GENERAL NOTES

1. THE SCOPE OF WORK TO BE PERFORMED IS AS DESCRIBED IN THESE GENERAL NOTES AND AS SHOWN ON THE ACCOMPANYING DRAWINGS, TO BE FURTHER SUPPLEMENTED BY EXPLANATORY DETAILS AS REQUIRED. THE WORK SHALL INCLUDE ALL LABOR AND MATERIALS REQUIRED TO COMPLETE THE PROJECT AS INDICATED ON THE CONTRACT DOCUMENTS.
2. THE GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY IF HE CANNOT COMPLY WITH ALL NOTES CALLED FOR ON THIS SHEET AND ON ALL OTHER DRAWINGS.
3. ALL DESIGN DRAWINGS AND ALL CONSTRUCTION NOTES ARE COMPLIMENTARY, AND WHAT IS CALLED FOR BY EITHER WILL BE BINDING AS IF CALLED FOR BY ALL. ANY WORK SHOWN, OR REFERRED TO ON ANY ONE SET OF DRAWINGS SHALL BE PROVIDED AS THOUGH SHOWN ON ALL RELATED DRAWINGS.
4. THE CONTRACTOR IS REPONSIBLE FOR THE MEANS, METHODS AND TECHNIQUES OF CONSTRUCTION, SAFETY PRECAUTIONS IN CONNECTION WITH THE WORK AND FOR THE ADDS AND OMISSIONS OF THE SUBCONTRACTORS.
5. CONTRACTOR SHALL REQUIRE THE INSTALLER OF EACH MAJOR UNIT OF WORK TO INSPECT SUBSTRATE TO RECEIVE WORK AND CONDITIONS UNDER WHICH WORK WILL BE PERFORMED, AND TO REPORT IN WRITING TO CONTRACTOR UNSATISFACTORY CONDITIONS. DO NOT PROCEED WITH THE WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED IN A MANNER ACCEPTABLE TO THE INSTALLER.
6. WHERE INSTALLATIONS INCLUDE MANUFACTURED PRODUCTS, COMPLY WITH MANUFACTURER'S APPLICABLE INSTRUCTIONS AND RECOMMENDATIONS FOR INSTALLATION TO THE EXTENT THESE INSTRUCTIONS ARE MORE EXPLICIT OR MORE STRINSENT THAN REQUIREMENTS INDICATED IN THE CONSTRUCTION DOCUMENTS.
7. THE CONSTRUCTION NOTES AND DRAWINGS ARE SUPPLIED TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION DESIRED, AND ARE INTENDED TO IMPLY A PREMIUM QUALITY OF CONSTRUCTION, MATERIAL, AND WORKMANSHIP THROUGHOUT.
8. THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON SITE DURING ALL PHASES OF CONSTRUCTION FOR USE BY ALL TRADES.
9. INSPECT EACH ITEM OF MATERIALS OR EQUIPMENT IMMEDIATELY UPON RECEIVING AND PRIOR TO INSTALLATION. REJECT DAMAGED AND DEFECTIVE ITEMS.
10. THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FOR HIS WORK UNTIL TURNED OVER TO THE CLIENT.
11. THE GENERAL CONTRACTOR SHALL SUBMIT ALL FABRICATION SHOP DRAWINGS AND FIXTURE CUTS TO THE ARCHITECT FOR APPROVAL. ALL SHOP DRAWINGS AND CUTS SIGNED "APPROVED" SHALL SUPERCEDE ORIGINATING DRAWINGS IN DESIGN APPEARANCE ONLY. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ERRORS IN THESE DRAWINGS.
12. THE GENERAL CONTRACTOR, HIS SUB-CONTRACTOR, OR ANY OTHER CONTRACTOR INVOLVED WITH THIS PROJECT SHALL TAKE NOTE THAT ANY COST CAUSED BY DEFECTIVE WORK, AS A RESULT OF, BUT NOT LIMITED TO, INFERIOR WORKMANSHIP OR MATERIALS, IMPROPER SCHEDULING, OR DELINQUENT ORDERING SHALL BE BORNE BY THE PARTY RESPONSIBLE.
13. THE GENERAL CONTRACTOR SHALL FILE DRAWINGS WITH THE DEPARTMENT OF BUILDINGS, PAY FILING FEE DEPOSIT AND OBTAIN APPROVALS, AND BUILDING PERMITS.
14. ALL CONSTRUCTION TO BE AS PER APPLICABLE AND GOVERNING CODES AND AUTHORITIES. THESE DRAWINGS ARE INTENDED TO SHOW THE SAME.
15. ALL PLANS ARE DRAWN TO SCALE AS MUCH AS POSSIBLE, BUT ARE NOT INTENDED TO BE AND SHOULD NOT BE SCALED.
16. CONTRACTOR SHALL FURNISH AND INSTALL ALL REQUIREMENTS FOR LIFE SAFETY.
17. DURING CONSTRUCTION, EACH TRADE SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY THEIR TRADE.
18. INSTALL WORK DURING CONDITIONS OF TEMPERATURE, HUMIDITY, EXPOSURE, AND STATUS OF PROJECT COMPLETION WHICH WILL ENSURE BEST POSSIBLE RESULTS FOR EACH UNIT OF WORK, IN COORDINATION WITH THE ENTIRE SCOPE OF WORK. ISOLATE EACH UNIT OF WORK FROM NON-COMBUSTIBLE WORK, AS REQUIRED TO PREVENT DETERIORATION.
19. REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL PERIMETER WALL DIMENSIONS. CONTRACTOR TO VERIFY ALL DIMENSIONS, CONDITIONS, ETC., PRIOR TO BEGINNING CONSTRUCTION AND NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES. PROCEEDING WITH WORK SHALL CONSTITUTE ACCEPTANCE OF THE CONTRACTOR THAT CONDITIONS ARE CORRECT AND THE CONTRACTOR ASSUMES FULL RESPONSIBILITY.
20. DO NOT CUT AND PATCH WORK WHICH IS EXPOSED IN OCCUPIED SPACES IN A MANNER RESULTING IN A REDUCTION OF VISUAL QUALITIES OR RESULTING IN VISUAL EVIDENCE OF CUT AND PATCH WORK, BOTH TO BE JUDGED SOLELY BY THE ARCHITECT. THE GENERAL CONTRACTOR SHALL REMOVE AND REPLACE WORK JUDGED BY THE ARCHITECT TO BE VISUALLY UNSATISFACTORY OR OTHERWISE OBJECTIONABLE MANNER.
21. "TYPICAL" MEANS TYPICAL FOR ALL SIMILAR CONDITIONS UNLESS NOTED OTHERWISE.
22. "ALIGN," MEANS SIMILAR COMPONENTS OF CONSTRUCTION (E.G., WALLS, JAMBS, ETC.) SHALL ALIGN ACROSS VOIDS OR WITH EXISTING WALL.
23. SUB-CONTRACTORS ARE TO CLEAN ALL AREAS DURING AND AFTER CONSTRUCTION AND MAKE READY FOR OTHER TRADES FOLLOWING. AT FINAL PHASE, LEAVE AREA CLEAN FOR MOVE-IN.
24. ALL WALL ANGLES ARE EITHER 90 OR 45 DEGREES UNLESS NOTED OTHERWISE.
25. CONTRACTOR TO PROVIDE SHOP DRAWINGS ON ALL HANDRAILS, MILLWORK, MARBLE, OR ANY OTHER SPECIALTY ITEMS FOR APPROVAL BY ARCHITECT, UNLESS NOTED OTHERWISE.
26. THESE DESIGN DOCUMENTS ARE INTENDED TO BE A REPRESENTATION OF THE DESIGN INTENT. THEY IN NO WAY REPRESENT A COMPLETE MILLWORK PACKAGE OR DETAILED SHOP DRAWINGS.
27. DO NOT REMOVE ANY TREES WITHOUT NOTICE TO THE ARCHITECT.
28. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL TREES WITHIN THE SCOPE OF WORK AND WILL TAKE MEASURES TO PROTECT TREES IDENTIFIED TO REMAIN WHIGH INCLUDES, BUT IS NOT LIMITED TO FLUORESCENT NETTING AROUND THE DRIPLINE AND METAL ROOT MATS.
29. ALL WORK IS TO BE DONE IN COMPLIANCE WITH ALL APPLICABLE ENERGY CODE REGULATIONS.
30. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR LOCATING EXISTING UTILITY LINES AND COORDINATING THE RELOCATION OF UTILITIES WITH THE ARCHITECT TO FACILITATE THE DESIGN INTENT.
31. THE GENERAL CONTRACTOR SHALL PROVIDE AND DISPOSE OF PROPERLY A TRASH DUMPSTER AND PORT-A-LET FACILITIES.

32. ▬▬▬ INDICATES NEW WALL CONSTRUCTION
33. ——— INDICATES WALLS TO REMAIN
34. - - - - - INDICATES WALLS TO BE REMOVED
35. X/XX INDICATES WALL SECTION
36. X/XX INDICATES BUILDING SECTION
37. X/XX INDICATES ELEVATION
38. X/XX INDICATES DETAIL SECTION
39. -- DOOR MARK
40. — WINDOW MARK
41. HB FROST PROOF HOSE BIB

PROJECT DIRECTORY

ARCHITECT
BERNBAUM MAGADINI ARCHITECTS
4528 McKINNEY AVENUE, SUITE 108
DALLAS, TEXAS 75205
(214) 219-4528 PH
(214) 521-9286 FX
CONTACT:
BOB BORSON
BBORSON@BMARCHITECTS.COM

STRUCTURAL ENGINEERING
TMBP ENGINEERING
2301 NORTH AKARD STREET, SUITE 405
DALLAS, TEXAS 75201
(214) 871-2302 PH
(214) 871-8716 FX
CONTACT:
JERRY BARNETT

MEP ENGINEERING
BASHARKHAH ENGINEERING, INC.
2301 FAIRMOUNT STREET
DALLAS, TEXAS 75201
(214) 720-1005 PH
(214) 720-1006 FX
CONTACT:
TONY BACKMAN - ELEC.
LACY LANE - M&P

CIVIL ENGINEERING
WINKELMANN AND ASSOCIATES, INC.
6750 HILLCREST PLAZA DRIVE, SUITE 100
DALLAS, TEXAS 75230
(972) 490-7090 PH
(972) 490-7099 FX
CONTACT:
MATT CLARK

OWNER
ALBERT - ADDISON
6750 HILLCREST PLAZA DRIVE, SUITE 300
DALLAS, TEXAS 75230
(972) 239-5800 PH
(972) 239-5840 FX
CONTACT:
MARK ALBERT

LANDSCAPE ARCHITECT
SMR LANDSCAPE ARCHITECTURE
1708 N. GRIFFIN STREET
DALLAS, TEXAS 75202
(214) 871-0023 PH
(214) 871-0545 FX
CONTACT:
BRIAN ADAMS

ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC R.O.W. AND ADJACENT PROPERTY WITH MATERIALS APPROVED BY THE BUILDING OFFICIAL.

SPECIAL INSPECTOR REQUIRED FOR ALL STRUCTURAL ELEMENTS. THE ENGINEER SHALL SUBMIT A LETTER STATING THE STRUCTURE WAS CONSTRUCTED PER THE 2000 IBC AND IS SAFE FOR OCCUPANCY.

UPON COMPLETION OF THE PROJECT THE ARCHITECT SHALL SUBMIT A LETTER STATING THAT THE BUILDING AND SITE MEET THE ACCESSIBILITY REQUIREMENTS OF THE 2000 IBC.

PROJECT / SITE DATA

LEGAL DESCRIPTION:
OWNER'S CERTIFICATE

STATE OF TEXAS
COUNTY OF DALLAS

WHEREAS, ALBERT-ADDISON, L.P. is the owner of a tract of land situated in the G. W. Fisher Survey Abstract No. 482, Dallas County, Texas and being all of a tract of land described in a deed to ALBERT-ADDISON, L.P. as recorded in Volume 87002, Page 3045 of the Deed Records of Dallas County, Texas.

CONTAINING 0.906 acres or 39,477 square feet of land more or less.

Plans and specifications for new construction or for the renovation, modification, or alteration of a building or facility that has an estimated construction cost of $50,000 or more may be subject to the provisions of the Texas Accessibility Standards Architectural Barriers Act Article 9102. Plans and specifications should be submitted to the Texas Department of Licensing and Regulation for review and approval.

TABLE contact number is 512.463.3211

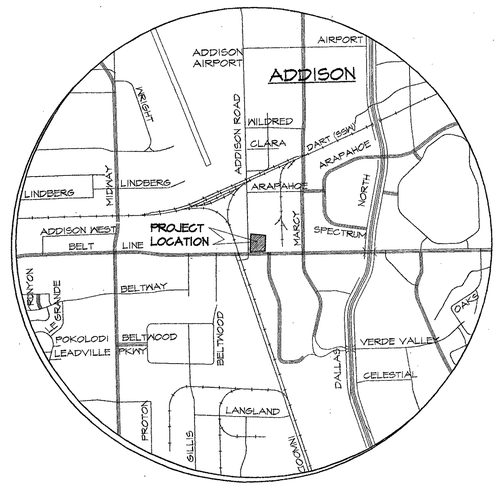
EXISTING RETAIL	2800 SF
RENOVATED RESTAURANT	3500 SF
TOTAL SF	6300 SF
REQUIRED PARKING - RETAIL	1/200 SF = 14 SPACES
REQUIRED PARKING - RESTAURANT	1/100 SF = 36 SPACES
REQUIRED TOTAL	50 SPACES
ACTUAL PARKING PROVIDED	71 SPACES
HANDICAPPED PARKING	4 SPACES

THE RESTAURANT IS AN INTERIOR REDEVELOPMENT, AS A RESULT, THE 1/100 SF REQUIREMENT IS CONTINUED FROM PRE-EXISTING CODE REGULATIONS.

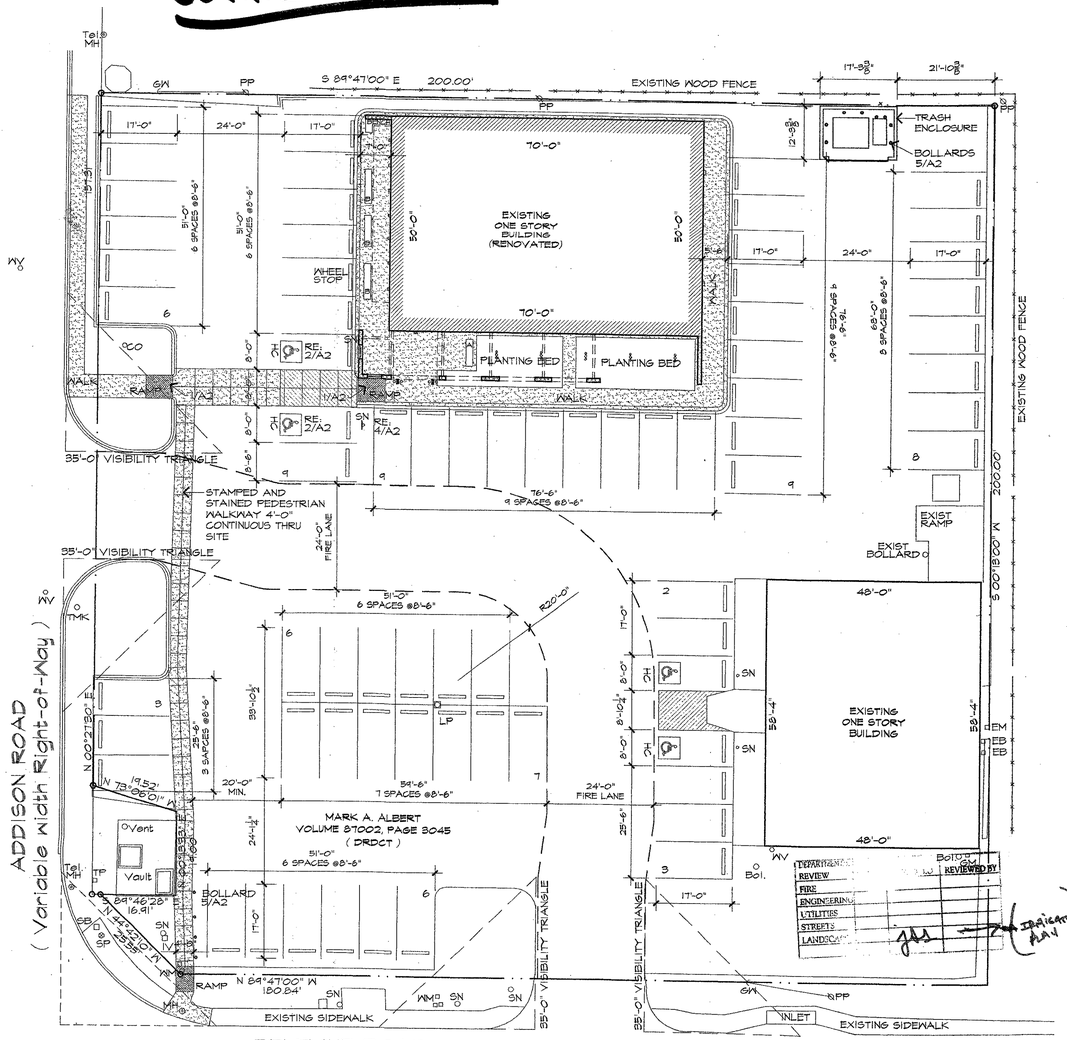
NOTE: LEGAL DESCRIPTION IS TAKEN FROM A SITE SURVEY PREPARED BY WINKELMANN & ASSOCIATES, INC., 6750 HILLCREST PLAZA DRIVE, SUITE 100, DALLAS, TEXAS 75230. SURVEY DATED 11/18/03

CURRENT ZONING - LR - LOCAL RETAIL

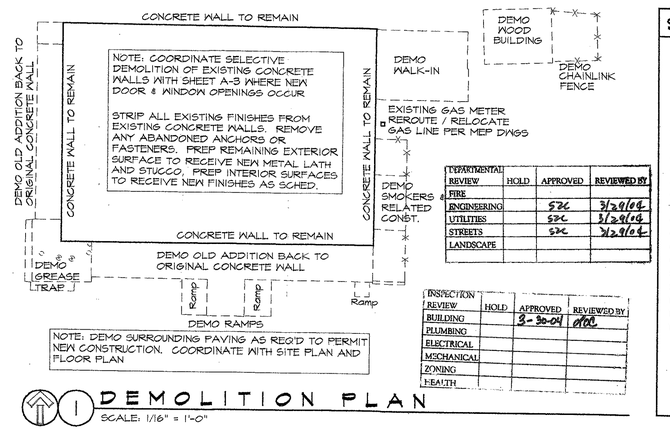
BUILDING CODE:	2000 INTERNATIONAL BUILDING CODE
ELECTRICAL CODE:	2002 NATIONAL ELECTRICAL CODE
FIRE CODE:	2000 INTERNATIONAL FIRE CODE
PLUMBING CODE:	2000 INTERNATIONAL PLUMBING CODE
ENERGY CODE:	2000 INTERNATIONAL ENERGY CONSERVATION CODE
MECHANICAL CODE:	2000 INTERNATIONAL MECHANICAL CODE
HANDICAP:	TEXAS ARCHITECTURAL BARRIERS



LOCATION MAP
NOT TO SCALE



1 SITE PLAN - PARKING LAYOUT
SCALE: 1/16" = 1'-0"



DEPARTMENTAL REVIEW	HOLD	APPROVED	REVIEWED BY
FIRE			
ENGINEERING		5-26	3/29/04
UTILITIES		5-26	3/29/04
STREETS		5-26	3/29/04
LANDSCAPE			

INSPECTION REVIEW	HOLD	APPROVED	REVIEWED BY
BUILDING		3-30-04	DTD
PLUMBING			
ELECTRICAL			
MECHANICAL			
ZONING			
HEALTH			

1 DEMOLITION PLAN
SCALE: 1/16" = 1'-0"

SHEET INDEX

PERMIT APPROVED
4801 BELTLINE ROAD
ADDISON, TEXAS
Signed [illegible] Date 3/30/04
TITLE
TOWN OF ADDISON
PUBLIC WORKS DEPARTMENT

B22-11
PEI WEI

REGISTERED ARCHITECT
BRUCE ALAN BERNBAUM
10820
STATE OF TEXAS
MARCH 08, 2004

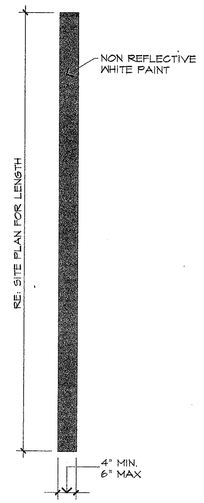
(Indicated N/A)

BERNBAUM ARCHITECTS MAGADINI
4528 McKinney Avenue
#105, Dallas, TX 75205
Telephone 214.219.4528
Fax 214.521.3286

REVISION	
JOB NUMBER	0319
DATE	03.08.04
SHEET NUMBER	A1

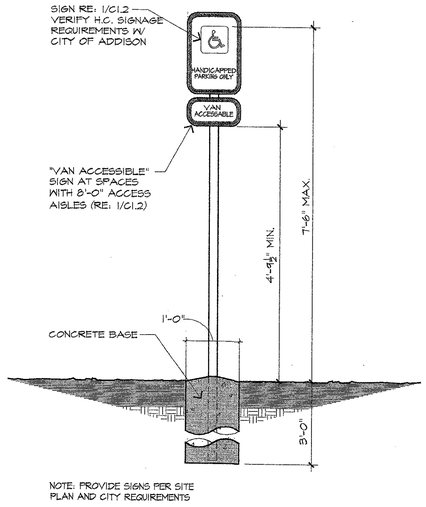
1 OF 22

B22-11



3 TYPICAL PAVEMENT MARKING

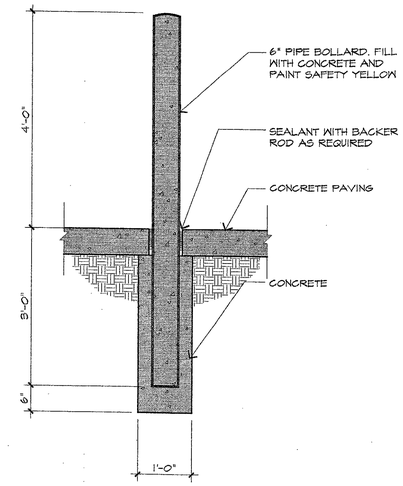
SCALE: 3/4" = 1'-0"



NOTE: PROVIDE SIGNS PER SITE PLAN AND CITY REQUIREMENTS

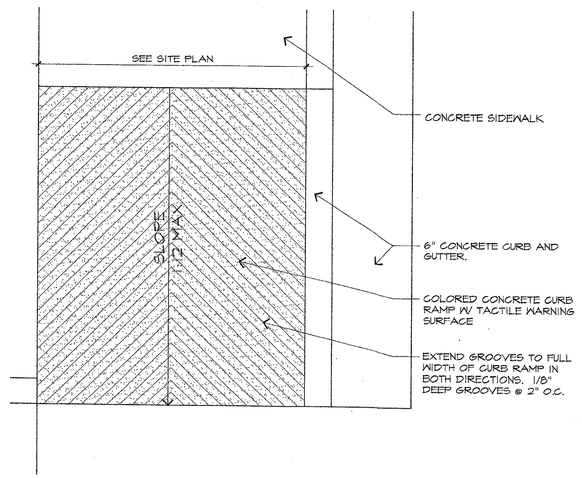
4 HANDICAP POLE SIGN

SCALE: 3/4" = 1'-0"



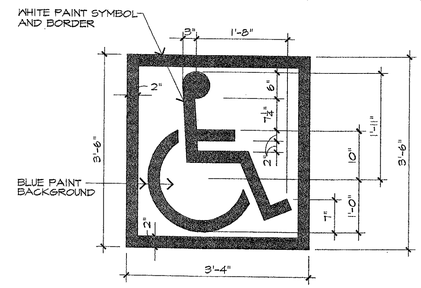
5 BOLLARD

SCALE: 3/4" = 1'-0"



1 HANDICAP CURB RAMP

SCALE: 3/4" = 1'-0"



NOTE: SYMBOL TO BE CENTERED ON WIDTH OF PARKING SPACE AND @ DRIVE EDGE OF SPACE. SYMBOLS ARE REQUIRED TO CONTRAST WITH BACKGROUND. COLORS TO BE WHITE ON BLUE (COLOR No. 15090 IN FEDERAL STD. 595B) UNLESS OTHERWISE REQUIRED BY CITY STANDARDS DOUBLE COAT (TYP.)

2 HANDICAP PARKING LOGO

SCALE: 3/4" = 1'-0"

PEI WEI
4801 BELTLINE ROAD
ADDISON, TEXAS

REGISTERED ARCHITECT
PAUL M. BERNBAUM
10820
STATE OF TEXAS

MARCH 08, 2004

BERNBAUM MAGADINI

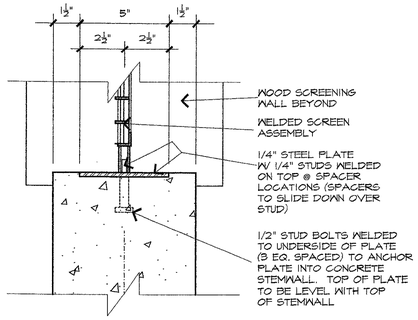
4028 McKinney Avenue
#105, Dallas, TX 75205
Telephone 214.219.4528
Fax 214.521.3286

REVISION

JOB NUMBER
03109

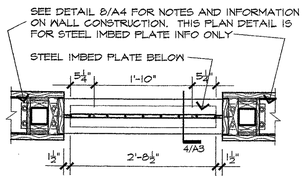
DATE
03.08.04

SHEET NUMBER
~~A2~~
2 OF 22



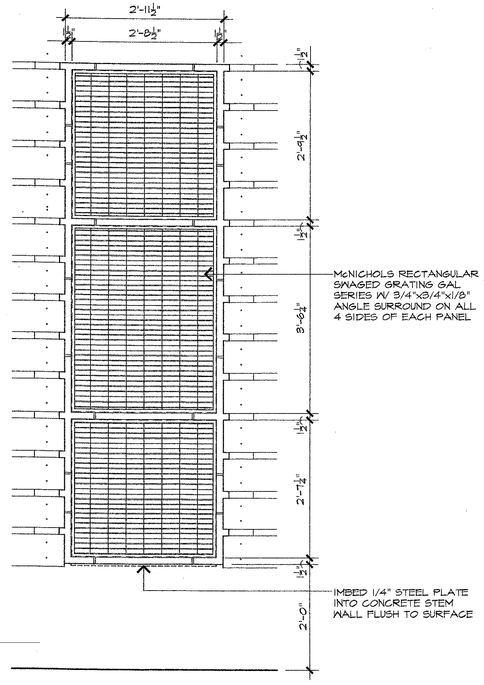
4 DETAIL @ SCREEN SILL

SCALE: 3/4" = 1'-0"



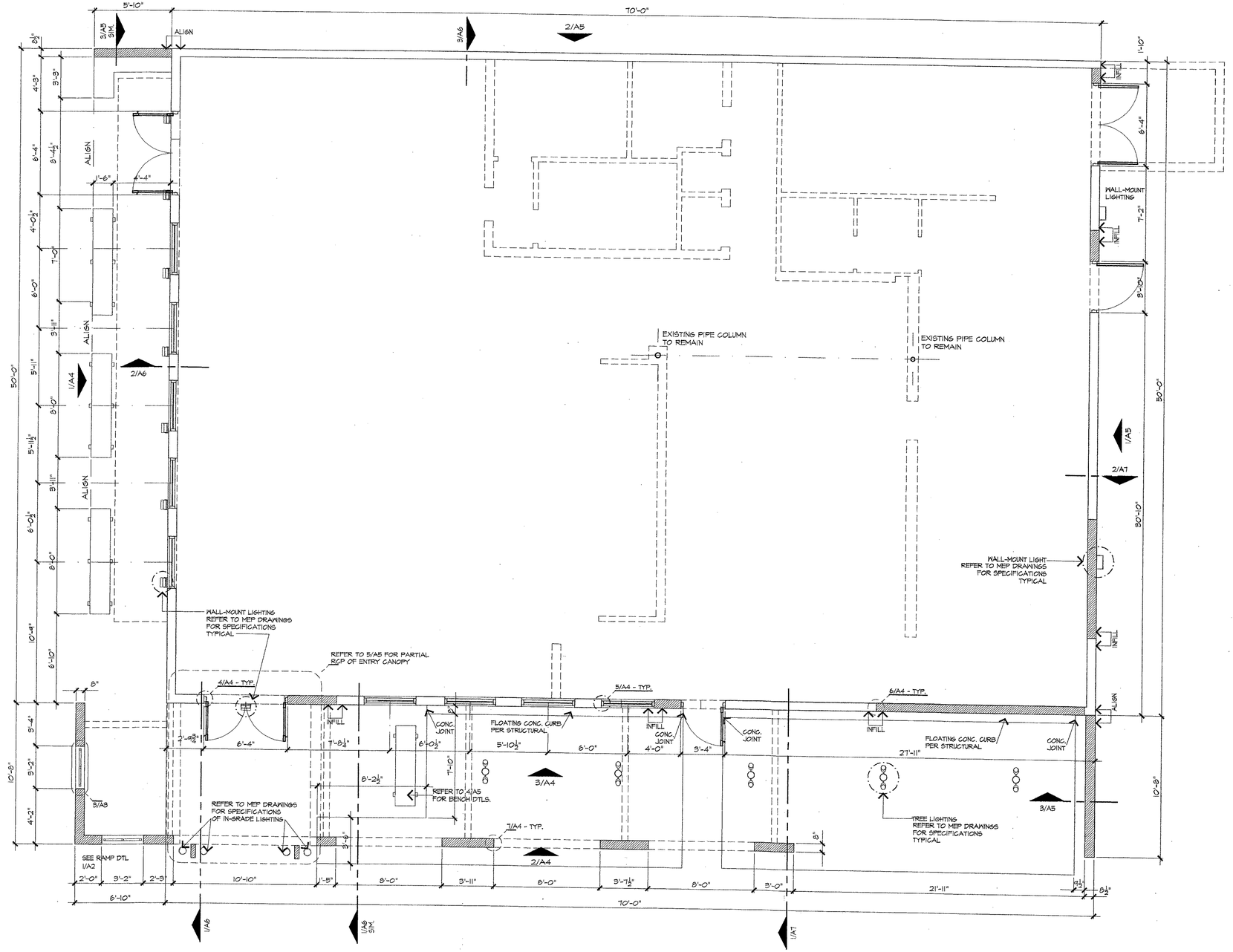
3 SCREEN PLAN

SCALE: 3/4" = 1'-0"



2 SCREEN ELEVATION

SCALE: 3/4" = 1'-0"



1 FLOOR PLAN

SCALE: 1/4" = 1'-0"

PEI WEI
4801 BELTLINE ROAD
ADDISON, TEXAS

REGISTERED ARCHITECT
BRUCE ALAN BERNBAUM
10820
STATE OF TEXAS
MARCH 08, 2004

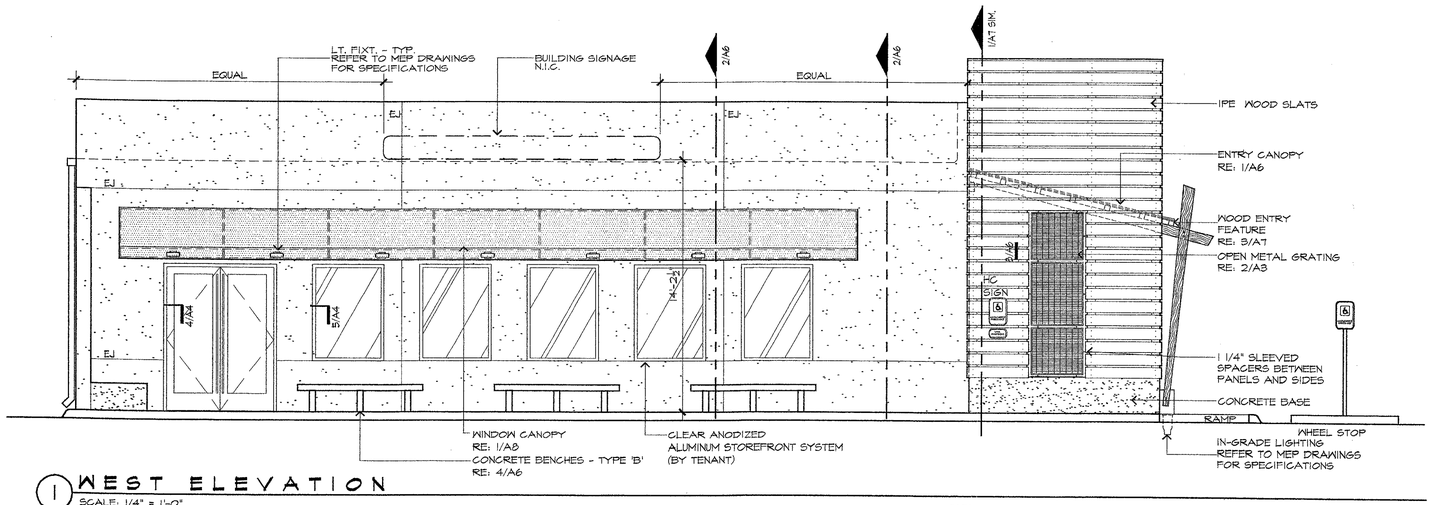
BERNBAUM ARCHITECTS MAGADINI
4528 McKinney Avenue
#103, Dallas, TX 75205
Telephone 214.219.4528
Fax 214.521.3086

REVISION

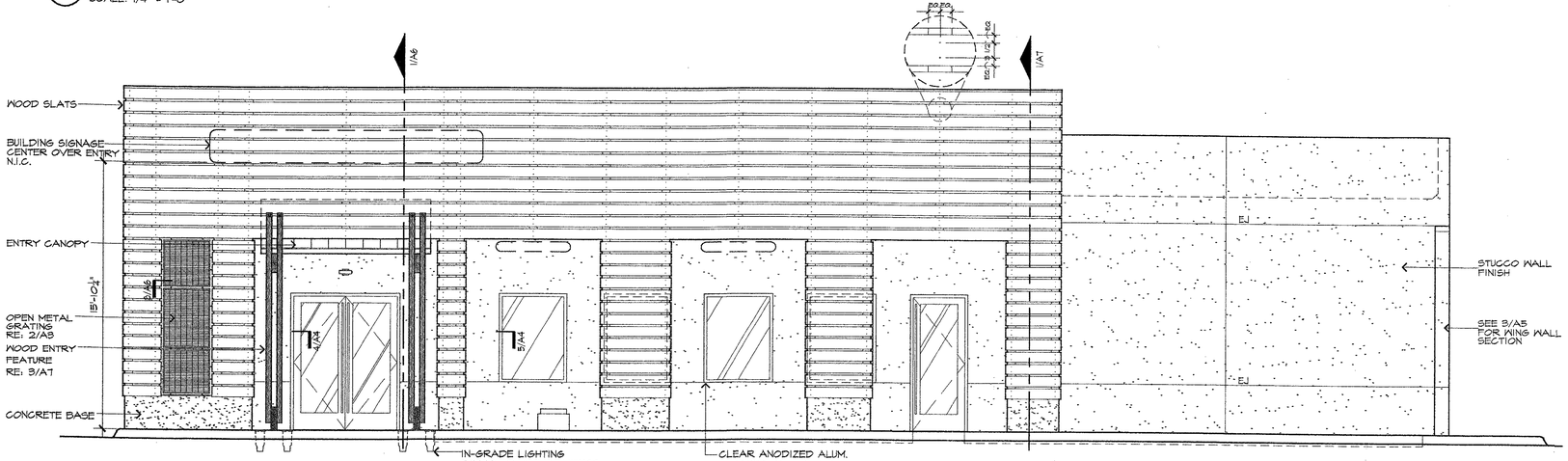
JOB NUMBER
03109

DATE
03.08.04

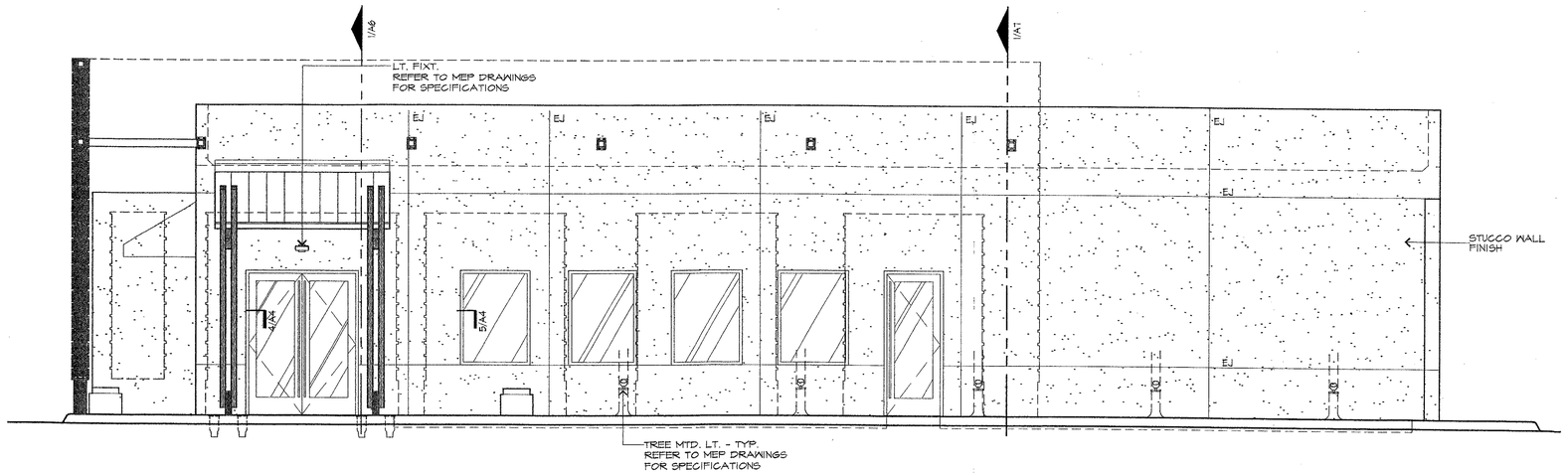
SHEET NUMBER
A3



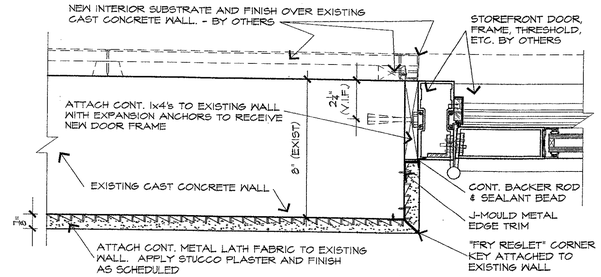
1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



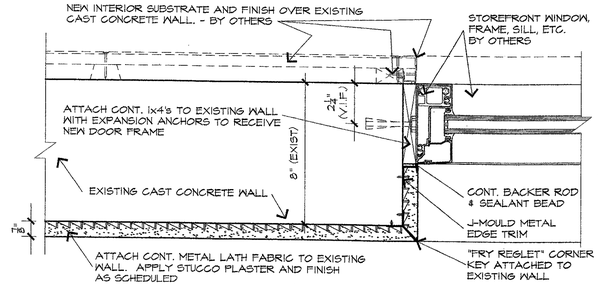
2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



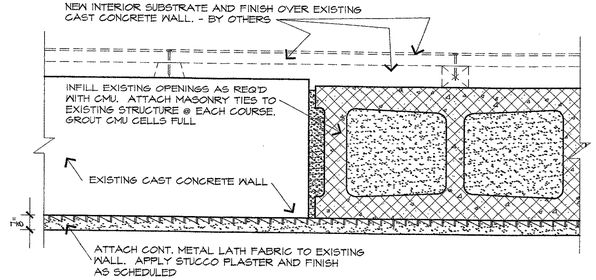
3 SOUTH ELEVATION BEYOND SCREENING WALL
SCALE: 1/4" = 1'-0"



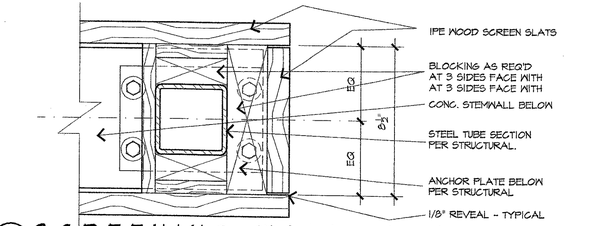
4 TYPICAL DOOR JAMB
SCALE: 3" = 1'-0"



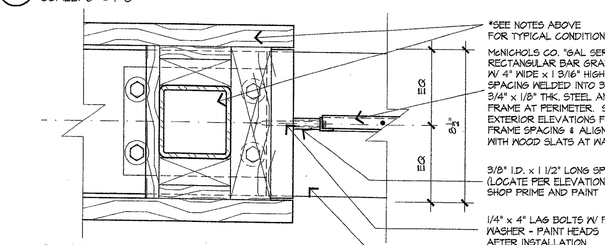
5 TYPICAL WINDOW JAMB
SCALE: 3" = 1'-0"



6 WALL INFILL DETAIL
SCALE: 3" = 1'-0"



7 SCREENING WALL DETAIL
SCALE: 3" = 1'-0"



8 STEEL FRAME @ SCREENING WALL
SCALE: 3" = 1'-0"

RE | WE
4801 BELTLINE ROAD
ADDISON, TEXAS

REGISTERED ARCHITECT
BRUCE ALAN BERNBAUM
10820
STATE OF TEXAS
MARCH 08, 2004

BERNBAUM
MAGADINI

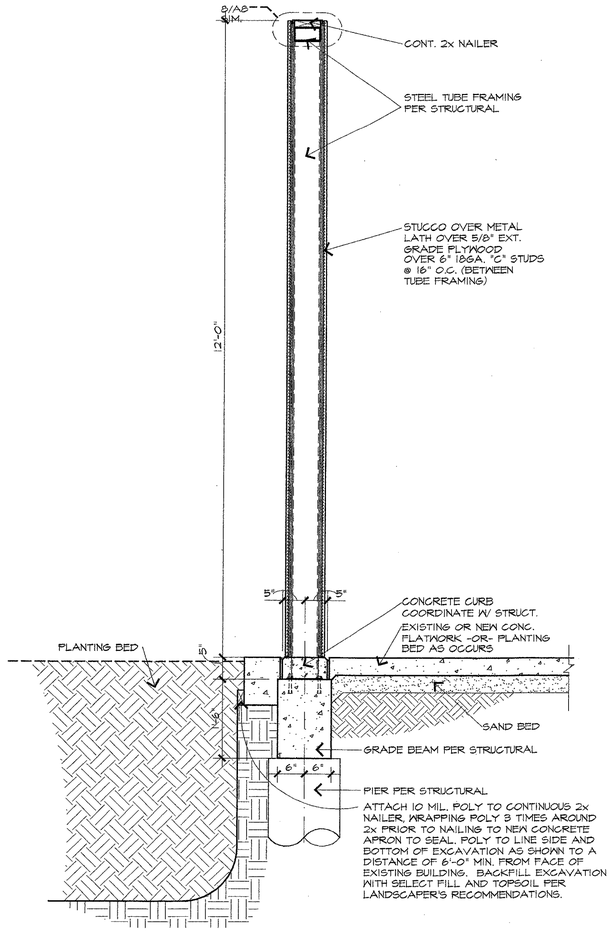
4528 McKinney Avenue
#103, Dallas, TX 75205
Telephone 214.219.4528
Fax 214.521.3586

REVISION

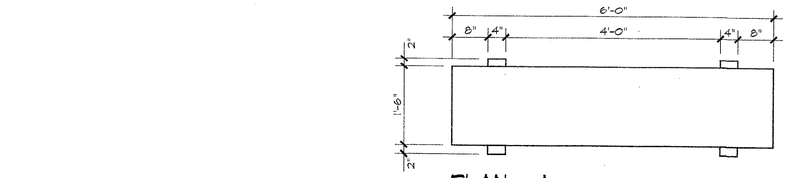
JOB NUMBER
03109

DATE
03.08.04

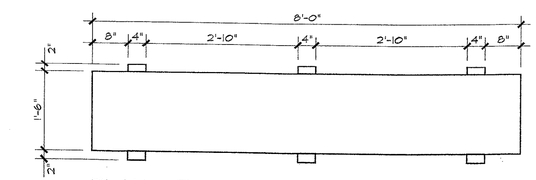
SHEET NUMBER
A4



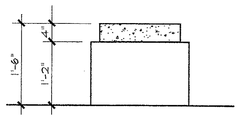
3 WALL SECTION
SCALE: 3/4" = 1'-0"



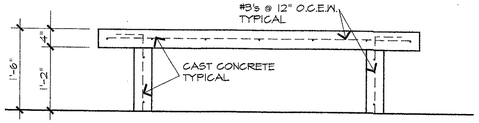
PLAN - A



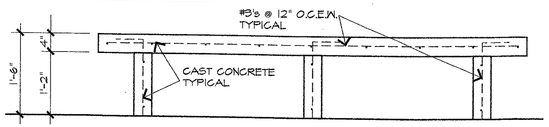
PLAN - B



SECTION / END ELEV.

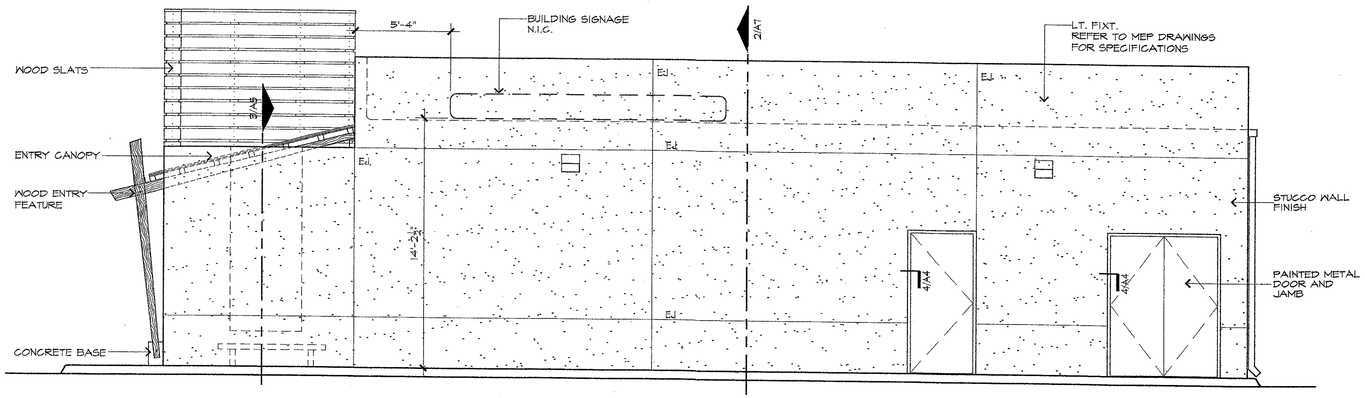


FRONT ELEVATION - A

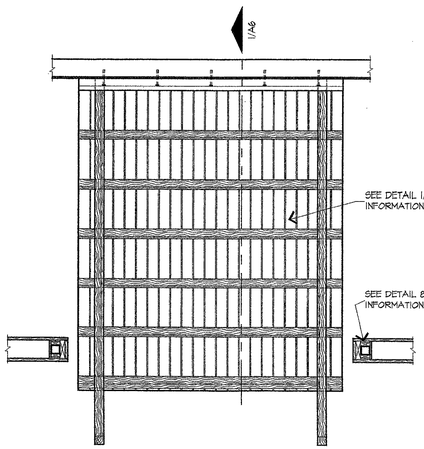


FRONT ELEVATION - B

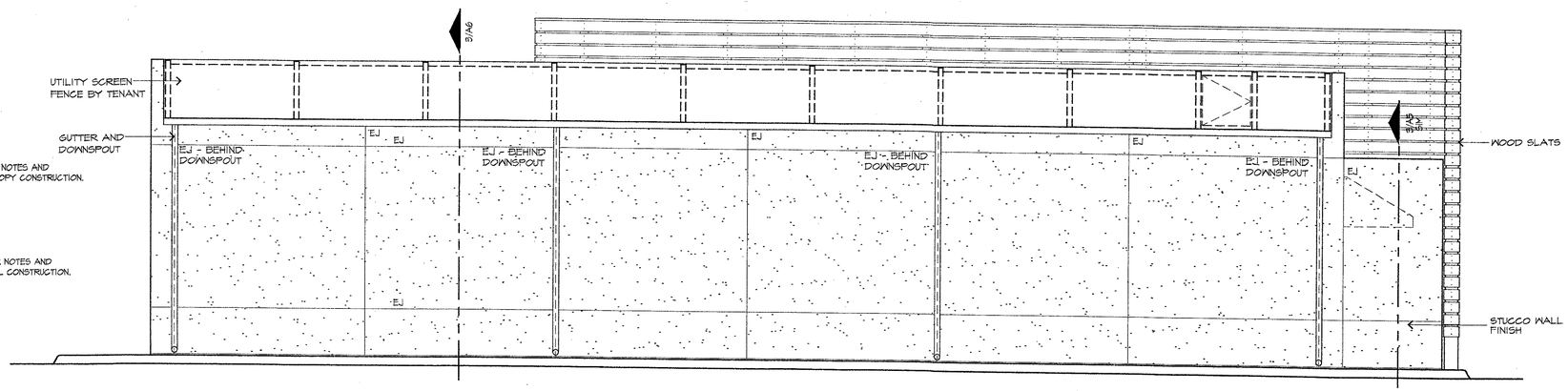
4 CAST CONCRETE BENCH DETAILS
SCALE: 3/4" = 1'-0"



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



5 RCP @ ENTRY CANOPY
SCALE: 3/8" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

PEI WEI
4801 BELTLINE ROAD
ADDISON TEXAS

REGISTERED ARCHITECT
ISSUE FOR PERMIT
10830
STATE OF TEXAS
MARCH 08, 2004

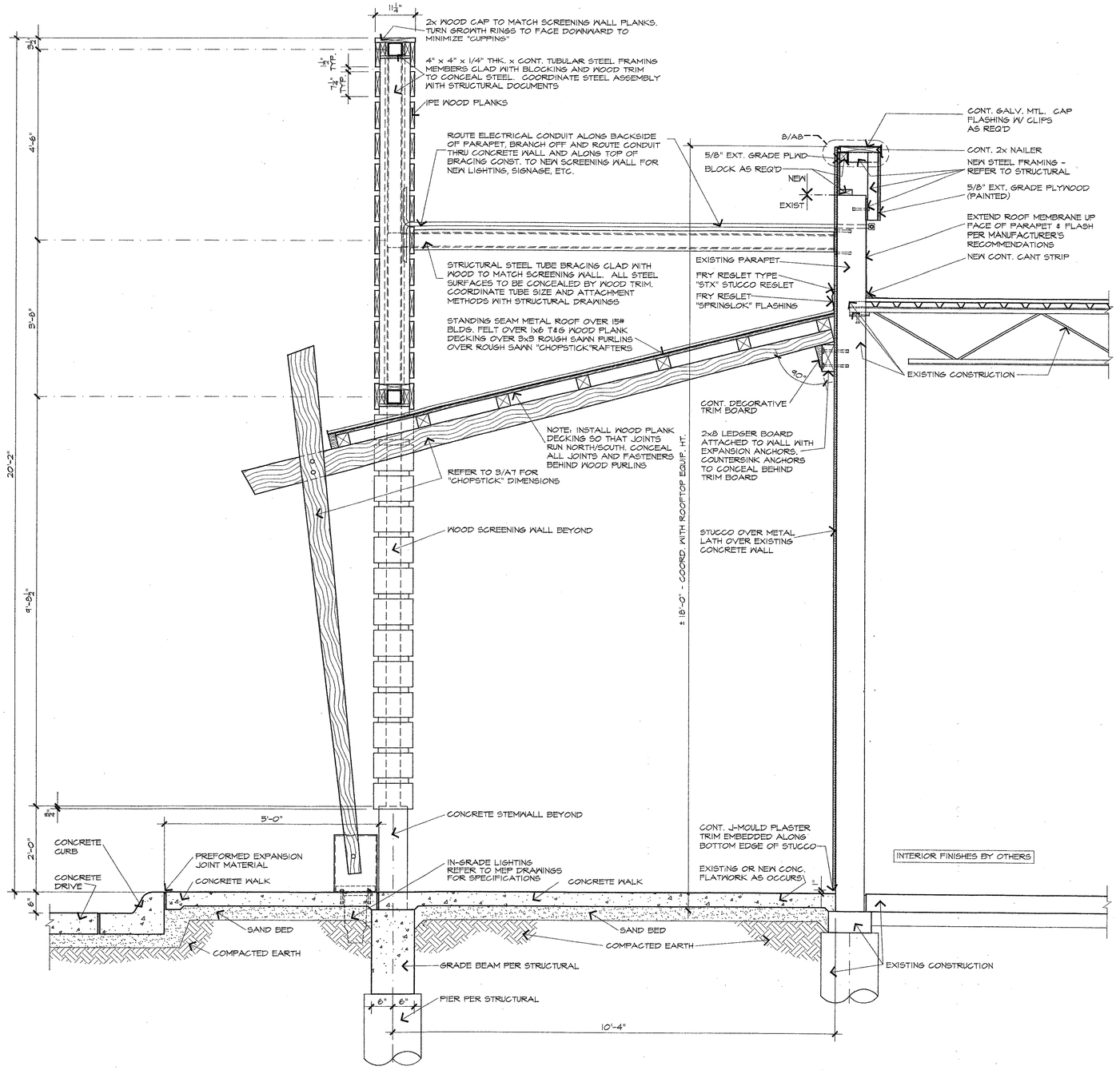
BERNBAUM ARCHITECTS MAGADINI
4928 McKinney Avenue
#103, Dallas, TX 75205
Telephone 214.219.4528
Fax 214.521.3286

REVISION

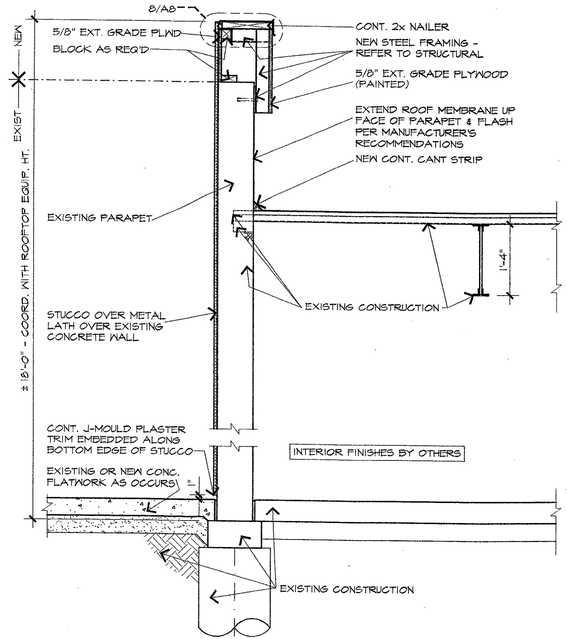
JOB NUMBER
03109

DATE
03.08.04

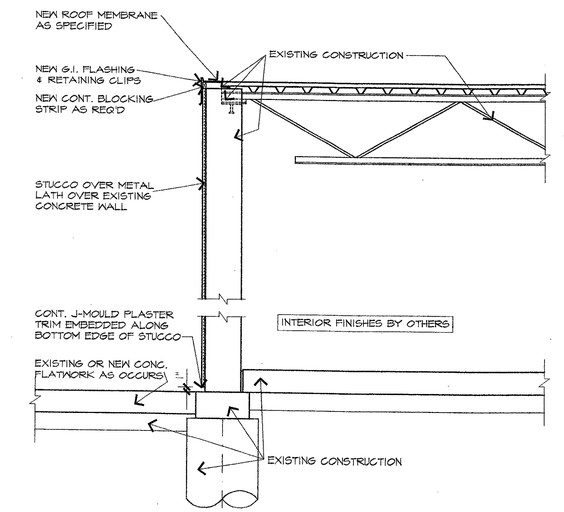
SHEET NUMBER
A5



1 WALL SECTION
SCALE: 3/4" = 1'-0"



2 WALL SECTION
SCALE: 3/4" = 1'-0"



3 WALL SECTION
SCALE: 3/4" = 1'-0"

P E I W E I
4801 BELTLINE ROAD
ADDISON, TEXAS

REGISTERED ARCHITECT
PEIWEI, ALAN BERNBAUM
10820
STATE OF TEXAS
MARCH 08, 2004

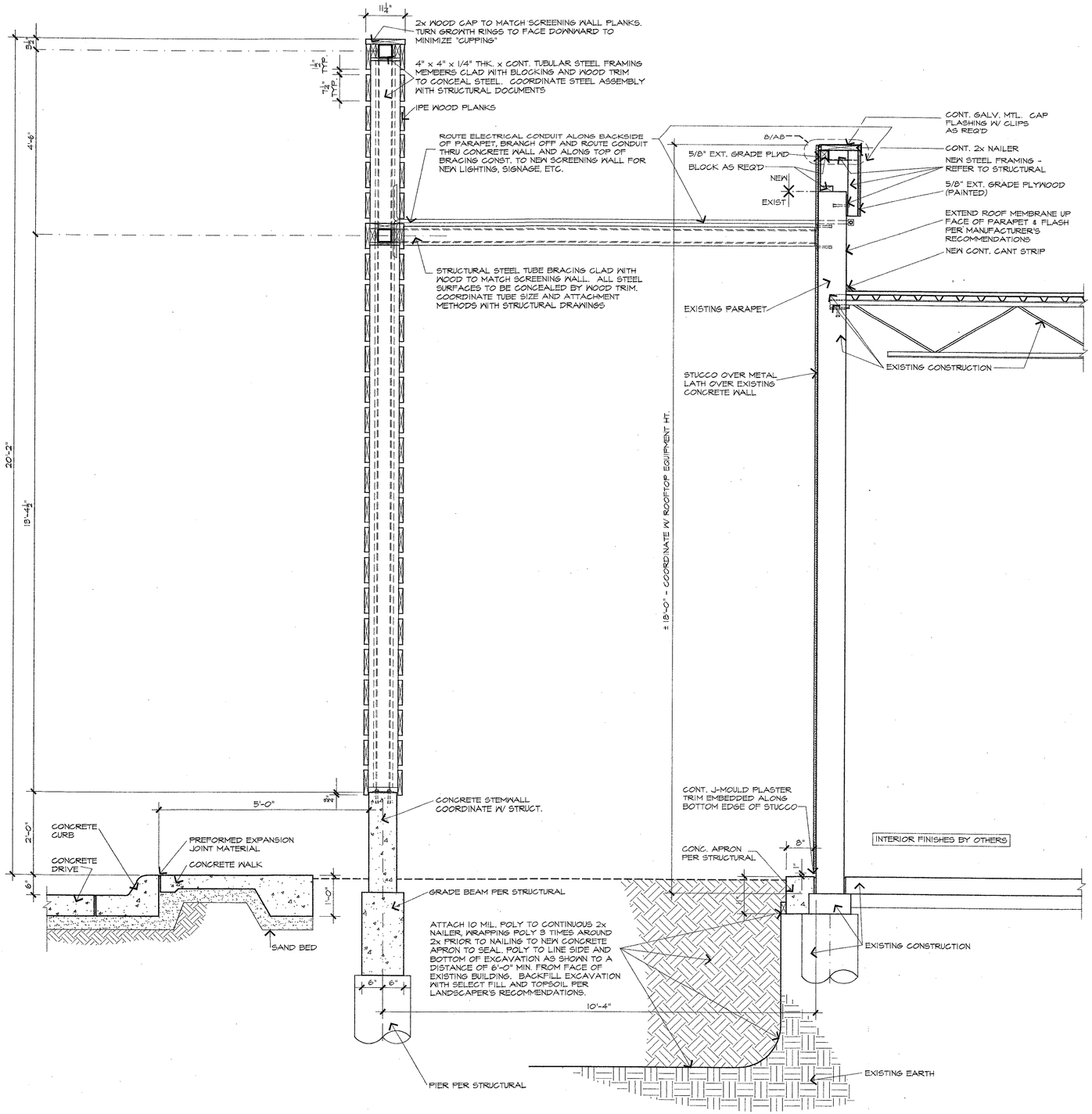
BERNBAUM MAGADINI
4528 McKinney Avenue
#103, Dallas, TX 75205
Telephone 214.219.4528
Fax 214.521.3286

REVISION

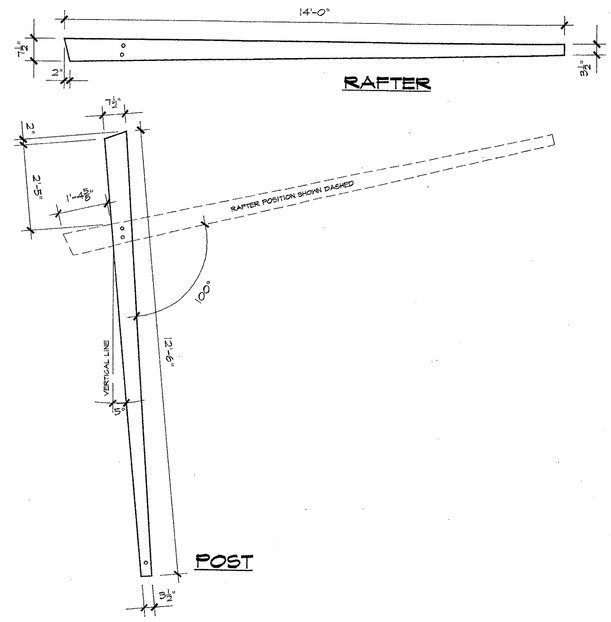
JOB NUMBER
03109

DATE
03.08.04

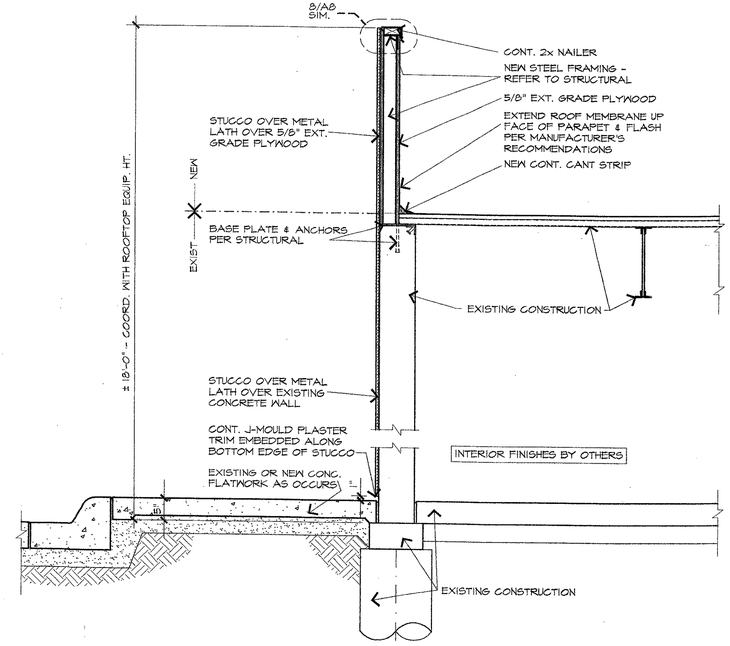
SHEET NUMBER
A6



1 WALL SECTION
SCALE: 3/4" = 1'-0"



3 "CHOPSTICK" DIMENSIONS
SCALE: 1/2" = 1'-0"



2 WALL SECTION
SCALE: 3/4" = 1'-0"

PEI WEI
4801 BELTLINE ROAD
ADDISON, TEXAS

REGISTERED ARCHITECT
MARK ALAN BERNBAUM
10820
STATE OF TEXAS
MARCH 08, 2004

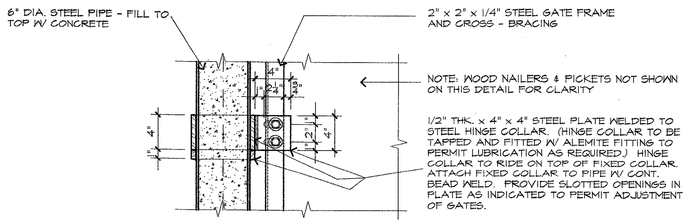
BERNBAUM MAGADINI
4528 McKinney Avenue
#103, Dallas, TX 75205
Telephone 214.219.4528
Fax 214.521.3286

REVISION

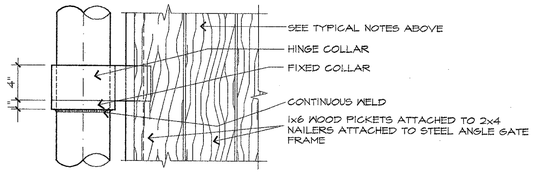
JOB NUMBER
03109

DATE
03.08.04

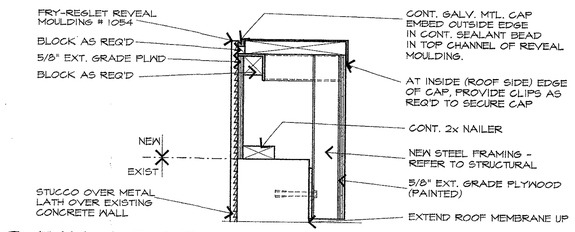
SHEET NUMBER
A7



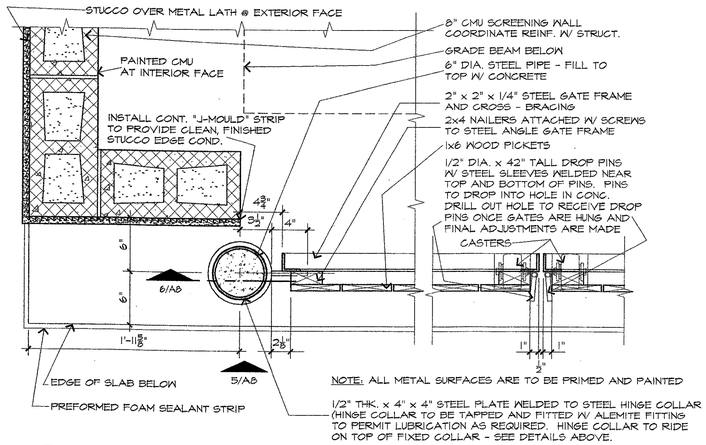
6 HINGE SECTION
SCALE: 1 1/2" = 1'-0"



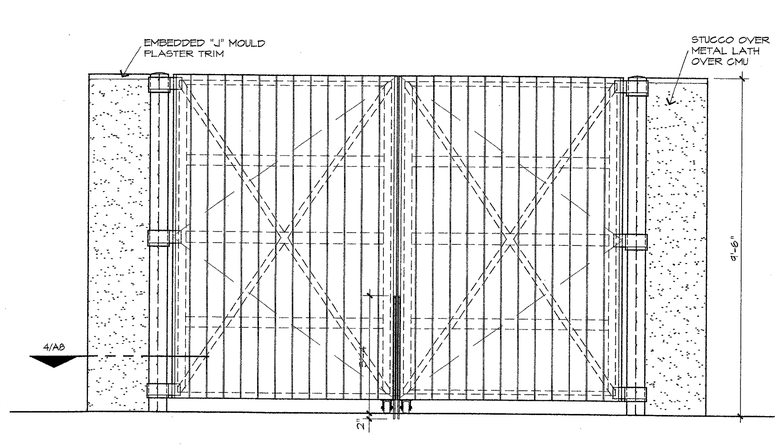
5 HINGE ELEVATION
SCALE: 1 1/2" = 1'-0"



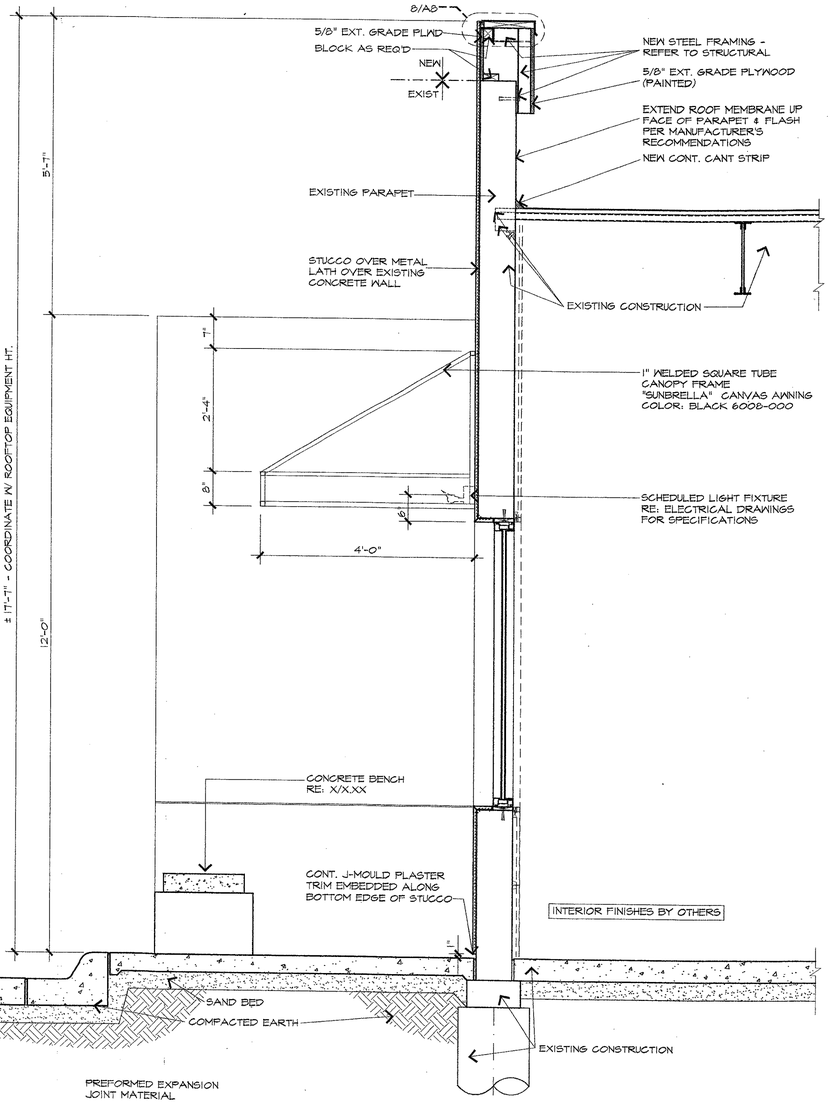
8 ENLARGED TYP. COPING DETAIL
SCALE: 3/4" = 1'-0"



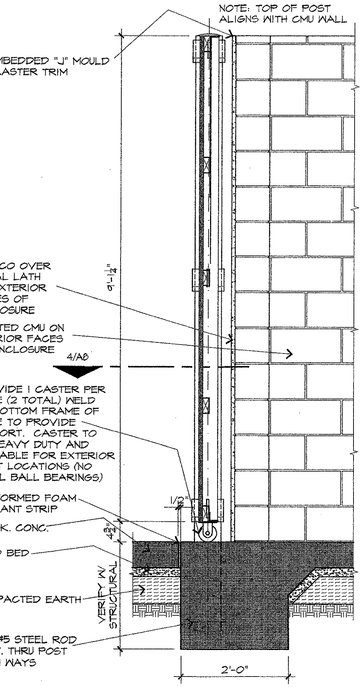
4 GATE PLAN DETAIL
SCALE: 1/2" = 1'-0"



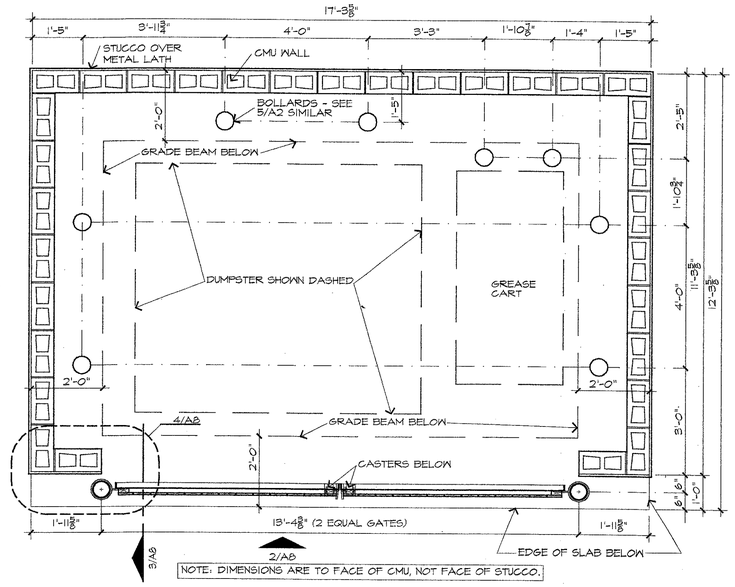
2 DUMPSTER ELEVATION
SCALE: 1/2" = 1'-0"



1 WALL SECTION @ FABRIC CANOPY
SCALE: 3/4" = 1'-0"



3 SECTION THRU GATE
SCALE: 3/4" = 1'-0"



7 DUMPSTER ENCLOSURE PLAN
SCALE: 1/2" = 1'-0"

PEI WEI
4801 BELTLINE ROAD
ADDISON, TEXAS

REGISTERED ARCHITECT
BRUCE ALAN BERNBAUM
10820
STATE OF TEXAS
MARCH 08, 2004

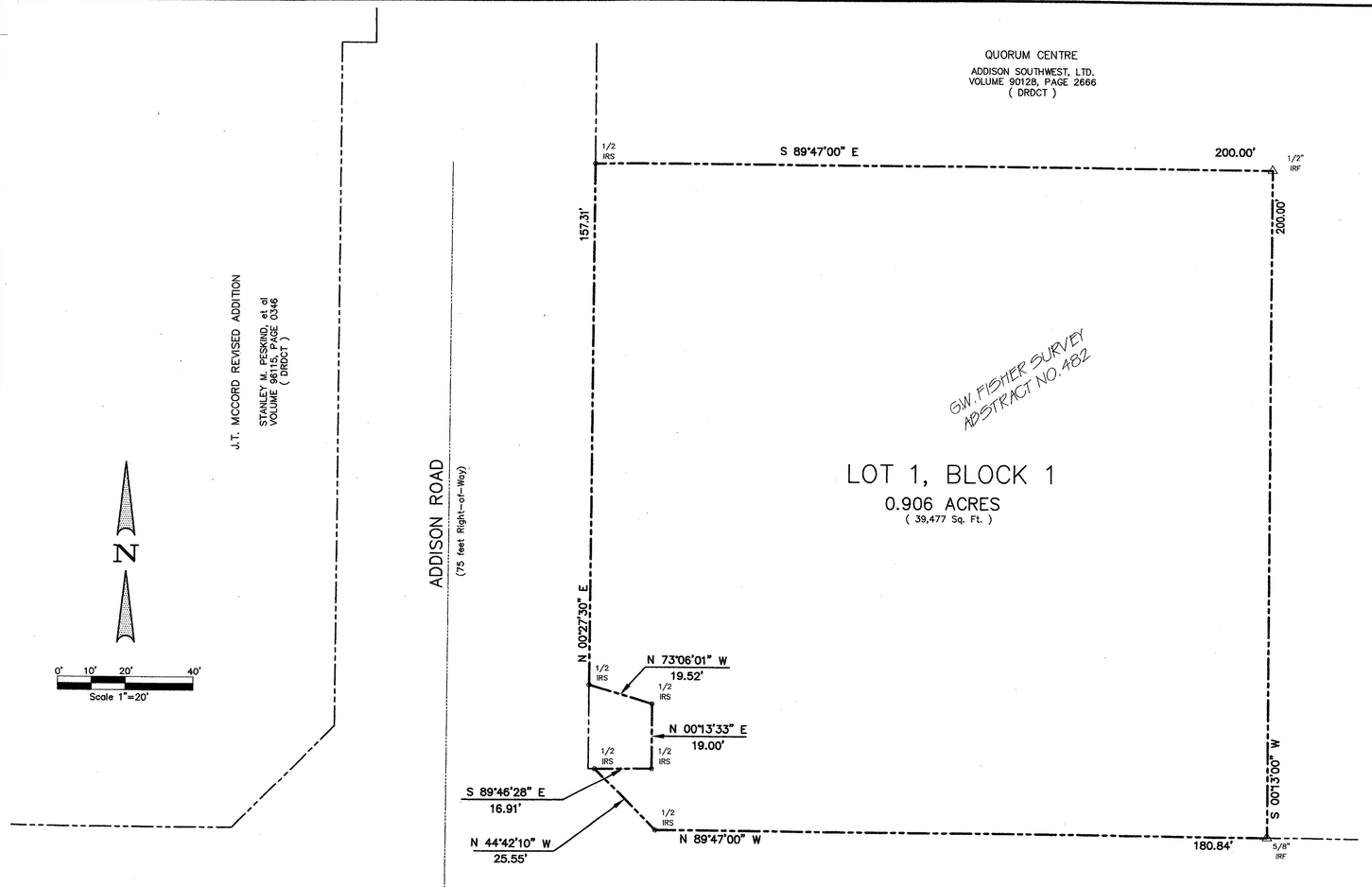
BERNBAUM MAGADINI ARCHITECTURE
4528 McKinney Avenue
#103, Dallas, TX 75205
Telephone 214.219.4528
Fax 214.521.3286

REVISION

JOB NUMBER
03109

DATE
03.08.04

SHEET NUMBER
A8



RECOMMENDED FOR APPROVAL

_____
MAYOR

_____
CITY SECRETARY

OWNER'S CERTIFICATE

STATE OF TEXAS
COUNTY OF DALLAS

WHEREAS, ALBERT–ADDISON, L.P. is the owner of a tract of land situated in the G. W. Fisher Survey Abstract No. 482, Dallas County, Texas and being all of a tract of land described in a deed to Mark A. Albert, Trustee as recorded in Volume 87002, Page 3045 of the Deed Records of Dallas County, Texas and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod set with red plastic cap stamped "W.A.I" at the southerly corner of a corner cut–off line located at the intersection of the northerly right of way line of Beltline Road (110 feet right of way) with the easterly right of way line of Addison Road (75 feet right of way);

THENCE along the easterly right of way line of said Addison Road and said corner cut–off line North 44 degrees 42 minutes 10 seconds West a distance of 25.55 feet to a 1/2 inch iron rod set with red plastic cap stamped "W.A.I" for corner;

THENCE South 89 degrees 46 minutes 28 seconds East a distance of 16.91 feet to a 1/2 inch iron rod set with red plastic cap stamped "W.A.I." for corner;

THENCE North 00 degrees 13 minutes 33 seconds East a distance of 19.00 feet to a 1/2 inch iron rod set with red plastic cap stamped "W.A.I." for corner;

THENCE North 73 degrees 06 minutes 01 seconds West a distance of 19.52 feet to a 1/2 inch iron rod set with red plastic cap stamped "W.A.I." for corner in the easterly right of way line of said Addison Road;

THENCE along the easterly right of way line of said Addison Road North 00 degrees 27 minutes 30 seconds East a distance of 157.31 feet to a 1/2 inch iron rod set with red plastic cap stamped "W.A.I." for corner, said iron rod being the most westerly southwest corner of Quorum Centre an addition to the Town of Addison;

THENCE along the southerly line of said Quorum Centre South 89 degrees 47 minutes 00 seconds East a distance of 200.00 feet to a 1/2 inch iron rod found for corner;

THENCE along the westerly line of said Quorum Centre South 00 degrees 13 minutes 00 seconds West a distance of 200.00 feet to a 5/8 inch iron rod found in the northerly right of way line of said Beltline Road;

THENCE along the northerly right of way line of said Beltline Road North 89 degrees 47 minutes 00 seconds West a distance of 180.84 feet to the POINT OF BEGINNING;

CONTAINING within these metes and bounds 0.906 acres or 39,477 square feet of land more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That ALBERT–ADDISON, L.P. ("Owner") does hereby adopt this plat designating the hereinabove property as LOT 1, BLOCK 1 OF ALBERT–ADDISON ADDITION an addition to the Town of Addison, Texas, and, subject to the conditions, restrictions and reservations stated hereinafter, owner dedicates to the public use forever the streets and alleys shown thereon.

The easements shown on this plat are hereby reserved for the purposed as indicated, including, but not limited to, the installation and maintenance of water, sanitary sewer, storm sewer, drainage, electric, telephone, gas and cable television. Owner shall have the right to use these easements, provided, however, that it does not unreasonable interfere or impede with the provision of the services to others. Said utility easements are hereby being reserved by mutual use and accommodation of all public utilities using or desiring to use the same. An express easement of ingress and egress is hereby expressly granted on, over and across all such easements for the benefit of the provider of services for which easements are granted.

Any drainage and floodway easement shown hereon is hereby dedicated to the public's use forever, but including the following covenants with regards to maintenance responsibilities. The existing channels or creeks traversing the drainage and floodway easement will remain as an open channel, unless required to be enclosed by ordinance, at all times and shall be maintained by the individual owners of the lot or lots that are traversed by or adjacent to the drainage and floodway easement. The town will not be responsible for the maintenance and operation of said creek or creeks for any damage or injury of private property or person that results from the flow of water along said creek, or for the control of erosion. No obstruction to the natural flow of water runoff shall be permitted by construction of any type building, fence or any other structure within the drainage and floodway easement. Provided, however, it is understood that in the event it becomes necessary for the town to channelize or consider erecting any type of drainage structure in order to improve the storm drainage, then in such event, the town shall have the right, but not the obligation, to enter upon the drainage and floodway easement at any point, or points, with all right s of ingress and egress to investigate, survey, erect, construct or maintain any drainage facility deemed necessary by the town for maintenance or efficiency of its respective system or service.

Water main and sanitary sewer easements shall also include additional area of working space for construction and maintenance of the systems. Additional easement area is also conveyed for installation and maintenance of manholes, cleanouts, fire hydrants, water service and sewer services from the main to curb or pavement line, and the descriptions of such additional easements herein granted shall be determined by their locations as installed.

This plat is approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Addison, Texas.

The construction plans shall be prepared by or under the supervision of a registered professional engineer in the State of Texas and shall bear his seal on each sheet.

WITNESS MY HAND, this the _____ day of _____, 2004.

ALBERT–ADDISON, L.P.

_____

STATE OF TEXAS
COUNTY OF DALLAS

BEFORE ME, the undersigned authority, a Notary Public, on this day personally appeared _____, known to me to be the person whose name is subscribed to the forgoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

GIVEN MY HAND AND SEAL OF OFFICE, this the ____ day of _____, 2004.

_____
Notary Public
My Commission Expires: _____

SURVEYOR"S CERTIFICATE

I, B J Elam, a Registered Professional Land Survey, hereby states that this plat was prepared from a survey made on the ground the 17th day of November 2003, and substantially complies with the platting standards of the Town of Addison.

_____
B J Elam
Registered Professional Land Surveyor
State of Texas Registration No. 4581
Winkelmann & Associates, Inc.
6750 Hillcrest Plaza Drive, Suite 100
Dallas, Texas 75230
972–490–7090 (p)

PRELIMINARY
RELEASED FOR REVIEW PURPOSES ONLY
THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE

STATE OF TEXAS
COUNTY OF DALLAS

BEFORE ME, the undersigned authority, a Notary Public, on this day personally appeared B J Elam, known to me to be the person whose name is subscribed to the forgoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

GIVEN MY HAND AND SEAL OF OFFICE, this the ____ day of _____, 2004.

_____
Notary Public
My Commission Expires: _____

No.	DATE	REVISION	APPROV.

Winkelmann & Associates, Inc.
CONSULTING CIVIL ENGINEERS ■ SURVEYORS
6750 HILLCREST PLAZA DRIVE, SUITE 100
DALLAS, TEXAS 75230
(972) 490-7090
(972) 490-7099 FAX
COPYRIGHT WINKELMANN & ASSOCIATES, INC.

G.W. FISHER SURVEY, ABSTRACT NO. 482
CITY OF ADDISON
DALLAS COUNTY, TEXAS

ALBERT–ADDISON, L.P.
6750 HILLCREST PLAZA DRIVE, SUITE 300
DALLAS, TEXAS 75230

FINAL PLAT
ALBERT–ADDISON ADDITION
LOT 1, BLOCK 1
0.906 ACRES

Scale : 1"=20' | Date : 11/18/03
Designed By : W & A
Drawn By : L.J.L.
Checked By : B.J.E.
File : 01407TPO.DWG
Project No. : 01407.00(53)

SHEET
C-1
OF
C-6

G:\01407\01407plt.dwg Fri Feb 27 12:50:12 2004 tmt

GENERAL NOTES

1. ALL BASELINES AND BENCHMARKS SHALL BE ESTABLISHED BY THE TOWN OF ADDISON, THE CONTRACTOR SHALL PROVIDE HIS OWN CONSTRUCTION STAKING.
2. ALL UNDERGROUND UTILITY LOCATIONS AS SHOWN ON THE PLANS ARE APPROXIMATE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATIONS OF ALL UNDERGROUND UTILITIES AND NOTIFYING THE VARIOUS UTILITIES BEFORE CONSTRUCTION. THE DETERMINATION OF THE LOCATIONS OF THE UTILITIES SHALL NOT BE CONSIDERED SUFFICIENT BASIS FOR CLAIMS FOR ADDITIONAL COMPENSATION FOR EXTRA WORK OR FOR INCREASING THE PAY QUANTITIES IN ANY MANNER WHATSOEVER.
3. ALL GAS, TELEPHONE, CABLE AND POWER LINES TO BE ADJUSTED SHALL BE ADJUSTED BY OTHERS.
4. ALL ADJACENT PROPERTY DAMAGED BY THE PROPOSED CONSTRUCTION SHALL BE RESTORED TO EQUAL OR BETTER CONDITION THAN WHICH IT WAS FOUND BEFORE SUCH WORK WAS UNDERTAKEN (NON-PAY ITEM).
5. PAVEMENT REPAIR PAY QUANTITIES WILL BE LIMITED TO THE MAXIMUM TRENCH WIDTH PLUS TWO FEET.
6. THE CONTRACTOR SHALL NOT BE PERMITTED TO HAVE ANY OPEN TRENCHES AT THE END OF EACH WORKING DAY UNLESS APPROVED BY THE ENGINEER.
7. ALL CUT AND FILL SLOPES SHALL BE 3:1 EXCEPT AS NOTED ON THE PLANS OR AS DIRECTED BY THE ENGINEER. CUT SLOPES MAY BE STEEPENED TO PROTECT EXISTING TREES AND FENCES ONLY WITH PRIOR APPROVAL OF THE ENGINEER. ALL PROPERTY ADJACENT TO THE PROPOSED CONSTRUCTION SHALL BE GRADED AS DIRECTED BY THE ENGINEER (NON-PAY ITEM).
8. TRENCH BACKFILL SHALL BE IN ACCORDANCE WITH "TRENCH BACKFILL" SPECIFICATIONS AND CLASS "A" THROUGH CLASS "J" BACKFILL REQUIREMENTS. NO WATER JETTING WILL BE ALLOWED UNDER EXISTING OR FUTURE PAVEMENT OR SIDEWALKS. A 1 INCH LAYER OF LEVELING SAND IS REQUIRED UNDER SIDEWALKS.
9. THE CONTRACTOR SHALL PRESERVE ALL EXISTING PAVEMENT, SHOULDERS, DRIVEWAYS AND SIDEWALKS BEYOND THE LIMITS OF WORK. THE REMOVAL AND REPLACEMENT OF THE SAID ITEMS SHALL ONLY BE DEEMED NECESSARY IN ORDER TO COMPLETE THE PROJECT OR AS DIRECTED BY THE ENGINEER. ANY DAMAGE NOT DEEMED NECESSARY FOR THE COMPLETION OF SAID PROJECT SHALL BE REPLACED TO EQUAL OR BETTER CONDITIONS AS A NON-PAY ITEM.
10. WHERE APPLICABLE, THE CONTRACTOR SHALL PLACE RUBBER MATS OR EARTH ON THE PAVEMENT TO PROTECT IT FROM TRACK MARKS AND/OR CRACKING DURING CONSTRUCTION (NON-PAY ITEM).
11. CURB RAMPS SHALL BE CONSTRUCTED AS SHOWN ON THE PLANS OR DIRECTED BY THE ENGINEER.
12. THE TOWN OF ADDISON WILL NOT REIMBURSE THE CONTRACTOR FOR ANY WATER USED TO PERFORM THE WORK AS REQUIRED IN THE CONTRACT.
13. ALL DISTURBED AREAS SHALL BE FINISHED TO GRADE, SMOOTHED WITH A SUITABLE CEMENT FREE TOP SOIL (2" MINIMUM) AND SEEDED OR SODDED AS OUTLINED IN THE SPECIFICATIONS OR DIRECTED BY THE ENGINEER.
14. ALL EXCAVATED MATERIAL DEEMED EXCESS OR UNSUITABLE SHALL BE DISPOSED OF BY THE CONTRACTOR AT A LOCATION APPROVED BY THE TOWN OF ADDISON.
15. ALL EXISTING PAVEMENT, CURB AND GUTTER, AND SIDEWALK TO BE REMOVED SHALL BE DISPOSED OF BY THE CONTRACTOR.
16. THE CONTRACTOR SHALL PRESERVE ALL TREES, SHRUBS, FENCES, MAIL BOXES AND OTHER PROPERTY OWNER IMPROVEMENTS NOT NOTED FOR REMOVAL. THE REMOVAL AND/OR REPLACEMENT OF THE SAID PROPERTY OWNER IMPROVEMENTS BY THE CONTRACTOR SHALL BE CONSIDERED AS A NON-PAY ITEM UNLESS A PAY ITEM EXISTS FOR THE SPECIFIC IMPROVEMENT.
17. THE CONTRACTOR SHALL GIVE THE CITY, RESIDENTS AND BUSINESSES AFFECTED BY ANY ANTICIPATED WATER OR SEWER SERVICES DISRUPTIONS AT LEAST FORTY EIGHT (48) HOURS PRIOR NOTICE.
18. THE CONTRACTOR IS RESPONSIBLE TO PROTECT ALL WATER AND SEWER LINES CROSSING THE PROJECT. THE CONTRACTOR SHALL REPAIR ALL DAMAGED LINES IMMEDIATELY. ALL REPAIRS OF EXISTING WATER MAINS, WATER SERVICES, SEWER MAINS, AND SANITARY SEWER SERVICES SHALL BE CONSIDERED A NON-PAY ITEM.
19. ALL FILL AREAS SHALL BE SCARIFIED TO A DEPTH OF 6 TO 8 INCHES AND RE-COMPACTED TO A MINIMUM OF 95 % OF MAXIMUM DRY DENSITY AT OR UP TO 5+% OF THE SOILS OPTIMUM MOISTURE CONTENT. THE COST SHALL BE INCLUDED IN THE PRICE FOR EXCAVATION.

TRAFFIC AND ACCESS CONTROL

1. THE CONTRACTOR SHALL ROUTE TRAFFIC AND BARRICADE ALL ROADS AS REQUIRED BY THE TOWN OF ADDISON.
2. ALL DRIVEWAY AND SIDEWALK CROSSINGS WHICH ARE OPEN CUT SHALL HAVE AT LEAST A TEMPORARY PAVEMENT REPAIR AT THE END OF EACH DAY.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL CROSS STREETS (NON-PAY ITEM), UNLESS OTHERWISE APPROVED BY THE TOWN OF ADDISON.
4. THE CONTRACTOR SHALL MAINTAIN AT LEAST A 24 FOOT EDGE TO EDGE ALL WEATHER RIDING SURFACE AT ALL TIMES TO PERMIT TWO WAY LOCAL TRAFFIC FLOW.
5. THE CONTRACTOR SHALL PROVIDE ACCESS TO ALL BUSINESS LOCATIONS AT ALL TIMES DURING THE CONSTRUCTION.
6. NO WORK SHALL COMMENCE WITHIN EXISTING STREET RIGHT-OF-WAY WITHOUT AN APPROVED RIGHT-OF-WAY EXCAVATION PERMIT & TRAFFIC CONTROL PLAN. CONTRACTOR SHALL NOTIFY THE TOWN OF ADDISON AT LEAST TWO (2) DAYS PRIOR TO BEGINNING WORK WITHIN THE RIGHT-OF-WAY, OR BEFORE PERFORMING ANY WORK WHICH WILL OBSTRUCT OR IMPEDE THE NORMAL FLOW OF TRAFFIC.
7. CONTRACTOR SHALL NOT UNLOAD OR STORE MATERIALS, PERMIT WORKERS TO PARK, NOR PARK EQUIPMENT WITHIN THE STREET RIGHT-OF-WAY WHERE STREET IS OPEN TO PUBLIC TRAVEL WITHOUT PRIOR APPROVAL OF THE TOWN OF ADDISON.

PAVEMENT NOTES

1. ALL PAVING REMOVED SHALL BE FULL-DEPTH SAWCUT TO A NEAT LINE AND REMOVED.
2. ALL MEDIANS, PARKWAY AREAS, TRANSITION SLOPES, AND FILL AREAS SHALL RECEIVE 4 INCHES OF TOPSOIL, AND SEEDING/FERTILIZER APPLICATION.
3. ALL PAVEMENT DRIVEWAYS, PARKING AREAS, CURB AND GUTTER, SIDEWALK AND OTHER MATERIAL REQUIRED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS DISPOSAL.
4. THE CONTRACTOR SHALL CONSTRUCT A CONCRETE UNDERCUT HEADER AT ALL PROPOSED CONCRETE TO EXISTING CONCRETE JOINTS, OR USE A LONGITUDINAL BUTT JOINT. THE CONTRACTOR SHALL CONSTRUCT A STANDARD HEADER AT ALL PROPOSED CONCRETE TO EXISTING ASPHALT JOINTS.
5. THE DRIVEWAY APPROACHES SHALL BE FIVE (5) INCH REINFORCED CONCRETE PAVEMENT FOR RESIDENTIAL AND SIX (6) INCH REINFORCED CONCRETE PAVEMENT FOR COMMERCIAL. ADDITIONAL DRIVEWAY REPAIRS SHALL MATCH EXISTING MATERIAL. EXCEPT MATCH 8" PAVEMENT THICKNESS AT INTERSECTION WITH 8" STREET PAVEMENT AND AT LEAST 2 FEET INTO THE APPROACH.
6. THE CONTRACTOR SHALL PROTECT ANY EXISTING AND/OR PROPOSED STORM SEWER PIPE (R.C.P.) WHICH IS IN THE PROPOSED SUBGRADE DURING THE SUBGRADE STABILIZATION PROCESS.

AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION IN THE VICINITY OF EXISTING UNDERGROUND UTILITIES, THE CONTRACTOR SHALL NOTIFY THE FOLLOWING AS APPLICABLE:

CITY OF ADDISON
Assistant City Engineer — Mr. Steve Chutchian — (972) 450-2886
DIG-TESS — (800) DIG-TESS

THESE CONSTRUCTION PLANS WERE PREPARED UNDER THE RESPONSIBLE SUPERVISION OF MICHAEL D. CLARK, REGISTERED PROFESSIONAL ENGINEER NO. 63290

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MICHAEL D. CLARK, P.E. #63290

No.	DATE	REVISION	APPROV.
1	03/23/04	CITY COMMENTS.	M.D.C.

Winkelmann & Associates, Inc.
CONSULTING CIVIL ENGINEERS ■ SURVEYORS
10720 PRESTON ROAD, SUITE 1000, DALLAS, TEXAS 75230 (972) 490-7999 FAX
CORPORATE REGISTRATION # ASSOCIATES, INC.

STATE OF TEXAS
MICHAEL D. CLARK
63290
REGISTERED PROFESSIONAL ENGINEER
3-24-04

G.W. FISHER SURVEY, ABSTRACT NO. 482
CITY OF ADDISON
DALLAS COUNTY, TEXAS

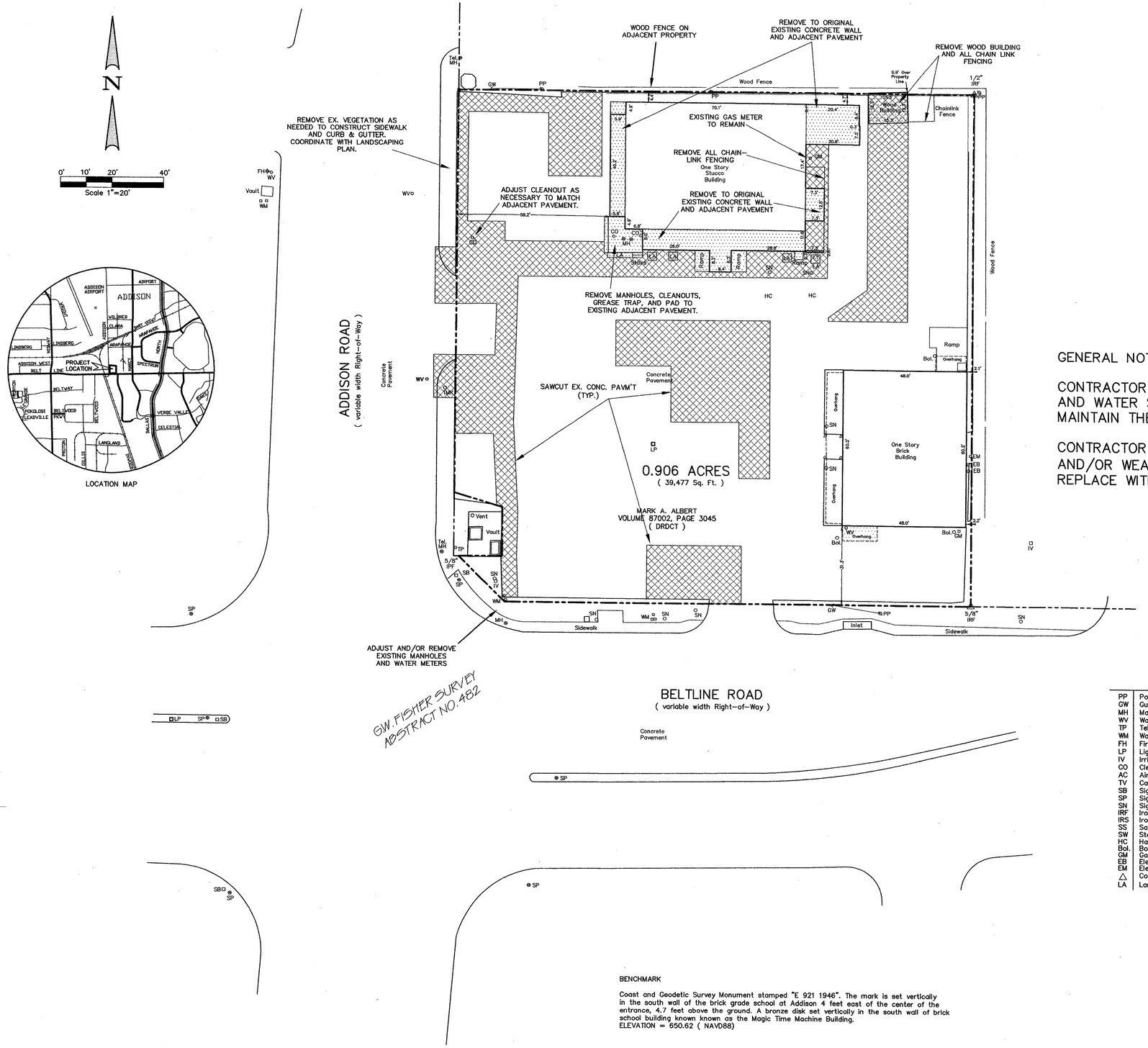
BERNBAUM / MAGADINI ARCHITECTS
4528 MCKINNEY AVENUE, SUITE 103
DALLAS, TEXAS 75205

GENERAL NOTES
ALBERT-ADDISON ADDITION
LOT 1, BLOCK 1
0.906 ACRES

Scale: 1"= 20' Date: 2/20/04
Designed By: W.A.I.
Drawn By: W.A.I.
Checked By: M.D.C.
File: 01407?gen.dwg
Project No.: 04107.01(20)

SHEET
C-2

C:\Dwgs\01407\01407?gen.dwg Tue Mar 23 15:27:44 2004 rd1



NOTICES TO CONTRACTOR

THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL & VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL AND VERTICAL) OF SAID CABLES, CONDUITS, PIPES AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR(S). IF THE CONTRACTOR(S) DOES NOT ACCEPT THE EXISTING TOPOGRAPHY AS SHOWN ON THESE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE AT HIS EXPENSE A TOPOGRAPHIC SURVEY BY A REGISTERED PROFESSIONAL ENGINEER OR A REGISTERED PROFESSIONAL LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.

THE CONTRACTOR(S) SHALL CALL 1-800-DIGTESS FOR UTILITY LOCATIONS AND MARKING AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION ON THE SITE.

DEMOLITION LEGEND

- FULL-DEPTH SAWCUT & REMOVE EX. CONC. PVM'T.
- REMOVE TO ORIGINAL EX. WALL AND ADJACENT PVM'T.

GENERAL NOTES:

CONTRACTOR TO VERIFY LOCATION OF SANITARY SEWER AND WATER SERVICE TO THOMAS REPROGRAPHICS. MAINTAIN THESE SERVICES AT ALL TIMES.

CONTRACTOR TO REMOVE AND DISPOSE OF ALL DAMAGED AND/OR WEATHERED CONCRETE WHEEL-STOPS AND REPLACE WITH NEW.

LEGEND

PP	Power Pole
GW	Guy Wire
MH	Manhole
WV	Water Valve
FH	Fire Hydrant
TP	Telephone Pedestal
WM	Water Meter
LP	Light Pole
IV	Irrigation Valve
CO	Clean Out
AC	Air Conditioner
TV	Cable Box
SB	Signal Box
SP	Signal Pole
SN	Sign
IRF	Iron Rod Found
IRS	Iron Rod Set
SS	Sanitary Sewer
SW	Storm Sewer
HC	Handicapped
Bol.	Bollard
GM	Gas Meter
EB	Electric Box
EM	Electric Meter
△	Control Monument
LA	Landscape Area

BENCHMARK

Coast and Geodetic Survey Monument stamped "E 921 1946". The mark is set vertically in the south wall of the brick grade school at Addison 4 feet east of the center of the entrance, 4.7 feet above the ground. A bronze disk set vertically in the south wall of brick school building known known as the Magic Time Machine Building.
ELEVATION = 650.62 (NAVD88)

No.	DATE	REVISION	APPROV.
1	03/23/04	CITY COMMENTS.	M.D.C.

Winkelmann & Associates, Inc.
CONSULTING CIVIL ENGINEERS ■ SURVEYORS
2001 BRYAN STREET, SUITE 1100
DALLAS, TEXAS 75201
(972) 490-7999 PHONE
(972) 490-7998 FAX
TEXAS REGISTERED ENGINEERING FIRM F-2364
TEXAS REGISTERED SURVEYING FIRM 100294-00
© 2004, WINKELMANN & ASSOCIATES, INC.

STATE OF TEXAS
MICHAEL D. CLARK
63290
REGISTERED
PROFESSIONAL ENGINEER

THESE CONSTRUCTION PLANS WERE PREPARED UNDER THE RESPONSIBLE SUPERVISION OF MICHAEL D. CLARK, REGISTERED PROFESSIONAL ENGINEER NO. 63290

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MICHAEL D. CLARK, P.E. #63290

G.W. FISHER SURVEY, ABSTRACT NO. 482
CITY OF ADDISON
DALLAS COUNTY, TEXAS

BERNBAUM / MAGADINI ARCHITECTS
4528 McKINNEY AVENUE, SUITE 103
DALLAS, TEXAS 75205

DEMOLITION PLAN
ALBERT-ADDISON ADDITION
LOT 1, BLOCK 1
0.906 ACRES

Scale: 1"= 20' Date: 2/20/04
Designed By: W.A.I.
Drawn By: W.A.I.
Checked By: M.D.C.
File: 01407tdem.dwg
Project No.: 04107.01(20)

SHEET
C-3

C:\Dwgs\01407\01407tdem.dwg Tue Mar 23 17:04:57 2004 rd1

CONTRACTOR TO CLEAN OUT SWALE, REMOVE DIRT AND DEBRIS AND REPAIR EROSION PROTECTION AT EX. DROP INLET.

NOTICES TO CONTRACTOR

THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL & VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL AND VERTICAL) OF SAID CABLES, CONDUITS, PIPES AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR(S). IF THE CONTRACTOR(S) DOES NOT ACCEPT THE EXISTING TOPOGRAPHY AS SHOWN ON THESE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE AT HIS EXPENSE A TOPOGRAPHIC SURVEY BY A REGISTERED PROFESSIONAL ENGINEER OR A REGISTERED PROFESSIONAL LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.

THE CONTRACTOR(S) SHALL CALL 1-800-DIGTESS FOR UTILITY LOCATIONS AND MARKING AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION ON THE SITE.

N

0' 10' 20' 40'
Scale 1"=20'

LOCATION MAP

MATCH EX. PVM'T

ADDISON ROAD
(variable width Right-of-Way)

2' CONC. FLUME

MATCH EX. PVM'T

MATCH EX. PVM'T

0.906 ACRES
(39,477 Sq. Ft.)

One Story Stucco Building

One Story Brick Building

Ramp

Wood Fence

Concrete Pavement

B.F.F. 633.00 TP

REFER TO SITE PLAN FOR STRIPING DETAILS

THIS RAMP NOT REQD PER BOB ADKISON ARCHITECT.

633.00 G

633.20 G

632.50 TP

MARK A. ALBERT
VOLUME 87002, PAGE 3045
(DRDCT)

Sidewalk

Inlet

5/8" IRF

ADJUST AND/OR REMOVE EXISTING MANHOLES AND WATER METERS

GW. FISHER SURVEY
ABSTRACT NO. 482

BELTLINE ROAD
(variable width Right-of-Way)

GRADING LEGEND

EXISTING SPOT GRADE: 633.10

PROPOSED SPOT GRADE: 633.00 G

LEGEND

PP	Power Pole
GW	Guy Wire
MH	Manhole
WV	Water Valve
TP	Telephone Pedestal
WM	Water Meter
FH	Fire Hydrant
LP	Light Pole
IV	Irrigation Valve
CO	Clean Out
AC	Air Conditioner
TV	Cable Box
SB	Signal Box
SP	Signal Pole
SN	Sign
IRF	Iron Rod Found
IRS	Iron Rod Set
SS	Sanitary Sewer
SW	Storm Sewer
HC	Handicapped
Bol.	Bollard
GM	Gas Meter
EB	Electric Box
EM	Electric Meter
△	Control Monument
LA	Landscape Area

BENCHMARK

Coast and Geodetic Survey Monument stamped "E 921 1946". The mark is set vertically in the south wall of the brick grade school at Addison 4 feet east of the center of the entrance, 4.7 feet above the ground. A bronze disk set vertically in the south wall of brick school building known known as the Magic Time Machine Building.
ELEVATION = 650.62 (NAVD88)

THESE CONSTRUCTION PLANS WERE PREPARED UNDER THE SUPERVISION OF THE UNDERSIGNED, MICHAEL D. CLARK, REGISTERED PROFESSIONAL ENGINEER NO. 63290

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MICHAEL D. CLARK, P.E. #63290

No.	DATE	REVISION	APPROV.
1	03/23/04	CITY COMMENTS.	M.D.C.

Winkelmann & Associates, Inc.
CONSULTING CIVIL ENGINEERS ■ SURVEYORS
2001 WEST PLANO PKWY., SUITE 103 (972) 422-7090
PLANO, TEXAS 75075 (972) 422-7099 FAX
REGISTERED WINKELMANN & ASSOCIATES, INC.

STATE OF TEXAS
MICHAEL D. CLARK
63290
REGISTERED
PROFESSIONAL ENGINEER

G.W. FISHER SURVEY, ABSTRACT NO. 482
CITY OF ADDISON
DALLAS COUNTY, TEXAS

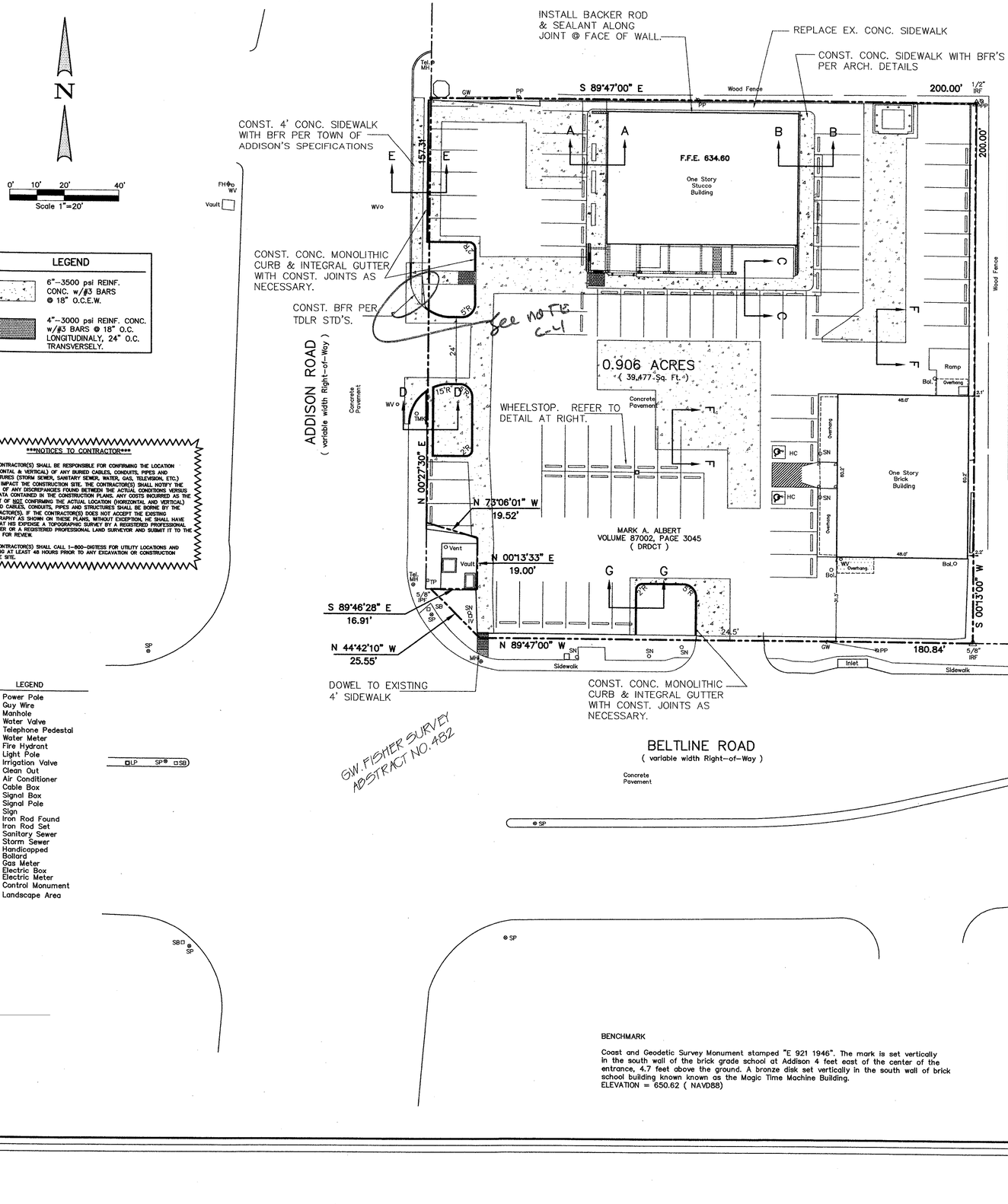
BERNBAUM / MAGADINI ARCHITECTS
4528 McKINNEY AVENUE, SUITE 103
DALLAS, TEXAS 75205

GRADING PLAN
ALBERT-ADDISON ADDITION
LOT 1, BLOCK 1
0.906 ACRES

Scale: 1" = 20' Date: 2/20/04
Designed By: W.A.I.
Drawn By: W.A.I.
Checked By: M.D.C.
File: 01407tgrd.dwg
Project No.: 04107.01(20)

SHEET
C-4

C:\Dwgs\01407\01407tgrd.dwg Tue Mar 23 17:37:33 2004 rd1



#5 BAR EACH END OF STOP
PRECAST CONCRETE WHEEL STOP
DRILL & GROUT IN PLACE
4" MIN.
NEW PAVING
WHEEL STOP DETAIL
N.T.S.

No. 3 BARS SPACED 18" O.C.E.W.
3500 PSI CONCRETE
5"
6"
SUBGRADE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY AT OR A MAXIMUM OF +3 PERCENTAGE POINTS ABOVE OPTIMUM MOISTURE CONTENT.
PAVEMENT SECTION
N.T.S.

4"-3000 psi REINF. CONC. w/#3 BARS @ 18" O.C.E.W.
CONT. J-MOULD PLASTER TRIM EMBEDDED ALONG BOTTOM EDGE OF STUCCO
DOWEL TO EX. PVMT.
2% max.
EX. PVMT.
PREFORMED EXPANSION JOINT MATERIAL
NEW CONC. WALK
EXISTING CONSTRUCTION
EXISTING OR NEW CONC. FLATWORK -INC- PLANTING BED AS OCCURS
SECTION A-A
N.T.S.

CONT. J-MOULD PLASTER TRIM EMBEDDED ALONG BOTTOM EDGE OF STUCCO
4"-3000 psi REINF. CONC. w/#3 BARS @ 18" O.C.E.W.
DOWEL TO EX. PVMT.
2% max.
EX. PVMT.
EXISTING CONSTRUCTION
NEW CONC. WALK
PREFORMED EXPANSION JOINT MATERIAL
EXISTING OR NEW CONC. FLATWORK -INC- PLANTING BED AS OCCURS
SECTION B-B
N.T.S.

4"-3000 psi REINF. CONC. w/#3 BARS @ 18" O.C.E.W.
CONT. J-MOULD PLASTER TRIM EMBEDDED ALONG BOTTOM EDGE OF STUCCO
DOWEL TO EX. PVMT.
2% max.
EX. PVMT.
PREFORMED EXPANSION JOINT MATERIAL
NEW CONC. WALK
EXISTING CONSTRUCTION
EXISTING OR NEW CONC. FLATWORK -INC- PLANTING BED AS OCCURS
SECTION C-C
N.T.S.

6"-3500 psi REINF. CONC. w/6" MONO. CURB & INTEGRAL GUTTER & EXP. MAT'L.
2'
SECTION D-D
N.T.S.

LANDSCAPE AREA
EXP. JOINT MATERIAL
CONST. 6" REINF. MONO. CURB w/INT. GUTTER
4'
2% max.
EXP. JOINT
CONST. 4" REINF. CONC. WALK
CONST. 6" REINF. CONC. DOWEL TO EX. PVMT.
EX. 6" REINF. MONO. CURB w/INT. GUTTER
EX. PVMT.
SECTION E-E
N.T.S.

JOINT SEALING COMPOUND SHALL CONFORM TO THE REQUIREMENTS OF ASTM D-920 TYPE II, GRADE P, OR NS.
15" EMBEDMENT MINIMUM
#3 BARS @ 18" O.C.E.W.
EXISTING CONCRETE PAVEMENT
NEW CONSTRUCTION
2" MIN. CLEAR
DRILL AND SET IN EPOXY CEMENT #3 DOWELS x 2'-6" @ 18" O.C.
REFER TO TYPICAL PAVEMENT SECTIONS FOR PAVEMENT AND SUBGRADE DESCRIPTION
SECTION F-F
NTS

3/8"R.
#3 BAR CONTINUOUS
#4 BAR (TYPICAL)
1:3 BATTER
1-1/2"R.
#4 BARS ON 18" CENTERS
CONC. PVMT.
6"
2'-6" (USUAL)
LONGITUDINAL BUTT JOINT
SECTION G-G
NTS

No.	DATE	REVISION	APPROV.
1	03/23/04	CITY COMMENTS.	M.D.C.

Winkelmann & Associates, Inc.
CONSULTING CIVIL ENGINEERS ■ SURVEYORS
(972) 490-7980
(972) 490-7999 FAX
MICHAEL D. CLARK 63290 REGISTERED PROFESSIONAL ENGINEER
STATE OF TEXAS
3-23-04

THESE CONSTRUCTION PLANS WERE PREPARED UNDER THE RESPONSIBLE SUPERVISION OF MICHAEL D. CLARK, REGISTERED PROFESSIONAL ENGINEER NO. 63290

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MICHAEL D. CLARK, P.E. #63290

G.W. FISHER SURVEY, ABSTRACT NO. 482
CITY OF ADDISON
DALLAS COUNTY, TEXAS

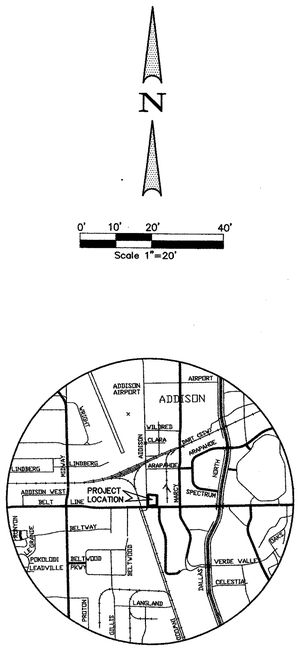
BERNBAUM / MAGADINI ARCHITECTS
4528 McKINNEY AVENUE, SUITE 103
DALLAS, TEXAS 75205

PAVING PLAN
ALBERT-ADDISON ADDITION
LOT 1, BLOCK 1
0.906 ACRES

Scale: 1"= 20' Date: 2/20/04
Designed By: W.A.I.
Drawn By: W.A.I.
Checked By: M.D.C.
File: 01407pav.dwg
Project No.: 04107.01(20)

SHEET
C-5

C:\Dwgs\01407\01407pav.dwg Tue Mar 23 17:22:42 2004 rd1



LOCATION MAP

0' 10' 20' 40'

Scale 1"=20'

1500 GAL. GREASE TRAP REFER TO MEP PLANS

INSTALL 4" PVC SAN. SWR. PIPE w/CLEANOUTS PER PLUMBING CODE. CONNECT TO EXIST. SAN. SWR. PIPE. MATCH EX. FLOWLINE.

ADDISON ROAD
(variable width Right-of-Way)

Concrete Pavement

EX. 8" S.S.

EX. 8" WATER

157.31'

S 89°47'00" E 200.00'

Wood Fence

200.00'

One Story Stucco Building

2" WTR

CONTRACTOR TO TV EXISTING SEWER LATERAL AND REPAIR AS NECESSARY.

PREVIOUSLY DEMOLISHED AREA.

SAWCUT & REPAIR EX. PVMT. 4' WIDE FOR WATER LINE INSTALLATION.

Ramp

One Story Brick Building

N 00°27'30" E

N 73°06'01" W 19.52'

N 00°13'33" E 19.00'

MARK A. ALBERT
VOLUME 87002, PAGE 3045
(DRDCT)

S 89°46'28" E 16.91'

N 44°42'10" W 25.55'

N 89°47'00" W

24.5'

S 00°13'00" W 180.84'

SAWCUT & REPAIR EX. PVMT. 4' WIDE FOR WATER LINE INSTALLATION.

Ex. 8" Wtr

Sidewalk

Inlet

CAUTION! CONTRACTOR TO PROTECT EX. GAS M.H.

UTILIZE EX. METER FOR IRRIGATION— INSTALL NEW DBL. CHECK VALVE.

INSTALL NEW 2" TAP w/SADDLE & 2" DOM. METER & 2" SVC. TO THE BLDG. CONNECT TO EX. 8" WATER LINE.

BELTLINE ROAD
(variable width Right-of-Way)

Concrete Pavement

GW. FISHER SURVEY
ABSTRACT NO. 482

LEGEND

PP	Power Pole
GW	Guy Wire
MH	Manhole
WV	Water Valve
TP	Telephone Pedestal
WM	Water Meter
FH	Fire Hydrant
LP	Light Pole
IV	Irrigation Valve
CO	Clean Out
AC	Air Conditioner
TV	Cable Box
SB	Signal Box
SP	Signal Pole
SN	Sign
IRF	Iron Rod Found
IRS	Iron Rod Set
SS	Sanitary Sewer
SW	Storm Sewer
HC	Handicapped
Bol.	Bollard
GM	Gas Meter
EB	Electric Box
EM	Electric Meter
△	Control Monument
LA	Landscape Area

NOTICES TO CONTRACTOR

THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR CONFIRMING THE LOCATION (HORIZONTAL & VERTICAL) OF ANY BURIED CABLES, CONDUITS, PIPES AND STRUCTURES (STORM SEWER, SANITARY SEWER, WATER, GAS, TELEVISION, ETC.) WHICH IMPACT THE CONSTRUCTION SITE. THE CONTRACTOR(S) SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES FOUND BETWEEN THE ACTUAL CONDITIONS VERSUS THE DATA CONTAINED IN THE CONSTRUCTION PLANS. ANY COSTS INCURRED AS THE RESULT OF NOT CONFIRMING THE ACTUAL LOCATION (HORIZONTAL AND VERTICAL) OF SAID CABLES, CONDUITS, PIPES AND STRUCTURES SHALL BE BORNE BY THE CONTRACTOR(S). IF THE CONTRACTOR(S) DOES NOT ACCEPT THE EXISTING TOPOGRAPHY AS SHOWN ON THESE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE AT HIS EXPENSE A TOPOGRAPHIC SURVEY BY A REGISTERED PROFESSIONAL ENGINEER OR A REGISTERED PROFESSIONAL LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.

THE CONTRACTOR(S) SHALL CALL 1-800-DIGTESS FOR UTILITY LOCATIONS AND MARKING AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION ON THE SITE.

BENCHMARK

Coast and Geodetic Survey Monument stamped "E 921 1946". The mark is set vertically in the south wall of the brick grade school at Addison 4 feet east of the center of the entrance, 4.7 feet above the ground. A bronze disk set vertically in the south wall of brick school building known known as the Magic Time Machine Building.
ELEVATION = 650.62 (NAVD88)

No.	DATE	REVISION	APPROV.
1	03/23/04	CITY COMMENTS.	M.D.C.

THESE CONSTRUCTION PLANS WERE PREPARED UNDER THE RESPONSIBLE SUPERVISION OF MICHAEL D. CLARK, REGISTERED PROFESSIONAL ENGINEER NO. 63290

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MICHAEL D. CLARK, P.E. #63290

STATE OF TEXAS
MICHAEL D. CLARK
63290
REGISTERED
PROFESSIONAL ENGINEER
2/20/04

Winkelmann & Associates, Inc.
CONSULTING CIVIL ENGINEERS ▪ SURVEYORS
2626 BELLEFORT PLAZA DRIVE, SUITE 100 (972) 480-7990
GARLAND, TEXAS 75041 (972) 480-7994 FAX
COPYRIGHT 2004, WINKELMANN & ASSOCIATES, INC.

G.W. FISHER SURVEY, ABSTRACT NO. 482
CITY OF ADDISON
DALLAS COUNTY, TEXAS

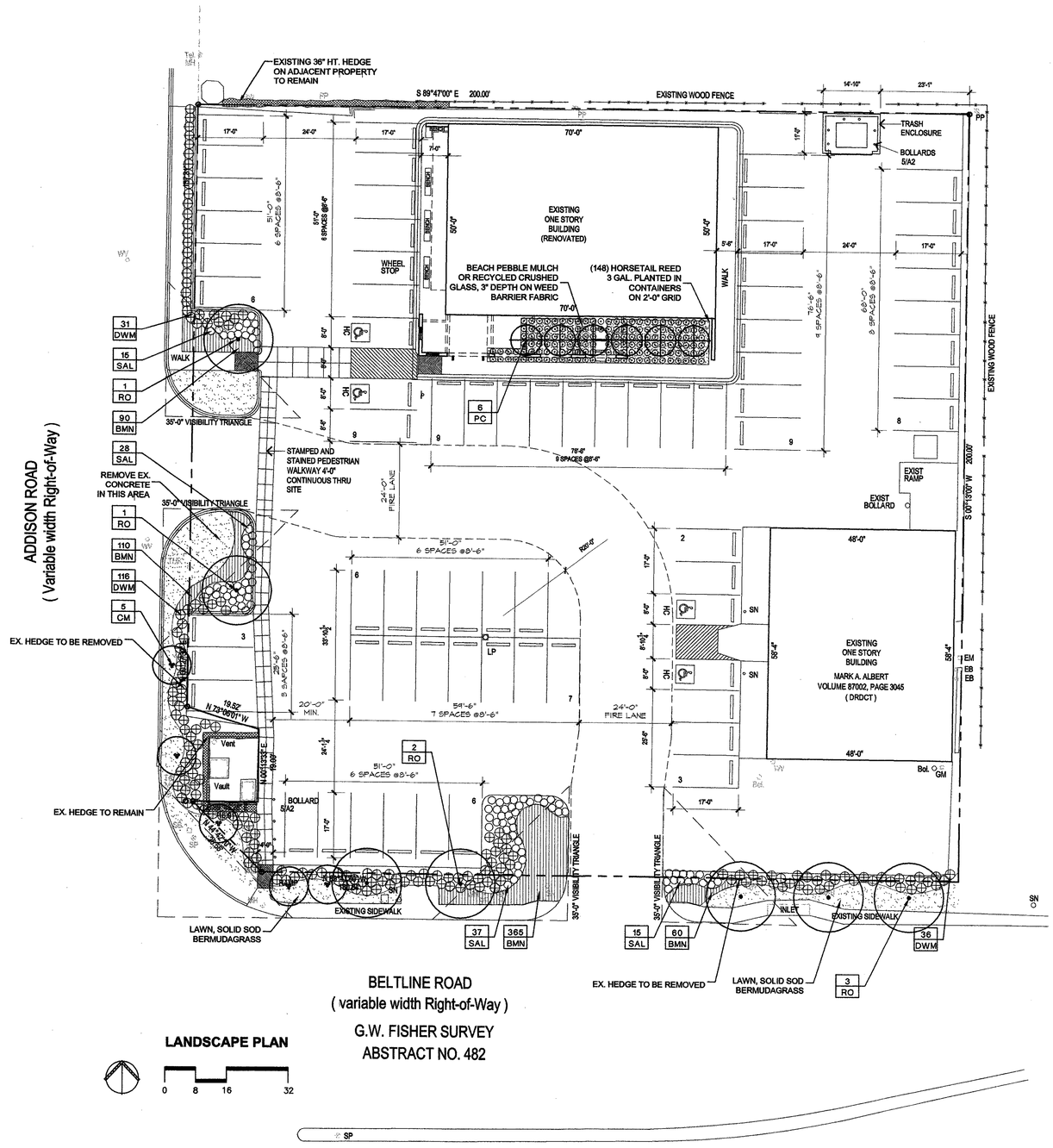
BERNBAUM / MAGADINI ARCHITECTS
4528 McKINNEY AVENUE, SUITE 103
DALLAS, TEXAS 75205

UTILITY PLAN
ALBERT-ADDISON ADDITION
LOT 1, BLOCK 1
0.906 ACRES

Scale: 1"= 20' Date: 2/20/04
Designed By: W.A.I.
Drawn By: W.A.I.
Checked By: M.D.C.
File: 01407tut.dwg
Project No.: 04107.01(20)

SHEET
C-6

C:\Dwgs\01407\01407tut.dwg Tue Mar 23 16:33:53 2004 rd1



LANDSCAPE PLAN

0 8 16 32

LANDSCAPE NOTES

1. Contractor shall verify all existing and proposed site elements and notify Architect of any discrepancies. Survey data of existing conditions was supplied by others.
2. Contractor shall locate all existing underground utilities and notify Architect of any conflicts. Contractor shall exercise caution when working in the vicinity of underground utilities.
3. Contractor is responsible for obtaining all required landscape and irrigation permits.
4. Contractor to provide a minimum 2% slope away from all structures.
5. All planting beds and lawn areas to be separated by steel edging. No steel to be installed adjacent to sidewalks or curbs.
6. All landscape areas to be 100% irrigated with an underground automatic irrigation system and shall include rain and freeze sensors.
7. All lawn areas to be Solid Sod Bermudagrass, unless otherwise noted on the drawings.

GENERAL LAWN NOTES

1. Fine grade areas to achieve final contours indicated on civil plans.
2. Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
3. All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
4. Contractor shall provide (2") two inches of imported topsoil on all areas to receive lawn. ADD ALTERNATE.
5. Imported topsoil shall be natural, friable soil from the region, known as bottom land soil, free from lumps, clay, toxic substances, roots, debris, vegetation, stones, containing no salt and black to brown in color.
6. All lawn areas to be fine graded, irrigation trenches completely settled, and finish grade approved by the Owner's Construction Manager or Architect prior to installation.
7. All rocks 3/4" diameter and larger, dirt clods, sticks, concrete spoils, etc. shall be removed prior to placing topsoil and any lawn installation.

SOLID SOD NOTES

1. Fine grade areas to achieve final contours indicated. Leave areas to receive topsoil 3" below final desired grade in planting areas and 1" below final grade in turf areas.
2. Adjust contours to achieve positive drainage away from buildings. Provide uniform rounding at top and bottom of slopes and other breaks in grade. Correct irregularities and areas where water may stand.
3. All lawn areas to receive solid sod shall be left in a maximum of 1" below final finish grade. Contractor to coordinate operations with on-site Construction Manager.
4. Contractor to coordinate with on-site Construction Manager for availability of existing topsoil.
5. Plant sod by hand to cover indicated area completely. Insure edges of sod are touching. Top dress joints by hand with topsoil to fill voids.
6. Roll grass areas to achieve a smooth, even surface, free from unnatural undulations.
7. Water sod thoroughly as sod operation progresses.
8. Contractor shall maintain all lawn areas until final acceptance. This shall include, but not limited to: mowing, watering, weeding, cultivating, cleaning and replacing dead or bare areas to keep plants in a vigorous, healthy condition.
9. Contractor shall guarantee establishment of an acceptable turf area and shall provide replacement from local supply if necessary.
10. If installation occurs between September 1 and March 1, all sod areas to be over-seeded with Winter Ryegrass, at a rate of (4) pounds per one thousand (1000) square feet.

MAINTENANCE NOTES

1. The Owner, tenant and their agent, if any, shall be jointly and severally responsible for the maintenance of all landscape.
2. All landscape shall be maintained in a neat and orderly manner at all times. This shall include mowing, edging, pruning, fertilizing, watering, weeding and other such activities common to landscape maintenance.
3. All landscape areas shall be kept free of trash, litter, weeds and other such material or plants not part of this plan.
4. All plant material shall be maintained in a healthy and growing condition as is appropriate for the season of the year.
5. All plant material which dies shall be replaced with plant material of equal or better value.
6. Contractor shall provide separate bid proposal for one year's maintenance to begin after final acceptance.

PLANTING NOTES

1. Clearing of existing planting islands shall consist of the satisfactory removal and disposal of existing plants occurring within all planting areas as noted below:
   A. All shrubs and exisiting groundcover shall be removed and discarded from the site within (24) hours of shrub removal.
2. Backfill: All planting areas shall be backfilled with Sandy Loam as needed. It shall be without admixture of subsoil or slag and shall be free of stones, limps, sticks, plants, or their roots, toxic substances, or other extraneous matter that may be harmful to plant growth or would interfere with future maintenance.
3. Prepared Soil Mix: Organic compost material shall be a mixture of 80% vegetative matter and 20% animal waste. Ingredients shall be a mix of coarse and fine textured material, vital earth, back to earth or approved equal.
4. Mulch: Mulch shall be Double Shredded Hardwood Bark Mulch of relative uniform particle size with a median size of one (1") inch and shall be free of sticks, stones, leaves, and any other debris.
5. Organic Fetilizer shall be Fertilaid, Maestro-Gro, Manalfa, Sustain, Agrispon, bat guano or earthworm castings as recommended for required applications. Fertilizer shall be delivered to the site in its original unopened containers, each bearing the manufacter's guaranteed statement of analysis.
6. Prepare new planting beds by backfilling planting areas with 4"-6" of prepared soil mix and tilling to depth of four (4") inched.
7. Apply organic fertilizer such as Fertilaid, Maestro-Gro, or Sustain @ 20 lbs / 1,000 sq. ft. at the rate of 1 lb. of nitrogen per 1,000 sq. ft.
8. All planting areas shall receive two (2") inch layer minimum settled thickness, of Double Shredded Hardwood Bark Mulch after plant material has beed installed.

PLANT LIST

TREES

BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
Quercus shumardii	Red Oak 'Shumard'	7	65 gal.	container grown, 13' ht. 6' sprd. min. 3.5" cal.. min. 5' clear trunk 4" min
Lagerstroemia indica 'Lavender'	Crepe Myrtle 'Lavender'	5	45 gal.	container grown, 3-5 cane, no cross caning, 4' sprd. min.
Taxodium ascendens	Pond Cypress	6	65 gal.	container grown, 13' ht. min. 4' sprd. min. matching, 8' o.c.

NOTE: ALL TREES TO HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETIES

SHRUBS/GROUNDCOVER

BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
Myrica pusilla	Dwarf Wax Myrtle	183	30" ht.	container, full 24" sprd. 30" o.c.
Salvia greggii 'Furman's Red'	Salvia Greggii 'Furman's Red'	95	5 gal.	container, full 20" sprd. 24" o.c.
Ophiopogon planiscapus 'Arabicus'	Black Mondo Grass	625	4" pots	container, full plant, 12" o.c.
Equisetum hymale	Horsetail Reed	148	3 gal.	container, full plant, 6 reed min.
Cynodon dactylon	Common Bermudagrass			solid sod, refer to notes

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated.

PLANT LEGEND

QUANTITY
PLANT TYPE

SYMBOL	PLANT TYPE
RO	Red Oak 'Shumardii'
CM	Crepe Myrtle 'Lavender'
PC	Pond Cypress
DWM	Dwarf Wax Myrtle
SAL	Salvia Greggii 'Furman's Red'
BMN	Black Mondo Grass

NOTE:

TREES WITHIN VISIBILITY TRIANGLES TO BE PRUNED TO 6'-0" CLEAR TRUNK

STATE OF TEXAS
BRIAN D. ADAMS
1761
REGISTERED LANDSCAPE ARCHITECT

PEI WEI
4801 BELTLINE ROAD
ADDISON, TEXAS

smr
landscape architects, inc.
1708 N. Griffin Street
Dallas, Texas 75202
Tel 214.871.0083
Fax 214.871.0545
Email smr@smr-la.com

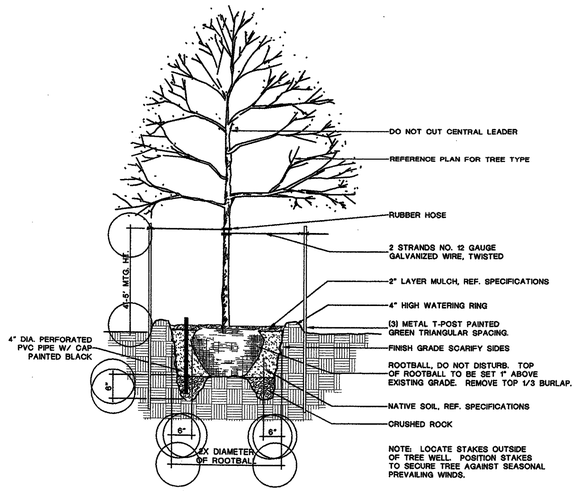
BERNBAUM MAGADINI
4526 McKinney Avenue
#105, Dallas, TX 75205
Telephone 214.219.4525
Fax 214.521.5256

REVISION

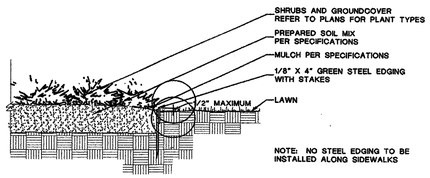
JOB NUMBER
03109

DATE
2.20.04

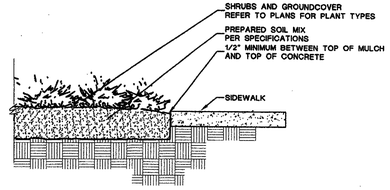
SHEET NUMBER
L1.1



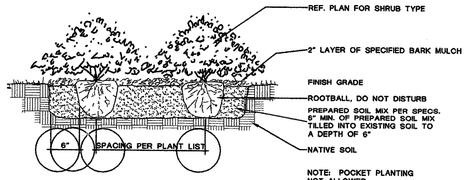
01 TREE PLANTING DETAIL
NOT TO SCALE



02 STEEL EDGING DETAIL
NOT TO SCALE



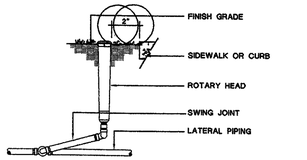
04 SIDEWALK / MULCH DETAIL
no steel along sidewalks
NOT TO SCALE



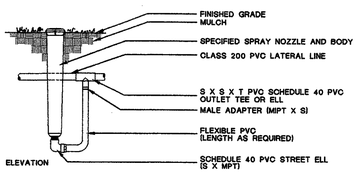
03 SHRUB / GROUNDCOVER DETAIL
NOT TO SCALE

PLANTING NOTES

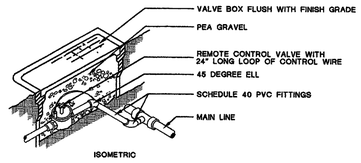
1. Clearing of existing planting islands shall consist of the satisfactory removal and disposal of existing plants occurring within all planting areas as noted below:
   A. All shrubs and exisiting groundcover shall be removed and discarded from the site within (24) hours of shrub removal.
2. Backfill: All planting areas shall be backfilled with Sandy Loam as needed. It shall be without admixture of subsoil or slag and shall be free of stones, limps, sticks, plants, or their roots, toxic substances, or other extraneous matter that may be harmful to plant growth or would interfere with future maintenance.
3. Prepared Soil Mix: Organic compost material shall be a mixture of 80% vegetative matter and 20% animal waste. Ingredients shall be a mix of coarse and fine textured material, vital earth, back to earth or approved equal.
4. Mulch: Mulch shall be Double Shredded Hardwood Bark Mulch of relative uniform particle size with a median size of one (1") inch and shall be free of sticks, stones, leaves, and any other debris.
5. Organic Fertilizer shall be Fertilaid, Maestro-Gro, Manalfa, Sustain, Agrispon, bat guano or earthworm castings as recommended for required applications. Fertilizer shall be delivered to the site in its original unopened containers, each bearing the manufacter's guaranteed statement of analysis.
6. Prepare new planting beds by backfilling planting areas with 4"-6" of prepared soil mix and tilling to depth of four (4") inched.
7. Apply organic fertilizer such as Fertilaid, Maestro-Gro, or Sustain @ 20 lbs / 1,000 sq. ft. at the rate of 1 lb. of nitrogen per 1,000 sq. ft.
8. All planting areas shall receive two (2") inch layer minimum settled thickness, of Double Shredded Hardwood Bark Mulch after plant material has beed installed.



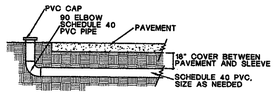
05 ROTARY HEAD
NOT TO SCALE



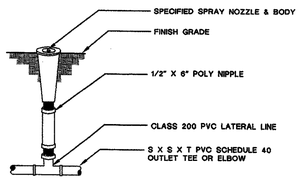
06 HIGH POP-UP SPRAY ASSEMBLY
NOT TO SCALE



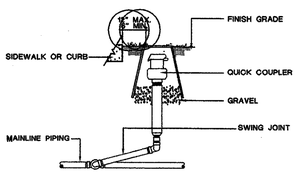
07 REMOTE CONTROL VALVE
NOT TO SCALE



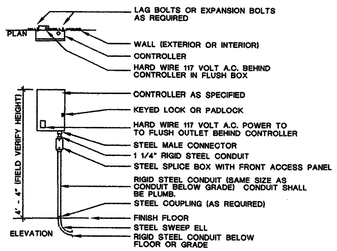
08 SLEEVE DETAIL
NOT TO SCALE



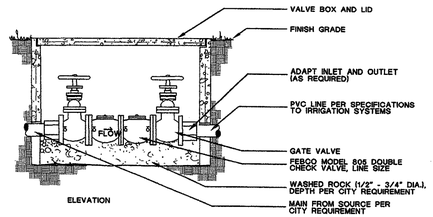
09 POP-UP LAWN SPRAY ASSEMBLY
NOT TO SCALE



10 QUICK COUPLER
NOT TO SCALE



11 WALL MOUNTED CONTROLLER
NOT TO SCALE



12 BACKFLOW PREVENTER
NOT TO SCALE

IRRIGATION LEGEND

- WEATHERMATIC LX-4 POP-UP LAWN HEAD
- WEATHERMATIC LX-12 POP-UP SHRUB HEAD
- WEATHERMATIC TURBO ROTARY FC
- WEATHERMATIC TURBO ROTARY PC
- 106.5 BUBBLER (2 PER TREE)
- WEATHERMATIC 11000 SERIES ELECTRIC VALVE
- WEATHERMATIC V075R QUICK COUPLER
- CONTROLLER, SIZE AS INDICATED
- WATER METER, SIZE AS INDICATED
- D.C.A., SIZE AS INDICATED
- PVC CLASS 200 LATERAL LINE
- PVC CLASS 200 MAINLINE
- PVC SCHEDULE 40 SLEEVING
- VALVE SIZE
- GPM

SLEEVING NOTES

1. Contractor shall lay sleeves and conduits at twenty-four (24") inches below finish grade of the top of pavement.
2. Contractor shall extend sleeves one (1') foot beyond edge of all pavement.
3. Contractor shall cap pipe ends using PVC caps.
4. All sleeves shall be Schedule 40 PVC pipe.
5. Contractor shall furnish Owner and Irrigation Contractor with an 'as-built' drawing showing all sleeve locations.

IRRIGATION PERFORMANCE SPECIFICATIONS

1. All sprinkler equipment numbers reference the Weathermatic equipment catalog or approved equal.
2. ELECTRIC CONTROL VALVES shall be: #11000 CR installed per detail shown. Valves shall be installed in valve boxes large enough to permit manual operation, removal of solenoid and/or valve cover without earth excavation.
3. QUICK COUPLING VALVES shall be: #VO75R, 1" Quick Coupler with vinyl yellow cover installed per detail shown. Swing joints shall be constructed using 3/4" Schedule 80 elbows. Contractor shall supply owner with three (3) couplers and three (3) swivel hose ells as part of this contract.
4. SLEEVES shall be: PVC Schedule 40.
5. MAINLINE PIPE shall be: PVC Class 200 or better, SDR-21 Solvent Weld.
6. LATERAL PIPE shall be: PVC Class 200 or better, SDR-21 Solvent Weld.
7. HEADS shall be: Weathermatic pop-ups or approved equal.
8. All 24 volt valve wiring is to be UF 14 single conductor. All wire splices are to be permanent and waterproof.
9. Irrigation Notes, Details and Specifications shall be used as a directive for irrigation layout and installation.
10. All main line and lateral piping shall have a minimum of 12 inches of cover. All piping under paving shall have a minimum of 18 inches of cover. Contractor required to verify freeze depth of area and adjust depth accordingly.
11. Contractor shall submit head layout and material list to Architect and Owner for review and approval prior to installation. Refer to Guidelines below:
    a. lawn and planting beds to be on separate zones.
    b. north and east sides of buildings to be zoned separately from south and west sides.
    c. utilize 12" pop-ups in planting beds and 4" pop-ups in lawn areas.
    d. utilize bubblers on trees when trees are located in large lawn areas that use rotary heads.
    e. utilize rain and freeze sensors.
12. Plans shall be drawn to scale. Contractor shall submit 'as-built' record drawing of complete irrigation system to Owner and shall include but not limited to the following: mainline, valves, quick couplers, irrigation meter and gate valves.
13. Square spacing of heads shall not be permitted. All heads to be 'head-to-head' spacing.
14. Contractor shall be responsible for verifying conditions of existing irrigation system, if present on site. Contractor shall be responsible for maintaining the integrity of existing irrigation where possible, including but not limited to irrigation controller, meter, sleeving, etc.
15. The irrigation contractor shall coordinate installation of the system with the landscape contractor so that all plant material will be watered in accordance with the intent of the plans and specifications.
16. The irrigation contractor shall select the proper arc and radius for each nozzle, insure 100% coverage of all lawn areas, insure no water spray towards the building and insure that water does not throw onto sidewalks or streets.

PEI WEI
4801 BELTLINE ROAD
ADDISON, TEXAS

smr
landscape architects, inc.
1708 N. Griffin Street
Dallas, Texas 75202
Tel 214.871.0083
Fax 214.871.0545
Email smr@smr-la.com

BERNBAUM ASSOCIATES MAGADINI
4928 McKinney Avenue
#105, Dallas, Tx 75205
Telephone 214.219.4626
Fax 214.521.3266

REVISION

JOB NUMBER
03109

DATE
2.20.04

SHEET NUMBER
L1.2

STATE OF TEXAS
BRIAN D. ADAMS
1761
REGISTERED LANDSCAPE ARCHITECT

DRAWING ABBREVIATIONS AND SYMBOL MODIFIERS

ABBREVIATION	DESCRIPTION
A	AMPERES OR TRIP AMPERES
ABV	ABOVE
A/C	AIR CONDITIONING
AF	AMPERE FRAME
AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
AHU	AIR HANDLING UNIT
AIC	AMPERE INTERRUPTING CAPACITY
ALT	ALTERNATE
ARCH	ARCHITECT
AT	AMPERE TRIP
ATS	AUTOMATIC TRANSFER SWITCH
AUTO	AUTOMATIC
AUX	AUXILIARY
AWG	AMERICAN WIRE GAUGE
BLDG	BUILDING
BOD	BOTTOM OF DUCT
BOP	BOTTOM OF PIPE
BTC	BRANCH TO CONNECTION
BTUH	BRITISH THERMAL UNIT PER HOUR
C	CONDUIT
CB	CIRCUIT BREAKER
CCTV	CLOSED CIRCUIT TELEVISION
CFM	CUBIC FEET PER MINUTE
CKT	CIRCUIT
CL	CENTER
CLG	CEILING
COL	COLUMN
COMP	COMPRESSOR
COND	CONDENSER
CPT	CONTROL POWER TRANSFORMER
CT	CURRENT TRANSFORMER
CU	COPPER
DBT	DRY BULB TEMPERATURE
DCO	DUPLEX CONVENIENCE OUTLET
DEG	DEGREES
DFA	DOWN FROM ABOVE
DIA	DIAMETER
DN	DOWN
DP	DISTRIBUTION PANEL
DPDT	DOUBLE POLE DOUBLE THROW
DPST	DOUBLE POLE SINGLE THROW
DTL	DETAIL
DWG	DRAWING
DX	DIRECT EXPANSION
E/A	EXHAUST AIR
EXIST.	EXISTING
EA	EACH
EAT	ENTERING AIR TEMPERATURE
EFF	EFFICIENCY
ERR	ENERGY EFFICIENCY RATING
EJ	EXPANSION JOINT
ELEC	ELECTRICAL
ELEV	ELEVATOR
EMCS	ENERGY MONITORING AND CONTROL SYSTEM
EMERG	EMERGENCY
EMT	ELECTRIC METALLIC CONDUIT
EQ	EQUIPMENT
ESP	EXTERNAL STATIC SYSTEM
EWC	ELECTRIC WATER COOLER
EWH	ELECTRIC WATER HEATER
EWT	ENTERING WATER TEMPERATURE
EXH	EXHAUST
F	FAHRENHEIT
FA	FIRE ALARM
FACP	FIRE ALARM CONTROL PANEL
FCO	FLOOR CLEAN OUT
FCU	FAN COIL UNIT
FD	FLOOR DRAIN
FDS	FUSED DISCONNECT SWITCH
FF	FINISH FLOOR
FG	FINISH GRADE
FHC	FIRE HOSE CABINET
FLA	FULL LOAD AMPS
FLUOR	FLUORESCENT
FPM	FEET PER MINUTE
FT	FEET/FOOT (')
FVNR	FULL VOLTAGE NON-REVERSING
GA	GAUGE
GALV	GALVANIZED
GCO	GRADE CLEAN OUT
GEN	GENERATOR
GFI	GROUND FAULT INTERRUPTER
GPM	GALLONS PER MINUTE
HB	HOSE BIB
HOA	HAND-OFF-AUTOMATIC
HP	HORSEPOWER
HPS	HIGH PRESSURE SODIUM
HR	HOUR
HT	HEIGHT
HTR	HEATER
HV	HIGH VOLTAGE (ABOVE 600 VOLTS)
HVAC	HEATING VENTILATION AND AIR CONDITIONING
HZ	HERTZ-FREQUENCY IN CYCLE PER SECOND
ID	INSIDE DIAMETER
IN	INCH/INCHES (")
INCAD	INCANDESCENT
JB	JUNCTION BOX
K	KEY INTERLOCK
Kcmil	1000 CIRCULAR mils
KV	KILOVOLTS (THOUSAND VOLTS)
KVA	KILOVOLTS-AMPS (THOUSAND VOLT-AMPS)
KW	KILOWATT (THOUSAND WATTS)
KWD	KILOWATT DEMAND
KWH	KILOWATT HOUR
LA	LIGHTING ARRESTOR
LAN	LOCAL AREA NETWORK
LAT	LEAVING AIR TEMPERATURE
LAV	LAVATORY
LBS	POUNDS
LL	LIVE LOAD
L-L	LINE TO LINE
L-N	LINE TO NEUTRAL
LS	LIFE SAFETY
LTG	LIGHTING
LTS	LIGHTS
LV	LOW VOLTAGE (BELOW 50 VOLTS)
LWT	LEAVING WATER TEMPERATURE

ABBREVIATION	DESCRIPTION
MATV	MASTER ANTENNA TELEVISION
MAX	MAXIMUM
MBH	THOUSAND BRITISH THERMAL UNITS PER HOUR
MCA	MINIMUM CIRCUIT AMPS
MCB	MAIN CIRCUIT BREAKER
MCC	MOTOR CONTROLLED CENTER
MECH	MECHANICAL
MFR	MANUFACTURER
MH	MANHOLE
MIN	MINIMUM
MISC	MISCELLANEOUS
MLO	MAIN LUGS ONLY
MOCP	MAXIMUM OVER CURRENT PROTECTION
MTD	MOUNTED
MTG	MOUNTING
MTS	MANUAL TRANSFER SWITCH
N	NEUTRAL
NA	NOT APPLICABLE
NC	NORMALLY CLOSED
NEC	NATIONAL ELECTRIC CODE
NFDS	NON-FUSED DISCONNECT SWITCH
NIC	NOT IN CONTRACT
NO	NORMALLY OPEN, NITROUS OXIDE
NTS	NOT TO SCALE
O/A	OUTSIDE AIR
OBD	OPPOSED BLADE DAMPER
OC	ON CENTER
OD	OUTSIDE DIAMETER
OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED
OFD	OVER FLOW DRAIN
OFOI	OWNER FURNISHED, OWNER INSTALLED
OH	OVERHEAD
OHP	OVERHEAD PRIMARY
OHS	OVERHEAD SECONDARY
OHE/T	OVERHEAD ELECTRIC/TELEPHONE
OPP	OPPOSITE
P	PRIMARY OR POLES
PA	PUBLIC ADDRESS
PB	PULL BOX
PE	PHOTO ELECTRIC
PF	POWER FACTOR
PH	PHASE
PNL	PANEL BOARD
PLBG	PLUMBING
PSI	POUND PER SQUARE INCH
PT	POTENTIAL TRANSFORMER
PVC	POLYVINYL CHLORIDE
PWR	POWER
Q	QUARTZ RESTRIKE
QTY	QUANTITY
R	RELOCATE AS SHOWN
R/A	RETURN AIR
RECEPT	RECEPTACLE
RECIRC	RECIRCULATION
RE	REFERENCE
REF,	REFER TO,
REQ	REQUIRED
RF	RADIO FREQUENCY
RGC	RIGID GALVANIZED STEEL CONDUIT
RH	RELATIVE HUMIDITY
RD	ROOF DRAIN
RLA	RATED LOAD AMPS
RPM	REVOLUTION PER MINUTE
RTU	ROOFTOP UNIT
SA	SUPPLY AIR
SCO	SINGLE CONVENIENCE OUTLET
SD	SMOKE DAMPER, STORM DRAIN, SHOWER DRAIN
SEC	SECONDARY
SEER	SEASONAL ENERGY EFFICIENCY RATING
SF	SQUARE FOOT
SIM	SIMILAR
SP	STATIC PRESSURE
SPECS	SPECIFICATIONS
SPDT	SINGLE POLE DOUBLE THROW
SPST	SINGLE POLE SINGLE THROW
SQ	SQUARE
SR	SPECIAL RECEPTACLE
S/S	STAINLESS STEEL
SW	SWITCH
SWBD	SWITCH BOARD
SYM	SYMMETRICAL
TC	TIME CLOCK
TEL	TELEPHONE
TEMP	TEMPERATURE
TOD	TOP OF DUCT
TOP	TOP OF PIPE
TOS	TOP OF SLAB
TP	TAMPERPROOF
TSP	TOTAL STATIC PRESSURE
TSTAT	THERMOSTAT
TTB	TELEPHONE TERMINAL BOARD
TTC	TELEPHONE TERMINAL CABINET
TV	TELEVISION
TYP	TYPICAL
UH	UNIT HEATER
UG	UNDERGROUND
UGP	UNDERGROUND PRIMARY
UGS	UNDERGROUND SECONDARY
UGT	UNDERGROUND TELEPHONE
UL	UNDERWRITER'S LABORATORY
UON	UNLESS OTHERWISE NOTED
UPS	UNINTERRUPTED POWER SUPPLY
V	VOLTS
VA	VOLT AMPERES
VAV	VARIABLE AIR VOLUME
VD	VOLUME DAMPER
VFD	VARIABLE FREQUENCY DRIVE
VTR	VENT THROUGH ROOF
W	WIRE
W/	WITH
W/O	WITHOUT
WB	WET BULB (TEMPERATURE)
WCO	WALL CLEAN OUT
WG	WATER GAUGE
WP	WATER PROOF
WT	WATERTIGHT
XFMR	TRANSFORMER
YCO	YARD CLEAN OUT
% Z	PERCENT IMPEDANCE

GENERAL SYMBOL LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
(1)	NOTE BY SYMBOL DESIGNATION		CONTINUATION OF SYSTEM OR LINE

NOTES:
1. ALL ABBREVIATIONS AND SYMBOLS ARE NOT NECESSARILY USED.
2. EXISTING WORK THAT IS TO BE REMOVED IS DENOTED BY DASHED LIGHT LINEWORK OR BY NOTE.
3. ALL EXISTING WORK TO REMAIN IS DENOTED BY SOLID LIGHT LINEWORK OR BY NOTE.
4. ALL MATERIALS, LABOR, COORDINATION, AND SUPERVISION IS BY CONTRACTOR UNLESS SPECIFICALLY NOTED "BY OWNER" OR "NIC". CONTRACTOR SHALL COORDINATE AND INSTALL EQUIPMENT WHEN NOTED "OWNER FURNISHED".
5. LIGHT FIXTURE SYMBOLS MAY VARY. REFER TO LIGHTING PLAN AND ARCHITECTURAL REFLECTED CEILING PLAN.
6. SYMBOLS USED, BUT NOT ON THE LEGEND ARE NOTED ON THE PLAN.

ELECTRICAL SYMBOL LEGEND

SYMBOL	DESCRIPTION
A	2'X4' FLUORESCENT LIGHT FIXTURE (LETTER DENOTES TYPE)
A	2'X2' FLUORESCENT LIGHT FIXTURE (LETTER DENOTES TYPE)
	4' OR 8' FLUORESCENT LIGHT FIXTURE
⊘	LIGHT FIXTURE CONNECTED TO NIGHT LIGHT/EMERGENCY CIRCUIT OR EQUIPPED W/ INTEGRAL BATTERY PACK
	4' OR 8' FLUORESCENT STRIP LIGHT FIXTURE
	4' OR 8' EMERGENCY FLUORESCENT STRIP LIGHT FIXTURE
	4' OR 8' LIGHT FIXTURE CONNECTED TO NIGHT LIGHT/ EMERGENCY CIRCUIT OR EQUIPPED W/ INTEGRAL BATTERY PACK
	WALL MOUNTED LIGHT FIXTURE
A	CEILING MOUNTED LIGHT FIXTURE-UON-(LETTER DENOTES TYPE)
	WALL WASHER
	EGRESS LIGHT FIXTURE W/ BATTERY PACK
	EXIT LIGHT FIXTURE, CEILING MOUNTED, WITH ARROW
	EXIT LIGHT FIXTURE, WALL MOUNTED (SHADED PORTION INDICATES LIGHTED FACE)
$	SINGLE POLE SWITCH, 48" AFF TO CENTERLINE-UON
$2	DOUBLE POLE SWITCH, 48" AFF TO CENTERLINE-UON
$3	THREE WAY SWITCH, 48" AFF TO CENTERLINE-UON
$4	FOUR WAY SWITCH, 48" AFF TO CENTERLINE-UON
$D	DIMMER SWITCH, 48" AFF TO CENTERLINE-UON
$F	VARIABLE SPEED FAN CONTROL SWITCH, 48" AFF TO CENTERLINE-UON
$J	JAMB SWITCH, 48" AFF TO CENTERLINE-UON
$K	KEY OPERATED SWITCH, 48" AFF TO CENTERLINE-UON
$M	MANUAL MOTOR STARTER SWITCH, 48" AFF TO CENTERLINE-UON
$P	SWITCH AND PILOT LIGHT, 48" AFF TO CENTERLINE-UON
$V	VOLUME CONTROL SWITCH, 48" AFF TO CENTERLINE-UON
	SIMPLEX RECEPTACLE, +16" AFF TO CENTERLINE-UON
C	CLOCK HANGER RECEPTACLE
	DUPLEX RECEPTACLE, +16" AFF TO CENTERLINE-UON
	DUPLEX RECEPTACLE, (ABOVE COUNTER)
	QUADPLEX RECEPTACLE, +16" AFF TO CENTERLINE-UON
IG	ISOLATED GROUND RECEPTACLE, +16" AFF TO CENTERLINE-UON
	DUPLEX RECEPTACLE HALF SWITCHED,+16" AFF TO CENTERLINE-UON
H	HOSPITAL GRADE DUPLEX RECEPTACLE, +16" AFF CENTERLINE-UON
GFI	GFI DUPLEX RECEPTACLE
EP	HOSPITAL GRADE DUPLEX RECEPTACLE ON EMERGENCY POWER (RED DEVICE AND COVER PLATE WITH CIRCUIT NUMBER ENGRAVED ON FACE) ON CRITICAL BRANCH.
	SPECIAL PURPOSE RECEPTACLE
	TWIST LOCK RECEPTACLE
	FLOOR RECEPTACLE (FLUSH-UON)
	MULTIOUTLET ASSEMBLY
	MAIN OR DISTRIBUTION PANELBOARD (SHOWN TO SCALE ON PLAN)
	BRANCH CIRCUIT PANELBOARD (SINGLE SECTION)
	RECESSED BRANCH CIRCUIT PANELBOARD (SINGLE SECTION)
T	TRANSFORMER (SHOWN TO SCALE ON PLAN)
	DISCONNECT SWITCH
	DISCONNECT SWITCH, FUSED
100/100/3	FDS SIZE/FUSE SIZE/NUMBER OF POLES
	DISCONNECT SWITCH, WITH INTEGRAL STARTER
	MOTOR STARTER/CONTROLLER
H	HEATER CONNECTION
	MOTOR CONNECTION
J	JUNCTION BOX
J	JUNCTION BOX - WALL MOUNTED
	BELL
	BUZZER
TV	TELEVISION ANTENNA OUTLET, 16" AFF TO CENTERLINE-UON
	SYSTEM CLOCK ("M" DENOTES MASTER; DF DENOTES DOUBLE FACE) 90" AFF TO CENTERLINE
12†	CIRCUIT WITH NEUTRAL, HOT, SWITCHLEG, AND GROUND (3-WAY SWITCH TRAVELERS SHOWN AS SWITCHLEGS)
	CIRCUIT UNDERFLOOR OR UNDERGROUND
	CIRCUIT TO BE REMOVED
	CIRCUIT WITH 2#12, 1#12G. CONDUCTORS AND 1/2" C. IS REQUIRED WHEN NO MARKS ARE SHOWN UON
	CONDUIT STUBBED UP AND CAPPED
	LOW VOLTAGE WIRING
	FLEX CONNECTION
A-1	HOMERUN TO PANEL A, CIRCUIT 1
A-1,3,5	CIRCUIT HOMERUN - THREE CIRCUITS INDICATED
UH-2	EQUIPMENT DESIGNATION (FURNISHED BY OTHER DIVISIONS, OWNER OR ETC...) SEE EQUIPMENT SCHEDULE

SYMBOL	DESCRIPTION
*	ADJACENT TO DEVICE DENOTES ABOVE COUNTER TOP, COORDINATE EXACT PLACEMENT WITH ARCHITECTS ELEVATION; IF NOT SHOWN, INSTALL 6" ABOVE COUNTER TOP
	GROUND
PB	PUSHBUTTON
	START/STOP STATION
EPO	EMERGENCY POWER "OFF" PUSHBUTTON
	CEILING FAN (LETTER DENOTES TYPE)
	CEILING FAN WITH LIGHT KIT (LETTER DENOTES TYPE)
F	FIRE ALARM PULL STATION, 48" AFF TO CENTERLINE
F	FIRE ALARM VISUAL STATION, 80" AFF OR 6" BELOW CEILING WHICHEVER IS LOWER
F	FIRE ALARM AUDIO/VISUAL STATION, 80" AFF OR 6" BELOW CEILING WHICHEVER IS LOWER
F	FIRE ALARM AUDIO STATION
S	FIRE ALARM SMOKE DETECTOR
S	FIRE ALARM SINGLE STATION SMOKE DETECTOR WITH INTEGRAL HORN
D	FIRE ALARM DUCT SMOKE DETECTOR
H	HEAT DETECTOR
CO	CARBON MONOXIDE DETECTOR
DH	MAGNETIC DOOR HOLDER
TS	FIRE SPRINKLER TAMPER SWITCH
FS	FIRE SPRINKLER FLOW SWITCH
FACP	FIRE ALARM CONTROL PANEL
COCP	CARBON MONOXIDE PANEL
FARA	FIRE ALARM REMOTE ANNUNCIATION
P/C	PHOTOCELL
T/S	TIMESWITCH
C	CONTACTOR
A	INTRUSION ALARM
OCS	WALL OCCUPANCY SENSOR
OS	CEILING OCCUPANCY SENSOR
SCP	SECURITY CONTROL PANEL
NCP	NURSE CALL PANEL
NCA	NURSE CALL ANNUNCIATION
	CLOSED CIRCUIT TV CAMERA
TWP	CLOSED CIRCUIT TV CAMERA WITH OUTDOOR HOUSING AND TILT, PAN ZOOM LENS
KP	KEY PAD
ES	ELECTRIC STRIKE
CR	CARD READER
	TELEPHONE OUTLET, 16" AFF TO CENTERLINE
*	TELEPHONE OUTLET ABOVE COUNTER
W	WALL MOUNTED TELEPHONE OUTLET, 48" AFF TO CENTERLINE
P	PAY TELEPHONE OUTLET, 36" AFF TO CENTERLINE
	FLOOR TELEPHONE OUTLET (FLUSH-UON)
	DATA OUTLET, 16" AFF TO CENTERLINE
	FLOOR DATA OUTLET (FLUSH-UON)
	COMBINATION TELEPHONE/DATA OUTLET, 16" AFF TO CENTERLINE
	FLOOR DATA/TELEPHONE OUTLET (FLUSH-UON)
S	CEILING SPEAKER ("LS" DENOTES LIFE SAFETY)
SV	CEILING SPEAKER WITH VOLUME CONTROL ("LS" DENOTES LIFE SAFETY)
WS	WALL SPEAKER ("LS" DENOTES LIFE SAFETY)
M	MICROPHONE FLOOR OUTLET
M	MICROPHONE OUTLET - WALL MOUNTED
TTC	TELEPHONE TERMINAL CABINET WITH PLYWOOD BACKBOARD
TTB	TELEPHONE TERMINAL BOARD - 4'X8'X3/4" PLYWOOD-UON
I	INTERCOM STATION
IM	INTERCOM MASTER STATION
N	NURSE CALL
NM	NURSE CALL MASTER STATION
NS	NURSE CALL STAFF
NB	NURSE CALL BED
NC	NURSE CALL CORD
N	NURSE CALL DOME LIGHT
B	CODE BLUE BUTTON
M	ELECTRIC METER AND METER SOCKET

MECHANICAL SYMBOL LEGEND

SYMBOL	DESCRIPTION
SS	SANITARY SEWER
GW	GREASE WASTE
	PLUMBING VENT
SD	STORM DRAIN
OFD	OVERFLOW STORM DRAIN
-	DOMESTIC COLD WATER
- -	DOMESTIC HOT WATER
- - -	DOMESTIC HOT WATER RECIRC
A	AIR LINE
F	FIRE LINE
G	GAS LINE
RL	REFRIGERANT LIQUID LINE
RS	REFRIGERANT SUCTION LINE
RD	REFRIGERANT DISCHARGE LINE
CHS	CHILLED WATER SUPPLY
CHR	CHILLED WATER RETURN
HWS	HEATING WATER SUPPLY
HWR	HEATING WATER RETURN
CWS	CONDENSER WATER SUPPLY
CWR	CONDENSER WATER RETURN
	DIRECTION OF FLOW
D	EQUIPMENT OR FIXTURE DRAIN LINE
	SUBSOIL DRAIN
V	VACUUM
O	OXYGEN
NO	NITROUS OXIDE
N	NITROGEN
MA	MEDICAL AIR
A	COMPRESSED AIR
UF	UNDERFLOOR
P	PUMPED WASTE OR STORM LINE
AW	ACID WASTE
AV	ACID VENT
	PIPING TO BE INSTALLED
	EXISTING PIPING TO REMAIN
	EXISTING PIPING TO BE REMOVED
	POINT OF CONNECTION TO EXISTING
	O.S.&Y VALVE
	TEST PLUG
	BALL VALVE
	PLUG VALVE (BALANCE COCK)
	SOLENOID VALVE
	CHECK VALVE
	GAS COCK
	GATE VALVE
	BUTTERFLY VALVE
	MOTORIZED BUTTERFLY VALVE
	THERMOMETER
HB	HOSE BIBB
NFWH	NON-FREEZE WALL HYDRANT
YH	YARD HYDRANT
SD	SHOWER DRAIN
FD	FLOOR DRAIN
AD	AREA DRAIN
RD	ROOF DRAIN
OD	OVERFLOW DRAIN
HD	HUB DRAIN
OSD	OPEN SIGHT DRAIN
VTR	VENT THRU ROOF
CO	CLEANOUT

SINGLE LINE	DOUBLE LINE	DESCRIPTION
		FCO CLEANOUT IN FLOOR
		GCO CLEANOUT IN GRADE
	DCO	DOUBLE CLEANOUT
		WCO CLEANOUT IN WALL
		CAP
		STRAINER
		UNION
		SHOCK ARRESTOR
		PRESSURE GAUGE
		DIRECTION OF SLOPE W/ INCHES/FT DROP
		FLOOR SINK (1/2 GRATE & FULL GRATE)
		AUTO. SPRINKLER VALVE ASSEMBLY - WET SYSTEM
		AUTO. SPRINKLER VALVE ASSEMBLY - DRY SYSTEM
		FIRE DEPARTMENT CONNECTION
		PIPING DOWN
		PIPING UP
		90 DEGREE ROUND DUCT DOWN
		90 DEGREE ROUND DUCT UP
		ROUND RADIUS ELBOW
		SIZE OR SHAPE TRANSITION
		FLEXIBLE DUCT TAP
		90 DEGREE S/A ELBOW DOWN
		90 DEGREE S/A ELBOW UP
		90 DEGREE OR RADIUS RETURN AIR OR EXHAUST ELBOW DOWN
		90 DEGREE OR RADIUS RETURN AIR OR EXHAUST ELBOW UP
		SUPPLY DUCT RISER
		RETURN OR EXHAUST DUCT RISER
		DUCT RISER MAKE-UP AIR
		RECTANGULAR RADIUS ELBOW
		RECTANGULAR ELBOW WITH TURNING VANES
		BRANCH TAKE-OFF WITH ADJUSTABLE VANED EXTRACTOR
		TEE WITH SQUARE ELBOWS, TURNING VANES & SPLITTER DAMPER
		LINED DUCTWORK (OR AS SPECIFIED)
		SIDEWALL SUPPLY GRILLE OR REGISTER WITH AIR EXTRACTOR
		EXISTING DUCTWORK TO REMAIN
		EXISTING DUCTWORK TO BE REMOVED
		NEW DUCTWORK
		S/A GRILLE OR REGISTER
		R/A / EXH. GRILLE OR REGISTER
		VOLUME DAMPER
		FIRE DAMPER
		FIRE / SMOKE DAMPER
		MOTORIZED DAMPER
T	T	THERMOSTAT
H	H	HUMIDISTAT
S	S	REMOTE SENSOR
S-1 / 400	S-1 / 400	DIFFUSER/REGISTER/GRILL DESIGNATION CFM

(1) MEP - SYMBOL LEGEND
SCALE: NTS

MEP
4801 BELTLINE ROAD
ADDISON, TEXAS

BERNBAUM MAGADINI ARCHITECTURE

4828 McKinney Avenue
#108, Dallas, TX 75205
Telephone 214.219.4585
Fax 214.521.2266

bei
basharkhah engineering incorporated
consulting engineers
STATE OF TEXAS
S. BASHARKHAH
63894
REGISTERED PROFESSIONAL ENGINEER
2/23/04
2520 fairmount street
dallas texas 75201
(214) 720-1005

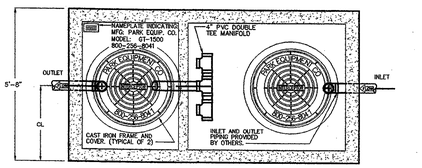
BEI Job # 04030

REVISION

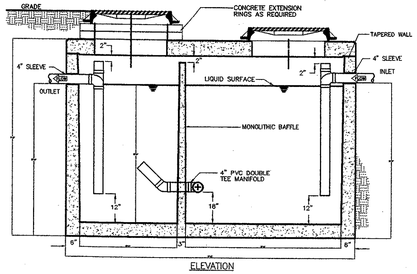
JOB NUMBER 03109

DATE 02.20.04

SHEET NUMBER MEP1



PLAN VIEW



ELEVATION

Specifications

CONCRETE : Class 1 concrete with design strength of 4500 PSI at 28 days. Unit is of monolithic construction at floor, first stage of wall and baffle with sectional riser to required depth, gross empty weight of approximately 18,000 lbs.

REINFORCEMENT: Grade 60 reinforced with steel rebar conforming to ASTM A615 on required centers or equal. Structural design is based on AASHTO HS-20 loading.

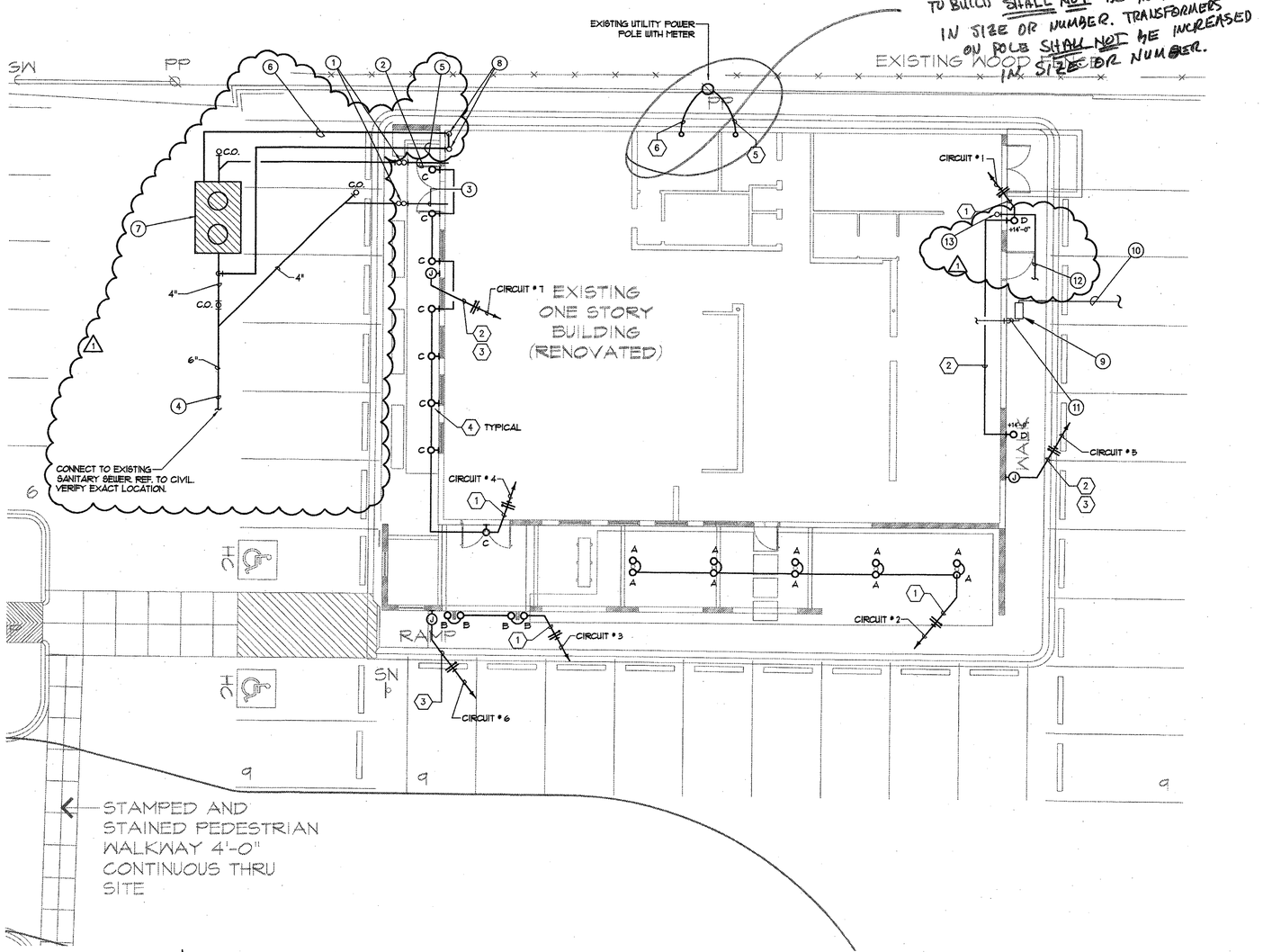
C.I. CASTINGS: Manhole frames, covers or grates are manufactured of grey cast iron conforming to ASTM A48-76 Class 30. Manhole shall have 24 inch inside diameter and be traffic duty.

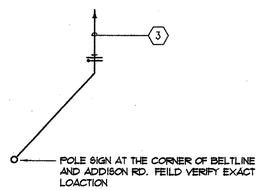
Engineering Data

Interceptor is structurally and hydraulically engineered conforming to Uniform Plumbing Code. Nominal liquid capacity is 1,500 gallons with total grease & solids retention capacity of approximately 3,500 lbs. Recommended for average flow rates of 17 GPM & intermittent flow rate up to 25 GPM. Manufacturer to provide structural drawings & buoyancy calculations certified by a licensed engineer. Field excavation and preparation shall be completed prior to delivery of interceptor. Use dimensional data as shown.

2 GREASE INTERCEPTOR DETAIL

SCALE: NOT TO SCALE





1 SITE PLAN - MEP

SCALE: 1/8" = 1'-0"

GENERAL NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE, AND LOCAL CODES AND STANDARDS.
2. THE CONTRACTOR WILL BE RESPONSIBLE FOR VERIFICATION OF ALL SITE CONDITIONS INCLUDING SIZE, LOCATION, AND INVERT OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL CONTACT EACH UTILITY COMPANY TO VERIFY THEIR INSTALLATION REQUIREMENTS AND ANY FEES OR PERMITS WHICH WILL BE NECESSARY FOR INSTALLATION. THE CONTRACTOR WILL BE REQUIRED TO PAY ALL FEES OR PERMIT CHARGES RELATED TO EACH UTILITY INSTALLATION.
3. THE CONTRACTOR WILL BE REQUIRED TO VERIFY THE SIZE AND PRESSURE OF GAS SERVICE AND METER WITH GAS COMPANY. THE CONTRACTOR WILL BE REQUIRED TO CONTACT GAS COMPANY PRIOR TO GAS SERVICE INSTALLATION TO VERIFY EXACT REQUIREMENTS AND FEES.
4. THE CONTRACTOR SHALL CONTACT CITY SEWER AND WATER DEPARTMENTS FOR INSTALLATION STANDARDS FOR SEWER AND WATER SERVICE. THE CONTRACTOR WILL BE RESPONSIBLE FOR COMPLYING WITH ALL CITY CODES AND STANDARDS. THE CONTRACTOR SHALL CONTACT CITY SEWER AND WATER DEPARTMENT FOR EXACT REQUIREMENTS FOR TAPPING CITY SEWER AND WATER MAIN AND PAY ALL APPLICABLE CHARGES.

NOTES BY SYMBOL "⬡"

1. TWO-WAY CLEANOUT.
2. 4" GREASE WASTE LINE.
3. 4" SANITARY SEWER LINE.
4. 6" BUILDING SEWER. REFER TO CIVIL DRAWINGS FOR CONTINUATION.
5. 4" VENT BELOW GRADE.
6. 2" VENT BELOW GRADE.
7. 1500 GALLON GREASE INTERCEPTOR EQUAL TO: PARK GT1500.
8. 2" VENT AND 4" VENT UP INSIDE BUILDING, OFFSET 2" TO 4" ABV. CEILING AND RUN 4" VENT THRU ROOF.
9. EXISTING GAS METER. VERIFY EXACT LOCATION.
10. EXISTING GAS SERVICE. VERIFY EXACT LOCATION.
11. NEW GAS LINE FROM EXISTING METER UP TO ROOF. SIZE AS REQUIRED BY TENANT.
12. NEW 2" WATER SERVICE. REFER TO CIVIL DRAWINGS FOR CONTINUATION.
13. 2" DOMESTIC WATER RISER. TENANT SHALL PROVIDE BACKFLOW PREVENTION AS REQUIRED BY LOCAL AUTHORITY. VERIFY EXACT LOCATION.

NOTES BY SYMBOL "⬡"

1. ROUTE 2 #12, 1 #12 GRD. TO FUTURE TENENT PANEL VIA TIME CLOCK "ON" TIME CLOCK "OFF".
2. ROUTE CONDUIT ON BACK SIDE OF PARAPET.
3. PROVIDE (1) 20A/120V CIRCUIT FOR SIGN. VERIFY CONTROL REQUIREMENTS WITH OWNER.
4. REFER TO ARCH. DETAIL FOR MOUNTING HEIGHT.
5. GENERAL CONTRACTOR TO EXTEND (2) 4" E.C. WITH 2 SETS OF 4 #350 KCMIL, 1 #1 CU. GRD. FROM SERVICE POOL TO NEW PANEL PROVIDED BY OTHERS FOR SINGLE 120/208V, 600A, 3Φ, 4W SERVICE.
6. GENERAL CONTRACTOR TO EXTEND (2) 2" E.C FOR TELEPHONE SERVICE TO TENENT TELEPHONE BOARD.

LIGHTING FIXTURE SCHEDULE

TYPE	MTG.	NO./LAMPS	LAMPS	VOLTS	MANUFACTURER	CATALOG NUMBER	REMARKS
A	GROUND MTD. UP LIGHT	1	OSRAM/SYLVANIA 50AR111/8/SP	120	BK LIGHTING	CA-O-BZP-9-11-A-T8-MB-2-120	
B	FLUSH MTD. UP LIGHT	1	OSRAM/SYLVANIA 50AR111/8/SP	120	BK LIGHTING	HP2-AR-TR-O-BZP-11-13-120-AH-CPC	
C	WALL MTD. UP LIGHT	1	OSRAM/SYLVANIA 70W/T6/G12 BABE	120	LAM	IN300-WL-1-6-A-70MHMC-NAT-120	
D	WALL MTD. AREA LIGHT	1	OSRAM/SYLVANIA MP70/U/MED	120	THOMAS LTG. NITEBRITE6	WLP-070-M-120-LP	

NOTES: 1. ALL FLUORESCENT LIGHT FIXTURES TO HAVE ELECTRONIC BALLASTS.
2. VERIFY TYPE OF CEILING AND PROVIDE CORRECT TRIM, MOUNTING HARDWARE, ETC.

PEI WEI
4601 BELTLINE ROAD
ADDISON, TEXAS

BERNBAUM MAGADINI ARCHITECTURE

4528 McKinney Avenue
#105, Dallas, TX 75205
Telephone 214.219.4525
Fax 214.521.2286

REVISION

bei
basharkhah engineering incorporated
consulting engineers

3/24/04

2520 fairmount street
dallas texas 75201
(214) 720-1005

BEI Job # 04030

JOB NUMBER
0309

DATE
02.20.04

SHEET NUMBER
MEP2

DIVISION 15 - MECHANICAL

15-01. GENERAL:

1. Furnish all labor, materials, services equipment and appliances required for the complete furnishing and installing of the mechanical systems.

15-02. UTILITIES, LOCATIONS AND ELEVATIONS:

1. Locations and elevations of the various utilities, included within the scope of this contract, have been obtained from utility maps and/or other substantially reliable sources and are offered separate from the Contract Documents as a general guide only, without guarantee as to accuracy. Examine the site and verify the locations and elevations of all utilities relating to this work.

15-03. PERMITS AND APPROVALS:

1. All work done under this contract shall comply with all local and state codes having jurisdiction and with the requirements of the utility companies whose services may be used. All modifications required by these codes shall be made without additional charge. Where code requirements are less than those shown on the plans or in the specifications, the plans and specifications shall be followed. Where applicable, EPA, FDA, USDA, NFPA and Department of Health requirements shall be met.

2. Obtain all permits, inspections and approvals as required by all authorities having jurisdiction. All fees and costs of any nature whatsoever incidental to these permits, inspections and approvals must be assumed and paid for.

15-04. INTENT:

1. It is the intent of the plans and specifications to provide a complete installation which will operate satisfactorily. Any apparatus, appliance, material, appurtenance or labor that may be necessary to complete the work in accordance with the intent or purpose of these specifications shall be furnished and installed without extra cost, as if mentioned in the specification or shown on the drawings.

15-05. PIPING, VALVES AND ACCESSORIES:

1. Furnish and install, including all labor and material required, the various piping systems as specified, adhering to the general routing and methods of distribution shown on the drawings, including all required pipes, fittings, valves, hangers, sleeves, inserts, other items and appurtenances as may be required for the satisfactory operation of the various systems.

2. All exposed pipes passing through floors, ceilings, or walls in finished occupied areas shall be provided with nickel or chrome-plated floor and ceiling escutcheon plates of approved pattern.

3. Access doors shall be furnished and installed where valves are concealed. Doors shall be at least 12" by 12" in size, and shall be Milcor doors made by Inland Steel. Bilco, or Babcock-Davis. Type M doors shall be used in gypsum drywall, ceramic tile and masonry surfaces. All doors shall have screwdriver operated cam locks. Must be painted to match adj finish.

4. Individual hangers for overhead piping shall generally have adjustable swivel pipe rings with suspended rods of ample strength, Grinnell No. 101 or 104. Such service pipes, as are practical, shall be placed at the same elevation and the various trades shall cooperate with each other and install multiple trapeze hangers wherever possible. "Clevis" type pipe hangers such as Elcen No. 12 will be acceptable. Size and spacing as per Grinnell.

5. Pipe hanger guards shall be provided for all insulated pipe. Hanger guards shall be constructed of No. 16 gauge galvanized sheet steel.

6. PIPE APPLICATIONS AND MATERIAL

A.	Domestic Water Underground Piping Exterior and Under Slab:	Type K, ASTM B88, Soft Copper annealed temper. No lead solder.
B.	Sanitary Waste and Vent within Building:	Cast iron ASTM A74 soil soil pipe.
C.	Gas Pipe:	Schedule 40 ASTM A53 black steel.
D.	Exterior Sanitary Sewer and overflow	Schedule 40 ASTM D2665-73 PVC

7. PIPE MATERIALS

A. Copper Pipe: Type K, and L, and M Copper pipe shall be manufactured in accordance with ASTM B88.

B. Cast Iron Soil Pipe:

a. Cast iron soil pipe shall be service weight cast soft pipe ASTM-A-74 with neoprene gasket compression joints.

b. "No Hub" neoprene sleeve and stainless steel band and clamp type joints will be allowed for above slabs only.

3. Exterior sanitary sewer piping beyond 5'-0" of building, Schedule 40 PVC Drainage Pipe: Drainage piping shall be poly-vinyl chloride drainage waste and vent piping ASTM-D-2665-73. Sanitary drainage pattern fitting shall be used throughout. Install in complete accordance with IAMPO15 9-75.

4. Drainage Piping: Copper drainage pipe shall be Type DWV copper drainage tubing, ASTM-B-306 with cast bronze solder joint DWV fittings, Drainage pattern ANSI-B-16.23. Solder material 50-50 tin lead ASTM-b-32.

5. Carbon Steel:

a. Steel pipe shall be black conforming to ASTM-A-120, a-135, or A-53, Grade B, 3/4" - 1 1/2" Type F and 2" - 24" Type E or S, or hot dipped Galvanized as indicated. Sizes 2" and smaller shall be threaded and joined with 150 pound malleable iron fittings conforming to ASTM A-47. Pipe shall be joined by using standard weight, factory fabricated fittings and weld on 2 1/2" and larger pipe. Galvanized steel pipe shall be joined by couplings. Welding and threading shall not be used to join galvanized pipe.

6. Weatherproofing: The annular space between a pipe and its sleeve in exterior walls or through floor to below grade shall be filled and made watertight with a permanent elastic compound. Seal surfaces of wall or floor.

7. Natural gas piping shall be schedule 40 black steel pipe with screwed malleable fittings.

15-06. SANITARY WASTE AND VENT SYSTEM:

1. All sanitary drainage lines (soil, waste, and vent) shall be ATSM A-74 service weight cast iron soil pipe and fittings, coated inside and out. Joints shall be fabricated by the use of dry oakum packing, forced into the annular space, and then the joint shall be filled with ingot lead, poured in, with one pound of lead used for each 1" diameter of pipe. The joint shall then be well caulked and the lead shall be one inch minimum depth and brought to the top of the joint and faced. Compression type joints similar to Tyler acceptable if approved by Plumbing Inspector. "No-Hub" piping shall be limited to above ground installations. P.V.C. pipe shall be used if allowed by local governing authorities.

2. Vents shall be extended at least 15" above roof and then properly flashed with 4 pound lead with the base extending at

3. Vents shall be extended at least 15" above roof and then properly flashed with 4 pound lead with the base extending at least 10" in every direction from the stack. The vertical portion of the flashing shall extend upward the entire length of the vent pipe and shall be turned down inside the pipe at least 2" to provide a weather-tight joint. Furnish flashings to Roofing Contractor for installation.

4. Floor drains and floor sinks shall be as scheduled. Cast iron drain with Nikaloy top, flashing clamp and deep seal P-trap. Manufacturer shall be Josam, Wade, Smith or approved equal.

5. Clean-outs shall be provided in waste lines at each change in direction, at the bottom of each stack, at the end of each branch in horizontal runs at intervals not exceeding 50 feet in lines within the building and intervals not exceeding 100 feet outside the building. The sizes of clean-outs shall be identical with the size of waste line in which they are placed, but no larger than 4" clean-outs shall be required. Clean-outs shall be easily accessible, identifiable and located in closets or other unfinished areas when possible. Exact location of each shall be approved by the Architect before installation. All clean-out threads shall be lubricated with "key-grease" for easy removal.

6. The building main shall have a double clean-out within 5 feet of the building. Outside clean-outs shall be encased in 14" by 14" by 6" concrete pads. Outside cleanouts not subject to traffic shall be equal to Josam 58490.

7. Floor clean-outs in finished areas shall have square satin Nikaloy tops with scoriated surface equal to Josam 56030. Floor clean-outs in unfinished areas and in sidewalks shall have round satin Nikaloy tops with scoriated surface equal to Josam 58400. Floor clean-outs in wheel traffic areas shall have heavy-duty access frame with ductile iron top equal to 58860-5.

DIVISION 16 - ELECTRICAL

16-01. GENERAL:

A. The work covered by this section of these specifications shall be performed in accordance with the respective drawings, information, or instructions to bidders and the general conditions of these specifications. Any supplementary conditions or directives which may be issued by the Owner or Architect, herewith, or otherwise shall be complied with in every respect.

B. The listing herein of an article or material, operation or method, requires that the contractor shall furnish and install each item listed, unless specified or noted to the contrary. The contractor shall furnish labor, materials, tools, equipment and related items required for complete installation of electrical systems, as indicated by the Contract Documents.

C. Examine the site and verify the locations and elevations of all utilities relating to this work.

16-02. SCOPE:

A. Drawings accompanying these specifications show extent of work to be performed. Contractor shall comply with every evident intent of these documents in every respect.

B. Examine Architects drawings and specifications for fixtures and finishes in connection with this work; determine general construction conditions and be familiar with all limitations caused by such conditions. Exact location and arrangement of parts shall be determined after equipment has been approved by Architect, as the work progresses, to conform in the best possible manner with surroundings, and as directed by Architect.

C. All work shall be performed with the highest quality of workmanship by skilled electricians and personnel. All work shall be installed per manufacturers suggested manner for a piece of equipment or per an acceptable practice current in the trade. No work shall be deemed satisfactory unless approved and accepted by the Architect and Owner.

16-03. CODES:

A. Meet the requirements of the Americans with disabilities Act (ADA) National Fire Prevention Association (NFPA), and the latest edition of National Electrical Code (NEC), local and state and national codes having jurisdiction. Codes and ordinances having jurisdiction over work shall be absolute minimum requirements. Should there be any conflicts between Contract Documents and codes or ordinances having jurisdiction, report these immediately to the Architect.

16-04. SUBMITTALS:

A. Contractor shall submit for approval data on all equipment to be installed. Contractor shall not install any equipment until approval has been granted by the Architect, Engineer and Owner.

16-05. PRODUCTS:

A. Products, materials and equipment shall meet requirements of Contract Documents, shall be free from defects, shall conform to published construction standards, and shall be UL listed and labeled where such requirements exist for a product.

B. Quality basis shall be interpreted to include material, workmanship, weight, finish, gauges of material, appearances, capacity and performance. Contractor shall be responsible to make all necessary adjustments in the work which may be affected as a result of an approved substitution at no additional cost to the owner.

16-06. INSPECTION OF SITE:

A. It shall be the responsibility of the Contractor to visit the site before submitting proposals and familiarize himself with site conditions. All proposals shall preclude that Contractor is familiar with job conditions and utility locations and the lack of specific information on the drawings shall not relieve the Contractor of any responsibility.

16-07. FEES AND PERMITS:

A. This Contractor shall secure and pay for all fees and permits which are required for the work under this section of the specifications. Permit fee must be paid at the time of the permit document submittal.

16-08. EQUIPMENT IDENTIFICATIONS

A. Label all conductors at all locations throughout the system with appropriate wire markers. Label all junctions and outlets with permanent markings for future identification.

16-09. RACEWAYS AND FITTINGS:

A. Rigid Metal Conduit: Use hot-dipped galvanized rigid steel conduit and fittings conforming to UL 6 and NEC 346. Use threaded fittings.

B. All conduit which is run in finished areas of the building shall be concealed. In unfinished areas, the conduit shall be run concealed where construction permits, otherwise it may be run exposed. All exposed conduit shall be run perpendicular to building lines and left in a ready to paint condition.

C. Minimum diameter of 1/2" conduit permitted.

16-10. WIRE AND CABLE:

A. All conductors shall be copper. Insulation shall be color coded throughout. Wire sizes #8 and larger shall be stranded with type THHN/THWN insulation. Branch circuit wiring shall be type THHN/THWN per Article 310 of NEC as allowed by local governing authorities.

16-11. PULL AND JUNCTION BOXES:

A. Use pull and junction boxes that comply with NEC 370 as to size and construction. Install boxes in accessible locations.

16-12. OUTLET BOXES:

A. All outlet boxes shall be boxes that comply with NEC 370 as to size and construction. For lighting fixture outlets use 4" x 1 1/2" deep octagonal boxes. For flush outlet boxes 4x4 box with single faceplate receptacles and switches, use 2" x 4" x 1 1/2" deep boxes to suit particular devices.

B. This contractor shall carefully check the architectural building plans and coordinate exact locations of all outlets before installation.

16-13. GROUNDING:

A. All electrical equipment installed on this project shall be properly grounded in strict accordance with Article 250 of the National Electrical Code. All grounding connections shall be by means of solderless high-pressure connectors.

16-14. LIGHTING FIXTURES:

A. Furnish and install a light fixture or fixtures, as designated, on each and every outlet as shown on the drawings. It shall be the Contractors responsibility to check and coordinate the architectural finishes and to purchase lighting fixtures with the proper trim, supports, etc., as required. Provide lamps for all fixtures as scheduled. At completion of project, Contractor shall clean and adjust all fixtures and replace damaged parts and test fixtures.

B. Fixtures shall be as indicated on the Lighting plans.

16-15. TESTS:

A. Before final acceptance of the job, the Contractor shall test all circuits for proper wiring. All loads shall be properly balanced on the phases of the systems. Contractor shall repair or replace any and all defective or faulty wiring.

16-16. TELEPHONE/DATA SYSTEM ROUGH-IN:

A. Furnish and install telephone outlets, conduits and telephone service as indicated on the drawings and as required by owner.

16-17. GUARANTEE:

A. Contractor shall guarantee all materials and workmanship for a period of one (1) year from the date of acceptance of the work. During this period, all parts found to be defective shall be replaced without costs to the owner.

1 MEP - SPECIFICATIONS
SCALE: NTS

PE | INE |
4801 BELTLINE ROAD
ADDISON, TEXAS

BERNBAUM ASSOCIATES MAGADINI

4828 McKinney Avenue
#108, Dallas, TX 75204
Telephone 214.219.4688
Fax 214.521.2266

bei
basharkhah engineering incorporated
consulting engineers

STATE OF TEXAS
S. BASHARKHAH
53894
REGISTERED
PROFESSIONAL ENGINEER
2/23/04

2520 fairmount street
dallas texas 75201
(214) 720-1005

BEI Job # 04030

REVISION

JOB NUMBER
03109

DATE
02.20.04

SHEET NUMBER
MEP3

GENERAL NOTES

GENERAL

1. THIS PROJECT SHALL MEET ALL REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE AND THE CITY OF ADDISON, TEXAS.
2. DESIGN LOADS: WIND LOAD 20 PSF
3. FOUNDATIONS ARE DESIGNED TO MEET THE RECOMMENDATIONS CONTAINED IN A REPORT PREPARED FOR THIS PROJECT BY HOOPER GROUP, INC. DATED JANUARY 14, 2004.
4. FOUNDATION DESIGN IS BASED ON AN ALLOWABLE BEARING VALUE OF 30,000 PSF AND AN ALLOWABLE SIDE FRICTION VALUE OF 3,000 PSF IN GRAY LIMESTONE, AT AN AVERAGE OF 14 FEET BELOW EXISTING GRADE
5. DRILLED PIER SHAFT SIZES SHOWN ARE MINIMUM PER STRUCTURAL REQUIREMENTS.
6. ALL GRADE BEAMS AND WALLS SHALL BE SUPPORTED ON 6" CARTON FORMS COATED WITH PARAFFIN CONTAINING 10% POLYETHYLENE AND DESIGNED TO CARRY THE WET CONCRETE (SUREVOID, OR EQUAL). PROVIDE SOIL RETAINERS EACH SIDE OF BEAM.
7. SIDES OF ALL GRADE BEAMS SHALL BE FORMED WITH LUMBER, PLYWOOD OR STEEL. SEE SPECIFICATIONS.
8. EXPOSED FACES OF GRADE BEAMS SHALL BE RUBBED WITHIN 24 HOURS AFTER POURING.
9. ALL PIERS SHALL BE CENTERED UNDER GRADE BEAMS, WALLS AND COLUMNS UNLESS OTHERWISE SHOWN.
10. SHOP DRAWINGS: TWO PRINTS AND ONE SEPIA TRACING OF EACH DRAWING ARE TO BE SUBMITTED TO THE STRUCTURAL ENGINEER FOR REVIEW. DISTRIBUTION OF PRINTS IS TO BE MADE ONLY FROM RETURNED SEPIAS BEARING A SIGNED REVIEW STAMP. NO WORK ON ITEMS SHOWN THEREON IS TO PROCEED UNLESS THE STAMP CLEARLY INDICATES "NO EXCEPTIONS TAKEN" OR "MAKE CORRECTIONS NOTED". GENERAL CONTRACTOR SHALL PRECHECK ALL SHOP DRAWINGS BEFORE SUBMISSION TO ENGINEER FOR REVIEW. THE CONTRACTOR SHALL ALLOW THE ENGINEER TWO WEEKS FOR REVIEWING SHOP DRAWINGS.
11. STRUCTURAL DRAWINGS MAY NOT BE USED AS SHOP DRAWINGS.
12. VERIFY THE SIZE AND LOCATION OF ALL MECHANICAL AND ELECTRICAL OPENINGS, AND VERIFY NO CONFLICT WITH STRUCTURAL ELEMENTS. CONSULT STRUCTURAL ENGINEER IF LOCATIONS OR WEIGHTS OF ROOF TOP UNITS OR OTHER MECHANICAL EQUIPMENT DIFFER FROM THOSE SHOWN ON PLAN.
13. PROVIDE ALL CONCRETE PADS, TRAPS, BASINS, ETC., SHOWN ON MECHANICAL DRAWINGS WHERE INDICATED TO BE SUPPLIED BY GENERAL CONTRACTOR.
14. VERIFY ALL DIMENSIONS SHOWN ON THE STRUCTURAL DRAWINGS WITH THE ARCHITECTURAL DRAWINGS. IN CASE OF DISCREPANCY BETWEEN ARCHITECTURAL AND STRUCTURAL DRAWINGS, CONTRACTOR IS TO NOTIFY ARCHITECT AND OBTAIN CLARIFICATION IN WRITING PRIOR TO PROCEEDING.

CONCRETE

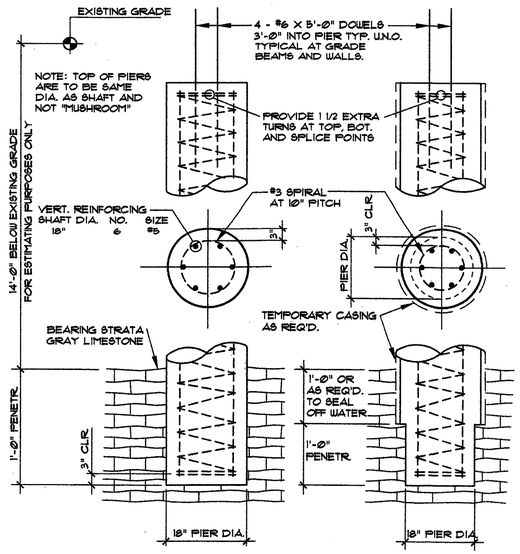
1. ALL CONCRETE AND METAL REINFORCEMENT SHALL BE FABRICATED AND PLACED IN CONFORMITY WITH THE "ACI STANDARD BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE" (ACI 318-99).
2. POURED IN PLACE CONCRETE SHALL STRICTLY ADHERE TO THE PROPORTIONS ESTABLISHED IN DESIGN MIXES, CONSISTING OF THE ACTUAL MATERIALS TO BE USED DURING CONSTRUCTION, FOR THE SEVERAL STRENGTHS AND USES INTENDED. THESE DESIGN MIXES ARE TO BE PREPARED BY A PREQUALIFIED LABORATORY, AND THE MATERIALS AND TEST RESULTS ARE TO BE REVIEWED BY THE ENGINEER AND OWNER'S LAB REPRESENTATIVE PRIOR TO USE.
3. POURED IN PLACE CONCRETE IS TO BE NORMAL WEIGHT AND IS TO DEVELOP A COMPRESSIVE STRENGTH F'C OF 3000 PSI AT 28 DAYS.
4. UNLESS NOTED OTHERWISE, METAL REINFORCEMENT FOR POURED IN PLACE CONCRETE IS TO BE ASTM A-615, GRADE 60. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185.
5. VERIFY THE PRESENCE, LOCATION, SIZES AND CORRECTNESS OF ALL OPENINGS, AND EMBEDMENTS REQUIRED PRIOR TO CONCRETING. NO OPENINGS SHALL BE PERMITTED THROUGH BEAMS OR WALLS UNLESS SHOWN ON THE STRUCTURAL DRAWINGS OR REVIEWED BY THE STRUCTURAL ENGINEER.
6. PROPER ACCESSORIES/SUPPORTS ARE TO BE USED AS NOTED AND REVIEWED ON THE SHOP DRAWINGS. ALL REINFORCING TO BE SECURELY AND ACCURATELY HELD IN LOCATIONS SHOWN ON PLANS.
7. CONSTRUCTION JOINTS OF ALL TYPES MAY BE USED ONLY WHERE SHOWN ON THE FABRICATOR'S REVIEWED PLACING DRAWINGS.
8. PROVIDE CORNER BARS IN ALL GRADE BEAMS AND WALLS OF SAME SIZE AND SPACING AS ADJACENT BARS, UNLESS OTHERWISE NOTED.
9. PROVIDE STANDARD 90 DEGREE HOOKS ON ALL BARS AT BEAM ENDS. IF BEAM DEPTH IS PROHIBITIVE, USE STANDARD 180 DEGREE HOOK.
10. BARS SCHEDULED AS CONTINUOUS SHALL BE SPLICED WITH A "CLASS A LAP" AND SPLICED AS FOLLOWS: TOP BARS AT CENTERLINE OF ANY SPAN. BOTTOM BARS OVER ANY SUPPORT.
11. THE CONTRACTOR SHALL VERIFY DEPTHS OF PIERS BEFORE PIER STEEL IS CUT. PIER STEEL SHALL BE DELIVERED TO THE JOB SITE IN STANDARD 60'-0" LENGTHS AND CUT AS REQUIRED. ONLY "B" LAPS WILL BE ALLOWED IN THE PIER STEEL. NO MORE THAN 50% OF THE BARS ARE TO BE LAPPED IN ANY 5'-0" LENGTH OF THE PIER.

STRUCTURAL STEEL

1. ALL STRUCTURAL STEEL SHALL BE FABRICATED AND ERECTED IN CONFORMITY WITH THE REQUIREMENTS OF THE 9TH EDITION, AISC "MANUAL OF STEEL CONSTRUCTION".
2. EXCEPT AS SHOWN OR NOTED, ALL STRUCTURAL STEEL TO BE ASTM A36 MATERIAL. TUBE STEEL TO BE FY=46 KSI, ASTM A500, GRADE B.
3. ALL WELDS SHALL BE MADE ONLY BY PREQUALIFIED WELDERS PER AWS D1.1 CERTIFIED WITHIN THE LAST 12 MONTHS. ALL WELDS SHALL BE MADE USING E70 ELECTRODES. ALL WELDS TO BE MINIMUM 3/16 INCH FILLET CONTINUOUS WELDS UNLESS NOTED OTHERWISE.
4. ERECTION TOLERANCES SHALL CONFORM TO THE AISC CODE OF STANDARD PRACTICE.
5. A RECOGNIZED TESTING LABORATORY, REVIEWED BY THE STRUCTURAL ENGINEER, SHALL BE ENGAGED FOR THE PURPOSE OF FIELD INSPECTION. THE LABORATORY SHALL ASSURE THAT APPROVED WELDING MATERIALS AND SEQUENCES ARE USED, AND SHALL CERTIFY IN WRITING THAT THE QUALITY AND STRENGTH REQUIREMENTS OF ALL CONNECTIONS HAVE BEEN ATTAINED AND THAT ALL TOLERANCES ARE WITHIN SPECIFIED LIMITS.
6. PROVIDE BOLTS AND PUNCH HOLES IN STRUCTURAL AND MISCELLANEOUS METAL FOR ATTACHMENT OF WOOD NAILERS AS REQUIRED ON THE ARCHITECTURAL, MECHANICAL OR STRUCTURAL DRAWINGS.
7. ALL STRUCTURAL AND MISCELLANEOUS METAL IS TO BE CLEANED PRIOR TO SHOP PAINTING AND SHIPMENT IN ACCORD WITH THE STRUCTURAL STEEL PAINTING COUNCIL REQUIREMENTS FOR THE FOLLOWING GRADE: POWER TOOL.
8. SHOP PAINTING SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS: SHAPES, PLATES, ETC., TO BE HOT DIP GALVANIZED
9. PROVIDE MINIMUM 1/4 INCH CAP PLATE AT ENDS OF ALL TUBE STEEL MEMBERS, UNLESS NOTED OTHERWISE.
10. ALL CHEMICAL ANCHORS SHALL BE HILTI HIT HY 150 INJECTION ADHESIVE ANCHORS WITH STAINLESS STEEL "HAS" RODS, NUTS, WASHERS.

MASONRY

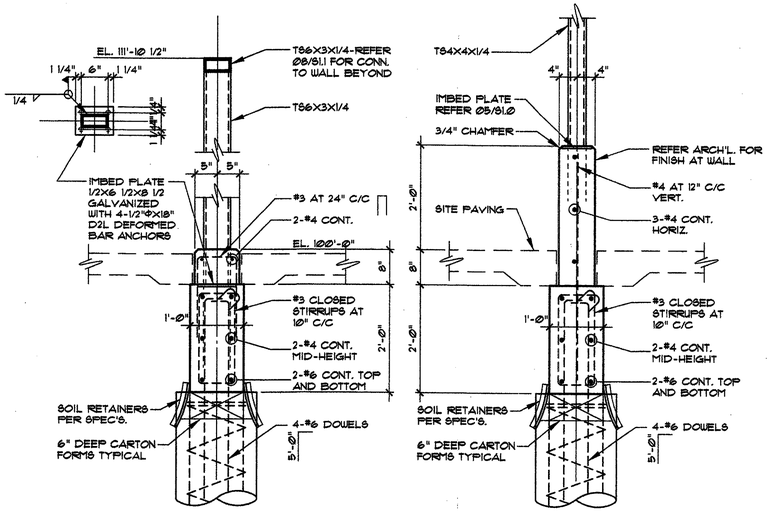
1. ALL MASONRY TO HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH F'M OF 1500 PSI AT THE AGE OF 28 DAYS.
2. ALL CMU (CONCRETE MASONRY UNITS) TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 1900 PSI OVER NET AREA. ASTM C90, GRADE N, TYPE 1, LIGHTWEIGHT AGGREGATE.
4. MORTAR SHALL BE TYPE S.
5. CONSTRUCTION TO COMPLY WITH INTERNATIONAL BUILDING CODE.
6. CONTRACTOR TO BE RESPONSIBLE FOR BRACING ALL MASONRY WALLS DURING CONSTRUCTION AND UNTIL ENTIRE STRUCTURE IS COMPLETE.
7. MASONRY DESIGN IS BASED ON THE CRITERIA THAT INSPECTION IS REQUIRED. INSPECTION SHALL COMPLY WITH SECTION 1704.5.2 OF INTERNATIONAL BUILDING CODE.
8. GROUT FOR BOND BEAMS AND GROUT FILLED CELLS SHALL MEET PROPORTION REQUIREMENTS OF ASTM C476.
9. GROUT POURS SHALL NOT EXCEED 4 FEET IN HEIGHT EXCEPT WHERE CLEAN OUTS ARE PROVIDED IN THE BOTTOM COURSE OF THE CELL TO BE FILLED.
10. VERTICAL REINFORCING BARS SHALL BE ASTM A-615, GRADE 60 AND TO BE HELD IN PLACE UNTIL CONCRETE IS SET. PLACE IN CENTER OF WALL. REINFORCE CMU WALLS IN GROUTED CELLS AS FOLLOWS, UNLESS NOTED OTHERWISE ON DRAWINGS:
    8" CMU WALL — #5 AT 24" O/C
11. PROVIDE A VERTICAL BAR ADJACENT TO ALL OPENINGS (DOORS, ETC.), AT ENDS OF WALLS, AND ADJACENT TO ALL VERTICAL MASONRY CONTROL JOINTS.



PIER WITHOUT CASING — PIER WITH CASING

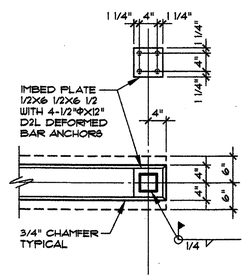
02 TYPICAL DRILLED PIER

NOT TO SCALE



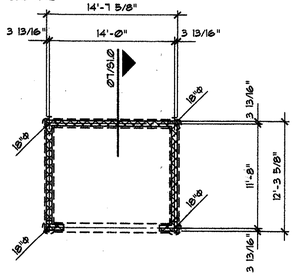
03 SECTION

3/4"=1'-0"



04 SECTION

3/4"=1'-0"

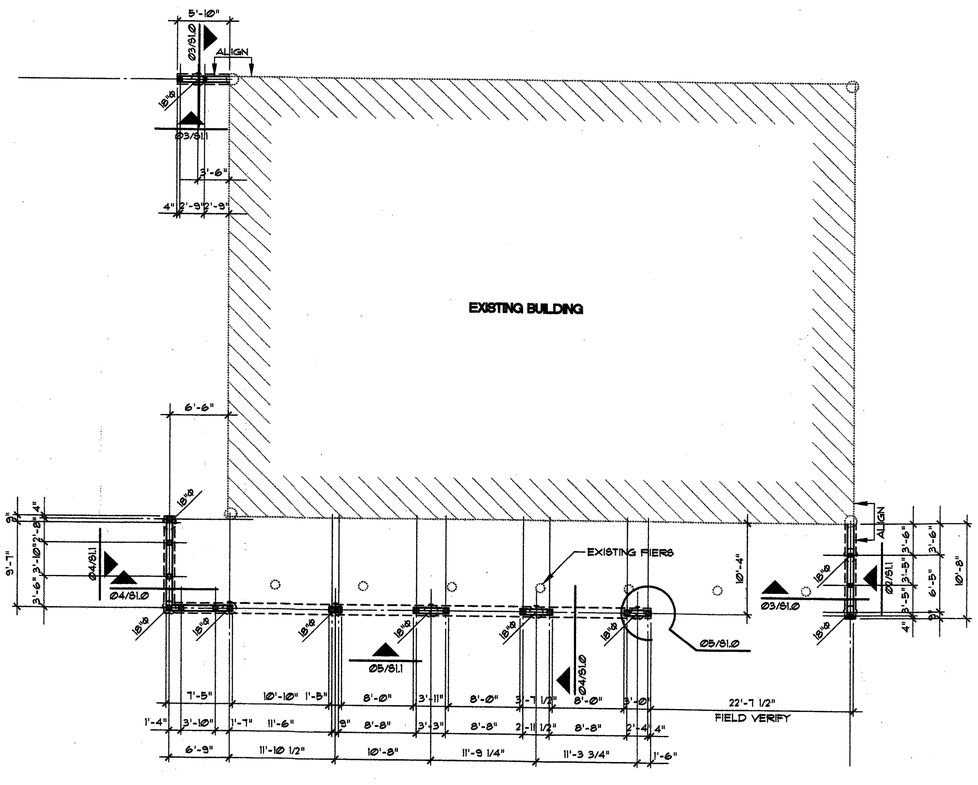


05 PLAN DETAIL

3/4"=1'-0"

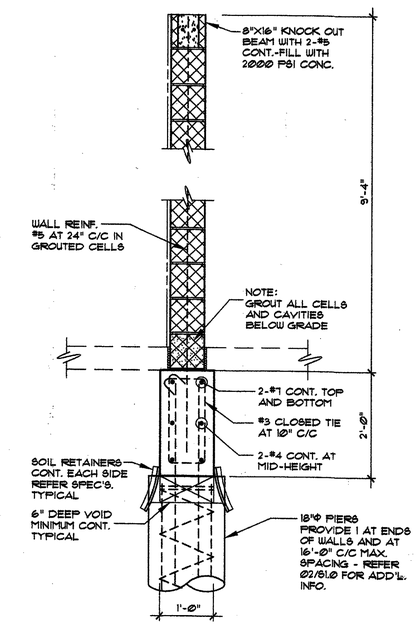
06 DUMPSTER FOUNDATION PLAN

1/8"=1'-0"



01 FOUNDATION PLAN

1/8"=1'-0"



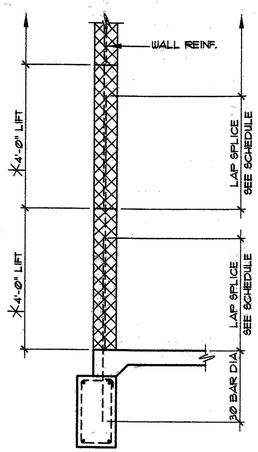
07 SECTION

3/4"=1'-0"

TYPICAL MASONRY BAR LAP LENGTHS

BAR SIZE	LAP REQUIRED BARS @ CENTER OF WALL	LAP REQUIRED BARS OFFSET
# 3	19"	19"
# 4	25"	25"
# 5	31"	36"
# 6	57"	75"
# 7	79"	104"
# 8	112"	149"

* WHEN LAP SPLICE EXCEEDS 4'-0" THE LIFT MAY BE INCREASED TO A COURSING DEPTH THAT COVERS THE SPLICE. HOWEVER, GROUTING LIMITATIONS PER BUILDING CODE SHALL BE FOLLOWED, INCLUDING CLEANOUTS FOR GROUT POURS OVER 5'-0" IN HEIGHT.



08 TYP. CMU WALL REINF. LAP SPLICE

NOT TO SCALE

NORTH

PEI WEI
4801 BELTLINE ROAD
ADDISON, TEXAS

STATE OF TEXAS
JERRY L. BARNETT
47168
REGISTERED
PROFESSIONAL
ENGINEER

BERNBAUM
ARCHITECTURE
MAGADINI

4528 McKinney Avenue
#103, Dallas, TX 75205
Telephone 214.219.4528
Fax 214.521.3286

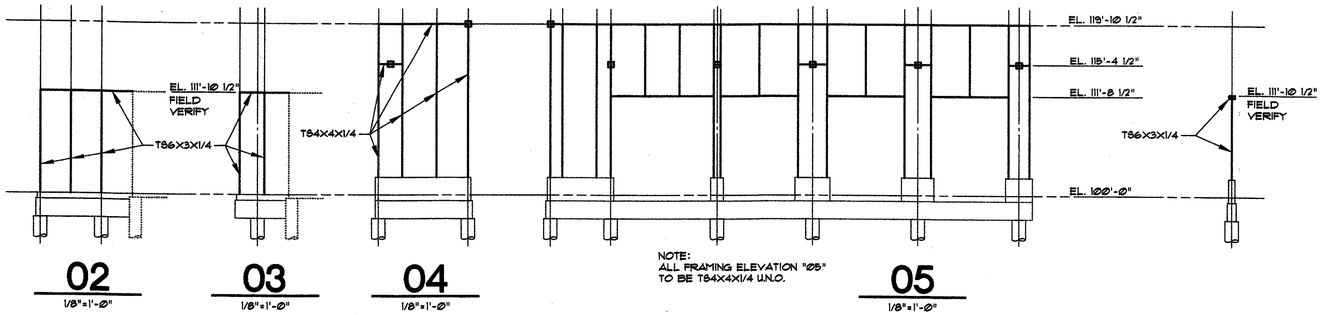
TMBP
CONSULTING ENGINEERS INC.
2301 N. AKARD ST. SUITE 405
DALLAS, TEXAS 75201
(214) 871-2302 (214) 871-8716 FAX

REVISION

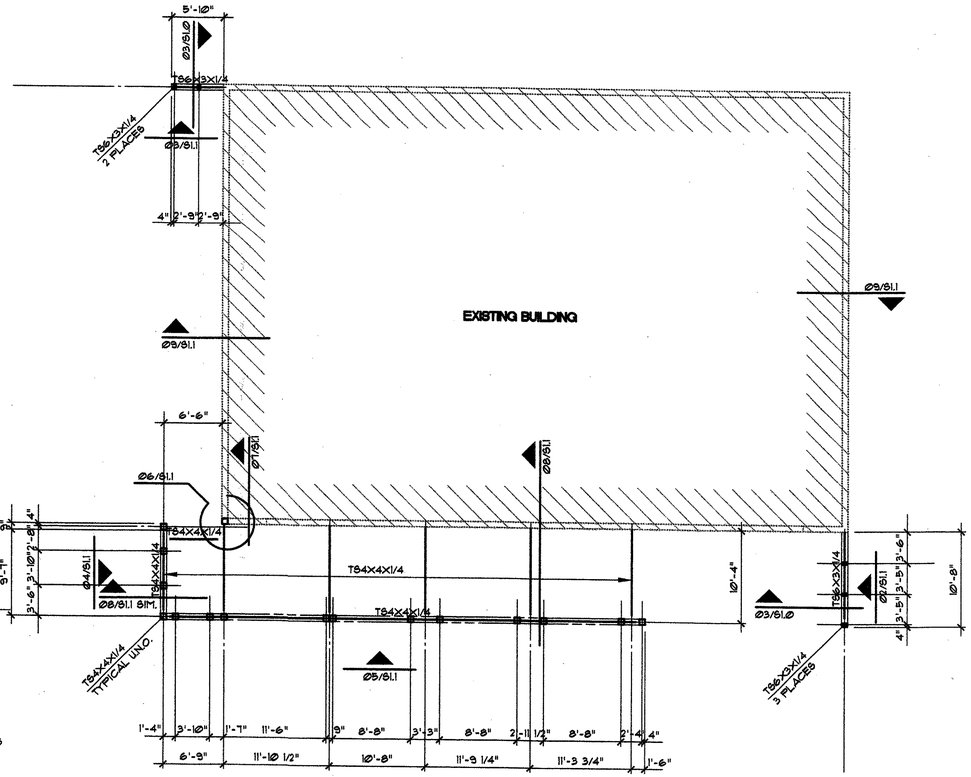
JOB NUMBER 03109

DATE 02.20.04

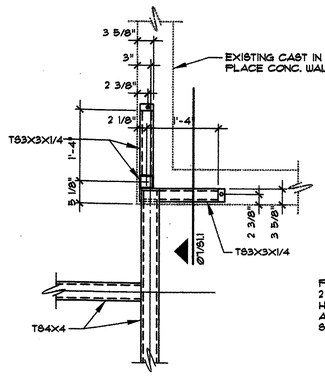
SHEET NUMBER S1.0



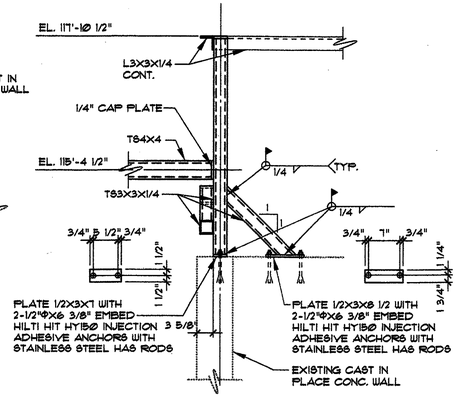
02 1/8"=1'-0" | 03 1/8"=1'-0" | 04 1/8"=1'-0" | 05 1/8"=1'-0"



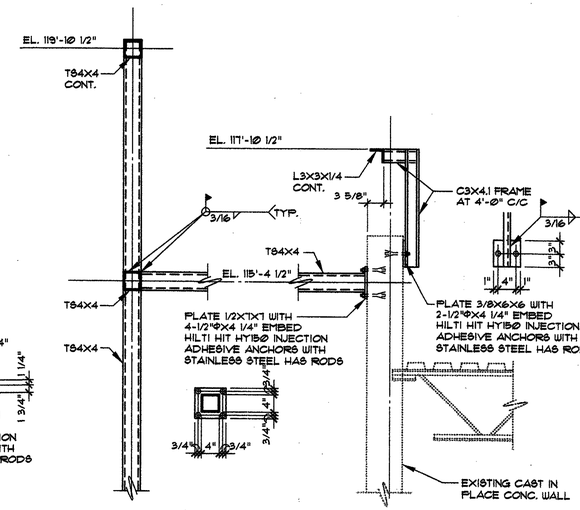
01 STEEL FRAMING PLAN
1/8"=1'-0"



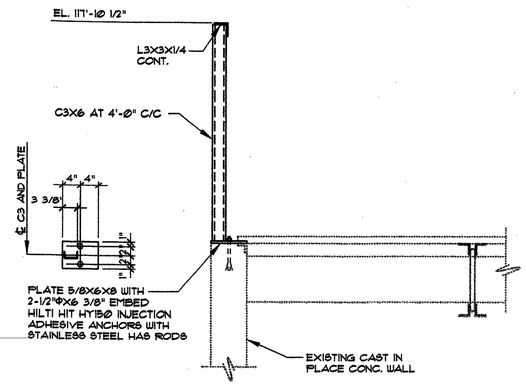
06 PLAN DETAIL
3/4"=1'-0"



07 SECTION
3/4"=1'-0"



08 SECTION
3/4"=1'-0"



09 SECTION
3/4"=1'-0"

NORTH

PEI WEI
4801 BELTLINE ROAD
ADDISON, TEXAS

STATE OF TEXAS
JERRY L. BARNETT
47168
REGISTERED PROFESSIONAL ENGINEER
2.20.04

BERNBAUM MAGADINI
4528 McKinney Avenue
#103, Dallas, TX 75205
Telephone 214.219.4528
Fax 214.521.3286

TMBP
CONSULTING ENGINEERS INC.
2301 N. AKARD ST. SUITE 405
DALLAS, TEXAS 75201
(214) 871-2302 (214) 871-8716 FAX

REVISION

JOB NUMBER 03109

DATE 02.20.04

SHEET NUMBER S1.1