

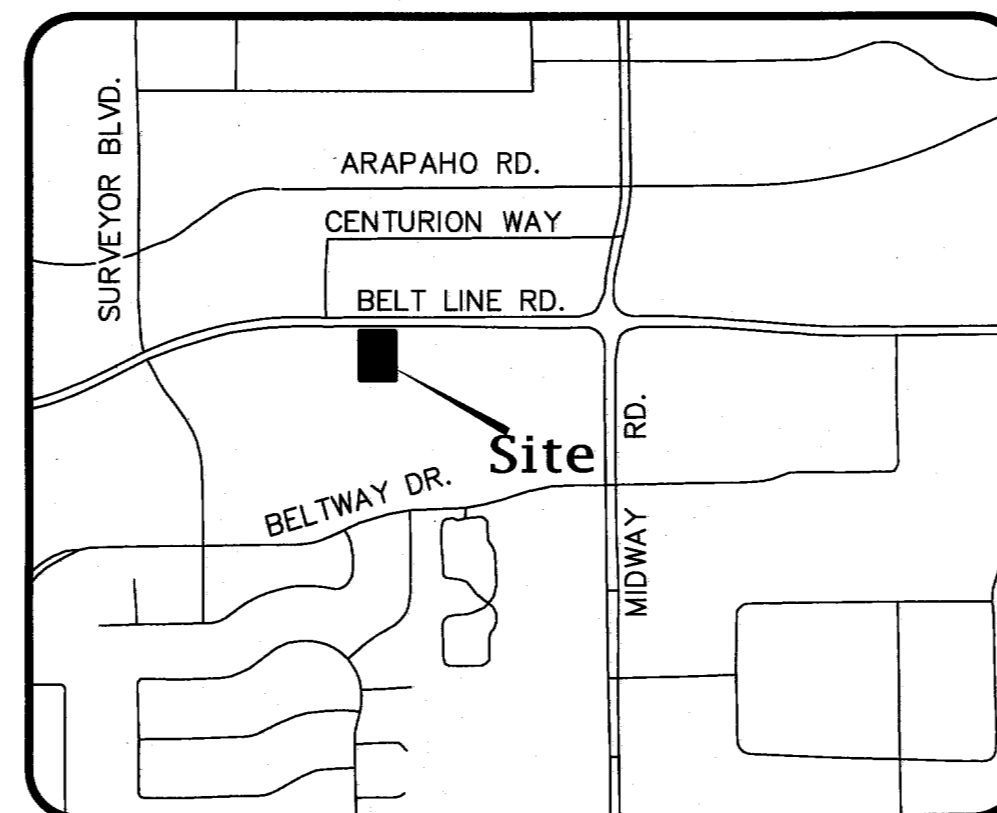
Paving, Drainage, and Utility Plans

RAISING CANE'S #98

Lot 4, Block A

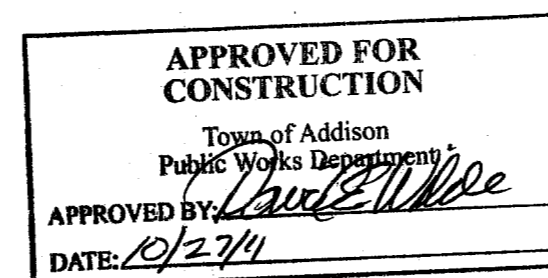
SAM'S CLUB ADDITION

Town of Addison, Texas



Vicinity Map
N.T.S.

All responsibility for the adequacy of these plans remains with the Engineer who prepared them. In approving these plans, the Town of Addison makes no representation of adequacy of the work of the Design Engineer.



PW # 2011-05

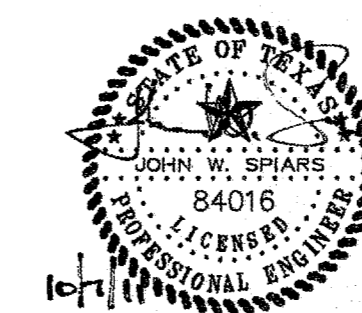
Index Of Drawings

| | |
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| C 2 | Striping and Signage Plan |
| C 3 | Paving Plan |
| C 4 | Grading Plan |
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| C 6 | Drainage Plan |
| C 7 | Utility Plan |
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| L 1.00 | Landscape Plan |
| L 1.01 | Landscape Specifications |
| L 1.02 | Irrigation Plan |
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| L 2.02 | |

Prepared For:

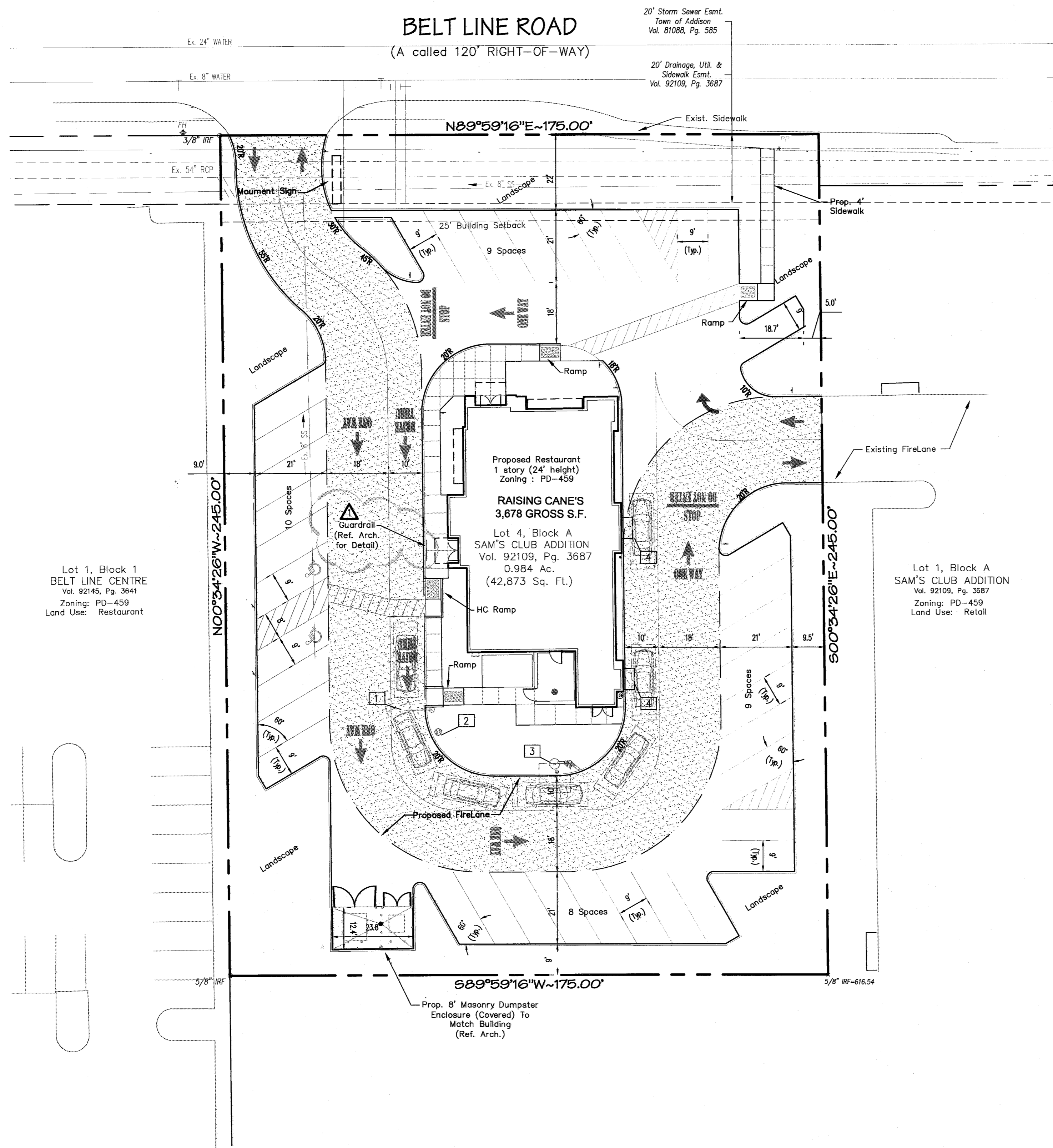


Restaurant Support Office
5800 TENNYSON PARKWAY, SUITE 200
Tele: 972 769-3357 Fax: 972 769-3101



4100 BELT LINE

Sam's Club Addition (Raising Cane's #98)



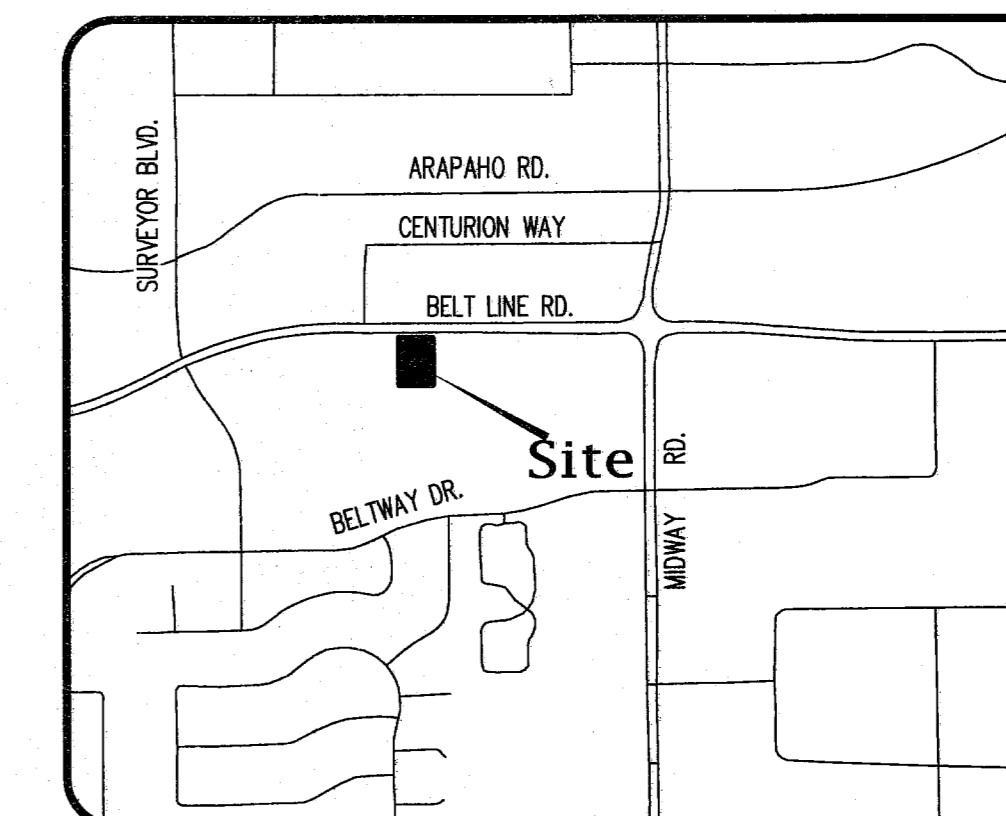
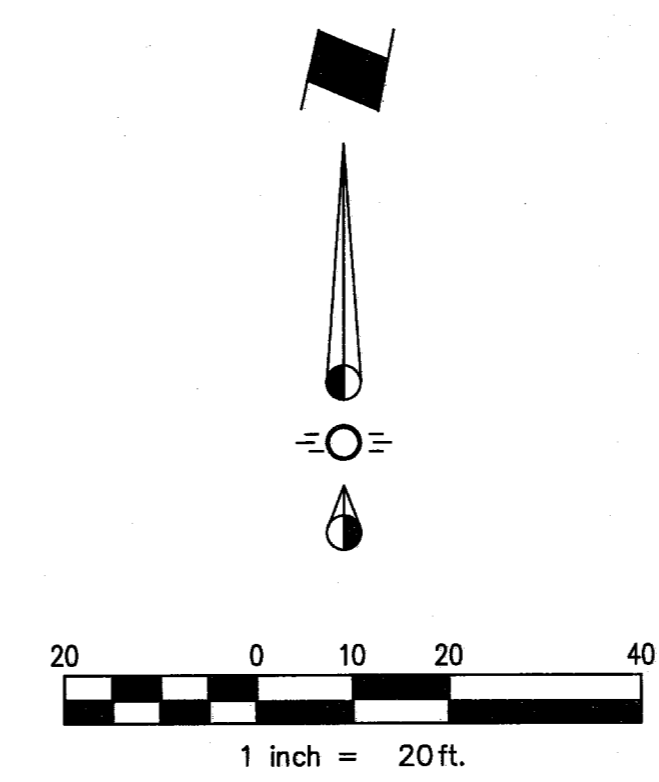
Lot 1, Block 1
BELT LINE CENTRE
Vol. 92145, Pg. 3641
Zoning: PD-459
Land Use: Restaurant

Lot 1, Block A
SAM'S CLUB ADDITION
Vol. 92109, Pg. 3687
Zoning: PD-459
Land Use: Retail

BELT LINE ROAD
(A called 120' RIGHT-OF-WAY)

20' Storm Sewer Easmt.
Town of Addison
Vol. 81088, Pg. 585

20' Drainage, Util. &
Sewer Easmt.
Vol. 92109, Pg. 3687



Vicinity Map
N.T.S.

| SITE DATA | LOT 4, BLOCK A |
|-------------------|-------------------------|
| Zoning: | PD-459 |
| Proposed Use: | Restaurant (Drive-Thru) |
| Lot Area: | 0.98 Ac. (42,873 S.F.) |
| Building Area: | 3,678 Sq. Ft. Bldg. |
| Building Height: | 1 Story, 24' Max. |
| Lot Coverage: | 8.58% |
| Floor Area Ratio: | 0.08:1 |
| Setbacks: | |
| Front Setback: | 25' |
| Parking Required: | 37 Spa. (incl. 2 HC) |
| Parking Provided: | 37 Spa. (incl. 2 HC) |

Layout Notes

- 1 Height Detector Pole
- 2 Pre-Order Board
- 3 Drive-Thru Order Board
- 4 Drive-Thru Window

GENERAL NOTES

1. The development of the site will be in accordance with Town of Addison development standards.
2. All current development requirement of the Town as amended shall be met unless otherwise approved.
3. All materials and construction shall conform to the Town of Addison standards and specifications.
4. All curbs shall be 6" standard except where otherwise noted on plans.
5. All dimensions are to the face of curb, or the edge of building.
6. All curb radii are 2.0' or 4.0' unless noted otherwise.
7. All parking spaces are 8.5'x17' (Min.).

LEGEND

- EXISTING FIRE HYDRANT
- FIRELANE

SITE PLAN
OF
SAM'S CLUB ADDITION
LOT 4, BLOCK A - 0.984 Acres
AN ADDITION TO THE TOWN OF ADDISON
situated in the
T. Chenoweth Survey, Abstract No. 273
DALLAS, COUNTY, TEXAS

Developer
Raising Cane's
5800 Tennyson Parkway, Suite 200
Plano, Texas 75024
Telephone (972) 769-3357
Fax (972) 769-3101

Engineer/Surveyor
Spiars Engineering, Inc.
765 Custer Road, Suite 100
Plano, Texas 75075
Telephone (972) 422-0077
Fax (972) 422-0075
Contact: John Spiars

Architect
CSRS, Inc.
6767 Perkins Road, Suite 200
Baton Rouge, LA 70808
Telephone (225) 769-0546
Fax (225) 767-0060

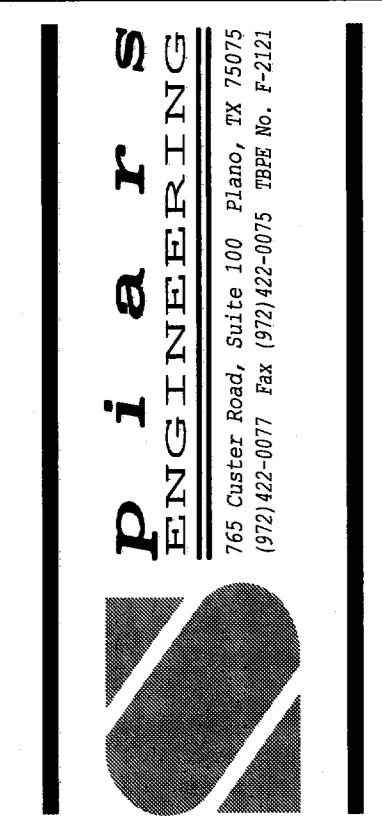
Scale 1"=20' August, 2011



Restaurant Support Office
5800 TENNYSON PARKWAY, SUITE 200
Plano, TX 75024
Tel: 972 769-3357 Fax: 972 769-3101

Store:
Raising Cane's
Store # 98
Belt Line Road
Addison, TX 75001
Prototype 2

Professional of Record:



Architect Information:
CSRS
architects engineers

CSRS, Inc.
6767 Perkins Road Suite 200 Baton Rouge, LA 70808
Tele: 225 769-0546 Fax: 225 767-0060
www.csronline.com

Prototype Issue Date: August 1, 2010

Design Bulletin Updates:

Date Issued: Bulletin Number:

FOR CONSTRUCTION

Revisions:

| # | Date | Description |
|---|------------|---------------------|
| 1 | 10-07-2011 | PERMIT/OWNER REVIEW |

Sheet Title:

SITE PLAN

Date: October 07, 2011

Project Number: SEI No. 11-101

Drawn By: MPC

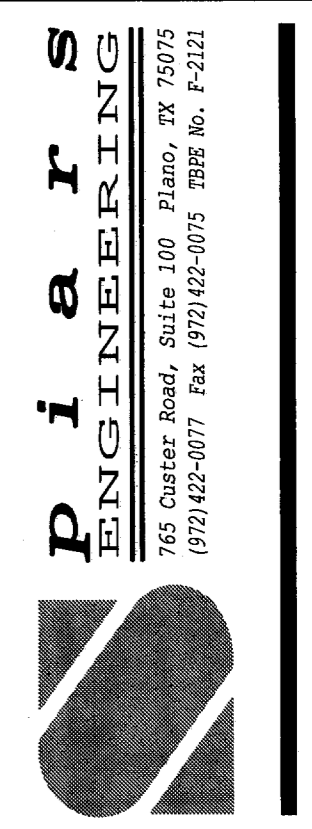
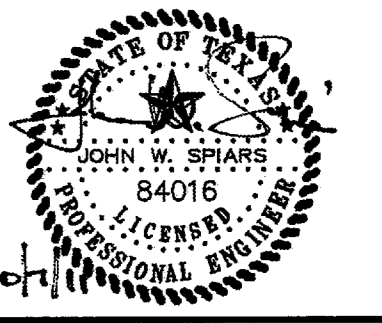
Sheet Number:



Restaurant Support Office
5800 TENNYSON PARKWAY, SUITE 200
Frisco, TX 75034
Tel: 972-769-3357 Fax: 972-769-3101

Store:
Raising Cane's
Store # 98
Belt Line Road
Addison, TX 75001
Prototype 2

Professional of Record:



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6767 Perkins Road Suite 200 Baton Rouge, LA 70808
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Prototype Issue Date: August 1, 2010

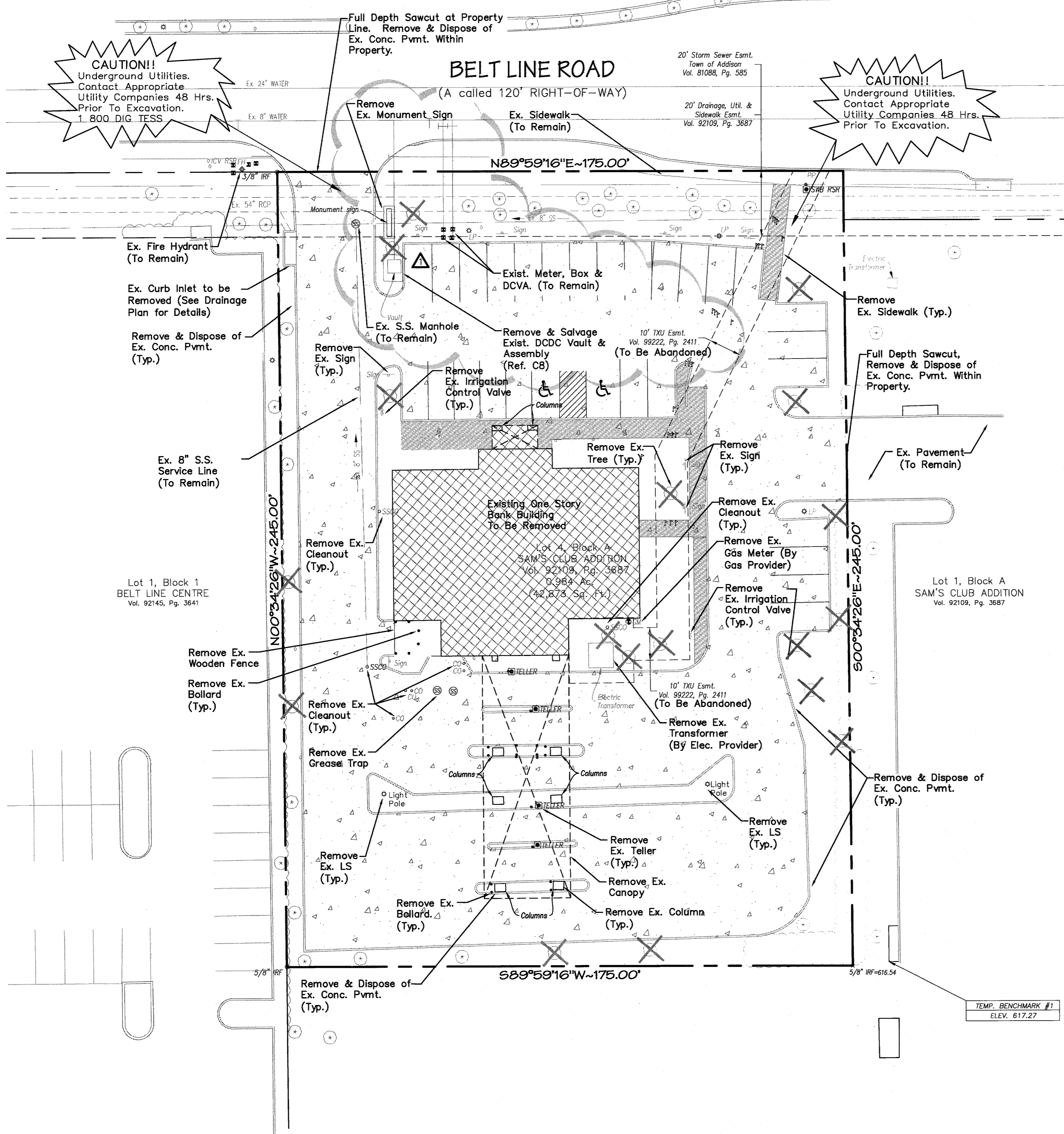
| Design Bulletin Updates: | |
|--------------------------|------------------|
| Date Issued: | Bulletin Number: |
| | |

FOR CONSTRUCTION

| Revisions: | | |
|------------|------------|---------------------|
| # | Date | Description |
| Δ | 10-07-2011 | PERMIT/OWNER REVIEW |

Sheet Title:
DEMOLITION PLAN

| | |
|-----------------|------------------|
| Date: | October 07, 2011 |
| Project Number: | SEI No. 11-101 |
| Drawn By: | MPC |
| Sheet Number: | C1 |



GENERAL DEMOLITION SPECIFICATION

- Owner assumes no responsibility for actual condition of buildings to be demolished.
- Conditions existing at time of inspection for bidding purpose will be maintained by owner as far as practical.
- Storage or sale of removed items or materials on-site will not be permitted.
- Maintain existing utilities indicated to remain in service and protect them against damage during demolition operations. Drain, purge, or otherwise remove, collect, and dispose of chemicals, gases, explosives, acids, flammables, or other dangerous materials before proceeding with demolition operations according to applicable codes/regulations. Employ a certified, licensed exterminator to treat building and to control rodents and vermin before and during demolition operations.
- Conduct demolition operations and remove debris to ensure minimum interference with roads, streets, walks, and other adjacent occupied and used facilities.
- Do not close or obstruct streets, walks, or other adjacent occupied or used facilities without permission from owner and authorities having jurisdiction. Provide alternate routes around closed or obstructed traffic ways if required by governing regulations.
- Use of explosives will not be permitted.
- Use water mist, temporary enclosures, and other suitable methods to limit the spread of dust and dirt. Comply with governing environmental protection regulations.
- Do not create hazardous or objectionable conditions, such as ice, flooding, and pollution, when using water. Remove and transport debris in a manner that will prevent spillage on adjacent surfaces and areas.
- Remove debris from elevated portions of building by chute, hoist, or other device that will convey debris to grade level.
- Promptly dispose of demolished materials. Do not allow demolished materials to accumulate on-site.
- Do not burn demolished materials.

BUILDING DEMOLITION

Demolish buildings completely and remove from the site. Use methods required to complete work within limitations of governing regulations and as follows:

- Locate demolition equipment throughout the building and remove debris and materials so as not to impose excessive loads on supporting walls, floors, or framing.
- Dispose of demolished items and materials promptly. On-site storage or sale of removed items is prohibited.
- Small buildings may be removed intact when permitted by architect and approved by authorities having jurisdiction.
- Demolish concrete and masonry in small sections.
- Remove structural framing members and lower to ground by method suitable to avoid free fall and to prevent ground impact or dust generation.
- Break up and remove concrete slabs on grade, unless otherwise shown to remain.
- Remove air-conditioning equipment without releasing refrigerants.

GENERAL DEMOLITION NOTES:

- If not shown on the demolition drawings, the contractor shall remove all existing materials as necessary to complete all new work as required by other portions of the contract documents.
- Salvage rights for all demolished materials shall be first given to the owner. Any materials not retained by the owner shall be removed from the site and disposed of by the contractor at the contractor's expense.
- The contractor is responsible to comply with all local, state and federal regulations in the removal/demolition of hazardous materials.
- The contractor is responsible to verify existing utilities prior to demolition & excavation.
- Contractor is responsible for all registrations, permits and fees required to remove & properly dispose of all demolition materials.
- Demo contractor is responsible for obtaining approvals and notifications to all local, state and federal authorities.
- Demo contractor is required to visit site prior to bid and notify architect of any inconsistencies.
- Contractor responsible to coordinate and assume any fees associated with removal of utilities. All abandoned utilities to be removed & capped.
- Refer to survey for limits and boundary of property.
- Contractor shall maintain positive drainage at all times during the demolition process.
- Contractor shall protect all existing utilities during the demolition process.
- Perform work in a manner to eliminate hazards to persons or property, and avoid interference with adjacent areas, utilities, and structures.
- Provide temporary barricades, fences, warning signs, guardrails, warning lights, etc.
- Protect existing structures, landscaping materials, and appurtenances which are not being demolished.
- All materials removed shall be disposed of offsite in a legal manner.
- Contractor shall refer to the Storm Water Pollution Prevention Plan for erosion and pollution control during the demolition process. The Contractor shall provide any additional erosion or pollution prevention devices as required during the demolition process in order to completely conform to the United States Environmental Protection Agency and all other agencies having jurisdiction.
- No tree shall be removed without prior approval by the Owner.

BELOW-GRADE CONSTRUCTION

Demolish foundation walls and other below-grade construction, as follows: completely remove below-grade construction, including foundation walls and footings.

DAMAGES

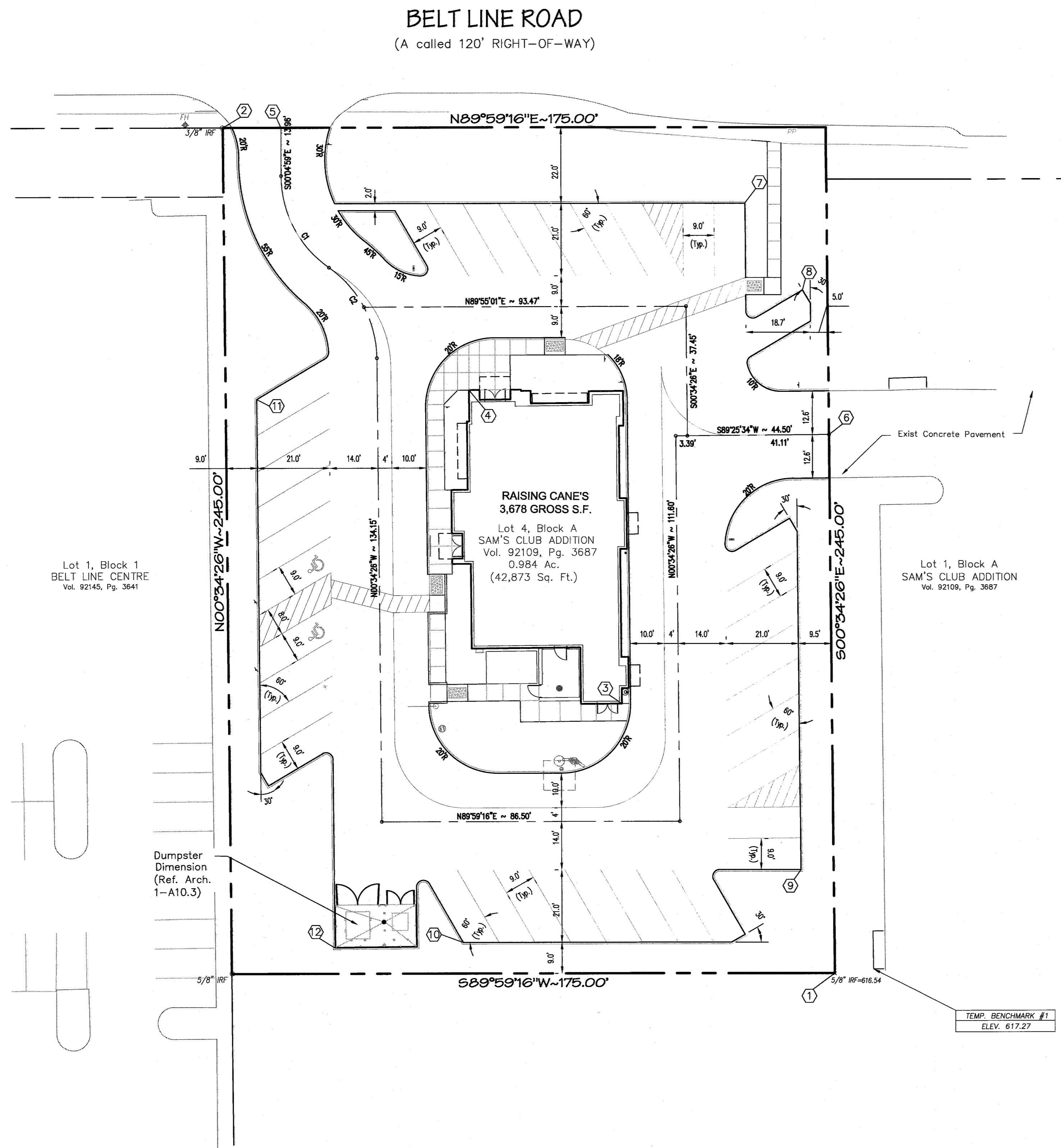
Promptly repair damages to adjacent facilities caused by demolition operations.

LEGEND

- Remove Existing Concrete Pavement
- Remove Existing Building
- Remove Existing Sidewalk
- Remove Existing Trees

TEMPORARY BENCHMARK #1:
SOUTHWEST CORNER OF INLET BEING 11.3' EAST OF
SOUTHEAST CORNER OF SUBJECT TRACT.
ELEVATION = 617.27

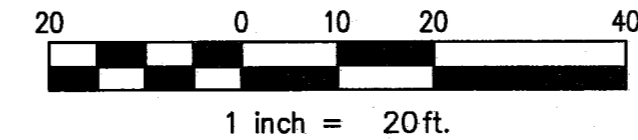
CITY BENCHMARK COA-11:
SOUTHWEST CORNER OF INLET 261' EAST AND 5.7'
NORTH OF NORTHEAST CORNER OF SUBJECT TRACT.
ELEVATION = 611.74



Lot 1, Block 1
BELT LINE CENTRE
Vol. 92145, Pg. 3841

Dumpster
Dimension
(Ref. Arch.
1-A10.3)

TEMP. BENCHMARK #1
ELEV. 617.27



| COORDINATE TABLE | | |
|------------------|--------------|--------------|
| No. | Northing | Easting |
| 1 | 7033865.1226 | 2476852.7506 |
| 2 | 7034110.0430 | 2476675.2030 |
| 3 | 7033943.2684 | 2476790.9668 |
| 4 | 7034033.9751 | 2476746.6604 |
| 5 | 7034110.0770 | 2476692.2229 |
| 6 | 7034021.1580 | 2476851.1878 |
| 7 | 7034088.1936 | 2476826.7893 |
| 8 | 7034062.9778 | 2476843.5188 |
| 9 | 7033895.1206 | 2476842.9194 |
| 10 | 7033874.0999 | 2476744.8844 |
| 11 | 7034031.4088 | 2476685.0854 |
| 12 | 7033872.5493 | 2476707.6773 |

| Curve Table | | | | | | |
|-------------|--------|--------|-----------|---------|---------------|--------|
| Curve # | Length | Radius | Delta | Tangent | Chord Bearing | Chord |
| C1 | 31.2' | 32.5' | 05°55'39" | 16.89' | S27°32'48"E | 28.98' |
| C2 | 30.9' | 32.5' | 05°42'12" | 16.72' | N27°47'32"W | 28.73' |

GENERAL NOTES

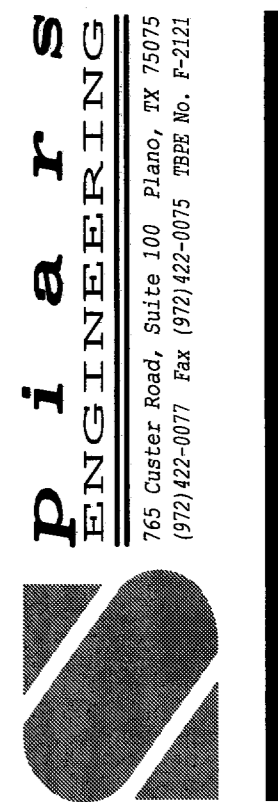
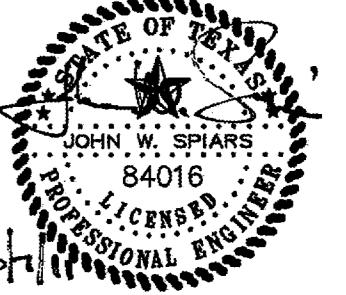
- All materials and construction shall conform to the Town of Addison standards and specifications.
- It shall be the responsibility of the Contractor to protect all public utilities in the construction of this project. All manholes, cleanouts, valve boxes, fire hydrants, etc. must be adjusted to proper line and grade by the Contractor prior to and after the placing of permanent paving. All utilities must be maintained to proper line and grade during construction of this project.
- All curbs shall be 6" standard except where otherwise noted on plans.
- All dimensions are to the face of curb or the edge of building.
- All curb radii are 2.0' unless noted otherwise.
- All parking spaces are 8.5'x17'(Min.) .



Restaurant Support Office
5800 TENNYSON PARKWAY, SUITE 200
Frisco, TX 75034
Tele: 972.769.3357 Fax: 972.769.3101

Store:
Raising Cane's
Store # 98
Belt Line Road
Addison, TX 75001
Prototype 2

Professional of Record:



Architect Information:



CSRS, Inc.
6767 Perkins Road Suite 200 Baton Rouge, LA 70808
Tele: 225 769-0546 Fax: 225 767-0060
www.csronline.com

Prototype Issue Date: August 1, 2010

Design Bulletin Updates:

| | |
|--------------|------------------|
| Date Issued: | Bulletin Number: |
| - | - |

FOR CONSTRUCTION

| Revisions: | | |
|------------|------------|---------------------|
| # | Date | Description |
| Δ | 10-07-2011 | PERMIT/OWNER REVIEW |

Sheet Title:
HORIZONTAL CONTROL PLAN

Date: October 07, 2011

Project Number: SEI No. 11-101

Drawn By: MPC

Sheet Number:

TEMPORARY BENCHMARK #1:
SOUTHWEST CORNER OF INLET BEING 11.3' EAST OF
SOUTHEAST CORNER OF SUBJECT TRACT.
ELEVATION = 617.27

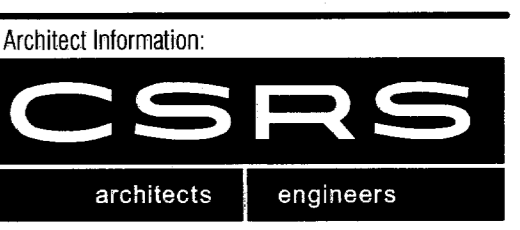
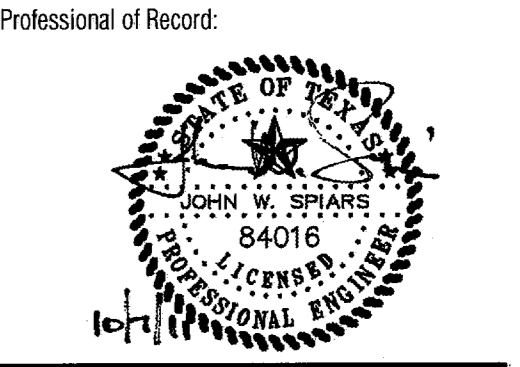
CITY BENCHMARK COA-11:
SOUTHEAST CORNER OF INLET 261' EAST AND 5.7'
NORTH OF NORTHEAST CORNER OF SUBJECT TRACT.
ELEVATION = 611.74

C2



Restaurant Support Office
5800 TENNYSON PARKWAY, SUITE 200
Ft. Worth, TX 76105
Tel: 972.769.3337 Fax: 972.769.3101

Store:
**Raising Cane's
Store # 98**
Belt Line Road
Addison, TX 75001
Prototype 2



CSRS, Inc.
6767 Perkins Road Suite 200 Balcon Rouge, LA 70088
Tel: 225 769-0546 Fax: 225 767-0060
www.csrsllc.com

Prototype Issue Date: August 1, 2010

Design Bulletin Updates:
Date Issued: Bulletin Number:

FOR CONSTRUCTION

Revisions:

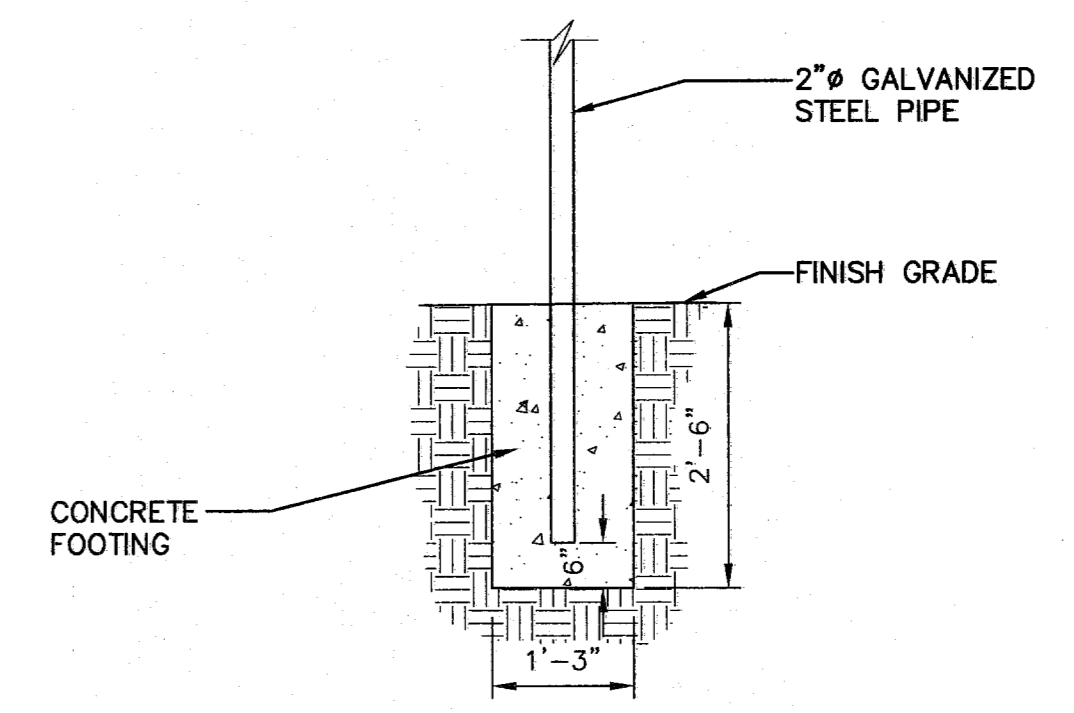
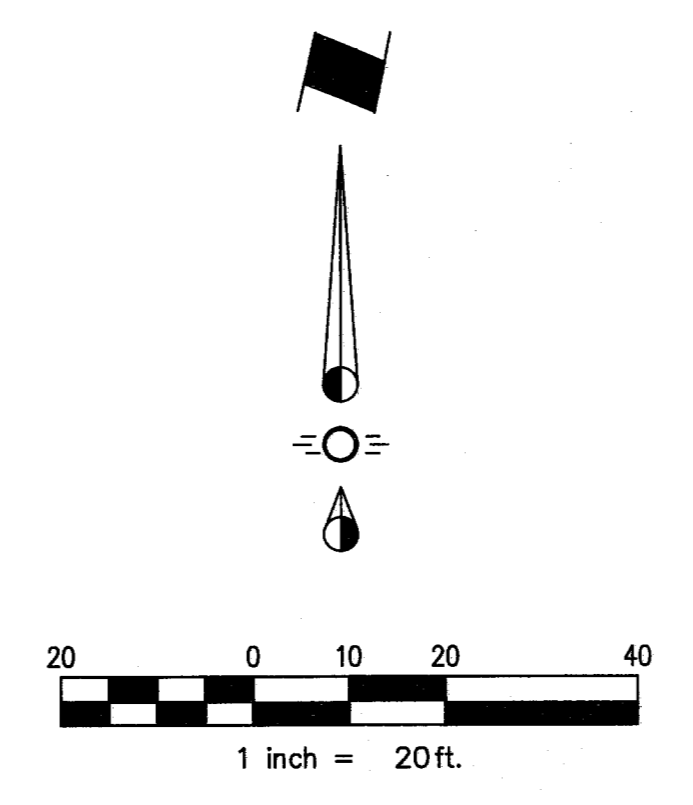
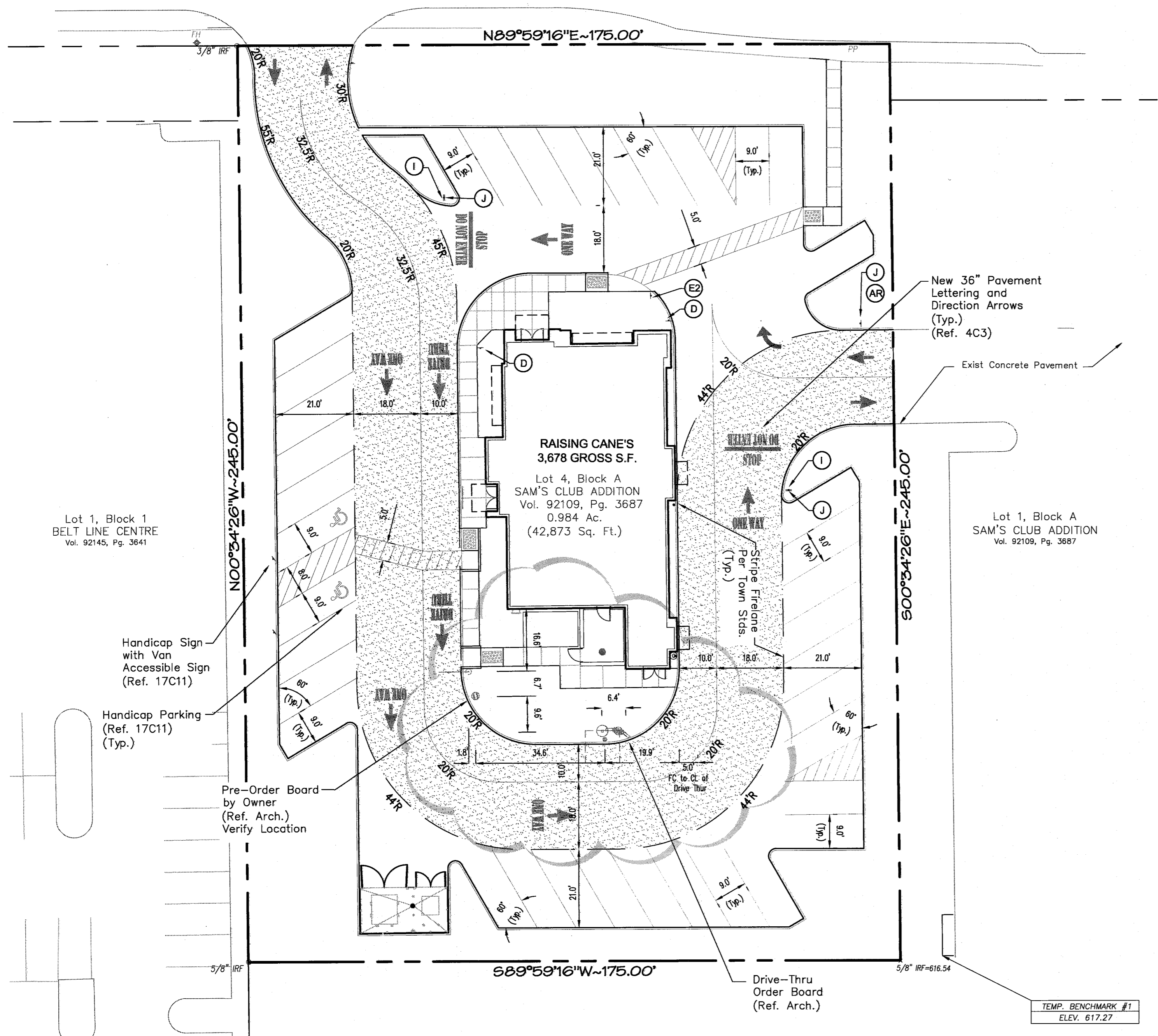
| # | Date | Description |
|---|------------|---------------------|
| 1 | 10-07-2011 | PERMIT/OWNER REVIEW |

Sheet Title:
STRIPING AND SIGNAGE PLAN

Date: October 07, 2011
Project Number: SEI No. 11-101
Drawn By: MPC

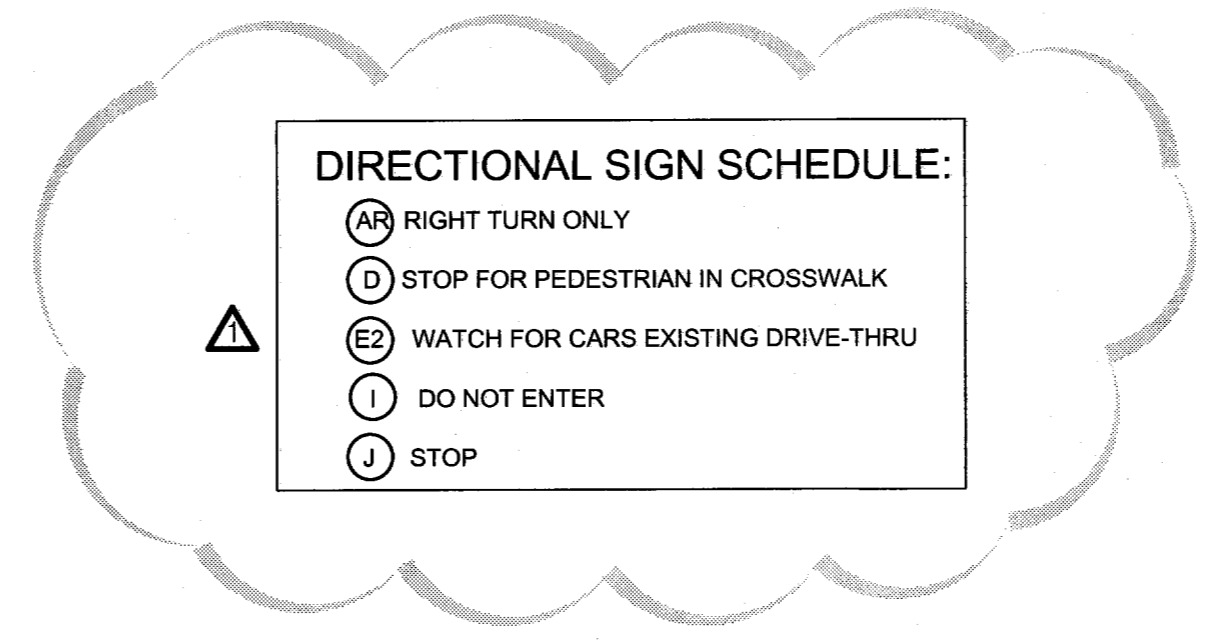
Sheet Number:
C3

BELT LINE ROAD
(A called 120' RIGHT-OF-WAY)

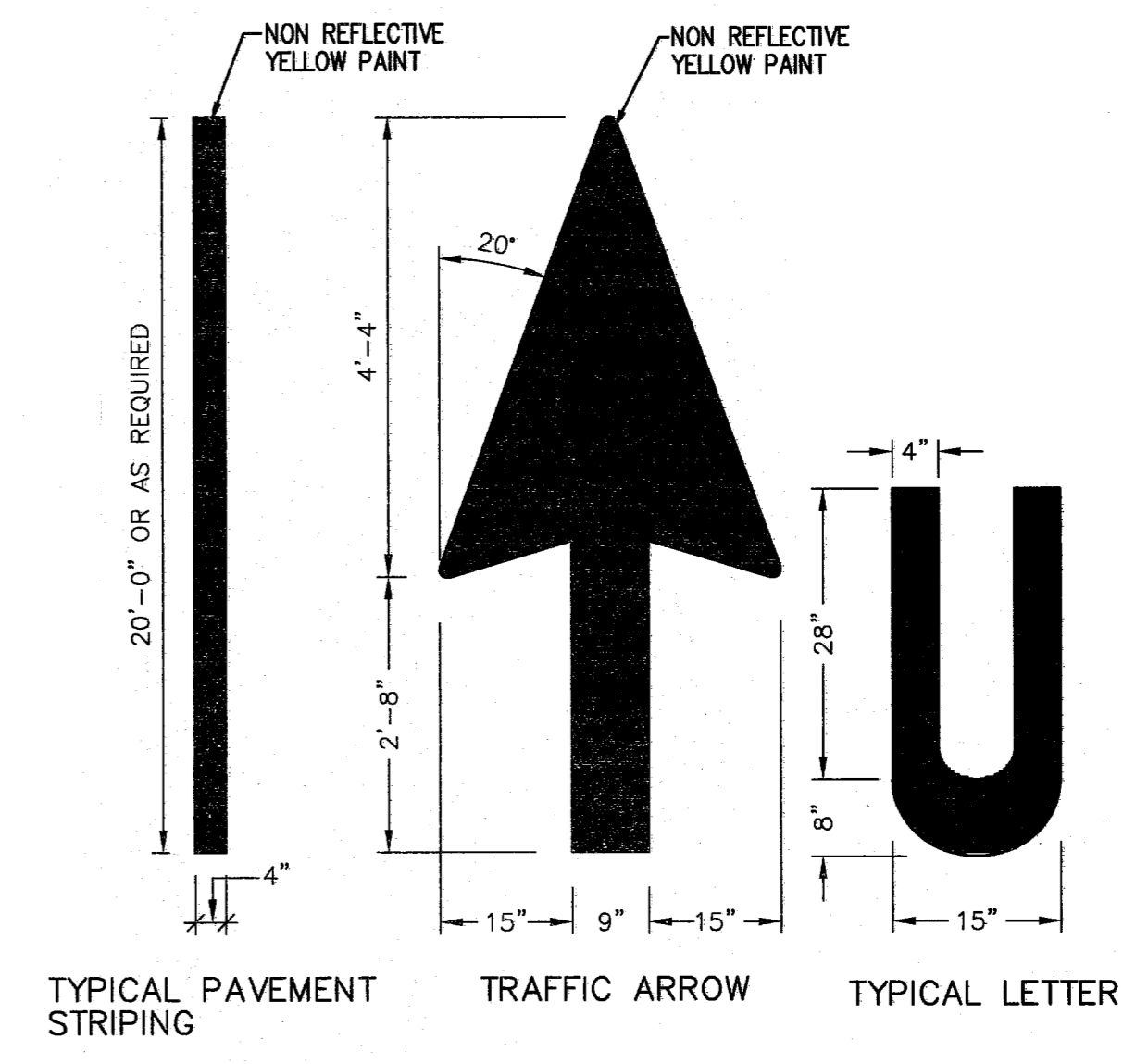


3 | PARKING LOT SIGNAGE FOOTING
N.T.S.

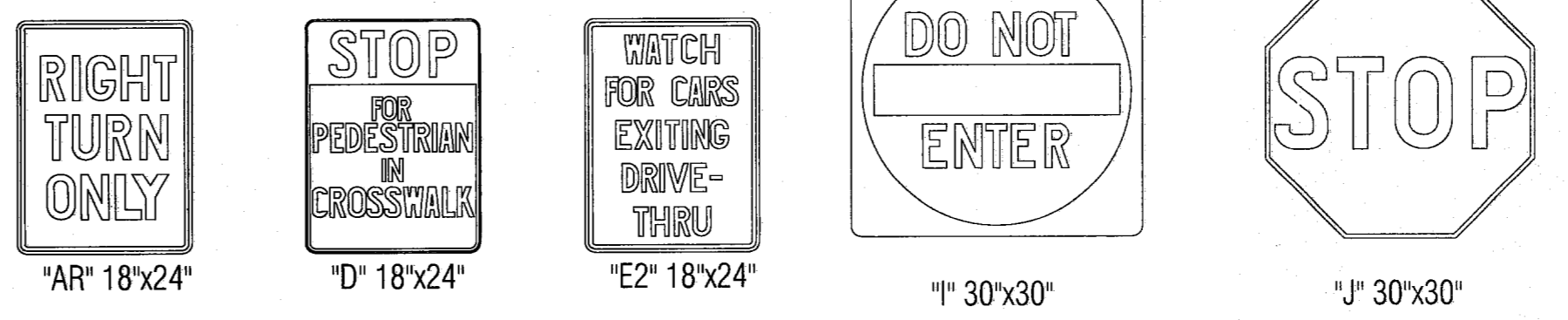
SIGN NOTE:
CONTRACTOR TO VERIFY SIGNS AND SIGN LOCATIONS WITH OWNER PRIOR TO INSTALLATION.



- PARKING LOT NOTES:**
- PARKING STALLS MUST BE STRIPED WITH A 4 INCH CONTRASTING STRIPE (YELLOW ON CONCRETE AND YELLOW OR WHITE ON ASPHALT PARKING LOT).
 - HANDICAP PARKING SPACES ARE TO BE DESIGNATED BY BLUE STRIPING & EITHER A BLUE SYMBOL ON A WHITE BACKGROUND OR A WHITE SYMBOL ON A BLUE BACKGROUND. ALL HANDICAP PARKING STALLS REQUIRE THE INSTALLATION OF THE PROPER SIGNAGE.
 - ALL WHEEL STOPS AND CONCRETE CURBS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS SHOWN IN THIS PLAN SET.
 - ALL PARKING SPACES ARE TO BE LAID OUT IN ACCORDANCE WITH THE TYPICAL DETAIL AS SHOWN ON THIS PLAN UNLESS OTHERWISE INDICATED ON THIS PLAN.



NOTE:
PAINT SHALL BE APPLIED AT A THICKNESS OF 22 WET MILS AND 15 DRY MILS.

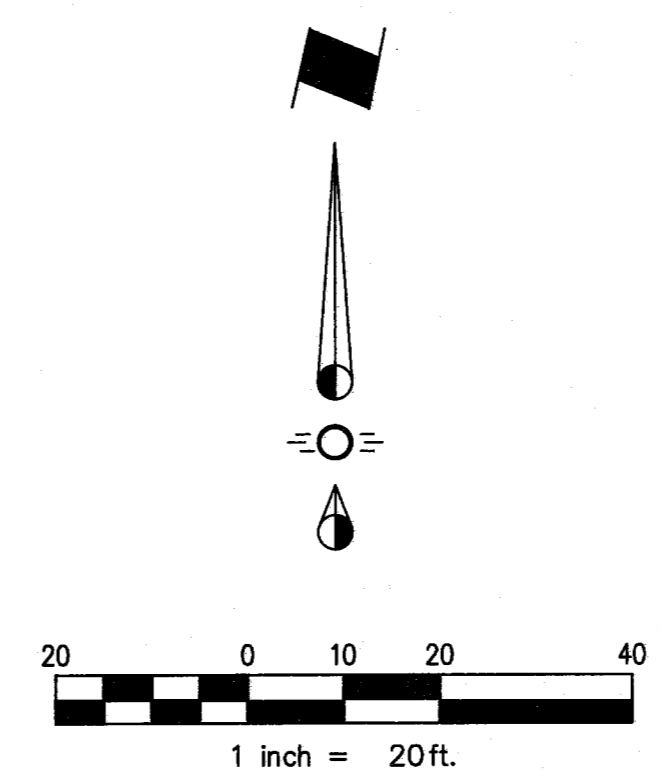
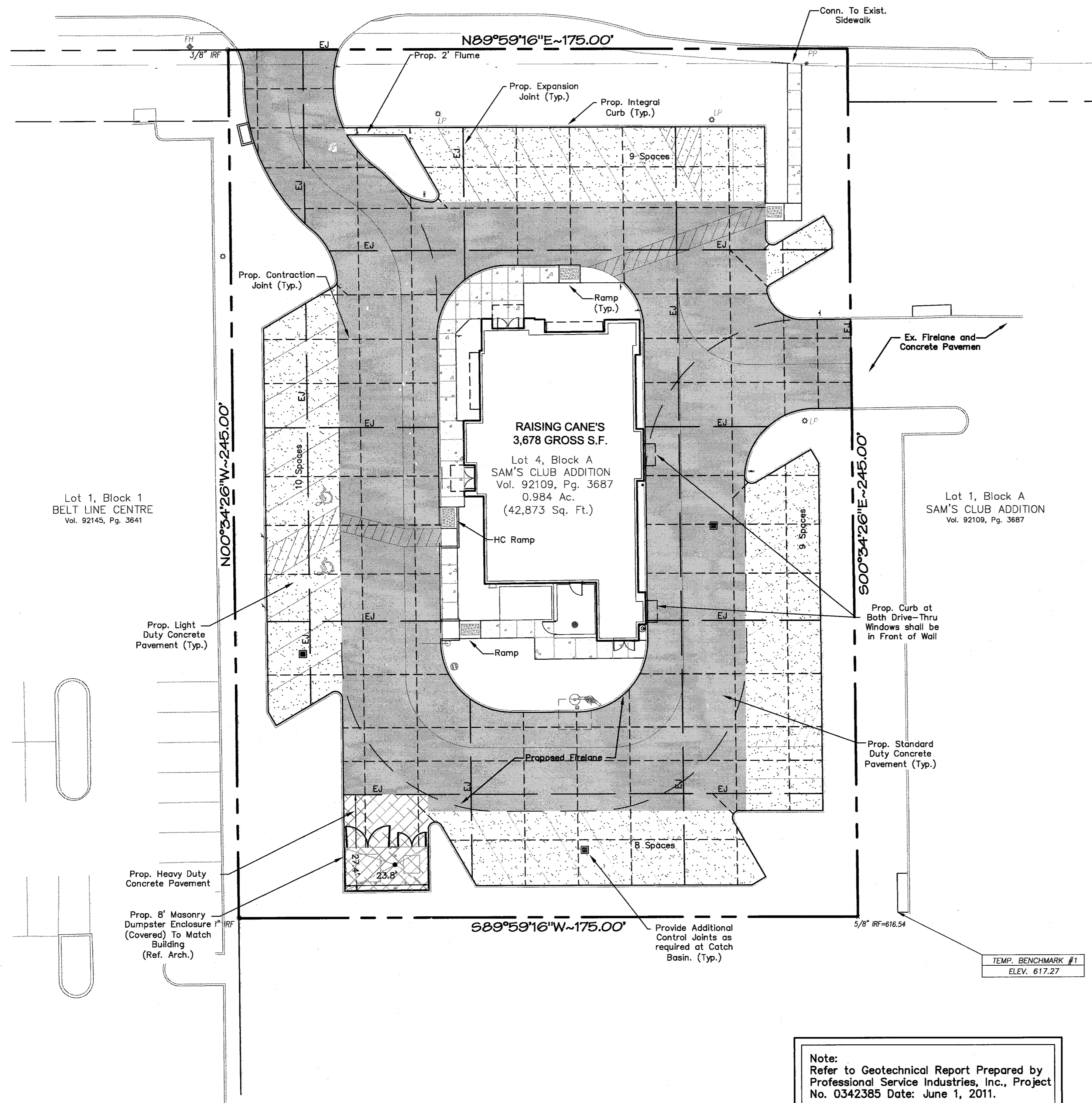


2 | STANDARD PARKING LOT SIGNS
N.T.S.

TEMPORARY BENCHMARK #1:
SOUTHWEST CORNER OF INLET BEING 11.3' EAST OF SOUTHEAST CORNER OF SUBJECT TRACT. ELEVATION = 617.27

CITY BENCHMARK COA-11:
SOUTHEAST CORNER OF INLET 261' EAST AND 5.7' NORTH OF NORTHEAST CORNER OF SUBJECT TRACT. ELEVATION = 611.74

BELT LINE ROAD
(A called 120' RIGHT-OF-WAY)



PAVING GENERAL NOTES

- All materials and construction shall conform to the Town of Addison Standard Details and Specifications.
- It shall be the responsibility of the Contractor to protect all public utilities in the construction of this project. All manholes, cleanouts, valve boxes, fire hydrants, etc. must be adjusted to proper line and grade by the Contractor prior to and after the placing of permanent paving. Utilities must be maintained to proper line and grade during construction of this project.
- The Contractor shall be responsible for coordinating with all the appropriate utility companies for the location of all utilities within the construction area.
- The Paving Contractor shall not place permanent pavement until all sleeving for irrigation, electric, gas, telephone, cable TV, site lighting, etc. has been installed. It shall be the Paving Contractor's responsibility to insure that all sleeving is in place prior to placing permanent paving.
- All paving and earthwork operations shall conform to the recommendations in the Geotechnical Investigation and the Town of Addison Standard Construction Details.
- All dimensions are to face of curb or edge of building unless otherwise noted.
- Parking spaces are 8.5'x17'(Min.).
- Fire lanes shall be striped in accordance with the Town of Addison requirements.
- Irrigation sleeves shall be 4" PVC conduit. Ends shall be capped or temporarily plugged, red flag tied to each end and brought to surface 2' behind curb. Minimum depth shall be 18 inches below proposed grade.
- Concrete shall have a minimum compressive strength at 28 days of 3500 psi for pavement and curbs; 3000 psi for sidewalks.
- Refer to Architectural Plans for exact building and related sidewalk dimensions.
- Fences, berms walls, shrubs, trees, signs, structures, etc. are limited to a maximum height of 2 feet above the adjacent curb within visibility easements.
- Contractor shall install traffic control for any work within R.O.W. to conform to part VI of the "Texas Manual on Uniform Traffic Control Devices."
- Reference Site Details (Sheet C11) for pavement section details.
- Longitudinal (Key) Joints (5C11) shall be placed as necessary.
- Contractor shall extend all paving joints through curbs.
- Contractor shall verify building and parking lot layout with the Architect prior to forming of buildings, walks and parking lot areas.
- Contractor shall back fill against top of curbs at 4:1 max. slope to existing grade unless noted otherwise.
- Slope of paving shall not exceed 2% at handicap accessible spaces.
- Contractor shall grade pavement around sidewalks & curbs for positive drainage to an inlet or designated drainage area.
- All landings at doors to be flush with finish floor.

PAVEMENT LEGEND

- 7" 3500 psi Conc. Pavement W/ #3 @ 18" O.C.E.W. with lime stabilized subgrade compacted at least 95% of standard proctor (ASTM D-698) maximum dry density at 0 to +4 percent of optimum moisture. (Heavy Duty Pavement)
- 6" 3500 psi Conc. Pavement W/ #3 @ 18" O.C.E.W. with lime stabilized subgrade compacted at least 95% of standard proctor (ASTM D-698) maximum dry density at 0 to +4 percent of optimum moisture. (Standard Duty Pavement)
- 5" 3500 psi Conc. Pavement W/ #3 @ 18" O.C.E.W. with lime stabilized subgrade compacted at least 95% of standard proctor (ASTM D-698) maximum dry density at 0 to +4 percent of optimum moisture. (Light Duty Pavement)
- 4" 3000 psi Conc. Pavement W/ #3 @ 18" O.C.E.W.
- Expansion Joint (60' Max. Spacing)
- Contraction Joint (15' Max. Spacing)

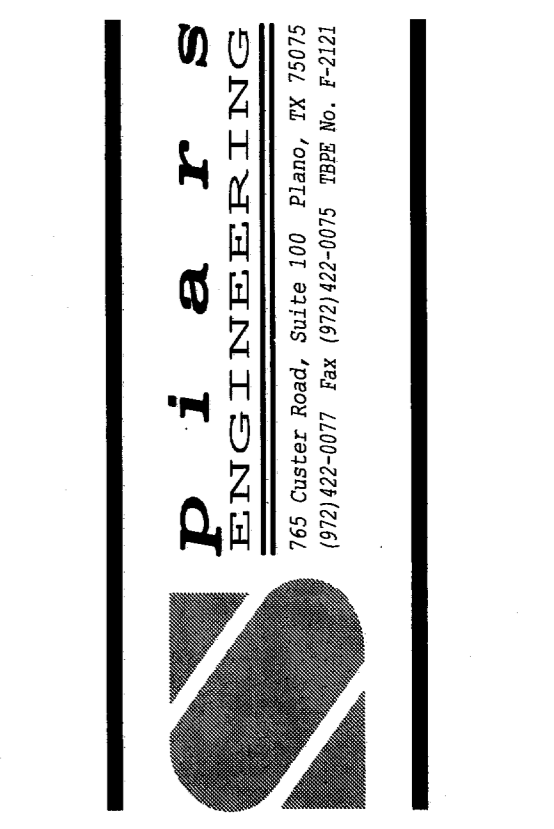
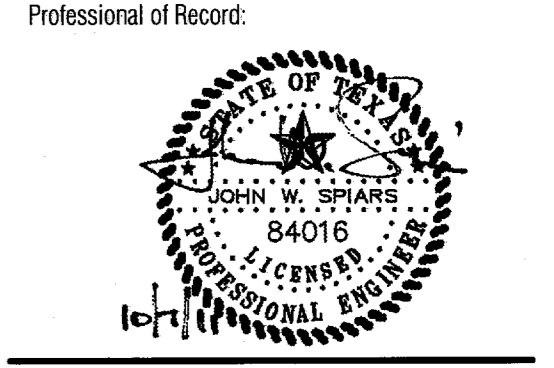
Note:
Refer to Geotechnical Report Prepared by
Professional Service Industries, Inc., Project
No. 0342385 Date: June 1, 2011.

TEMPORARY BENCHMARK #1:
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CITY BENCHMARK COA-11:
SOUTHWEST CORNER OF INLET 261' EAST AND 5.7'
NORTH OF NORTHEAST CORNER OF SUBJECT TRACT.
ELEVATION = 611.74



Store:
Raising Cane's
Store # 98
Belt Line Road
Addison, TX 75001
Prototype 2



Architect Information:
CSRS
architects engineers

CSRS, Inc.
6767 Perkins Road Suite 200 Baton Rouge, LA 70808
Tele: 225 769-0546 Fax: 225 767-0060
www.csronline.com

Prototype Issue Date: August 1, 2010
Design Bulletin Updates:
Date Issued: Bulletin Number:

FOR CONSTRUCTION

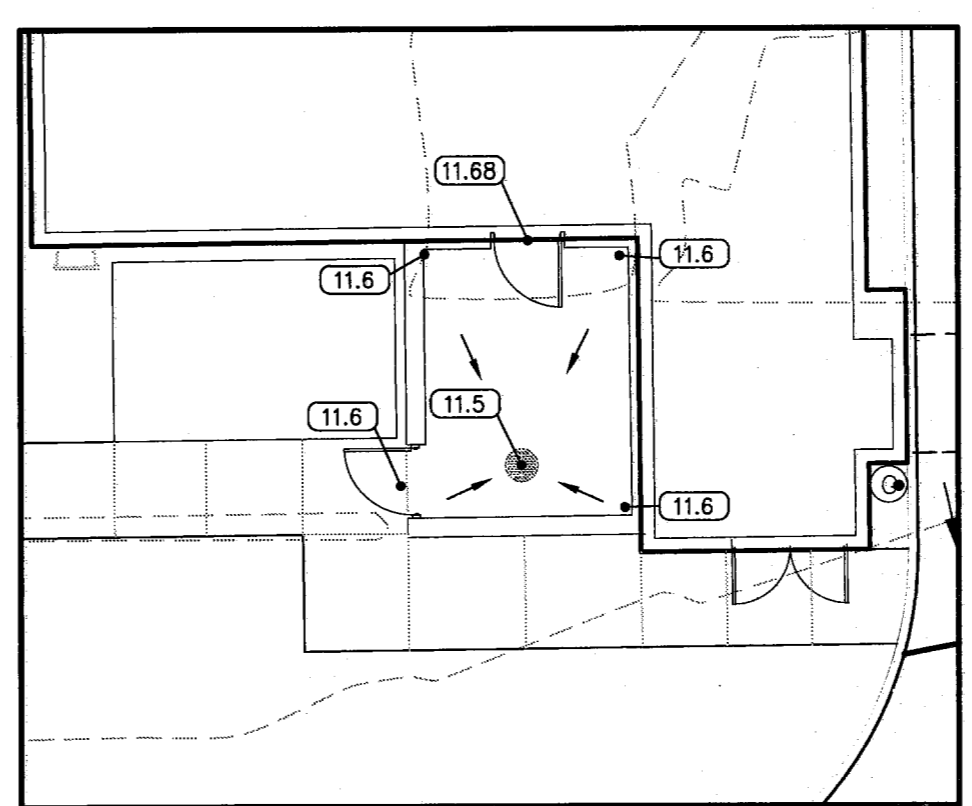
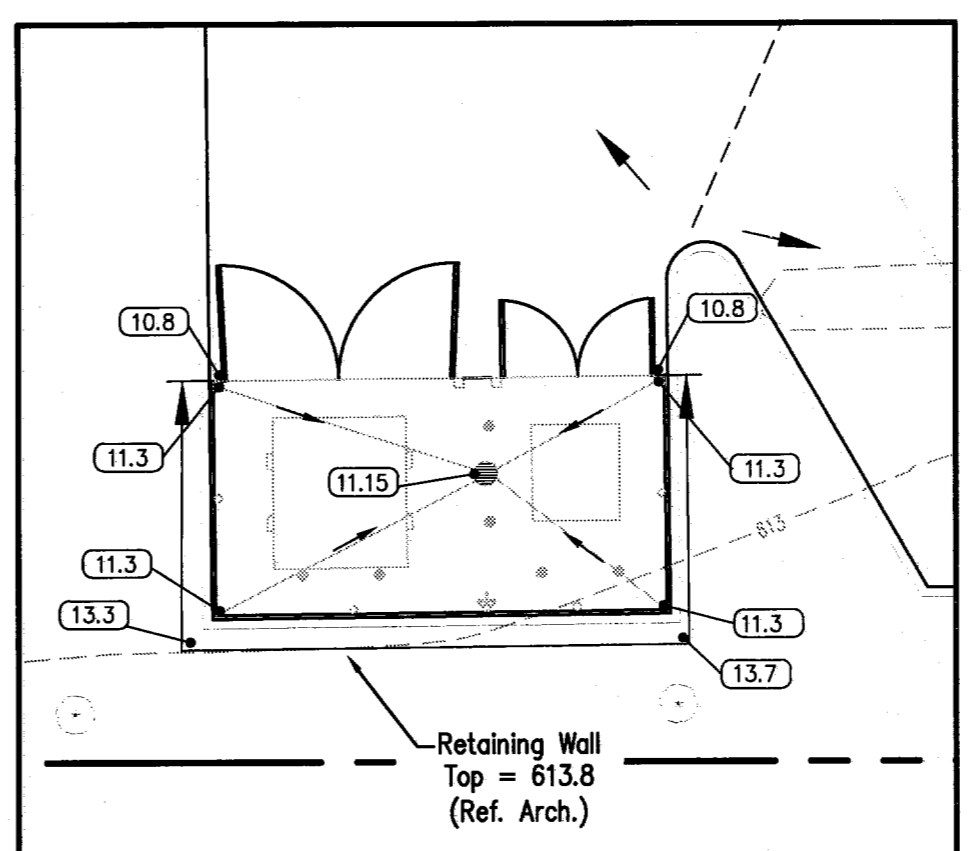
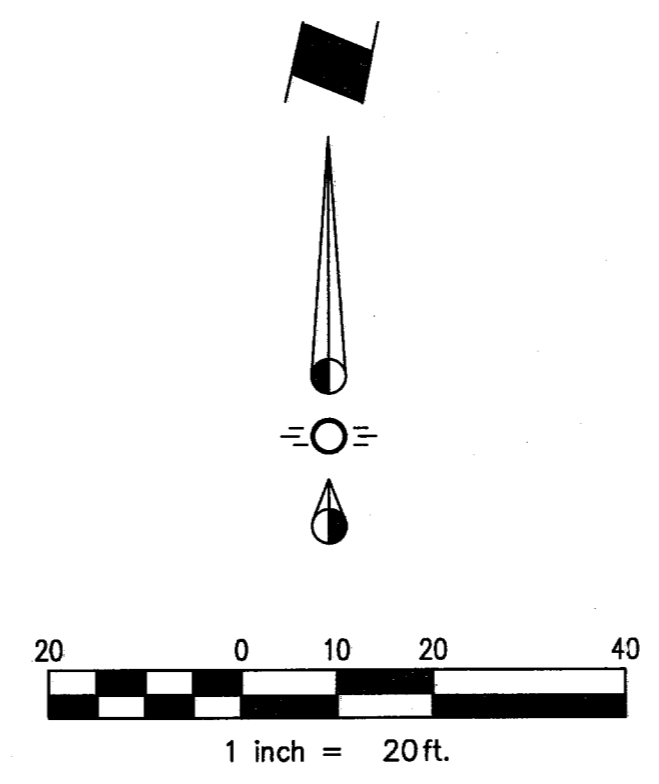
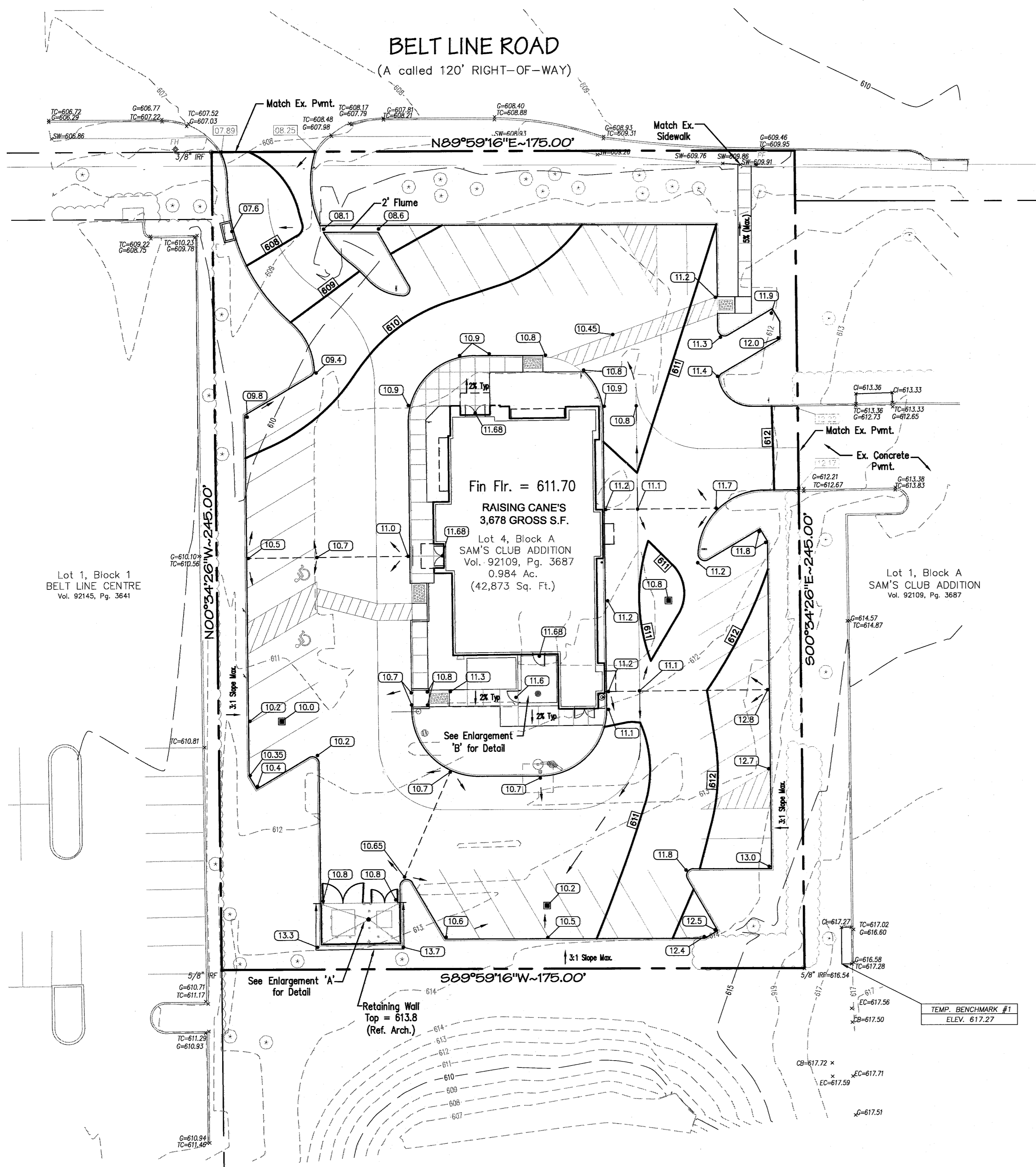
Revisions:

| # | Date | Description |
|---|------------|---------------------|
| 1 | 10-07-2011 | PERMIT/OWNER REVIEW |

Sheet Title:
PAVING PLAN

Date: October 07, 2011
Project Number: SEI No. 11-101
Drawn By: MPC

Sheet Number:
C4



GENERAL NOTES:

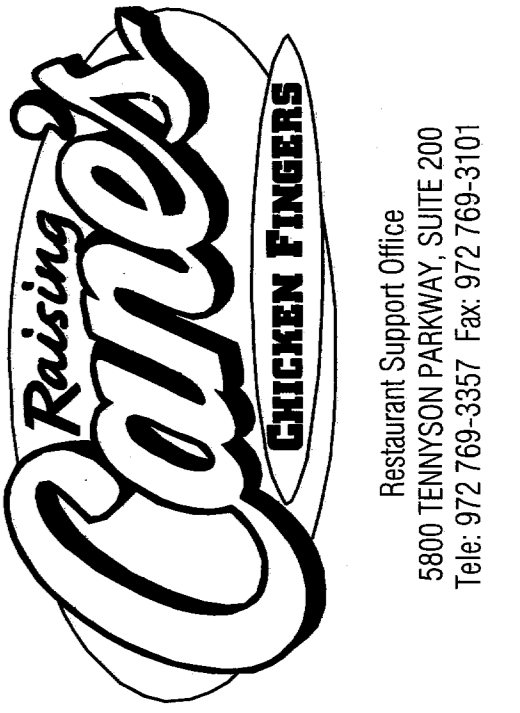
- All materials and construction shall conform to the Town of Addison Standards and Specifications, except as noted herein and approved by the Town of Addison.
- Contractor shall be responsible for maintaining trench safety requirements in accordance with Town of Addison Standards, Texas State Law, and O.S.H.A. Standards for all excavation in excess of five feet in depth.
- The location of all utilities located on these plans are taken from existing public records. The exact location and elevation of all public utilities must be determined by the Contractor. It shall be the duty of the Contractor to ascertain whether any additional facilities other than those shown on the plans may be present.
- It shall be the responsibility of the Contractor to protect all public utilities in the construction of this project. All manholes, clean-outs, valve boxes, fire hydrants, etc. must be adjusted to proper line and grade by the Contractor prior to and after the placing of permanent paving. Utilities must be maintained to proper line and grade during construction of the paving for this development.
- Care should be taken that fill materials and areas to receive fill are relatively free of vegetation, roots, debris, large rocks or other objectionable material. Fill shall be placed in accordance with the recommendations provided in the geotechnical investigation.
- Drainage should be maintained away from the foundations, both during and after construction.
- All earthwork operations, pavement installation, etc. shall conform to the Geotechnical Investigation.
- Trees shall remain unless specified otherwise on the Landscape Plan or approved by the Owner.
- Prior to starting construction, the Contractor shall make certain that all required permits and approvals have been obtained. No construction or fabrication shall begin until the Contractor has received and thoroughly reviewed all plans and other documents approved by all of the permitting authorities.
- In the event an item is not covered in the Town of Addison's specifications, the Town of Addison Engineer's decision shall apply.
- The Contractor shall verify the suitability of all existing and proposed site conditions, including grades and dimensions before commencement of any construction. In the event of any conflict, and prior to commencement of any construction, immediately notify Engineer. Minor adjustments of finish grade to accomplish spot drainage are acceptable if necessary, upon prior approval of Engineer. All paving installed shall "flush out" at any juncture with existing paving.
- Proposed spot elevations are finished grade elevations (Top of pavement, top of sod, etc.).
- Erosion control shall be in place prior to the disturbance of any existing surface.
- All sidewalk and crosswalk slopes shall conform to ADA requirements as follows:
1:20 longitudinal (along the walk) max.
1:50 transverse (across the walk) max.
- All Landscape areas and other disturbed areas within the limits of the property not designated to be paved shall not exceed 3:1 Slope Max.

LEGEND

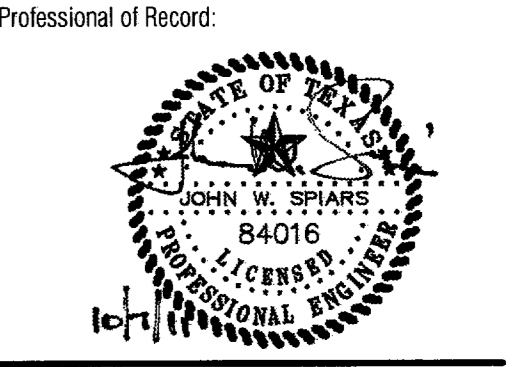
- Proposed Spot Elevation
- Existing Pavement Elevation (Approx.)
- Existing Spot Elevation
- Proposed Contour
- Existing Contour
- Direction Of Flow

TEMPORARY BENCHMARK #1:
SOUTHWEST CORNER OF INLET BEING 11.3' EAST OF
SOUTHEAST CORNER OF SUBJECT TRACT.
ELEVATION = 617.27

CITY BENCHMARK COA-11:
SOUTHEAST CORNER OF INLET 261' EAST AND 5.7'
NORTH OF NORTHEAST CORNER OF SUBJECT TRACT.
ELEVATION = 611.74



Store:
**Raising Cane's
Store # 98
Belt Line Road
Addison, TX 75001
Prototype 2**



P. J. S. ENGINEERING
765 Custer Road, Suite 100 Plano, TX 75075
(972) 422-0077 Fax (972) 422-0075 TBB# No. P-2121

Architect Information:
CSRS
architects engineers

CSRS, Inc.
6767 Perkins Road Suite 200 Baton Rouge, LA 70808
Tele: 225 769-0546 Fax: 225 767-0060
www.csrsnline.com

| | |
|--------------------------|------------------|
| Prototype Issue Date: | August 1, 2010 |
| Design Bulletin Updates: | |
| Date Issued: | Bulletin Number: |
| | |

FOR CONSTRUCTION

| Revisions: | |
|------------|--------------------------------|
| # | Description |
| 1 | 10-07-2011 PERMIT/OWNER REVIEW |
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| | |

Sheet Title:
GRADING PLAN

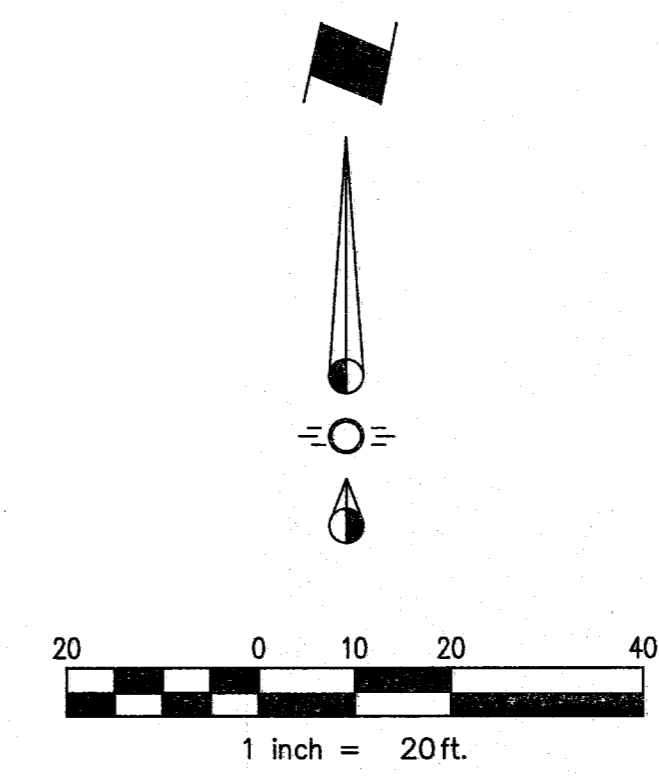
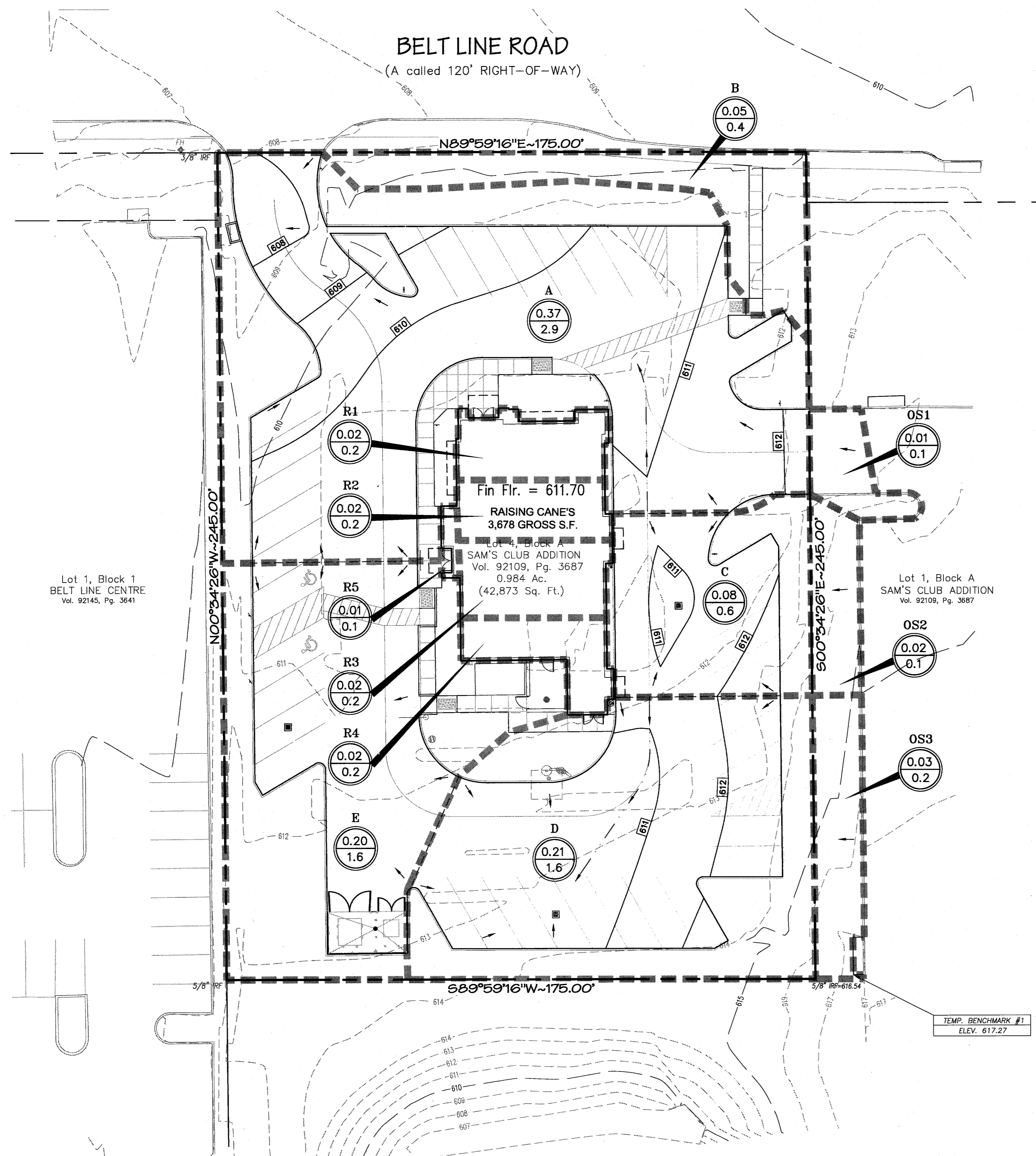
Date: October 07, 2011

Project Number: SEI No. 11-101

Drawn By: MPC

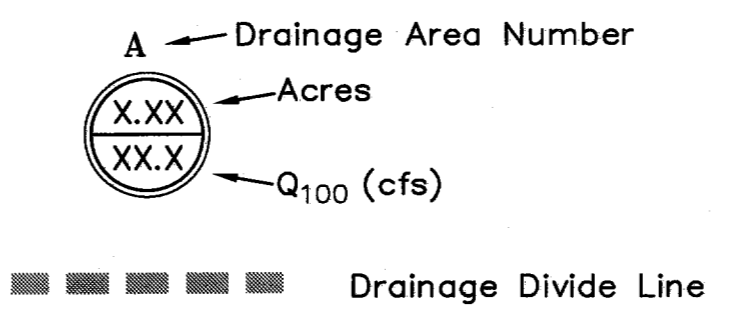
Sheet Number:

C5



| DRAINAGE AREA NO. | DRAINAGE AREA (acres) | C | tc (min) | I ₁₀₀ (in/hr) | Q ₁₀₀ (cfs) | Remarks |
|-------------------|-----------------------|------|----------|--------------------------|------------------------|-----------------------------|
| A | 0.37 | 0.90 | 10 | 8.74 | 2.9 | To Proposed 5' Curb Inlet |
| B | 0.05 | 0.90 | 10 | 8.74 | 0.4 | Sheet Flow to Beltline Road |
| C | 0.08 | 0.90 | 10 | 8.74 | 0.6 | To Proposed Catch Basin |
| D | 0.21 | 0.90 | 10 | 8.74 | 1.6 | To Proposed Catch Basin |
| E | 0.20 | 0.90 | 10 | 8.74 | 1.6 | To Proposed Catch Basin |
| R1 | 0.02 | 0.90 | 10 | 8.74 | 0.2 | Roof Drain - Downspout |
| R2 | 0.02 | 0.90 | 10 | 8.74 | 0.2 | Roof Drain - Downspout |
| R3 | 0.02 | 0.90 | 10 | 8.74 | 0.2 | Roof Drain - Downspout |
| R4 | 0.02 | 0.90 | 10 | 8.74 | 0.2 | Roof Drain - Downspout |
| R5 | 0.01 | 0.90 | 10 | 8.74 | 0.1 | Roof Drain - Downspout |
| OS1 | 0.01 | 0.90 | 10 | 8.74 | 0.1 | To Proposed 5' Curb Inlet |
| OS2 | 0.02 | 0.90 | 10 | 8.74 | 0.1 | To Proposed Catch Basin |
| OS3 | 0.03 | 0.90 | 10 | 8.74 | 0.2 | To Proposed Catch Basin |

LEGEND
 Q = C I A
 C = 0.9
 I₁₀₀ = 8.74
 tc = 10 min.

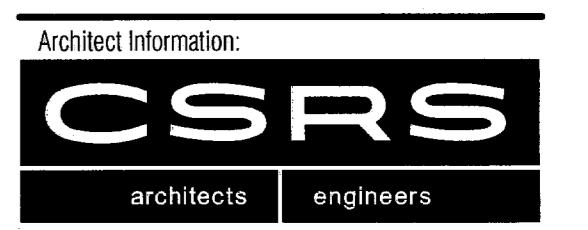
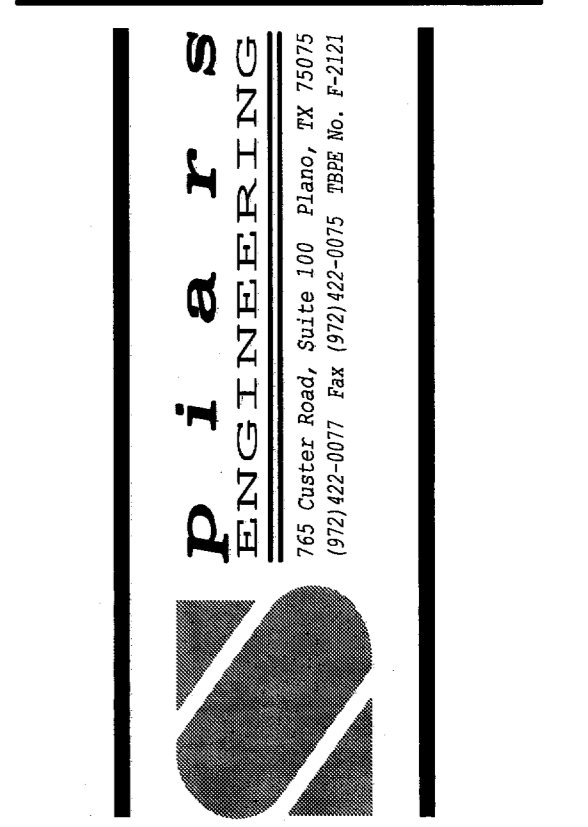
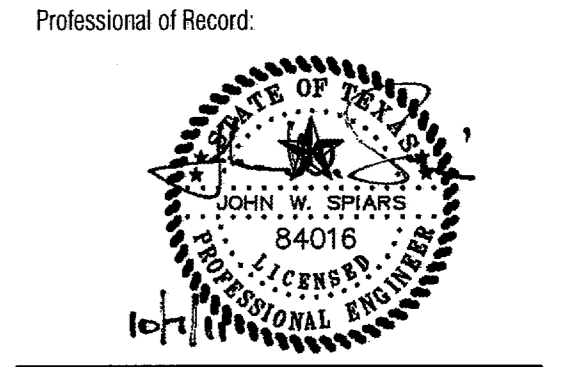


TEMPORARY BENCHMARK #1:
 SOUTHWEST CORNER OF INLET BEING 11.3' EAST OF
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 ELEVATION = 617.27

CITY BENCHMARK COA-11:
 SOUTHWEST CORNER OF INLET 261' EAST AND 5.7'
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 ELEVATION = 611.74



Store:
Raising Cane's
Store # 98
Belt Line Road
Addison, TX 75001
Prototype 2



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Revisions:

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| 1 | 10-07-2011 | PERMIT/OWNER REVIEW |

Sheet Title:
DRAINAGE AREA MAP

Date: October 07, 2011

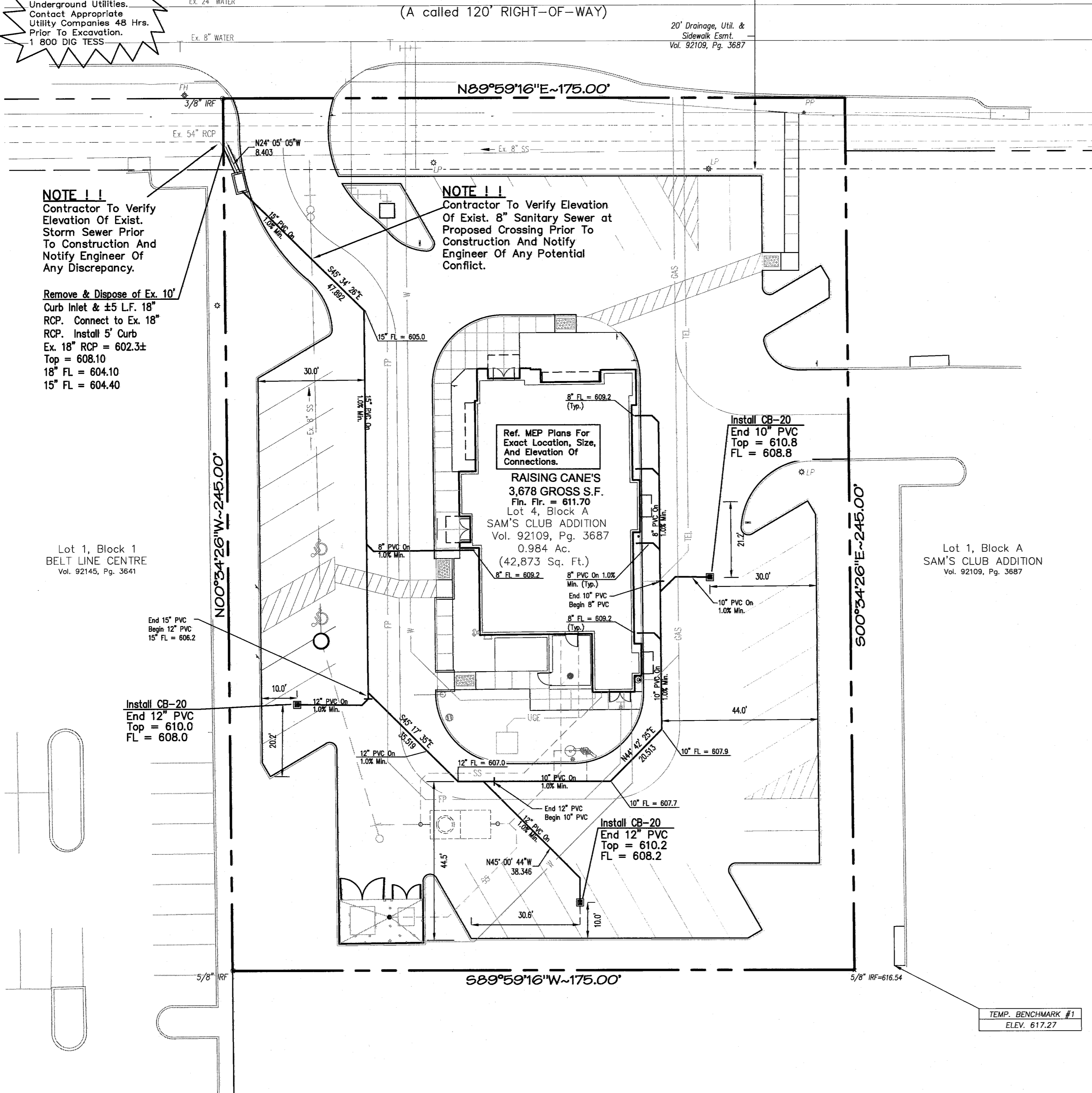
Project Number: SEI No. 11-101

Drawn By: MPC

Sheet Number: **C6**

CAUTION!
Underground Utilities.
Contact Appropriate
Utility Companies 48 Hrs.
Prior To Excavation.
1 800 DIG TESS.

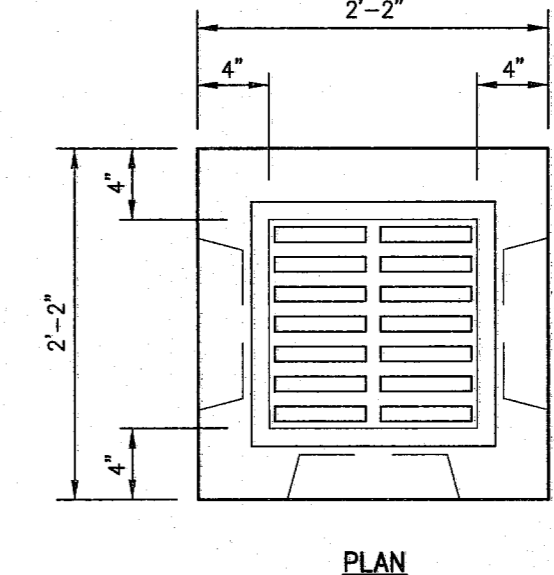
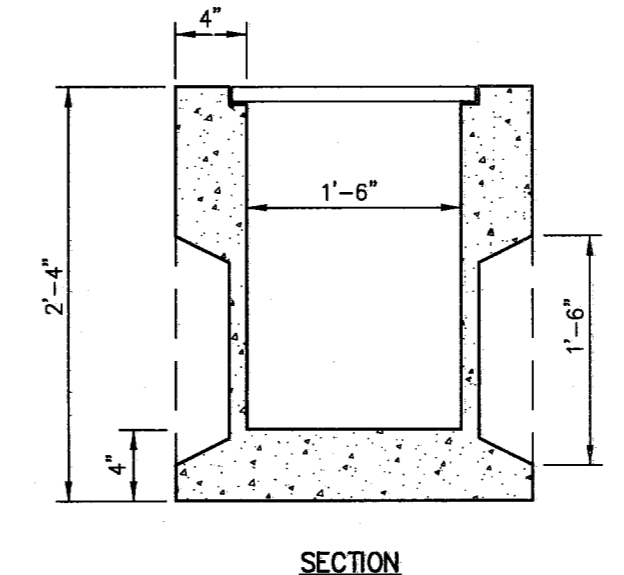
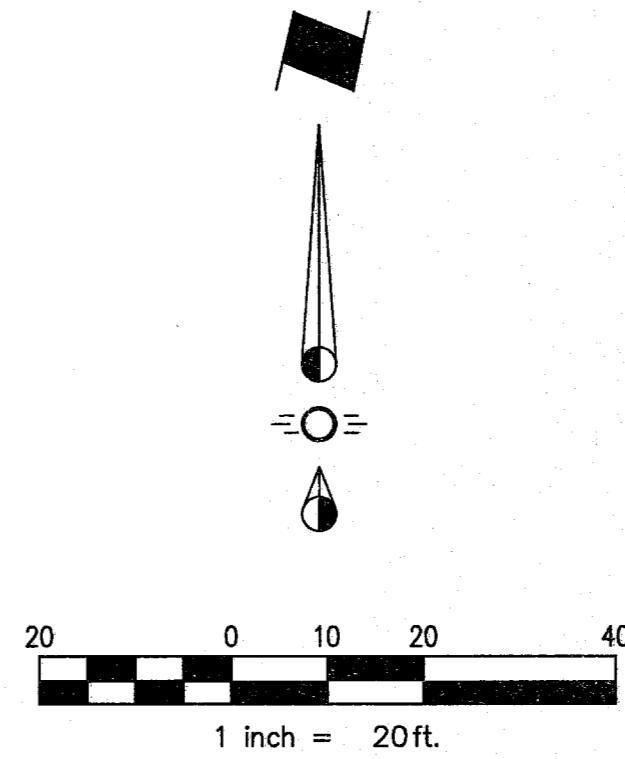
BELT LINE ROAD
(A called 120' RIGHT-OF-WAY)



NOTE 1 1
Contractor To Verify
Elevation Of Exist.
Storm Sewer Prior
To Construction And
Notify Engineer Of
Any Discrepancy.

Remove & Dispose of Ex. 10'
Curb Inlet & ±5 L.F. 18"
RCP. Connect to Ex. 18"
RCP. Install 5' Curb
Ex. 18" RCP = 602.3±
Top = 608.10
18" FL = 604.10
15" FL = 604.40

NOTE 1 1
Contractor To Verify Elevation
Of Exist. 8" Sanitary Sewer at
Proposed Crossing Prior To
Construction And Notify
Engineer Of Any Potential
Conflict.



CATCH BASIN NO. 20
AMERICAN INDUSTRIAL PRE-CAST
CATCH BASIN NO. 20
OR APPROVED EQUAL.
FEATURES:
1. CONCRETE: 4500 PSI
2. REINF.: GRADE 60
3. MAX. PIPE SIZE 12"
I.D. R.C.P.
4. 4 THIN WALL K.O.'S

CATCH BASIN NO. 20
NTS

TEMP. BENCHMARK #1
ELEV. 617.27

GENERAL NOTES

- All materials and construction shall conform to the Town of Addison Standards and Specifications, except as noted herein and approved by the Town.
- Contractor shall be responsible for maintaining trench safety requirements in accordance with Town Standards, Texas State Law, and O.S.H.A. Standards for all excavation in excess of five feet in depth.
- The location of all utilities located on these plans are taken from existing public records. The exact location and elevation of all public utilities must be determined by the Contractor. It shall be the duty of the Contractor to ascertain whether any additional facilities other than those shown on the plans may be present.
- It shall be the responsibility of the Contractor to protect all public utilities in the construction of this project. All manholes, clean-outs, valve boxes, fire hydrants, etc. must be adjusted to proper line and grade by the Contractor prior to and after the placing of permanent paving. Utilities must be maintained to proper line and grade during construction of the paving for this development.
- The General Contractor and all sub-contractors shall verify the suitability of all existing and proposed site conditions, including grades and dimensions before commencement of any construction. In the event of any conflict and prior to commencement of any construction, immediately notify the Engineer. Minor adjustments of finished grade to accomplish spot drainage is acceptable, if necessary, upon prior approval of Engineer. Paving installed shall 'flush out' at any juncture with existing paving.
- Drainage should be maintained away from the foundations, both during and after construction.
- Backfill for utility lines should be carefully placed so that they will be stable. Where utility lines pass through the parking lot, the top 6" should be compacted similarly to the remainder of the lot. Utility ditches should be visually inspected during the excavation process to ensure that undesirable fill is not used.
- If rock is encountered in the trench, rock spoil shall not be used in the upper 1.5 feet of the trench.
- Four-foot RCP sections with beveled ends shall be used if pipe radius is less than 100 feet.
- All storm sewer pipe 18" and larger shall be Class III RCP. All storm sewer pipe 15" and smaller shall be SDR-35 PVC, ADS N-12 pipe, or approved equal.
- Erosion control shall be in place prior to the disturbance of any surface.

NOTE:
Prior to beginning any construction or construction staking, it shall be the Contractor's responsibility to contact the Civil Engineer to insure that all parties are in possession of the most current set of construction documents.

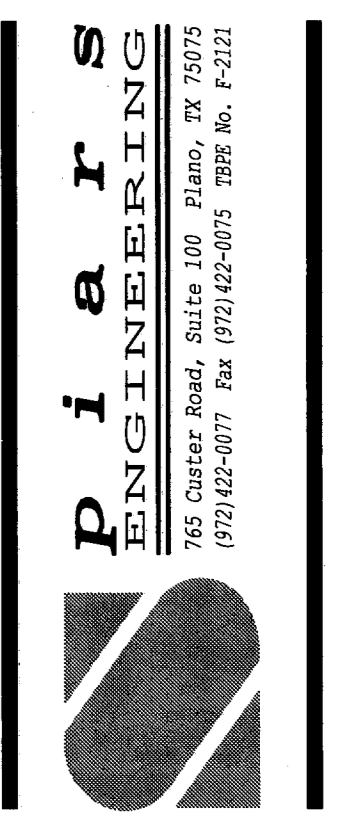
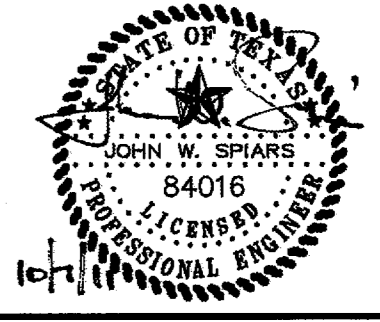
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SOUTHWEST CORNER OF INLET 261' EAST AND 5.7'
NORTH OF NORTHEAST CORNER OF SUBJECT TRACT.
ELEVATION = 611.74



Restaurant Support Office
5900 TENNISON PARKWAY, SUITE 200
Tel: 972 769-3557 Fax: 972 769-3101

Store:
**Raising Cane's
Store # 98
Belt Line Road
Addison, TX 75001
Prototype 2**

Professional of Record:



Architect Information:



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6767 Perkins Road Suite 200 Baton Rouge, LA 70806
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| △ | 10-07-2011 | PERMIT/OWNER REVIEW |

Sheet Title:
DRAINAGE PLAN

Date: October 07, 2011

Project Number: SEI No. 11-101

Drawn By: MPC

Sheet Number:

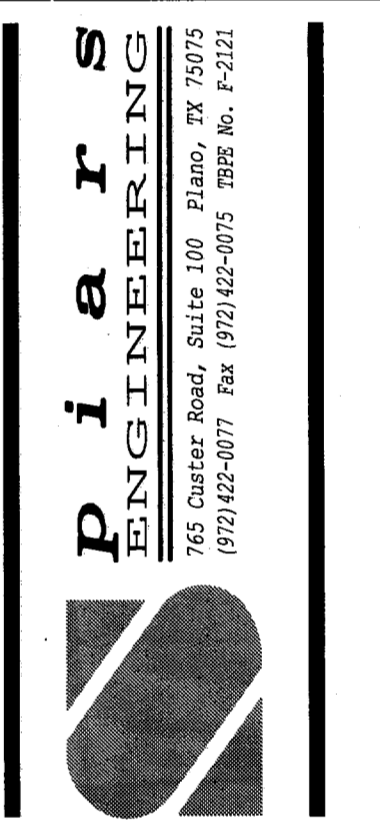
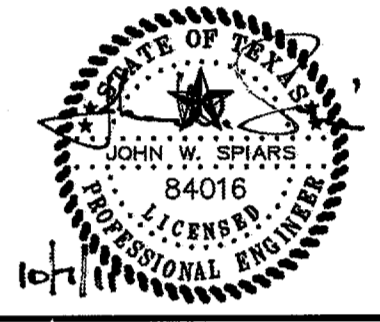
C7



Restaurant Support Office
5900 TENNYSON PARKWAY, SUITE 200
Tel: 972 769-3357 Fax: 972 769-3101

Store: **Raising Cane's**
Store # 98
Belt Line Road
Addison, TX 75001
Prototype 2

Professional of Record:



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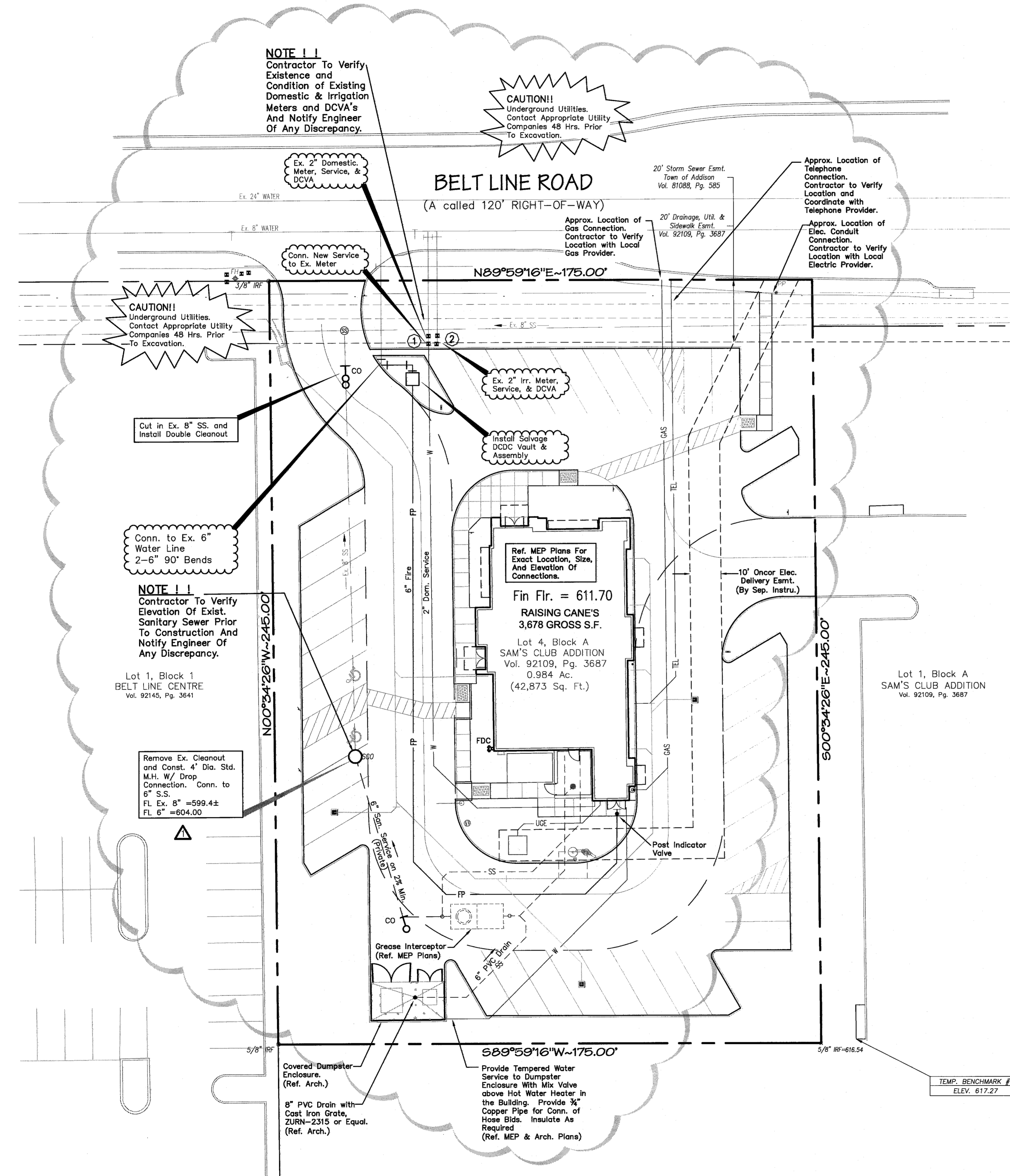
Sheet Title:
UTILITY PLAN

Date: October 07, 2011
Project Number: SEI No. 11-101
Drawn By: MPC
Sheet Number:

C8

UTILITY GENERAL NOTES

- All materials and construction shall conform to the Town of Addison Standard Details and Specifications, except as noted herein and approved by the Town.
- Contractor shall be responsible for maintaining trench safety requirements in accordance with Town Standards, Texas State Law, and O.S.H.A. Standards for all excavation in excess of five feet in depth.
- The location of all utilities located on these plans are taken from existing public records. The exact location and elevation of all public utilities must be determined by the Contractor. It shall be the duty of the Contractor to ascertain whether any additional facilities other than those shown on the plans may be present.
- It shall be the responsibility of the Contractor to protect all public utilities in the construction of this project.
- The Contractor shall be responsible for obtaining permits, inspections, and approval of the completed utility work from all of the approving authorities and each utility company before back filling and/or paving over any of the utility work.
- The Contractor shall be responsible for payment of all connection fees for temporary connections. Deposits and any impact fees issues by utility companies for utility service will be paid by Owner.
- The contractor shall verify utility service entrance points and meter locations with the architect prior to the installation of any service lines.
- Any utility installed outside of an easement shall be installed by a plumber and inspected by Code Enforcement.
- Backfill for utility lines should be carefully placed so that the utility will be stable. Where utility lines cross the parking lot, the top 6" should be compacted similarly to the remainder of the lot. Utility ditches should be visually inspected during the excavation process to ensure that undesirable fill is not used.
- If rock is encountered in the trench, rock spoil shall not be used in the upper 1.5 feet of the trench. The upper 1.5 feet of the trench is to be backfilled only with quality topsoil.
- All water mains shall be C-900 PVC SDR 18. Domestic and fire water service lines shall be per Town of Addison Building Code requirements.
- All ductile iron fittings shall be of the mechanical joint type or slip joint and shall be Class D, or Class 250 on sizes 12" and smaller in accordance with A.W.W.A. Specification C-110-64 and C-111-64.
- All 6" and smaller water mains shall have a minimum cover of 42"; all 8" and larger water mains shall have a minimum cover of 48" or sufficient cover to clear other utilities as measured from top of pipe to existing ground level or finished grade, whichever is greater.
- Fire hydrants shall be placed 2' to 6' from back of curb located as shown on the plans.
- Fire hydrants shall be Town approved and color coded.
- All gate valves shall be Town approved.
- All water and sanitary mains and services shall have a 10' min. lateral separation.
- Sanitary sewer manholes shall be constructed of cast-in-place concrete or precast concrete with cast iron frames and cover per Town of Addison details.
- Concrete blocking shall be provided on water mains at all tees, fire hydrants, and bends per Town of Addison standards. Payment for concrete blocking shall be subsidiary to pipe installation and shall be included in the bid price thereof.
- The slope for sanitary sewer laterals shall be 2%, or 1/4" per foot, or greater.
- All water meters to be placed in a non-traffic area.
- Refer to Plumbing Plans for exact water and sewer service locations.
- Fire sprinkler line shall be sized and installed by a State Licensed Fire Sprinkler Contractor.
- Reference Sheets C11 & C12 for Site Details.



SANITARY SEWER
Contractor shall tie-in sewer line to existing service line. contractor shall verify location, invert & condition of line with landlor and report to civil engineer before laying sewer pipe. all work to conform to the current standard plumbing code and Town minimum requirements. Contractor shall install a 6" sanitary sewer line.

ELECTRIC
Contractor shall install PVC conduits (size as required) from the service point to the building. contractor shall install schedule 40 PVC conduit a minimum of 3-feet below grade. Contractor shall coordinate the required number of conduit, conduit routing and connection point with telephone company. (ENTRANCE FACILITIES ONLY)

TELEPHONE
Contractor shall provide an additional conduit for routing of internet service. Coordinate requirements and location with owner.

GAS
Contractor shall provide gas service (size as req'd) from service point to the building. Contractor shall install gas line a minimum 3 feet below grade. Contractor shall contact gas company for exact location of gas service. General contractor to provide regulator to adjust gas pressure per owners gas appliance specifications.

WATER
Contractor shall provide and install 2" domestic water service. contractor responsible for all connection fees and costs required for water main tap, service line, 2" meter, and DHI approved backflow device. Contractor shall provide the necessary tap for on site irrigation system to be located downstream of backflow preventer. Minimum cover of 36" for all lines.

IRRIGATION
General contractor shall install all irrigation sleeves. General contractor shall coordinate the location of sleeves with the irrigation contractor. A third party contractor shall construct a complete irrigation system. General contractor is responsible for tap of main & installation of 2" meter & 2" backflow preventer (TYPE APPROVED BY TOWN CODE) as req'd by local water company. General contractor is also responsible for all fees, permits, and inspections.

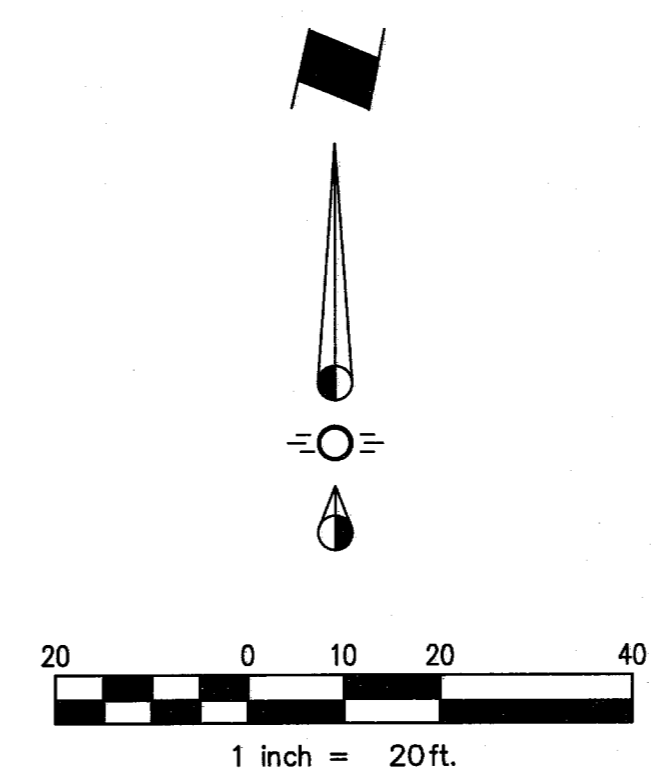
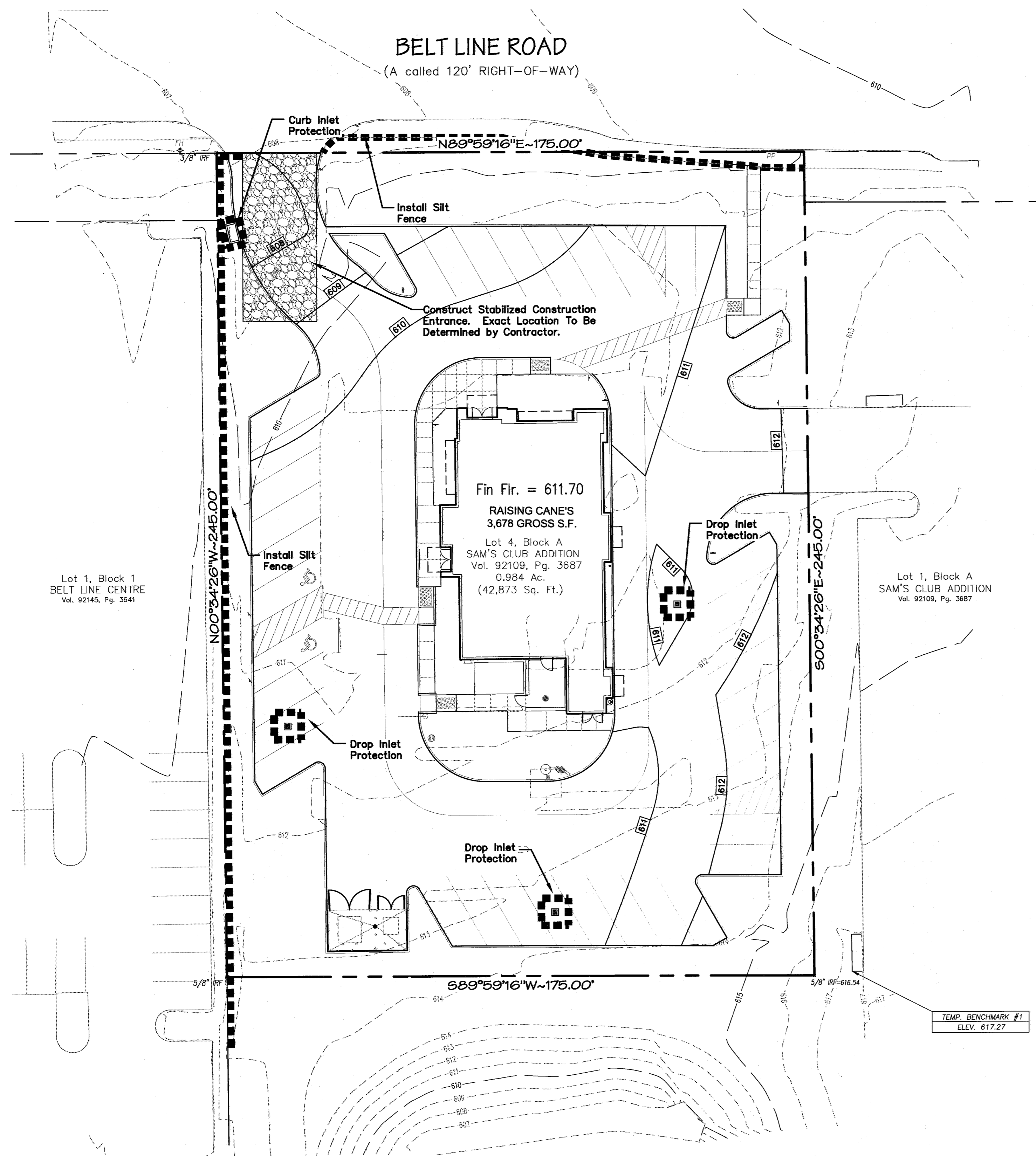
| I.D. | Type | Size | No. | Sewer |
|------|----------|------|-----|-------|
| 1 | Ex. Dom. | 2" | 1 | 8" |
| 2 | Ex. Irr. | 2" | 1 | - |

NOTE:
Prior to beginning any construction or construction staking, it shall be the Contractor's responsibility to contact the Civil Engineer to insure that all parties are in possession of the most current set of construction documents.

- LEGEND**
- NEW UNDERGROUND ELECTRICAL SERVICE
 - NEW DOMESTIC WATER LINE
 - NEW GAS LINE
 - NEW SAN. SEWER LINE
 - NEW U.G. TELEPHONE LINE
 - GAS METER, VERIFY LOCATION
 - GREASE INTERCEPTOR (RE: PLUMBING PLANS)

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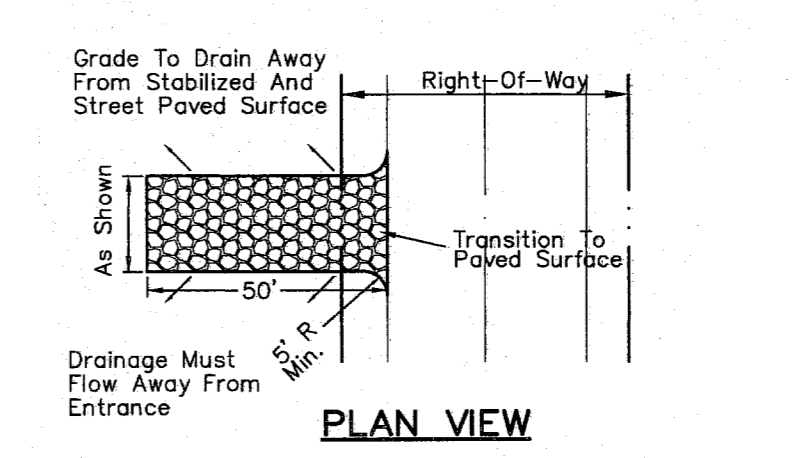
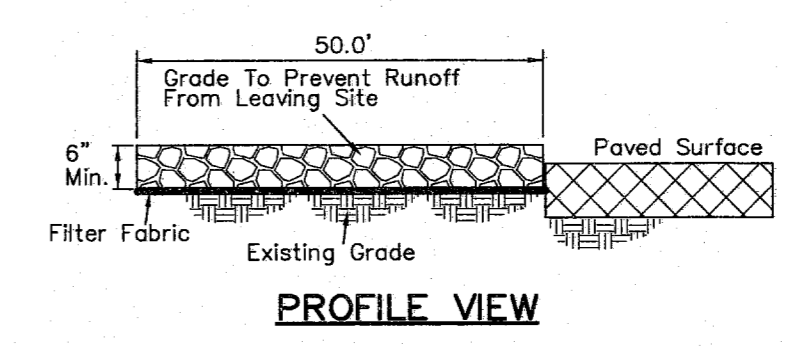


EROSION CONTROL GENERAL NOTES

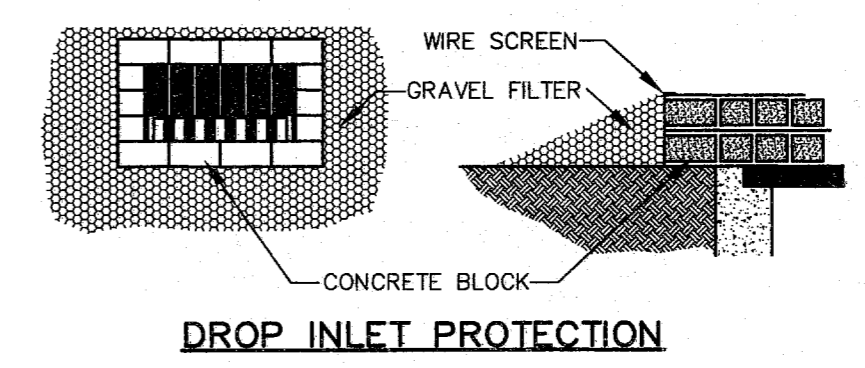
1. Erosion control devices shown on these plans shall be installed prior to the start of land disturbing activities on the project.
2. All erosion control devices are to be installed in accordance with the approved plans and specifications for this project. Changes are to be approved before construction by the design Engineer and the Town of Addison Engineering Division.
3. If the Erosion Control Plan as approved cannot control erosion and off-site sedimentation from the project the Erosion Control Plan will be required to be revised and/or additional erosion control devices will be required on site.
4. Off-site soil borrow and spoil areas are considered part of the project site, and must also comply with the erosion control requirements for this project. This includes the installation of BMPs to control offsite sedimentation and the establishment of permanent ground cover on disturbed areas prior to final approval of the project.
5. Inspections shall be made weekly and after rain storm events to insure that the devices are functioning properly. When sediment or mud had clogged the void spaces between stones or mud is being tracked onto a public roadway the aggregate pad must be washed down or replaced. Runoff from the washdown operation shall not be allowed to drain directly off the site without first flowing through another BMP to control off-site sedimentation. Periodic re-grading or the addition of new stone may be required to maintain the efficiency of the installation.
6. Contractor shall be responsible for submittal of N.O.I., N.O.T. and any additional information required by T.C.E.Q. Contractor shall comply with all T.C.E.Q. stormwater pollution prevention requirements.

NOTES

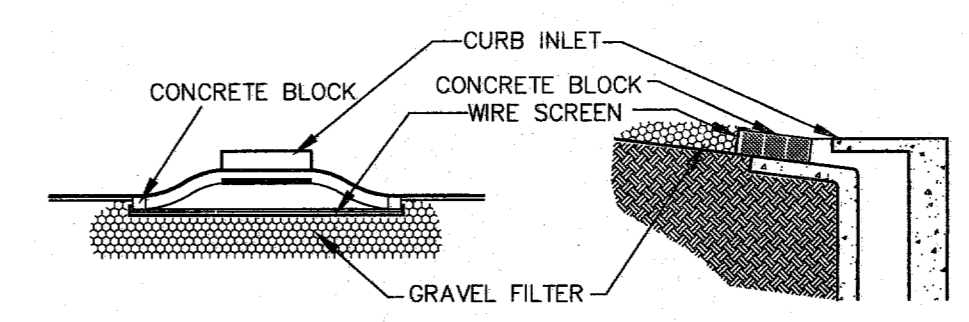
1. Stone shall be 3 to 5 inch diameter crushed rock or acceptable crushed Portland Cement Concrete.
2. When necessary, vehicles shall be cleaned to remove sediment prior to entrance onto a public roadway. When washing is required, it shall be done on a area stabilized with crushed stone, with drainage flowing away from both the street and the stabilized entrance. All sediment shall be prevented from entering any storm drain, ditch, or watercourse using approved methods.
3. The entrance shall maintained in a condition which will prevent tracking or flowing of sediment onto paved surfaces. This may require periodic top dressing with additional stone as conditions demand. All sediment spilled, dropped, washed, or tracked onto paved surfaces must be removed immediately.
4. The entrance must be properly graded, or incorporate a drainage swale to prevent runoff from leaving the



STABILIZED CONSTRUCTION ENTRANCE



DROP INLET PROTECTION



CURB INLET PROTECTION

BLOCK AND GRAVEL PROTECTION

Concrete blocks are to be placed on their sides in a single row around the perimeter of the inlet, with ends abutting. Opening in the blocks should face outward, not upward. Wire mesh shall then be placed over the outside face of the blocks covering the holes. Filter stone shall then be piled against the wire mesh to the top of the blocks with the base of the stone being a minimum of 18 inches from the blocks. Periodically, when the stone filter becomes clogged, the stone must be removed and cleaned in a proper manner or replaced with new stone and piled back against the wire mesh.

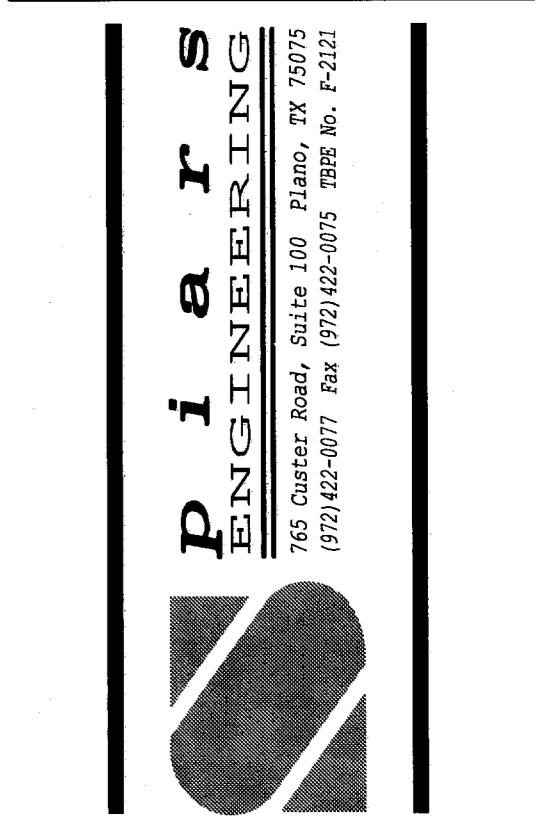
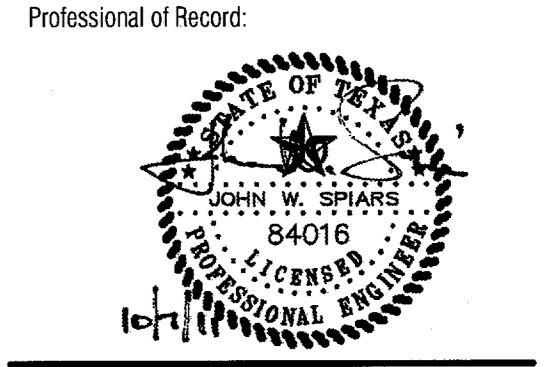
Total Disturbed Area = 1.0± Acres

TEMPORARY BENCHMARK #1:
SOUTHWEST CORNER OF INLET BEING 11.3' EAST OF SOUTHEAST CORNER OF SUBJECT TRACT.
ELEVATION = 617.27

CITY BENCHMARK COA-11:
SOUTHWEST CORNER OF INLET 261' EAST AND 5.7' NORTH OF NORTHEAST CORNER OF SUBJECT TRACT.
ELEVATION = 611.74



Store:
Raising Cane's
Store # 98
Belt Line Road
Addison, TX 75001
Prototype 2



Architect Information:
CSRS
architects engineers

CSRS, Inc.
6767 Perkins Road Suite 200 Baton Rouge, LA 70808
Tele: 225 768-0546 Fax: 225 767-0060
www.csronline.com

Prototype Issue Date: August 1, 2010

Design Bulletin Updates:

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| Date Issued: | Bulletin Number: |
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FOR CONSTRUCTION

Revisions:

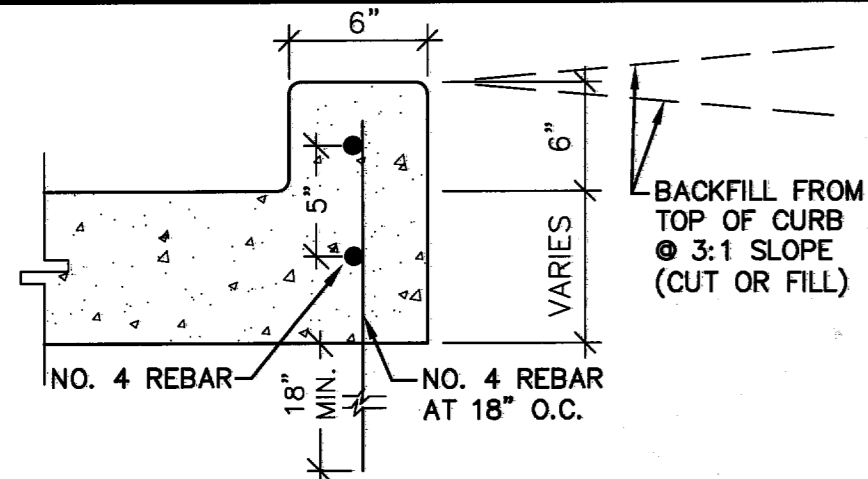
| # | Date | Description |
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| △ | 10-07-2011 | PERMIT/OWNER REVIEW |
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Sheet Title:
EROSION CONTROL

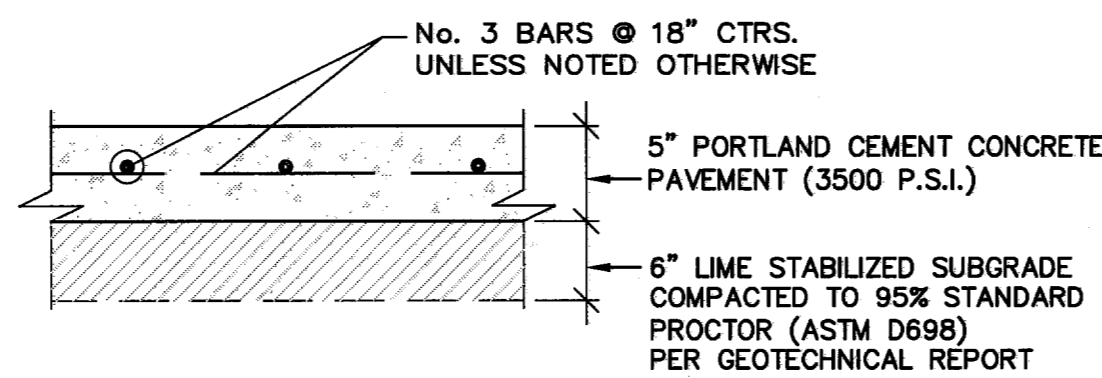
PLAN

Date: October 07, 2011
Project Number: SEI No. 11-101
Drawn By: MPC
Sheet Number:

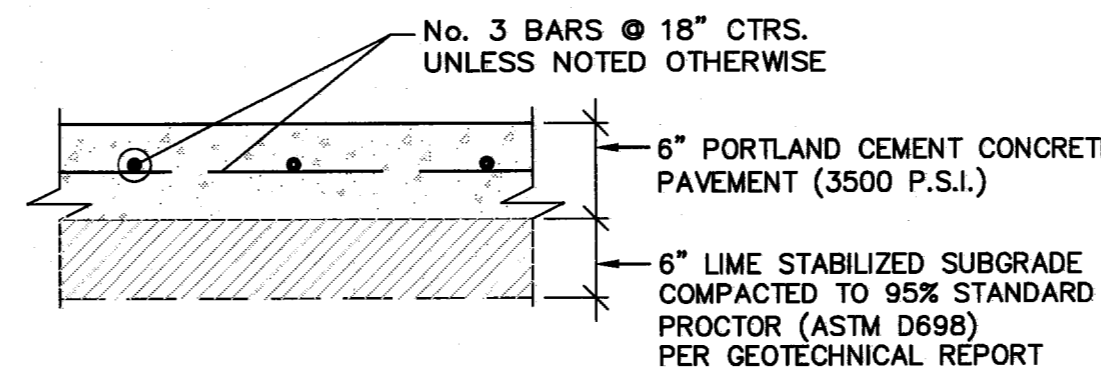
C9



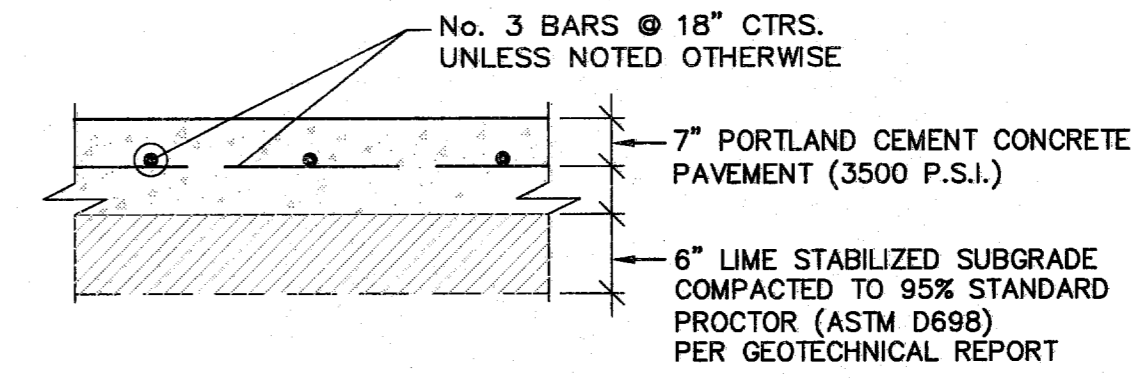
1 MONOLITHIC CONCRETE CURB
N.T.S.



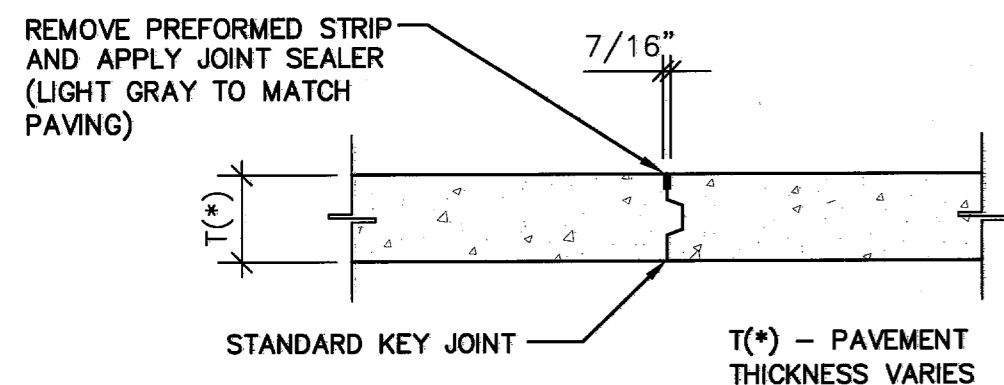
2 LIGHT DUTY PAVING SECTION
N.T.S.



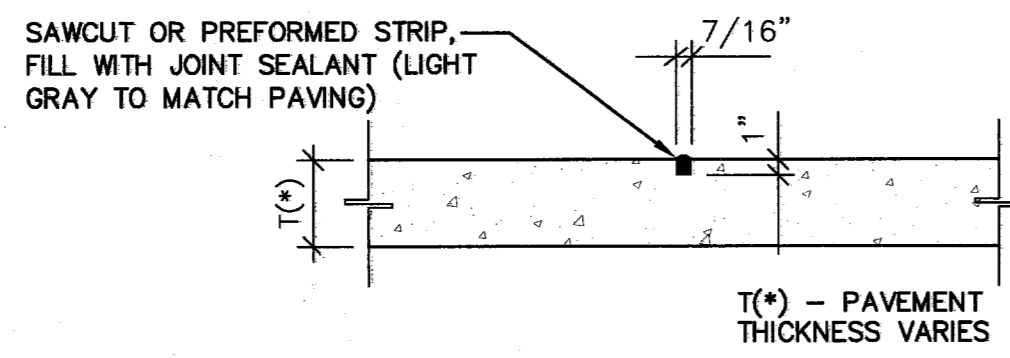
3 MEDIUM DUTY PAVING SECTION
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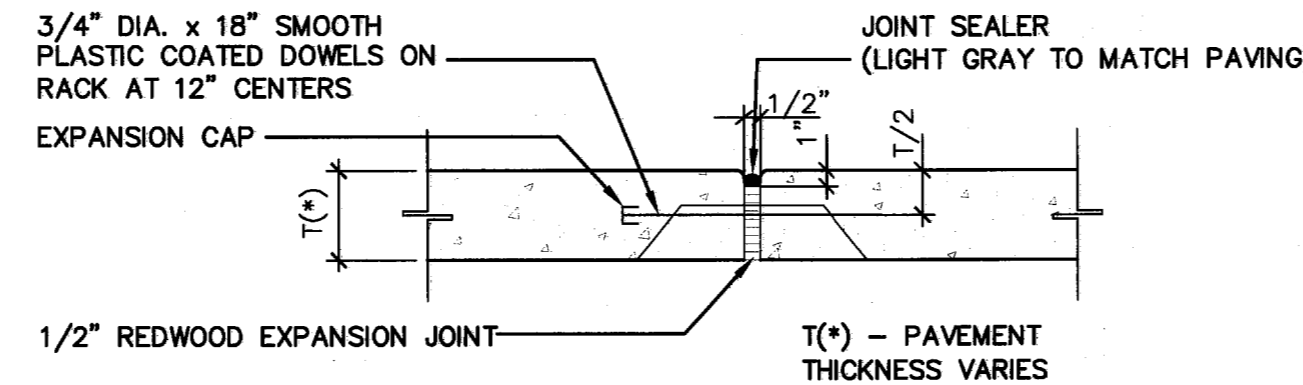
4 HEAVY DUTY PAVING SECTION
N.T.S.



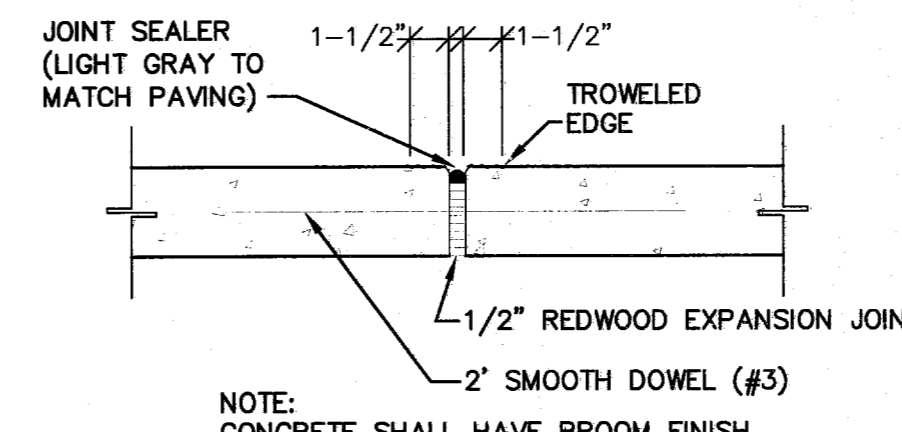
5 LONGITUDINAL (KEY) JOINT
N.T.S.



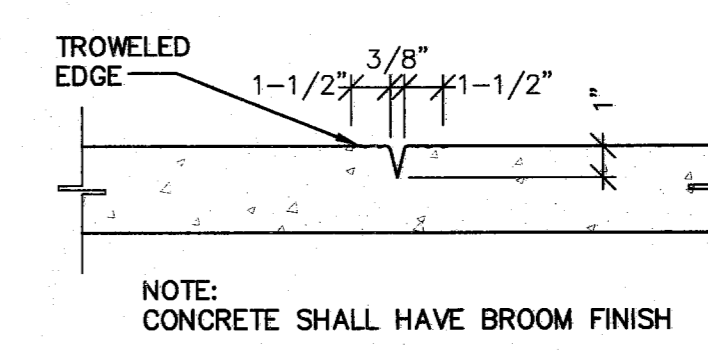
6 CONTRACTION JOINT
N.T.S.



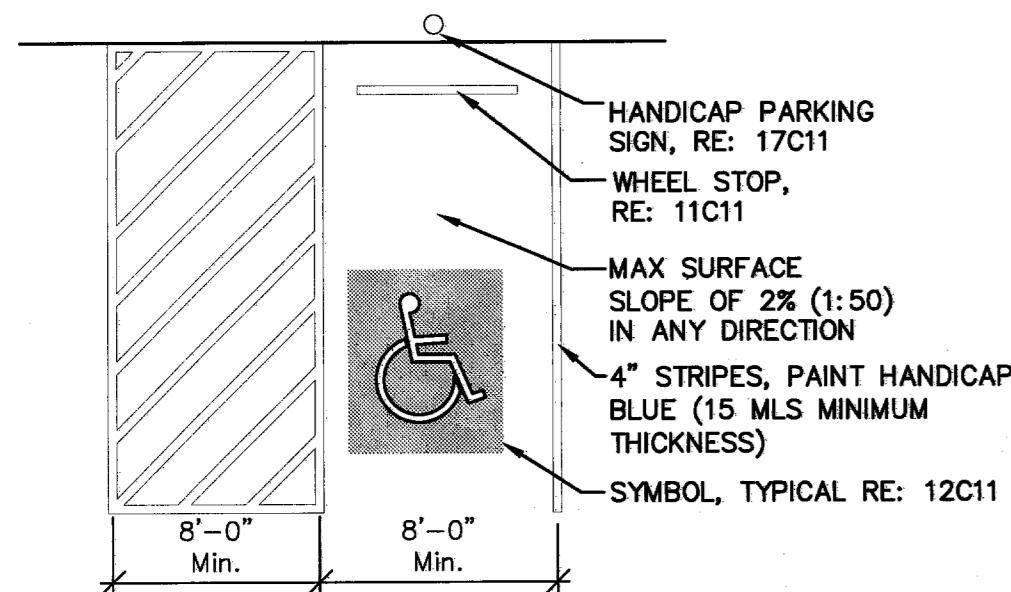
7 EXPANSION JOINT
N.T.S.



8 SIDEWALK EXPANSION JOINT
N.T.S.

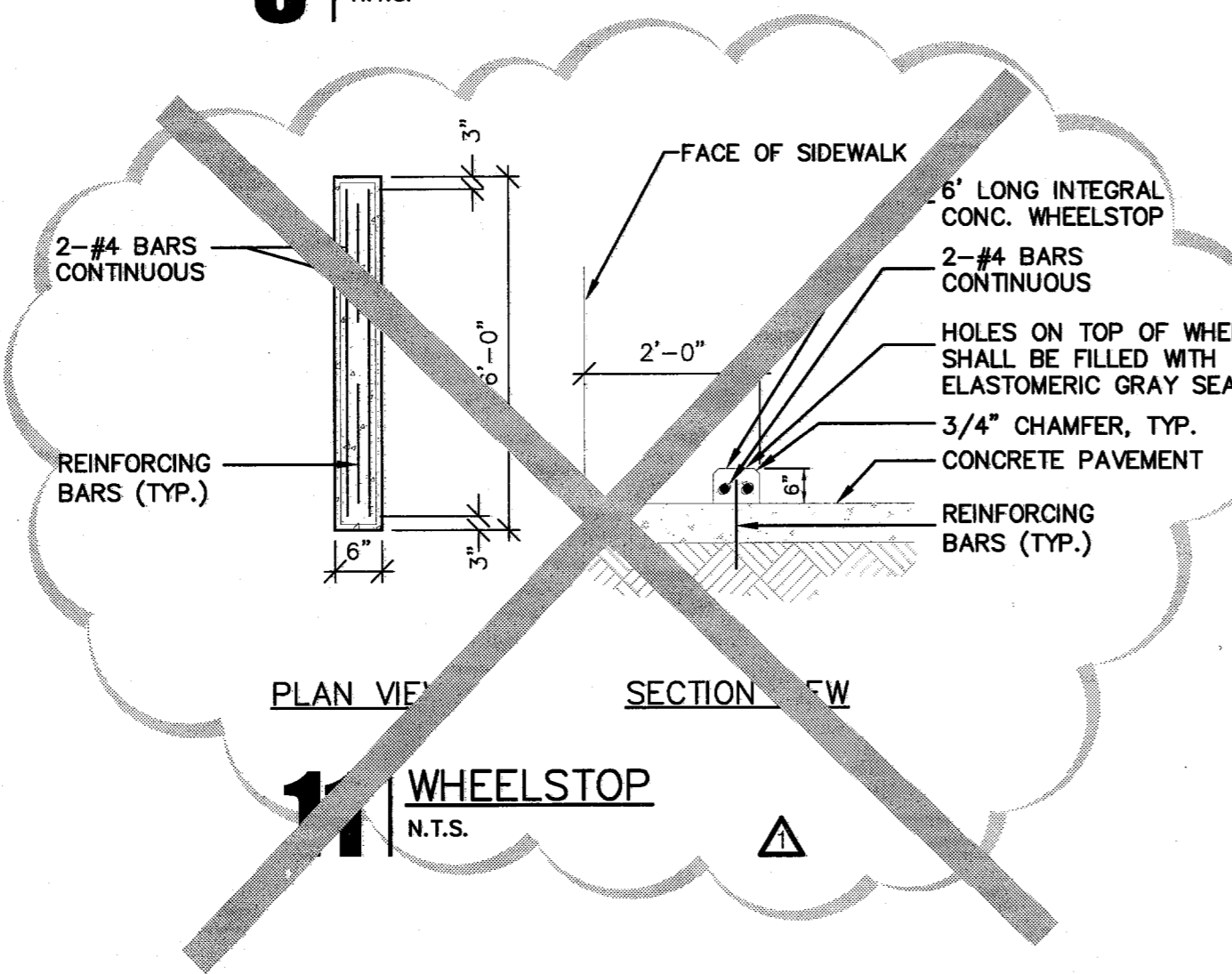


9 SIDEWALK TOOL JOINT
N.T.S.

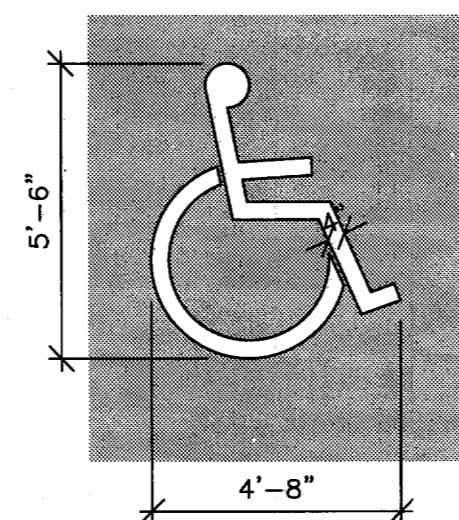


NOTE: PAINT SYMBOL ONTO PAVED SURFACE WITH TWO (2) COATS OF HANDICAP BLUE PAINT. MANUFACTURE AS PER DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.

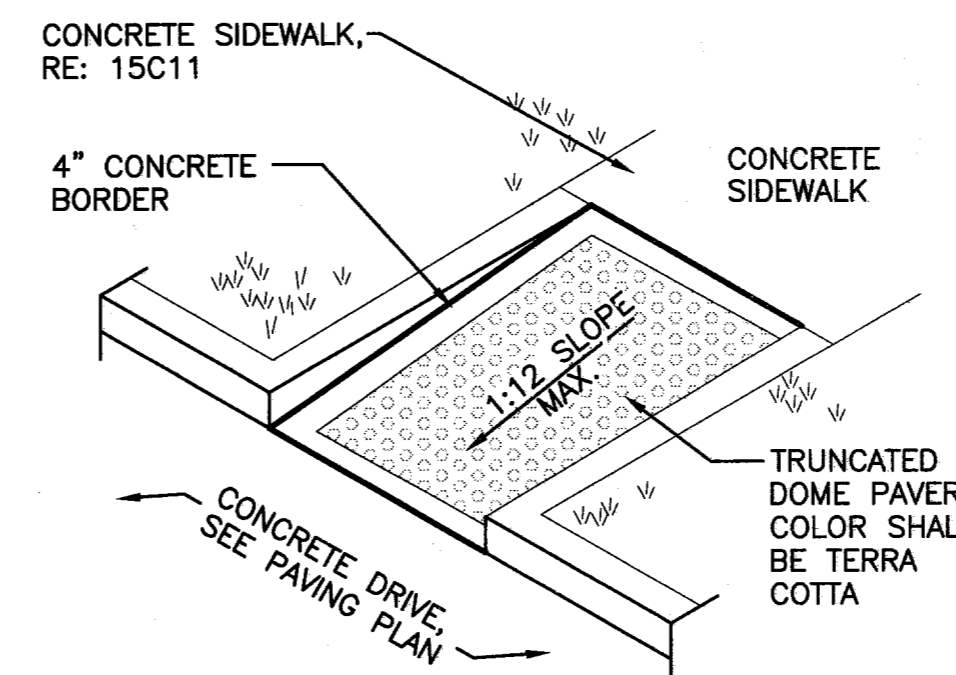
10 HANDICAP PARKING LAYOUT
N.T.S.



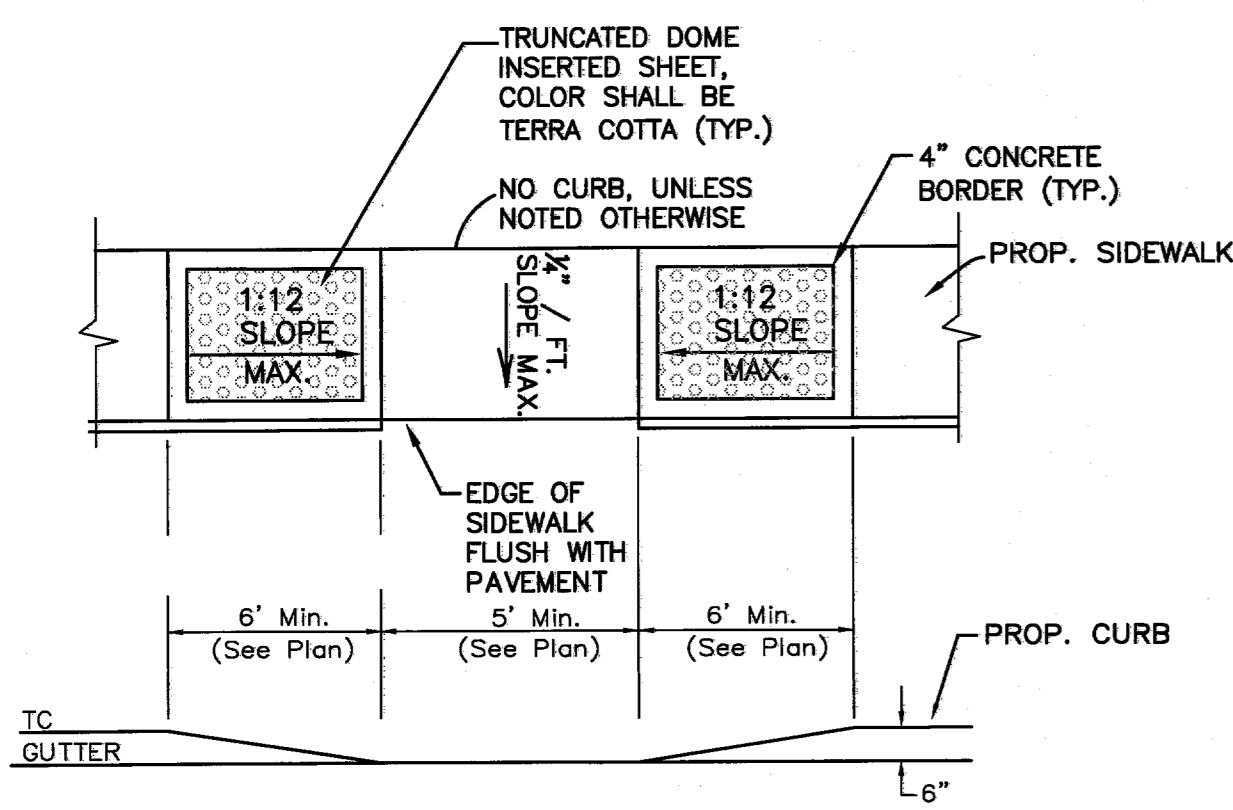
11 WHEELSTOP
N.T.S.



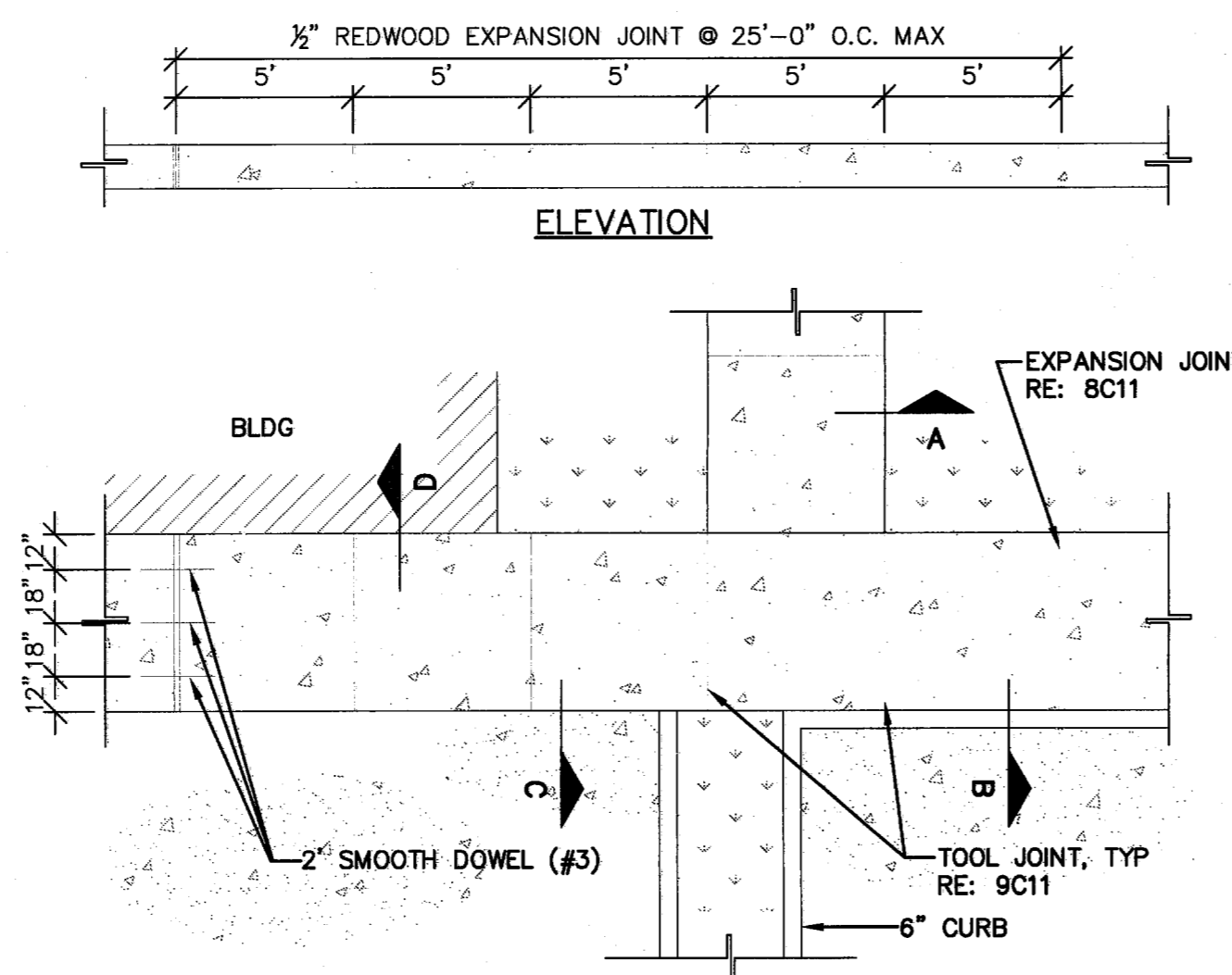
12 HANDICAP PARKING SYMBOL
N.T.S.



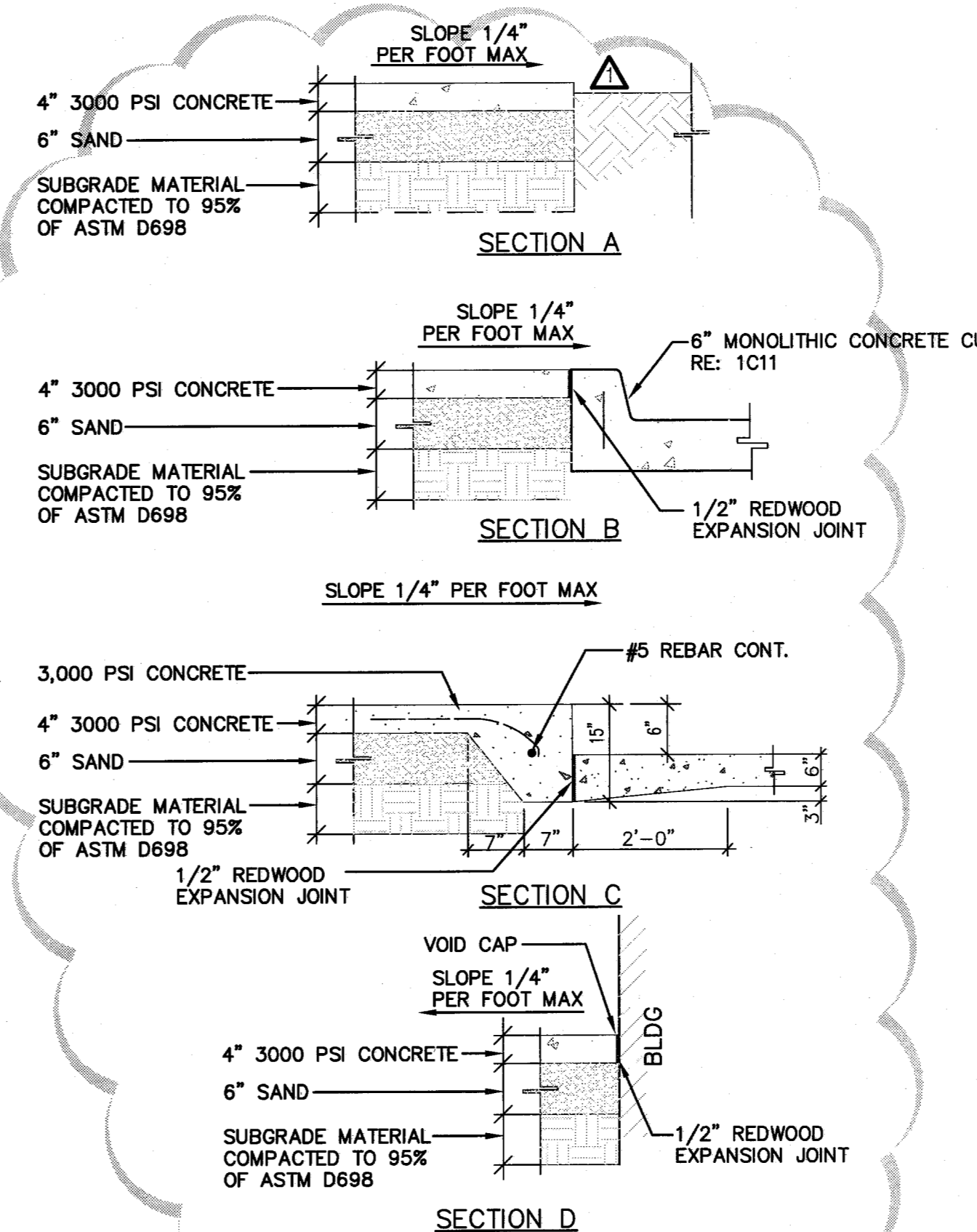
13 RAMP
N.T.S.



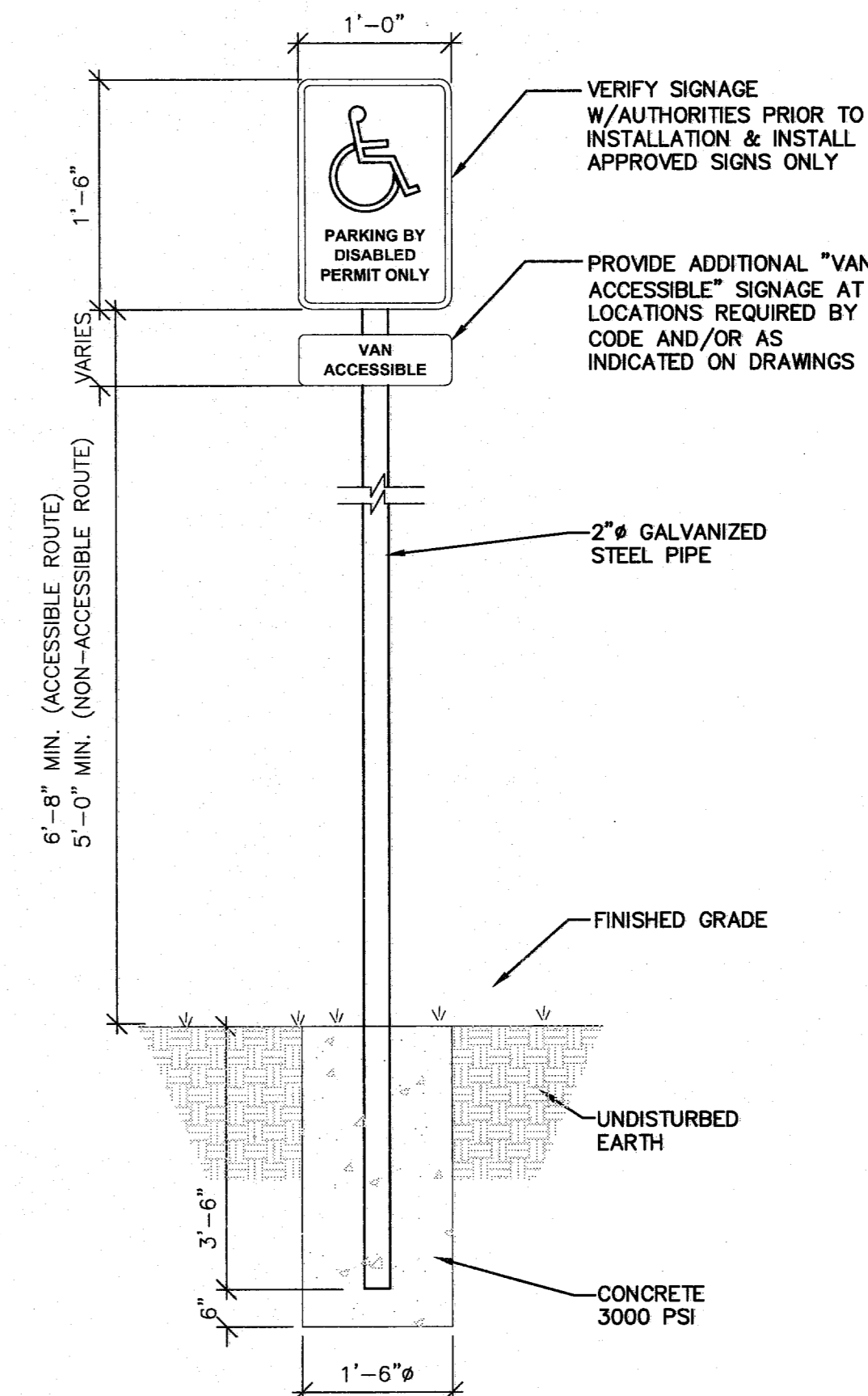
14 HANDICAP RAMP
N.T.S.



15 CONCRETE SIDEWALK
N.T.S.



16 SIDEWALK SECTIONS
N.T.S.



NOTES:
1. ALL SIGNS SHOWN SHALL CONFORM TO THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES.
2. ALL SIGNS SHOWN SHALL BE REFLECTORIZED TO SHOW THE SAME COLOR BY NIGHT AS BY DAY.
3. ALL SIGNS SHALL BE SECURELY MOUNTED ON GALVANIZED STEEL POSTS.
4. INSTALL QUANTITY AND AT LOCATIONS REQUIRED BY CODE AND/OR AS INDICATED ON DRAWINGS. CONFIRM ALL HANDICAPPED SIGNAGE CODES.

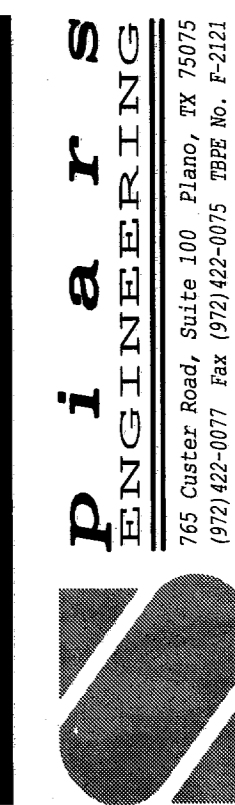
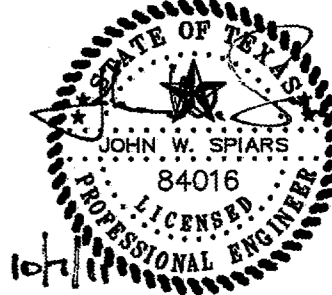
17 HANDICAP PARKING SIGN
N.T.S.



Restaurant Support Office
5800 TENNISON PARKWAY, SUITE 200
Tel: 972.769.9337 Fax: 972.769.3101

Store:
Raising Cane's
Store # 98
Belt Line Road
Addison, TX 75001
Prototype 2

Professional of Record:



Architect Information:



CSRS, Inc.
6767 Perkins Road Suite 200 Baton Rouge, LA 70808
Tel: 225.769.0546 Fax: 225.767.0060
www.csronline.com

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Sheet Title:

SITE DETAILS
(PRIVATE)

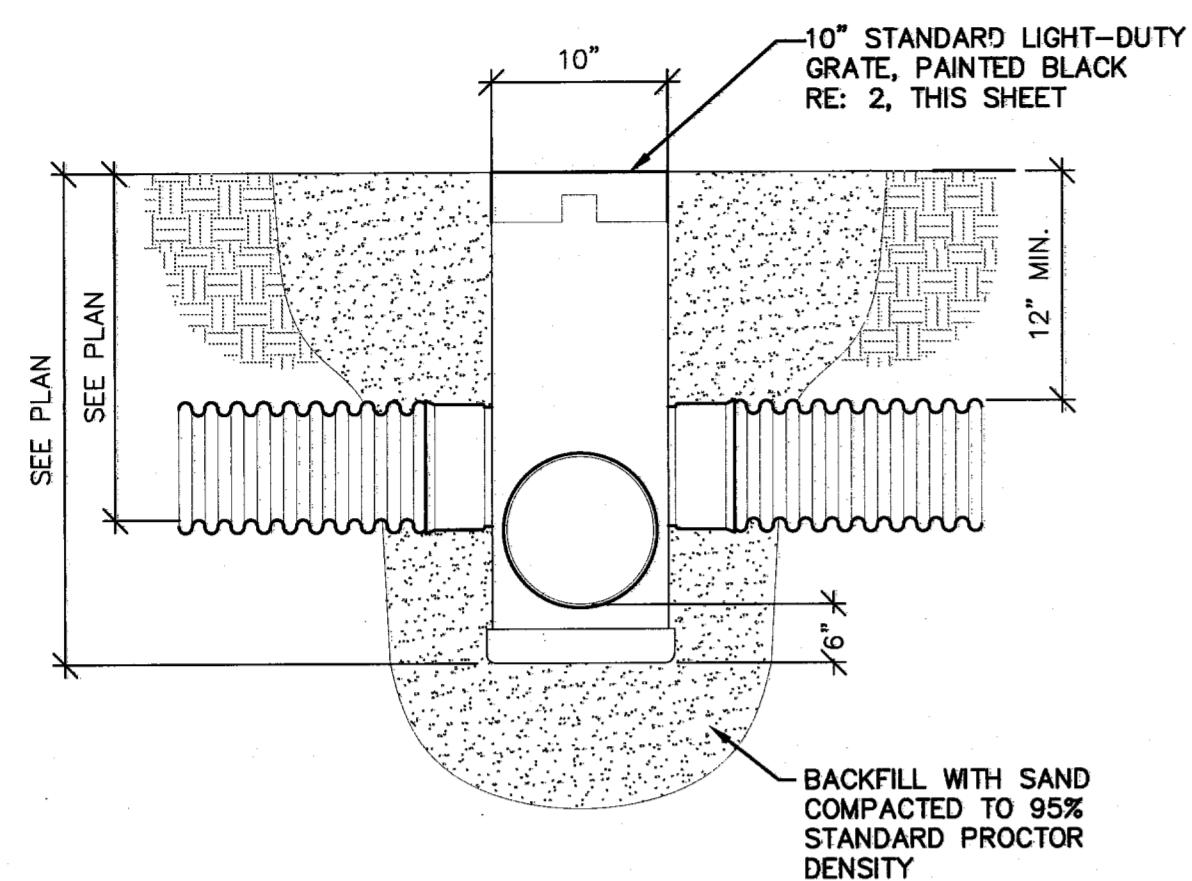
Date: October 07, 2011

Project Number: SEI No. 11-101

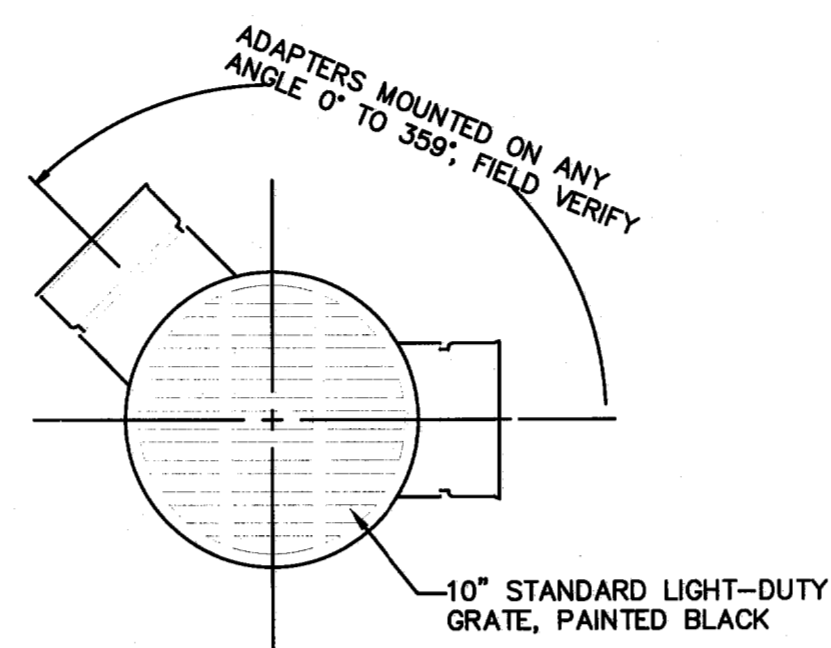
Drawn By: MPC

Sheet Number:

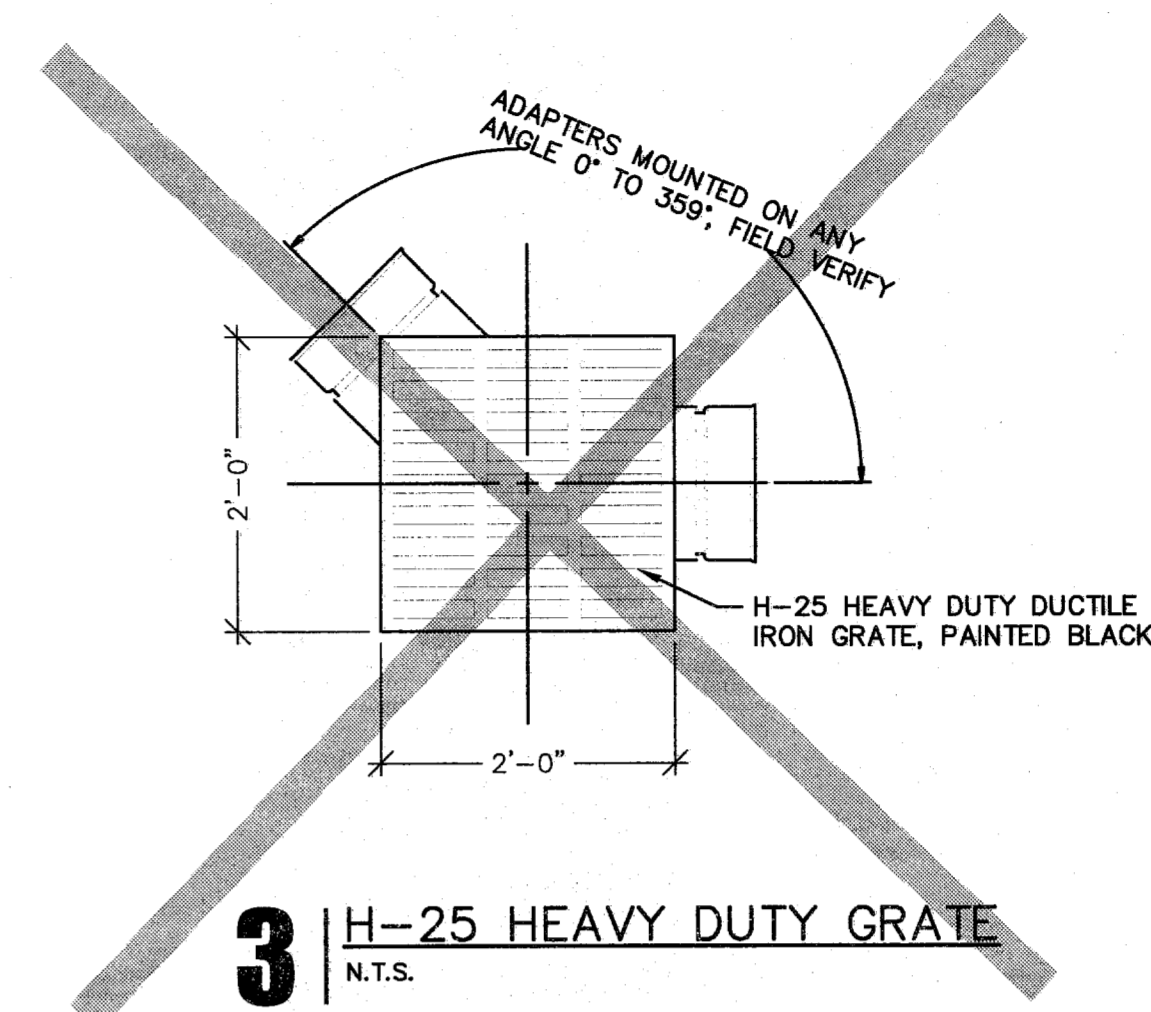
C11



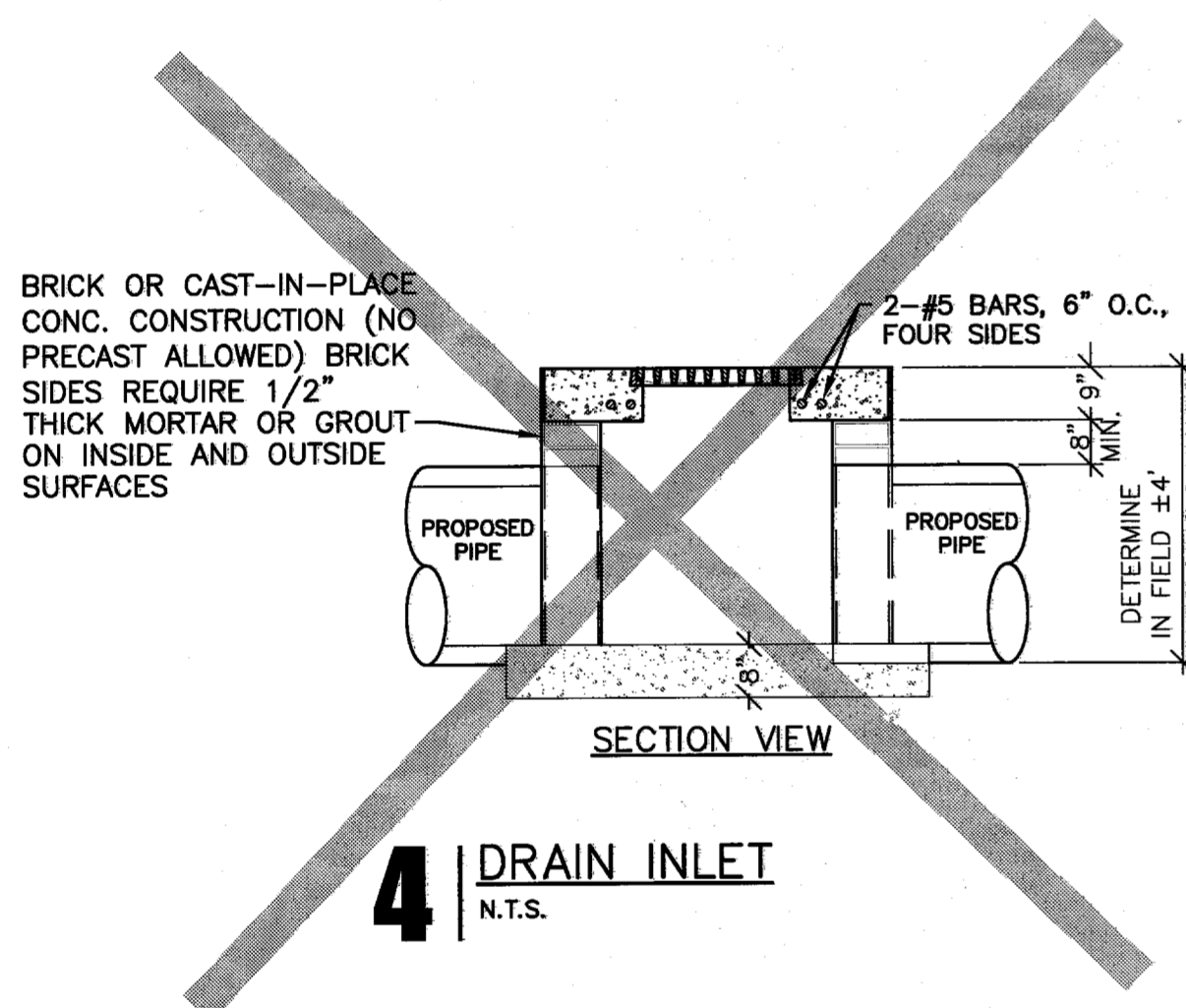
1 DRAIN BASIN WITH 10" GRATE
N.T.S.



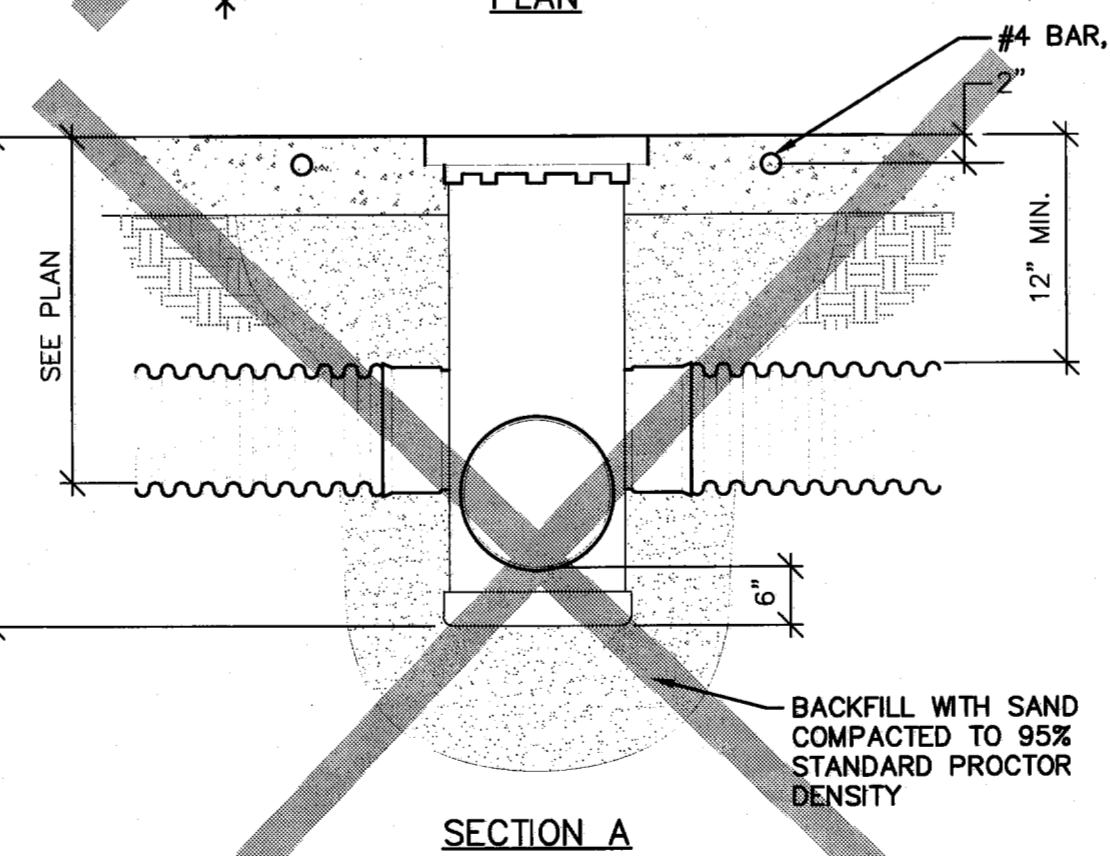
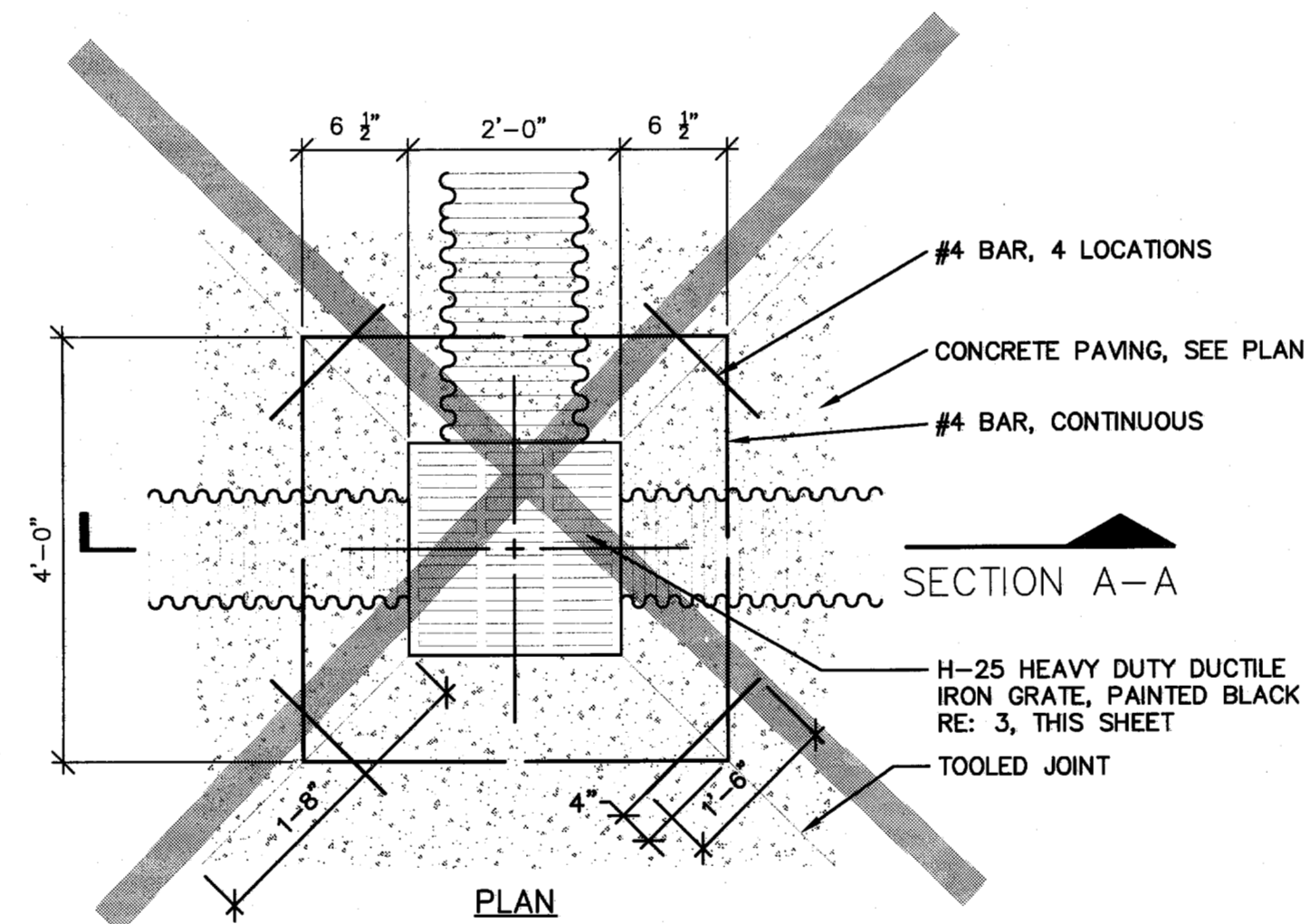
2 10" LIGHT DUTY GRATE
N.T.S.



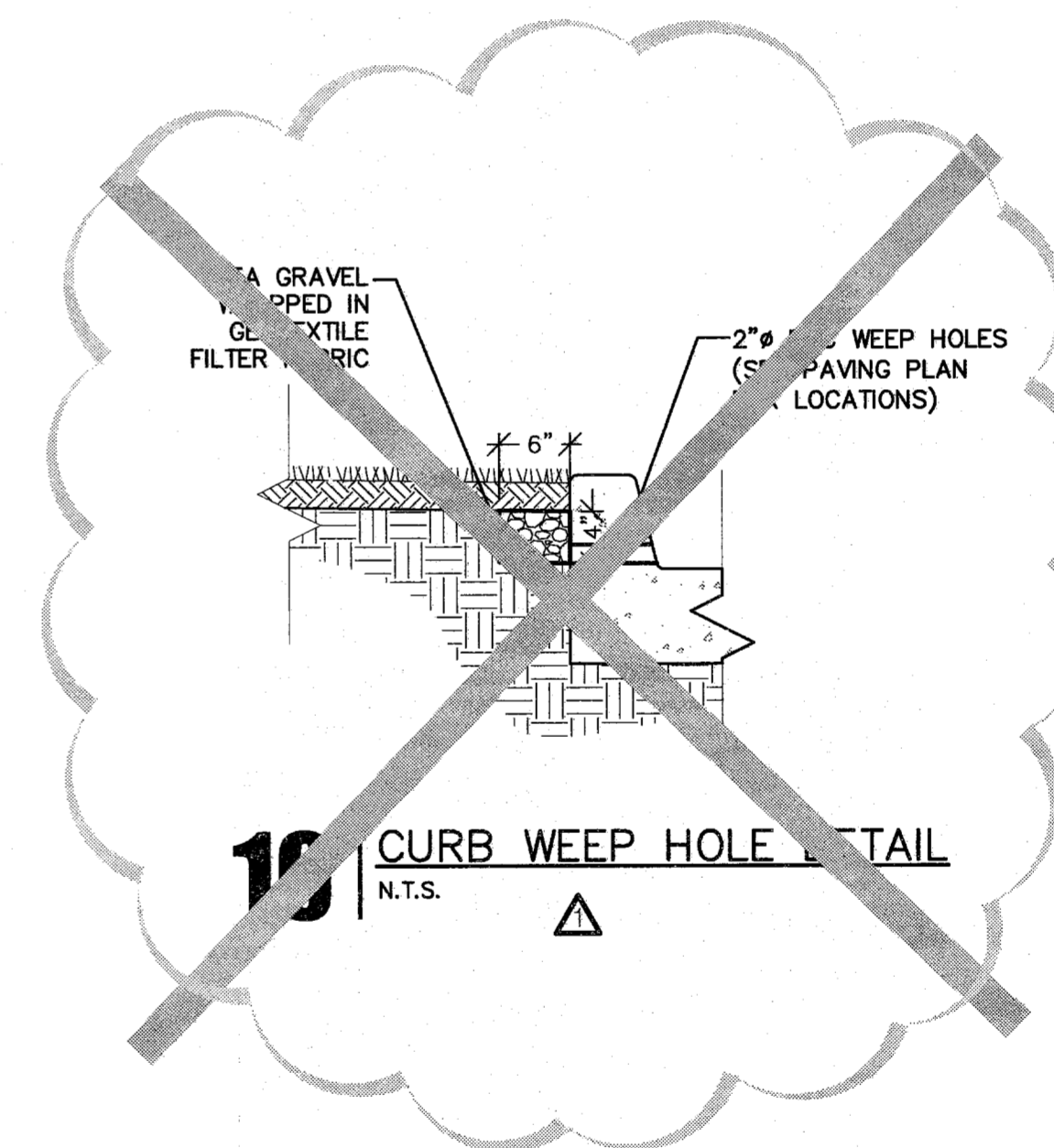
3 H-25 HEAVY DUTY GRATE
N.T.S.



4 DRAIN INLET
N.T.S.



6 DRAIN BASIN WITH 24" SQUARE GRATE
N.T.S.



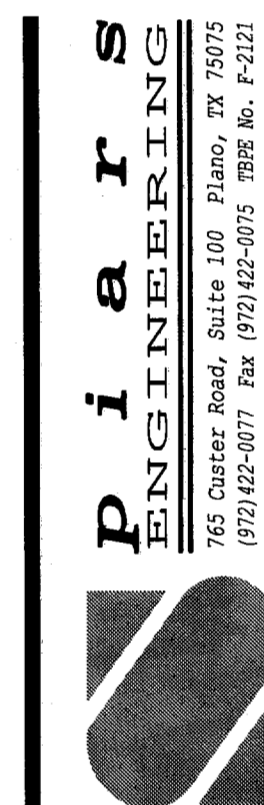
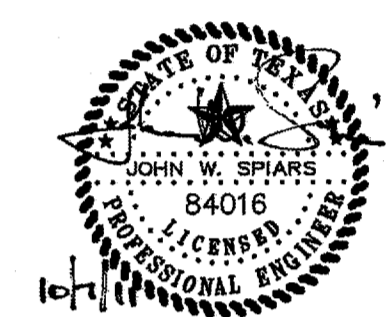
7 CURB WEEP HOLE DETAIL
N.T.S.



Restaurant Support Office
5800 TENNYSON PARKWAY, SUITE 200
Tel: 972.769.3357 Fax: 972.769.3101

Store:
Raising Cane's
Store # 98
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Addison, TX 75001
Prototype 2

Professional of Record:



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CSRS, Inc.
6767 Perkins Road Suite 200 Baton Rouge, LA 70808
Tele: 225.769-0546 Fax: 225.767-0060
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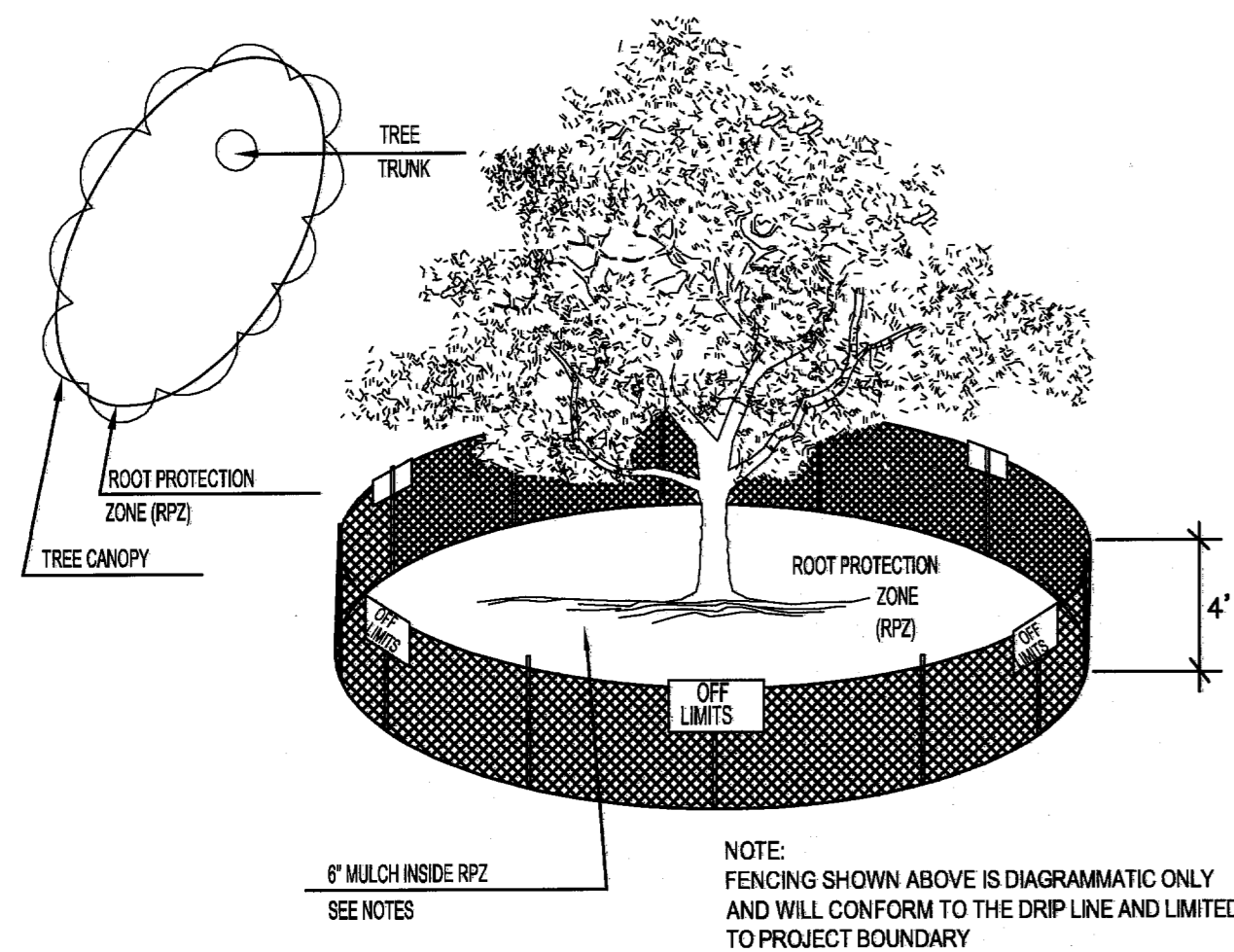
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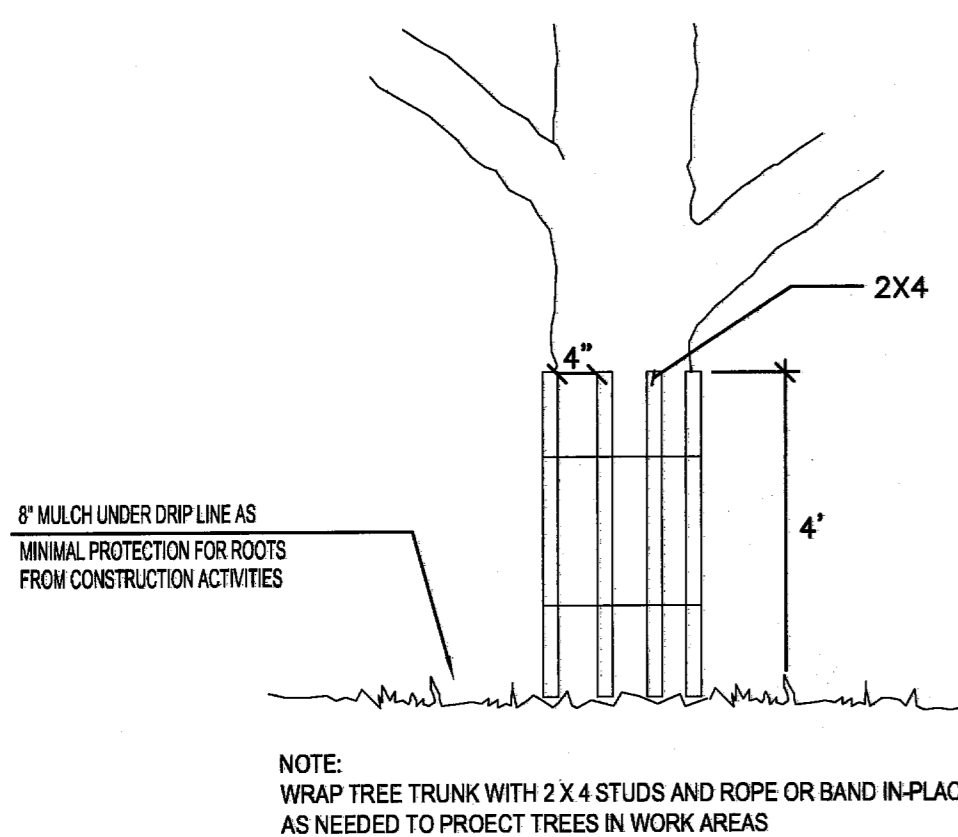
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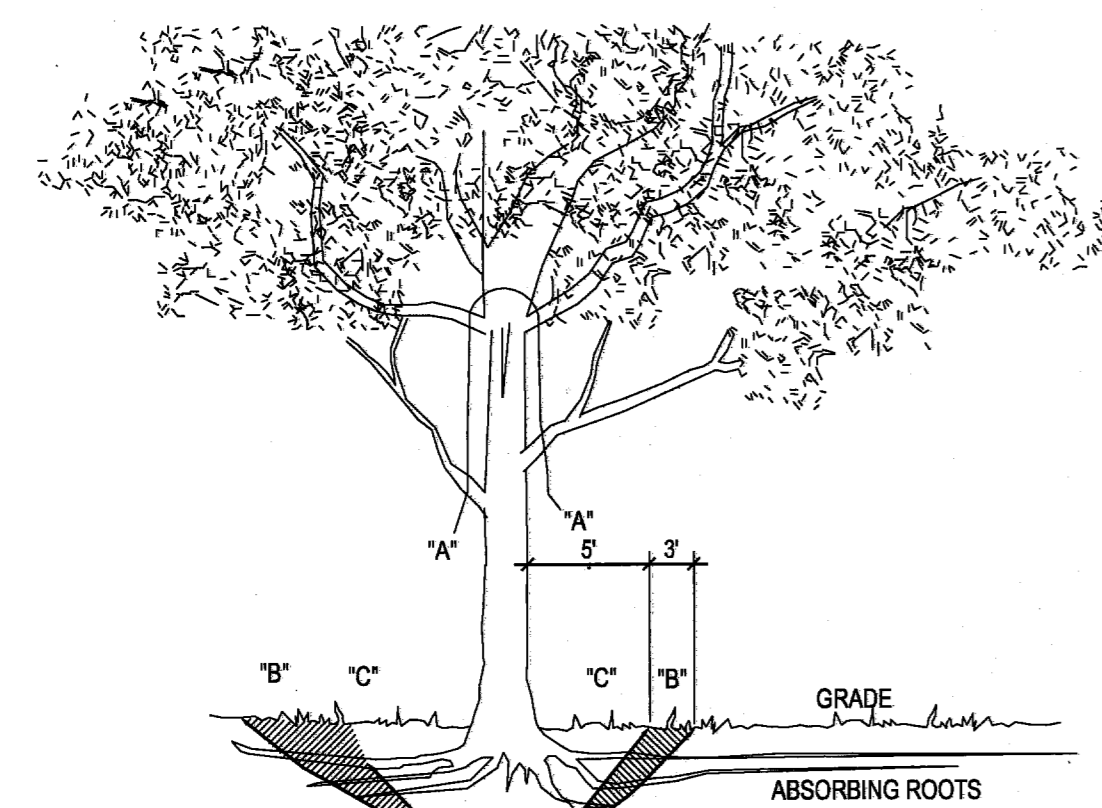
C12



01 TREE PROTECTION FENCE A NOT TO SCALE



02 TREE PROTECTION FENCE B NOT TO SCALE



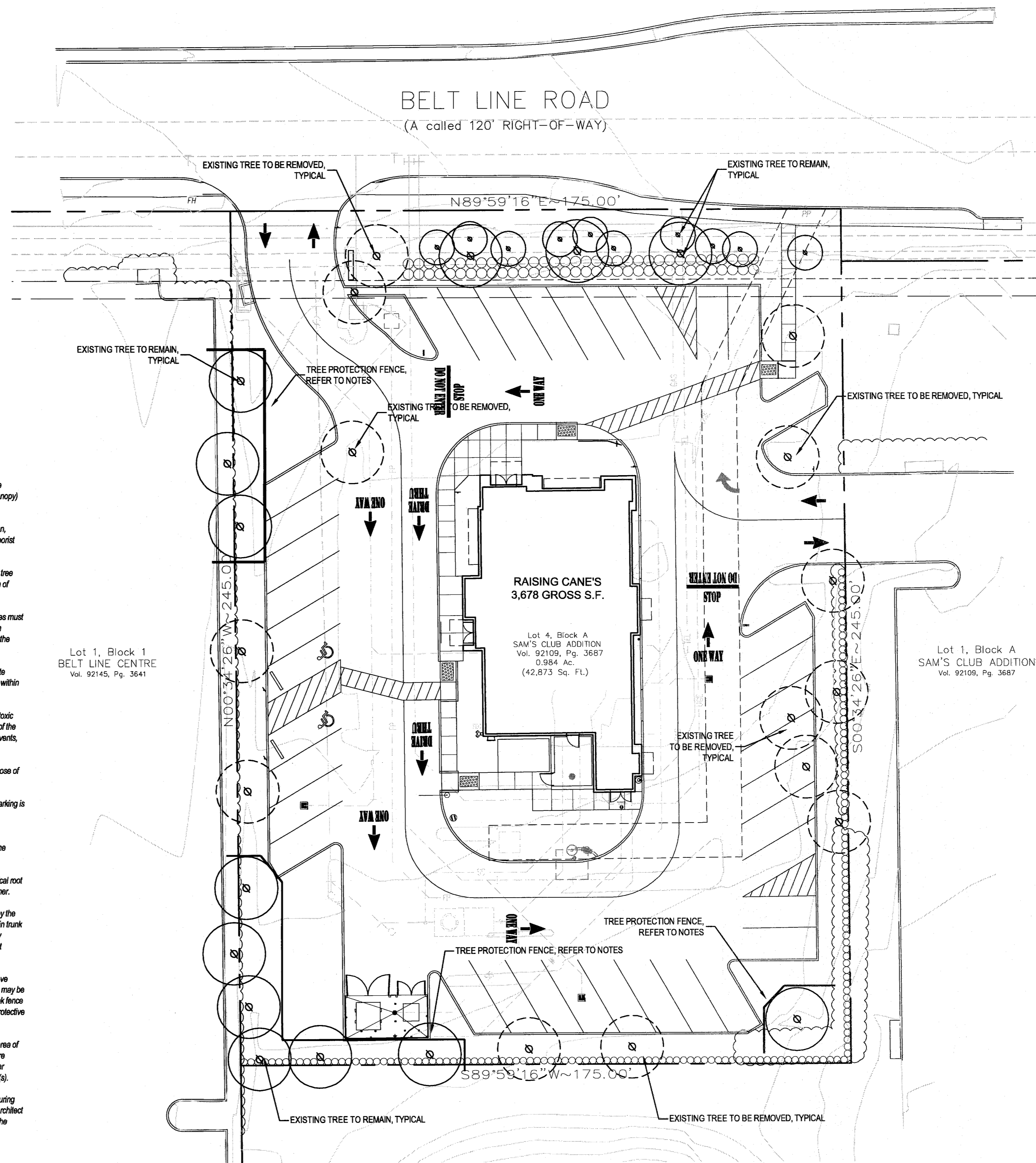
03 TREE REMOVAL DIAGRAM NOT TO SCALE

EXISTING TREE NOTES

- Existing trees to remain shall be protected during construction from tree structure damage and compaction of soil under and around drip line (canopy) of tree.
- If any root structure is damaged during adjacent excavation/construction, notify the Architect immediately. It is recommended that a licensed Arborist be secured for the treatment of any possible tree wounds.
- No disturbance of the soil greater than 4" shall be located closer to the tree trunk than 1/2 the distance of the drip line to the tree trunk. A minimum of 75% of the drip line and root zone shall be preserved at natural grade.
- Any fine grading done within the critical root zones of the protected trees must be done with light machinery such as a bobcat or light tractor. No earth moving equipment with tracks is allowed within the critical root zone of the trees.
- Material Storage: No materials intended for use in construction or waste materials accumulated due to excavation or demolition shall be placed within the limits of the drip line of any tree.
- Equipment Cleaning/Liquid Disposal: No equipment may be cleaned, toxic solutions, or other liquid chemicals shall be deposited within the limits of the drip line of a tree. This would include but not be limited to paint, oil, solvents, asphalt, concrete, mortar, primers, etc.
- Tree Attachments: No signs, wires or other attachments, other than those of a protective nature shall be attached to any tree.
- Vehicular Traffic: No vehicular and construction equipment traffic or parking is allowed within the limits of the drip line of trees.
- Boring of Utilities: May be permitted under protected trees in certain circumstances. The minimum length of the bore shall be the width of the tree's canopy and shall be a minimum depth of forty-eight (48) inches.
- Trenching: Any irrigation trenching which must be done within the critical root zone of a tree shall be dug by hand and enter the area in a radial manner.
- Tree Flagging: All trees to be removed from the site shall be flagged by the Contractor with bright red vinyl tape (3" width) wrapped around the main trunk at a height of four (4') feet above grade. Flagging shall be approved by Landscape Architect prior to any tree removal. Contractor shall contact Landscape Architect with 72 hour notice to schedule on-site meeting.
- Protective Fencing: All trees to remain, as noted on drawings, shall have protective fencing located at the tree's dripline. The protective fencing may be comprised of snow fencing, orange vinyl construction fencing, chain link fence or other similar fencing with a four (4') foot approximate height. The protective fencing will be located as indicated on the Tree Protection Detail(s).
- Bark Protection: In situations where a tree remains in the immediate area of intended construction, the tree shall be protected by enclosing the entire circumference of the tree's trunk with lumber encircled with wire or other means that does not damage the tree. Refer to Tree Protection Detail(s).
- Construction Pruning: In a case where a low hanging limb is broken during the course of construction, the Contractor shall notify the Landscape Architect immediately. In no instance shall the Contractor prune any portion of the damaged tree without the prior approval by the Landscape Architect.

EXISTING TREE PRUNING NOTES

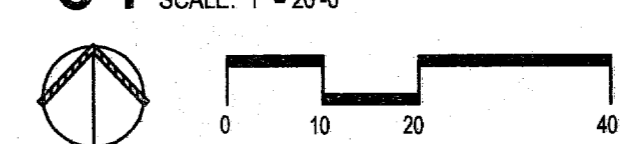
- Contractor shall provide a Class "C" pruning on all existing trees.
- This shall include at a minimum: removal of dead, dying, diseased weak branches, along main trunk structure and within branching area.
- Contractor shall include deep root feeding and invigoration of existing trees. This shall be organic based nutrients based for root growth and leaf growth stimulation.
- Contractor shall be required to chip all removed branches, leaves, etc.



EXISTING TREE LEGEND

- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED
- TREE PROTECTION FENCING TO REMAIN DURING CONSTRUCTION REFER TO 01A.1.00

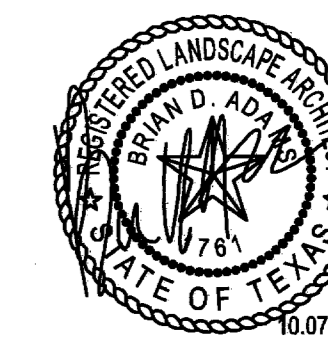
01 EXISTING TREE PLAN SCALE: 1" = 20'-0"



Restaurant Support Office
5800 Tompason Parkway, STE 200, Plano, TX 75024
Tel: 972 769-3357 Fax: 972 769-3101

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CSRS, Inc.
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www.csronline.com

SMR
landscape architects, inc.
1702 S. Green Street
Dallas, Texas 75225
Tel: 214 971-0993
Fax: 214 971-1566
Email: smr@csronline.com

Prototype Issue Date: August 1, 2010

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|---|------------|---------------------|
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Revisions:

| # | Date | Description |
|---|------------|---------------------|
| 1 | 10-07-2011 | PERMIT/OWNER REVIEW |

Sheet Title:

EXISTING TREE PLAN

Date: October 07, 2011

Project Number: 211057

Drawn By:

Sheet Number:

L1.00

SECTION 02800 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

Refer to bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

Work Included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

- 1. Planting (trees, shrubs, and grass)
2. Bed preparation and fertilization
3. Notification of sources
4. Water and Maintenance until final acceptance
5. Guarantee

1.3 REFERENCE STANDARDS

- A. American Standard for Nursery Stock published by American Association of Nurserymen: 27 October 1980, Edition; by American National Standards Institute, Inc. (Z60.1) - plant material.
B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
C. Texas Association of Nurserymen, Grades and Standards.
D. Horris Third, 1978 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- A. The Contractor shall, within ten (10) days following acceptance of bid, notify the Architect/Owner of the sources of plant materials and bed preparation required for the project.
B. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, and crushed stone. Samples shall be approved by Architect before use on project.
C. Product Data: Submit complete product data and specifications on all other specified materials.
D. Submit three representative samples of each variety of ornamental trees, shrubs, and groundcover plants for Architect's approval. When approved, tag, install, and maintain as representative samples for final installed plant materials.
E. File Certificates of Inspection of plant material by state, county, and federal authorities with Architect, if required.
F. Soil Analysis: Provide sandy loam soil analysis if requested by the Architect.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

- A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
B. All planting areas shall be conditioned as follows:
1. Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per manufacturers recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Series at the rate of twenty (20) pounds per one thousand (1,000) square feet.
2. All planting areas shall receive a two (2") inch layer of specified mulch.
3. Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.
C. Grass Areas:
1. Areas to be Solid Sod Bermudagrass: Blocks of sod should be laid joint to joint, (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gapped open, then watered thoroughly.
2. Areas to be Hydromulch Common Bermudagrass: Hydromulch with bermudagrass seed at a rate of two (2) pounds per one thousand (1,000) square feet. Use a 4' x 8' batter board against the bed areas.

3.2 INSTALLATION

- A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
B. Plant materials shall be delivered to the site only after the beds are prepared and area ready for planting. All alignments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and sun. Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
C. Position the trees and shrubs in their intended location as per plan.
D. Notify the Landscape Architect for inspection and approval of all positioning of plant materials.
E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.

JOB CONDITIONS

- A. General Contractor to complete the following punch list: Prior to Landscape Contractor installing any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the finish grade of sidewalks, drives, and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
B. General Contractor shall provide topsoil as described in Section 02200 - Earthwork.
C. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- A. Maintenance:
1. The Landscape Contractor will be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show a healthy growth and satisfactory foliage conditions.
2. Maintenance shall include watering of trees and plants, cultivation, weeding spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
3. A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on site inspection by Owner and Landscape Contractor will be completed prior to written acceptance.
4. After final acceptance of installation, the Landscape Contractor will not be required to do any of the above listed work.

- B. Guarantee:
1. Trees shall be guaranteed for a twelve (12) month period after acceptance. Shrubs and groundcover shall be guaranteed for twelve (12) months. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry has been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
a. Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including rots in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
b. At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
c. When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and inspected for full compliance with Contract requirements. All replacements are to be indicated under "Work of this section."

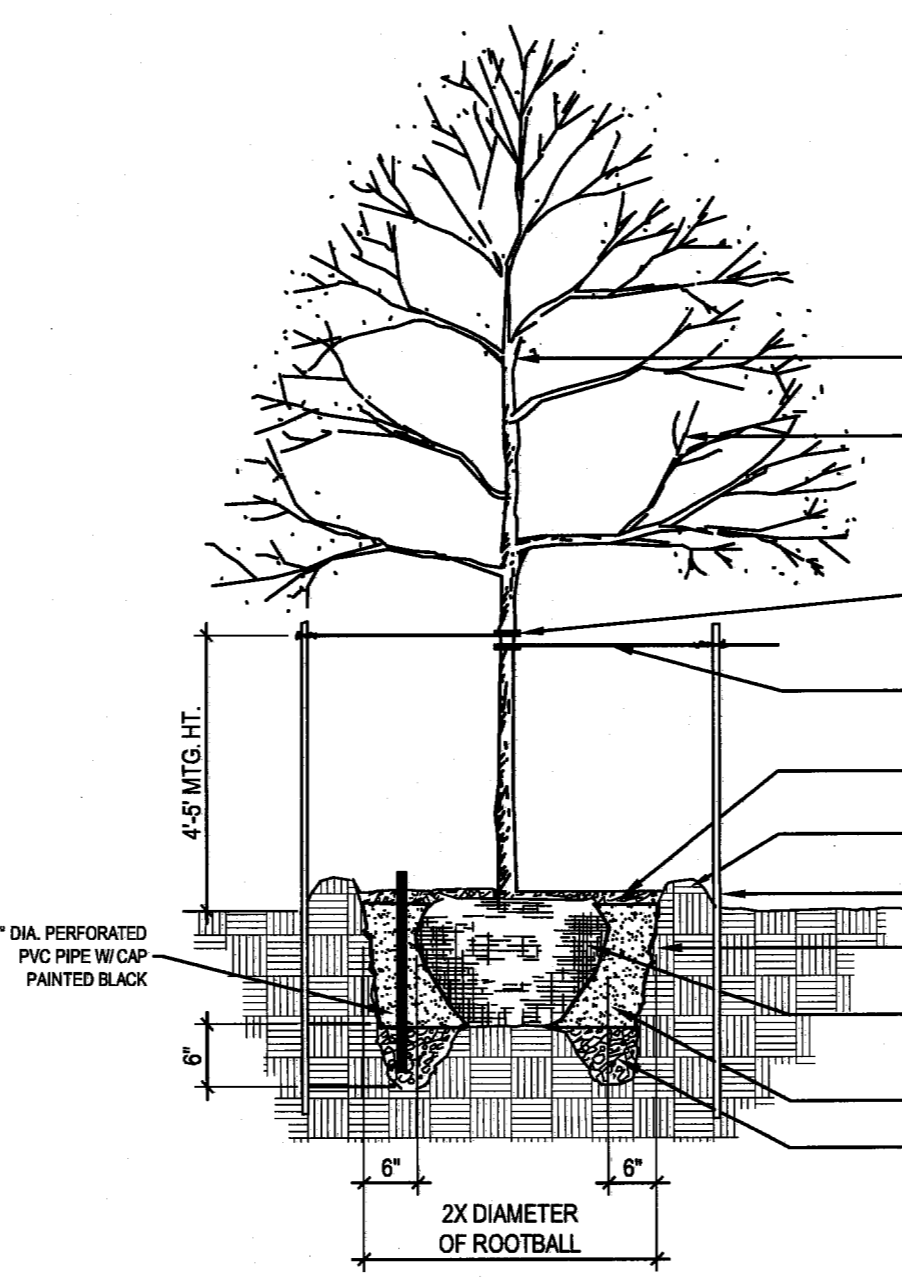
1.7 QUALITY ASSURANCE

- A. General: Comply with applicable Federal, State, County and Local regulations governing landscape materials and work.
B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.
C. Selection of Plant Material:

- 1. Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will insure the purchased materials will meet and/or exceed project specifications.
2. Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
3. Owner and/or Architect shall inspect all plant materials when reasonable at place of growth for compliance with requirements for genus, species, cultivar/variety, size, and quality.
4. Owner and/or Architect retains the right to further inspect all plant material upon arrival at the site and during installation for size and condition of root balls, limbs, branching habit, insects, injuries, and latent defects.
5. Owner and/or Architect may reject unsatisfactory or defective material at any time during the process of work. Remove rejected materials from the site immediately. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. Preparation:
1. Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development.
2. Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.



01 TREE PLANTING DETAIL NOT TO SCALE

2.2 SOIL PREPARATION MATERIALS

- A. Sandy Loam:
1. Frable, fertile, dark, loamy soil free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallagrass or Nutgrass shall be rejected.
2. Physical properties as follows:
Clay - between 7-27 percent
Silt - between 15-25 percent
Sand - less than 52 percent
3. Organic matter shall be 3%-10% of total dry weight.
4. If requested, provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of courses and fine textured material.
C. Premixed Bedding Soil as supplied by Vital Earth Resources, Gladwinville, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.
D. Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
E. Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
F. Organic Fertilizer: Fertilite, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
A. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulphur and 4% iron, plus micronutrients.
B. Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

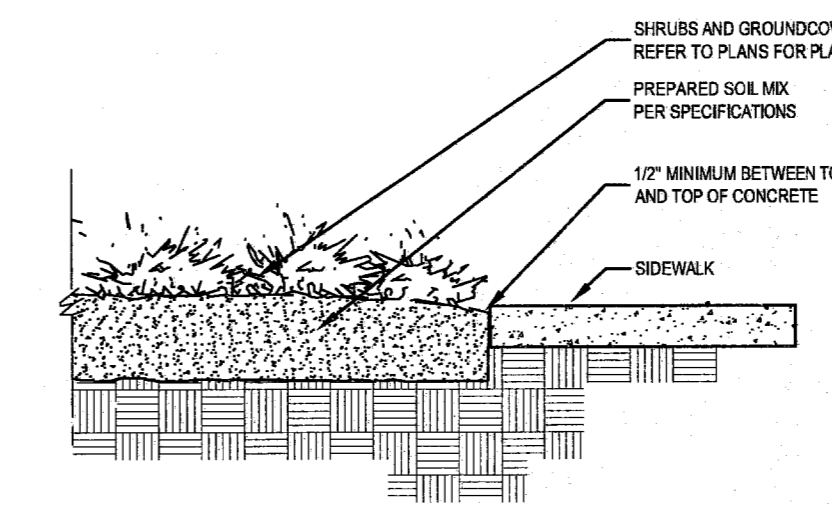
PART 2 - PRODUCTS

2.1 PLANTS

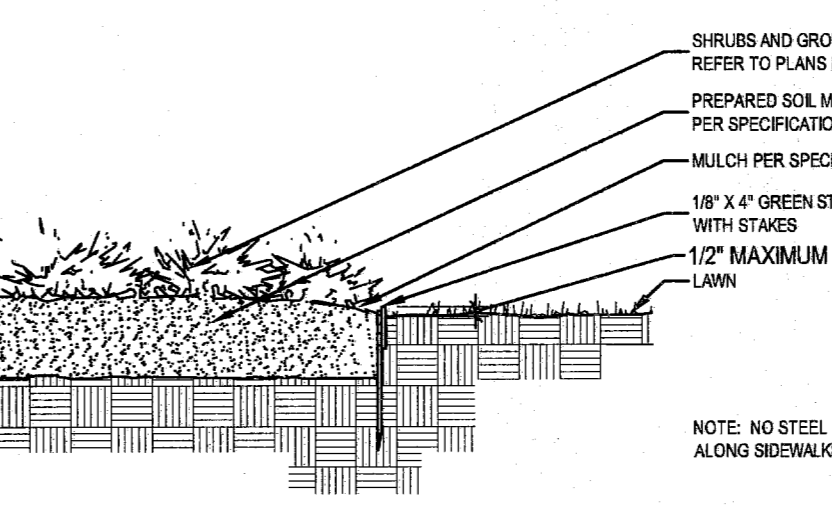
- A. General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Architect and his decision as to their acceptability shall be final.
B. Quantities: The drawings and specifications are complementary. Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
C. Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched, and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable deformations, insect eggs and larvae and are to be of specimen quality.
D. Approval: All plant materials shall be subject to the approval of the Owner. All plants which are found unsuitable in growth, or in any unhealthy, badly shaped, or undersized condition will be rejected by the Landscape Architect, either before or after planting, and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plants as specified.
E. Trees shall be healthy, full-branched, well-shaped and shall meet the trunk diameter and height requirements of the plant schedule. Balls shall be firm, neat, slightly tapered, and well wrapped in burlap. Any tree loose in the ball or with broken ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter. Measured six (6") inches above ball.
F. Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect, shall be executed by the Landscape Contractor at no additional cost to the Owner.

2.3 MISCELLANEOUS MATERIALS

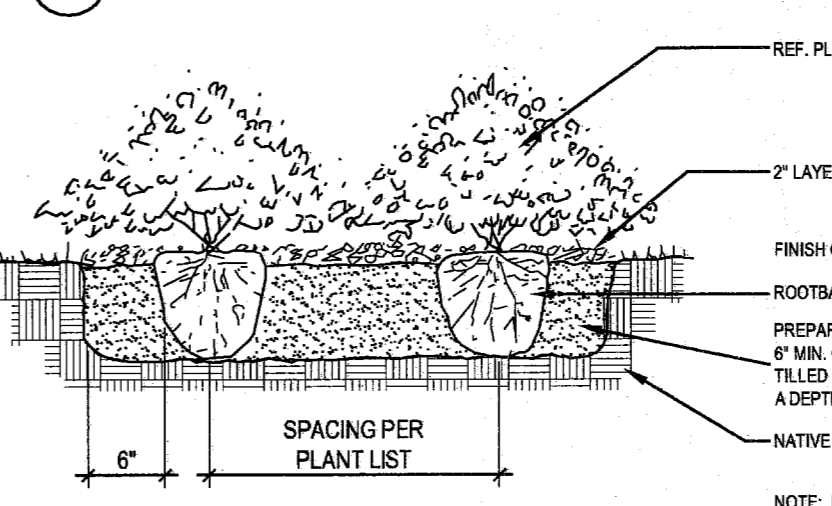
- A. Steel Edging: Shall be Ryerson "Estate Curbing", 18" x 4" with stakes 4" on center.
B. Staking Material for Shade Trees:
1. Post: Studed T-Post, #1 Armoac with anchor plate; 6'-0" length; paint green.
2. Wire: 12 gauge, single strand, galvanized wire.
3. Rubber hose: 2 ply, fiber reinforced hose, minimum 1/2 inch inside diameter. Color: Black.
C. Gravel: Washed native pea gravel, graded 1 in. to 1-1/2 in.
D. Filter Fabric: Miraf 140N by Colanese Fibers Marketing Company, available at Lofland Co., (214) 631-5250 or approved equal.



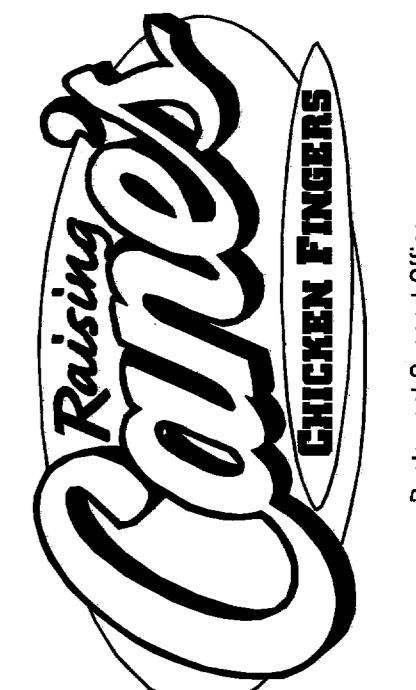
04 SIDEWALK / MULCH DETAIL NOT TO SCALE



02 STEEL EDGING DETAIL NOT TO SCALE

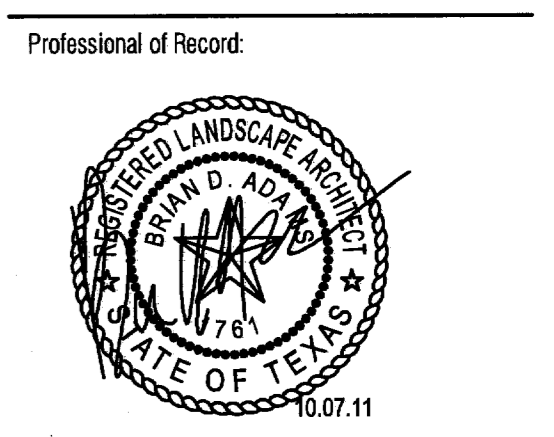


03 SHRUB / GROUND COVER DETAIL NOT TO SCALE



Restaurant Support Office
5800 Thompson Parkway, STE. 200, Plano, TX 75024
Tel: 972.769.3357 Fax: 972.769.3101

Store:
Raising Cane's
Store # 98
Belt Line Road
Addison, TX 75001
Prototype 2



Architect Information:
CSRS
architects engineers

CSRS, Inc.
6767 Perkins Road Suite 200 Baton Rouge, LA 70808
Tel: 225 769-0546 Fax: 225 767-0060
www.csronline.com

STW landscape architects, inc.
1524 S. One Street
Baton Rouge, LA 70802
Tel: 224.871.5242
Fax: 224.871.5243
Email: stw@stwl.com

Prototype Issue Date: August 11, 2010

Table with columns for Design Bulletin Updates, Date Issued, and Bulletin Number.

FOR CONSTRUCTION

Table with columns for Revisions, #, Date, and Description.

Sheet Title:
LANDSCAPE
SPECIFICATIONS
Date: October 07, 2011
Project Number: 211057
Drawn By:
Sheet Number:

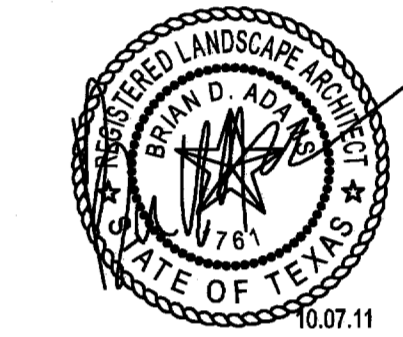
L1.02



Restaurant Support Office
5800 Tenyson Parkway, STE. 200, Plano, TX 75024
Tel: 972 769-3357 Fax: 972 769-3101

Store:
Raising Cane's
Store # 98
Belt Line Road
Addison, TX 75001
Prototype 2

Professional of Record:



Architect Information:



CSRS, Inc.
6767 Parkins Road Suite 200 Baton Rouge, LA 70808
Tel: 225 769-0546 Fax: 225 767-0060
www.csronline.com

SMT
landscape architects, inc.
17015 Glick Street
Dallas, Texas 75242
Tel: 214 471-0222
Fax: 214 471-0242
Email: engineering@smtdallas.com

Prototype Issue Date: August 1, 2010

Design Bulletin Updates:

Date Issued: Bulletin Number:

| # | Date | Description |
|---|------------|---------------------|
| 1 | 10-07-2011 | PERMIT/OWNER REVIEW |

FOR CONSTRUCTION

Revisions:

| # | Date | Description |
|---|------------|---------------------|
| 1 | 10-07-2011 | PERMIT/OWNER REVIEW |

Sheet Title:

LANDSCAPE PLAN

Date: October 07, 2011

Project Number: 211057

Drawn By:

Sheet Number:

L1.01

LANDSCAPE NOTES

- Contractor shall verify all existing and proposed site elements and notify Architect of any discrepancies. Survey data of existing conditions was supplied by others.
- Contractor shall locate all existing underground utilities and notify Architect of any conflicts. Contractor shall exercise caution when working in the vicinity of underground utilities.
- Contractor is responsible for obtaining all required landscape and irrigation permits.
- Contractor to provide a minimum 2% slope away from all structures.
- All planting beds and lawn areas to be separated by steel edging. No steel to be installed adjacent to sidewalks or curbs.
- All lawn areas to be 100% irrigated with an underground automatic irrigation system and shall include rain and freeze sensors.
- All lawn areas to be Solid Sod Bermudagrass, unless otherwise noted on the drawings.

MAINTENANCE NOTES

- The Owner, tenant and their agent, if any, shall be jointly and severally responsible for the maintenance of all landscape.
- All landscape shall be maintained in a neat and orderly manner at all times. This shall include mowing, edging, pruning, fertilizing, watering, weeding and other such activities common to landscape maintenance.
- All landscape areas shall be kept free of trash, litter, weeds and other such material or plants not part of this plan.
- All plant material shall be maintained in a healthy and growing condition as is appropriate for the season of the year.
- All plant material which dies shall be replaced with plant material of equal or better value.
- Contractor shall provide separate bid proposal for one year's maintenance to begin after final acceptance.

GENERAL LAWN NOTES

- Fine grade areas to achieve final contours indicated on civil plans.
- Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
- Imported topsoil shall be natural, friable soil from the region, known as bottom soil, free from lumps, clay, toxic substances, roots, debris, vegetation, stones, containing no salt and black to brown in color.
- All lawn areas to be fine graded, irrigation trenches completely settled, and finish grade approved by the Owner's Construction Manager or Architect prior to installation.
- All rocks 3/4" diameter and larger, dirt clods, sticks, concrete spalls, etc. shall be removed prior to placing topsoil and any lawn installation.
- Contractor shall provide (1") one inch of imported topsoil on all areas to receive lawn.

LANDSCAPE TABULATIONS

SITE REQUIREMENTS
Requirements: 20% of gross site to be landscape
Total Site: 42,872 s.f.
Required: 8,574 s.f. (20%)
Provided: 12,136 s.f. (28%)

STREET FRONTAGE
Requirements: 20' buffer along street frontage
(1) tree 4" cal. per 20 l.f., (8) shrubs per 20 l.f.

Belt Line Road: 150 l.f. (less drives)
Required: (8) trees, 4" cal.
(58) shrubs, 5 gal.
Provided: (1) tree, 4" cal.
(3) existing trees, 8" - 10" cal.
(8) existing ornamental trees, 8" ht.
(88) existing shrubs, 5 gal.

PARKING LOT SCREEN
Requirements: 20' ht., 3' o.c., double staggered row
Provided: 24" ht., 3' o.c. linear row

PERIMETER LANDSCAPE
Requirements: 5' wide buffer, (1) 4" cal. tree and (8) shrubs per 35 l.f.

West Property Line: 220 l.f. (less drives)
Required: (8) trees, 4" cal.
(50) shrubs, 5 gal.
Provided: (5) trees, 4" cal.
(1) existing tree, 8" cal.
(70) existing shrubs, 5 gal.

East Property Line: 220 l.f. (less drives)
Required: (8) trees, 4" cal.
(50) shrubs, 5 gal.
Provided: (2) trees, 4" cal.
(1) existing tree, 8" cal.
(70) existing shrubs, 5 gal.

PARKING LOT - INTERIOR LANDSCAPE
Requirement: 8% of the parking area must be landscape
Parking lot: 24,919 s.f.
Required: 1,993 s.f. (8%)
Provided: 2,390 s.f. (9.5%)

PARKING LOT
Requirement: (1) tree per 10 regular spaces
Total Parking: 25 spaces
Required: (4) trees
Provided: (4) trees, 4" cal.

SOLID SOD NOTES

- Fine grade areas to achieve final contours indicated. Leave areas to receive topsoil 3" below final desired grade in planting areas and 1" below final grade in turf areas.
- Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
- Contractor to coordinate with on-site Construction Manager for availability of existing topsoil.
- Plant sod by hand to cover indicated area completely. Insure edges of sod are touching. Top dress joints by hand with topsoil to fill voids.
- Roll grass areas to achieve a smooth, even surface, free from unnatural undulations.
- Water sod thoroughly as sod operation progresses.
- Contractor shall maintain all lawn areas until final acceptance. This shall include, but not limited to: mowing, watering, weeding, cutting, clearing and replacing dead or bare areas to keep plants in a vigorous, healthy condition.
- Contractor shall guarantee establishment of an acceptable turf area and shall provide replacement from local supply if necessary.
- If installation occurs between September 1 and March 1, all sod areas to be over-seeded with Winter Ryegrass, at a rate of (4) pounds per one thousand (1000) square feet.

IRRIGATION REPAIR SPECIFICATIONS

- Contractor shall perform site visit prior to bidding and construction, to review extent of existing irrigation system.
- Contractor shall be responsible for verifying conditions of existing irrigation system. Contractor shall be responsible for maintaining the integrity of existing irrigation where possible, and if not, repair as needed, including but not limited to irrigation controller, meter, sleeving, etc.

LAWN REPAIR NOTES

- All lawn areas damaged during construction to be repaired with solid sod and raked free of debris.
- Adjust damaged areas to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
- All areas to be repaired must be planted by hand to cover area completely. Insure edges of sod are touching. Top dress joints by hand with compost to fill voids.
- Roll repaired areas to achieve a smooth, even surface, free from unnatural undulations.

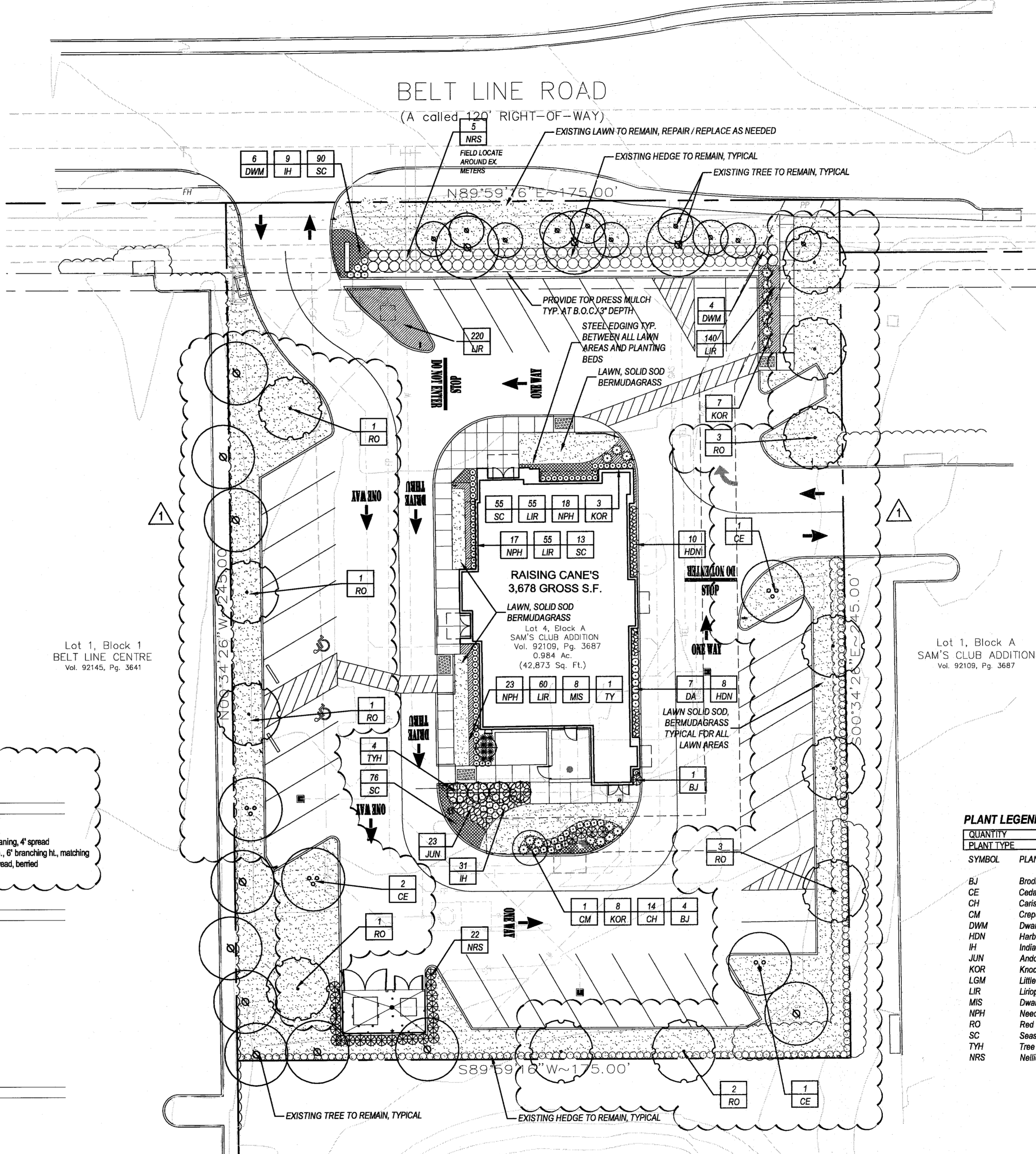
PLANT LIST

| TREES | QTY. | TYPE | COMMON NAME | BOTANICAL NAME | SIZE | REMARKS |
|-------|------|------|-------------------|--------------------------------|---------|--|
| | 4 | CE | Cedar Elm | Ulmus crassifolia | 6" cal. | B&B, 16' ht., 6' spread, 6' branching ht. |
| | 1 | CM | Crape Myrtle | Lagerstroemia indica 'Natchez' | 8" ht. | container grown, 3-5 trunk, no cross caning, 4' spread |
| | 12 | RO | Red Oak | Quercus shumardii | 6" cal. | container grown, 16' ht., 6' spread min., 6' branching ht., matching |
| | 5 | TYH | Tree Yaupon Holly | Ilex vomitoria | 8" ht. | B&B, 3-5 cane, no cross caning, 4' spread, berried |

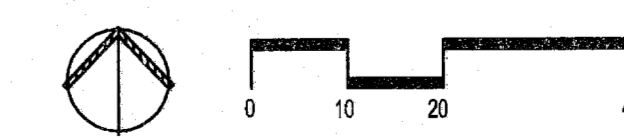
| SHRUBS | QTY. | TYPE | COMMON NAME | BOTANICAL NAME | SIZE | REMARKS |
|--------|------|------|-----------------------------|----------------------------------|---------|---|
| | 7 | DA | Dwarf Abelia 'Edw. Goucher' | Abelia sp. 'Edward Goucher' | 5 gal. | container, full plant, 24" o.c. |
| | 5 | BJ | Brodie Juniper | Juniperus virginiana 'Brodie' | 10 gal. | container grown, full to base, 36" o.c. |
| | 14 | CH | Carissa Holly | Ilex cornuta 'Carissa' | 5 gal. | container full, 20" spread, 24" o.c. |
| | 10 | DWM | Dwarf Wax Myrtle | Myrica pauciflora | 5 gal. | container full, 24" spread, 24" o.c. |
| | 18 | HDN | Harbor Dwarf Nandina | Nandina domestica 'Harbor Dwarf' | 5 gal. | container full to base, 24" o.c. |
| | 10 | IH | Indian Hawthorne | Raphiolepis indica 'Clara' | 5 gal. | container full, 30" ht. |
| | 23 | JUN | Andorra Juniper | Juniperus lobata 'Andorra' | 5 gal. | container full, 20" spread, 24" o.c. |
| | 18 | KOR | Knockout Rose | Rosa 'Knockout' | 10 gal. | container full, 36" o.c. |
| | 8 | MIS | Dwarf Miscanthus | Miscanthus sinensis 'Yaku Jima' | 10 gal. | container full, 24" o.c. |
| | 58 | NPH | Needlepoint Holly | Ilex cornuta 'Needlepoint' | 10 gal. | container full, 20" spread, 24" o.c. |
| | 27 | NRS | Nellie R. Stevens Holly | Ilex sp. 'Nellie R. Stevens' | 10 gal. | container, full to base |

| GROUNDCOVERS | QTY. | TYPE | COMMON NAME | BOTANICAL NAME | SIZE | REMARKS |
|--------------|------|------|------------------------------------|---------------------------------|---------|---------------------------|
| | 530 | LJR | Big Blue Linopoe | Liriodendron muscari 'Big Blue' | 4" pots | container full, 12" o.c. |
| | 234 | SC | Seasonal Color Common Bermudagrass | Cynodon dactylon | | solid sod, refer to notes |

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.



01 LANDSCAPE PLAN
SCALE: 1" = 20'-0"



TCEQ 2009 NOTES

- All irrigation equipment to be located no closer than 4" to any pavement and / or structure
- Electrical splices at each valve and controller only.
- Irrigation in Texas is regulated by the Texas Commission on Environmental Quality (TCEQ) MC-175 / P. O. BOX 13097 Austin, Texas 78711-3097 www.tceq.state.tx.us

BUBBLER PIPING CHART

- 1-5 BUBBLERS - 1/2" PIPE
- 6-10 BUBBLERS - 3/4" PIPE
- 11-20 BUBBLERS - 1" PIPE
- 21-30 BUBBLERS - 1 1/4" PIPE
- 31-40 BUBBLERS - 1 1/2" PIPE

IRRIGATION LEGEND

- WM LX-4 4" Pop-up Spray Head with a Plastic MPR Nozzle
- WM LX-12 12" Pop-up Spray Head with a Plastic MPR Nozzle
- IRRTROL 533 BUBBLERS
- WM 11000 Series Control Valves
- RAINBIRD XZZ-100-PRF Med. Flow Zone Control Kit with Valve, Basket Filter, and Pressure Regulator
- Weathermatic ET Based System Controller with Weather Monitor
- WATER METER, SIZE AS INDICATED
- D.C.A., SIZE AS INDICATED
- PVC CLASS 200 LATERAL LINE
- PVC CLASS 200 MAINLINE
- PVC SCHEDULE 40 SLEEVING
- VALVE SIZE
- NETAFIM TECHNICAL DL6-1210 (16" LATERAL SPACING, 12" EMITTER SPACING)
- PVC LATERAL PIPING SIZED AS REQUIRED
- INSTALL ALL EQUIPMENT ACCORDING TO MANUFACTURERS SPECIFICATIONS
- NETAFIM DISC FILTER #DF100-080
- NETAFIM PRESSURE REGULATOR #PRV15025
- INSTALL ALL EQUIPMENT ACCORDING TO MANUFACTURERS SPECIFICATIONS
- 2" Master Valve
- 2" PRV
- 2" Backflow per City code
- 2" Y Strainer
- 2" Ball Valve
- Copper Pipe between Meter and Ball Valve
- Dedicated Irrigation Water Meter
- Verify size and location per Civil Plans

SLEEVING NOTES

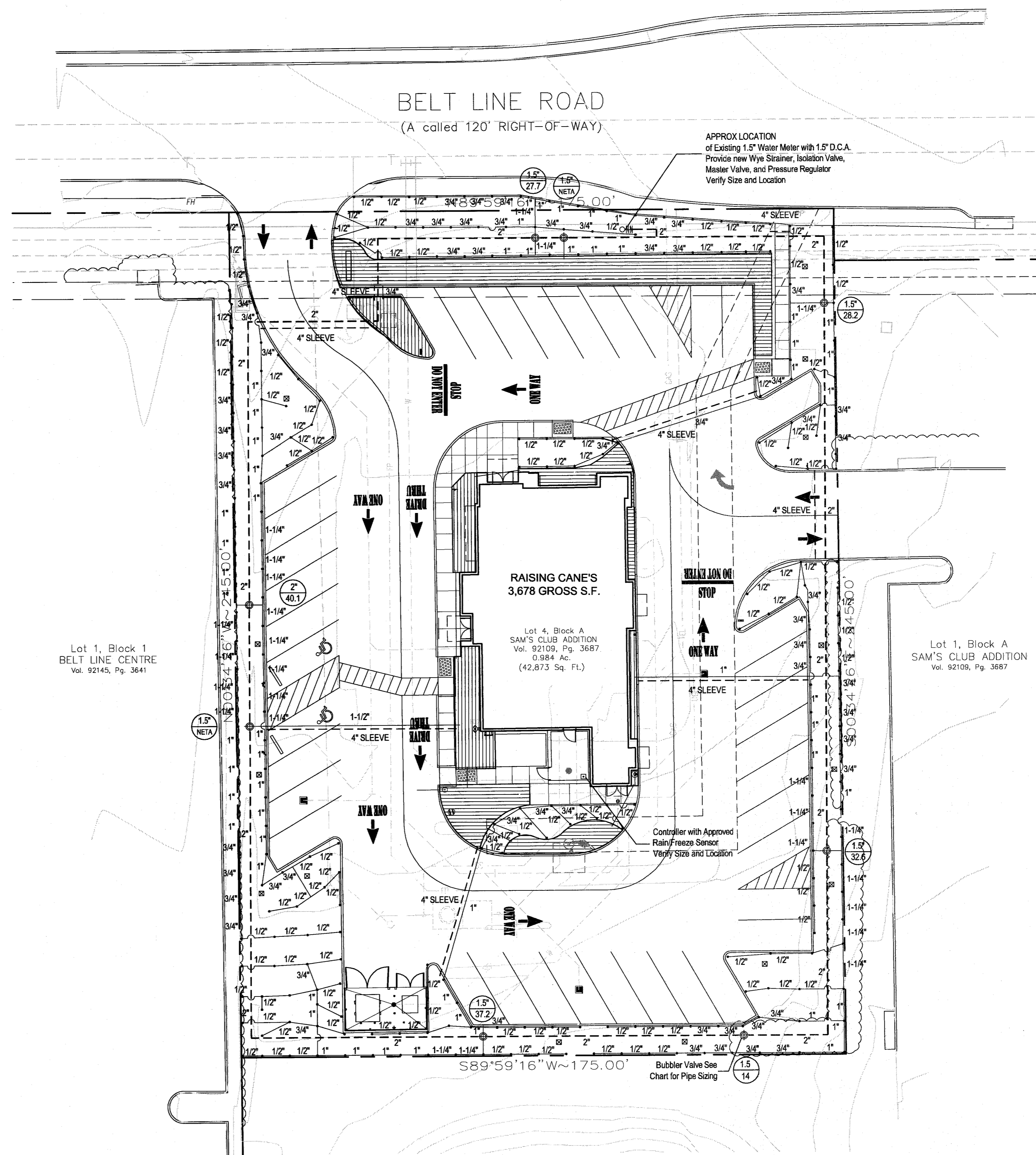
- Contractor shall lay sleeves and conduits at twenty-four (24") inches below finish grade of the top of pavement.
- Contractor shall extend sleeves one (1') foot beyond edge of all pavement.
- Contractor shall cap pipe ends using PVC caps.
- All sleeves shall be Schedule 40 PVC pipe.
- Contractor shall furnish Owner and Irrigation Contractor with an 'as-built' drawing showing all sleeve locations.

IRRIGATION NOTES

- All sprinkler equipment numbers reference the Weathermatic equipment catalog unless otherwise indicated.
- LAWN SPRAY HEADS are WM LX-4 installed as per detail shown.
- SHRUB SPRAY HEADS are WM LX-12 installed as per detail shown.
- ELECTRIC CONTROL VALVES shall be WM 11000 SERIES installed per detail shown. Size valves as shown on plan. Valves shall be installed in valve boxes large enough to permit manual operation, removal of solenoid and/or valve cover without any earth excavation.
- AUTOMATIC CONTROLLER shall be installed at location shown. Power (120V) shall be located in a junction box within five (5) feet of controller location by other trades.
- All 24 volt valve wiring is to be UF 14 single conductor. All wire splices are to be permanent and waterproof.
- SLEEVES shall be installed by General Contractor. Sleeve material shall be Schedule 40. Size as indicated on plan.
- Ten days prior to start of construction, Landscape or Irrigation Contractor shall verify static water pressure. If static pressure is less than 65 P.S.I., do not work until notified to do so by Owner.
- All main line and lateral piping to a minimum of 12 inches of cover. All piping under paving shall have a minimum of 18" of cover.
- The Irrigation Contractor shall coordinate installation of the system with the Landscape Contractor so that all plant material will be watered in accordance with the intent of the plans and specifications.
- The Irrigation Contractor shall select the proper arc and radius for each nozzle to insure 100% and proper coverage of all lawn areas and plant material. All nozzles in parking lot islands and planting beds shall be low angle to minimize over spray on pavement surfaces. No water will be allowed to spray on building.

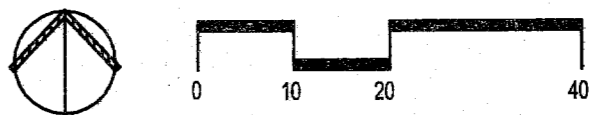
DRIP IRRIGATION NOTES

- Drip Irrigation Equipment numbers reference Rainbird Equipment Catalog unless otherwise noted.
- Landscape Contractor shall be required to supply Owner's Construction Manager with all equipment specifications and maintenance guidelines.
- Landscape Contractor shall be required to follow Manufacturer's Specifications and Installation guidelines for drip system.
- PRESSURE COMPENSATING EMITTERS shall be: Multiset Rain Bug EMT-M101, Multi outlet Shrub Bug EMT6-M101 or approved equal. (1 PER EVERY 6 - 4" POTS)
- SINGLE OUTLET PRESSURE COMPENSATING EMITTERS shall be: Rain Bug Emitters EM-M6s, -M10, -M20 and Shrub Bug Emitters EMT-M10, -M20 or approved equal. (1 PER EACH 1 OR 5 GAL PLANT)
- DRIP PRESSURE REGULATORS shall be: PSHLA-15, PSHLA-20, PSHMB-20, PSHMB-25 or approved equal.
- Y-FILTERS shall be: RBY-075-200, RBY-100-200 or approved equal.
- MAIN IRRIGATION TUBING shall be: RBT-150P, RBT-160V or approved equal.
- EMITTER DISTRIBUTION TUBING shall be: RBT-150P, RBT-160V or approved equal.
- SUBTERRANEAN EMITTER BOX shall be: SEB-6 or approved equal.
- Drip system piping only occurs within shrub / groundcover beds and rock mulch areas. Piping shall be a maximum 4" depth and a minimum 2" depth.
- Contractor shall verify that all drip system valves and spray system valves are sectioned separately on controller.



01 IRRIGATION PLAN

SCALE: 1" = 20'-0"



Raising Cane's
Store # 98
Belt Line Road
Addison, TX 75001
Prototype 2

Professional of Record:

 10.07.11

Architect Information:

CSR Inc.
 6767 Perkins Road Suite 200 Baton Rouge, LA 70808
 Tel: 225 769-0546 Fax: 225 767-0060
 www.csrsonline.com

SMI
 landscape architects, inc.
 1700 N. 15th Street
 Dallas, Texas 75222
 Tel: 214-871-0990
 Fax: 214-871-0993
 Email: smi@smi.com

Prototype Issue Date: August 1, 2010

Design Bulletin Updates:

| Date Issued: | Bulletin Number: |
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FOR CONSTRUCTION

Revisions:

| # | Date | Description |
|---|------------|---------------------|
| △ | 10-07-2011 | PERMIT/OWNER REVIEW |
| | | |
| | | |

Sheet Title:
IRRIGATION PLAN
 Date: October 07, 2011
 Project Number: 211057
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 Sheet Number:

L2.01

