

PARKING SUMMARY

EXISTING BUILDING AREA	136,187 S.F.
EXISTING PARKING SPACES	830 SPACES
EXISTING PARKING RATIO	6.09/1000

AFTER I.M.A. ADDITION

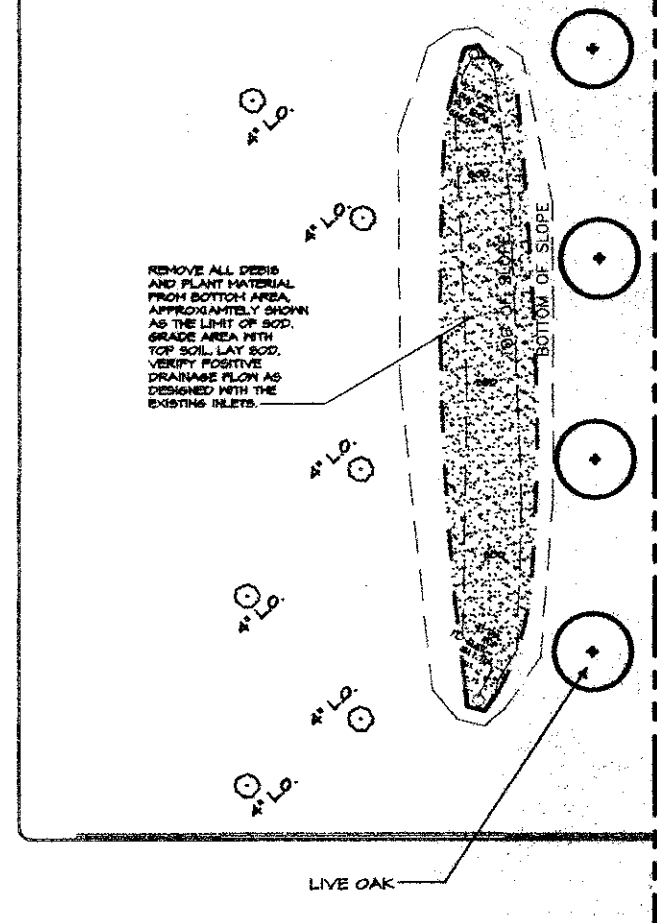
TOTAL BUILDING AREA	138,527 S.F.
PARKING SPACES PROVIDED	824 SPACES
PARKING SPACES REQUIRED	693 SPACES
PARKING RATIO AFTER REMODEL	5.95/1000
HANDICAP SPACES PROVIDED	22 (4 VAN)
HANDICAP SPACES REQUIRED	16.48

SITE NOTES:

1. ALL EXISTING PARKING LOT SIGNAGE TO REMAIN UNLESS OTHERWISE NOTED.
2. VERIFY ALL FIRE LANE SIGNAGE AND STRIPING REQUIREMENTS WITH LOCAL FIRE MARSHAL.

SEE NEXT SHEET FOR THIS AREA

SEE NEXT SHEET FOR THIS AREA'S ADDITION
2,340 S.F.



RECORD DRAWINGS:

THE INTENT OF THE OWNER AND ENGINEER WAS TO CONSTRUCT THESE FACILITIES ACCORDING TO THESE PLANS AS APPROVED BY THE CITY OF ADDISON. THE LINES AND GRADES SHOWN ARE SET ON THE GROUND FOR CONSTRUCTION ACCORDING TO SAID PLANS. THE CITY OF ADDISON INSPECTED THE CONSTRUCTION. NEITHER THE OWNER NOR THE ENGINEER VERIFIED LINES OR GRADES AFTER CONSTRUCTION. WE ARE NOT AWARE OF ANY CHANGES OR REVISIONS TO THESE PLANS DURING CONSTRUCTION EXCEPT AS NOTED.

BY: *Michael Ramsey* DATE: 8/16/02
MICHAEL RAMSEY, R.L.A.

OVERALL SITE LAYOUT



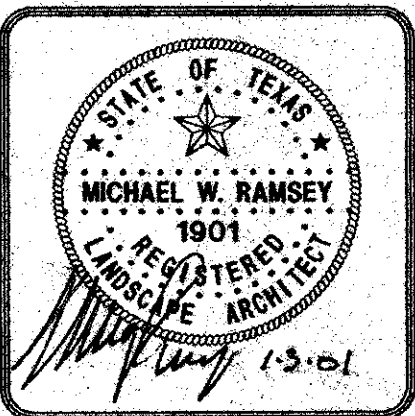
SCALE: 1" = 50'-0"
JAN 3, 2002

DATE	
REVISIONS	

GRUBBS RAMSEY, INC.
17311 DALLAS PARKWAY, STE 220
DALLAS, TEXAS 75248
PHONE (972) 267-2974
FAX (972) 267-2474

RAYMOND HARRIS AND ASSOCIATES ARCHITECTS
PROPOSED SAM'S CLUB BUILDING REMODEL
BELTLINE ROAD
ADDISON, TEXAS

OVERALL SITE LAYOUT



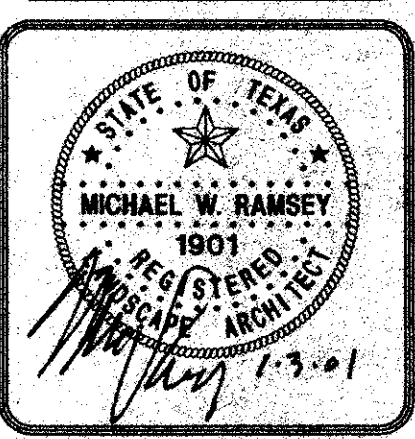
PROJECT MGR.	GRI
PROJECT TECH.	GRI
CHECKED BY	GRI
JOB NO.	
SHEET NO.	L1
OF 5	

REVISIONS	DATE	BY

GRUBBS RAMSEY, INC.
 17811 DALLAS PARKWAY, STE 220
 DALLAS, TEXAS 75248
 PHONE (972) 267-2579
 FAX (972) 267-2479

RAYMOND HARRIS AND ASSOCIATES ARCHITECTS
 PROPOSED SAM'S CLUB BUILDING REMODEL
 BELTLINE ROAD
 ADDISON, TEXAS

LANDSCAPE PLAN

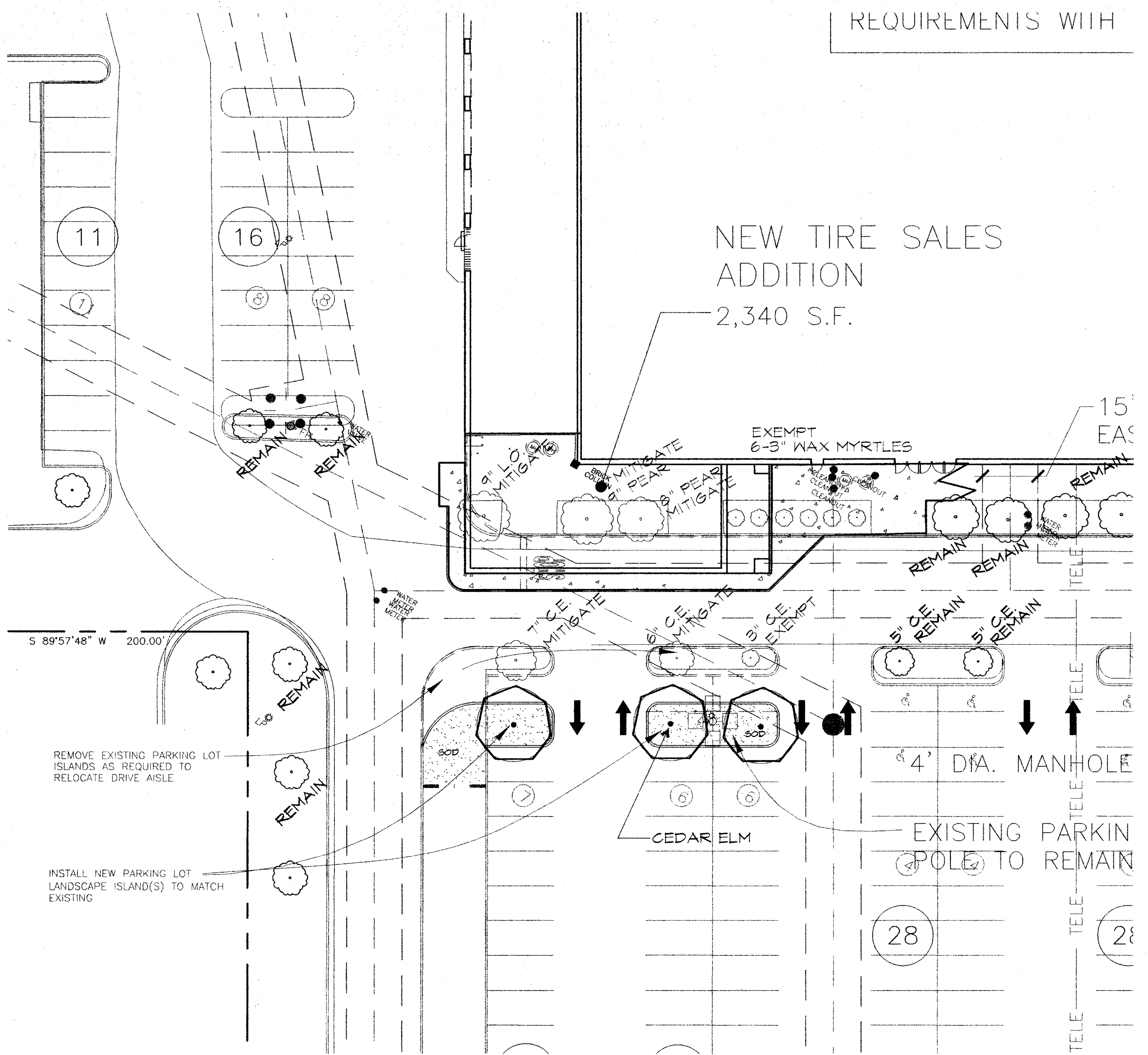


PROJECT MGR. GRI
 PROJECT TECH. GRI
 CHECKED BY GRI
 JOB NO.
 SHEET NO. **L2**
 OF 5

RECORD DRAWINGS:
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 BY: *Michael Ramsey* DATE: 8/16/02
 MICHAEL RAMSEY, R.L.A.

REQUIREMENTS WITH

NEW TIRE SALES ADDITION
 2,340 S.F.



TIRE SALES ADDITION



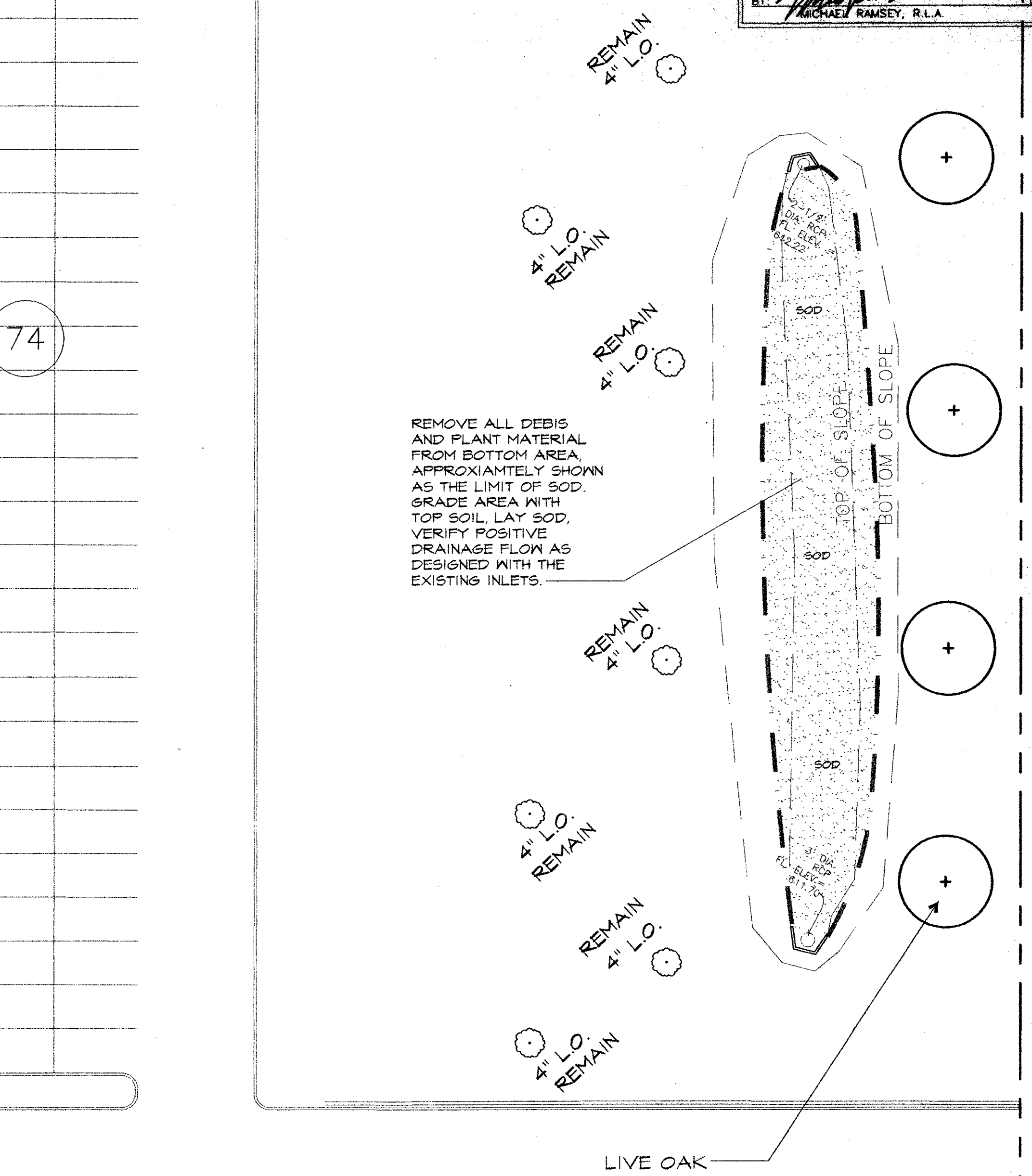
SCALE 1" = 20'-0"

LARGE TREES					
QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE & CONDITION
10	+	LIVE OAK	Live Oak	<i>Quercus virginiana</i>	3" caliper, 10'-12" Ht./ 4'-5" spread, B4B straight trunk
3	•	CEGAR ELM	Cedar Elm	<i>Ulmus crassifolia</i>	3" caliper, 10'-12" Ht./ 4'-5" spread, B4B straight trunk
GROUNDCOVER / VINES					
QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
AS SHOWN	■	SOD	Common Bermuda Grass	<i>Cynodon dactylon</i>	Sod refer to specifications

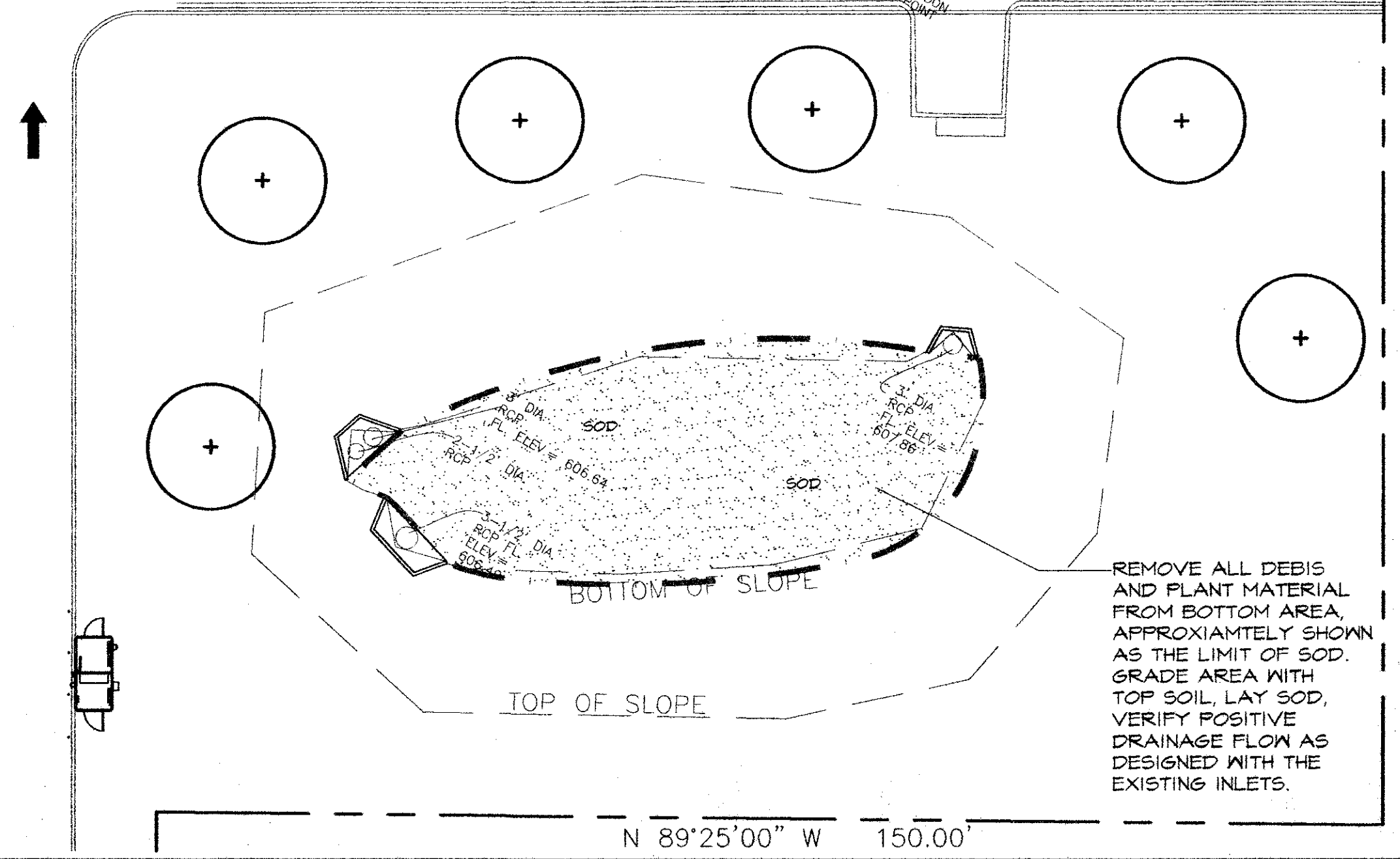
LANDSCAPE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES

TABULATIONS	
TREE MITIGATION	
PROTECTED TREES REMOVED (9" L.O., 8" & 9" PEAR, 6", 7" C.E.)	39 CAL. INCHES
TREES TO BE PLANTED (18-3")	39 CAL. INCHES

REMOVE ALL DEBRIS AND PLANT MATERIAL FROM BOTTOM AREA, APPROXIMATELY SHOWN AS THE LIMIT OF SOD. GRADE AREA WITH TOP SOIL, LAY SOD. VERIFY POSITIVE DRAINAGE FLOW AS DESIGNED WITH THE EXISTING INLETS.



S 00'01'18" W 721.11'



DETENTION PONDS



SCALE 1" = 20'-0"
 JAN. 3, 2002

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LANDSCAPING

PART 1 - GENERAL

1.1 SCOPE:

Provide all labor, materials and equipment for complete installation of landscaping, as indicated on the drawings and specified herein.

1.2 RELATED WORK SPECIFIED ELSEWHERE:

- A. Irrigation System
- B. Lawns

1.3 QUALITY ASSURANCE:

- A. Provide plant materials in compliance with applicable State and Federal laws relating to inspection for diseases and insect infestation at growing site.
- B. Observation at growing site does not preclude right of rejection at job site. Plants damaged in transit or at job site may be rejected.

1.4 REFERENCED STANDARDS:

- A. American Standard for Nursery Stock, approved 1986 by American National Standards Institute, Inc. - Plant materials.
- B. Hortus Third, 1976 - Cornell University - Plant nomenclature.
- C. ASTM - American Standard Testing Material - Sharp sand.

1.5 PRODUCT DELIVERY, STORAGE AND HANDLING:

- A. Delivery:
 - 1. Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored at site.
 - 2. Do not deliver more plant materials than can be planted in one day unless adequate storage and watering facilities are available on job site. Storage of materials and equipment at the job site will be at the risk of the landscape contractor. The owner will not be held responsible for theft or damage.
 - 3. If balled plants cannot be planted within 24 hours after delivery to site, protect root balls by heeling in with saw dust or other approved material.
 - 4. Protect during delivery to prevent damage to root ball or desiccation of leaves.

1.6 JOB CONDITIONS:

- A. Planting Restrictions:
 - 1. Perform actual planting only when weather and soil conditions are suitable in accordance with locally accepted practice. In no way shall any trees, plants, ground cover or seasonal color obstruct drainage or block a 2% minimum positive slope away from buildings.
- B. Utilities:
 - 1. Determine locations of underground utilities and perform work in a manner which will avoid possible damage. Hand excavate, if required, to minimize possibility of damage to underground utilities.
 - 2. Coordinate work with irrigation contractor to prevent damage to underground sprinkler system.

1.7 WARRANTY:

- A. Warranty for plants and trees shall be for one year after final acceptance. Replace dead materials and materials not in vigorous, thriving condition as soon as weather permits and on notification by Owner's Rep. Replace plants, including trees, which in opinion of Landscape Architect have partially died thereby damaging shape, size, or symmetry.
- B. Replace plants and trees with same kind and size as originally planted, at no cost to the Owner. Provide one-year warranty on replacement plants. These should be replaced at start of next planting or digging season. In such cases, remove dead trees immediately. Protect irrigation system and other piping conduit or other work during replacement. Repair any damage immediately.
- C. Warranty excludes replacement of plants after final acceptance because of injury by storm, drought, drowning, hail, freeze, insects or diseases.
- D. At the end of the warranty period, staking and guying materials if required shall be removed from the site.

1.8 MAINTENANCE:

- A. Water: Will be available on site. Provide necessary hoses and other watering equipment required to complete work.
 - 1. Mowing, weeding, spraying, cleaning and replacing as necessary to keep landscape in a vigorous, healthy condition and rake bed areas as required.
- C. Following final acceptance, maintenance of plant material will become the Owner's responsibility. The Contractor shall provide Owner with a recommended maintenance program.

PART 2 - PRODUCTS

2.1 PLANTS:

- A. Quantities: The drawings and specifications are complementary. Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
- B. Plants shall be equal to well formed No. 1 grade of better, symmetrical, heavily branched with an even branch distribution, densely foliated and/or budded, and a strong, straight, distinct leader where this is characteristic of species. Plants shall possess a normal balance between height and spread. The Landscape Architect will be the final arbiter of acceptability of plant form, either before or after planting and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plants as specified.
- C. Plants shall be healthy and vigorous, free of disease, insect pests and their eggs, and larvae.
- D. Plants shall have a well-developed fibrous root system.
- E. Plants shall be free of physical damage such as scrapes, broken or split branches, scars, bark abrasions, sun scalds, fresh limb cuts, disfiguring knots, or other defects.
- F. Plants shall meet the sizes indicated on the Plant List. Where a size or caliper range is stated, at least 50% of the material shall be closer in size to the top of the range stated.
- G. Plants indicated "B&B" shall be balled and burlapped. Plants shall be nursery grown unless otherwise specified in plant list. Balls shall be firm, neat, slightly tapered and well burlapped. Non-biodegradable ball wrapping material will not be accepted. Any tree loose in the ball or with broken ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter, measured six (6") inches above ball.
- H. Container grown plants shall be well rooted and established in the container in which they are growing. They shall have grown in the container for a sufficient length of time for the root system to hold the planting medium when taken from the container, but not long enough to become root bound.

2.2 SOIL PREPARATION MATERIALS:

- A. Peat Moss: Commercial sphagnum moss or hyphum peat, or decomposed gin trash with pH between 5 and 7. The gin trash shall be sterilized to eliminate all active residuals, i.e. insecticides, pesticides, herbicides, fungus, virus and defoliant chemicals.
- B. Pre mixed soils will be considered as "approved equals" when samples are submitted with manufacturer's data and laboratory test reports. Approved suppliers include Vital Earth Complete Mix by Vital Earth Resources, Glendwater, Texas and Acid Gro Complete Mix by Soil Building Systems, Inc., Dallas, Texas.
- C. Sandy Loom:
 - 1. Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones, and other extraneous material and reasonably free of weeds and foreign grasses. Soil containing Dallisgrass or Nitgrass shall be rejected.
 - 2. Physical properties as follows:
 - a. Clay - between 7-27 percent
 - b. Silt - between 20-50 percent
 - c. Sand - less than 52 percent

2.3 COMMERCIAL FERTILIZER:

- A. Fertilizer shall be delivered in manufacturer's standard container printed with manufacturer's name, material weight, and guaranteed analysis. Fertilizers with N-P-K analysis other than that specified may be used provided that the application rate per square foot of nitrogen, phosphorus, and potassium is equal to that specified.
- B. Commercial Fertilizer for Planting Beds: Complete fertilizer 5-10-5 element ratio with minimum 8% sulfur and 4% iron plus micro-nutrients.
- C. Controlled-Release fertilizer planting tablets for tree planting pits, shall be equal to Agriform 22-12-12 planting tablets as manufactured by Sierra Chemical Co., Milpitas, California 95095 or approved equal.

2.4 MULCH AND WEED BARRIER MAT:

Weed barrier mat shall be provided for full coverage of all shrub, groundcover, and bed areas. Bark mulch shall be hardwood mulch chips, ranging in size from 1/4-inch to 1-inch in size, medium fine texture, shredded.

PART 3 - EXECUTION

3.1 CONDITION OF SURFACES:

- A. New bed areas will be left within one tenth of a foot of finish grade by other trades. Contractor will be responsible for raking and smoothing of grade.

3.2 SHRUB PLANTING:

- A. All shrubs to be pocket planted. Excavate planting hole 3" larger than the width and height of the root ball. Backfill with 1/3 compost, 1/3 native soil and 1/3 sandy loam.
- B. Plant where located, setting plants with tops of balls even with tops of beds, and compact soil carefully around each plant ball.
- C. Water each plant thoroughly with hoses to eliminate air pockets.
- D. Carefully prune plants to remove dead or broken branches, various tags, and hand-rake bed areas to smooth even surfaces, and mulch bed areas 1 inch deep.

3.3 GROUND-COVER PLANTING:

- A. Till 2 inches minimum of thoroughly mixed prepared soil or equal in all planting bed areas as follows:
 - 1. 1 part sandy loam
 - 1 part peat moss
 - 1 part sharp sand
 - Add 4 pounds commercial fertilizer per 100 SF of bed area and mix thoroughly.
- B. Plant where located, setting plants with tops of balls even with tops of beds, and compact soil carefully around each plant ball.
- C. Water each plant thoroughly with hoses to eliminate air pockets.
- D. Carefully prune plants to remove dead or broken branches and hand-rake bed areas to smooth even surfaces, and mulch bed areas 1 inch deep.

3.4 TREE PLANTING:

- A. Plant ornamental trees in pits 12-inches larger than the root ball. Plant shade trees in pits two feet greater in diameter than root ball and equal to depth of root ball.
- B. After excavation of tree pits, review water percolation. If tree pit does not drain adequately prepare hole for use with a tree sump. Paint PVC stand pipe and cover dark green. After tree is installed, pump water out on a daily basis.
- C. In the event rock or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Landscape Architect. Where locations cannot be changed the obstructions shall be removed to a depth of not less than six (6") inches below bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.
- D. Prepare soil for planting by thoroughly mixing two parts sandy loam and one part peatmoss or other approved organic matter. If planting soil does not fall within the pH range of 5.5 to 7.0 add limestone or aluminum sulphate to bring soil into the specified pH range.
- E. Backfill tree pits with a mixture of 1/2 prepared soil and 1/2 existing site soil. Lightly tamp every 6-inches to fill all voids and pockets. When pit is 2/3 full, water thoroughly and leave water to soak in. Place fertilizer planting tablets per manufacturer's recommendations. Complete backfilling and form a saucer under the tree.
- F. Completely fill each tree saucer with mulch to a depth of two inches.
- G. Contractor shall keep trees plumb until established. Guying and/or staking to maintain that plumb condition shall be at the Contractor's discretion. However, if trees are not plumb, the contractor will be required to guy and/or stake those trees in a method acceptable, at no additional cost to the owner.

3.5 SEASONAL COLOR PLANTING:

- A. Beds shall be excavated to a depth of 2 inches. Soil shall be replaced with 100% Living Earth Technology Complete Mix or equal.
- B. Plant where located, setting plants with tops of balls even with tops of beds, and compact soil carefully around each plant ball.
- C. Water each plant thoroughly with hoses to eliminate air pockets.
- D. Carefully prune plants to remove dead or broken branches and hand-rake bed areas to smooth even surfaces and mulch bed areas 1 inch deep.

3.6 CLEANUP:

During work, keep premises neat and orderly including organization of storage areas. Remove trash, including debris resulting from removing weeds or rocks from planting areas, preparing beds, or planting plants from site daily as work progresses. Keep walk and driveway area clean by sweeping or hosing.

END OF LANDSCAPING SECTION

LAWNS

PART 1 - GENERAL

1.1 SCOPE:

Furnish all labor, tools, transportation, materials, equipment, supervision, etc., required to adequately establish a dense lawn of permanent grasses, free from lumps and depressions as indicated by plans and specifications. Rake any part of the area failing to show uniform cover until a dense lawn is established. The cost of miscellaneous labor and materials for topsoil, weeding, tilling, pest control, fertilizing, etc., are not separate pay items and shall be included in the bid price for grassing.

1.2 RELATED WORK SPECIFIED ELSEWHERE:

- A. Irrigation System
- B. Landscaping

1.3 MAINTENANCE OF GRASS:

The contractor shall maintain the grass until final acceptance. Such maintenance shall include spraying, weeding, cultivation, fertilizing, watering, disease and insect control, top dressing low spots, plus any procedures consistent with horticultural practice necessary to insure normal, vigorous, and healthy grass.

1.4 JOB CONDITIONS:

- A. Water: Will be available on site. Provide necessary hoses and other watering equipment required to complete work.
- B. Lawn areas will be left within 1/10 of a foot of finish grade by other trades. Fine grading, raking and smoothing will be the responsibility of the contractor.

1.5 SCHEDULE:

- A. Seeding/hydr mulching - Bermudagrass: Complete only between May 1 to August 31 under favorable conditions. (warm season)
- B. Seeding/hydr mulching - Perennial Ryegrass: Complete only between September 1 to April 30, except at front of project, as determined by owner, under favorable climatic conditions.
- C. Sodding: Sod bermuda between March 15 and September 30. Between October 1 and March 14 overseed sod with Perennial rye under favorable conditions. (Use nursery overseeded sod, in lieu of seeding after installation, if available.)
- D. Qualifications: Due to unseasonable weather, the above dates may vary; however, do not proceed with grassing operations beyond these dates without assuming full responsibility for a stand of grass.

1.6 ACCEPTANCE:

The work will be accepted when a completed, undamaged stand of grass is achieved, as approved by the Owner's Representative.

PART 2 - MATERIALS

2.1 GRASS:

- A. Bermuda Grass: Extra fancy, hulled and treated, lawn type seed, delivered to site in original, unopened containers meeting requirements of Texas State Seed Law. Minimum purity germination 90 percent.
- B. Annual Ryegrass: Extra fancy, hulled and treated, lawn type seed, delivered to site in original, unopened containers meeting requirements of Texas State Seed Law. Minimum purity germination 90 percent.

2.2 FERTILIZER:

Fertilizer shall be organic base, uniform in composition, dry and free flowing. Deliver fertilizer to be in original, unopened containers, each bearing manufacturer's guaranteed statement of analysis.

- A. First application: 12-12-12 element percentage with minimum 8% sulfur and 4% iron, plus micro nutrients.
- B. Second application: 3-11-2 element ratio. Nitrogen source to be a minimum 50% slow release organic nitrogen (SCU or UF) plus minimum 8% sulfur and 4% iron plus micro nutrients.

PART 3 - EXECUTION

3.1 PREPARATION:

- A. Scarify lawn areas where excessive compaction is greater than 85% Standard Proctor to a depth of 4-inches by discing or rototilling. Repeat cultivation as required to thoroughly loosen soil.
- B. Leave areas free of weeds and ready for final grading.
- C. Provide barricades around scarified areas to prevent compaction by construction vehicles.

3.2 FINAL GRADING:

- A. Remove from site and legally dispose of stones 3/4-inch and larger, sticks and other debris exposed during this operation.
- B. Provide finish grading leaving surface uniform without depressions and undulations, graded approximately 1-inch below paving.

3.3 HERBICIDES:

Apply herbicide to remove any remaining weeds. This work is to be performed by a licensed applicator following the manufacturer's recommendations.

3.4 FERTILIZER:

- A. Place first application with hydromulch at rate of 12 pounds per 1,000 square feet.
- B. Uniformly distribute second application using a rotary type fertilizer spreader 3-4 weeks after first application at 12 pounds per 1,000 square feet.

3.5 HYDROMULCH/SEEDING:

- A. At the time of hydromulch/seeding, soil shall be moist but not muddy, and wind velocity shall not exceed ten (10) miles per hour. Add water if required to moisten soil.
- B. Hydromulch seed uniformly at the rate of 2 pounds of Bermudagrass seed per 1,000 square feet.
- C. Add tackifier to hydromulch mix for slopes 5:1 or greater at the rate of 1 lb. per bag of mulch.
- D. Use a 4' x 8' batter board against bed areas.

3.6 MECHANICAL SEEDING:

Seed uniformly at a rate of 125 pounds of Bermudagrass seed per acre or 350 pounds of Ryegrass per acre. Use grass drill, brillion seeder, or viking roller.

3.7 SOLID SOD:

- A. Solid Sod: Plant grass by hand, edge to edge with staggered joints. Topdress with sharp sand raked in carefully to fill joints. Roll to eliminate undulations and provide complete soil contact.
- B. Fertilizing: Fertilize immediately after grass is planted at rate of 4 lbs. per 1,000 square foot. Repeat fertilizing at the same rate 3-4 weeks later.

3.8 ESTABLISHMENT AND MAINTENANCE OF LAWN AREAS:

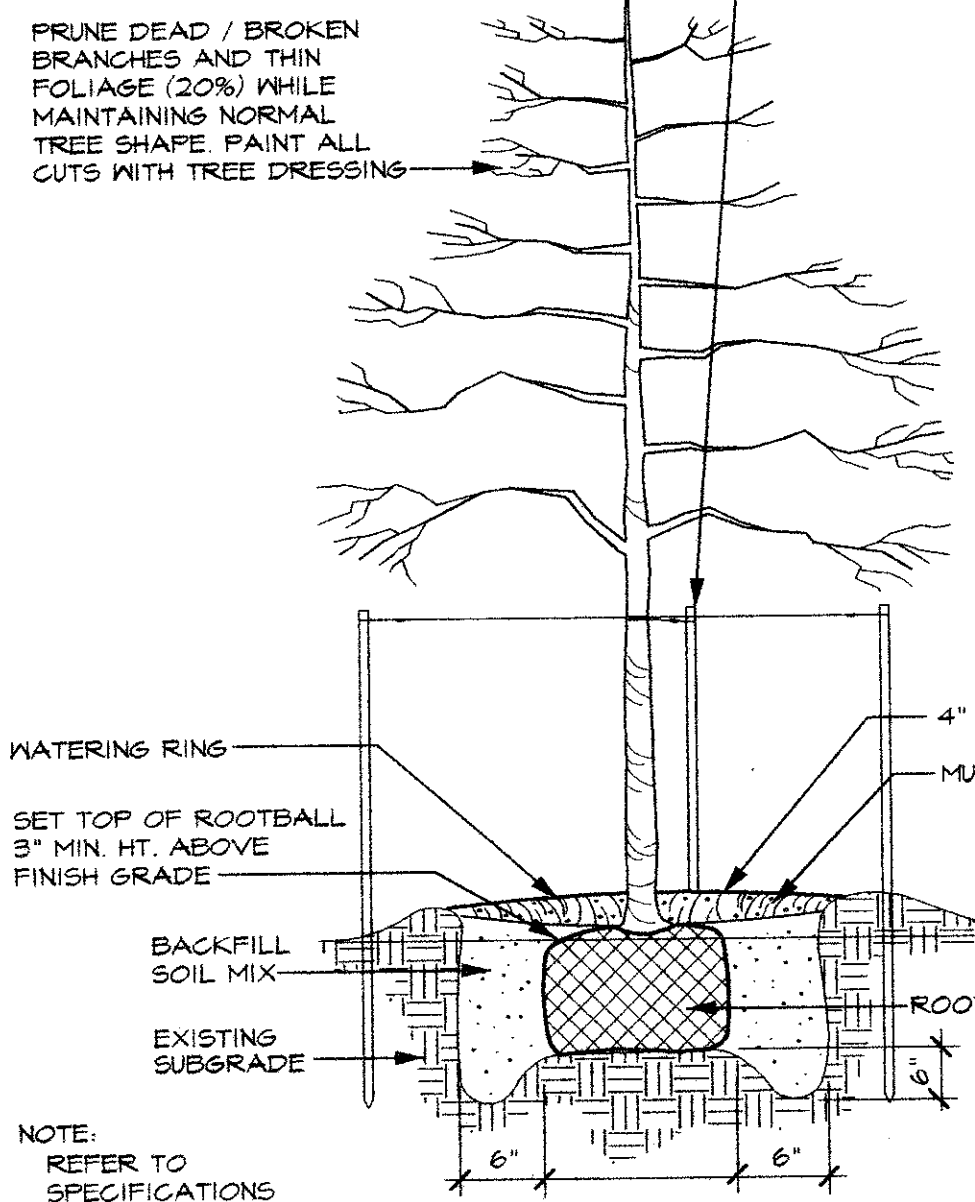
- A. Watering:
 - 1. Water lawn areas immediately after grassing operation.
 - 2. Continue watering as required to keep soil uniformly moist to a minimum depth of 4-inches.
 - 3. Be alert to over-watering newly planted grass, particularly in heavy clay soils.
- B. Replanting/Erosion Control:
 - 1. Correct any erosion that may occur during the establishment of grass.
 - 2. Reseed (sod) any areas not showing sufficient growth within 3 weeks after initial grassing. Continue seeding (sodding) until a stand of grass is achieved.
 - 3. A stand of grass will be defined as a uniform cover of actively growing turf.
- C. Mowing/Weed Control:
 - 1. Mow lawn areas weekly until a stand of grass is achieved. Begin mowing when the lawn reaches a height of 3-inches; set mower to cut at 2-inches. A minimum of two mowings is required.
 - 2. Weed lawn areas until acceptance, removing all foreign vegetation, either by hoeing or pulling. If approved, herbicide spot treatments may be used.

3.9 CLEANUP:

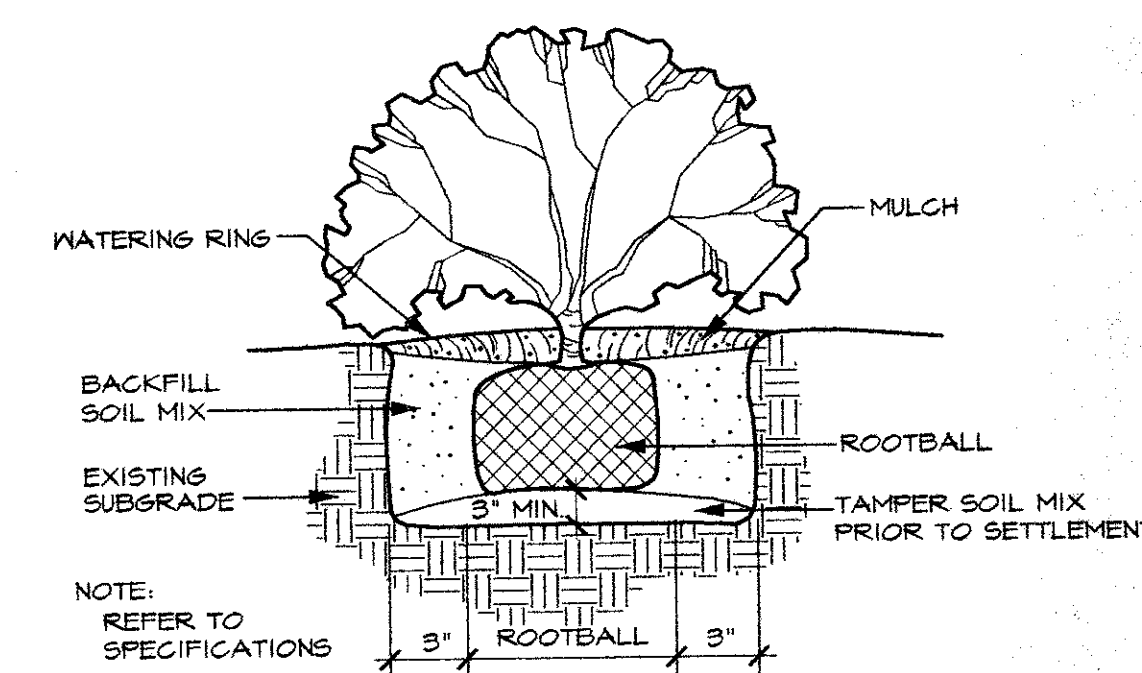
During work, keep premises neat and orderly, including organization of storage areas. Remove trash, including debris resulting from removing weeds and rocks from site daily as work progresses. Keep paved areas clean by sweeping or hosing.

END OF LAWN SECTION

- (3) PRESSURE TREATED HARDWOOD STAKES (2" X 2" X 8') WITH 12 GAUGE AND 3" TURNBUCKLE.
- (5) STRAND GALV. STEEL CABLE ENCASE LOOP IN REIN. RUBBER HOSE.
- GUYWIRE TREES: SECURE AT LOWEST BRANCH.
- EVERGREEN / ORNAMENTAL TREES: SECURE AT TOP OF STAKE HEIGHT.



TREE PLANTING DETAIL (TYPICAL)
SCALE: N.T.S.



SHRUB PLANTING DETAIL (TYPICAL)
SCALE: N.T.S.

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BY: *Michael Ramsey*
MICHAEL RAMSEY, R.L.A. DATE: 8/16/02

DATE	REVISIONS

GRUBBS RAMSEY, INC.
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DALLAS, TEXAS 75246
PHONE (412) 267-1231/14
FAX (412) 267-2414

RAYMOND HARRIS AND ASSOCIATES ARCHITECTS
PROPOSED SAM'S CLUB BUILDING REMODEL
BELTLINE ROAD
ADDISON, TEXAS

LANDSCAPE PLAN

STATE OF TEXAS
MICHAEL W. RAMSEY
1907
REGISTERED
LANDSCAPE ARCHITECT
No. 1307

PROJECT MGR.
GRI

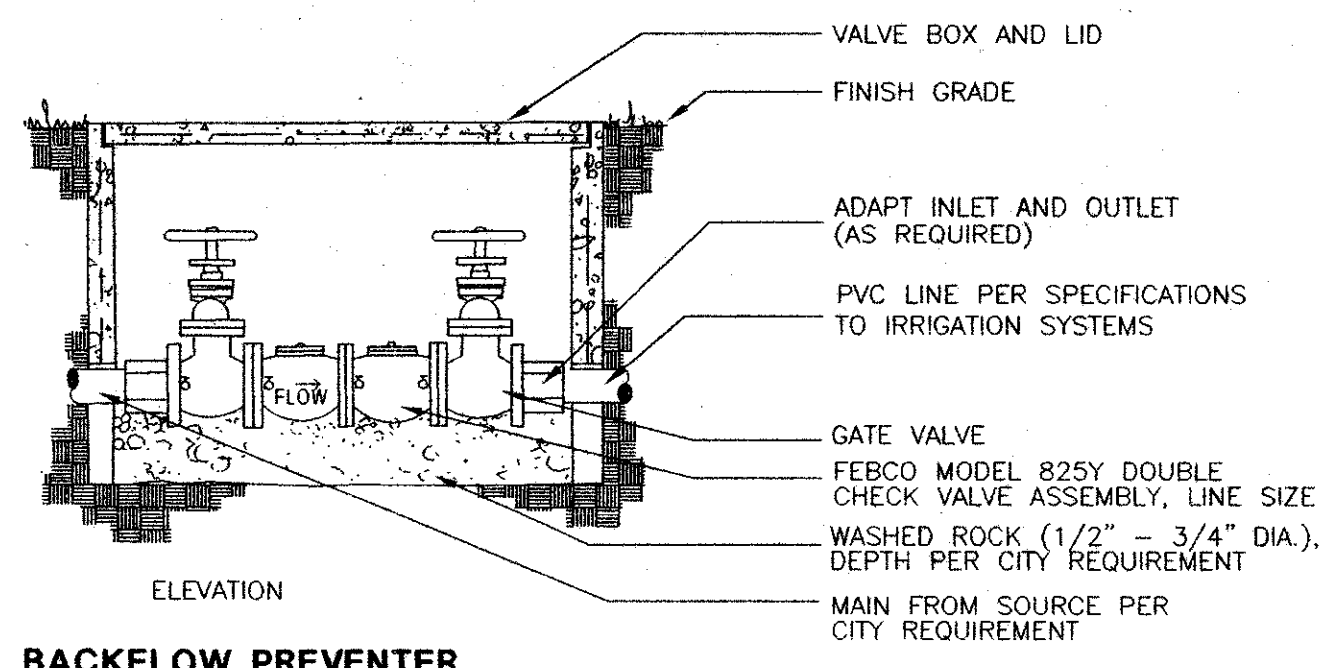
PROJECT TECH.
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CHECKED BY
GRI

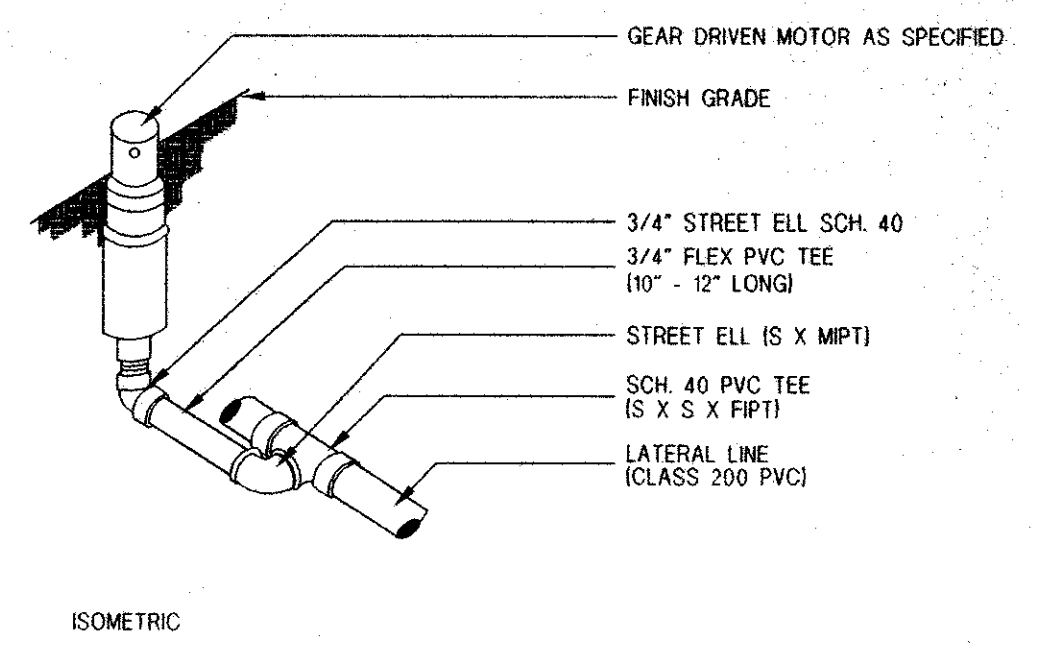
JOB NO.

SHEET NO.
L3

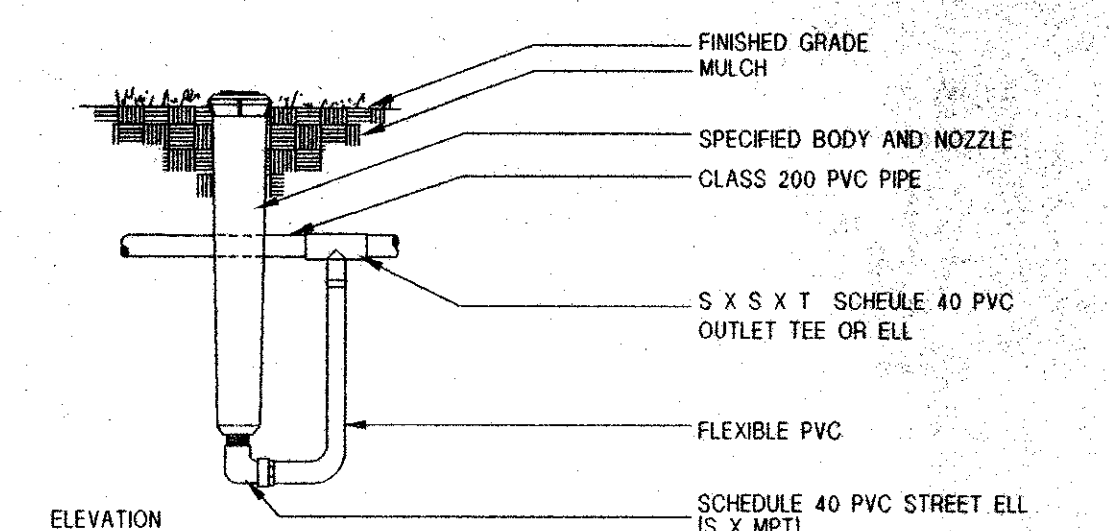
OF 5



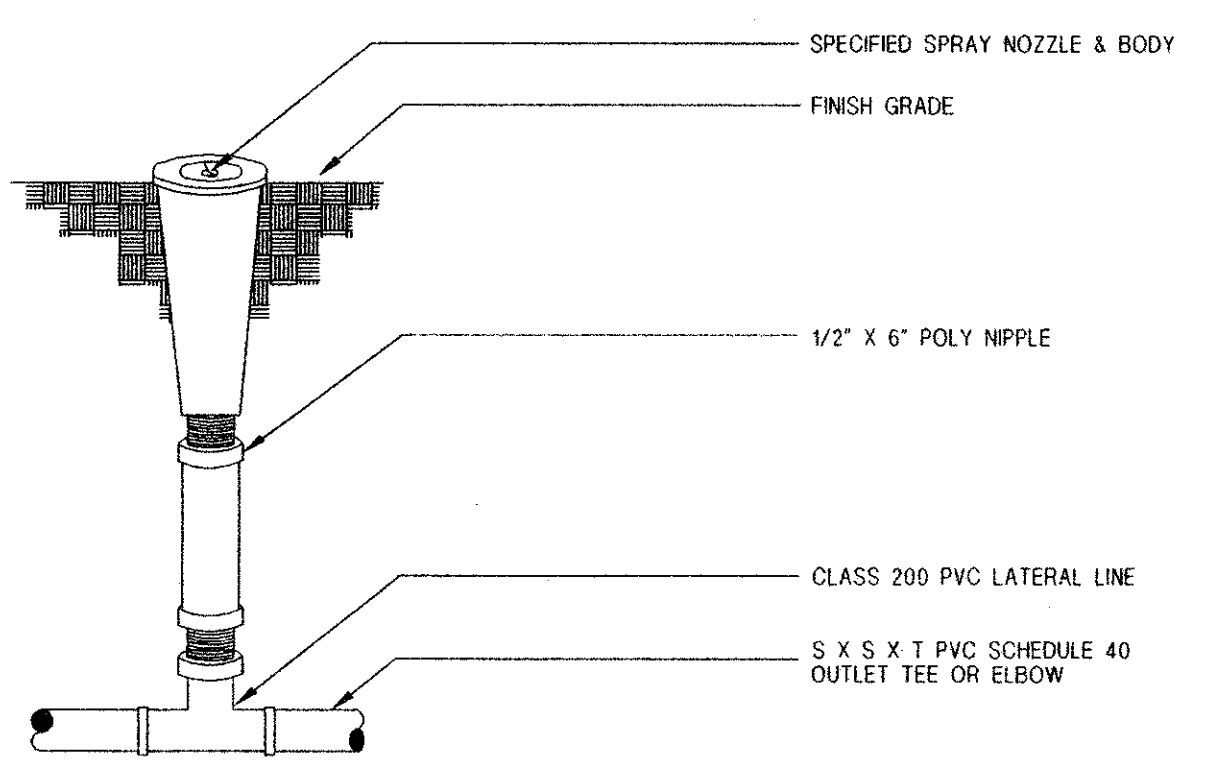
BACKFLOW PREVENTER
DOUBLE CHECK VALVE ASSEMBLY not to scale



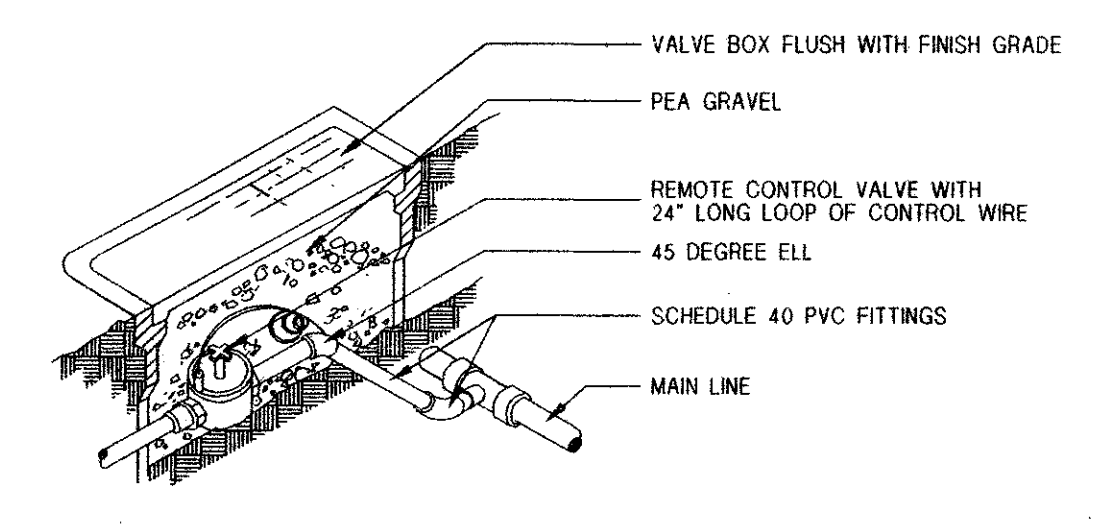
GEAR DRIVEN ROTARY
ROTARY HEAD not to scale



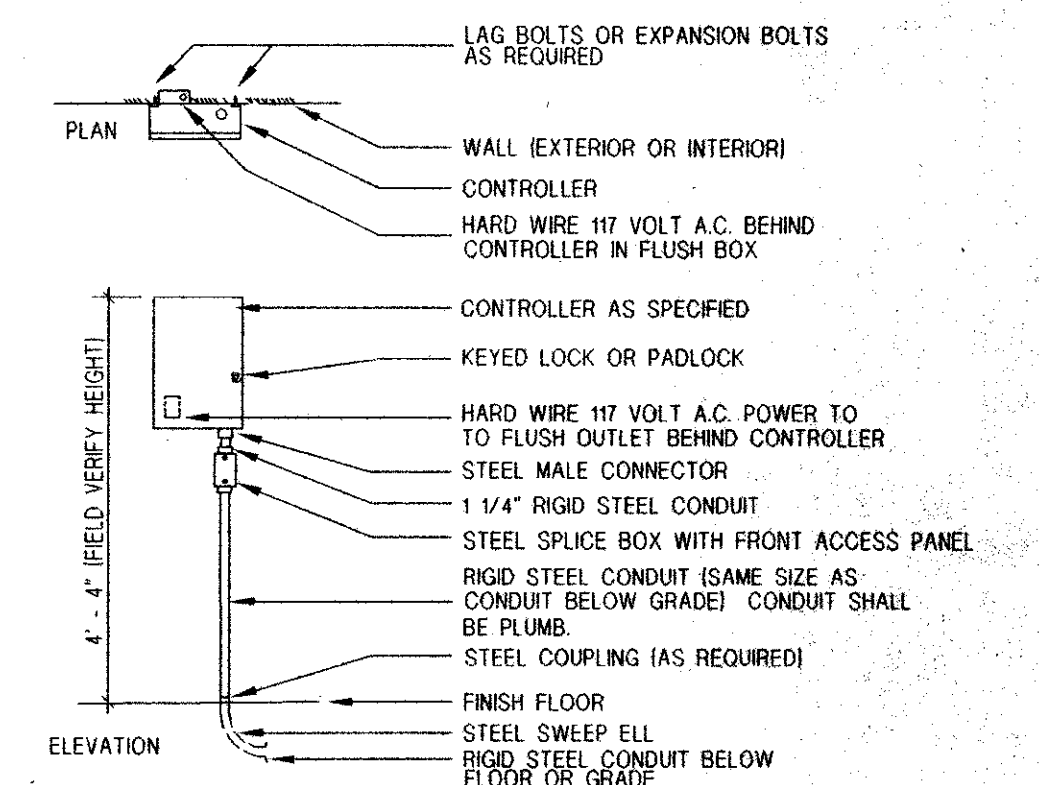
HIGH RISER ASSEMBLY
12" POP-UP not to scale



POP - UP RISER ASSEMBLY
4" POP-UP not to scale



REMOTE CONTROL VALVE
ELECTRIC VALVE not to scale



WALL MOUNTED CONTROLLER
CONTROLLER not to scale

IRRIGATION NOTES

- All equipment numbers reference Rainbird equipment catalog unless otherwise indicated.
- LAWN SPRAY HEADS are 1804 sam installed as per detail.
- SHRUB SPRAY HEADS are 1812 sam installed as per detail.
- ELECTRIC CONTROL VALVES shall be FGA SERIES installed as per detail shown. Size valves as shown on plans. Valves shall be installed in valve boxes large enough to permit manual operation, removal of solenoid and/or valve cover without any earth excavation.
- QUICK COUPLING VALVES shall be #33RC installed as per detail shown. Swing joints shall be constructed using 3/4" Sch 80 elbows. Contractor shall supply owner with three (3) couplers and three (3) swivel hose ends as part of this contract.
- AUTOMATIC CONTROLLER shall be installed at location shown. Power (120V) shall be located in a junction box within five feet (5') of controller location by other trades.
- All 24 volt valve wiring is to be UF 14 single conductor. All wire splices are to be permanent and waterproof.
- SLEEVES shall be installed by General Contractor. Sleeve material shall be Schedule 40. Sizes as indicated on plans.
- Ten days prior to start of construction, contractor shall verify static water pressure. If static pressure is less than 50 PSI, do not start work until notified to do so by owner.
- All mainline and lateral piping shall have a minimum of 12 inches of cover. All piping under paving shall have a minimum of 18 inches of cover.
- The irrigation contractor shall coordinate installation of the system with the landscape contractor so that all plant material will be watered in accordance with the intent of the plans and specifications.
- The irrigation contractor shall select the proper arc and radius for each nozzle to insure 100% and proper coverage of all lawn areas and plant material. All nozzles in parking lots and planting beds shall be low angle to minimize overspray on pavement surfaces. No water will be allowed to spray on building.

IRRIGATION LEGEND

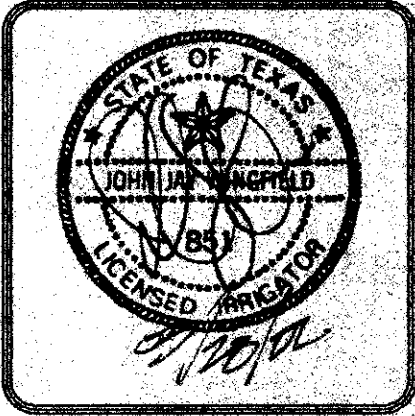
- RAINBIRD 1804SAM WITH FRS NOZZLE
- RAINBIRD 1812SAM WITH FRS NOZZLE
- HUNTER ROTARY HEAD FC
- HUNTER ROTARY HEAD FC
- ⊕ RAINBIRD FEB SERIES ELECTRIC VALVE
- ▲ RAINBIRD 3/4" QUICK COUPLER
- CONTROLLER
- ⊞ WATER METER (AS SIZED)
- ⊞ BACKFLOW PREVENTER (AS SIZED)
- CLASS 200 PVC LATERAL PIPING
- CLASS 200 PVC MAINLINE
- SCH. 40 PVC SLEEVING (AS SIZED)
- ⊞ VALVE SIZE
- ⊞ GPM

RECORD DRAWINGS:
THE INTENT OF THE OWNER AND ENGINEER WAS TO CONSTRUCT THESE FACILITIES ACCORDING TO THESE PLANS AS APPROVED BY THE CITY OF ADDISON. THE LINES AND GRADES WERE SET ON THE GROUND FOR CONSTRUCTION ACCORDING TO SAID PLANS. THE CITY OF ADDISON INSPECTED THE CONSTRUCTION. NEITHER THE OWNER NOR THE ENGINEER VERIFIED LINES OR GRADES AFTER CONSTRUCTION. WE ARE NOT AWARE OF ANY CHANGES OR REVISIONS TO THESE PLANS DURING CONSTRUCTION EXCEPT AS NOTED.
BY: *Michael Ramsey* DATE: 8/16/02
MICHAEL RAMSEY, R.L.A.

REVISIONS	DATE	BY

IRRIGATION SPECIALIST
JOHN WINGFIELD - (972) 601-3819

RAYMOND HARRIS AND ASSOCIATES ARCHITECTS
PROPOSED SAM'S CLUB BUILDING REMODEL
BELTLINE ROAD
ADDISON, TEXAS



PROJECT MGR. JW
PROJECT TECH. JW
CHECKED BY JW
JOB NO.
SHEET NO. L5
OF 5

JAN 3, 2002

POINT OF BEGINNING

BELTLINE ROAD
(A VARIABLE WIDTH R.O.W.)

D=11°45'03"
L=65.01'
R=317.00'
Chd Brg=S 76°03'12" E
Chd=64.90'

OWNER'S CERTIFICATE

STATE OF TEXAS

COUNTY OF DALLAS

WHEREAS Sam's Real Estate Business Trust is the owner of a tract of land situated in the THOMAS L. CHENOWETH SURVEY ABSTRACT NO. 273 in the Town of Addison, Dallas County, Texas and being all of Replat of Lot 1, Block A, Sam's Club Addition, an Addition to the Town of Addison according to the Plat recorded in Volume 92109, Page 3696 of the Map Records of Dallas County, Texas and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod set for corner at the intersection of the South line of Beltline Road (a variable width right-of-way) also being the Northeast corner of Lot 4, Block A of Sam's Club Addition.

THENCE South 89°25'00" East along the South line of said Beltline Road a distance of 171.87 feet to a 1/2 inch iron rod set for corner;

THENCE North 00°35'00" East continuing along said south line a distance of 15.00 feet to a 1/2 inch iron rod set for corner;

THENCE South 89°25'00" East along the said South line of Beltline Road for a distance of 202.08 feet to a 1/2 inch iron rod set for corner of the beginning of a non-tangent curve to the left having a radius of 317.00 feet, a central angle of 11°45'03", and a chord which bears of South 76°03'12" East 64.90 feet;

THENCE in a Southeasterly direction along the said South line of Beltline Road and said curve to the left for an arc distance of 85.01 feet to a 1/2-inch iron rod set at the end of said curve;

THENCE South 89°25'00" East along the said South line of Beltline Road for a distance of 312.32 feet to a 1/2 inch iron rod set for corner in the West line of Lot 2, Block A of said Sam's Club Addition;

THENCE South 00°01'18" West along West line of said Lot 2, Block A of said Sam's Club Addition a distance of 352.96 feet to a 1/2 inch iron rod set for corner;

THENCE North 89°57'48" East along South line of said Lot 2, a distance of 203.47 feet to a 1/2 inch iron rod set for corner;

THENCE South 01°18'15" East along the West line of said Sam's Club Addition a distance of 110.86 feet to a 1/2 inch iron rod set for corner;

THENCE West along the North line of Lot 3, Block A of said Sam's Club Addition a distance of 95.80 feet to a 1/2 inch iron rod set of a corner;

THENCE South 00°01'18" West along the West line of said Lot 3 a distance of 305.57 feet to a 1/2 inch iron rod set for corner in the North line of Beltway Road (a 60 foot right-of-way) for the beginning of a non-tangent curve to the left having a radius of 1005.00 feet, a central angle of 11°12'48", a chord which bears of South 78°06'24" West 196.38 feet;

THENCE in a Southwesterly direction along North line of said Beltway Drive and said to the left for an arc distance of 196.69 feet to a 1/2 inch iron rod set for corner at the end of said curve;

THENCE South 72°30'00" West along the North line of said Beltway Drive a distance of 100.00 feet to a 1/2 inch iron rod set for corner at the beginning of a curve to the right having a radius of 945.00 feet, a central angle of 17°29'59", a chord of 287.51 feet, a chord bearing of South 81°15'00" West;

THENCE in a Westerly direction along the North line of said Beltway Drive and said to the right for an arc distance of 288.63 feet to a 1/2 inch iron rod set for corner at the end of said curve;

THENCE West along the North line of said Beltway Drive a distance of 113.25 feet to a 1/2 inch iron rod set for corner at the beginning of a curve to the left having a radius of 1080.00 feet, a central angle of 18°53'36", a chord which bears of South 80°33'12" West 287.51 feet;

THENCE in a Southwesterly direction along the North line of said Beltway Drive and said to the left for an arc distance of 356.13 feet to a 1/2 inch iron rod set for corner at the end of said curve;

THENCE North 00°01'18" East along the West line of said Sam's Club Addition a distance of 966.11 feet to a 1/2 inch iron rod set for corner in the South line of Lot 4, Block A of said Sam's Club Addition;

THENCE South 89°25'00" East along the South line of said Lot 4 a distance of 175.00 feet to a 1/2 inch iron rod set for corner;

THENCE North 00°01'18" East along the East line of said Lot 4 a distance of 230.00 feet to the POINT OF BEGINNING and Containing 19.088 acres or 831,479.29 square feet of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That Sam's Real Estate Business Trust ("Owner") does hereby adopt this plat designating the hereinabove property as Sam's Club Addition, an addition to the Town of Addison, Texas, and, subject to the conditions, restrictions and reservations stated hereinafter, owner dedicates to the public use forever the streets and alleys shown thereon.

The easements shown on this plat are hereby reserved for the purposes as indicated, including, but not limited to, the installation and maintenance of water, sanitary sewer, storm sewer, drainage, electric, telephone, gas and cable television. Owner shall have the right to use these easements, provided, however, that it does not unreasonably interfere or impede with the provision of the services to others. Said utility easements are hereby reserved by mutual use and accommodation of all public utilities using or desiring to use the same. An express easement of ingress and egress is hereby expressly granted on, over and across all such easements for the benefit of the provider of services for which easements are granted.

Any drainage and floodway easement shown hereon is hereby dedicated to the public's use forever, but including the following covenants with regards to maintenance responsibilities. The existing channels or creeks traversing the drainage and floodway easement will remain as an open channel, unless required to be enclosed by ordinance, at all times and shall be maintained by the individual owners of the lot or lots that are traversed by or adjacent to the drainage and floodway easement. The town will not be responsible for the maintenance and operation of said creek or creeks or for any damage or injury of private property or person that results from the flow of water along said creek, or for the control of erosion. No obstruction to the natural flow of water runoff shall be permitted by construction of any type building, fence or any other structure within the drainage and floodway easement. Provided, however, it is understood that in the event it becomes necessary for the town to channelize or consider erecting any type of drainage structure in order to improve the storm drainage, then in such event, the town shall have the right, but not the obligation, to enter upon the drainage and floodway easement at any point, or points, with all rights of ingress and egress to investigate, survey, erect, construct or maintain any drainage facility deemed necessary by the town for maintenance or efficiency of its respective system or service.

Water main and sanitary sewer easements shall also include additional area of working space for construction and maintenance of the systems. Additional area of working space for construction and maintenance of manholes, cleanouts, fire hydrants, water service and sewer services from the main to curb or pavement line, and the descriptions of such additional easements herein granted shall be determined by their locations as installed.

This plat is approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Addison, Texas.

FOR SAM'S REAL ESTATE BUSINESS TRUST:

Sam's Real Estate Business Trust

Approved by the Addison City Council on the _____ day of _____, 2002.

Mayor

City Secretary

REPLAT OF LOT 1, BLOCK A
SAM'S CLUB ADDITION

ADDITION TO THE TOWN OF ADDISON
DALLAS COUNTY, TEXAS
SITUATED IN
THOMAS L. CHENOWETH SURVEY
ABSTRACT NO. 273

SAM'S CLUB
ADDITION
LOT 1, BLOCK A
19.088 ACRES

LOT 2,
BLOCK A

LOT 3,
BLOCK A

LOT 4,
BLOCK A

BELTWAY ROAD
(60' R.O.W.)

STATE OF TEXAS
COUNTY OF DALLAS

BEFORE ME, the undersigned authority, a Notary Public, in and for said County and State on this day personally appeared Sam's Real Estate Business Trust, known to me to be the person and officer whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed and I the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the _____ day of _____, 2002.

SURVEYING CERTIFICATE

THAT I, James P. Keene, do hereby certify that I prepared this plat from an actual and accurate survey on the land and that all block monuments and corners were placed under my personal supervision in accordance with the platting rules and regulations of the City Planning and Zoning Commission of the Town of Addison.

James P. Keene
Registered Professional Land Surveyor No. 5100



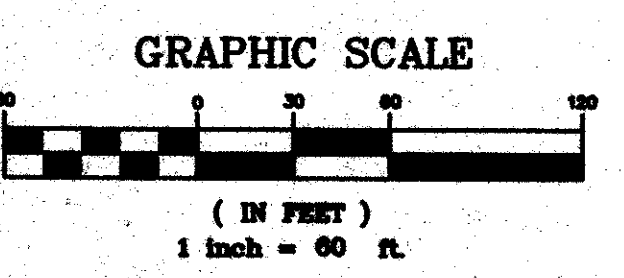
STATE OF TEXAS
COUNTY OF DALLAS

BEFORE ME, the undersigned authority, a Notary Public, in and for said County and State on this day personally appeared James P. Keene, known to me to be the person and officer whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed and I the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the _____ day of _____, 2002.

FIRST NATIONAL
BANK OF LUBBOCK
VOL. 98216, PG. 3147

PECAN SQUARE
COMMERCIAL
VOL. 82168, PG. 1772



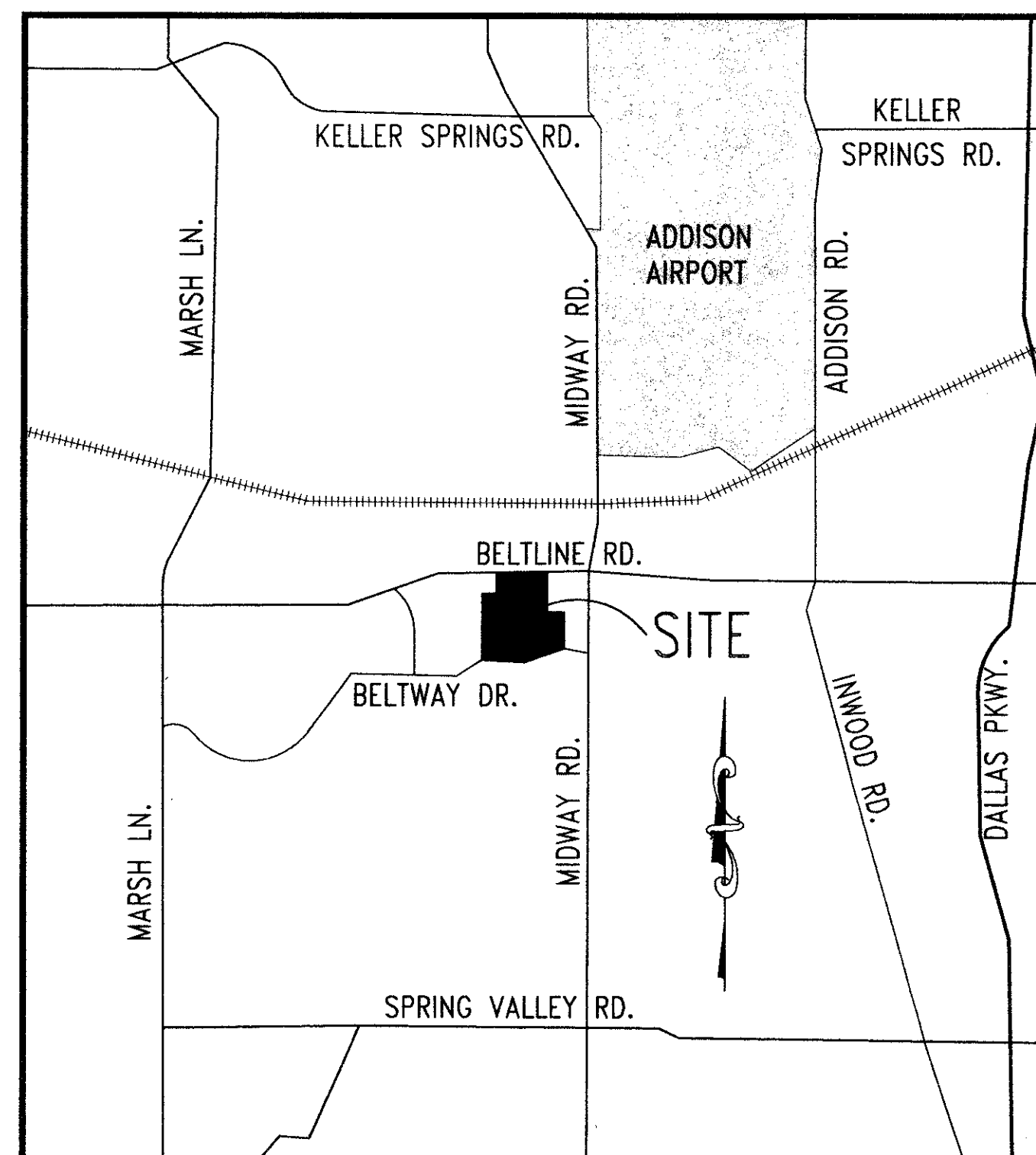
SITE DEVELOPMENT PLANS FOR SAM'S CLUB # 6376 PROPOSED BUILDING REMODEL ADDISON, DALLAS COUNTY, TEXAS 4150 BELTLINE ROAD

ENGINEER: ADAMS CONSULTING ENGINEERS, INC.
2445 E. SOUTHLAKE BLVD., SUITE 100
SOUTHLAKE, TEXAS 76092
PHONE: (817) 329-6990
FAX: (817) 329-7671
CONTACT: MR. JIM LOPEZ

ARCHITECT: RAYMOND HARRIS & ASSOCIATES ARCHITECTS
211 N. RECORD STREET, SUITE 222
DALLAS, TEXAS 75202
PHONE: (214) 749-0626
FAX: (214) 748-0656
CONTACT: MR. BEN BELL

GOVERNING AGENCIES

ELECTRIC	TXU (972) 791-2888	BUILDING INSPECTION	CITY OF ADDISON 16801 WESTGROVE DRIVE ADDISON, TEXAS 75001 (972) 450-2889 CONTACT: MR. LYNN CHANDLER
WATER BILLING	CITY OF ADDISON 5350 BELTLINE RD. ADDISON, TEXAS 75001 (972) 450-7081	SAM'S CLUB REPRESENTATIVE	WAL-MART STORE PLANNING DEPT. 2001 S.E. 10TH STREET BENTONVILLE, ARKANSAS 72716-0550 (501) 273-4909 CONTACT: MR. TY HOFFINE
GAS	TXU (972) 791-2888	CABLE T.V.	CHARTER CABLE (800) 477-0887
SEWER BILLING	CITY OF ADDISON 5350 BELTLINE RD. ADDISON, TEXAS 75001 (972) 450-7081	AT&T	(972) 840-2388
WATER/SEWER	UTILITIES OPERATIONS TOWN OF ADDISON PUBLIC WORKS/ENGINEERING 16801 WESTGROVE RD. ADDISON, TEXAS 75001 CONTACT: STEVE CHUTCHON ASST. CITY ENGINEER PHONE: (972) 450-2871	TELEPHONE	SOUTHWESTERN BELL (214) 948-4811



VICINITY MAP

N.T.S.

****NOTICE TO BIDDERS****

ALL QUESTIONS REGARDING THE GENERAL CONTRACTOR'S PREPARATION OF HIS BID SHALL BE DIRECTED TO THE WAL-MART STORE PLANNING DEPARTMENT. SUBCONTRACTORS MUST DIRECT THEIR QUESTIONS THROUGH THE GENERAL CONTRACTOR ONLY. THE CONSULTING ARCHITECT AND/OR ENGINEER SHALL NOT BE DIRECTLY CONTACTED WITHOUT PRIOR AUTHORIZATION FROM WAL-MART.

RECORD DRAWINGS

The intent of the owner and engineer was to construct these facilities according to these plans as approved by the Town of Addison. The lines and grades were set on the ground for construction according to said plans. The Town of Addison inspected the construction. Neither the owner nor the engineer verified lines or grades after construction. We are not aware of any changes or revisions to these plans during construction except as noted.

INDEX TO SHEETS

SHEET NO.	DESCRIPTION
1	COVER SHEET
2	BOUNDARY/TOPO SURVEY
3	DEMOLITION PLAN
4	UTILITY PLAN
5	SITE, GRADING & STRIPING PLAN
6	TOWN OF ADDISON DETAILS
L1	OVERALL SITE LAYOUT
L2	LANDSCAPE PLAN
L3	LANDSCAPE PLAN
L4	IRRIGATION PLAN
L5	IRRIGATION PLAN

THESE PLANS SUBJECT TO REVIEW BY JURISDICTIONAL ENTITIES

BENCHMARK
SQUARE CUT ON HEADWALL NORTH OF RAILROAD, EAST SIDE OF MIDWAY.
ELEVATION=617.77

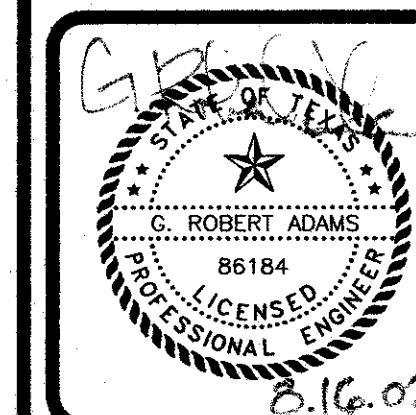
****NOTICE TO CONTRACTOR****
TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY BY A-1 SURVEYS, INC. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL AND VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL AND VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. IF THE CONTRACTOR(S) DOES NOT ACCEPT THE EXISTING TOPOGRAPHY AS SHOWN ON THESE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE AT HIS EXPENSE A TOPOGRAPHIC SURVEY BY A REGISTERED PROFESSIONAL ENGINEER OR A REGISTERED PROFESSIONAL LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.

REVISIONS	DATE	BY
AS-BUILTS	8/19/02	J.L.

ADAMS CONSULTING ENGINEERS, INC.
CIVIL & ENVIRONMENTAL ENGINEERS
2445 E. SOUTHLAKE BLVD., SUITE 100 • SOUTHLAKE, TEXAS 76092
Phone: (817) 329-6990 • Fax: (817) 329-7671

RAYMOND HARRIS AND ASSOCIATES ARCHITECTS
PROPOSED SAM'S CLUB BUILDING REMODEL
4150 BELTLINE ROAD
ADDISON, TEXAS

COVER SHEET



PROJECT MGR.	J.L.
PROJECT TECH.	J.S.H.
CHECKED BY	J.H.W.
JOB NO.	2007.189
SHEET NO.	1

01-18

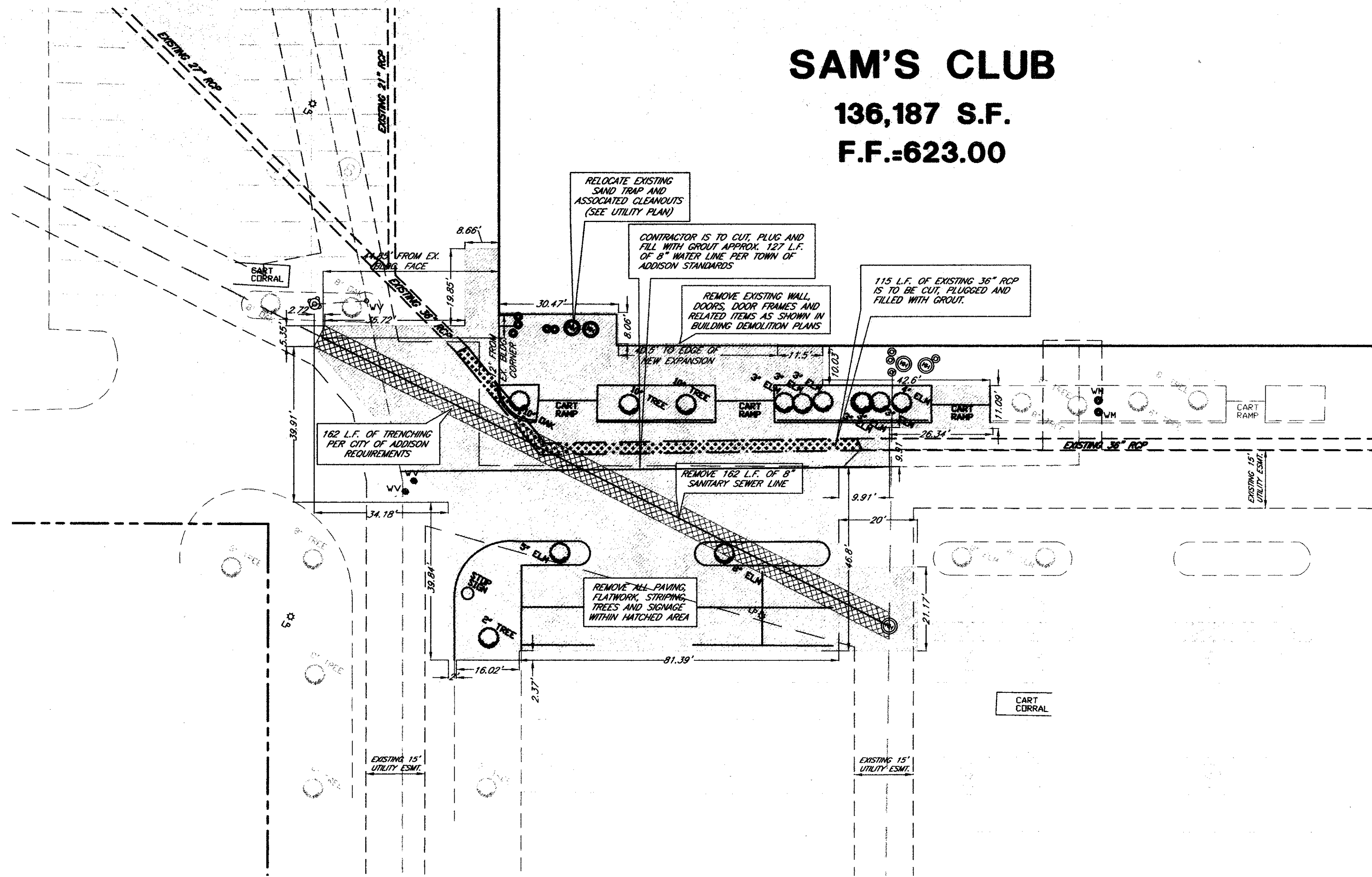
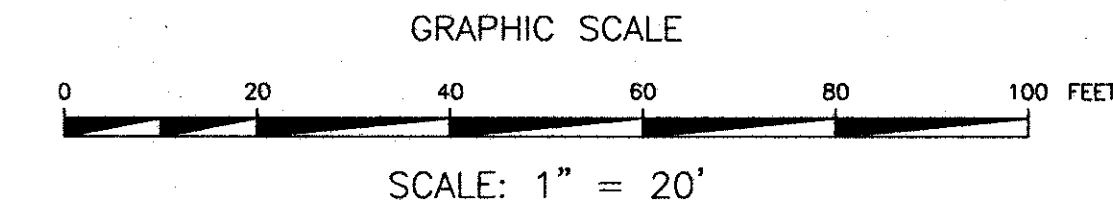
4150 BELT LINE
SAM'S CLUB
ADDISON

B19-10

SAM'S CLUB

136,187 S.F.

F.F.=623.00



RECORD DRAWINGS

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CAUTION—NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.

THESE PLANS SUBJECT TO REVIEW BY JURISDICTIONAL ENTITIES

BENCHMARK
SQUARE CUT ON HEADWALL NORTH OF RAILROAD, EAST SIDE OF MIDWAY.
ELEVATION=617.77

***** STOP! CALL BEFORE YOU DIG! *****
AS REQUIRED BY "THE TEXAS UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT" TEXAS ONE CALL SYSTEM MUST BE CONTACTED (800-245-4545) AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION OPERATIONS BEING PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT TEXAS ONE CALL SYSTEM.

****NOTICE TO CONTRACTOR****
TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY BY A-1 SURVEYS, INC. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL AND VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL AND VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. IF THE CONTRACTOR(S) DOES NOT ACCEPT THE EXISTING TOPOGRAPHY AS SHOWN ON THESE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE AT HIS EXPENSE A TOPOGRAPHIC SURVEY BY A REGISTERED PROFESSIONAL ENGINEER OR A REGISTERED PROFESSIONAL LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.

LEGEND

- LIMITS OF EXTERIOR DEMOLITION
- LIMITS OF SEWER TRENCHING
- TREE
- WATER VALVE
- LIGHT POLE
- MANHOLE
- WATER METER
- CLEANOUT
- FIRE HYDRANT
- EXISTING UTILITY EASEMENT TO BE ABANDONED BY SEPARATE INSTRUMENT

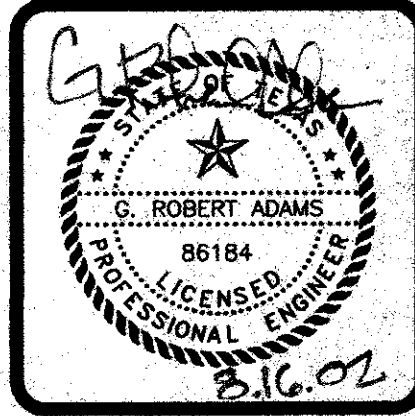
- ### DEMOLITION NOTES
- CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS AND PINS.
 - CONTRACTOR SHALL REMOVE PAVEMENT IN ACCORDANCE WITH SPECIFICATIONS.
 - CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
 - ALL WORK ON THIS PLAN SHALL BE DONE IN STRICT ACCORDANCE WITH SITework SPECIFICATIONS.
 - CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURE. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING OR OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED, FOR ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE PUBLIC DURING CONSTRUCTION, WHICH INCLUDES, BUT IS NOT LIMITED TO CONSTRUCTION FENCING, BARRICADES, SIGNAGE, ETC.
 - CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
 - CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF ADDISON SPECIFICATIONS.

BY	JL
DATE	8/16/02
REVISIONS	AS-BUILTS

ADAMS CONSULTING ENGINEERS, INC.
CIVIL - ENVIRONMENTAL ENGINEERS
 2448 E. Southlake Blvd., Suite 100 • Southlake, Texas 76082
 Phone: (817) 328-8980 • Fax: (817) 328-7871

RAYMOND HARRIS AND ASSOCIATES ARCHITECTS
 PROPOSED SAM'S CLUB BUILDING REMODEL
 4150 BELTLINE ROAD
 ADDISON, TEXAS

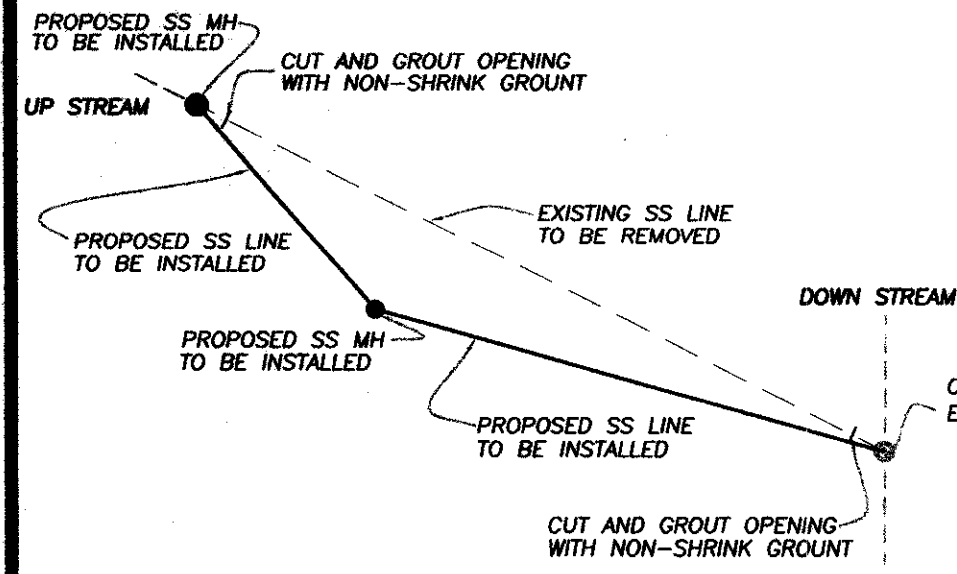
DEMOLITION PLAN



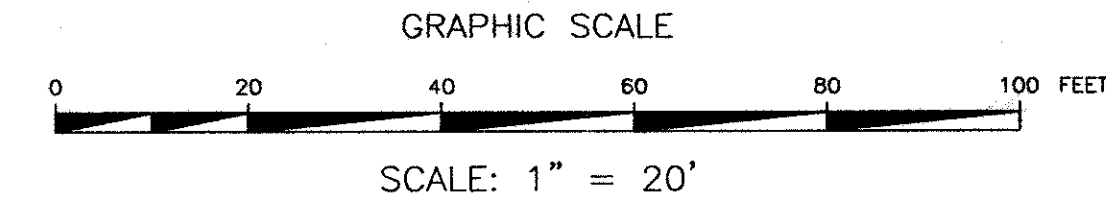
PROJECT MGR.	J.L.
PROJECT TECH.	J.S.H.
CHECKED BY	J.H.W.
JOB NO.	2001.189
SHEET NO.	3

SANITARY SEWER CONSTRUCTION SEQUENCE:

1. TRENCH AND INSTALL NEW SANITARY SEWER LINE AND MANHOLES LEAVING EXISTING LINE IN PLACE.
 2. CONNECT THE PROPOSED SANITARY SEWER LINE TO THE EXISTING SANITARY MH ON THE DOWN STREAM END AND TO THE PROPOSED SANITARY SEWER MH ON THE UPSTREAM END, ALLOWING THE SEWER TO TEMPORARILY FLOW THROUGH BOTH THE OLD AND THE NEW SS LINES.
 3. CUT AND REMOVE EXISTING SANITARY SEWER LINE ON BOTH ENDS. GROUT THE OPENINGS ON BOTH ENDS WITH NON-SHRINKING GROUT.
- *** REFER TO SKETCH BELOW***



SAM'S CLUB
136,187 S.F.
F.F.=623.00



RECORD DRAWINGS

The intent of the owner and engineer was to construct these facilities according to these plans as approved by the Town of Addison. The lines and grades were set on the ground for construction according to said plans. The Town of Addison inspected the construction. Neither the owner nor the engineer verified lines or grades after construction. We are not aware of any changes or revisions to these plans during construction except as noted.

****CAUTION-NOTICE TO CONTRACTOR****

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THESE PLANS SUBJECT TO REVIEW BY JURISDICTIONAL ENTITIES

BENCHMARK
SQUARE CUT ON HEADWALL NORTH OF RAILROAD, EAST SIDE OF MIDWAY.
ELEVATION=617.77

***** STOP! CALL BEFORE YOU DIG! *****
AS REQUIRED BY "THE TEXAS UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT" TEXAS ONE CALL SYSTEM MUST BE CONTACTED (800-245-4545) AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION OPERATIONS BEING PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT TEXAS ONE CALL SYSTEM.

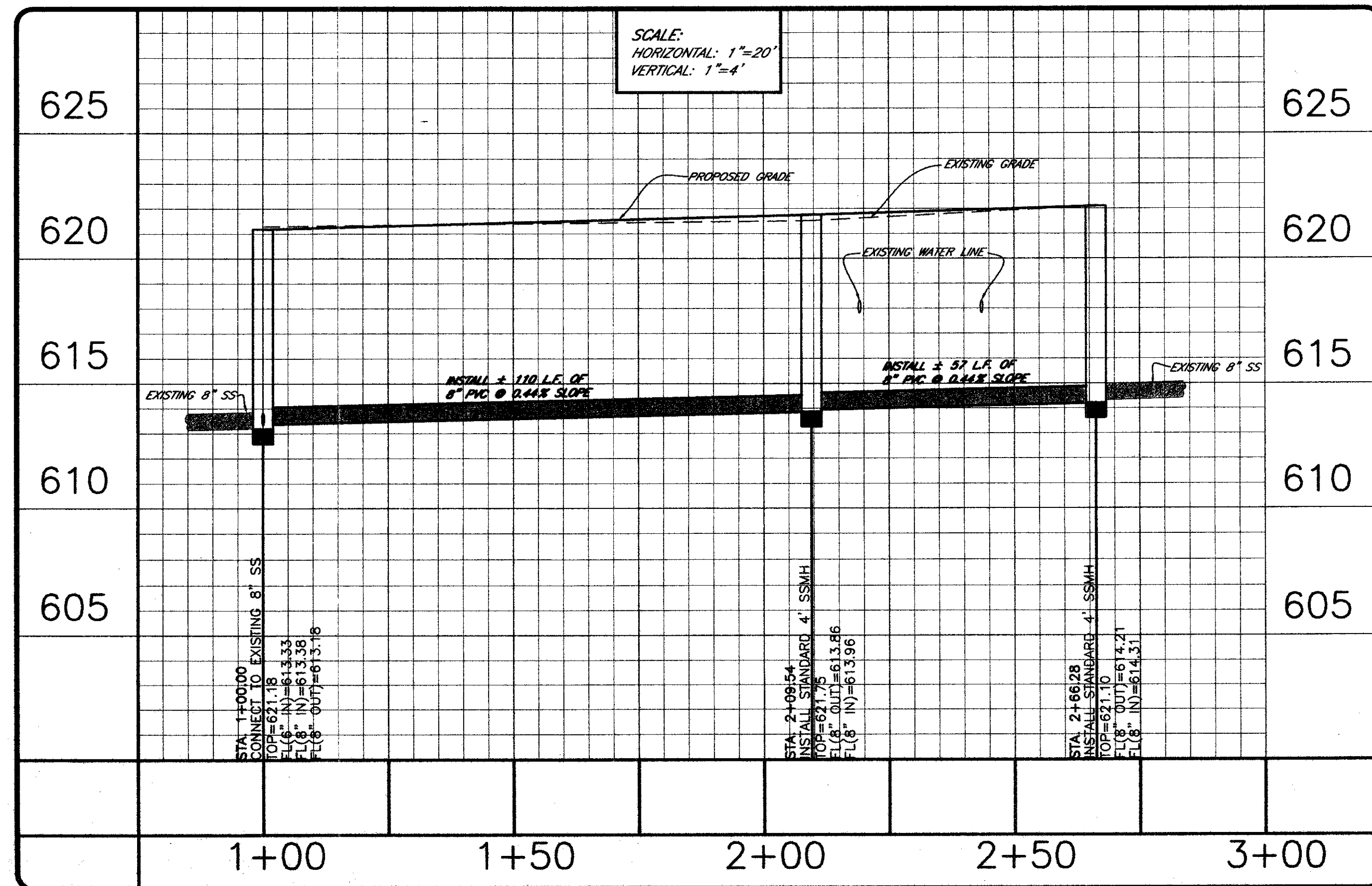
****NOTICE TO CONTRACTOR****
TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY BY A-1 SURVEYS, INC. THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL AND VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL AND VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. IF THE CONTRACTOR(S) DOES NOT ACCEPT THE EXISTING TOPOGRAPHY AS SHOWN ON THESE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE AT HIS EXPENSE A TOPOGRAPHIC SURVEY BY A REGISTERED PROFESSIONAL ENGINEER OR A REGISTERED PROFESSIONAL LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.

LEGEND

- LIMITS OF NEW PAVING
- LIMITS OF SEWER TRENCHING
- TREE
- WATER VALVE
- LIGHT POLE
- EXIST. MANHOLE
- PROP. MANHOLE
- WATER METER
- CLEANOUT
- FIRE HYDRANT
- EXISTING 15' UTILITY EASEMENT
- PROPOSED 15' UTILITY EASEMENT

UTILITY NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURBS, SIDEWALKS, DRIVEWAYS, FENCES, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
2. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURE. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED TO, ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
3. ALL WORK ON THIS PLAN SHALL BE DONE IN STRICT ACCORDANCE WITH THE CITY OF ADDISON SPECIFICATIONS.
4. CONTRACTOR SHALL, ON ALL UTILITIES, COORDINATE INSPECTION WITH APPROPRIATE AUTHORITIES PRIOR TO COVERING TRENCHES.
5. CONSTRUCTION SHALL COMPLY WITH GOVERNING CODES AND REQUIREMENTS. CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE UTILITY COMPANIES AND OWNERS INSPECTING AUTHORITIES.
6. ALL UTILITY CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE CITY OF ADDISON APPROVED PRODUCTS LIST.
7. ADJUST PAVEMENT AND/OR CURB ELEVATIONS AS NECESSARY TO ASSURE A SMOOTH FIT & CONTINUOUS GRADE WITH EXISTING.
8. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
9. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION.
10. CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.



DATE	8/17/02
BY	JL
REVISIONS	AS-BUILTS

ADAMS CONSULTING ENGINEERS, INC.
CIVIL - ENVIRONMENTAL ENGINEERS
2445 E. Southlake Blvd., Suite 100 - Southlake, Texas 76082
Phone: (817) 928-9990 • Fax: (817) 328-7671

RAYMOND HARRIS AND ASSOCIATES ARCHITECTS
PROPOSED SAM'S CLUB BUILDING REMODEL
4150 BELTLINE ROAD
ADDISON, TEXAS

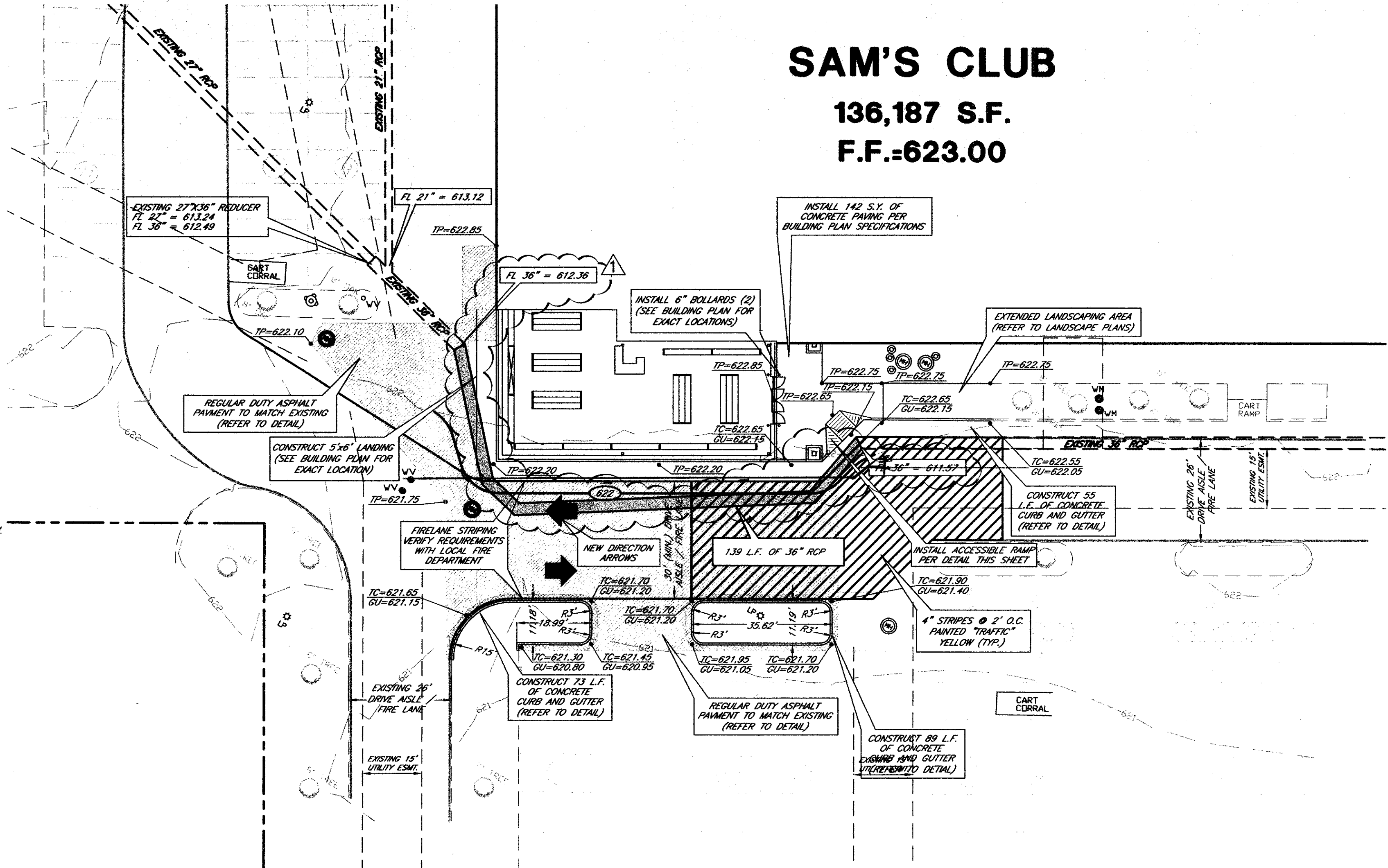
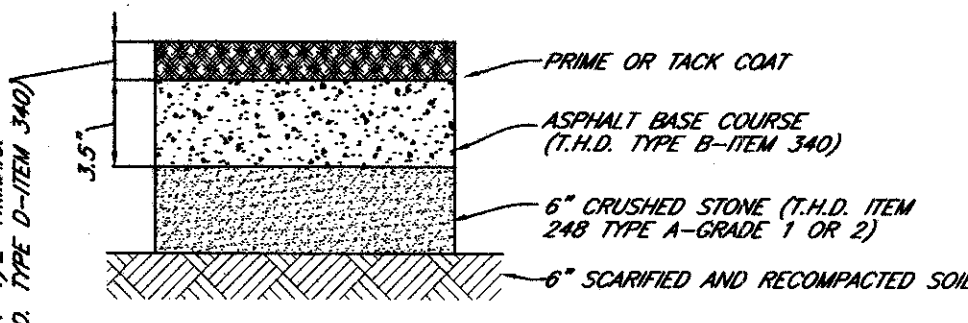
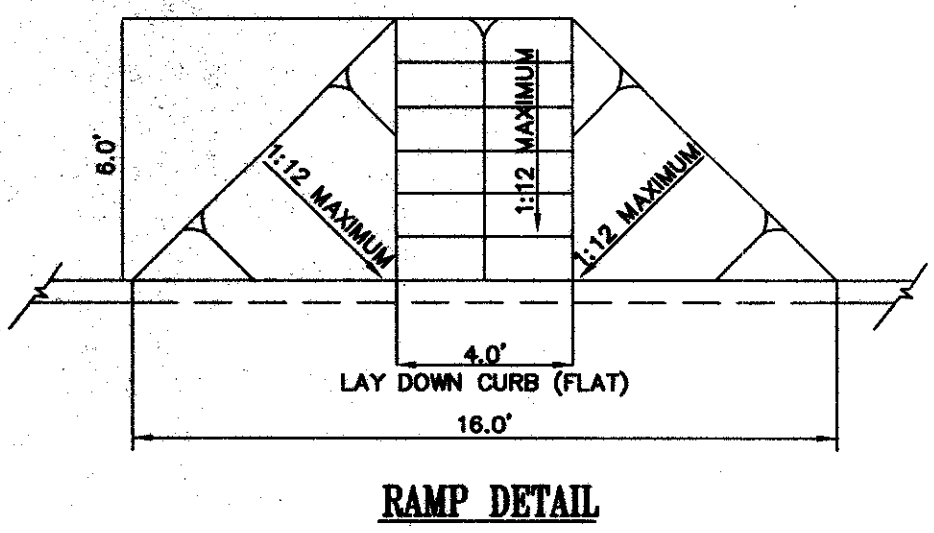
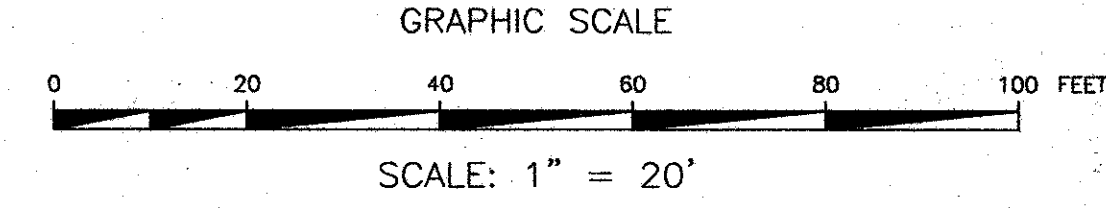
UTILITY PLAN

C. ROBERT ADAMS
86184
LICENSED PROFESSIONAL ENGINEER
8.16.02

PROJECT MGR.	J.L.
PROJECT TECH.	J.S.H.
CHECKED BY	
JOB NO.	2001.189
SHEET NO.	4

SAM'S CLUB

136,187 S.F.
F.F.=623.00



RECORD DRAWINGS

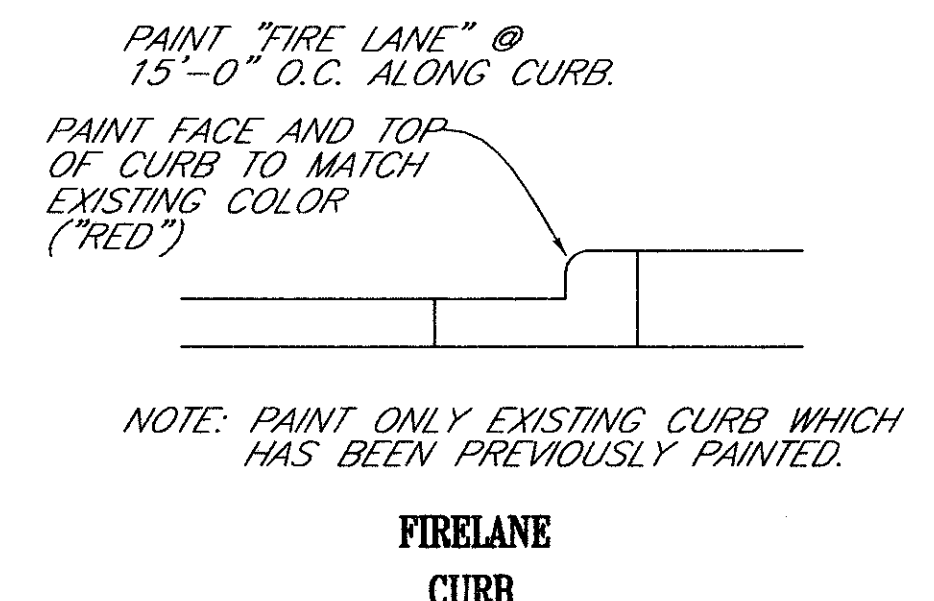
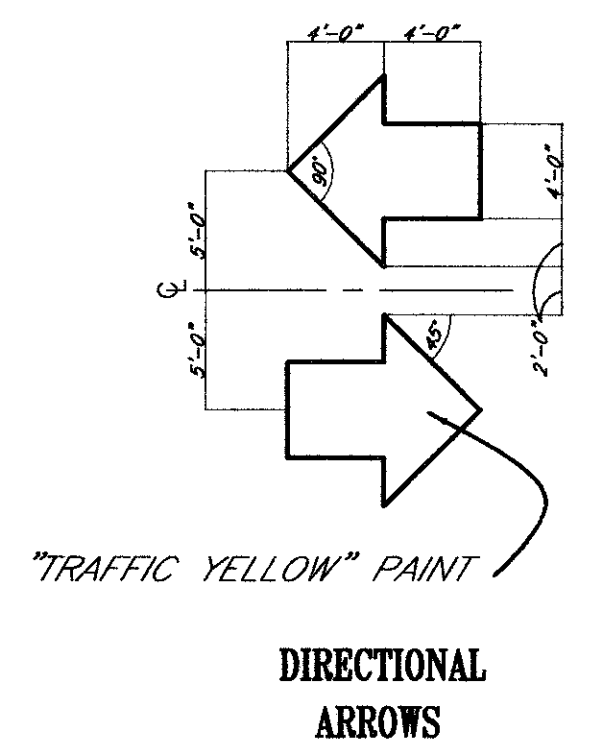
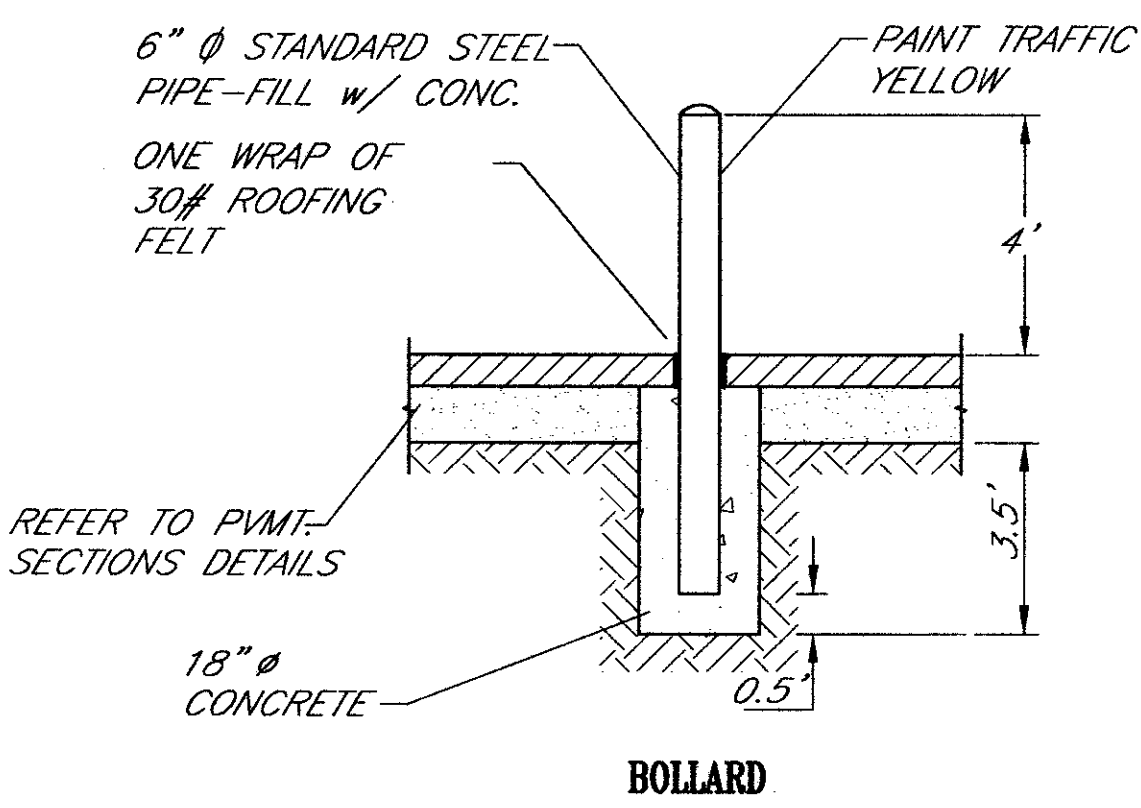
The intent of the owner and engineer was to construct these facilities according to these plans as approved by the Town of Addison. The lines and grades were set on the ground for construction according to said plans. The Town of Addison inspected the construction. Neither the owner nor the engineer verified lines or grades after construction. We are not aware of any changes or revisions to these plans during construction except as noted.

****CAUTION-NOTICE TO CONTRACTOR****

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.

LEGEND

	LIMITS OF REGULAR DUTY ASPHALT PAVEMENT
	LIMITS OF NEW CONCRETE PAVING
	TREE
	WATER VALVE
	LIGHT POLE
	EXIST. MANHOLE
	PROP. MANHOLE
	WATER METER
	CLEANOUT
	FIRE HYDRANT



THESE PLANS SUBJECT TO REVIEW BY JURISDICTIONAL ENTITIES

BENCHMARK
SQUARE CUT ON HEADWALL NORTH OF RAILROAD, EAST SIDE OF MIDWAY.
ELEVATION=617.77

CONSTRUCTION NOTES:

1. THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.
2. ADJUST PAVEMENT ELEVATIONS AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE WITH EXISTING.
3. PROPOSED SPOT GRADES SHOWN ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
4. EXISTING AND PROPOSED GRADE CONTOUR INTERVALS SHOWN AT ONE FOOT (1').
5. CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.
6. PAVING IS 6" CONCRETE UNLESS OTHERWISE NOTED (REFER TO ARCHITECTURAL PLANS).
7. CONTRACTOR TO REFERENCE BUILDING PLANS FOR EXACT DIMENSIONS OF BUILDING FOUNDATION.
8. CONTRACTOR TO REFERENCE MEP (PLUMBING) PLANS FOR EXACT LOCATIONS AND SIZES OF SEWER AND WATER TAPS.
9. REFER TO ORIGINAL CIVIL CONSTRUCTION PLANS FOR ASPHALT PAVING SECTION AND REQUIREMENTS.

NOTE:

1. ALL DIAGONAL PAINT STRIPING SHALL BE 6" WIDE "TRAFFIC YELLOW" STRIPES @ 2'-0" O.C. UNLESS NOTED OTHERWISE.
2. NEW "FIRE LANE" STRIPING CONSIST OF A RED STRIPE NOT LESS THAN 6" WIDE ALONG BOTH BORDERS OF A FIRE APPARATUS ACCESS ROAD. THE WORDS "FIRE LANE NO PARKING" SHALL BE MARKED ON THE STRIPES IN WHITE LETTERS NOT LESS THAN 4" HIGH AT INTERVALS OF NOT MORE THAN 15'. THE STRIPES AND WORDS SHALL CONSIST OF TRAFFIC PAINT. THE MARKINGS SHALL BE APPLIED TO THE VERTICAL FACE OF CURBS IF ADJACENT TO THE FIRE APPARATUS ACCESS ROAD.
3. WHERE THE ABOVE MARKINGS ARE DETERMINED TO BE INADEQUATE IN CONTROLLING TRAFFIC, THE PROPERTY OWNER WILL BE REQUIRED TO POST FIRE LANE SIGNS IN ADDITION TO OTHER FIRE LANE MARKINGS.

PARKING SUMMARY	
EXISTING BUILDING AREA:	136,187 S.F.
EXISTING PARKING SPACES:	830
EXISTING PARKING RATIO:	6.09/1000
AFTER REMODEL	
NEW BUILDING AREA:	138,527 S.F.
EXISTING PARKING SPACES:	830
PARKING SPACES REMOVED:	6
SPACES AFTER REMODEL:	824
PARKING RATIO AFTER REMODEL:	5.95/1000
PARKING CALCULATIONS	
BUILDING AREA:	138,527 S.F.
REQUIRED PARKING SPACES: (1 PER 200 S.F.)	693
PARKING SPACES PROVIDED:	824
REQUIRED HANDICAP SPACES: (2% OF REQ'D.)	17
HANDICAP PARKING PROVIDED:	22

NOTE: EXISTING PARKING SPACE INFORMATION AND LAYOUT AS PER DOCUMENTS PROVIDED BY HARRISON FRENCH ARCHITECTURE DATED 07-12-01

***** STOP! CALL BEFORE YOU DIG! *****

AS REQUIRED BY "THE TEXAS UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT" TEXAS ONE CALL SYSTEM MUST BE CONTACTED (800-245-4545) AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION OPERATIONS BEING PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT TEXAS ONE CALL SYSTEM.

****NOTICE TO CONTRACTOR****

THE TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY BY A-1 SURVEYS, INC., THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL AND VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, TELEPHONE, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL AND VERTICAL) OF SAID CABLES, CONDUITS, PIPES, AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR. IF THE CONTRACTOR(S) DOES NOT ACCEPT THE EXISTING TOPOGRAPHY AS SHOWN ON THESE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE AT HIS EXPENSE A TOPOGRAPHIC SURVEY BY A REGISTERED PROFESSIONAL ENGINEER OR A REGISTERED PROFESSIONAL LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.

REVISIONS	DATE	BY
AS-BUILTS	8/16/02	JL

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RAYMOND HARRIS AND ASSOCIATES ARCHITECTS
PROPOSED SAM'S CLUB BUILDING REMODEL
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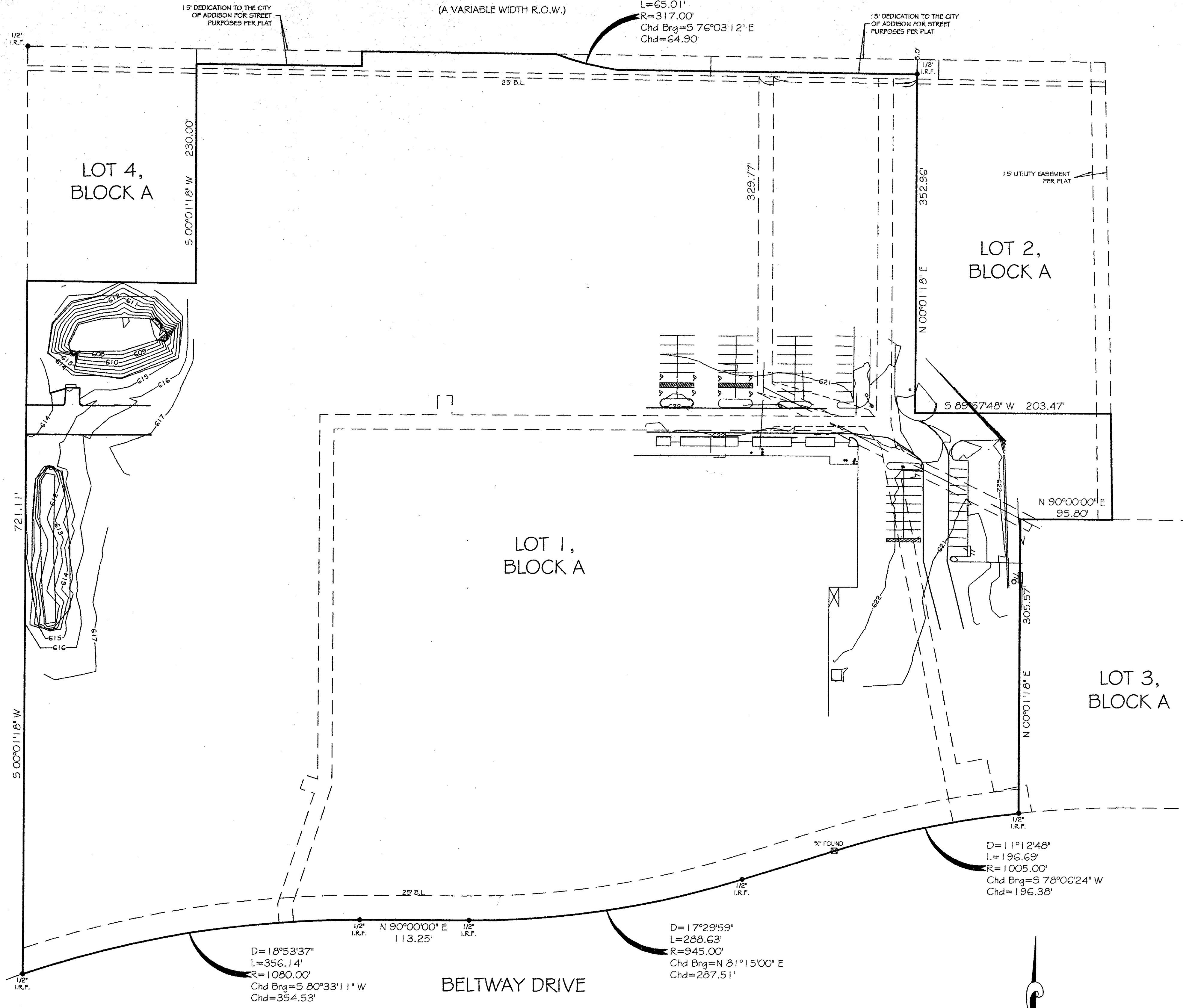
SITE, GRADING & STRIPING PLAN

PROJECT MGR.	J.L.
PROJECT TECH.	J.S.H.
CHECKED BY	
JOB NO.	2001.189
SHEET NO.	5

BELTLINE ROAD
(A VARIABLE WIDTH R.O.W.)

D=11°45'03"
L=65.01'
R=317.00'
Chd Brg=S 76°03'12" E
Chd=64.90'

BEING Lot 1, Block A, Sam's Club Addition, an addition to the City of Addison, Dallas County, Texas, according to the Plat thereof recorded in Volume 92109, Page 3687, of the Deed Records of Dallas County, Texas.



15' DEDICATION TO THE CITY OF ADDISON FOR STREET PURPOSES PER PLAT

15' DEDICATION TO THE CITY OF ADDISON FOR STREET PURPOSES PER PLAT

15' UTILITY EASEMENT PER PLAT

1/2" I.R.F.

1/2" I.R.F.

1/2" I.R.F.

1/2" I.R.F.

1/2" I.R.F.

1/2" I.R.F.

1/2" I.R.F.

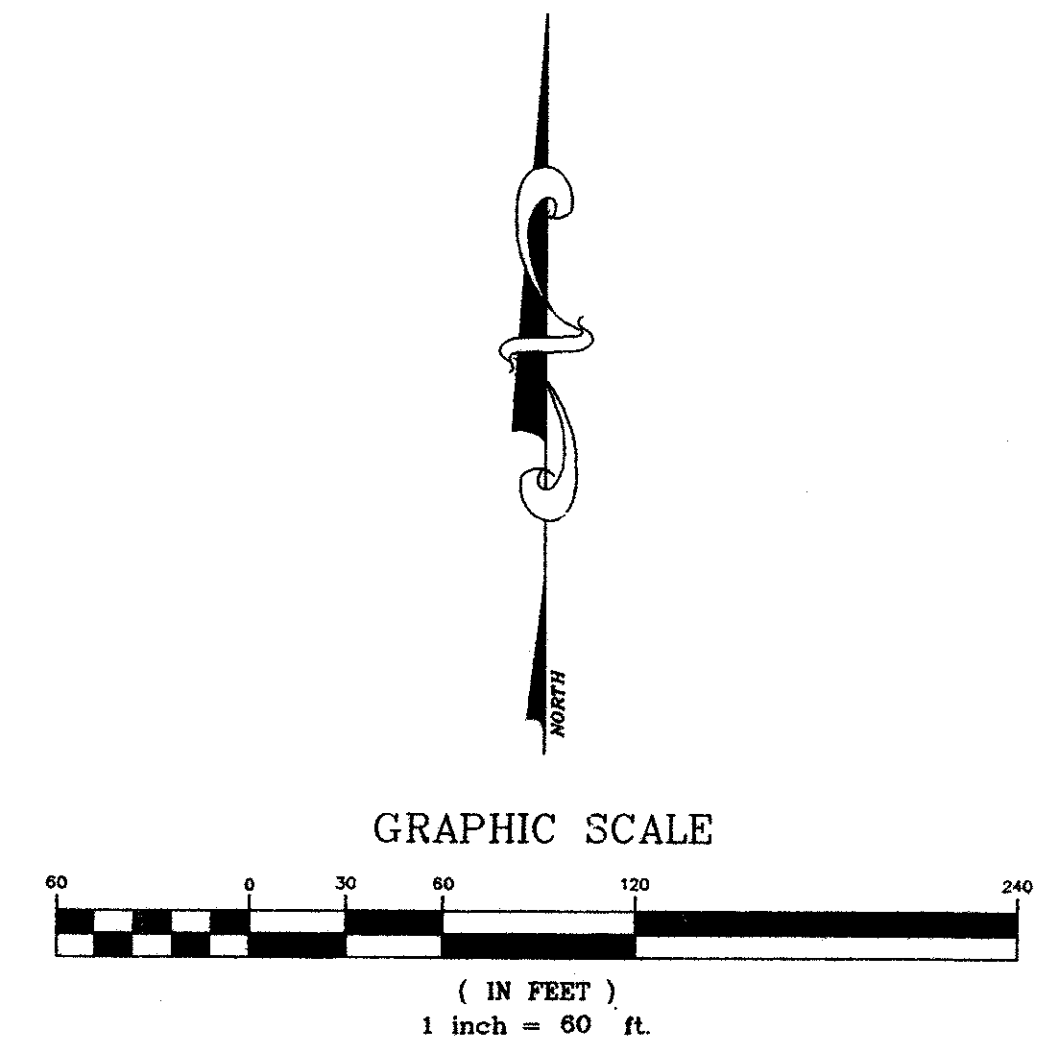
D=18°53'37"
L=356.14'
R=1080.00'
Chd Brg=S 80°33'11" W
Chd=354.53'

D=17°29'59"
L=288.63'
R=945.00'
Chd Brg=N 81°15'00" E
Chd=287.51'

D=11°12'48"
L=196.69'
R=1005.00'
Chd Brg=S 78°06'24" W
Chd=196.38'

BELTWAY DRIVE

THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A CURRENT TITLE COMMITMENT AT THE CLIENTS REQUEST.



(*) INDICATES THAT BUILDING LINES, EASEMENTS, R.O.W.'S, ETC. AS SHOWN HEREON ARE PER PLAT RECORDED IN VOLUME 92109, PAGE 3687, OF THE PLAT RECORDS OF DALLAS COUNTY, TEXAS.

I, JAMES P. KEENE, REGISTERED PROFESSIONAL LAND SURVEYOR OF THE STATE OF TEXAS, DO CERTIFY THAT THE PLAT HEREON IS A TRUE, CORRECT AND ACCURATE REPRESENTATION OF THE PROPERTY SHOWN HEREON AS DETERMINED BY A SURVEY ON THE GROUND UNDER MY SUPERVISION. THE LINES AND DIMENSIONS OF SAID PROPERTY BEING INDICATED BY THE PLAT. THE IMPROVEMENTS ARE WITHIN THE BOUNDARIES OF THE PROPERTY LINES AT THE DISTANCES INDICATED AND THERE ARE NO VISIBLE AND APPARENT EASEMENTS, ENCROACHMENTS, CONFLICTS OR PROFESSIONS, EXCEPT AS SHOWN ON THE ABOVE PLAT.

THIS IS TO CERTIFY THAT THE ABOVE SHOWN PROPERTY IS NOT WITHIN THE 100 YEAR FLOOD HAZARD AREA AS PUBLISHED IN COUNTY FLOOD NO. _____ AND DATED _____ OF THE FLOOD INSURANCE RATE MAP.

THIS SURVEY WAS PERFORMED FOR:
ADAMS CONSULTING ENGINEERS
USE OF THIS SURVEY BY ANY OTHER PARTY SHALL BE AT THEIR OWN RISK AND THE UNDERSIGNED IS NOT RESPONSIBLE TO OTHERS FOR ANY LOSSES RESULTING THEREFROM.

LEGEND
AC = AIR CONDITIONING PAD
E = ELECTRIC METER
B.L. = BUILDING LINE
U.E. = UTILITY EASEMENT
I.R.F. = IRON ROD FOUND
I.R.S. = IRON ROD SET
C = CONCRETE PAVING
P = POWER LINE
A = ASPHALT
GM = GAS METER
W = WROUGHT IRON FENCE
C.L.F. = CHAIN LINK FENCE
B.W.F. = BARE WIRE FENCE

NAME: ???????
JOB NO.: 2K1-1397
DATE: 1/29/02
GF#: N/A
DRN. BY: CONNER
SCALE: 1" = 60'

JAMES P. KEENE
R.P.L.S. NO. 5100
A-1 SURVEYS, INC.
2734 KINGSLEY #1A, GARLAND, TEXAS 75041
(972) 276-6299 VOICE
(972) 276-6803 FAX