPC

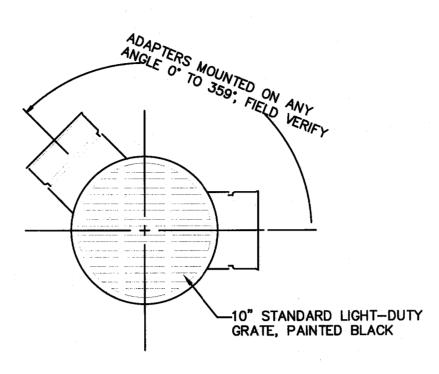
Sheet Number:



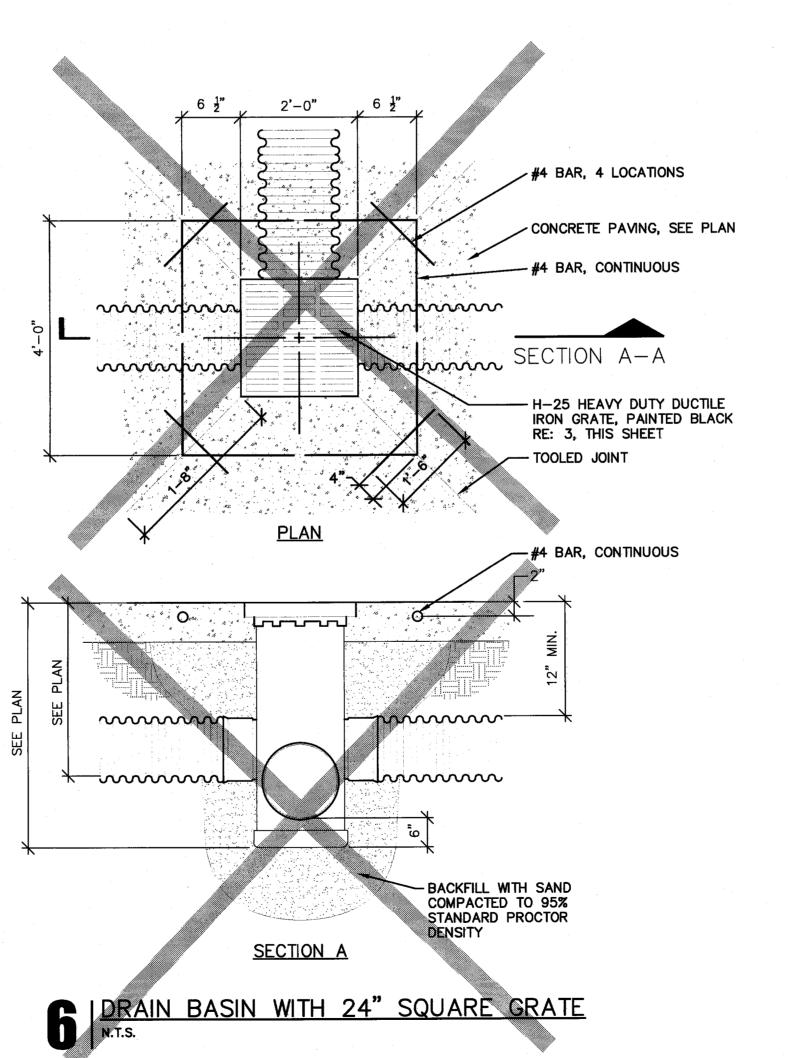


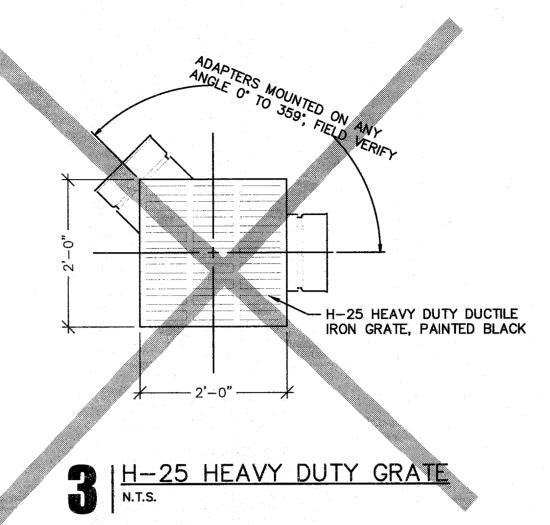
DRAIN BASIN WITH 10" GRATE
N.T.S.

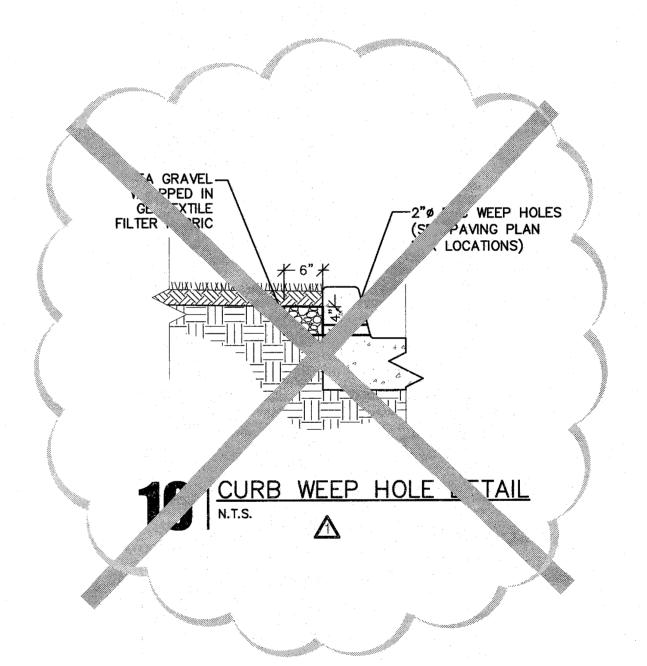


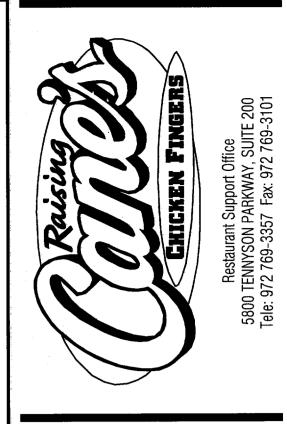


2 | 10" LIGHT DUTY GRATE

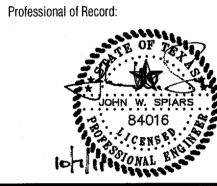








Raising Cane's Store # 98
Belt Line Road Addison, TX 75001 Prototype 2





CSRS, Inc. 6767 Perkins Road Suite 200 Baton Rouge, LA 70808 Tele: 225 769-0546 Fax: 225 767-0060 www.csrsonline.com

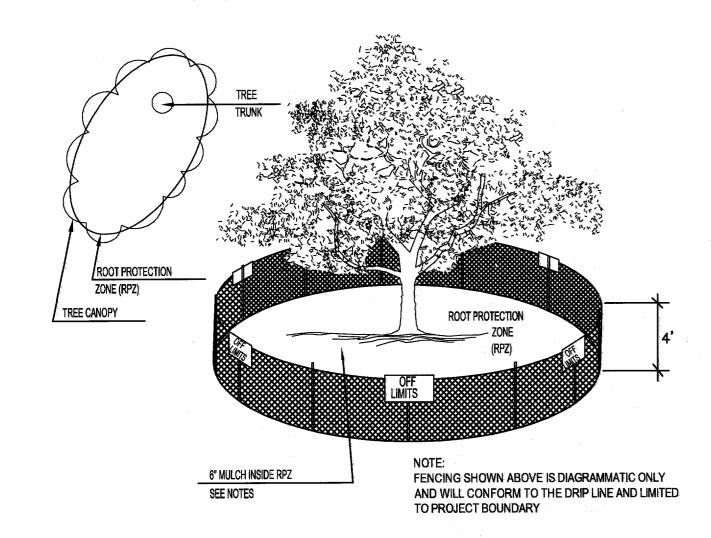
Prototype Issue	Date: August 1, 2010	
Design Bulletin	Design Bulletin Updates:	
Date Issued:	Bulletin Number:	

FOR CONSTRUCTION

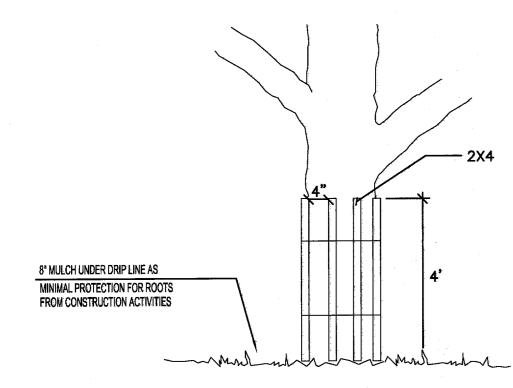
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#	Date	Description
$\overline{\mathbf{A}}$	10-07-2011	PERMIT/OWNER REVIEW

Sheet Title: SITE DETAILS (PRIVATE)

,
October 07, 2011
SEI No. 11-101
MPC



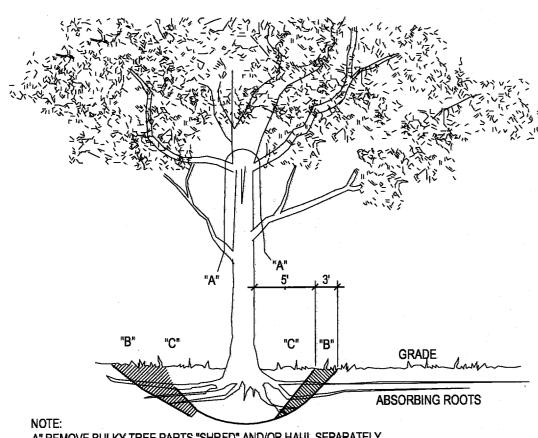
TREE PROTECTION FENCE A NOT TO SCALE



NOTE: WRAP TREE TRUNK WITH 2 X 4 STUDS AND ROPE OR BAND IN-PLACE AS NEEDED TO PROECT TREES IN WORK AREAS

(02) TREE PROTECTION FENCE B

NOT TO SCALE



A" REMOVE BULKY TREE PARTS "SHRED" AND/OR HAUL SEPARATELY.

"B" BEGIN EXCAVATION APPROX. 8' FROM THE TRUNK - CUT THRU ANCHOR ROOTS AT AN ANGLE - 3' TO 4' DEEP

"C" USING TREE TRUNK AS A LEVER PUSH AT POINT "E" TO REMOVE TREE BOLE AND LARGE FEEDER ROOTS (4" TO 10" IN DIAM.)

"D" BACKFILL HOLE AND CLEAN UP.

TREE REMOVAL DIAGRAM

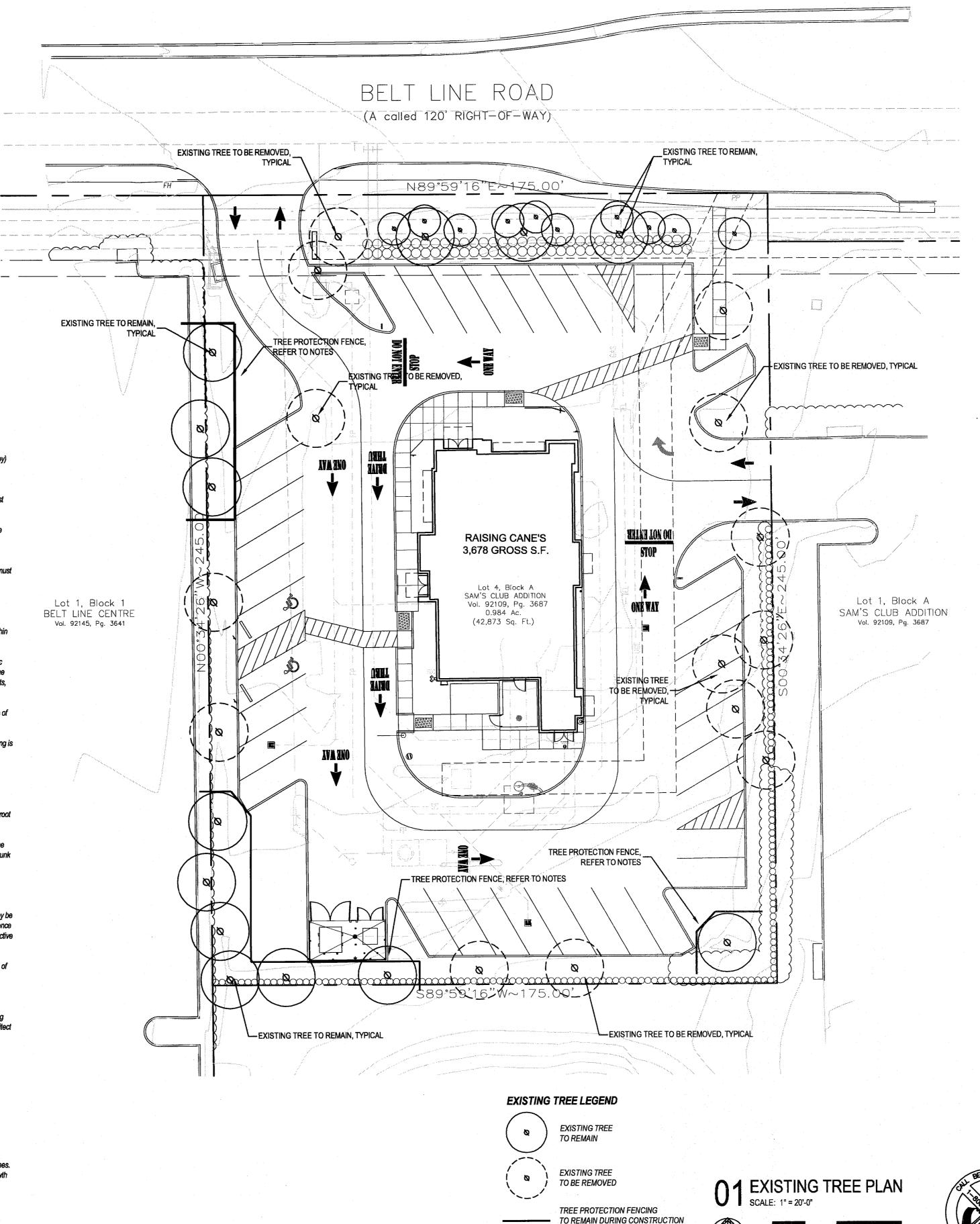
NOT TO SCALE

EXISTING TREE NOTES

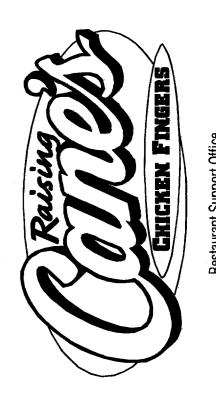
- Existing trees to remain shall be protected during construction from tree structure damage and compaction of soil under and around dripline (canopy)
- If any root structure is damaged during adjacent excavation/construction, notify the Architect immediately. It is recommended that a licensed Arborist be secured for the treatment of any possible tree wounds.
- No disturbance of the soil greater than 4" shall be located closer to the tree trunk than 1/2 the distance of the drip line to the tree trunk. A minimum of 75% of the drip line and root zone shall be preserved at natural grade.
- 4. Any fine grading done within the critical root zones of the protected trees must be done with light machinery such as a bobcat or light tractor. No earth moving equipment with tracks is allowed within the critical root zone of the trees
- Material Storage: No materials intended for use in construction or waste materials accumulated due to excavation or demolition shall be placed within the limits of the dripline of any tree.
- Equipment Cleaning/Liquid Disposal: No equipment may be cleaned, toxic solutions, or other liquid chemicals shall be deposited within the limits of the dripline of a tree. This would include but not be limited to paint, oil, solvents, asphalt, concrete, mortar, primers, etc.
- 7. Tree Attachments: No signs, wires or other attachments, other than those of a protective nature shall be attached to any tree.
- Vehicular Traffic: No vehicular and construction equipment traffic or parking is allowed within the limits of the dripline of trees.
- Boring of Utilities: May be permitted under protected trees in certain circumstances. The minimum length of the bore shall be the width of the tree's canopy and shall be a minimum depth of forty-eight (48") inches.
- Trenching: Any irrigation trenching which must be done within the critical root zone of a tree shall be dug by hand and enter the area in a radial manner.
- 11. Tree Flagging: All trees to be removed from the site shall be flagged by the Contractor with bright red vinyl tape (3" width) wrapped around the main trunk at a height of four (4') feet above grade. Flagging shall be approved by Landscape Architect prior to any tree removal. Contractor shall contact Landscape Architect with 72 hour notice to schedule on-site meeting.
- 12. Protective Fencing: All trees to remain, as noted on drawings, shall have protective fencing located at the tree's dripline. The protective fencing may be comprised of snow fencing, orange vinyl construction fencing, chain link fence or other similar fencing with a four (4') foot approximate height. The protective fencing will be located as indicated on the Tree Protection Detail(s).
- 13. Bark Protection: In situations where a tree remains in the immediate area of intended construction, the tree shall be protected by enclosing the entire circumference of the tree's trunk with lumber encircled with wire or other means that does not damage the tree. Refer to Tree Protection Detail(s).
- 14. Construction Pruning: In a case where a low hanging limb is broken during the course of construction, the Contractor shall notify the Landscape Architect immediately. In no instance shall the Contractor prune any portion of the damaged tree without the prior approval by the Landscape Architect.

EXISTING TREE PRUNING NOTES

- Contractor shall provide a Class 'C' pruning on all existing trees.
- 2. This shall include at a minimum: removal of dead, dying, diseased weak branches, along main trunk structure and within branching area.
- Contractor shall include deep root feeding and invigoration of existing trees.
 This shall be organic based nutrients based for root growth and leaf growth stimulation.
- 4. Contractor shall be required to chip all removed branches, leafs, etc.



REFER TO 01/L1.00



Raising Cane's
Store # 98
Belt Line Road
Addison, TX 75001
Prototype 2

Professional of Record:



Architect Information:



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Prototype Issue	Date:	August 1, 2010	
Design Bulletin Updates:			
Date Issued:	Bulletin	Number:	
			
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FOR CONSTRUCTION

#	Date	Description
$\overline{\mathbb{A}}$	10-07-2011	PERMIT/OWNER REVIEW

EXISTING TREE
PLAN

Date:	October 07, 2011
Project Number:	211057
Drawn By:	

Sheet Number:

L1.00

SECTION 02900 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

Refer to bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

- Planting (trees, shrubs, and grass)
- Bed preparation and fertilization . Notification of sources
- 4. Water and Maintenance until final acceptance Guarantee

1.3 REFERENCE STANDARDS

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

B. All planting areas shall be conditioned as follows:

batter board against the bed areas.

(1.000) square feet.

Grass Areas:

3.2 INSTALLATION

- American Standard for Nursery Stock published by American Association of Nurserymen 27 October 1980, Edition; by American National Standards Institute, Inc. (Z60.1) - plant
- American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized
- Texas Association of Nurserymen, Grades and Standards.
- Hortis Third, 1976 Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- A. The Contractor shall, within ten (10) days following acceptance of bid, notify the Architect/Owner of the sources of plant materials and bed preparation required for the
- B. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, and crushed stone. Samples shall be approved by Architect before use on
- Product Data: Submit complete product data and specifications on all other specified
- Submit three representative samples of each variety of ornamental trees, shrubs, and groundcover plants for Architect's approval. When approved, tag, install, and maintain as representative samples for final installed plant materials.
- File Certificates of Inspection of plant material by state, county, and federal authorities

A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the

2. All planting areas shall receive a two (2") inch layer of specified mulch.

placed in nine (9") inch layers and watered in thoroughly

1. Prepare new planting beds by scraping away existing grass and weeds as necessary.

Apply fertilizer as per manufacturers recommendations. Add six (6") inches of

3. Backfill for tree pits shall be as follows: Use existing top soil on site (use imported

1. Areas to be Solid Sod Bermudagrass: Blocks of sod should be laid joint to joint,

topsoil where they are evidently gaped open, then watered thoroughly.

(staggered joints) after fertilizing the ground first. Roll grass areas to achieve a

2. Areas to be Hydromulch Common Bermudagrass: Hydromulch with bermudagrass seed at a rate of two (2) pounds per one thousand (1,000) square feet. Use a 4' x 8'

smooth, even surface. The joints between the blocks of sod should be filled with

Maintenance of plant materials shall begin immediately after each plant is delivered to the

Plant materials shall be delivered to the site only after the beds are prepared and area

ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery

to the site, shall be well protected against the possibility of drying by wind and sun. Balls

of earth of B & B plants shall be kept covered with soil or other acceptable material. All

Notify the Landscape Architect for inspection and approval of all positioning of plant

depth that, when planted and settled, the crown of the plant shall bear the same

relationship to the finish grade as it did to soil surface in original place of growth.

Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to

permit handling and planting without injury to balls of earth or roots and shall be of such

plants remain the property of the Contractor until final acceptance.

Position the trees and shrubs in their intended location as per plan.

site and shall continue until all construction has been satisfactorily accomplished.

topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc..

Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer.

compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer

such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand

F. Soil Analysis: Provide sandy loam soil analysis if requested by the Architect.

- A. General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the finish grade of sidewalks, drives, and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- B. General Contractor shall provide topsoil as described in Section 02200 Earthwork.
- Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- 1. The Landscape Contractor will be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show a healthy growth and satisfactory foliage conditions.
- 2. Maintenance shall include watering of trees and plants, cultivation, weeding spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
- 3. A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by Owner and Landscape Contractor will be completed prior to written acceptance. 4. After final acceptance of installation, the Landscape Contractor will not be required to do any of the above listed work.

B. Guarantee:

- 1. Trees shall be guaranteed for a twelve (12) month period after acceptance. Shrubs and groundcover shall be guaranteed for twelve (12) months. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry has been damaged, shall be considered subject to replacement. In such
- cases, the opinion of the Owner shall be final. a. Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including ruts in lawn or bed
- b. At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the

areas, incurred as a result of making replacements shall be immediately

premises immediately. c. When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and reinspected for full compliance with Contract requirements. All replacements are to be included under "Work" of

Shrub and tree pits shall be no less than two (2") feet, twenty-four (24") inches, wider than

the lateral dimension of earth ball and six (6") inches deeper than it's vertical dimension.

Remove and haul from site all rocks and stones over one (1") inch in diameter. Plants

Dig a wide, rough sided hole exactly the same depth as the height of the ball, especially at

the surface of the ground. The sides of the hole should be rough and jagged, never slick

hours, the tree needs to move to another location or have drainage added. Install a PVC

Percolation Test: Fill the hole with water. If the water level does not percolate within 24

Backfill only with 5 par's existing soil or sandy loam and 1 part bed preparation. When

the hole is dug in solid rock, topsoil from the same area should not be used. Carefully

settle by watering to prevent air pockets. Remove the burlap from the top 1/3 of the ball,

Mulch the top of the ball. Do not plant grass all the way to the trunk of the tree. Leave the

area above the top of the ball and mulch with at least two (2") inches of specified mulch.

All plant beds and trees to be mulched with a minimum settled thickness of two (2")

Obstruction below ground: In the event that rock, or underground construction work or

obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Owner. Where locations cannot be

below grade and no less than six (6") inches below the bottom of ball when plant is

the site of such rock or underground obstructions encountered at the cost of the

Trees and large shrubs shall be staked as site conditions require. Position stakes to

Pruning and Mulching: Pruning shall be directed by the Architect and shall be pruned in

tipping of the branched is not permitted. Do not cut terminal branches.

All steel curbing shall be free of kinks and abrupt bends.
 Top of curbing shall be 3/4" maximum height above grade.

areas clean by sweeping or hosing at end of each days work

Cut steel edging at 45 degree angle where edging meets sidewalk.

END OF SECTION

Cleanup: During the work, the premises shall be kept neat and orderly at all times.

Storage areas for all materials shall be so organized that they, too, are neat and orderly All trash and debris shall be removed from the site as work progresses. Keep paved

accordance with standard horticultural practice following Fine Pruning, Class I pruning

1. Dead wood or suckers and broken badly bruised branches shall be removed. General

3. Immediately after planting operations are completed, all tree pits shall be covered with

a layer of organic material two (2") inches in depth. This limit of the organic material

1. Curbing shall be aligned as indicated on plans. Stake out limits of steel curbing and

Stakes are to be installed on the planting bed side of the curbing, as opposed to the

changed, the obstructions shall be removed to a depth of not less than three (3') feet

properly set at the required grade. The work of this section shall include the removal from

stand pipe per tree planting detail as approved by the Landscape Architect.

should be thoroughly moist before removing containers.

bound, if so follow standard nursery practice of 'root scoring'.

J. Do not wrap trees.

K. Do not over prune.

inches over the entire bed or pit.

secure tree against seasonal prevailing winds.

standards provided by National Arborist Association.

Pruning shall be done with clean, sharp tools.

obtain Owners approval prior to installation

grass side.

Do not install steel edging along sidewalks.

Steel Curbing Installation:

3.3 CLEANUP AND ACCEPTANCE

- The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final
- 3. The above guarantee shall not apply where plants die after acceptance because of injury from storms, hail, freeze, insects, diseases, injury by humans, machines or
- 4. Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a completed, undamaged condition, and there is a stand of grass in all lawn areas. At this time, the Owner will assume maintenance on the
- Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weather permitting, and in the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and men to make such repairs at the expense of the Landscape

1.7 QUALITY ASSURANCE

- General: Comply with applicable Federal, State, County and Local regulations governing landscape materials and work
- Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.

- 1. Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will insure the purchased materials will meet and/or exceed project
- 2. Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
- 3. Owner and/or Architect shall inspect all plant materials when reasonable at place of growth for compliance with requirements for genus, species, cultivar/variety, size and
- 4. Owner and/or Architect retains the right to further inspect all plant material upon arrival at the site and during installation for size and condition of root balls, limbs, branching habit, insects, injuries, and latent defects. 5. Owner and/or Architect may reject unsatisfactory or defective material at any time
- during the process of work. Remove rejected materials from the site immediately. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

4° DIA. PERFORATED

PVC PIPE W/ CAP

- Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development.
- 2. Container Grown Plants: Deliver plants in rigid container to hold ball shape and

- 1. Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored
- 2. Deliver only plant materials that can be planted in one day unless adequate storage
- and watering facilities are available on job site. 3. Protect root balls by heeling in with sawdust or other approved moisture retaining
- material if not planted within 24 hours of delivery. 4. Protect plants during delivery to prevent damage to root balls or desiccation of leaves.
- Keep plants moist at all times. Cover all materials during transport. 5. Notify Architect of delivery schedule 72 hours in advance so plant material may be
- observed upon arrival at job site.
- 6. Remove rejected plant material immediately from site. To avoid damage or stress, do not lift, move, adjust to plumb, or otherwise manipulate plants by trunk or stems.

PART 2 - PRODUCTS

-- DO NOT CUT CENTRAL LEADER

- RUBBER HOSE

2 STRANDS NO. 12 GAUGE

(3) METAL T-POST PAINTED

GREEN TRIANGULAR SPACING

FINISH GRADE SCARIFY SIDES

ROOTBALL, DO NOT DISTURB. TOP

NATIVE SOIL, REF. SPECIFICATIONS

NOTE: LOCATE STAKES OUTSIDE

OF TREE WELL. POSITION STAKES

PREVAILING WINDS.

TO SECURE TREE AGAINST SEASONAL

EXISTING GRADE. REMOVE TOP 1/3 BURLAP.

— OF ROOTBALL TO BE SET 1° ABOVE

-2" LAYER MULCH, REF. SPECIFICATIONS

REFERENCE PLAN FOR TREE TYPE

- General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Architect and his decision as to their acceptability shall be final.
- Quantities: The drawings and specifications are complimentary. Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
- Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched, and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches,

objectionable disfigurements, insect eggs and larvae and are to be of specimen quality.

- Approval: All plant materials shall be subject to the approval of the Owner. All plants which are found unsuitable in growth, or in any unhealthy, badly shaped; or undersized condition, will be rejected by the Landscape Architect, either before or after planting, and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plants as specified.
- Trees shall be healthy, full-branched, well-shaped and shall meet the trunk diameter and height requirements of the plant schedule. Balls shall be firm, neat, slightly tapered, and well wrapped in burlap. Any tree loose in the ball or with broken ball at time of planting will be rejected. Balls shall be ten (10") inched in diameter for each one (1") inch of trunk diameter. Measured six (6") inched above ball.

Nomenclature conforms to the customary nursery usage: for clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.

Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect, shall be executed by the Landscape Contractor at no additional cost to the Owner.

2.2 SOIL PREPARATION MATERIALS

A. Sandy Loam:

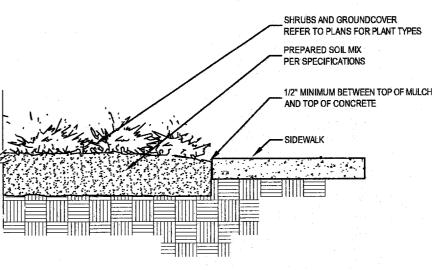
- 1. Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam
- containing Dallasgrass or Nutgrass shall be rejected. Physical properties as follows Clay - between 7-27 percent
- Silt between 15-25 percent Sand - less than 52 percent
- 3. Organic matter shall be 3%-10% of total dry weight. 4. If requested, provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
- Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal raste. Ingredients should be a mix of course and fine textured material.
- Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid

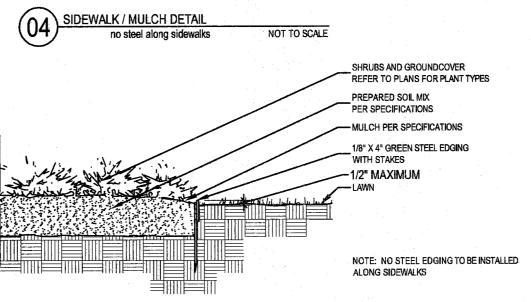
Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.

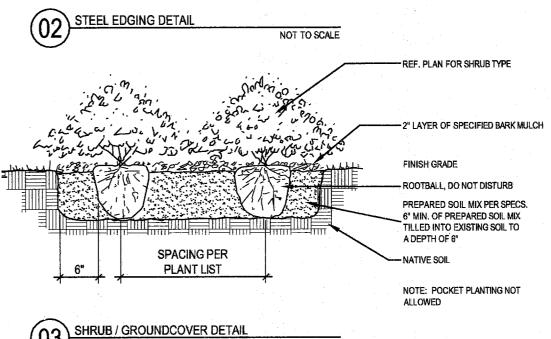
- Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
- Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
- Organic Fertilizer: Fertilaid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
- Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulphur and 4% iron,
- Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.
- A. Steel Edging: Shall be Ryerson "Estate Curbing", 1/8" x 4" with stakes 4' on center.
- Staking Material for Shade Trees:

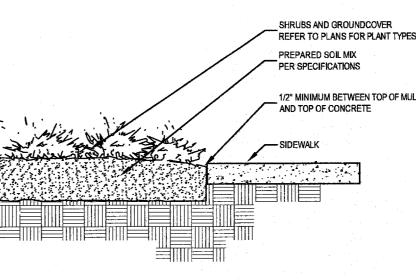
MISCELLANEOUS MATERIALS

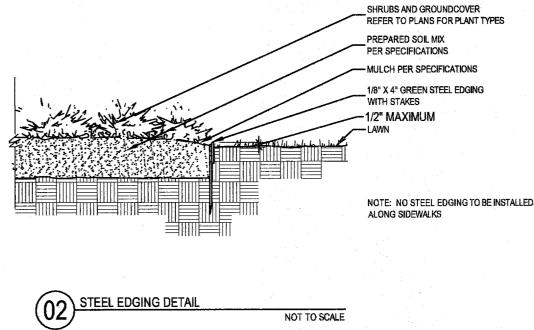
- 1. Post: Studded T-Post, #1 Armco with anchor plate; 6'-0" length; paint green. Wire: 12 gauge, single strand, galvanized wire. 3. Rubber hose: 2 ply, fiber reinforced hose, minimum ½ inch inside diameter. Color:
- C. Gravel: Washed native pea gravel, graded 1 in. to 1-1/2 in.
- Filter Fabric: Mirafi 140N by Celanese Fibers Marketing Company, available at Loftland Co., (214) 631-5250 or approved equal.

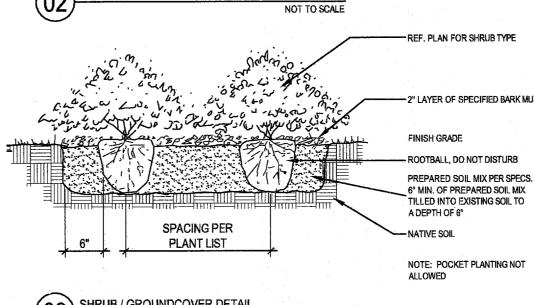












2X DIAMETER

OF ROOTBAL

Raising Cane's Store # 98 Belt Line Road Addison, TX 7500 Prototype 2

Professional of Record



Architect Information:



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Prototype Issue Date: August 1, 2010 Design Bulletin Updates: Date Issued: Bulletin Number:

FOR CONSTRUCTION

Description 10-07-2011 PERMIT/OWNER REVIEW

Sheet Title: LANDSCAPE

October 07, 2011 Project Number: Drawn By:

LANDSCAPE NOTES

- 1. Contractor shall verify all existing and proposed site elements and notify Architect of any discrepancies. Survey data of existing conditions was supplied by others.
- 2. Contractor shall locate all existing underground utilities and notify Architect of any conflicts. Contractor shall exercise caution when working in the vicinity of underground utilities.
- 3. Contractor is responsible for obtaining all required landscape and irrigation
- Contractor to provide a minimum 2% stope away from all structures.
- 5. All planting beds and lawn areas to be separated by steel edging. No steel to be installed adjacent to sidewalks or curbs.
- 6. All landscape areas to be 100% irrigated with an underground automatic irrigation system and shall include rain and freeze sensors.
- 7. All lawn areas to be Solid Sod Bermudagrass, unless otherwise noted on the drawings.

MAINTENANCE NOTES

- 1. The Owner, tenant and their agent, if any, shall be jointly and severally responsible for the maintenance of all landscape.
- 2. All landscape shall be maintained in a neat and orderly manner at all times. This shall include mowing, edging, pruning, fertilizing, watering, weeding and other such activities common to landscape maintenance.
- 3. All landscape areas shall be kept free of trash, litter, weeds and other such material or plants not part of this plan.
- 4. All plant material shall be maintained in a healthy and growing condition as is appropriate for the season of the year.
- 5. All plant material which dies shall be replaced with plant material of equal or
- 6. Contractor shall provide separate bid proposal for one year's maintenance to begin after final acceptance.

GENERAL LAWN NOTES

- Fine grade areas to achieve final contours indicated on civil plans.
- Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- 3. All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
- 4. Imported topsoil shall be natural, friable soil from the region, known as bottom and soil, free from lumps, clay, toxic substances, roots, debris, vegetation, stones, containing no salt and black to brown in color.
- All lawn areas to be fine graded, irrigation trenches completely settled, and finish grade approved by the Owner's Construction Manager or Architect prior to installation.
- All rocks 3/4" diameter and larger, dirt clods, sticks, concrete spoils, etc. shall be removed prior to placing topsoil and any lawn installation
- Contractor shall provide (1") one inch of imported topsoil on all areas to

LANDSCAPE TABULATIONS

SITE REQUIREMENTS Requirements: 20% of gross site to be landscape Total Site: 42,872 s.f.

Required 12,136 s.f. (28%) 8,574 s.f. (20%)

STREET FRONTAGE Requirements: 20' buffer along street frontage (1) tree 4" cal. per 20 l.f., (8) shrubs per 20 l.f.

Belt Line Road: 150 l.f. (less drives) (8) trees, 4" cal. (58) shrubs, 5 gal.

(1) tree, 4" cal. (3) existing trees, 8" - 10" cal. (9) existing ornamental trees, 8' ht. (68) existing shrubs, 5 gal.

PARKING LOT SCREEN Requirements: 20" ht., 3' o.c., double staggered row

Provided: 24" ht., 3' o.c. linear row

PERIMETER LANDSCAPE Requirements: 5' wide buffer, (1) 4" cal. tree and (8) shrubs per 35 l.f.

West Property Line: 220 l.f. (less drives) Provided Required (5) trees, 4" cal. (6) trees, 4" cal. (1) existing tree, 8" cal. (50) shrubs, 5 gal.

East Property Line: 220 l.f. (less drives) (5) trees, 4" cal. (6) trees, 4" cat. existing tree, 8" cal. (50) shrubs, 5 gal. (70) existing shrubs, 5 gal.

South Property Line: 175 l.f. Required

(2) trees, 4" cal. (5) trees, 4" cal. (40) shrubs, 5 gal. (3) existing tree, 4" - 8" cal. (86) existing shrubs, 5 gal.

PARKING LOT - INTERIOR LANDSCAPE Requirement: 8% of the parking area must be landscape Parking lot: 24,919 s.f. 2,390 s.f. (9.5%) 1,993 s.f. (8%)

PARKING LOT Requirement: (1) tree per 10 regular spaces

Total Parking: 25 spaces Required (4) trees, 4" cal. (4) trees

SOLID SOD NOTES

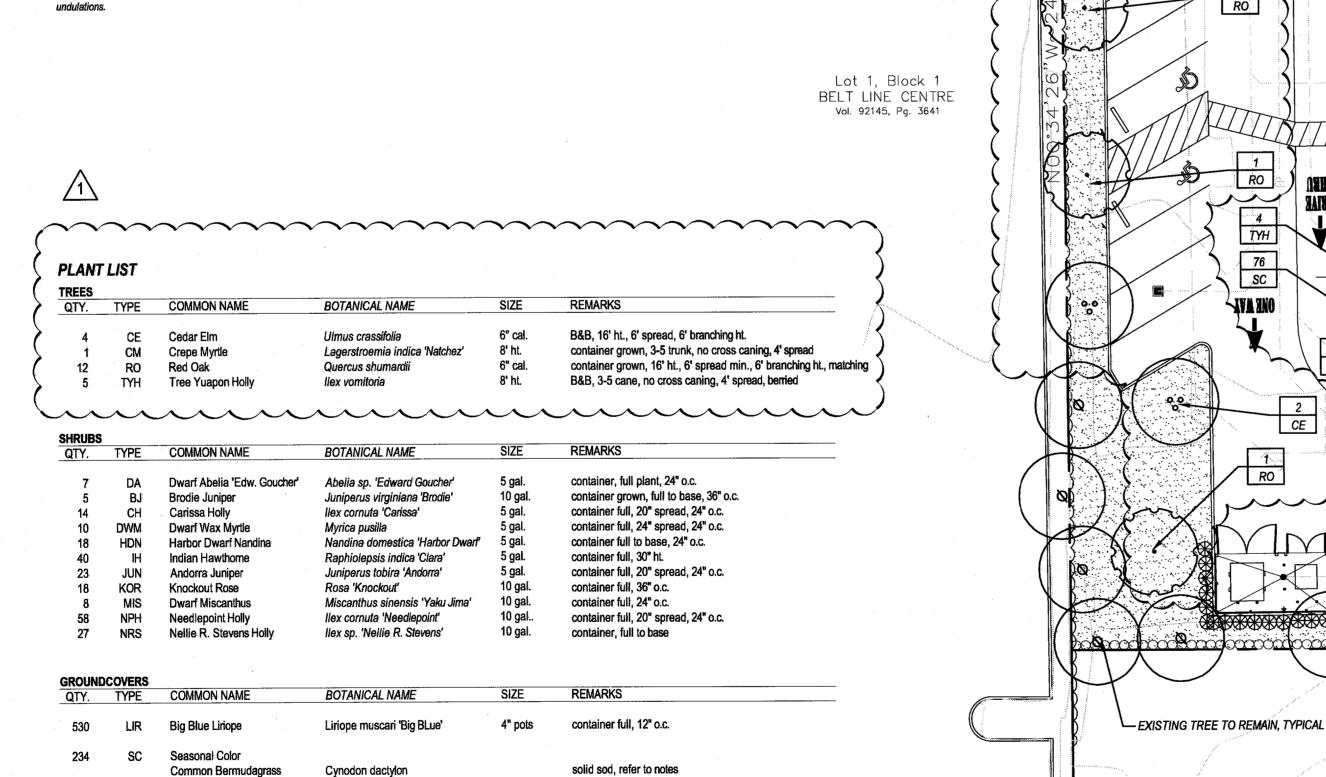
- 1. Fine grade areas to achieve final contours indicated. Leave areas to receive topsoil 3" below final desired grade in planting areas and 1" below final grade
- 2. Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- 3. All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction
- 4. Contractor to coordinate with on-site Construction Manager for availability of existing topsoil.
- 5. Plant sod by hand to cover indicated area completely. Insure edges of sod are touching. Top dress joints by hand with topsoil to fill voids.
- 6. Roll grass areas to achieve a smooth, even surface, free from unnatural
- 7. Water sod thoroughly as sod operation progresses.
- 8. Contractor shall maintain all lawn areas until final acceptance. This shall include, but not limited to: mowing, watering, weeding, cultivating, cleaning and replacing dead or bare areas to keep plants in a vigorous, healthy
- 9. Contractor shall guarantee establishment of an acceptable turf area and shall provide replacement from local supply if necessary.
- 10. If installation occurs between September 1 and March 1, all sod areas to be over-seeded with Winter Ryegrass, at a rate of (4) pounds per one thousand (1000) square feet.

IRRIGATION REPAIR SPECIFICATIONS

- 1. Contractor shall perform site visit prior to bidding and construction, to review extent of existing irrigation system.
- 2. Contractor shall be responsible for verifying conditions of existing irrigation system. Contractor shall be responsible for maintaining the integrity of existing irrigation where possible, and if not, repair as needed, including but not limited to irrigation controller, meter, sleeving, etc.

LAWN REPAIR NOTES

- 1. All lawn areas damaged during construction to be repaired with solid sod and
- 2. Adjust damaged areas to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- 3. All areas to be repaired must be planted by hand to cover area completely. Insure edges of sod are touching. Top dress joints by hand with compost to
- 4. Roll repaired areas to achieve a smooth, even surface, free from unnatural



NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching



Raising Cane's **Store # 98 Belt Line Road** Addison, TX 75001 Prototype 2

Professional of Record:

Architect Information:



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Prototype Issue Date:		August 1, 2010	
Design Bulletin	Updates:		
Date Issued: Bulle		etin Number:	

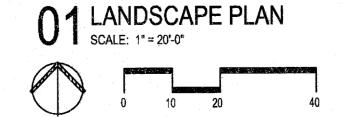
FOR CONSTRUCTION

Revis	sions:	
#	Date	Description
$\overline{\mathbb{A}}$	10-07-2011	PERMIT/OWNER REVIEW
Shee	t Title:	

LANDSCAPE PLAN

Date:	October 07, 201
Project Number:	21105
Drawn By:	

Sheet Number:



BELT LINE ROAD

(A called 120' RIGHT-OF-WAY)

FIELD LOCATE

AROUND EX.

N89:59

6 9 90 DWM IH SC

- EXISTING LAWN TO REMAIN, REPAIR / REPLACE AS NEEDED

PROVIDE TOR DRESS MULCH

STEEL EDGING TYP.

BETWEEN ALL LAWN

AREAS AND PLANTING

LAWN, SOLID SOD

BERMUDAGRASS

TYP.\AT B.O.C\X3" DEPTH\

BEDS

55 55 18 3

SC LIR NPH KOR

NPH LIR SC

RAISING CANE'S

SAM'S CLUB ADDITION

Vol. 92109, Pg. 3687

0.984 Ac.

(42,873 Sq. Ft.)

23 60 8 1

NPH LIR MIS TY

3,678 GROSS S.F.

LAWN, SOLID SOD

BERMUDAGRASS Lot 4, Elock A

RO

sc

RO RO

JUN

--- EXISTING HEDGE TO REMAIN, TYPICAL

140/

RO

DA HDN

LAWN SOLID SOD,

BERMUDAGRASS

TYPICAL FOR ALL

1 8 14 4 CM KOR CH BJ

- EXISTING HEDGE TO REMAIN, TYPICAL

LAWN AREAS

RO

- EXISTING TREE TO REMAIN, TYPICAL

Lot 1, Block A

SAM'S CLUB ADDITION

Vol. 92109, Pg. 3687

PLANT LEGEND

CE

CH

CM

HDN

LIR

RO

SYMBOL PLANT TYPE

Brodie Juniper

Cedar Elm

Carissa Holly

Crepe Myrtle

Dwarf Wax Myrtle

Andorra Juniper

Knock Out Rose

Dwarf Miscanthus

Needle Point Holly

Seasonal Color

Tree Yaupon Holly

Nellie R. Stevens Holly

Liriope

Red Oak

Little Gem Magnolia

Harbor Dwarf Nandina

Indian Hawthorne 'Clara'

TCEQ 2009 NOTES

- All irrigation equipment to be located no closer than 4" to any pavement and / or structure
- Electrical splices at each valve and controller only.
- Irrigation in Texas is regulated by the Texas Commission on Environmental Quality (TECQ) MC-178 / P.O. BOX 13087 Austn, Texas 78711-3087 www.teceq.state.tx.us

BUBBLER PIPING CHART

1-5 BUBBLERS - 1/2" PIPE 6-10 BUBBLERS - 3/4" PIPE 11-20 BUBBLERS - 1" PIPE 21-30 BUBBLERS - 1 1/4" PIPE 31-40 BUBBLERS - 1 1/2" PIPE

IRRIGATION LEGEND

- WM LX-4 4" Pop-up Spray Head with a Plastic MPR Nozzle
- WM LX-12 12" Pop-up Spray Head with a Plastic MPR Nozzle
- IRRITROL 533 BUBBLERS
- WM 11000 Series Control Valves RAINBIRD XCZ-100-PRF Med. Flow Zone Control Kit with Valve, Basket Filter, and Pressure Regulator
- Weathermatic ET Based System Controller with Weather Monitor
- WATER METER, SIZE AS INDICATED
- - to Include Wye Strainer, Isolation Valve, Master Valve, and Pressure Regulator
- PVC CLASS 200 LATERAL LINE PVC CLASS 200 MAINLINE
- PVC SCHEDULE 40 SLEEVING

NETAFIM TECHLINE#TLDL6-1210 (18" LATERAL SPACING, 12" EMITTER SPACING) PVC LATERAL PIPING SIZED AS REQUIRED INSTALL ALL EQUIPMENT ACCORDING TO MANUFACTURERS SPECIFICATIONS

NETAFIM DISC FILTER #DF100-080 NETA NETAFIM PRESSURE REGULATOR #PRV15025 INSTALL ALL EQUIPMENT ACCORDING TO MANUFACTURERS SPECIFICATIONS

2" Backflow per City code 2" 'Y' Strainer 2" Ball Valve Copper Pipe between Meter and Ball Valve Dedicated Irrigation Water Meter Verify size and location per Civil Plans

SLEEVING NOTES

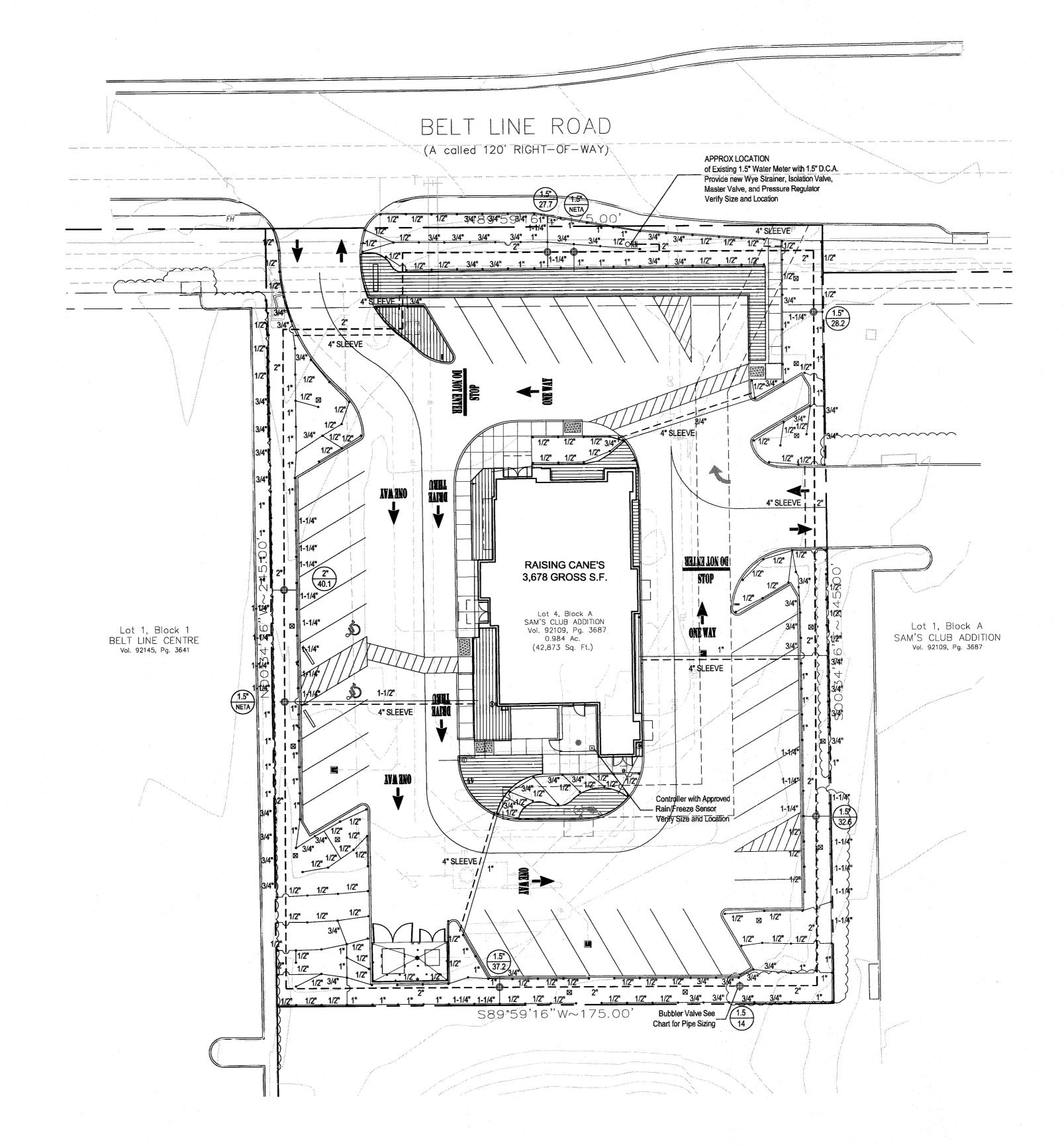
- 1. Contractor shall lay sleeves and conduits at twenty-four (24") inches below finish grade of the top of pavement.
- Contractor shall extend sleeves one (1') foot beyond edge of all pavement.
- Contractor shall cap pipe ends using PVC caps.
- 4. All sleeves shall be Schedule 40 PVC pipe.
- 5. Contractor shall furnish Owner and Irrigation Contractor with an 'as-built' drawing showing all sleeve locations.

IRRIGATION NOTES

- 1. All sprinkler equipment numbers reference the Weathermatic equipment catalog unless otherwise indicated.
- LAWN SPRAY HEADS are WM LX-4 installed as per detail shown.
- SHRUB SPRAY HEADS are WM LX-12 installed as per detail shown.
- 4. ELECTRIC CONTROL VALVES shall be WM 11000 SERIES installed per detail shown. Size valves as sown on plan. Valves shall be installed in value boxes large enough to permit manual operation, removal of solenoid and/or valve cover without any earth excavation.
- AUTOMATIC CONTROLLER shall be installed at location shown. Power (120V) shall be located in a junction box within five (5') feet of controller location by other trades.
- 6. All 24 volt valve wiring is to be UF 14 single conductor. All wire splices are to be permanent and waterproof.
- 7. SLEEVES shall be installed by General Contractor. Sleeve material shall be Schedule 40. Size as indicated on plan.
- 8. Ten days prior to start of construction, Landscape or Irrigation Contractor shall verify static water pressure. If static pressure is less than 65 P.S.I., do not work until notified to do so by Owner.
- All main line and lateral piping to a minimum of 12 inches of cover. All piping under paving shall have a minimum of 18" of cover.
- 10. The Irrigation Contractor shall coordinate installation of the system with the Landscape Contractor so that all plant material will be watered in accordance with the intent of the plans and specifications.
- 11. The Irrigation Contractor shall select the proper arc and radius for each nozzle to insure 100% and proper coverage of all lawn areas and plant material. All nozzles in parking lot islands and planting beds shall be low angle to minimize over spray on pavement surfaces. No water will be allowed to spray on

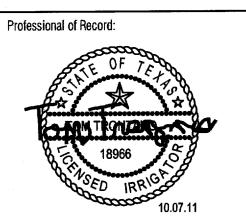
DRIP IRRIGATION NOTES

- 1. Drip Irrigation Equipment numbers reference Rainbird Equipment Catalog unless otherwise noted.
- 2. Landscape Contractor shall be required to supply Owner's Construction Manager with all equipment specifications and maintenance guidelines.
- 3. Landscape Contractor shall be required to follow Manufacturer's Specifications and Installation guidelines for drip system.
- 4. PRESSURE COMPENSATING EMITTERS shall be: Multioutlet Rain Bug. EM6-M101, Multi outlet Shrub Bug EMT6-M101 or approved equal. (1 PER EVERY 6 - 4" POTS)
- SINGLE OUTLET PRESSURE COMPENSATING EMITTERS shall be: Rain Bug Emitters EM-Mo5, -M10, -M20 and Shrub Bug Emitters EMT-M10, -M20 or approved equal. (1 PER EACH 1 OR 5 GAL PLANT)
- DRIP PRESSURE REGULATORS shall be: PSI-HLA-15, PSI-HLA-20, PSI-HMB-20, PSI-HMB-25 or approved equal.
- 7. Y-FILTERS shall be: RBY-075-200, RBY-100-200 or approved equal.
- 8. MAIN IRRIGATION TUBING shall be:RBT-150P,RBT-160V or approved
- 9. EMITTER DISTRIBUTION TUBING shall be: RBT-150P, RBT-160V or approved equal.
- 10. SUBTERRANEAN EMITTER BOX shall be: SEB-6 or approved equal.
- 11. Drip system piping only occurs within shrub / groundcover beds and rock mulch areas. Piping shall be a maximum 4" depth and a minimum 2" depth.
- 12. Contractor shall verify that all drip system valves and spray system valves are sectioned separately on controller.





Raising Cane's **Store # 98 Belt Line Road** Addison, TX 75001 Prototype 2



Architect Information:



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Prototype Issue Date:		August 1, 2010	
Design Bulletin	Updates:		
Date Issued:	Bulletin	Number:	
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FOR CONSTRUCTION

Revis	sions:	
#	Date	Description
$\overline{\mathbb{A}}$	10-07-2011	PERMIT/OWNER REVIEW
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IRRIGATION PLAN

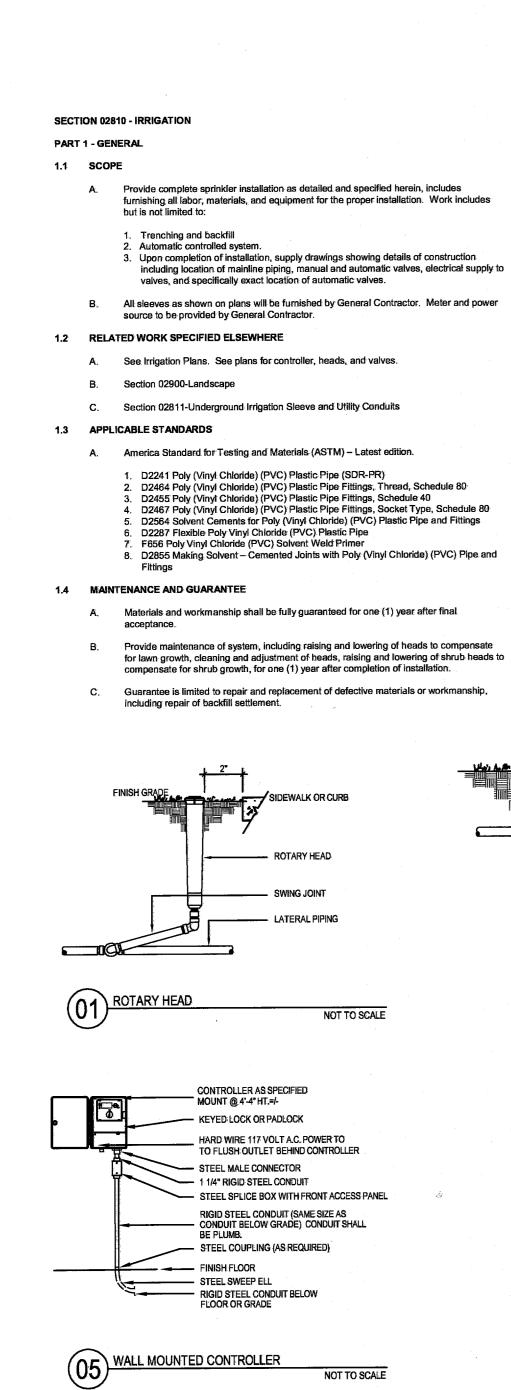
Date:	October 07, 2011
Project Number:	211057
Drawn By:	

Sheet Number:



01 IRRIGATION PLAN SCALE: 1" = 20'-0"





Provide complete sprinkler installation as detailed and specified herein, includes furnishing all labor, materials, and equipment for the proper installation. Work includes 3. Upon completion of installation, supply drawings showing details of construction including location of mainline piping, manual and automatic valves, electrical supply to valves, and specifically exact location of automatic valves. All sleeves as shown on plans will be furnished by General Contractor. Meter and power source to be provided by General Contractor. 1.2 RELATED WORK SPECIFIED ELSEWHERE A. See Irrigation Plans. See plans for controller, heads, and valves. Section 02811-Underground Irrigation Sleeve and Utility Conduits

Controller Keys: Provide three sets of keys to controller enclosure(s). Use of materials differing in quality, size, or performance from those specified will only be allowed upon written approval of the Landscape Architect. The decision will be based on A. America Standard for Testing and Materials (ASTM) – Latest edition. comparative ability of material or article to perform fully all purposes of mechanics and general design considered to be possessed by item specified. D2241 Poly (Vinyl Chloride) (PVC) Plastic Pipe (SDR-PR) . D2464 Poly (Vinyl Chloride) (PVC) Plastic Pipe Fittings, Thread, Schedule 80 Bidders desiring to make a substitution for specified sprinklers shall submit D2455 Poly (Vinyl Chloride) (PVC) Plastic Pipe Fittings. Schedule 40 manufacturer's catalog sheet showing full specification of each type sprinkler proposed as a substitute, including discharge in GPM maximum allowable operating pressure at D2467 Poly (Vinyl Chloride) (PVC) Plastic Pipe Fittings, Socket Type, Schedule 80 5. D2564 Solvent Cements for Poly (Vinyl Chloride) (PVC) Plastic Pipe and Fittings 6. D2287 Flexible Poly Vinyl Chloride (PVC) Plastic Pipe F656 Poly Vinyl Chloride (PVC) Solvent Weld Primer Approval of substitute sprinkler shall not relieve Irrigation Contractor of his responsibility

1.5 SUBMITTALS

FINISHED GRADE

Procedure: Comply with Division I requirements.

1. Comply with Division I requirements.

Project Record Documents

Product Data: Submit (5) copies of equipment manufacturer's specifications and

2. Locate by written dimension, routing of mainline piping, remote control valves and

3. When dimensioning is complete, transpose work to mylar reproducible tracings.

Quick Coupler Keys: Provide 3 coupler keys with boiler drains attached using brass

quick coupling valves. Locate mainlines by single dimensions from permanent site

electrical connections, and quick couplers by two dimensions from a permanent site

features provided they run parallel to these elements. Locate valves, intermediate

Submit completed tracings prior to final acceptance. Mark tracings "Record Prints

5. Provide three complete operation manuals and equipment brochures neatly bound in a hard back three-ring binder. Include product data on all installed materials. Include warranties and guarantees extended to the Owner by the manufacturer of all

literature for approval by Landscape Architect prior to installation.

feature at approximately 70 degrees to each other.

Showing Significant Changes". Date and sign drawings.

originally designed and specified system. It is the responsibility of the Irrigation Contractor to demonstrate that final installed sprinkler system will operate according to intent of originally designed and specified system. If Irrigation Contractor notes any problems in head spacing or potential coverage, it is his responsibility to notify the Landscape Architect in writing, before proceeding with work. Irrigation Contractor guarantees 100% coverage of all areas to be

to demonstrate that final installed sprinkler system will operate according to intent of

Perform testing required with other trades, including earthwork, paving, plumbing, electrical, etc. to avoid unnecessary cutting, patching and boring. Wire Connectors: Waterproof splice kit connectors. Type DBY by 3M.

NOT TO SCALE

─ 10" ROUND ARMOR (AMETEK) VALVE .

BOX W/ GREEN LID SET 1/4" ABOVE FINISH GRADE

UTILITY GRAVEL

NOT TO SCALE

- CLASS 200 PVC LATERAL LINE

S X S X T PVC SCHEDULE 40 PVC

OUTLET TEE OR ELL - MALE ADAPTER (MIPT X S)

FLEXIBLE PVC (LENGTH AS REQUIRED)

SCHEDULE 40 PVC STREET ELL (S X MPT):

1" DIA. WIRE COIL - 24" LONG

- MAINLINE

(06) REMOTE CONTROL VALVE

PVC LATERAL LINE, 45° ELL

---- 6" VALVE BOX EXTENSIONS

TO REQ'D DEPTH

---- WATERPROOF WIRE CONNECTIONS

2.6 SCHEDULE 80 PVC NIPPLES

- Composed of Standard Schedule 40 PVC Fittings and PVC meeting noted standards. No clamps or wires may be used. Nipples for heads and shrub risers to be nominal one-half inch diameter by eight inches long, where applicable.
- Polyethylene nipples six (6") inches long to be used on all pop-up spray heads.

2.7 MATERIALS - See Irrigation Plan

- A. Sprinkler heads in lawn area as specified on plan.
- B. PVC Pipe: Class 200, SPR 21 Copper Tubing (City Connection): Type "M" 24V Wire: Size 14, Type U.F.

NOZZLE & BODY

CLASS 200 PVC LATERALLINE

OUTLET TEE OR ELBOW

DRIP ZONE KIT

-FINISH GRADE

T PVC SLIP UNIONS

NOT TO SCALE

07) DRIP CONTROL VALVE

-SXSXTPVC

Electric valves to be all plastic construction as indicated on plans. D. Refer to drawing for backflow prevention requirements and flow valve.

PART 3 - EXECUTION

- 3.1 INSTALLATION GENERAL Staking: Before installation is started, place a stake where each sprinkler is to be located, in accordance with drawing. Staking shall be approved by Landscape Architect before
 - Excavations: Excavations are unclassified and include earth, loose rock, rock or any combination thereof, in wet or dry state. Backfill trenches with material that is suitable for compaction and contains no lumps, clods rock, debris, etc. Special backfill specifications, if furnished take preference over this general specification.
 - Backfill: Flood or hand-tamp to prevent after settling. Hand rake trenches and adjoining area to leave grade in as good or better condition than before installation.
 - Piping Layout: Piping layout is diagrammatic. Route piping around trees and shrubs in such a manner as to avoid damage to plantings. Do not dig within ball of newly planted

3.2 PIPE INSTALLATION

- Sprinkler Mains: Install a four (4") inch minimum trench with a minimum of eighteen (18")
- B. Lateral Piping: Install a four (4") inch wide minimum trench deep enough to allow for installation of sprinkler heads and valves, but in no case, with less than twelve (12") of
- Trenching: Remove lumber, rubbish, and large rocks from trenches. Provide firm, uniform bearing for entire length of each pipe line to prevent uneven settlement. Wedging or blocking of pipe will not be permitted. Remove foreign matter or dirt from inside of pipe before welding, and keep piping clean by approved means during and after laying of pipe.

3.3 PVC PIPE AND FITTING ASSEMBLY

3.6 VALVES

- Solvent: Use only solvent recommended by manufacturer to make solvent-welded joints. Thoroughly clean pipe and fittings of dirt, dust and moisture before applying solvent.
- B. PVC to metal connection: Work metal connections first. Use a non-hardening pipe dope such as Permatex No. 2 on threaded PVC adapters into which pipe may be welded.

3.4 COPPER TUBING AND FITTING ASSEMBLY

- Clean pipe and fitting thoroughly and lightly sand pipe connections to remove residue from pipe. Attach fittings to tubing in an approved manner using 50-50 soft solid core solder.
- 3.5 POP-UP SPRAY HEADS
 - Supply pop-up spray heads in accordance with materials list and plan. Attach sprinkler to lateral piping with a semi-flexible polyethylene nipple not less than three (3") inches or more than six (6")

Supply valves in accordance with materials list and sized according to drawings. Install valves in a level position in accordance with Manufacturer's Specifications. See plan for typical installation of electric valve, valve box.

- A. Supply wire from the automatic sprinkler controls to the valves. No conduit will be required for U.F. wire unless otherwise noted on the plan. Wire shall be tucked under the
- B. A separate wire is required from the control to each electric valve. A common neutral wire is also required from each control to each of the valves served by each particular
- Bundle multiple wires and tape them together at ten (10") foot intervals. Install ten (10") inch expansion coil at not more than one hundred (100') foot intervals. Make splices

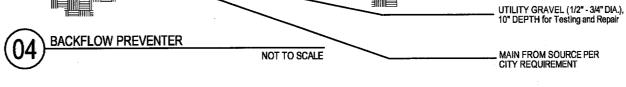
3.8 AUTOMATIC SPRINKLER CONTROLS

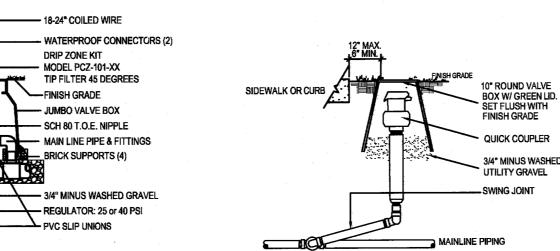
Supply in accordance with Irrigation Plan. Install according to manufacturer's recommendations.

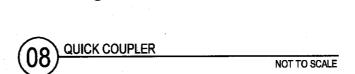
A. Sprinkler Mains: Test sprinkler main only for a period of twelve (12) to fourteen (14) hours under normal pressure. If leaks occur, replace joint or joints and repeat test. B. Complete tests prior to backfilling. Sufficient backfill material may be placed in trenches between fittings to insure stability of line under pressure. In each case, leave fittings and

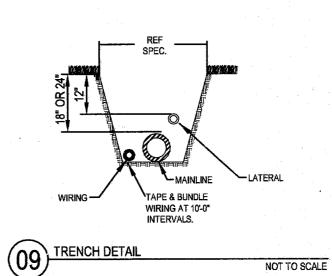
VALVE BOX AND LID DAPT INLET AND OUTLET (AS REQUIRED)

couplings open to visual inspection for full period of test.



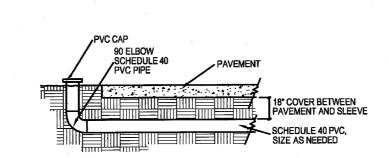


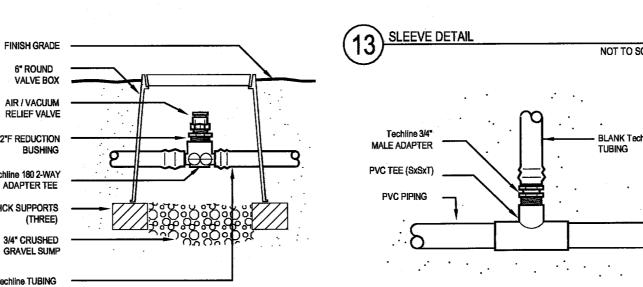




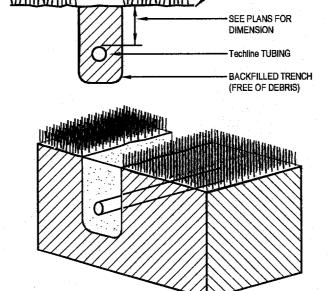
NOT TO SCALE

FEBCO MODEL 805 DOUBLE CHECK VALVE, LINE SIZE











3.10 FINAL ADJUSTMENT

After installation has been completed, make final adjustment of sprinkler system in preparation for Landscape Architect's final inspection. Completely flush system to remove debris from lines and turning on system. Check sprinklers for proper operation and proper alignment for direction of flow. Check each section of spray heads for operating pressure and balance to other sections by use of flow adjustment and top of each valve. Check nozzling for proper coverage. Prevailing wind conditions may indicate that arch of angle of spray should be other than shown on drawings. In this case, change nozzles to provide correct coverage.

END OF SECTION



Raising Cane's **Store # 98 Belt Line Road** Addison, TX 75001 **Prototype 2**

Professional of Record:



Architect Information:



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Prototype Issue	Date:	August 1, 2010
Design Bulletin	Updates:	
Date Issued: Bullet		Number:

FOR CONSTRUCTION

Revis	sions:	
#	Date	Description
$\overline{\Lambda}$	10-07-2011	PERMIT/OWNER REVIE
Shee	t Title:	

IRRIGATION SPECIFICATIONS

Date:	October 07, 2011	
Project Number:	211057	
Drawn By:		

Sheet Number:

