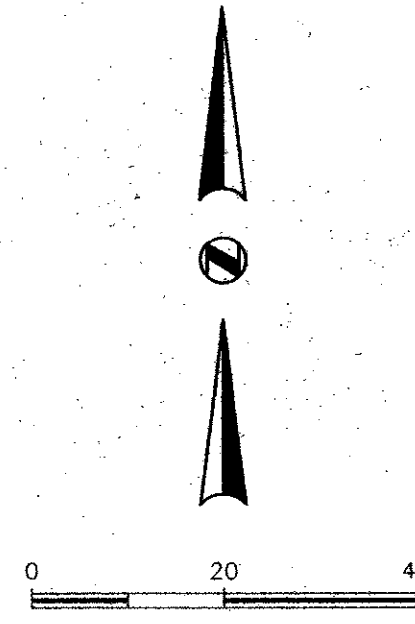


CAUTION!!!
 GTE BURIED CABLE IN THIS AREA.
 CONTACT GTE 48 HOURS PRIOR
 TO CONSTRUCTION.

CAUTION!!!
 EXISTING GAS MAIN IN AREA
 CONTACT LONE STAR GAS 48 HOURS
 PRIOR TO CONSTRUCTION

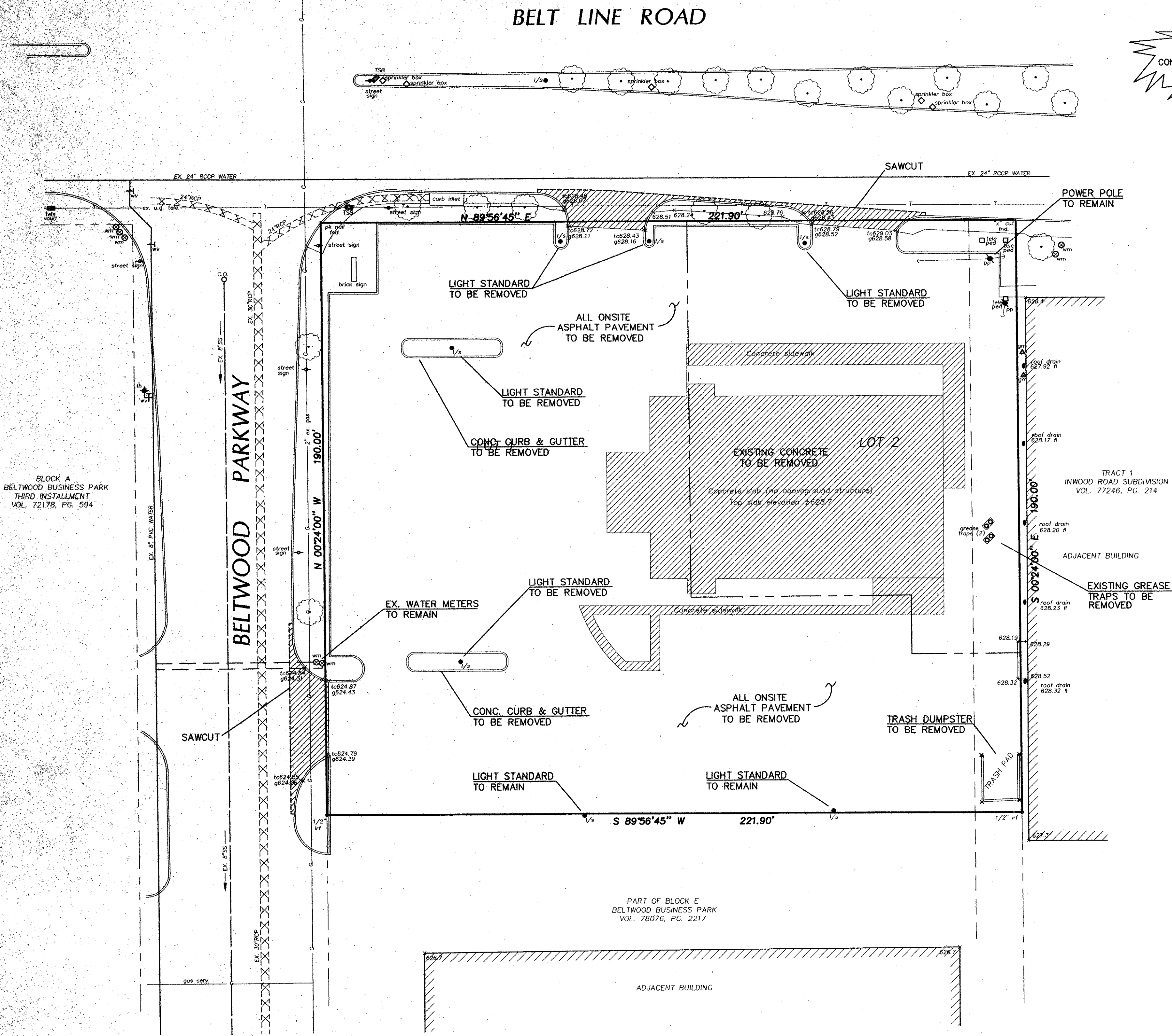


LEGEND

	EXISTING CURB
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM SEWER LINE
	PROPOSED SAWCUT
	CONCRETE TO BE REMOVED

GENERAL NOTES

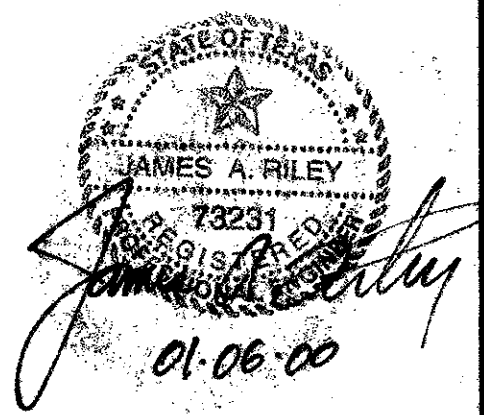
1. NOTIFY AFFECTED UTILITY COMPANIES BEFORE STARTING WORK AND COMPLY WITH THEIR REQUIREMENTS.
2. THE LOCATION OF ALL UTILITIES INDICATED ON THESE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.
3. OWNER ASSUMES NO RESPONSIBILITY FOR ACTUAL CONDITION OF AREAS TO BE DEMOLISHED.
4. PERFORM WORK IN MANNER TO ELIMINATE HAZARDS TO PERSONS OR PROPERTY AND AVOID INTERFERENCE WITH ADJACENT AREAS, UTILITIES AND STRUCTURES.
5. PROVIDE AND MAINTAIN TEMPORARY BARRICADES, FENCES, WARNING SIGNS, GUARDRAILS, WARNING LIGHTS.
6. PROTECT EXISTING STRUCTURES, LANDSCAPING MATERIALS, AND APPURTENANCES WHICH ARE NOT BEING DEMOLISHED.
7. CONTRACTOR TO BE RESPONSIBLE FOR ALL REQUIRED PERMITS.
8. CEASE DEMOLITION OPERATIONS IMMEDIATELY IF ADJACENT STRUCTURES APPEAR TO BE IN DANGER. CONDUCT SAFETY OPERATIONS AS NECESSARY. DO NOT RESUME DEMOLITION OPERATIONS UNTIL DIRECTED.
9. RETURN SURFACES TO EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF SELECTIVE DEMOLITION WORK. (PROVIDE POSITIVE DRAINAGE)
10. ALL MATERIALS REMOVED SHALL BE DISPOSED OF OFFSITE IN A LEGAL MANNER.



BLOCK A
 BELTWOOD BUSINESS PARK
 THIRD INSTALLMENT
 VOL. 72178, PG. 594

PART OF BLOCK E
 BELTWOOD BUSINESS PARK
 VOL. 78076, PG. 2217

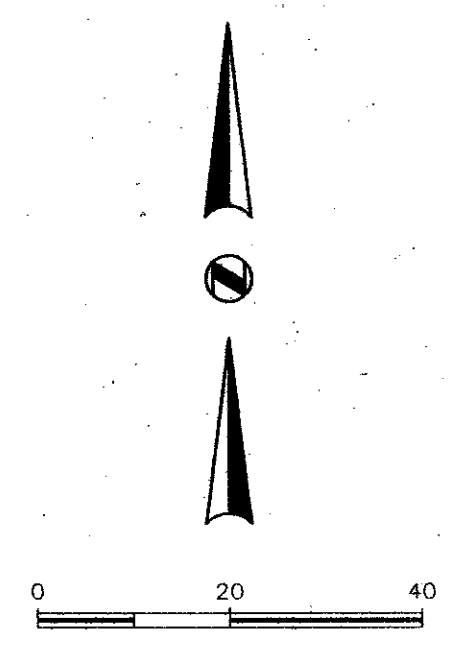
BENCHMARK:
 TOP OF CURB INLET AT THE SOUTHEAST INTERSECTION
 OF BELT LINE ROAD AND BELTWOOD PARKWAY.
 ELEVATION 627.74



DEMOLITION PLAN						
THE PRINT PLACE						
TOWN OF ADDISON						
DALLAS COUNTY, TEXAS						
B BROCKETTE • DAVIS • DRAKE, INC. consulting engineers Civil & Structural Engineering • Surveying 4144 North Central Expressway, Suite 1100 • Dallas, Texas 75204 (214) 824-3647 • fax (214) 824-7064						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
JAR	FG	01/00	1"=20'	BDD	C99356	C3

CAUTION!!!
GTE BURIED CABLE IN THIS AREA.
CONTACT GTE 48 HOURS PRIOR
TO CONSTRUCTION.

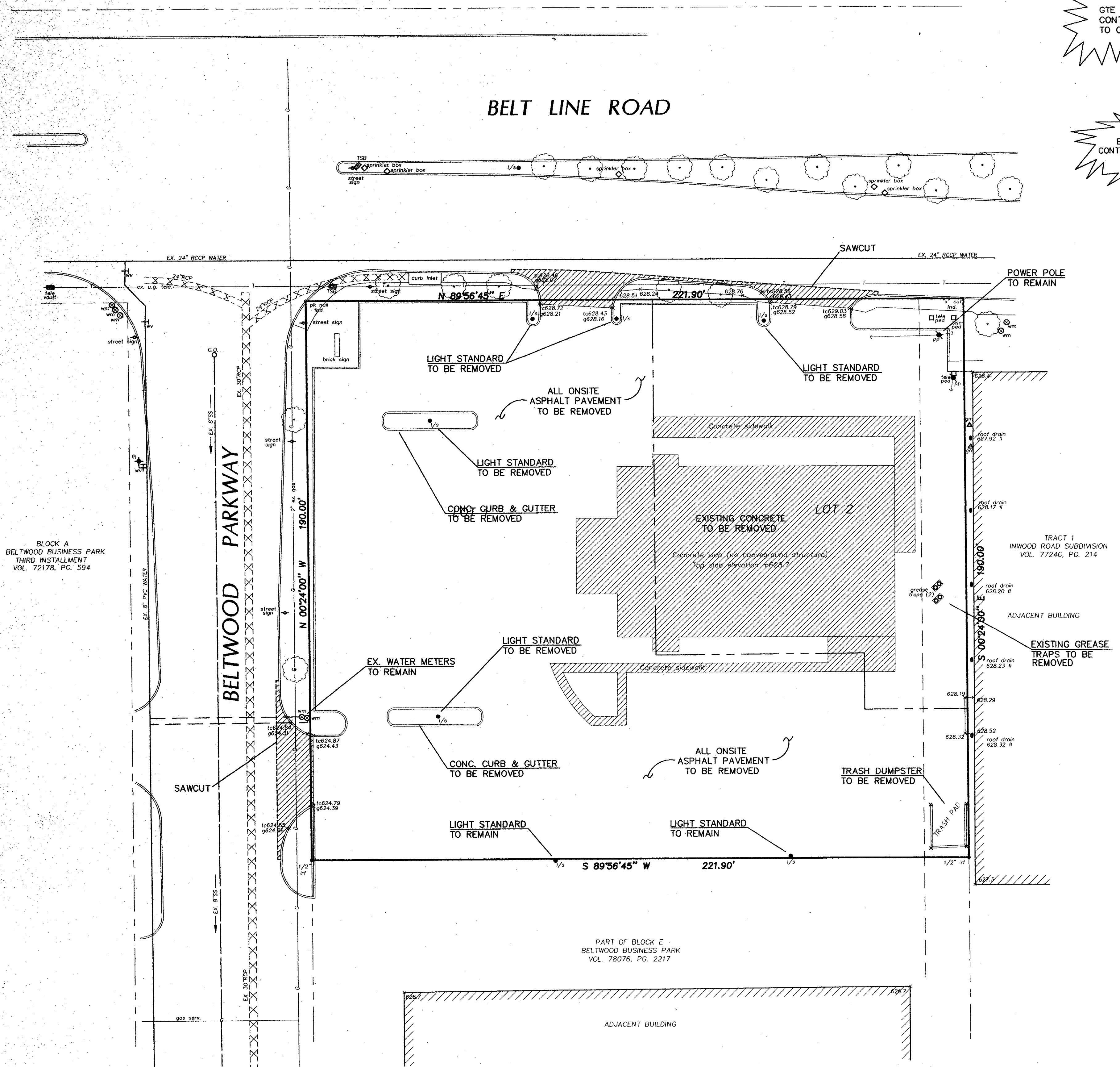
!! CAUTION!!
EXISTING GAS MAIN IN AREA
CONTACT LONE STAR GAS 48 HOURS
PRIOR TO CONSTRUCTION



- LEGEND**
- — — — — EXISTING CURB
 - - - - - EXISTING SANITARY SEWER LINE
 - — — — — EXISTING WATER LINE
 - XXXXXXXXXX EXISTING STORM SEWER LINE
 - - - - - PROPOSED SAWCUT
 - ▨ CONCRETE TO BE REMOVED

GENERAL NOTES

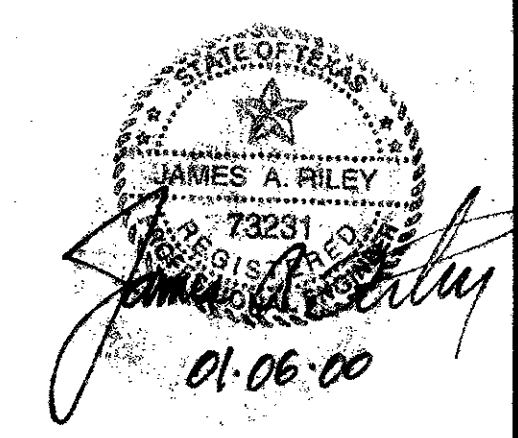
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BLOCK A
BELTWOOD BUSINESS PARK
THIRD INSTALLMENT
VOL. 72178, PG. 394

PART OF BLOCK E -
BELTWOOD BUSINESS PARK
VOL. 78076, PG. 2217

BENCHMARK:
TOP OF CURB INLET AT THE SOUTHEAST INTERSECTION
OF BELT LINE ROAD AND BELTWOOD PARKWAY.
ELEVATION 627.74



DEMOLITION PLAN						
THE PRINT PLACE						
TOWN OF ADDISON						
DALLAS COUNTY, TEXAS						
BROCKETTE • DAVIS • DRAKE, INC. Consulting engineers Civil & Structural Engineering • Surveying 4144 North Central Expressway, Suite 1100 • Dallas, Texas 75204 (214) 824-3647 • fax (214) 824-7064						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
JAR	FG	01/00	1"=20'	BDD	C99356	C3

LEGEND

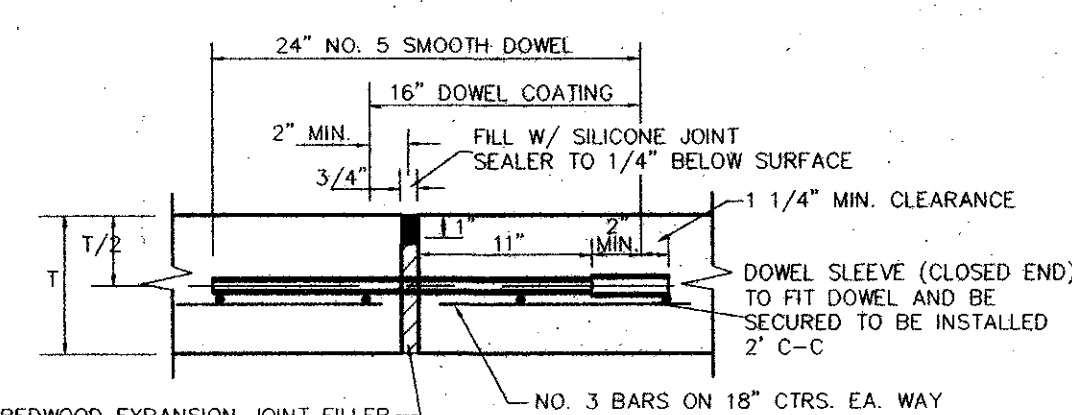
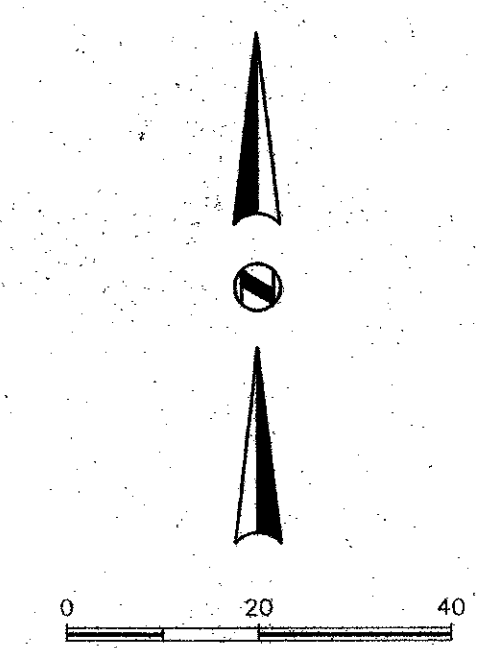
- EXISTING CURB
- PROPOSED CURB
- - - SAWCUT
- PROPOSED 5" PAVEMENT
5" 3500 PSI
CONCRETE REINFORCED W/ #3 BARS
@ 18" O.C.E.W.
(PARKING AREAS)
- PROPOSED 6" PAVEMENT
6" 3500 PSI
CONCRETE REINFORCED W/ #3 BARS
@ 18" O.C.E.W.
(FIRE LANE & DRIVE APPROACHES)
- ▨ PROPOSED 8" PAVEMENT
8" 3800 PSI
CONCRETE REINFORCED W/ #3 BARS
@ 18" O.C.E.W.
(R.O.W. APPROACHES)
- ▤ PROPOSED 4" PAVEMENT
4" 3000 PSI
CONCRETE REINFORCED W/ #3 BARS
@ 24" O.C.E.W.
(CITY SIDEWALK)

GENERAL NOTES

- ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE TOWN OF ADDISON'S STANDARDS AND SPECIFICATIONS.
- IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEAN-OUTS, VALVE BOXES, FIRE HYDRANTS, ETC. MUST BE ADJUSTED TO PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER THE PLACING OF PERMANENT PAVING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE DURING CONSTRUCTION OF THIS PROJECT.
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- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL CURB RETURN RADII ARE 2' UNLESS OTHERWISE NOTED.
- ALL CONSTRUCTION DEBRIS SHALL BE LEGALLY DISPOSED OF OFFSITE.
- AREAS OF CONSTRUCTION SHALL BE PROPERLY BARRICADED FOR THE PROTECTION OF THE PUBLIC.

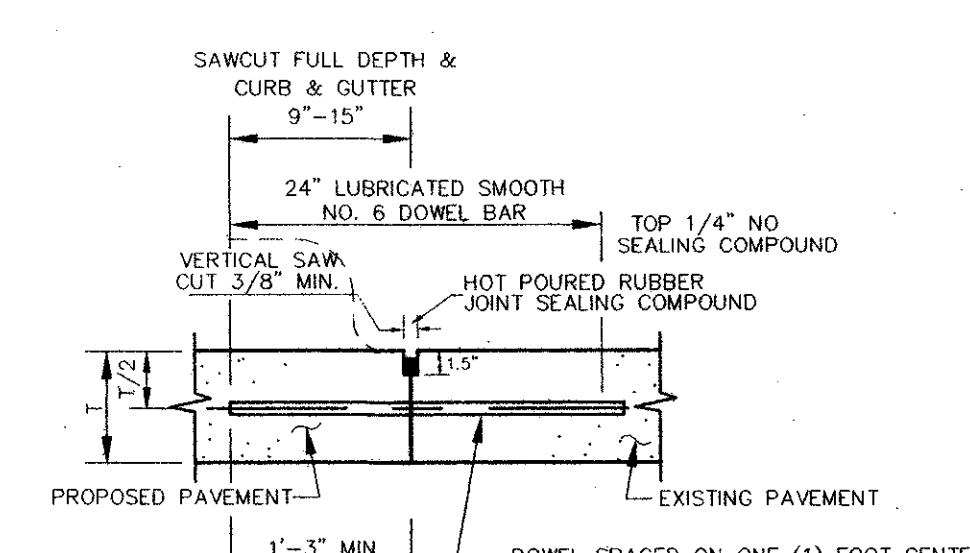
CAUTION!!!
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TO CONSTRUCTION.

CAUTION!!!
EXISTING GAS MAIN IN AREA
CONTACT LONE STAR GAS 48 HOURS
PRIOR TO CONSTRUCTION



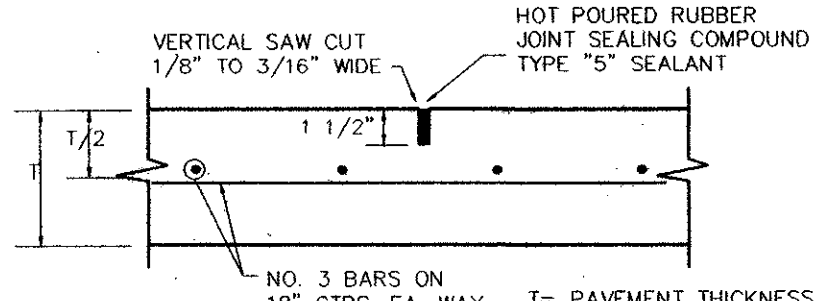
EXPANSION JOINT

NOTE:
DOWELS AND REINFORCING BARS SHALL BE SUPPORTED BY AN APPROVED DEVICE.



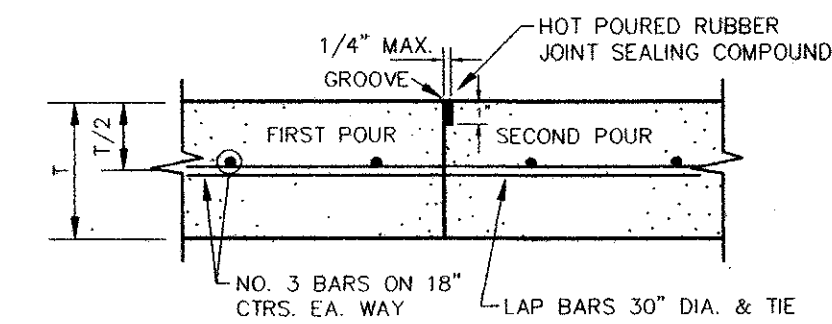
LONGITUDINAL BUTT JOINT

NOTE:
1. NO. 5 SMOOTH DOWEL BAR MAY BE USED IN 5 INCH AND 6 INCH PAVEMENT THICKNESS.
2. LONGITUDINAL BUTT CONSTRUCTION MAY BE UTILIZED IN PLACE OF LONGITUDINAL HINGED (KEYWAY) JOINT AT CONTRACTOR'S OPTION.
3. DOWEL BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF A MECHANICAL RIC.
4. DRILLED BY HAND IS NOT ACCEPTABLE. PUSHING DOWEL BARS INTO GREEN CONCRETE NOT ACCEPTABLE.



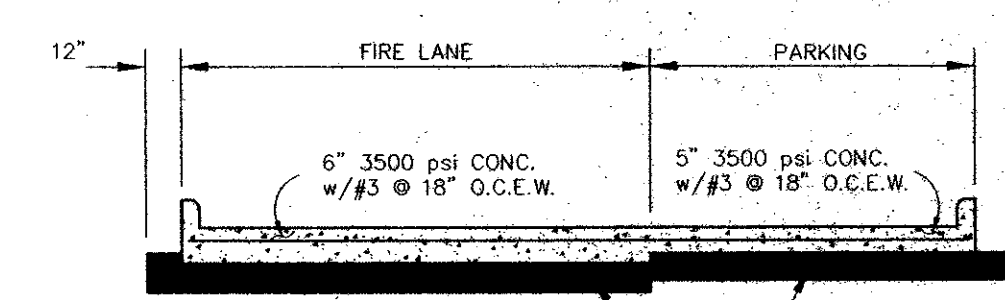
SAWED DUMMY (CONTROL) JOINT

NOTE:
15" O.C.E.W.



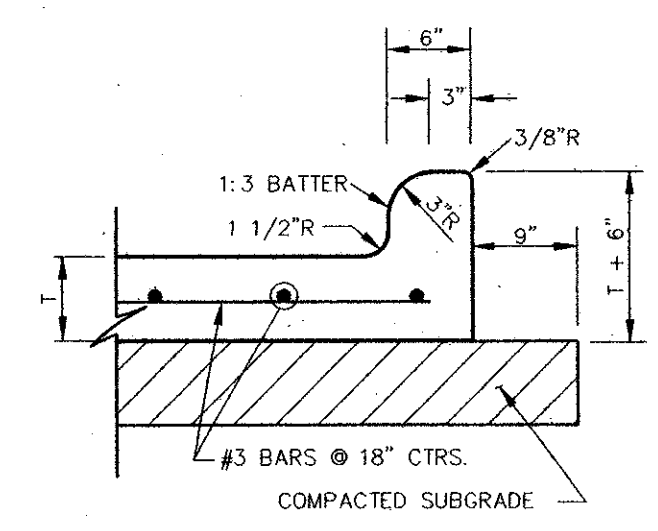
CONSTRUCTION JOINT

NOTE:
N.T.S.



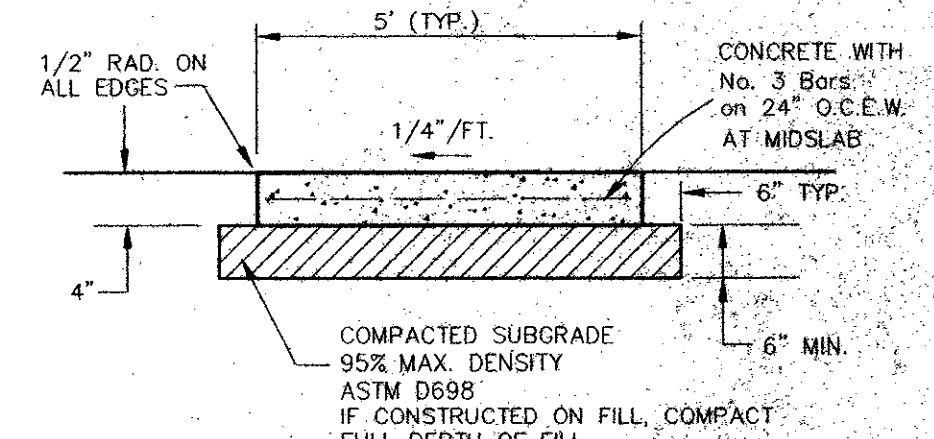
TYPICAL PAVING SECTION

NOTE:
N.T.S.



TYPICAL PAVEMENT SECTION

NOTE:
N.T.S.



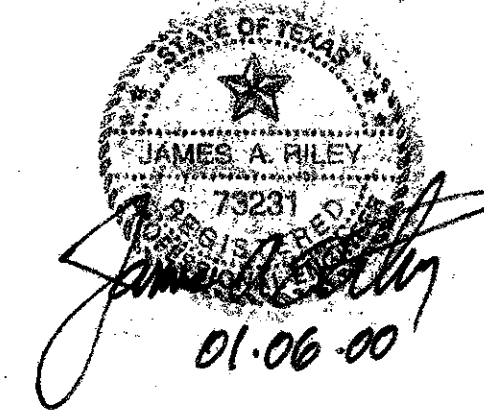
TYPICAL SIDEWALK SECTION

NOTE:
N.T.S.

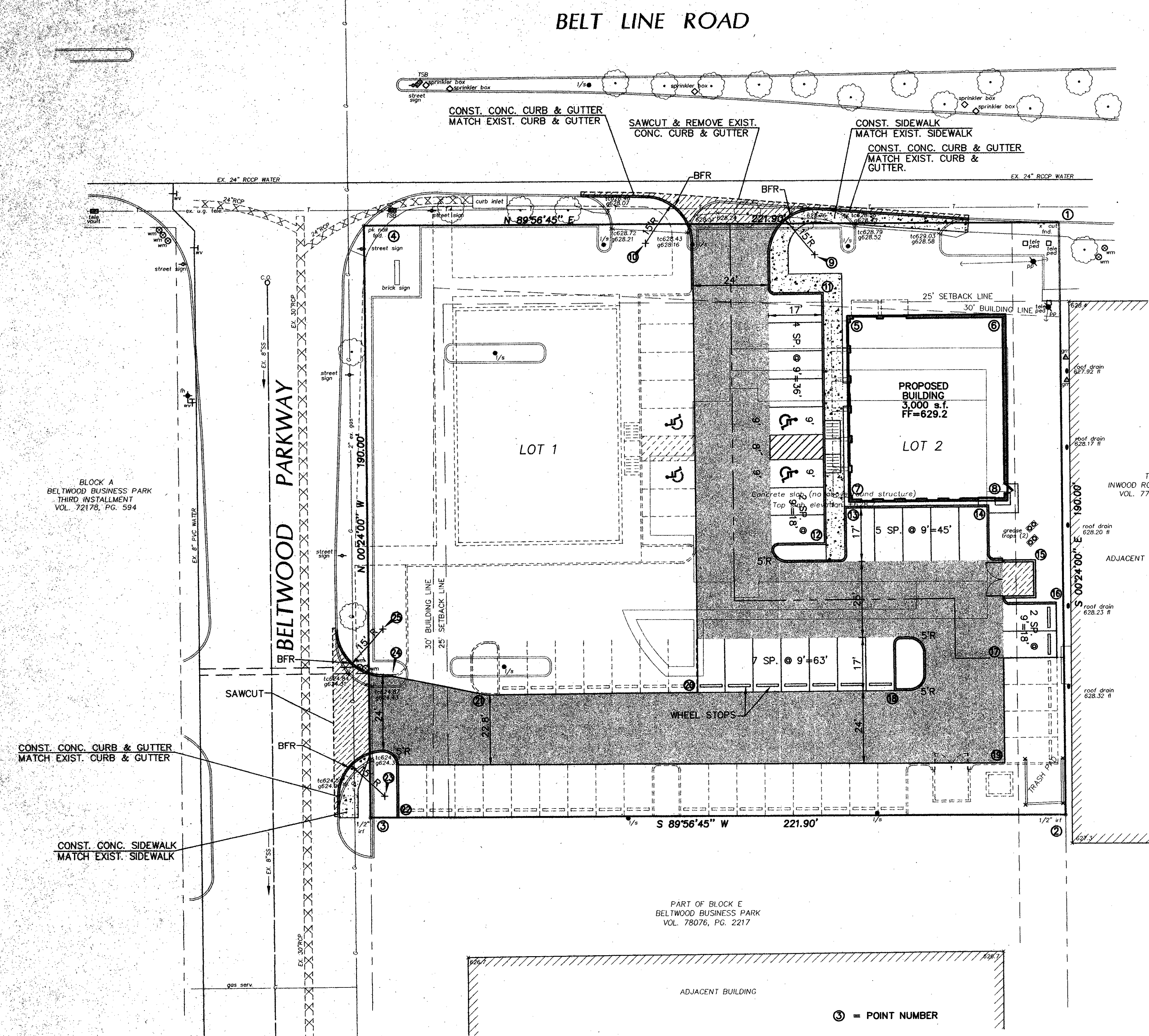
PAVING PLAN

THE PRINT PLACE
TOWN OF ADDISON
DALLAS COUNTY, TEXAS

B BROCKETTE • DAVIS • DRAKE INC.
DD consulting engineers
Civil & Structural Engineering • Surveying
1414 North Central Expressway, Suite #100 • Dallas, Texas 75204
(214) 824-3647 • fax (214) 824-7064



DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
JAR	FG	01/00	1"=20'	BDD	C99356	C4



CONTROL COORDINATES			CONTROL COORDINATES		
PNT	NORTHING	EASTING	PNT	NORTHING	EASTING
1	5087.2082	5078.7402	14	4996.0292	5055.3458
2	4897.2128	5080.0666	15	4978.4620	5070.0834
3	4897.0031	4858.1667	16	4965.1705	5077.3118
4	5086.9984	4856.8403	17	4948.0522	5060.4309
5	5057.7058	5010.9142	18	4837.8192	5025.4663
6	5058.0593	5081.5484	19	4914.0531	5060.6683
7	4997.6864	5011.3332	20	4937.3814	4962.7530
8	4998.0399	5061.9674	21	4936.9117	4895.4695
9	5000.7782	5077.1479	22	4897.0116	4867.1514
10	4946.7498	5081.0315	23	4904.0074	4862.7230
11	5064.6645	5002.8654	24	4943.0099	4865.3960
12	4984.6665	5003.4239	25	4958.0070	4862.2985
13	4995.7151	5010.3469			

⊙ = POINT NUMBER

BLOCK A
BELTWOOD BUSINESS PARK
THIRD INSTALLMENT
VOL. 72178, PG. 594

PART OF BLOCK E
BELTWOOD BUSINESS PARK
VOL. 78076, PG. 2217

LEGEND

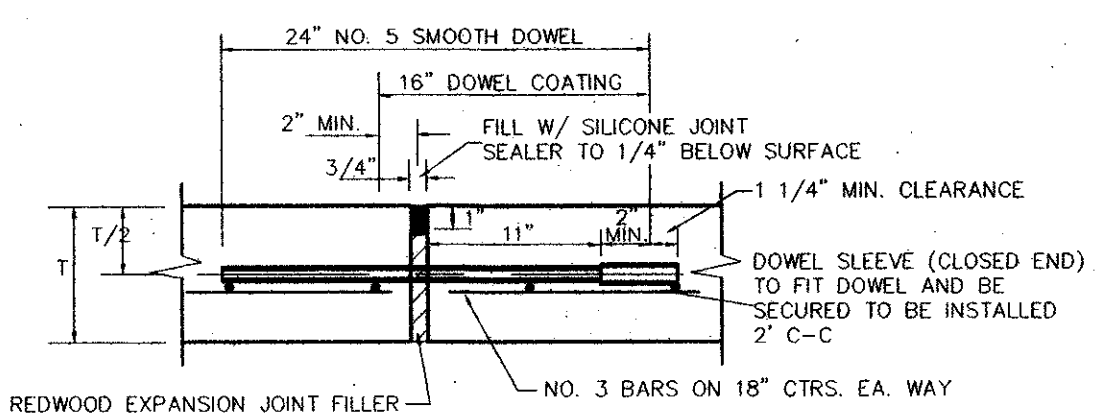
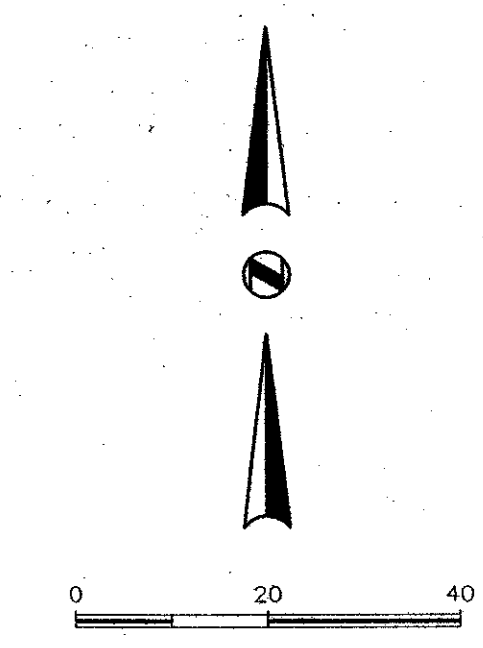
- EXISTING CURB
- PROPOSED CURB
- SAWCUT
- PROPOSED 5" PAVEMENT
5" 3500 PSI
CONCRETE REINFORCED W/ #3 BARS
@ 18" O.C.E.W.
(PARKING AREAS)
- ▨ PROPOSED 6" PAVEMENT
6" 3500 PSI
CONCRETE REINFORCED W/ #3 BARS
@ 18" O.C.E.W.
(FIRE LANE & DRIVE APPROACHES)
- ▩ PROPOSED 8" PAVEMENT
8" 3600 PSI
CONCRETE REINFORCED W/ #3 BARS
@ 18" O.C.E.W.
(R.O.W. APPROACHES)
- ▧ PROPOSED 4" PAVEMENT
4" 3000 PSI
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GENERAL NOTES

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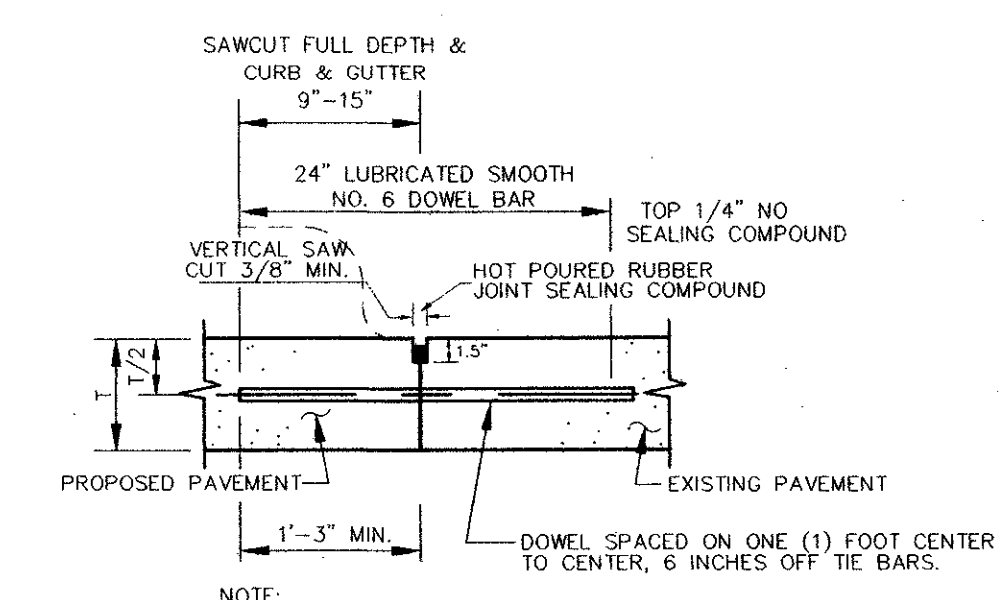
CAUTION!!!
GTE BURIED CABLE IN THIS AREA.
CONTACT GTE 48 HOURS PRIOR
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!! CAUTION !!
EXISTING GAS MAIN IN AREA
CONTACT ONE STAR GAS 48 HOURS
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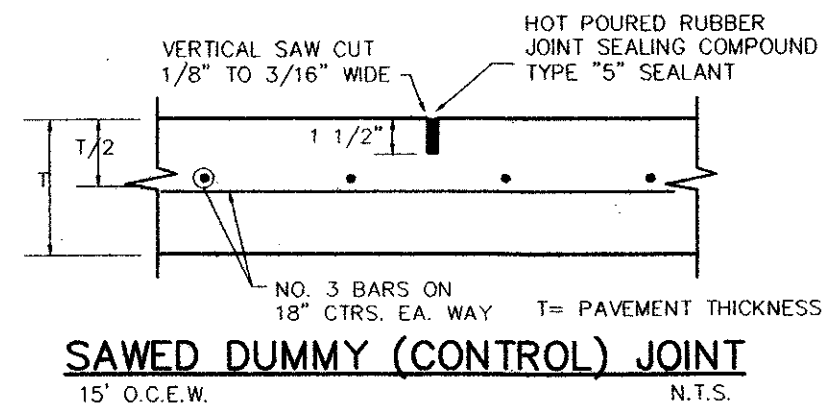
EXPANSION JOINT

60" O.C.E.W. N.T.S.
NOTE: DOWELS AND REINFORCING BARS SHALL BE SUPPORTED BY AN APPROVED DEVICE.



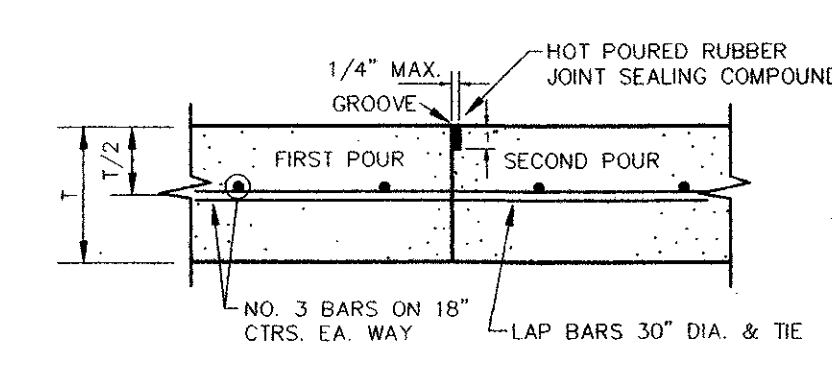
LONGITUDINAL BUTT JOINT

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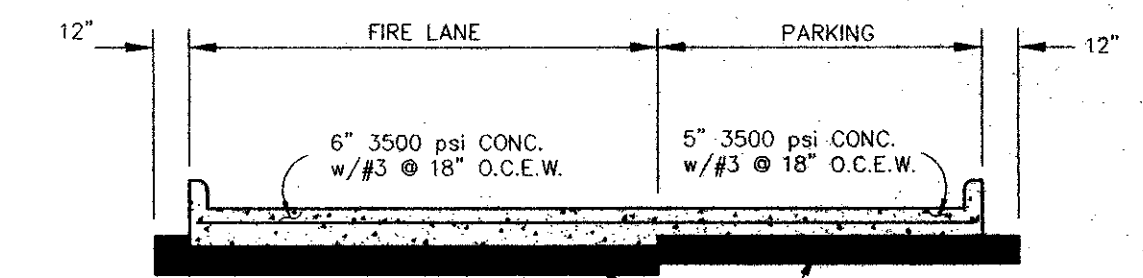
SAWED DUMMY (CONTROL) JOINT

15" O.C.E.W. N.T.S.



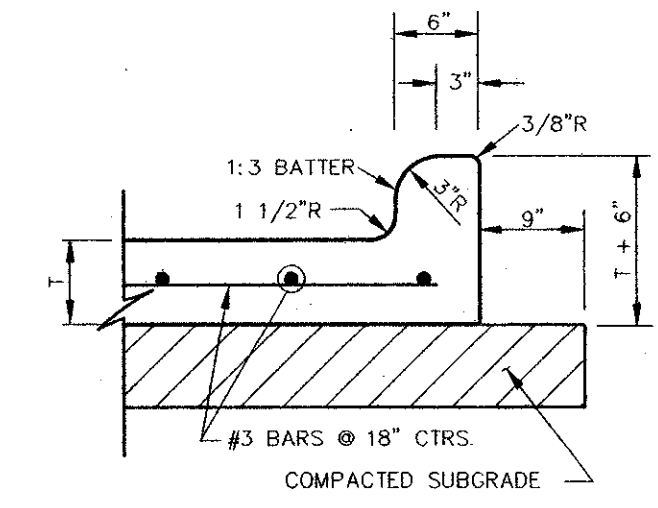
CONSTRUCTION JOINT

N.T.S.



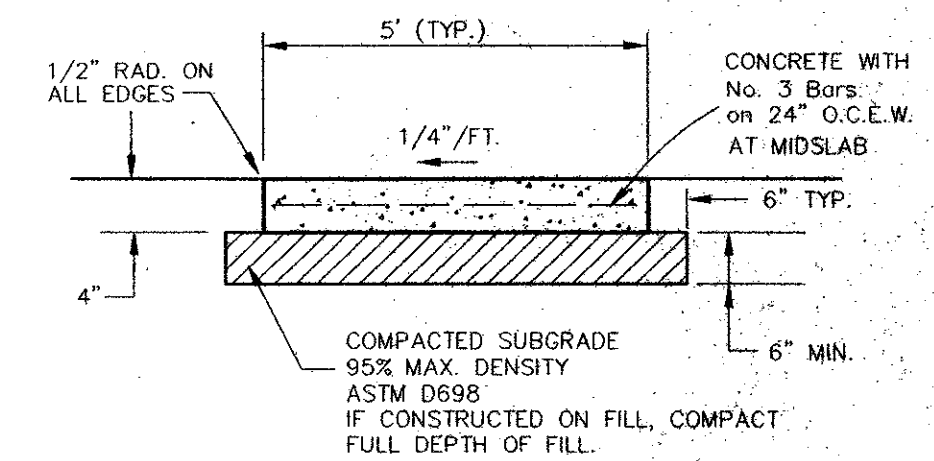
TYPICAL PAVING SECTION

N.T.S.



TYPICAL PAVEMENT SECTION

N.T.S.



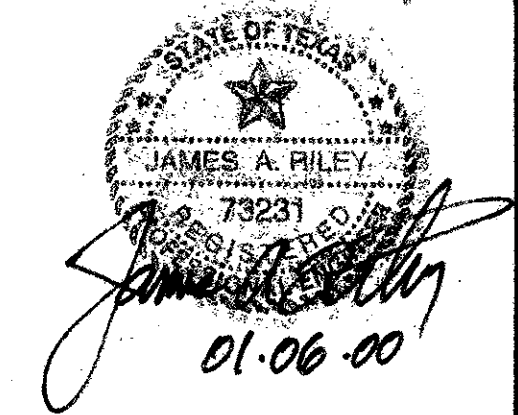
TYPICAL SIDEWALK SECTION

N.T.S.

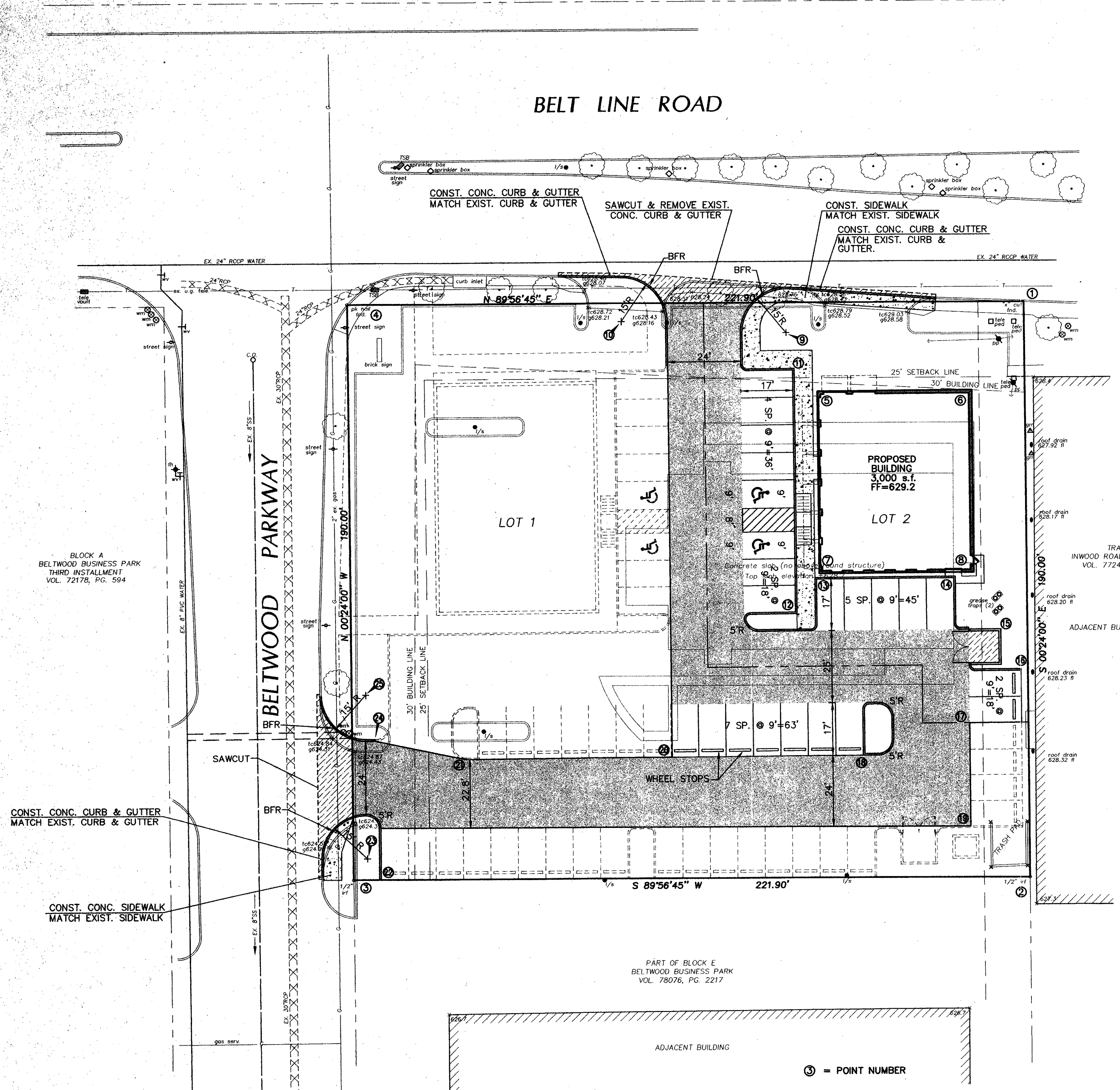
PAVING PLAN

THE PRINT PLACE
TOWN OF ADDISON
DALLAS COUNTY, TEXAS

BROCKETTE • DAVIS • DRAKE, INC.
consulting engineers
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DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
JAR	FG	01/00	1"=20'	BDD	C99356	C4

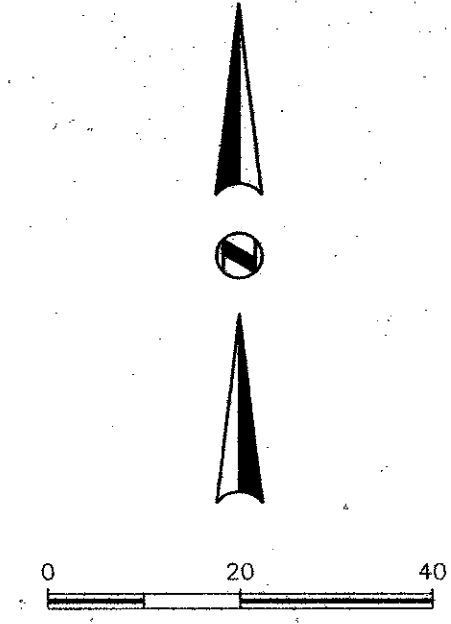


CONTROL COORDINATES			CONTROL COORDINATES		
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12	4984.6665	5003.4239	25	4958.0070	4862.2985
13	4995.7151	5010.3469			

BLOCK A
BELTWOOD BUSINESS PARK
THIRD INSTALLMENT
VOL. 72178, PG. 594

PART OF BLOCK E
BELTWOOD BUSINESS PARK
VOL. 78076, PG. 2217

⊙ = POINT NUMBER



LEGEND

- - - 5.35 - - - EXISTING CONTOUR
- 3.5 — PROPOSED CONTOUR
- - - 3.5 - - - FUTURE CONTOUR (TOP OF PAVEMENT)
- tc630.00
g629.50 — EXISTING SPOT ELEVATION
- 25.3 — PROPOSED SPOT ELEVATION
- FLOW ARROW
- EXISTING CURB
- - - PROPOSED CURB
- - - SAWCUT

GENERAL NOTES

1. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE TOWN OF ADDISON'S STANDARDS AND SPECIFICATIONS EXCEPT AS NOTED HEREIN OR BY THE CITY.
2. ALL STORM SEWER PIPE 18" AND LARGER SHALL BE CLASS III RCP.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRENCH SAFETY REQUIREMENTS IN ACCORDANCE WITH CITY STANDARDS, TEXAS STATE LAW, AND O.S.H.A. STANDARDS FOR ALL EXCAVATION IN EXCESS OF FIVE FEET IN DEPTH.
4. CONCRETE FOR INLETS AND DRAINAGE STRUCTURES SHALL BE 3000 PSI AT 28 DAYS.
5. CONSTRUCTION SHALL BEGIN AT DOWNSTREAM END OF PROJECT AND CONTINUE UPSTREAM WITH PIPE GROOVES FACING UPSTREAM.
6. CONTRACTOR SHALL PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT.
7. THE LOCATION OF ALL UTILITIES INDICATED ON THESE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.
8. IF ROCK IS ENCOUNTERED IN THE TRENCH, ROCK SPOIL SHALL NOT BE USED IN THE UPPER 1.5 FEET OF THE TRENCH. THE UPPER 1.5 FEET OF THE TRENCH IS TO BE BACKFILLED ONLY WITH QUALITY TOPSOIL.
9. SEE WATER AND SANITARY SEWER PLAN FOR ADDITIONAL INFORMATION RELATED TO OTHER UTILITY CONSTRUCTION.
10. ALL TRENCH BACKFILL FOR STORM SEWER SHALL BE COMPACTED AS REQUIRED BY CITY.
11. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEAN-OUTS, VALVE BOXES, FIRE HYDRANTS, ETC. MUST BE ADJUSTED TO PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER THE PLACING OF PERMANENT PAVING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE DURING CONSTRUCTION OF THE PAVING FOR THIS DEVELOPMENT.
12. BACKFILL FOR UTILITY LINES SHOULD BE CAREFULLY PLACED SO THAT THEY WILL BE STABLE. WHERE UTILITY LINES CROSS THROUGH THE PARKING LOT, THE TOP 6" SHOULD BE COMPACTED SIMILARLY TO THE REMAINDER OF THE LOT. UTILITY DITCHES SHOULD BE VISUALLY INSPECTED DURING THE EXCAVATION PROCESS TO INSURE THAT UNDESIRABLE FILL IS NOT USED.
13. PRIOR TO PLACING ANY FILL MATERIAL, ALL EXISTING SURFACES, VEGETATION, LOOSE FILL, AND DEBRIS SHOULD BE REMOVED TO A MINIMUM DEPTH OF 6". ALL EXPOSED SURFACES SHOULD THEN BE SCARIFIED, WATERED AS REQUIRED, AND RECOMPACTED TO A MINIMUM DENSITY OF 95% OF THE MAXIMUM DRY DENSITY AS DEFINED BY ASTM D 698 (STANDARD PROCTOR TEST) AT A MOISTURE CONTENT BETWEEN -1 AND +3 PERCENT ABOVE OPTIMUM MOISTURE CONTENT.
14. DRAINAGE SHOULD BE MAINTAINED AWAY FROM THE FOUNDATIONS, BOTH DURING AND AFTER CONSTRUCTION.
15. AREAS OF CONSTRUCTION SHALL BE PROPERLY BARRICADED FOR THE PROTECTION OF THE PUBLIC.

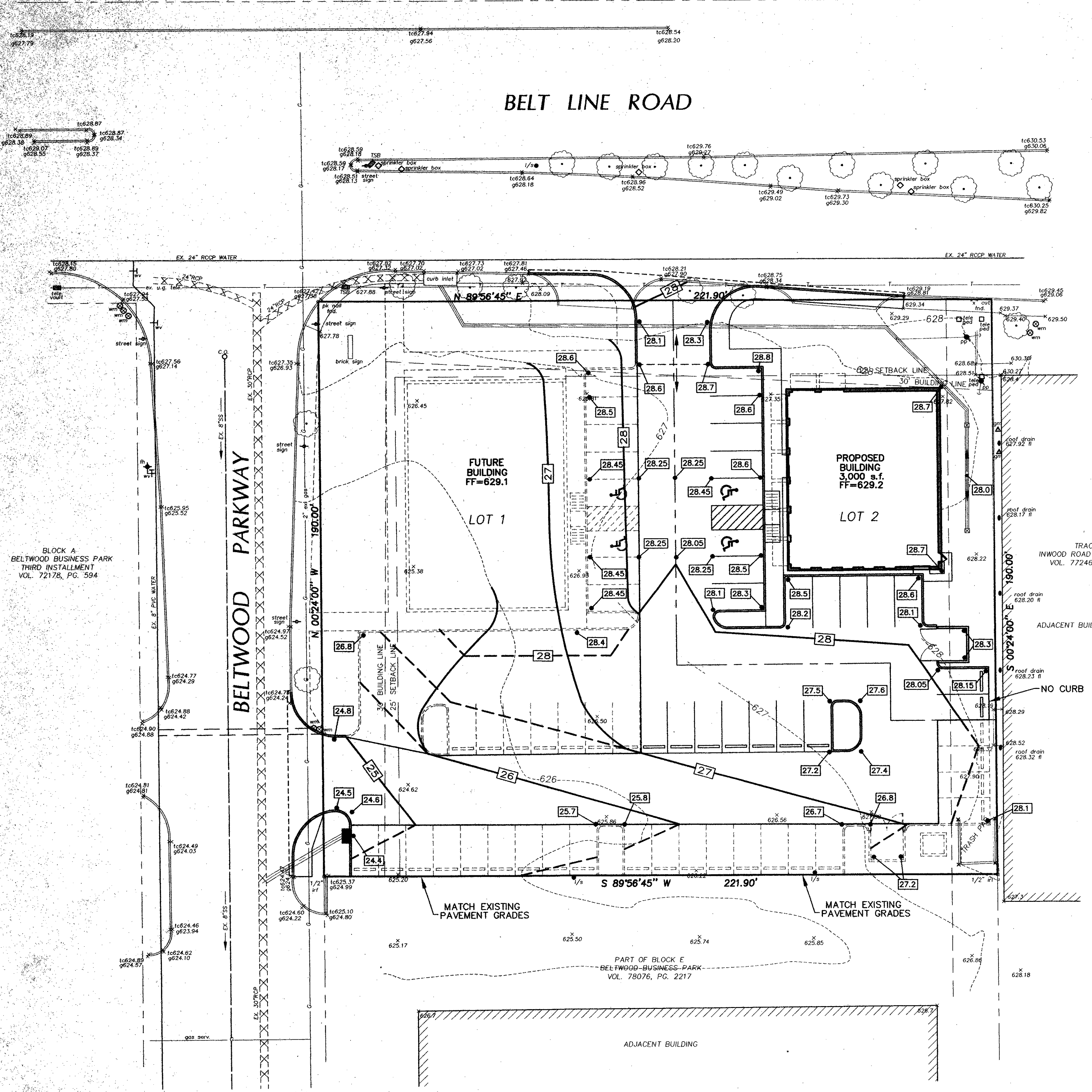
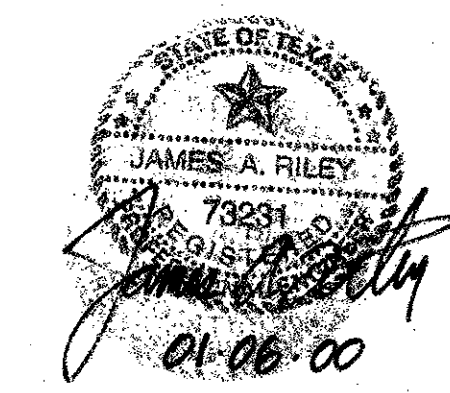
BENCHMARK:
TOP OF CURB INLET AT THE SOUTHEAST INTERSECTION
OF BELT LINE ROAD AND BELTWOOD PARKWAY.
ELEVATION 627.74

GRADING PLAN

THE PRINT PLACE
TOWN OF ADDISON
DALLAS COUNTY, TEXAS

BROCKETTE • DAVIS • DRAKE, INC.
consulting engineers
Civil & Structural Engineering • Surveying
4144 North Central Expressway, Suite 1100 • Dallas, Texas 75204
(214) 824-3647 • fax (214) 824-7064

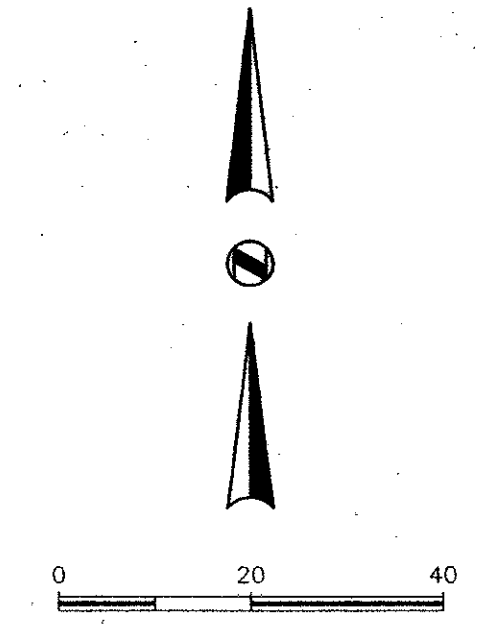
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
JAR	FG	01/00	1"=20'	BDD	C99356	C5



BLOCK A
BELTWOOD BUSINESS PARK
THIRD INSTALLMENT
VOL. 72178, PG. 594

PART OF BLOCK E
BELTWOOD-BUSINESS-PARK
VOL. 78076, PG. 2217

TRACT 1
INWOOD ROAD SUBDIVISION
VOL. 77246, PG. 214



LEGEND

	- 5.35 -	- EXISTING CONTOUR
	- 35 -	- PROPOSED CONTOUR
	- 35 -	- FUTURE CONTOUR (TOP OF PAVEMENT)
	- 25.3 -	- EXISTING SPOT ELEVATION
	- 25.3 -	- PROPOSED SPOT ELEVATION
	-	- FLOW ARROW
	-	- EXISTING CURB
	-	- PROPOSED CURB
	-	- SAWCUT

GENERAL NOTES

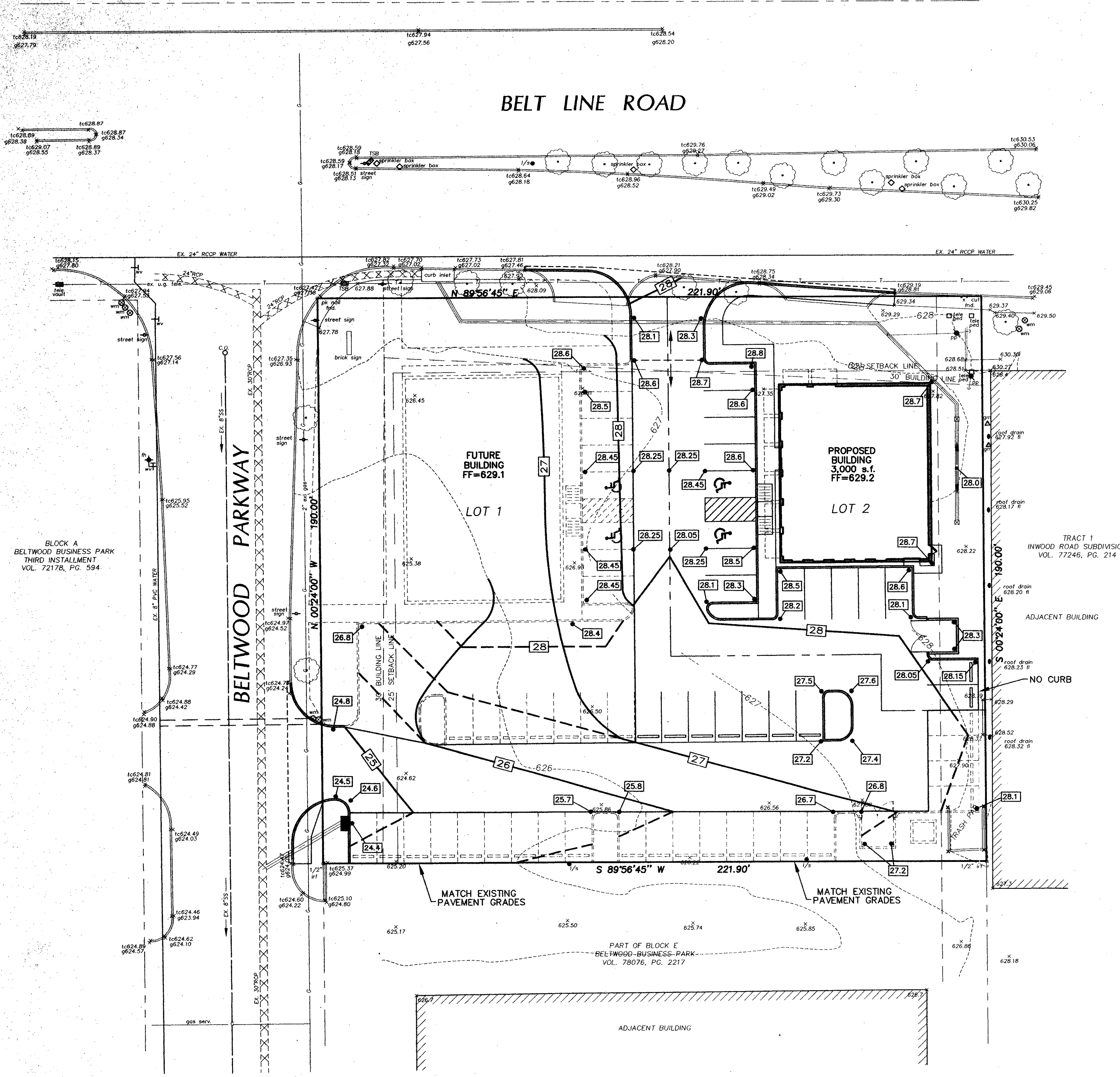
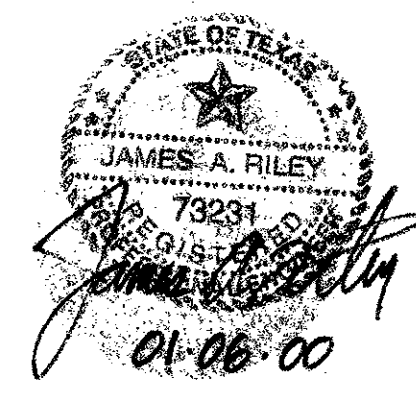
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4. CONCRETE FOR INLETS AND DRAINAGE STRUCTURES SHALL BE 3000 PSI AT 28 DAYS.
5. CONSTRUCTION SHALL BEGIN AT DOWNSTREAM END OF PROJECT AND CONTINUE UPSTREAM WITH PIPE GROOVES FACING UPSTREAM.
6. CONTRACTOR SHALL PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT.
7. THE LOCATION OF ALL UTILITIES INDICATED ON THESE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.
8. IF ROCK IS ENCOUNTERED IN THE TRENCH, ROCK SPOIL SHALL NOT BE USED IN THE UPPER 1.5 FEET OF THE TRENCH. THE UPPER 1.5 FEET OF THE TRENCH IS TO BE BACKFILLED ONLY WITH QUALITY TOPSOIL.
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 OF BELT LINE ROAD AND BELTWOOD PARKWAY.
 ELEVATION 627.74

GRADING PLAN
 THE PRINT PLACE
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DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
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BLOCK A
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 VOL. 72178, PG. 594

TRACT 1
 INWOOD ROAD SUBDIVISION
 VOL. 77246, PG. 214

PART OF BLOCK E
 BELTWOOD-BUSINESS-PARK
 VOL. 78076, PG. 2217

ADJACENT BUILDING

ADJACENT BUILDING

NO CURB

MATCH EXISTING
 PAVEMENT GRADES

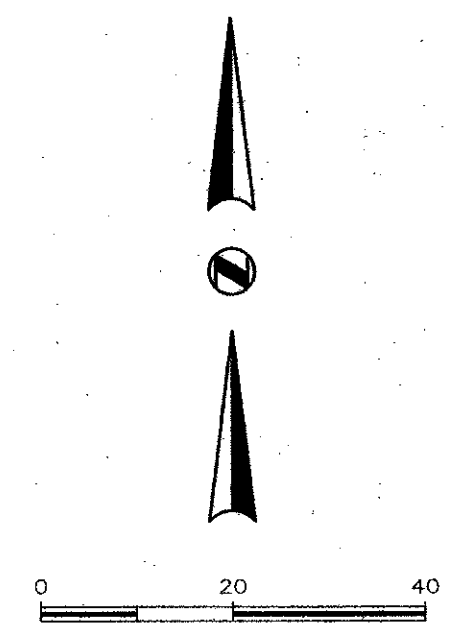
MATCH EXISTING
 PAVEMENT GRADES

LEGEND

- 550 --- EXISTING CONTOUR
- 50 --- PROPOSED CONTOUR
- 50 --- FUTURE CONTOUR (TOP OF PAVEMENT)
- FLOW ARROW
- EXISTING CURB
- PROPOSED CURB
- DRAINAGE DIVIDE LINE
- EXISTING WATER LINE
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER LINE
- PROPOSED STORM SEWER LINE

CAUTION!!!
GTE BURIED CABLE IN THIS AREA. CONTACT GTE 48 HOURS PRIOR TO CONSTRUCTION.

!! CAUTION !!
EXISTING GAS MAIN IN AREA. CONTACT LONE STAR GAS 48 HOURS PRIOR TO CONSTRUCTION.



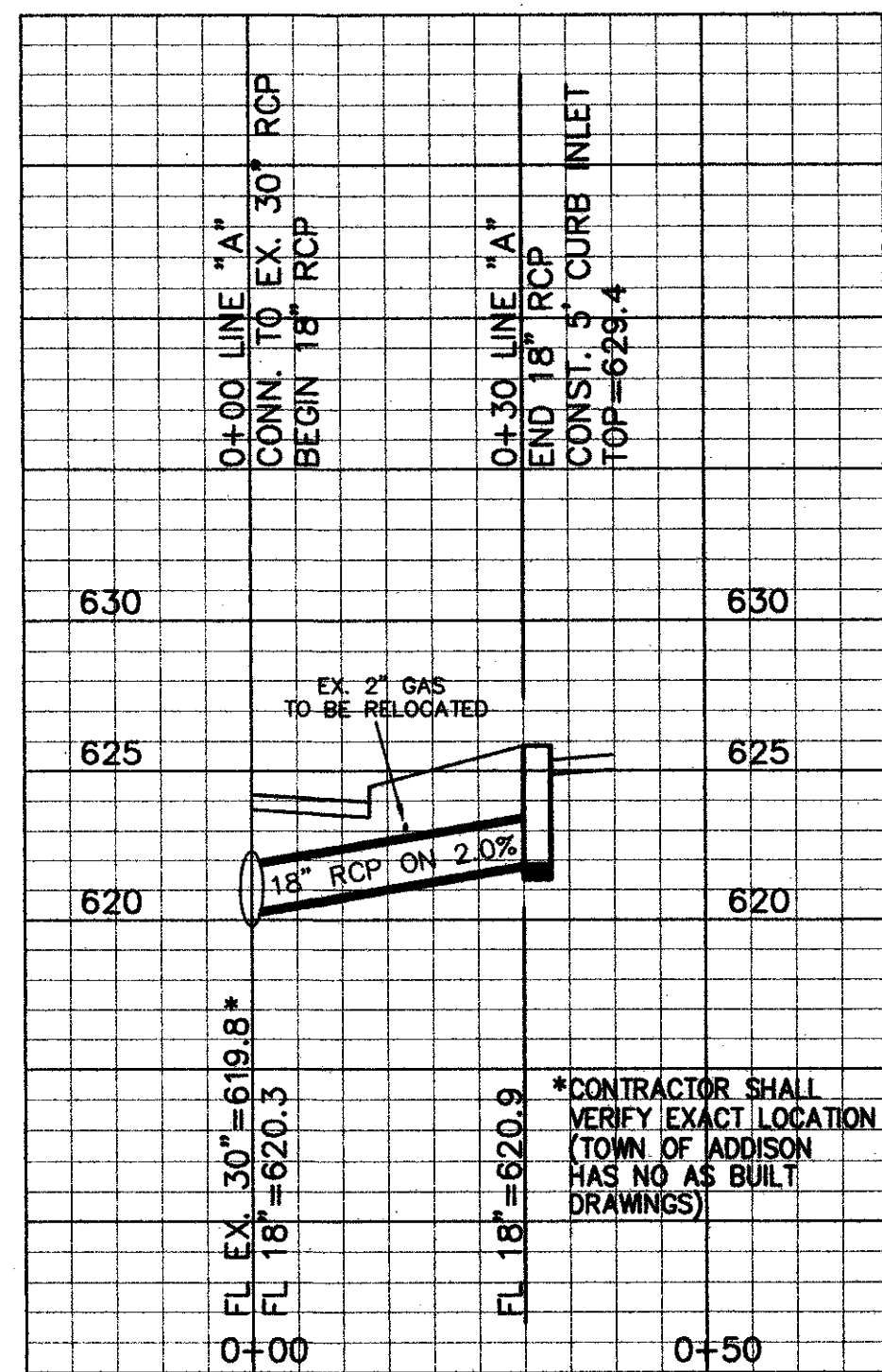
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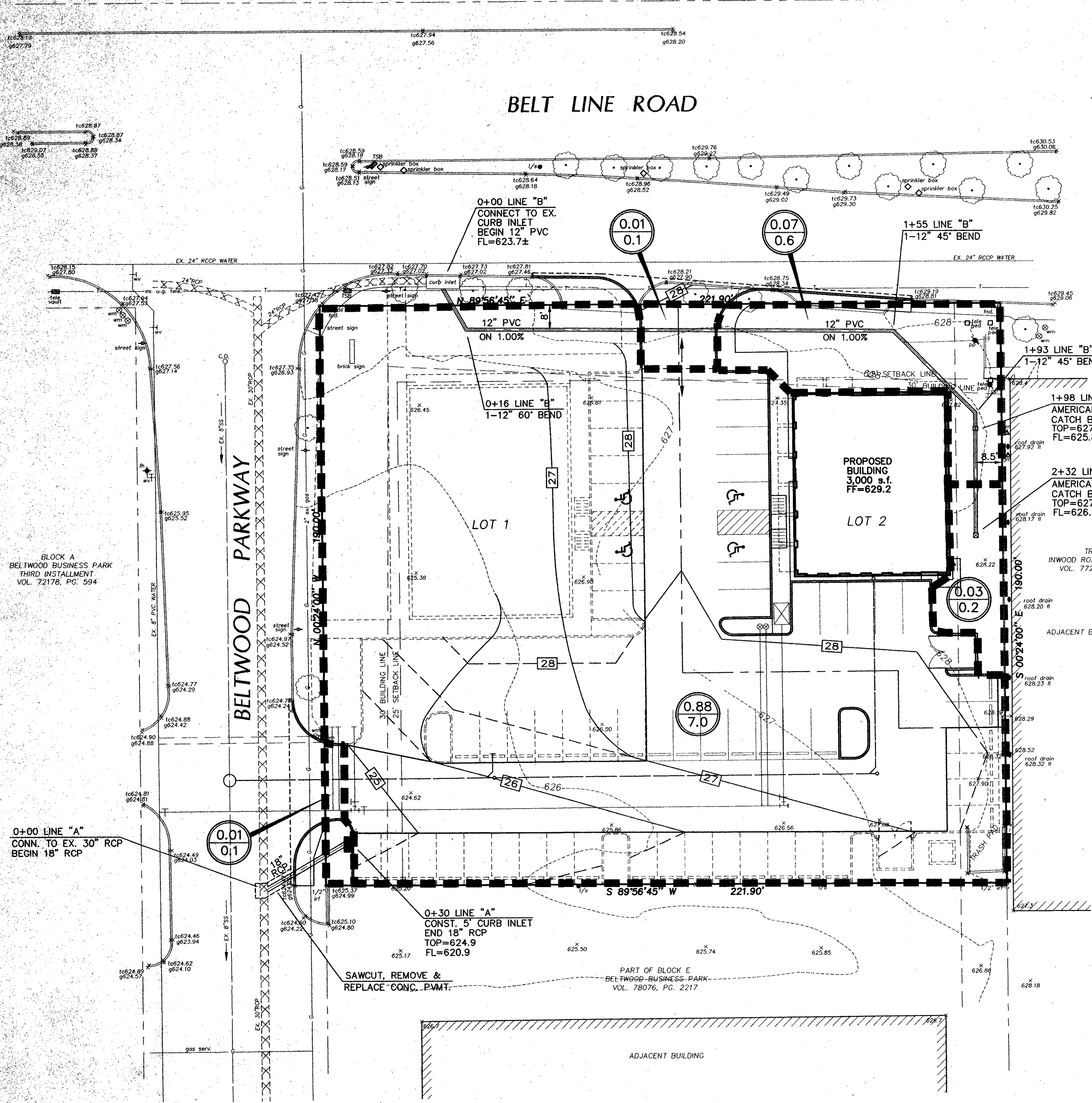
DRAINAGE CRITERIA

Q = C I A
C = 0.90
I₁₀₀ = 8.88 in/hr
t_c = 10 min.

1.60 Acres
8.8 Q₁₀₀ in cfs

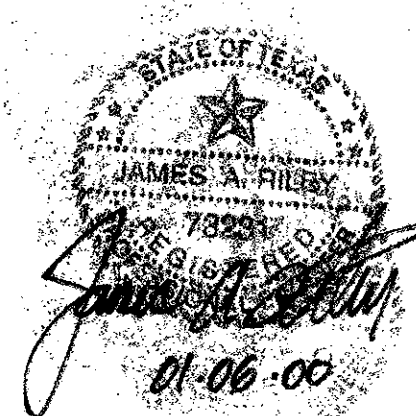


LINE "A" STORM SEWER PROFILE
HOR. 1" = 20'
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BENCHMARK:
TOP OF CURB INLET AT THE SOUTHEAST INTERSECTION OF BELT LINE ROAD AND BELTWOOD PARKWAY.
ELEVATION 627.74

DRAINAGE PLAN						
THE PRINT PLACE						
TOWN OF ADDISON						
DALLAS COUNTY, TEXAS						
BROCKETTE • DAVIS • DRAKE, INC. consulting engineers Civil & Structural Engineering • Surveying 4144 North Central Expressway, Suite 1100 • Dallas, Texas 75204 (214) 824-3647 • fax (214) 824-7064						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
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LEGEND

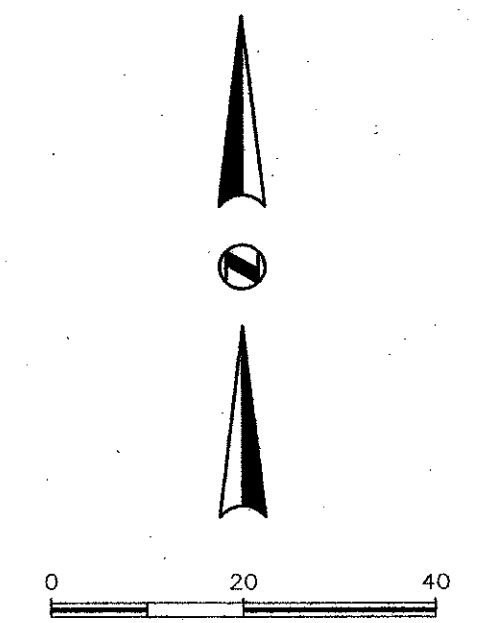
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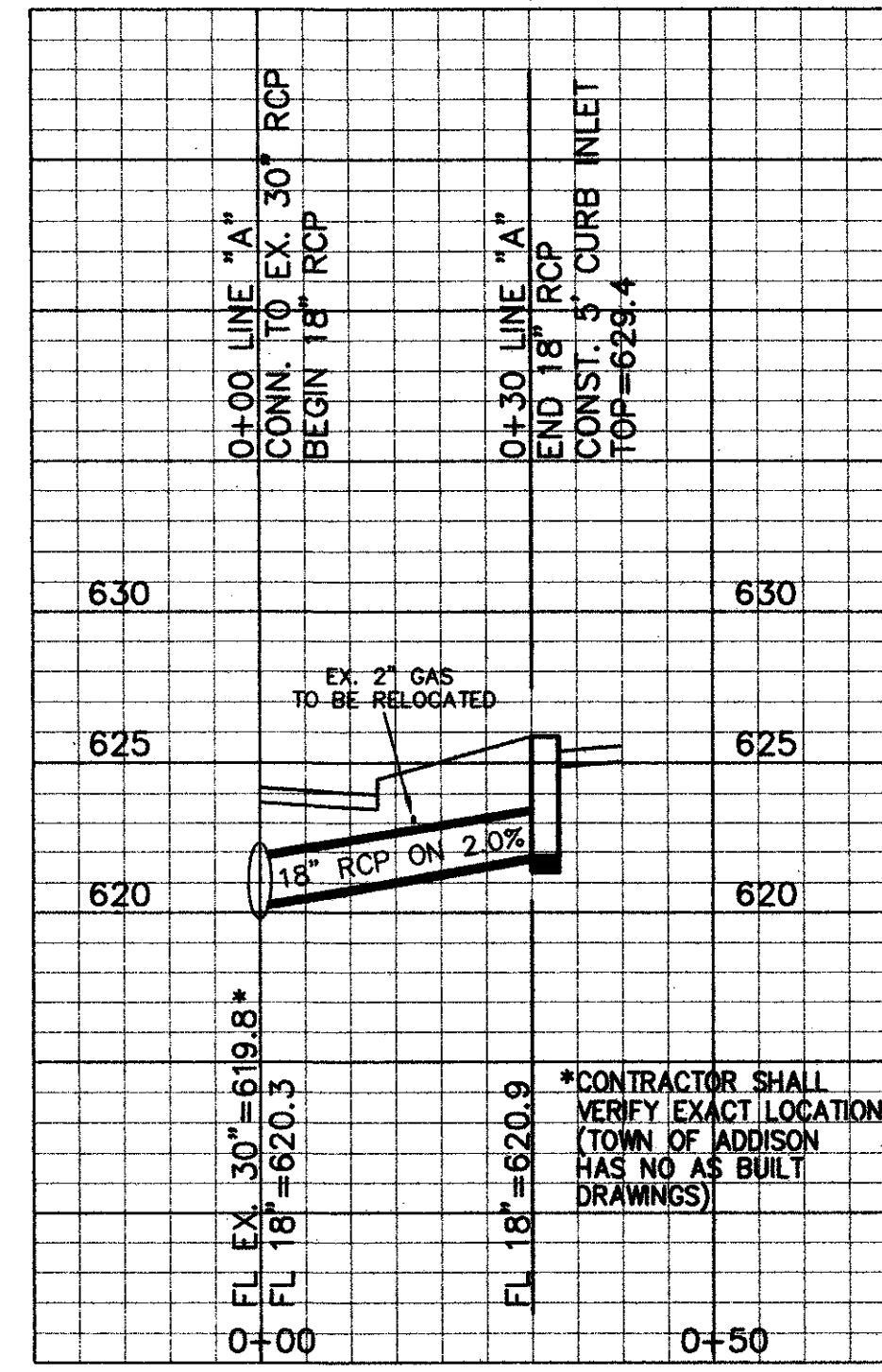
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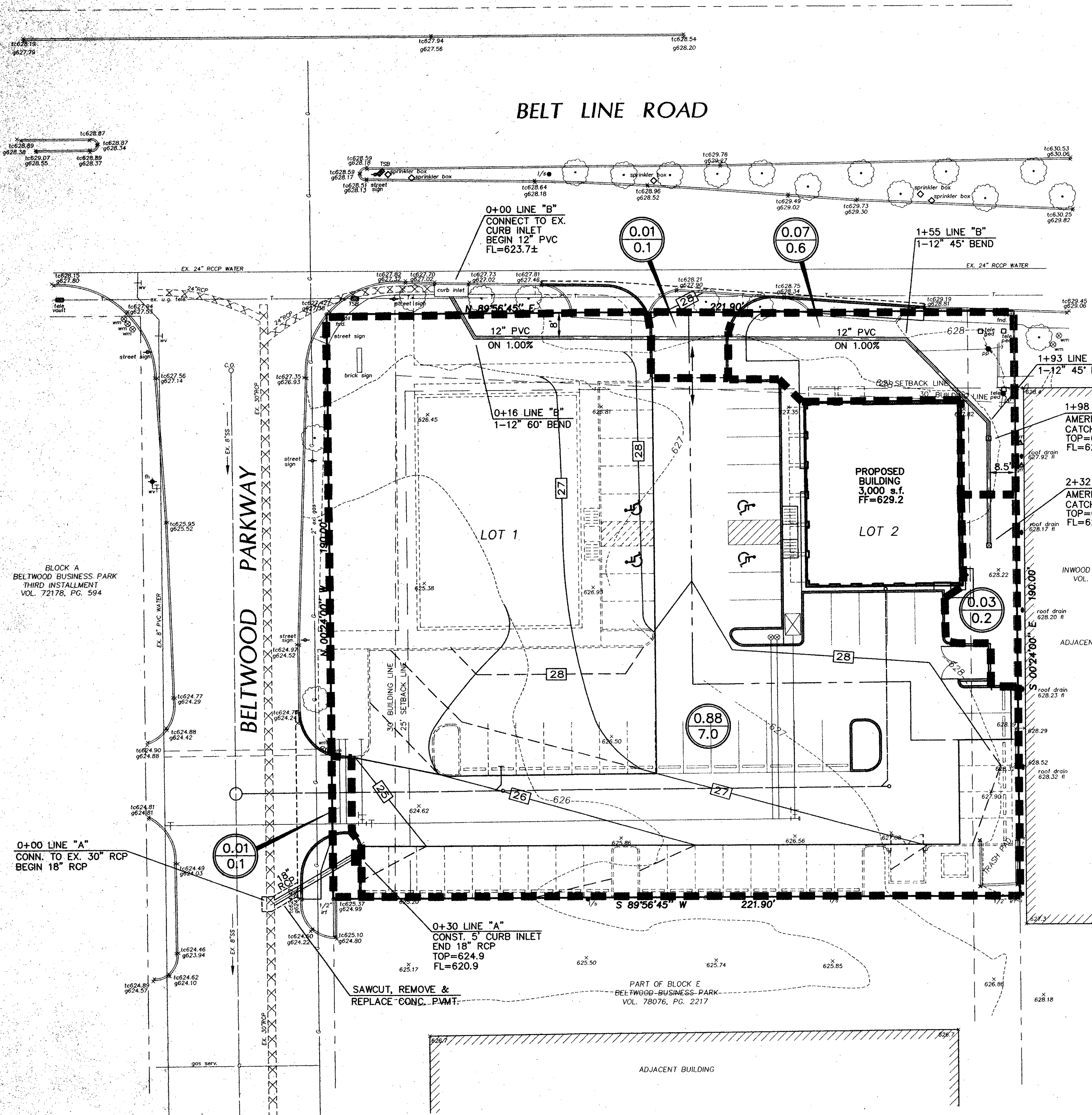
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1.60 — Acres
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LINE "A" STORM SEWER PROFILE
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VERT. 1" = 5'

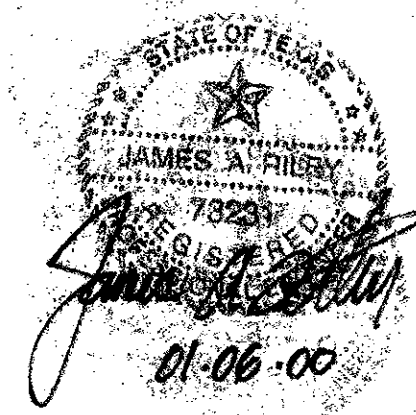


BLOCK A
BELTWOOD BUSINESS PARK
THIRD INSTALLMENT
VOL. 72176, PG. 504

TRACT 1
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VOL. 77246, PG. 214

PART OF BLOCK E
BELTWOOD-BUSINESS-PARK
VOL. 78076, PG. 2217

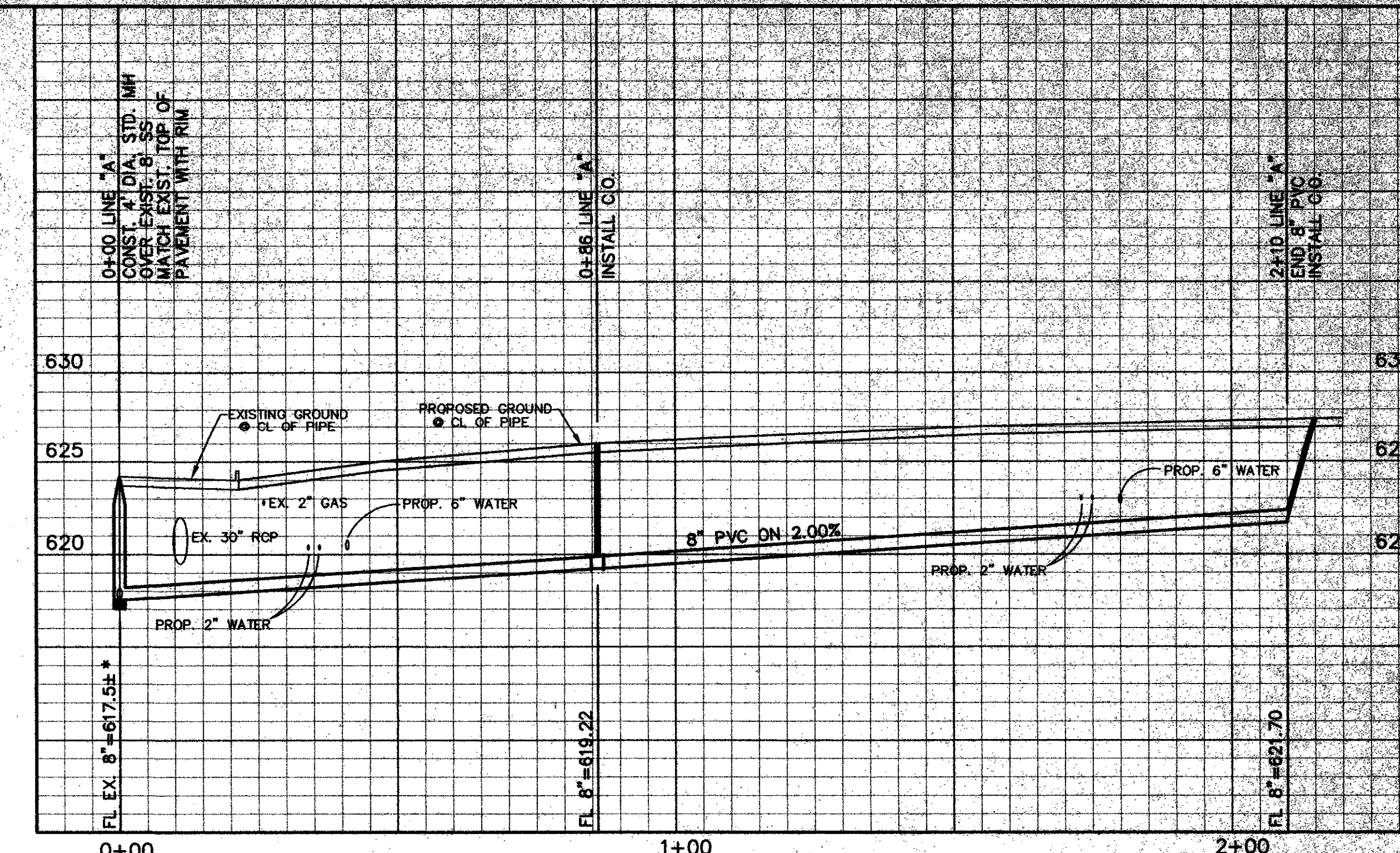
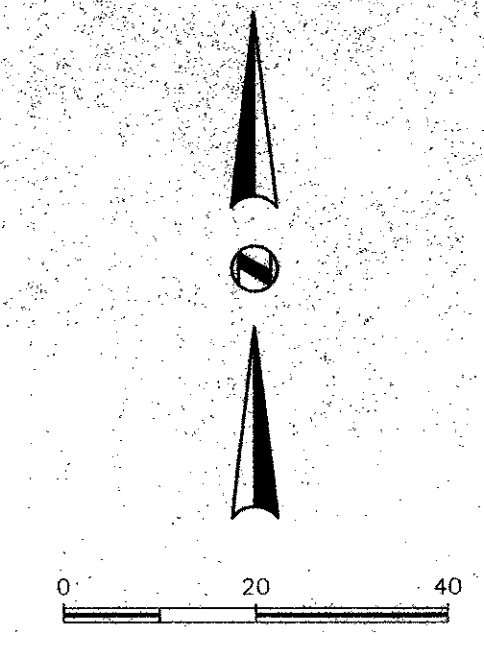
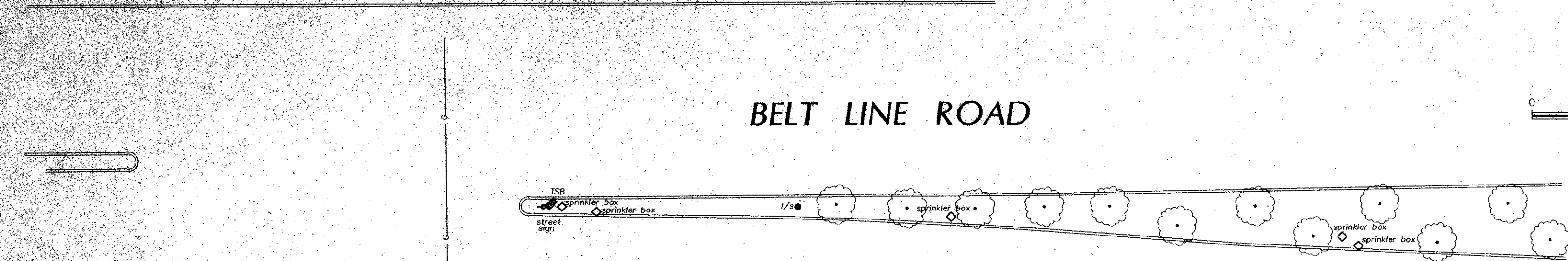
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ELEVATION 627.74



DRAINAGE PLAN
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JAR	FG	01/00	1"=20'	BDD	C99356	C6



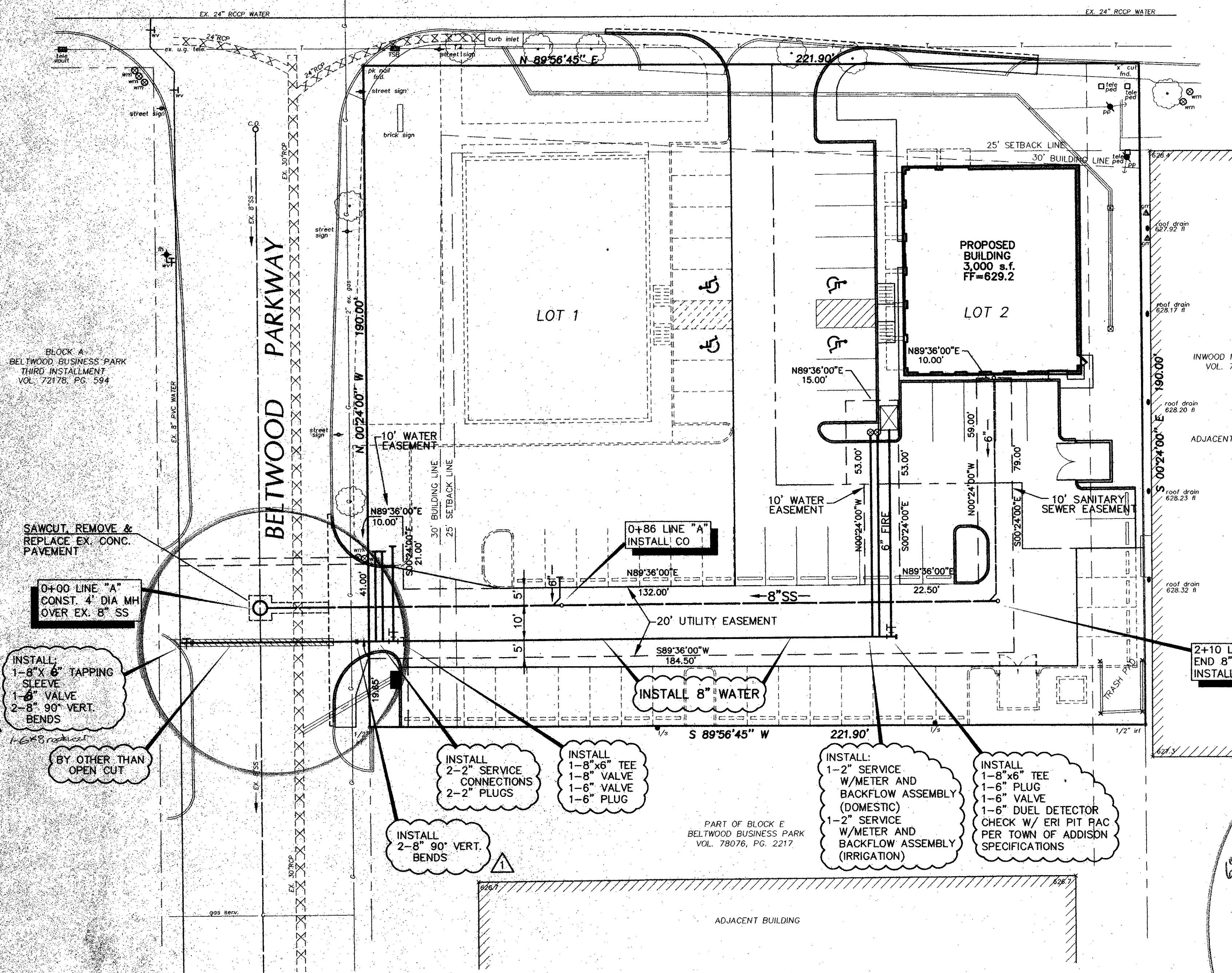
* CONTRACTOR SHALL VERIFY EXACT ELEVATION (TOWN OF ADDISON HAS NO AS BUILT DRAWINGS)

LINE "A"
SANITARY SEWER PROFILE
HOR. 1" = 20'
VERT. 1" = 6'

- LEGEND**
- EXISTING CURB
 - PROPOSED CURB
 - EXISTING WATER LINE
 - PROPOSED WATER LINE
 - EXISTING SANITARY SEWER LINE
 - PROPOSED SANITARY SEWER LINE
 - EXISTING STORM SEWER LINE
 - PROPOSED STORM SEWER LINE
 - SAWCUT

GENERAL NOTES

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4. CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS AND CONTRACTS PRIOR TO COMMENCING CONSTRUCTION.
5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES AND OTHER PROPERTY IN THE CONSTRUCTION OF THIS PROJECT. PROPERTY DAMAGED DURING THIS CONSTRUCTION SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.
6. CONCRETE BLOCKING SHALL BE PROVIDED ON WATER MAINS AT ALL BENDS AND FIRE HYDRANT PER CITY STANDARDS.
7. PAVEMENT AFFECTED BY CONSTRUCTION SHALL BE REPLACED TO MATCH EXISTING. GRASSED AREAS AFFECTED SHALL BE RE-SOODED WITH LIKE MATERIALS.
8. ALL PUBLIC WATER MAINS SHALL BE PVC-C900 WATER PIPE.
9. THE WATER LINE SHALL BE CONSTRUCTED WITH A MINIMUM OF 48" OF COVER.
10. SET NOZZLE OF FIRE HYDRANT AT A HEIGHT BETWEEN 18" AND 24" FROM FINISHED GROUND ELEVATION.
11. THE CERTIFICATE OF ACCEPTANCE (COA) WILL NOT BE ISSUED UNTIL ALL WATER APPURTANCES HAVE BEEN ADJUSTED TO THEIR FINAL POSITION.
12. ALL WATER METER ASSEMBLIES SHALL HAVE TOWN OF ADDISON APPROVED TESTABLE BACKFLOW PREVENTION DEVICES. THESE DEVICES SHALL BE INSTALLED, TESTED, AND CERTIFIED TO BE WORKING PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
13. UPON INSTALLATION OF METERS, THE OWNER OR AGENT SHALL GO TO 5350 BELT LINE ROAD TO PAY THE PROPER DEPOSIT AND INITIATE SERVICE.
14. ALL WATER APPURTANCES REMOVED FROM THE SITE SHALL BE DELIVERED TO THE TOWN OF ADDISON SERVICE, 18801 WESTGROVE DRIVE, ADDISON, TX. 75001-9010

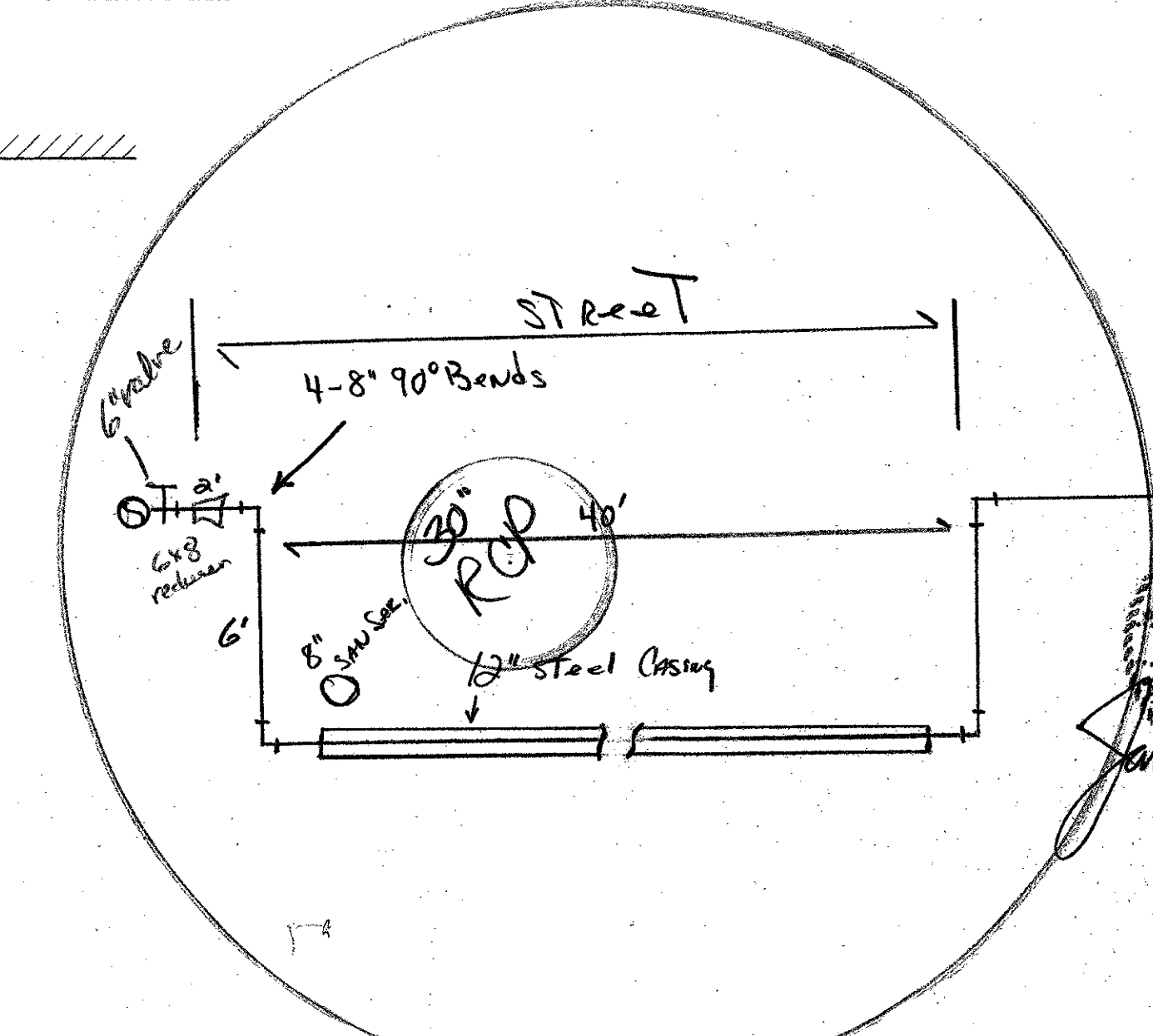


BLOCK A
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VOL. 72178, PG. 594

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PART OF BLOCK E
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ADJACENT BUILDING



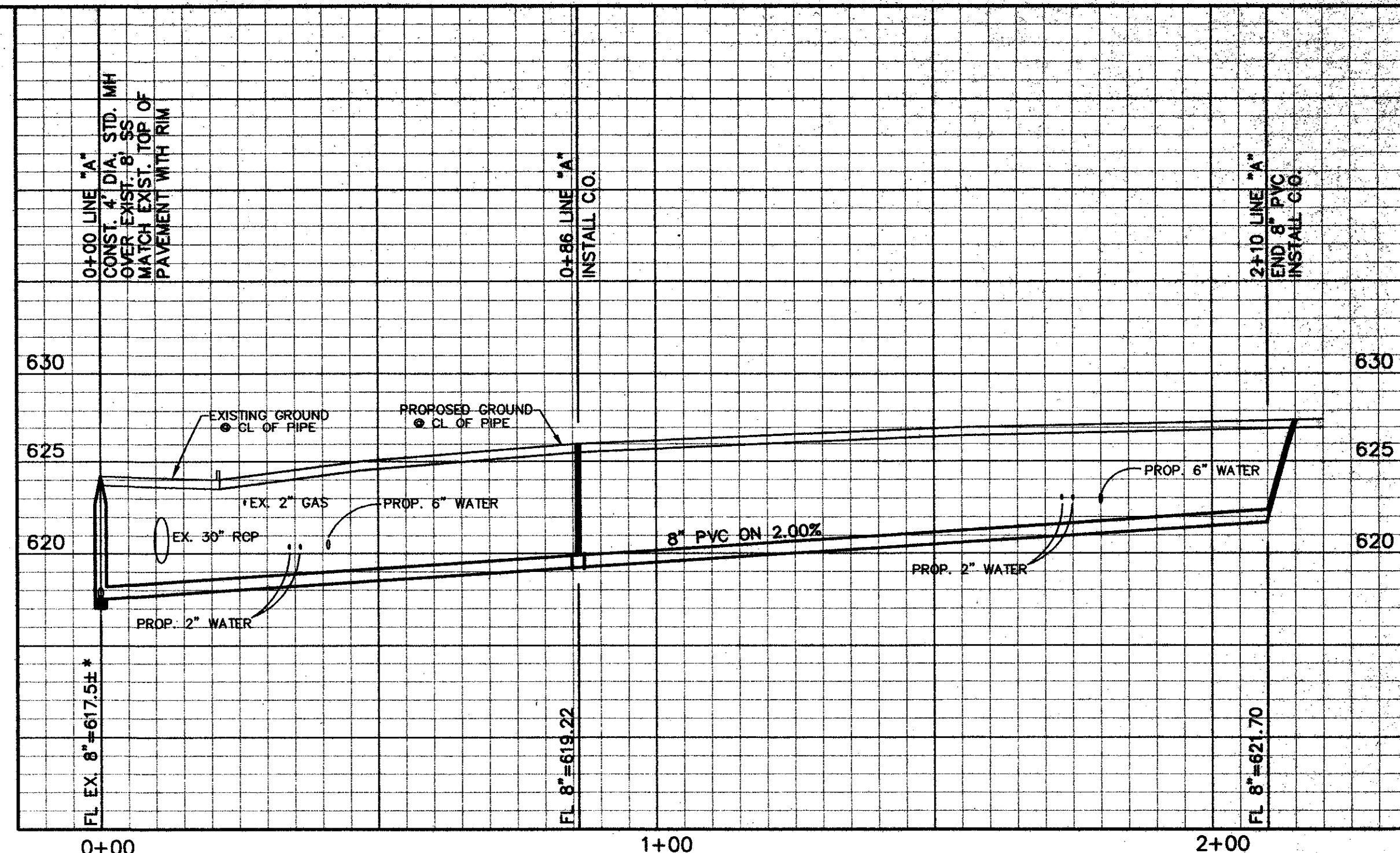
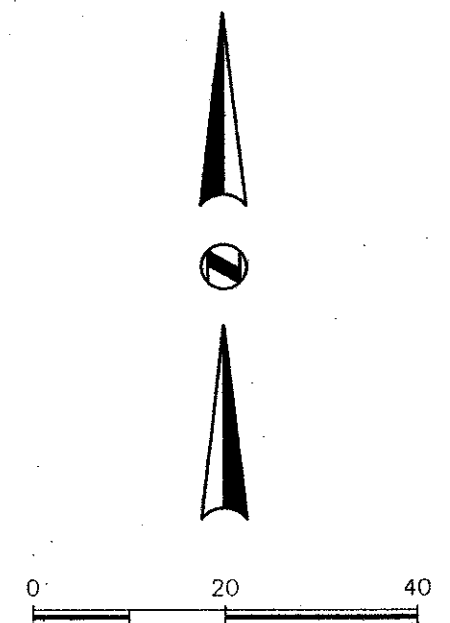
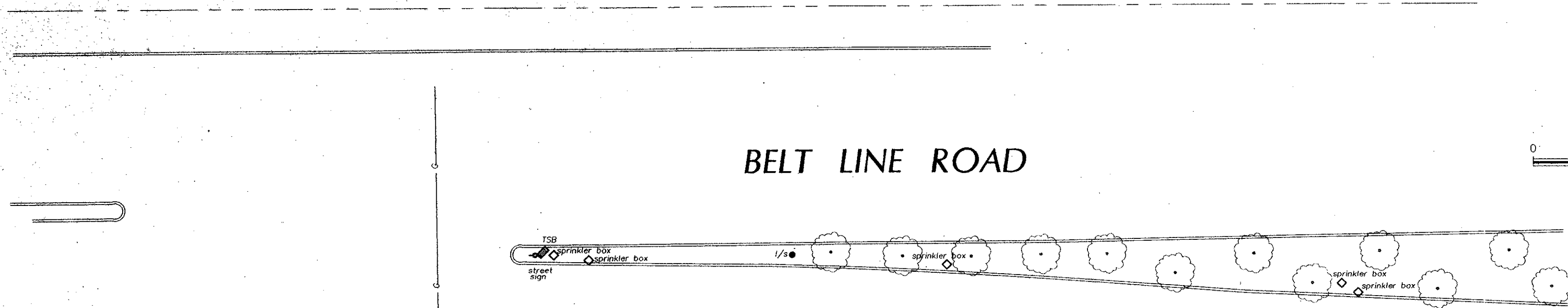
STATE OF TEXAS
JAMES A. RILEY
73231
02-11-00

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WATER & SANITARY SEWER PLAN
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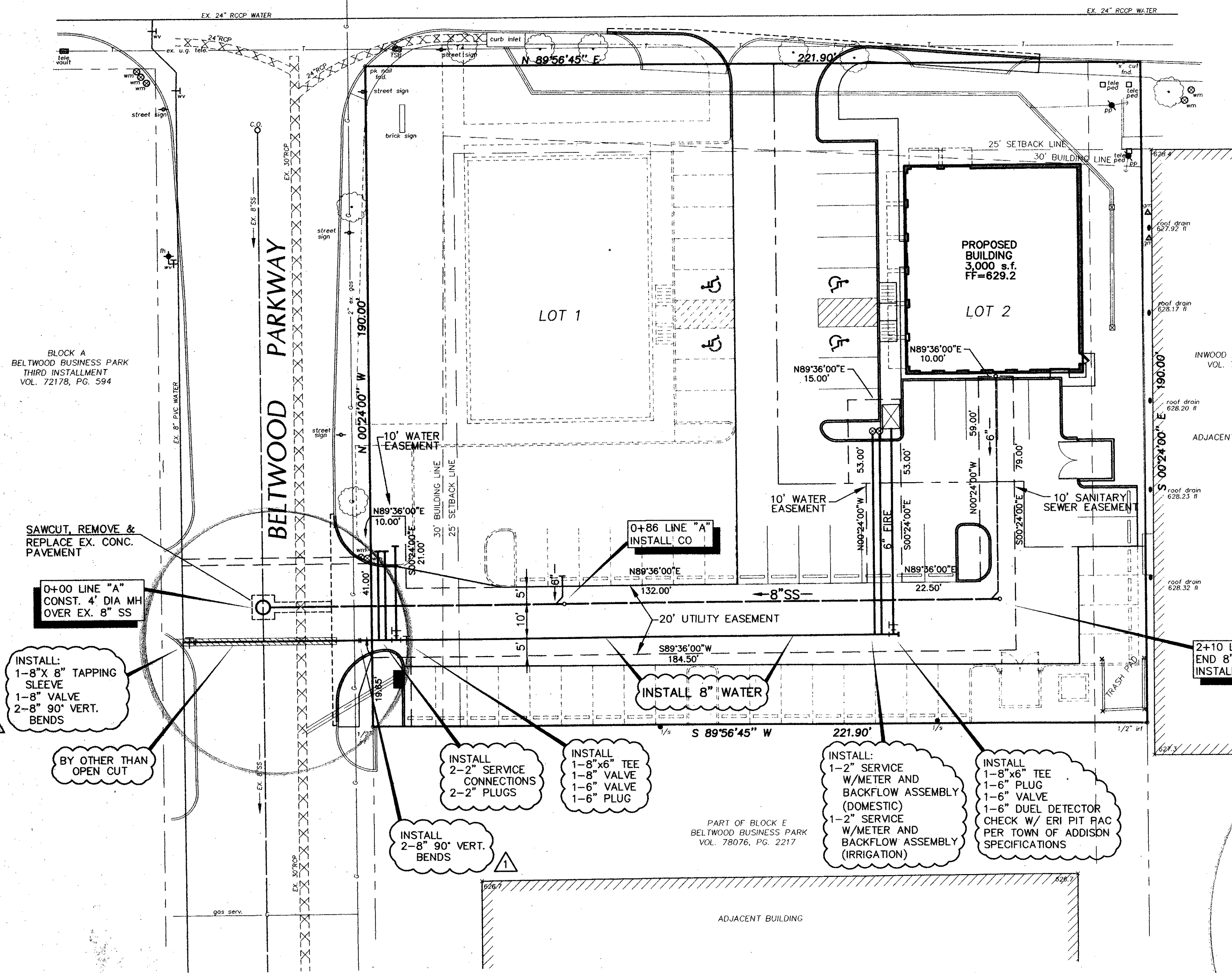
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DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
JAR	FG	01/00	1"=20'	BDD	C99356	C7



* CONTRACTOR SHALL VERIFY EXACT ELEVATION (TOWN OF ADDISON HAS NO AS BUILT DRAWINGS)

LINE "A"
SANITARY SEWER PROFILE
HOR. 1" = 20'
VERT. 1" = 6'



LEGEND

- EXISTING CURB
- PROPOSED CURB
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING SANITARY SEWER LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING STORM SEWER LINE
- PROPOSED STORM SEWER LINE
- XXXXXX — SAWCUT

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THESE PLANS AND TOWN OF ADDISON'S ORDINANCES AND SPECIFICATIONS.
2. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO "STANDARD SPECIFICATIONS FOR PUBLIC WORKS", PUBLISHED BY THE NORTH TEXAS COUNCIL OF GOVERNMENTS, EXCEPT AS MODIFIED BY THE TOWN OF ADDISON.
3. THE LOCATION OF ALL UTILITIES LOCATED ON THESE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES SHALL BE DETERMINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL HAVE A TRENCH SAFETY PLAN PREPARED FOR ALL EXCAVATION IN EXCESS OF 5 FEET DEEP. IT SHALL BE THE DUTY OF CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.
4. CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS AND CONTRACTS PRIOR TO COMMENCING CONSTRUCTION.
5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES AND OTHER PROPERTY IN THE CONSTRUCTION OF THIS PROJECT. PROPERTY DAMAGED DURING THIS CONSTRUCTION SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.
6. CONCRETE BLOCKING SHALL BE PROVIDED ON WATER MAINS AT ALL BENDS AND FIRE HYDRANT PER CITY STANDARDS.
7. PAVEMENT AFFECTED BY CONSTRUCTION SHALL BE REPLACED TO MATCH EXISTING. GRASSED AREAS AFFECTED SHALL BE RE-SODDED WITH LIKE MATERIALS.
8. ALL PUBLIC WATER MAINS SHALL BE PVC-C900 WATER PIPE.
9. THE WATER LINE SHALL BE CONSTRUCTED WITH A MINIMUM OF 48" OF COVER.
10. SET NOZZLE OF FIRE HYDRANT AT A HEIGHT BETWEEN 18" AND 24" FROM FINISHED GROUND ELEVATION.
11. THE CERTIFICATE OF ACCEPTANCE (COA) WILL NOT BE ISSUED UNTIL ALL WATER APPURTENANCES HAVE BEEN ADJUSTED TO THEIR FINAL POSITION.
12. ALL WATER METER ASSEMBLIES SHALL HAVE TOWN OF ADDISON APPROVED TESTABLE BACKFLOW PREVENTION DEVICES. THESE DEVICES SHALL BE INSTALLED, TESTED, AND CERTIFIED TO BE WORKING PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
13. UPON INSTALLATION OF METERS, THE OWNER OR AGENT SHALL GO TO 5350 BELT LINE ROAD TO PAY THE PROPER DEPOSIT AND INITIATE SERVICE.
14. ALL WATER APPURTENANCES REMOVED FROM THE SITE SHALL BE DELIVERED TO THE TOWN OF ADDISON SERVICE, 16801 WESTGROVE DRIVE, ADDISON, TX. 75001-9010

SAWCUT, REMOVE & REPLACE EX. CONC. PAVEMENT

0+00 LINE "A" CONST. 4' DIA MH OVER EX. 8" SS

INSTALL:
1-8" X 8" TAPPING SLEEVE
1-8" VALVE
2-8" 90° VERT. BENDS

BY OTHER THAN OPEN CUT

INSTALL:
2-2" SERVICE CONNECTIONS
2-2" PLUGS

INSTALL:
1-8" X 6" TEE
1-8" VALVE
1-6" PLUG

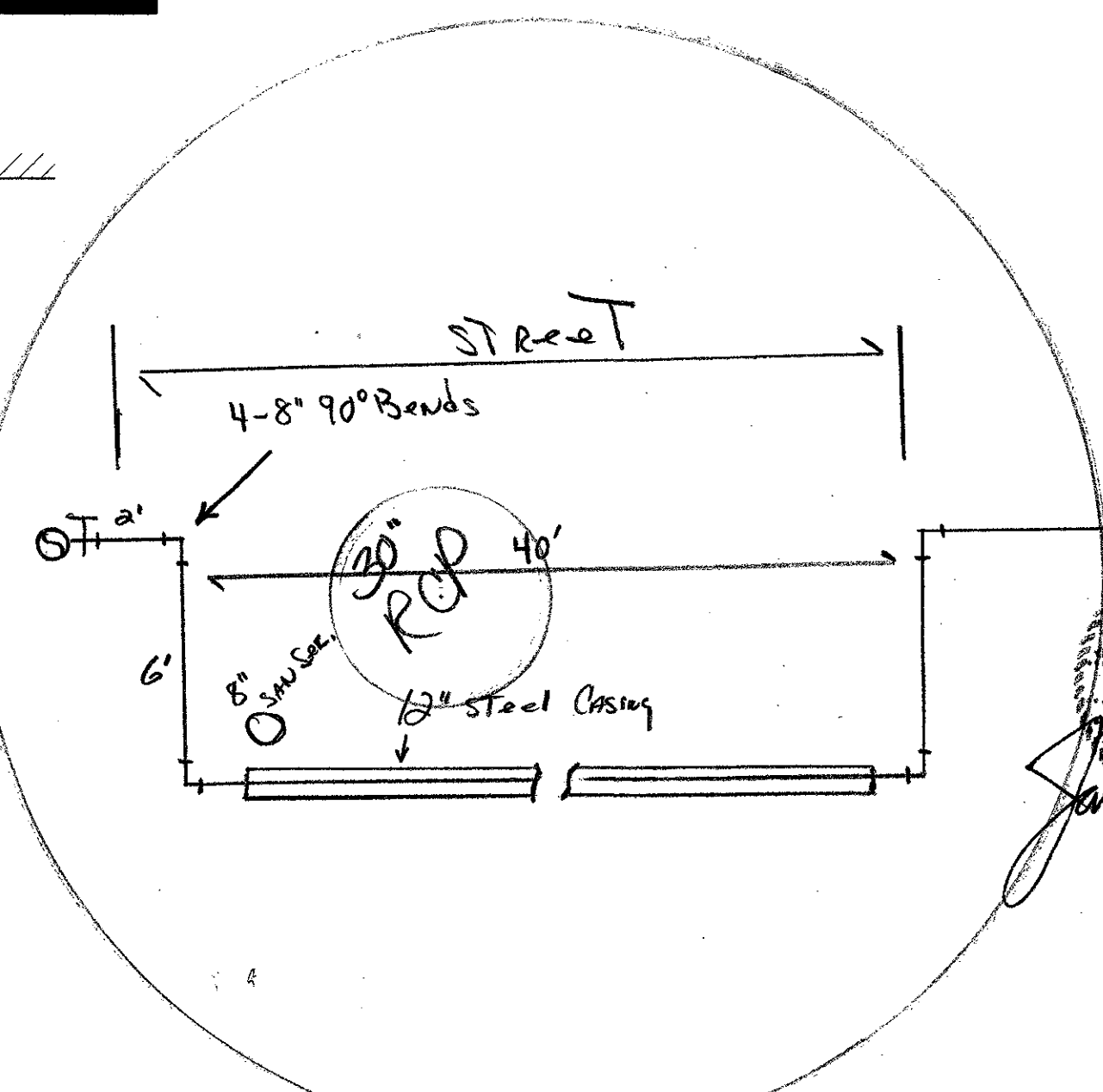
INSTALL:
2-8" 90° VERT. BENDS

INSTALL 8" WATER

INSTALL:
1-2" SERVICE W/METER AND BACKFLOW ASSEMBLY (DOMESTIC)
1-2" SERVICE W/METER AND BACKFLOW ASSEMBLY (IRRIGATION)

INSTALL:
1-8" X 6" TEE
1-6" PLUG
1-6" VALVE
1-6" DUEL DETECTOR CHECK W/ ERI PIT PAC PER TOWN OF ADDISON SPECIFICATIONS

2+10 LINE "A" END 8" SS INSTALL CO



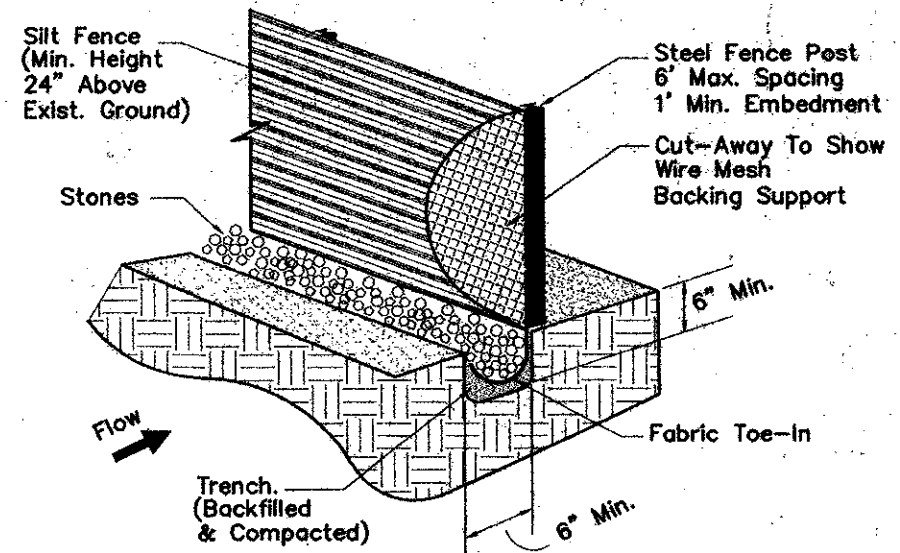
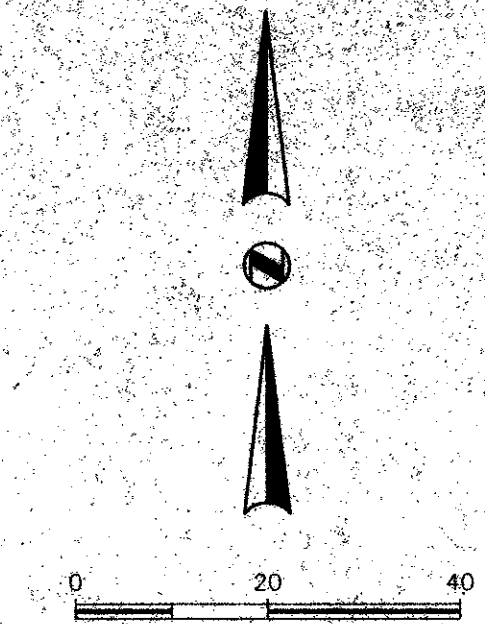
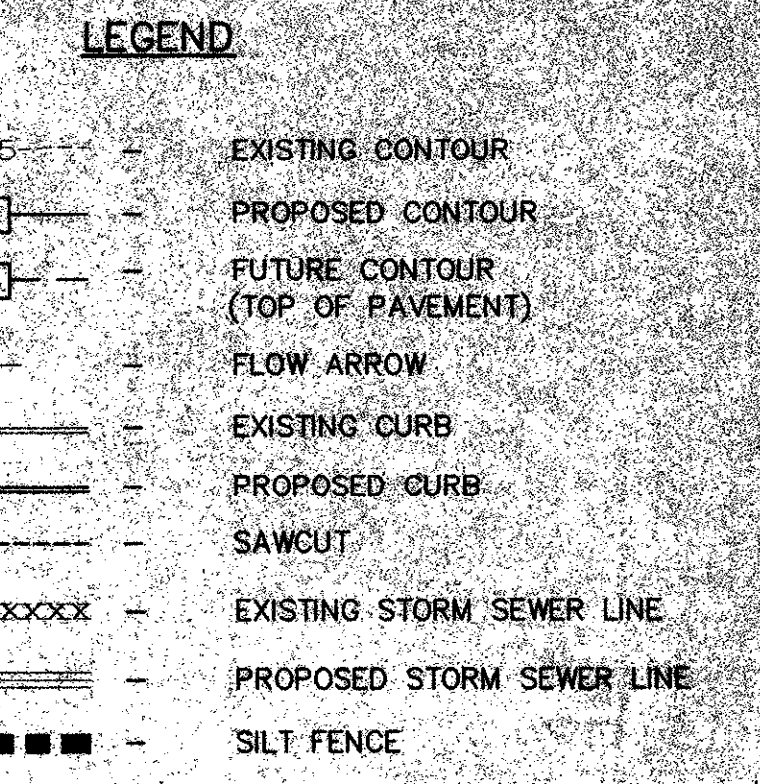
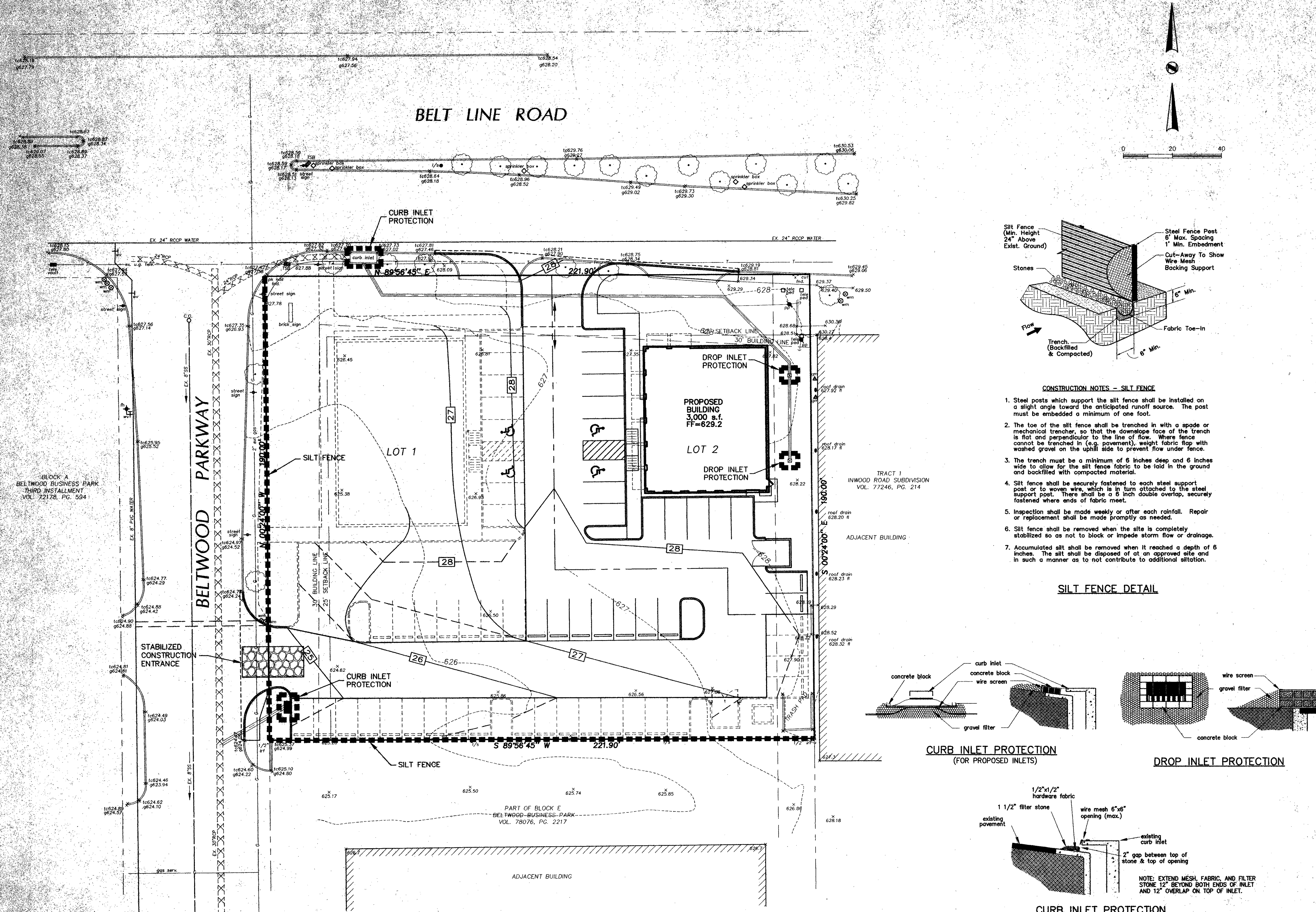
STATE OF TEXAS
JAMES A. RILEY
73231
Professional Engineer
02-11-00

BENCHMARK:
TOP OF CURB INLET AT THE SOUTHEAST INTERSECTION OF BELT LINE ROAD AND BELTWOOD PARKWAY.
ELEVATION 627.74

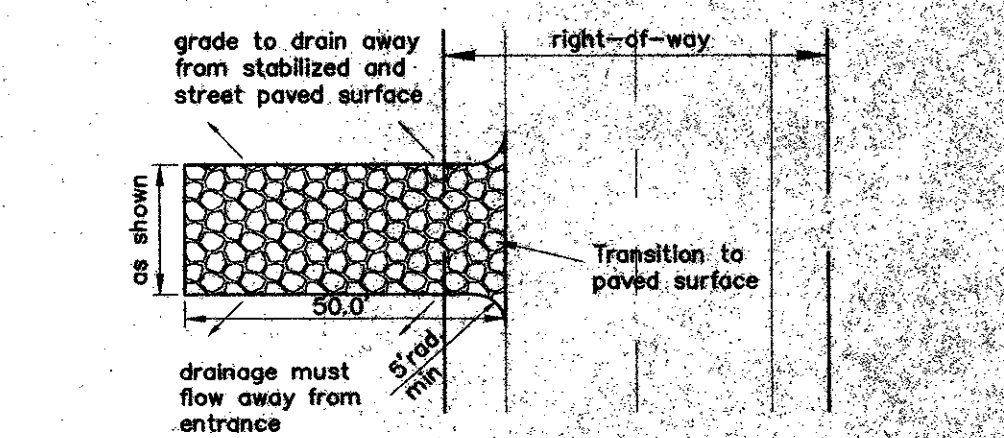
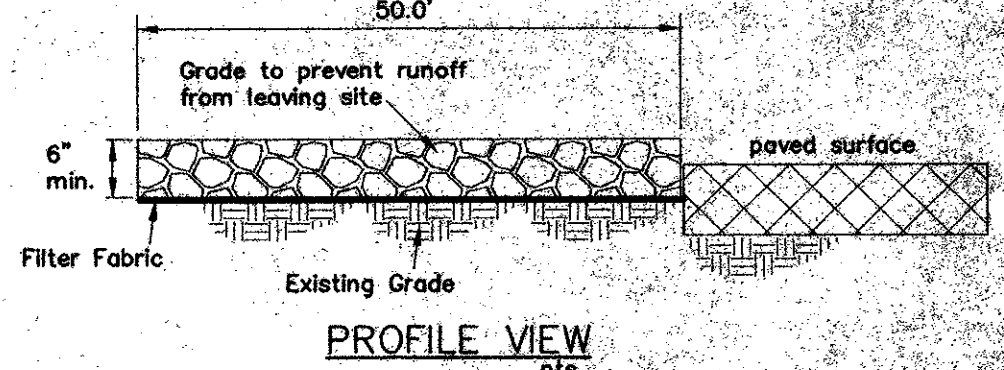
WATER & SANITARY SEWER PLAN
THE PRINT PLACE
TOWN OF ADDISON
DALLAS COUNTY, TEXAS

BROCKETTE • DAVIS • DRAKE, INC.
consulting engineers
Civil & Structural Engineering • Surveying
4144 North Central Expressway, Suite 1100 • Dallas, Texas 75204
(214) 824-3647 • fax (214) 824-7064

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
JAR	FG	01/00	1"=20'	BDD	C99356	C7

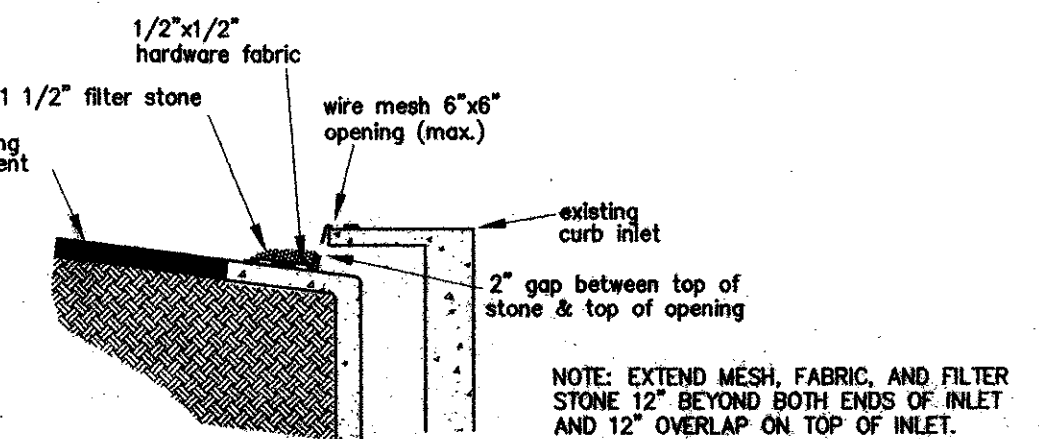
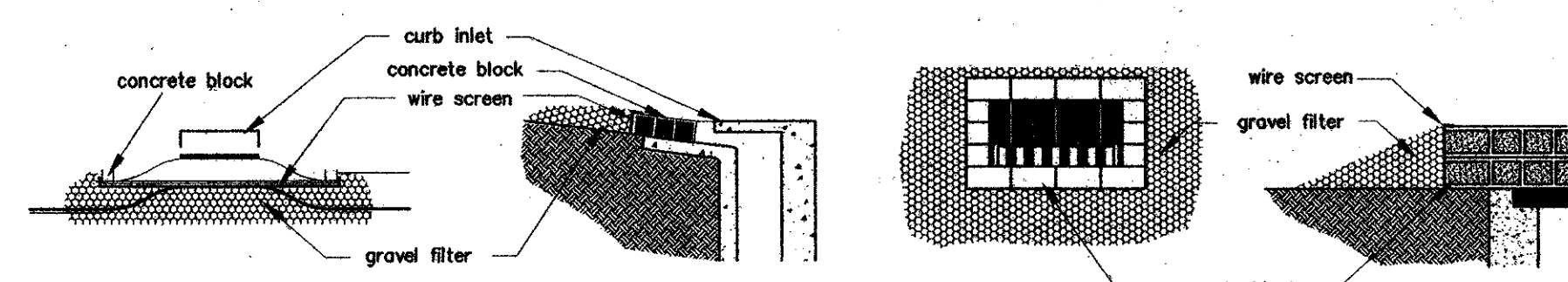


- #### CONSTRUCTION NOTES - SILT FENCE
- Steel posts which support the silt fence shall be installed on a slight angle toward the anticipated runoff source. The post must be embedded a minimum of one foot.
 - The toe of the silt fence shall be trenched in with a spade or mechanical trencher, so that the downlope face of the trench is flat and perpendicular to the line of flow. Where fence cannot be trenched in (i.e. pavement), weight fabric flap with washed gravel on the uphill side to prevent flow under fence.
 - The trench must be a minimum of 6 inches deep and 6 inches wide to allow for the silt fence fabric to be laid in the ground and backfilled with compacted material.
 - Silt fence shall be securely fastened to each steel support post or to woven wire, which is in turn attached to the steel support post. There shall be a 6 inch double overlap, securely fastened where ends of fabric meet.
 - Inspection shall be made weekly or after each rainfall. Repair or replacement shall be made promptly as needed.
 - Silt fence shall be removed when the site is completely stabilized so as not to block or impede storm flow or drainage.
 - Accumulated silt shall be removed when it reached a depth of 8 inches. The silt shall be disposed of at an approved site and in such a manner as to not contribute to additional siltation.



- #### CONSTRUCTION NOTES
- Stone shall be 3 to 5 inch diameter crushed rock or acceptable crushed Portland Cement Concrete.
 - When necessary, vehicles shall be cleaned to remove sediment prior to entrance onto a public roadway. When washing is required, it shall be done on a area stabilized with crushed stone with drainage flowing away from both the street and the stabilized entrance. All sediment shall be prevented from entering any storm drain, ditch or watercourse using approved methods.
 - The entrance shall maintained in a condition which will prevent tracking or flowing of sediment onto paved surfaces. This may require periodic top dressing with additional stone a conditions demand. All sediment spilled, dropped, washed or tracked onto paved surfaces, must be removed immediately.
 - The entrance must be properly graded or incorporate a drainage swale to prevent runoff from leaving the construction site.

STABILIZED CONSTRUCTION ENTRANCE



BLOCK AND GRAVEL PROTECTION
Concrete blocks are to be placed on their sides in a single row around the perimeter of the inlet, with ends abutting. Opening in the blocks should face outward, not upward. Wire mesh shall then be placed over the outside face of the blocks covering the holes. Filter stone shall then be piled against the wire mesh to the top of the blocks with the base of the stone being a minimum of 18 inches from the blocks. Periodically, when the stone filter becomes clogged, the stone must be removed and cleaned in a proper manner or replaced with new stone and piled back against the wire mesh.

STATE OF TEXAS
JAMES A. RILEY
73281
01-06-00

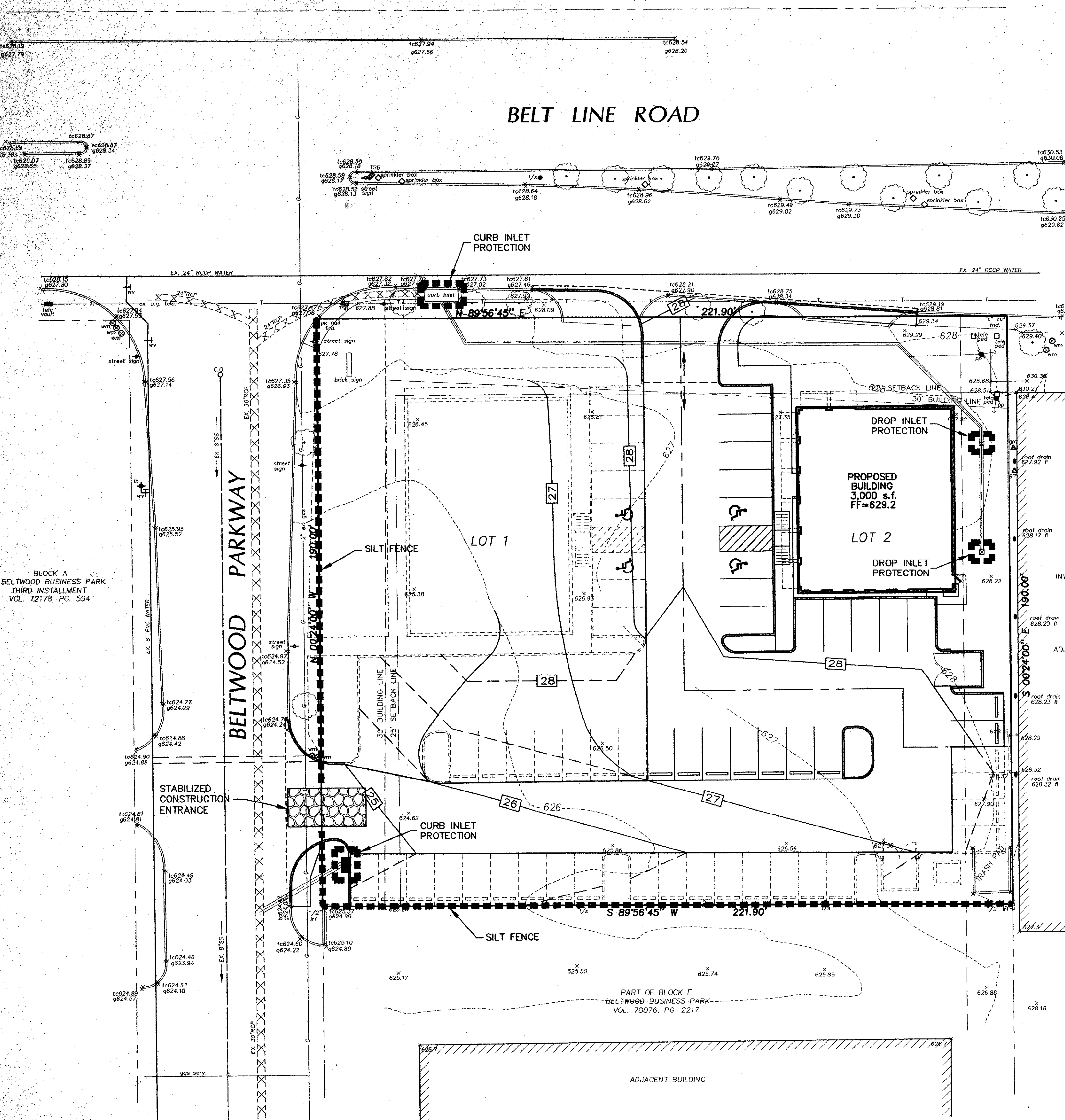
BENCHMARK:
TOP OF CURB INLET AT THE SOUTHEAST INTERSECTION OF BELT LINE ROAD AND BELTWOOD PARKWAY.
ELEVATION 627.74

EROSION CONTROL PLAN

THE PRINT PLACE
TOWN OF ADDISON
DALLAS COUNTY, TEXAS

BROCKETTE • DAVIS • DRAKE, INC.
consulting engineers
Civil & Structural Engineering • Surveying
4144 North Central Expressway, Suite 1100 • Dallas, Texas 75204
(214) 824-3647 • fax (214) 824-7064

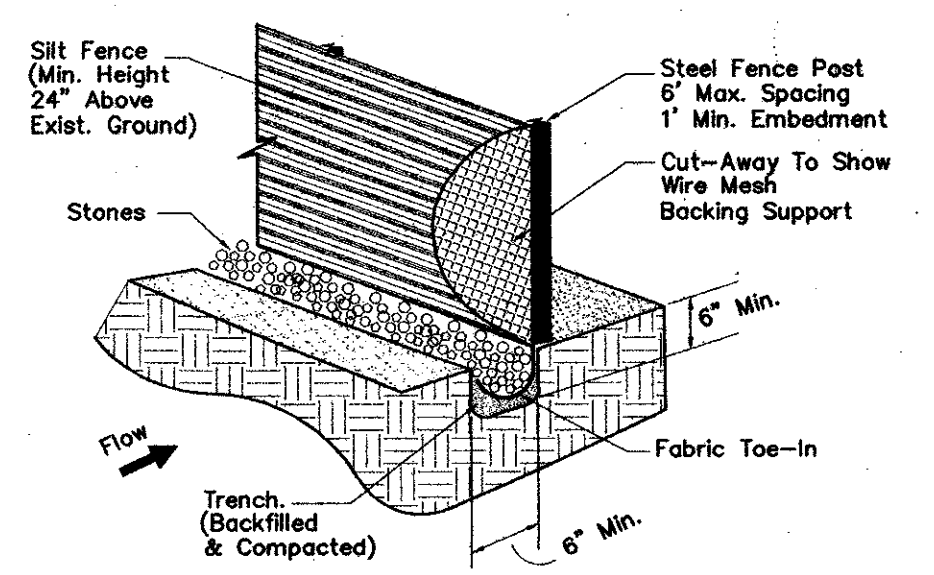
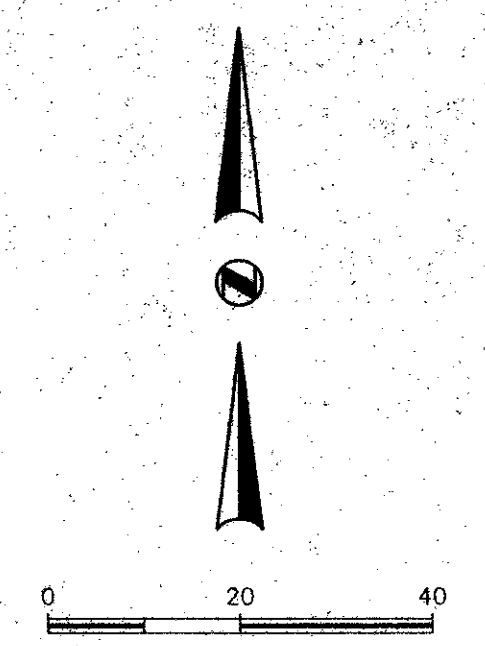
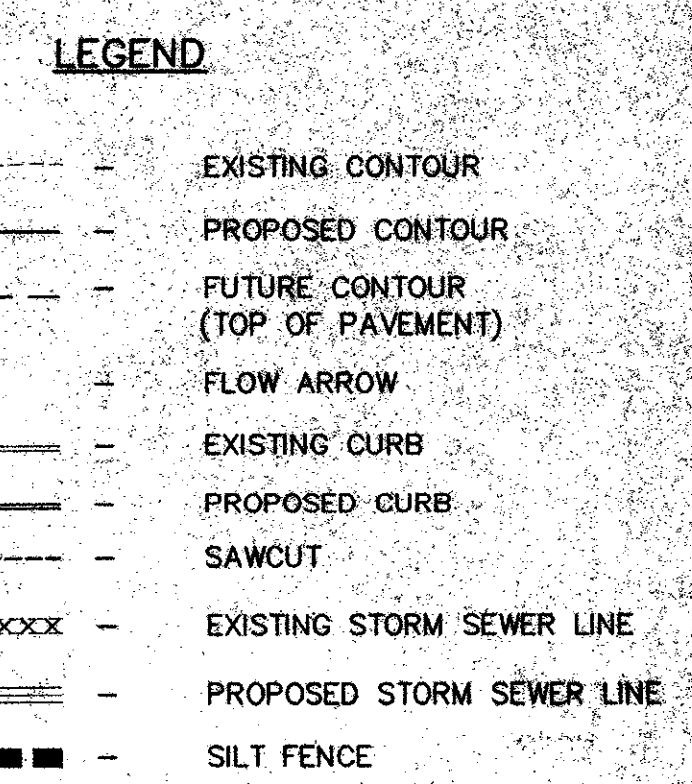
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
JAR	FG	01/00	1"=20'	BDD	C99356	C8



BLOCK A
BELTWOOD BUSINESS PARK
THIRD INSTALLMENT
VOL. 72178, PG. 594

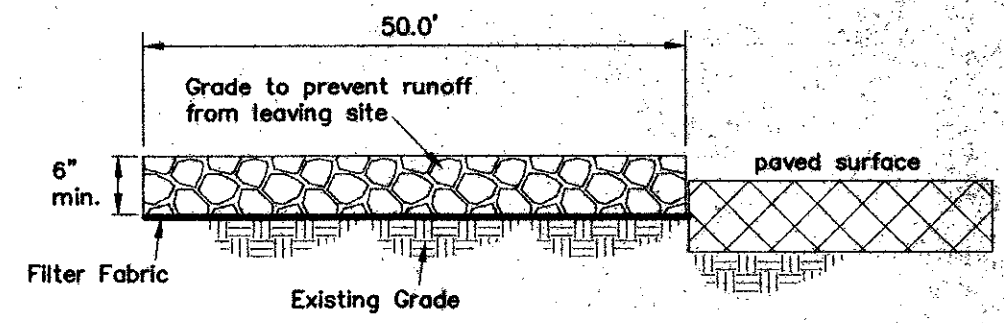
PART OF BLOCK E
BELTWOOD-BUSINESS-PARK
VOL. 78076, PG. 2217

TRACT 1
INWOOD ROAD SUBDIVISION
VOL. 77246, PG. 214

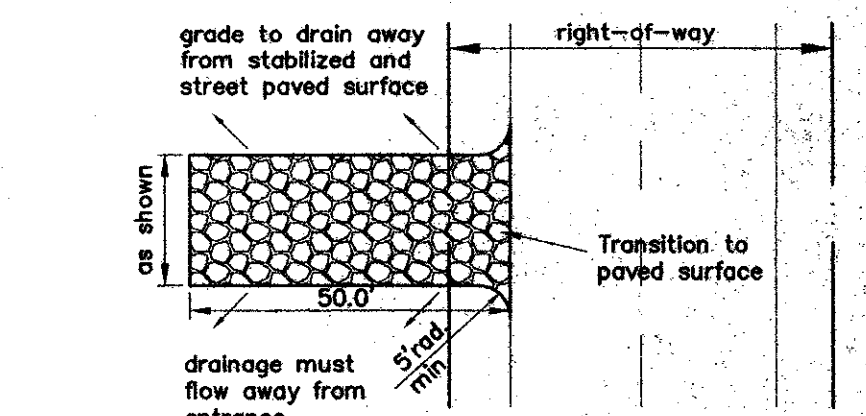


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 - The top of the silt fence shall be trenched in with a spade or mechanical trencher, so that the down slope face of the trench is flat and perpendicular to the line of flow. Where fence cannot be trenched in (e.g. pavement), weight fabric top with washed gravel on the uphill side to prevent flow under fence.
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SILT FENCE DETAIL



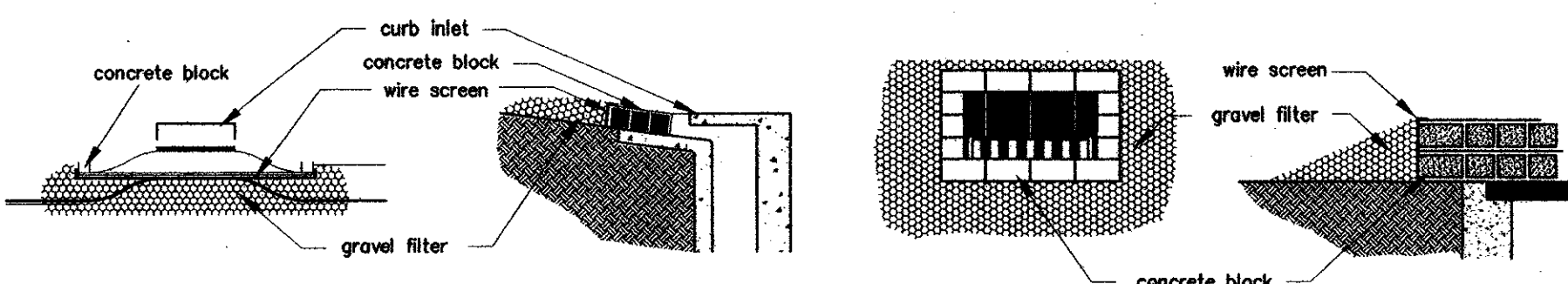
PROFILE VIEW



PLAN VIEW

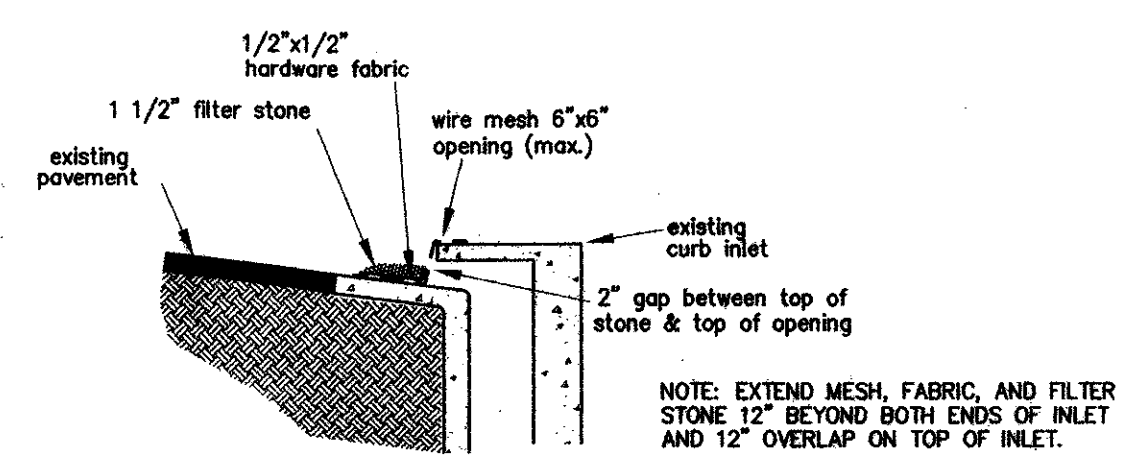
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STABILIZED CONSTRUCTION ENTRANCE



CURB INLET PROTECTION (FOR PROPOSED INLETS)

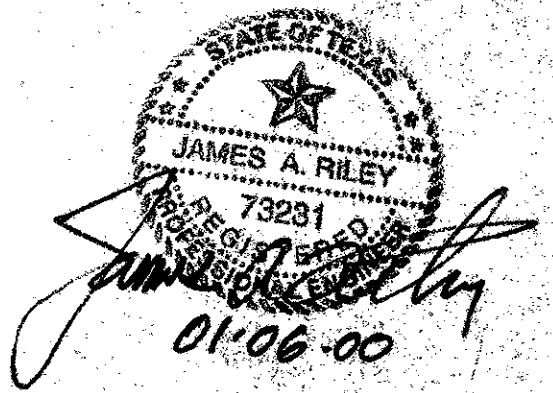
DROP INLET PROTECTION



CURB INLET PROTECTION (FOR EXISTING INLETS)

BLOCK AND GRAVEL PROTECTION
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BENCHMARK:
TOP OF CURB INLET AT THE SOUTHEAST INTERSECTION OF BELT LINE ROAD AND BELTWOOD PARKWAY.
ELEVATION 627.74



EROSION CONTROL PLAN						
THE PRINT PLACE						
TOWN OF ADDISON						
DALLAS COUNTY, TEXAS						
BROCKETTE • DAVIS • DRAKE, INC.						
Civil & Structural Engineering • Surveying						
4144 North Central Expressway, Suite 1100 • Dallas, Texas 75204						
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DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
JAR	FG	01/00	1"=20'	BDD	C99356	C8

REVISED SET

CONSTRUCTION PLANS

FOR

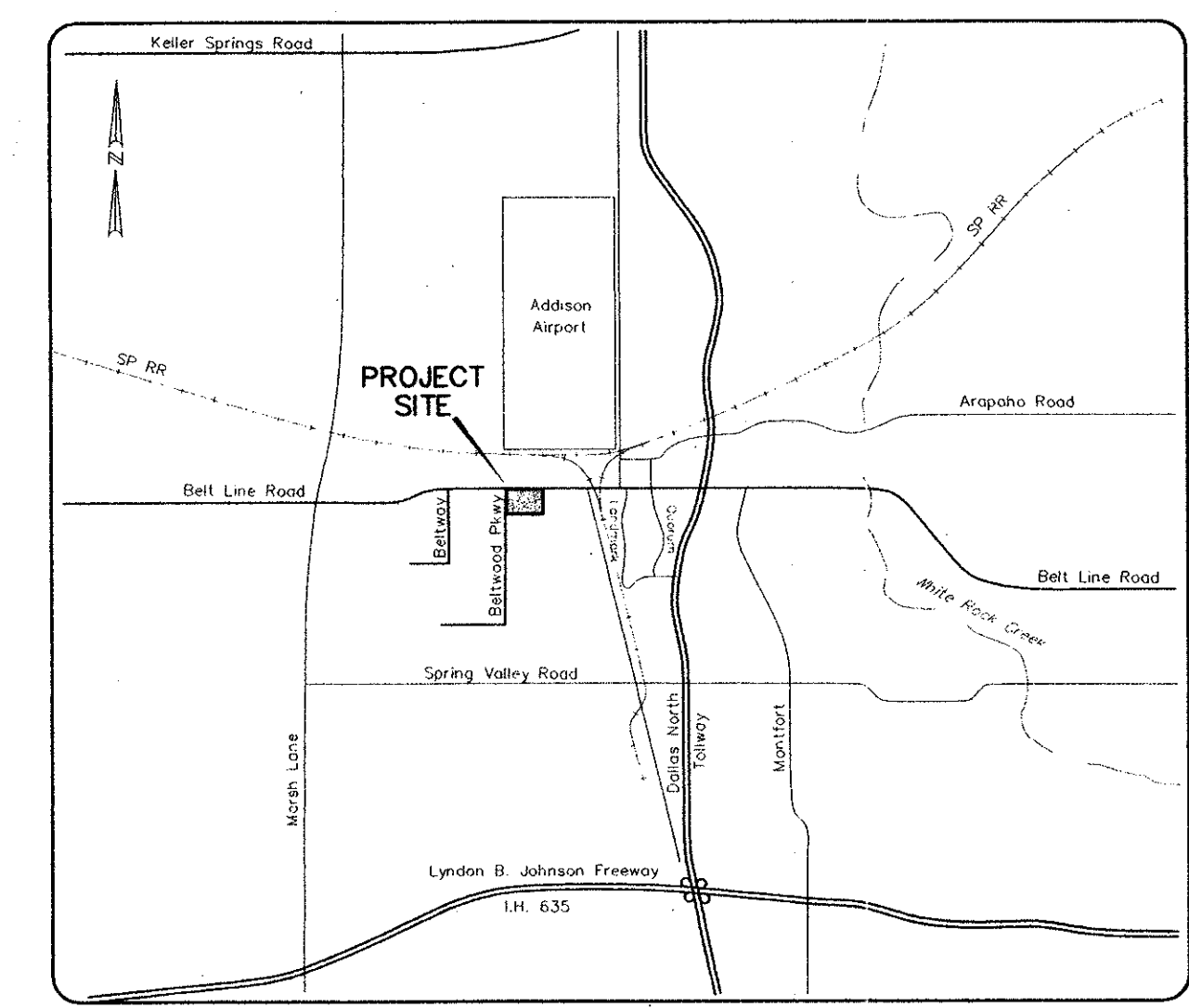
BELTLINE / BELTWOOD PKWY.

AN ADDITION TO

THE TOWN OF ADDISON, TEXAS

Index Of Drawings

- C1 Cover Sheet
- C2 Final Plat (By Others)
- C3 Demolition Plan
- C4 Paving Plan
- C5 Grading Plan
- C6 Drainage Plan
- C7 Water and Sanitary Sewer Plan
- C8 Erosion Control



Location Map

GENERAL NOTES

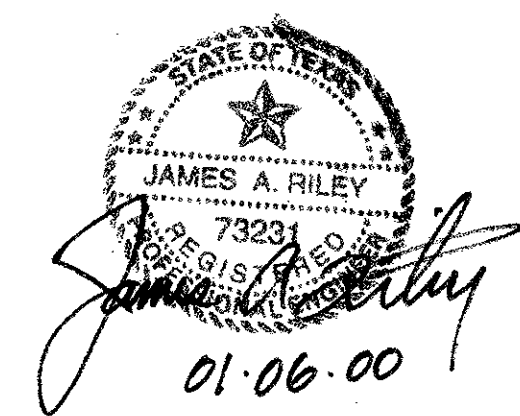
- A. Prior to final acceptance by the Town of Addison,
 1. A Texas Registered Professional Engineer shall certify that the project was constructed in accordance with the plans and specifications approved by the Town of Addison.
 2. The Owner shall provide one reproducible set of as-built (sealed and certified by a Texas Registered Engineer) and two blue lines sets.
 3. A five foot (5') sidewalk shall be installed along the public streets. See attached detail.
 4. A one year 10% maintenance bond is required for the public infrastructure.
 5. Contractor shall demonstrate that the water and sanitary sewer systems meet the property pressure, bacteria, and mandrel tests. In addition, the Owner shall provide a VHS format video tape of the sanitary sewer.
- B. Prior to starting construction, the Contractor shall contact the utility companies to locate existing facilities. These include but may not be limited to the following:
 1. Town of Addison
 2. Lone Star Gas
 3. Southwestern Bell
 4. Storer Cable
 5. Planned Cable Systems
 6. T.U. Electric
- C. Prior to beginning construction, the Owner or his authorized representative shall convene a preconstruction conference among the Town of Addison, Consulting Engineers, Contractor(s), Utility companies and any other affected parties. Notify Bruce Ellis (972) 450-2847 at least 48 hours prior to beginning of construction.
- D. Any existing pavement, curbs, and/or sidewalks damaged or removed will be repaired by the Contractor at their expense.
- E. Lot pins shall be installed after construction and prior to final acceptance. Concrete monuments shall be placed as shown on the final plat and iron pins shall be placed at block corners, curve points and angle points in public right-of-way. Concrete monuments shall be six inches (6") in diameter and twenty-four inches (24") long. An iron rod one-half inch (1-1/2") in diameter embedded at least three inches (3") in the monument at the exact intersection point of the monument. The monuments shall be set at such an elevation that after construction, the top of the monument will be not less than twelve inches (12") below the ground surface.
- F. The Contractor shall stamp a two inch (2") "S" and a two inch (2") "W" in the curb at the location of the sewer service and water service lines, respectively.
- G. At intersections that have valley drainage, the crown of the intersecting streets will culminate in a distance of 40 feet (40') from the intersecting curb line unless otherwise note.
- H. Temporary or permanent street barricades shall remain at all points of ingress and egress to prevent public use until such street received final acceptance.
- I. Contractor shall obtain a right-of-way permit by the Town of Addison for working within the public right-of-way.
- J. During construction, the Owner shall provide a qualified geotechnical lab to perform materials testing during the construction at the request of the Town of Addison.
- K. The Contractor shall submit material sheets to the Town of Addison for approval prior to incorporating materials into the job.
- L. The utility contractor shall submit to the Town of Addison for approval a trench safety plan sealed by a Registered Professional Engineer for the installation of utilities greater than five feet (5') in depth.
- M. All existing and proposed improvements (valves, manholes, fire hydrants, water meters, etc.) shall be adjusted to finished grade by the Contractor.

Owner

The Print Place
 2603 Oak Lawn, Suite 100
 Dallas, Texas 75219
 (214) 219-2262
 Contact: David Granoff

Engineer

Brockette • Davis • Drake
 4144 N. Central Expressway, Suite 1100
 Dallas, Texas 75204
 (214) 824-3647
 Contact: James A. Riley



LOT 2 OF
 BEL-AIR GRILL ADDITION REVISED
 AN ADDITION TO THE TOWN OF ADDISON,
 DALLAS COUNTY, TEXAS. BEING A REPLAT
 OF BEL-AIR GRILL ADDITION, ACCORDING TO
 THE PLAT RECORDED IN VOL. 86067, PG. 402
 ELISHA FIKE SURVEY, ABSTRACT NO. 478
 TOWN OF ADDISON, DALLAS COUNTY, TEXAS

B7-14

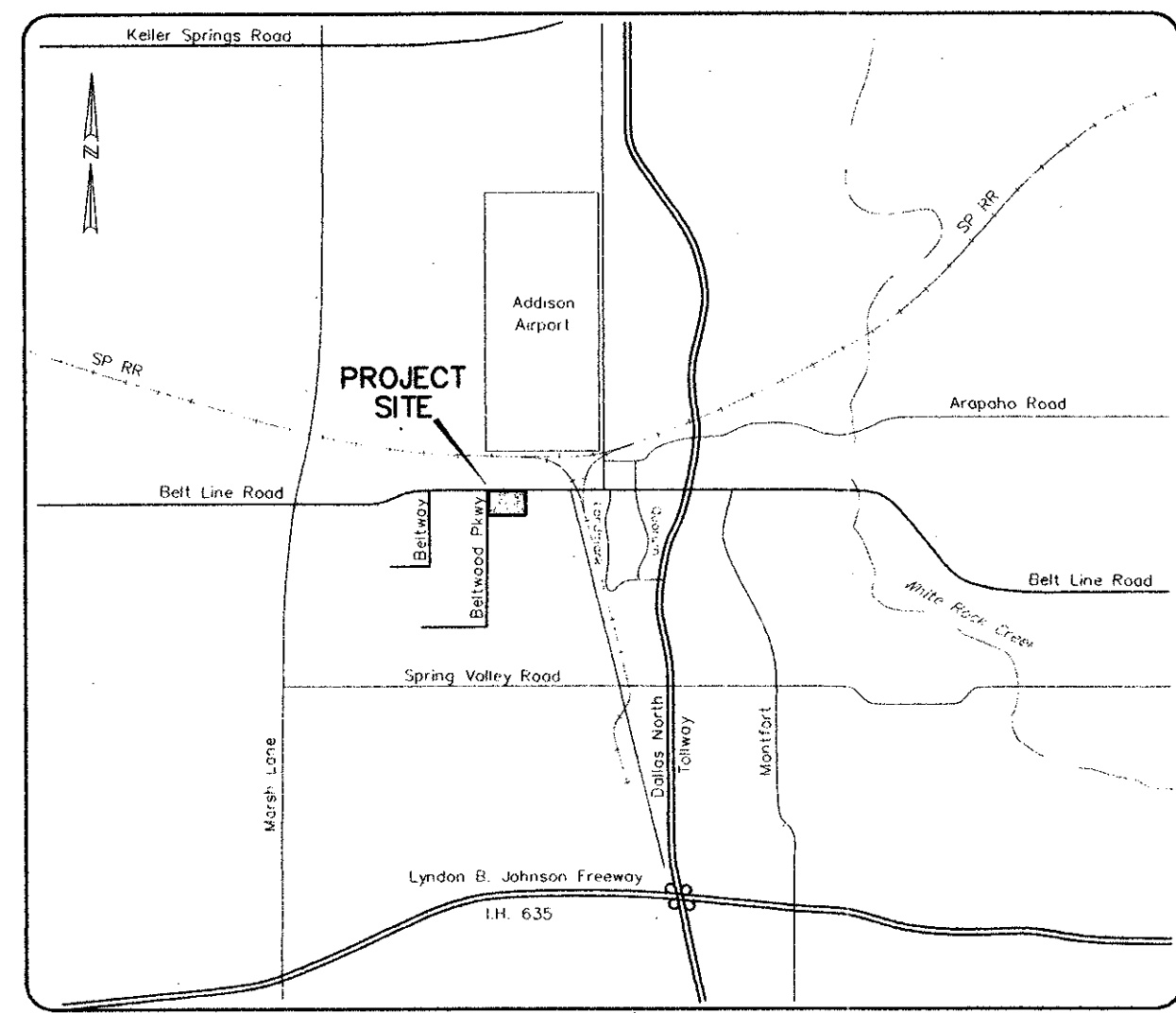
B7-14
 4680 BELTLINE / BELTWOOD PKWY. "As-BUILTS"

REVISED SET

CONSTRUCTION PLANS FOR BELTLINE / BELTWOOD PKWY. AN ADDITION TO THE TOWN OF ADDISON, TEXAS

Index Of Drawings

- C1 Cover Sheet
- C2 Final Plat (By Others)
- C3 Demolition Plan
- C4 Paving Plan
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- C6 Drainage Plan
- C7 Water and Sanitary Sewer Plan
- C8 Erosion Control



Location Map

GENERAL NOTES

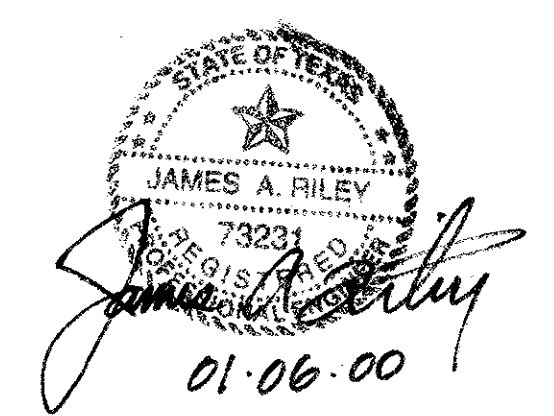
- A. Prior to final acceptance by the Town of Addison,
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 2. The Owner shall provide one reproducible set of six-bolt (sealed and certified by a Texas Registered Engineer) and two blue line sets.
 3. A five foot (5') sidewalk shall be installed along the public streets. See attached detail.
 4. A one year 10% maintenance bond is required for the public infrastructure.
 5. Contractor shall demonstrate that the water and sanitary sewer systems meet the property pressure, bacteria, and manure tests. In addition, the Owner shall provide a VHS format video tape of the sanitary sewer.
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 4. Storer Cable
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- C. Prior to beginning construction, the Owner or his authorized representative shall convene a preconstruction conference among the Town of Addison, Consulting Engineers Contractor(s), Utility companies and any other affected parties. Notify Bruce Ellis (972) 450-2947 at least 48 hours prior to beginning of construction.
- D. Any existing pavement, curbs, and/or sidewalks damaged or removed will be repaired by the Contractor at their expense.
- E. Lot pins shall be installed after construction and prior to final acceptance. Concrete monuments shall be placed as shown on the final plat and iron pins shall be placed at block corners, curve points and angle points in public right-of-way. Concrete monuments shall be six inches (6") in diameter and twenty-four inches (24") long. An iron rod one-half inch (1-1/2") in diameter embedded at least three inches (3") in the monument at the exact intersection point of the monument. The monuments shall be set at such an elevation that after construction, the top of the monument will be not less than twelve inches (12") below the ground surface.
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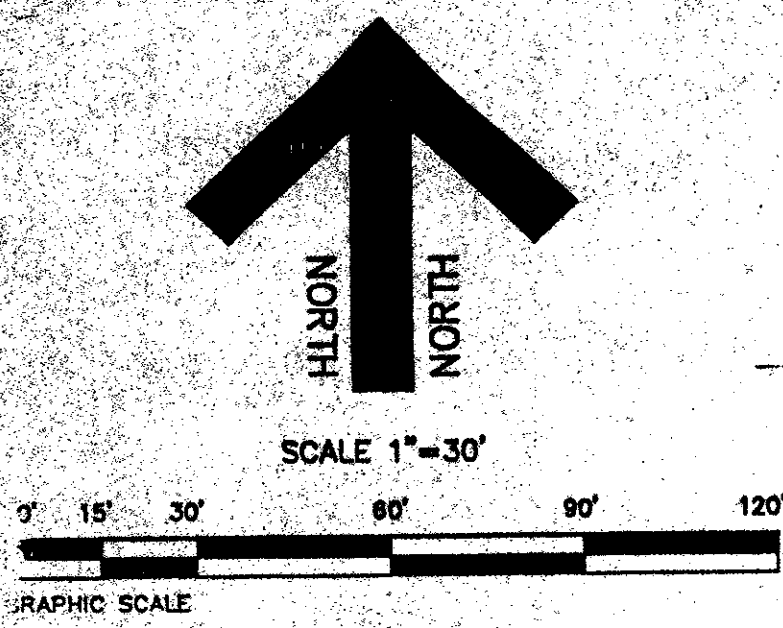
Engineer

Brockette • Davis • Drake
4144 N. Central Expressway, Suite 1100
Dallas, Texas 75204
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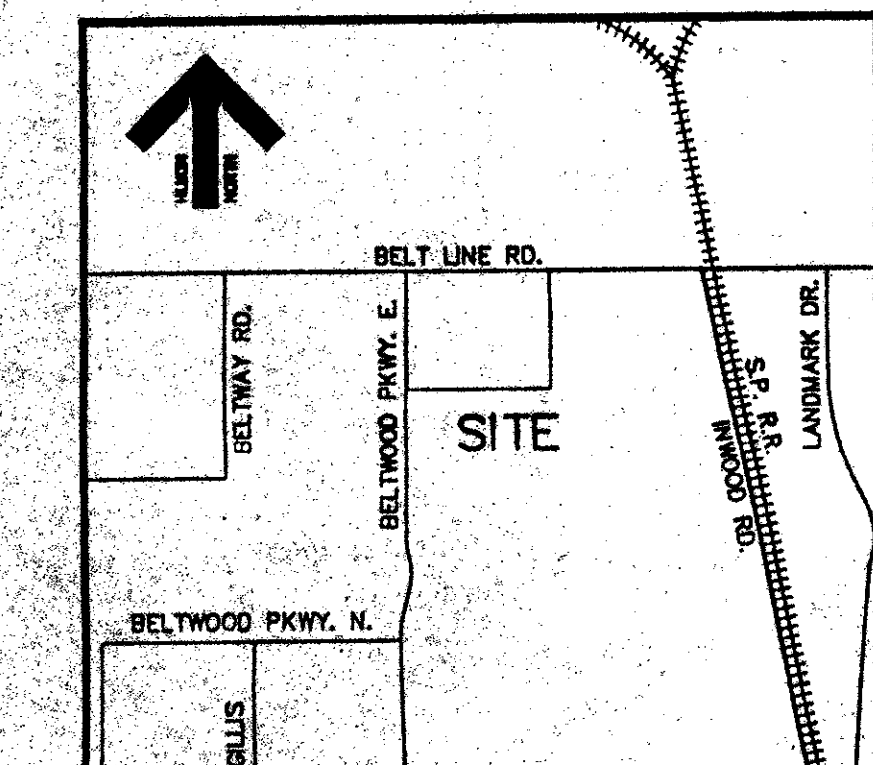
LOT 2 OF
BEL-AIR GRILL ADDITION REVISED
AN ADDITION TO THE TOWN OF ADDISON,
DALLAS COUNTY, TEXAS. BEING A REPLAT
OF BEL-AIR GRILL ADDITION, ACCORDING TO
THE PLAT RECORDED IN VOL. 86067, PGS. 4602
ELISHA FIKE SURVEY, ABSTRACT NO. 478
TOWN OF ADDISON, DALLAS COUNTY, TEXAS

BELTLINE / BELTWOOD PKWY.



GRAPHIC SCALE

BLOCK A
INWOOD BUSINESS PARK
THIRD INSTALLMENT
VOL. 72178, PG. 594, DRDCT



LOCATION MAP

LOT 1, BLOCK A
BELTWOOD RESERVOIR
VOL. 90012, PG. 3368, DRDCT

E. COOK SURVEY ABSTRACT NO. 329
E. FIKE SURVEY, ABSTRACT NO. 478

SOUTH WESTERN R.R.

BELT LINE ROAD

BELTWOOD PARKWAY

INWOOD ROAD

BLOCK A
42,160 SQ. FT.
0.9679 AC.

LOT 1
28,868 SQ. FT.
0.6627 ACRES

LOT 2
13,292 SQ. FT.
0.3051 AC.

TRACT 1
INWOOD ROAD SUBDIVISION
VOL. 77246, PG. 214, DRDCT

PART OF BLOCK E
BELTWOOD BUSINESS PARK THIRD INSTALLMENT
VOL. 78076, PG. 2217 DRDCT

THE ATTIC ADDISON
VOL. 77197, PG. 478, DRDCT

SURVEYOR'S CERTIFICATE)

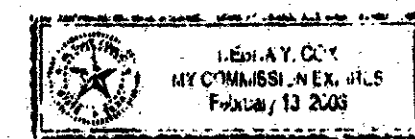
THAT I, GEARY BAILEY, do hereby certify that I prepared this plat from an actual and accurate survey on the ground of property and that all block monuments and corners were placed under my personal supervision.



Geary Bailey
GEARY BAILEY
REGISTERED PROFESSIONAL
SURVEYOR NO. 4573

Notary Public)
State of Texas)

BEFORE ME, the undersigned, a Notary Public in and for said State on this date personally appeared GEARY BAILEY, known to me personally to be the person whose name is for the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed.
GIVEN UNDER MY HAND AND SEAL OF OFFICE this 19th day of August 1999.



J. Scott A. Co.
Notary PUBLIC IN AND FOR THE
STATE OF TEXAS

CERTIFICATE OF APPROVAL

MAYOR, TOWN OF ADDISON _____

CITY SECRETARY _____

VOLUME _____ PAGE _____

OWNER'S CERTIFICATE

STATE OF TEXAS)
DALLAS COUNTY)
TOWN OF ADDISON)

WHEREAS I, Sharon Shelby, am the owner of a tract of land situated in the Elisha Fike Survey, Abstract No. 478, Town of Addison, Dallas County, Texas by deed recorded in Volume 88008, Page 468 of the Deed Records of Dallas County, Texas, and being all of Bel-Air Grill Addition, an addition to the Town of Addison, Dallas County, Texas according to the plat recorded in Volume 88067, Page 4598 of the Deed Records of Dallas County, Texas and being more particularly described by metes and bounds as follows:

BEGINNING at a PK nail found for corner at the intersection of the east line of Beltwood Parkway (a 60 foot right-of-way) with the south line of Belt Line Road (a 100 foot right-of-way);

THENCE North 89 degrees 56 minutes 45 seconds East, along said south line of Belt Line Road, a distance of 221.90 feet to an 'x' cut in concrete found for corner at the northeast corner of said Bel-Air Grill Addition, same being the northwest corner of Tract 1, Inwood Road Subdivision, an addition to the Town of Addison, Dallas County, Texas according to the plat recorded in Volume 77246, Page 214 of the Deed Records of Dallas County, Texas;

THENCE South 00 degrees 24 minutes 00 seconds East, along the common line between said Bel-Air Grill Addition and said Inwood Road Subdivision, a distance of 190.00 feet to a 1/2 inch iron rod found for corner, same being the southeast corner of said Bel-Air Grill Addition;

THENCE South 89 degrees 56 minutes 45 seconds West, along the south line of said Bel-Air Grill Addition, a distance of 221.90 feet to a 1/2 inch iron rod found for corner in said east line of Beltwood Parkway;

THENCE North 00 degrees 24 minutes 00 seconds West, a distance of 190.00 feet to the POINT OF BEGINNING

Containing a computed area of 42,160 square feet or 0.9679 acre of land, more or less.

DEDICATION STATEMENT

That SHARON SHELBY ("Owner") does hereby adopt this plat designating the hereinabove property as BEL-AIR GRILL ADDITION REVISED, Texas, and, subject to the conditions, restrictions and reservations stated hereinafter, owner dedicates to the public use forever the streets and alleys shown thereon.

The easements shown on this plat are hereby reserved for the purposes as indicated, including, but not limited to, the installation of water, sanitary sewer, storm sewer, drainage, electric, telephone, gas and cable television. Owner shall have the right to use these easements, provided however, that it does not unreasonably interfere or impede with the provision of the services to others. Said utility easements are hereby being reserved by mutual use and accommodation of all public utilities using or desiring to use the same. An express easement of ingress and egress is hereby expressly granted on, over and across all such easements for the benefit of the provider of services for which easements are granted.

Any drainage and floodway easement shown hereon is hereby dedicated to the public's use forever, but including the following covenants with regard to maintenance responsibilities. The existing channels or creeks traversing the drainage and floodway easement will remain as an open channel, unless required to be enclosed by ordinance at all times and shall be maintained by the individual owners of the lot or lots that are traversed by or adjacent to the drainage and floodway easement. The City will not be responsible for the maintenance and operation of said creeks or creeks or for any damage or injury of private property or person that results from the flow of water along said creek, or for the control of erosion. No obstruction to the natural flow or the water run-off shall be permitted by construction of any type building, fence or any other structure within the drainage and floodway easement. Provided, however, it is understood that in the event it becomes necessary for the City to Channelize or consider erecting any type of drainage structure in order to improve the storm drainage, then in such event, the City shall have the right, but not the obligation, to enter upon the drainage and floodway easement at any point, or points, with all rights of ingress and egress to investigate, survey, erect, construct or maintain any drainage facility deemed necessary by the City for drainage purposes. Each property owner shall keep the natural drainage channels and creeks traversing the drainage and floodway easement adjacent to his property clean and free of debris, silt, growth, vegetation, weeds, rubbish, refuse, matter and any substances which would result in unsanitary conditions or obstruct the flow of water, and the City shall have the right of ingress and egress for the purpose of inspection and supervision and maintenance work by the property owner to alleviate any undesirable conditions which may occur. The natural drainage channels and creeks through the drainage and floodway easement, as in the case of all natural channels, are subject to storm water overflow and natural bank erosion to an extent that cannot be definitely defined. The City shall not be held liable for any damages or injuries of any nature resulting from the occurrence of these natural phenomena, nor resulting from the failure of any structure or structures, within the natural drainage channels and the owners hereby agree to indemnify and hold harmless the City from any such damages and injuries. Building areas outside the drainage and floodway easement line shall be filled to a minimum elevation as shown on the plat. The minimum floor of elevation of each lot shall be shown on the plat.

The maintenance or paving of the utility and fire lane easements is the responsibility of the property owner. All public utilities shall at all times have the full right of ingress and egress to and from and upon the said utility easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, and adding to or removing all or parts of its respective system without the necessity of any time of procuring the permission of anyone. Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and maintenance and service required or ordinarily performed by that utility. Buildings, fences, trees, shrubs or other improvements or growth, may be constructed, reconstructed, or placed upon, over or across the utility easements as shown; provided, however, that owner shall at its sole cost and expense be responsible under any and all circumstances for the maintenance and repair of such improvements or growth, and any public utility shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growth which in any way endanger or interfere with the construction, maintenance or efficiency of its respective system or service.

Water main and sanitary sewer easements shall also include additional area of working space for construction and maintenance of the systems. Additional easement area is also conveyed for installation and maintenance of manholes, cleanouts, fire hydrants, water services and sewer services from the main curb or pavement line, and the descriptions of such additional easements herein granted shall be determined by their locations as installed.

This plat is approved subject to all platting ordinances, rules, regulations, and resolutions of the Town of Addison, Texas.

Sharon Shelby
SHARON SHELBY

Notary Public)
State of Texas)

BEFORE ME, the undersigned, a Notary Public in and for said State on this date personally appeared SHARON SHELBY, known to me personally to be the person whose name is for the foregoing instrument and acknowledged to me that she executed the same for the purpose and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the 19th day of August 1999.

Janette Pluta
Notary Public in and for the State
Texas

FINAL PLAT
**BEL-AIR GRILL ADDITION
REVISED**

AN ADDITION TO THE TOWN OF ADDISON, DALLAS COUNTY, TEXAS
BEING A REPLAT OF BEL-AIR GRILL ADDITION
ACCORDING TO THE PLAT RECORDED IN VOLUME 88067, PAGE 4602
ELISHA FIKE SURVEY, ABSTRACT NO. 478
TOWN OF ADDISON, DALLAS COUNTY, TEXAS
JUNE - 1999

OWNER : SHARON SHELBY
8931 DEVONSHIRE DRIVE
DALLAS, TEXAS 75209
(214)739-1107

PREPARED BY:
JDJR ENGINEERS AND CONSULTANTS
ENGINEERS • LAND PLANNERS • CAD DESIGNS
2505 Texas Drive Suite 100 Irving, Texas 75062
Tel: 972-252-5007 Fax: 972-273-0000

OWNER'S CERTIFICATE

STATE OF TEXAS)
DALLAS COUNTY)
TOWN OF ADDISON)

WHEREAS I, Sharon Shelby, am the owner of a tract of land situated in the Elisha Fike Survey, Abstract No. 478, Town of Addison, Dallas County, Texas by deed recorded in Volume 88008, Page 468 of the Deed Records of Dallas County, Texas, and being all of Bel-Air Grill Addition, an addition to the Town of Addison, Dallas County, Texas according to the plat recorded in Volume 88067, Page 4598 of the Deed Records of Dallas County, Texas and being more particularly described by metes and bounds as follows:

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THENCE North 00 degrees 24 minutes 00 seconds West a distance of 190.00 feet to the POINT OF BEGINNING

Containing a computed area of 2,160 square feet or 0.9679 acre of land, more or less.

DEDICATION STATEMENT

That SHARON SHELBY ("Owner") does hereby adopt this plat designating the hereinabove property as BEL-AIR GRILL ADDITION REVISED, Texas, and, subject to the conditions, restrictions and reservations stated hereinafter, owner dedicates to the public use forever the streets and alleys shown thereon.

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This plat is approved subject to all platting ordinances, rules, regulations, and resolutions of the Town of Addison, Texas.

Sharon Shelby
SHARON SHELBY

Notary Public)
State of Texas)

BEFORE ME, the undersigned, a Notary Public in and for said State on this date personally appeared SHARON SHELBY, known to me personally to be the person whose name is for the foregoing instrument and acknowledged to me that she executed the same for the purpose and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the 16th day of August, 1999.

Janice P. Pluta
Notary Public in and for the State
Texas

FINAL PLAT
BEL-AIR GRILL ADDITION
REVISED

AN ADDITION TO THE TOWN OF ADDISON, DALLAS COUNTY, TEXAS
BEING A REPLAT OF BEL-AIR GRILL ADDITION
ACCORDING TO THE PLAT RECORDED IN VOLUME 88067, PAGE 4602
ELISHA FIKE SURVEY, ABSTRACT NO. 478
TOWN OF ADDISON, DALLAS COUNTY, TEXAS
JUNE - 1999

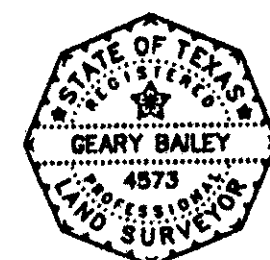
OWNER : SHARON SHELBY
8931 DEVONSHIRE DRIVE
DALLAS, TEXAS 75209
(214)739-1107

PREPARED BY:
JDJR ENGINEERS AND CONSULTANTS
ENGINEERS - LAND PLANNERS - CAD DESIGNS
2808 Texas Drive Suite 100 Irving, Texas 75038
Tel 972-252-5567 Fax 972-273-0800

CERTIFICATE OF APPROVAL
MAYOR, TOWN OF ADDISON _____
CITY SECRETARY _____
VOLUME _____ PAGE _____

SURVEYOR'S CERTIFICATE)

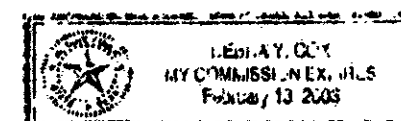
THAT I, GEARY BAILEY, do hereby certify that I prepared this plat from an actual and accurate survey on the ground of property and that all block monuments and corners were placed under my personal supervision.



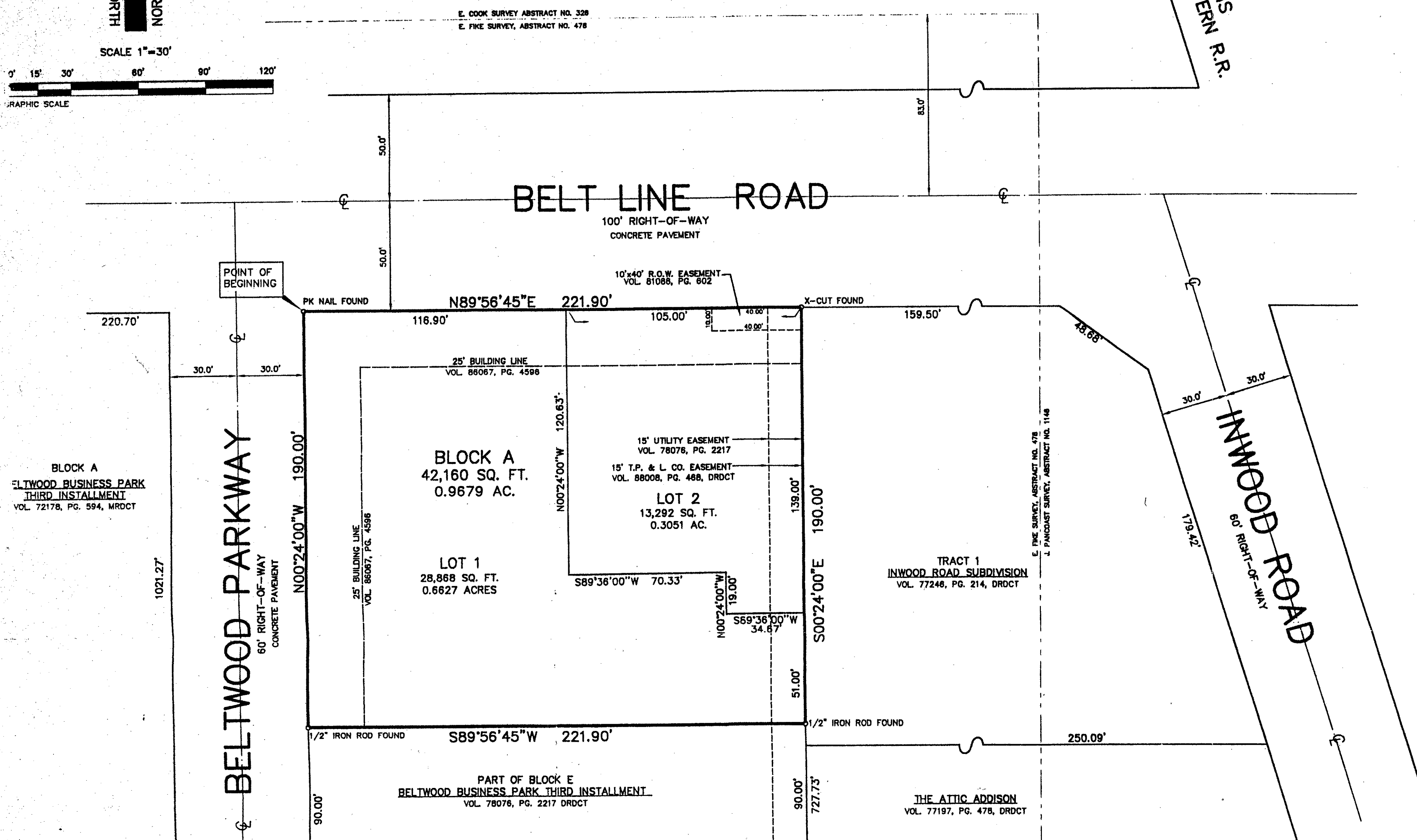
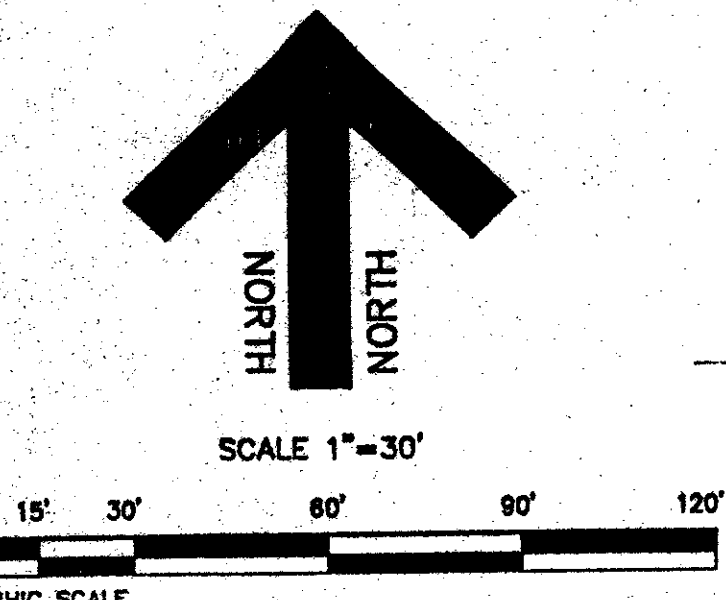
Geary Bailey
GEARY BAILEY
REGISTERED PROFESSIONAL
SURVEYOR NO. 4573

Notary Public)
State of Texas)

BEFORE ME, the undersigned, a Notary Public in and for said State on this date personally appeared GEARY BAILEY, known to me personally to be the person whose name is for the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed.
GIVEN UNDER MY HAND AND SEAL OF OFFICE this 19th day of August, 1999.



Janice P. Pluta
Notary PUBLIC IN AND FOR THE
STATE OF TEXAS



BLOCK A
INWOOD BUSINESS PARK
THIRD INSTALLMENT
VOL. 72178, PG. 594, MRDCT

