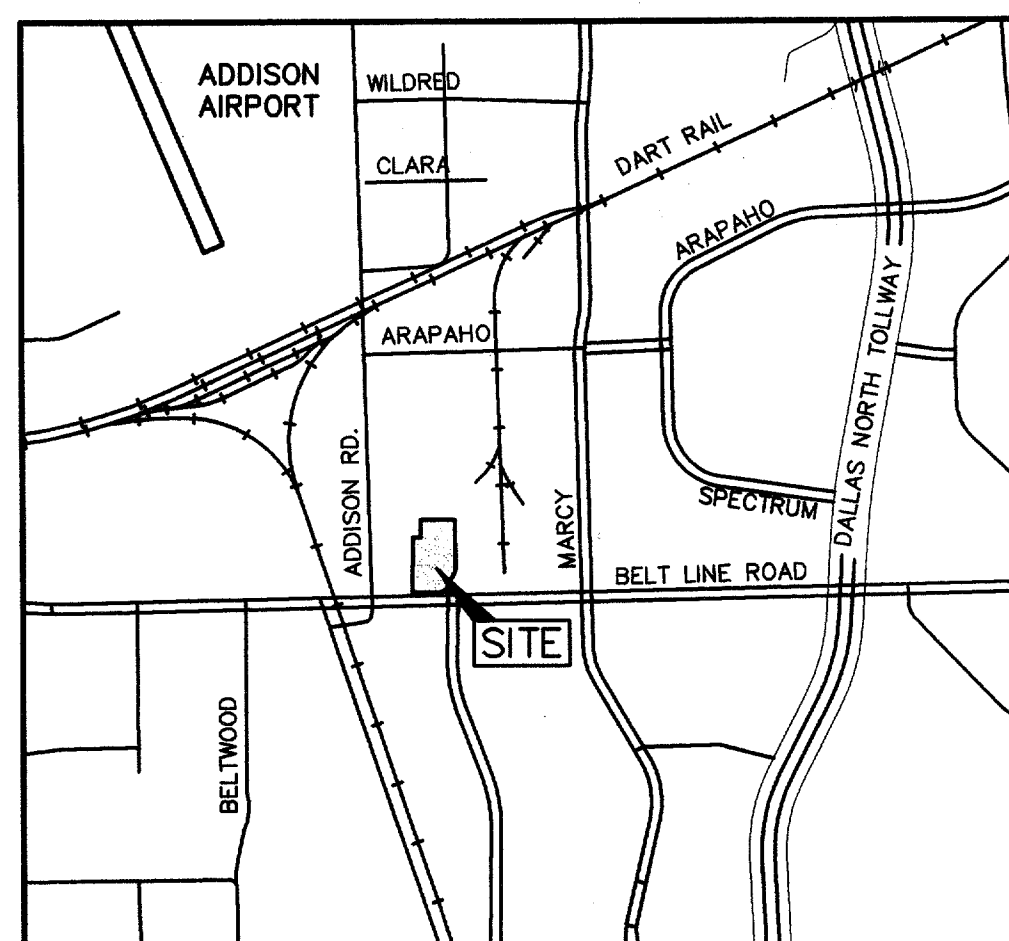


CIVIL SITE DEVELOPMENT PLANS



BELTLINE ROAD ADDISON, TEXAS



LOCATION MAP
N.T.S.
(MAPSCO: 14C)

MAY 2005

PLANS SUBMITTAL/REVIEW LOG

- SUBMITTAL TO TOWN OF ADDISON FOR INITIAL REVIEW - NOT FOR CONSTRUCTION. 03/01/05
- RESUBMITTAL TO TOWN OF ADDISON FOR PLAN APPROVAL 04/21/05
- ISSUED FOR CONSTRUCTION 05/02/05

INDEX OF SHEETS

SHEET NO.	DESCRIPTION	REVISION
C-0	COVER SHEET	
	REPLAT (TWO SHEETS)	
C-1	GENERAL CONSTRUCTION NOTES	
C-2	DEMOLITION PLAN	
C-3	SITE PLAN	▲▲
C-4	GRADING PLAN	▲
C-5	DRAINAGE AREA MAP	
C-6	STORM SEWER PLAN	▲▲
C-7	UTILITY PLAN	▲▲▲
C-8	EROSION CONTROL PLAN/SITE MAP (S.W.P.P.P.)	
C-9	EROSION CONTROL DETAILS (S.W.P.P.P.)	
C-10	SITE PAVING AND STRIPING PLAN	▲
C-11	MISCELLANEOUS CONSTRUCTION DETAILS	▲
C-12	STORM SEWER AND SANITARY SEWER DETAILS	

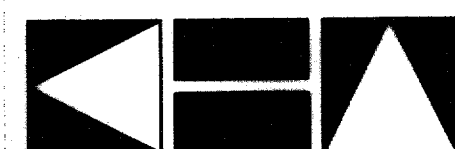
PLAN REVISION LOG

NO.	DATE	COMMENT
▲	07/05/05	ADDITIONAL TXU ELECTRIC EASEMENT PER REQUEST
▲	08/12/05	REVISE PER CLIENT AND CONTRACTOR COMMENTS
▲	10/14/05	REVISE LANGUAGE PER TXU COMMENTS
▲	11/17/05	REVISE STM. SEW. LINE "SD1" PER ASBUILT

OWNER/DEVELOPER

BRINKER INTERNATIONAL
PROPERTY DEVELOPMENT
6820 LBJ FREEWAY
DALLAS, TEXAS 75240
PH. (972) 770-4156
CONTACT: ANTHONY THOMPSON

ENGINEER

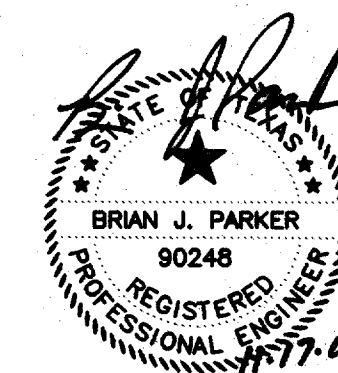


**Kimley-Horn
and Associates, Inc.**

12700 Park Central Drive, Suite 1800
Dallas, Texas 75251
CONTACT: BRIAN J. PARKER, P.E.

Tel. No. (972) 770-1300
Fax No. (972) 239-3820

"RECORD DRAWING"
THIS DRAWING HAS BEEN REVISED TO SHOW THOSE CHANGES DURING THE CONSTRUCTION PROCESS REPORTED BY THE CONTRACTOR TO KIMLEY-HORN AND ASSOCIATES, INC. AND CONSIDERED TO BE SIGNIFICANT. THIS DRAWING IS NOT GUARANTEED TO BE "AS-BUILT" BUT IS BASED ON THE INFORMATION MADE AVAILABLE.
DATE: 11-17-05 BY: *B. J. Parker*



STOP!
CALL BEFORE YOU DIG

DIG TESS
1-800-DIG-TESS
(@ least 72 hours prior to digging)

SHEET
C-0
OF 12

FF-6

ON THE BORDER - ADDISON

3855 BELT LINE

File: C:\V\10\10384003\10384003.dwg [C-1] 11/17/2005 4:53pm

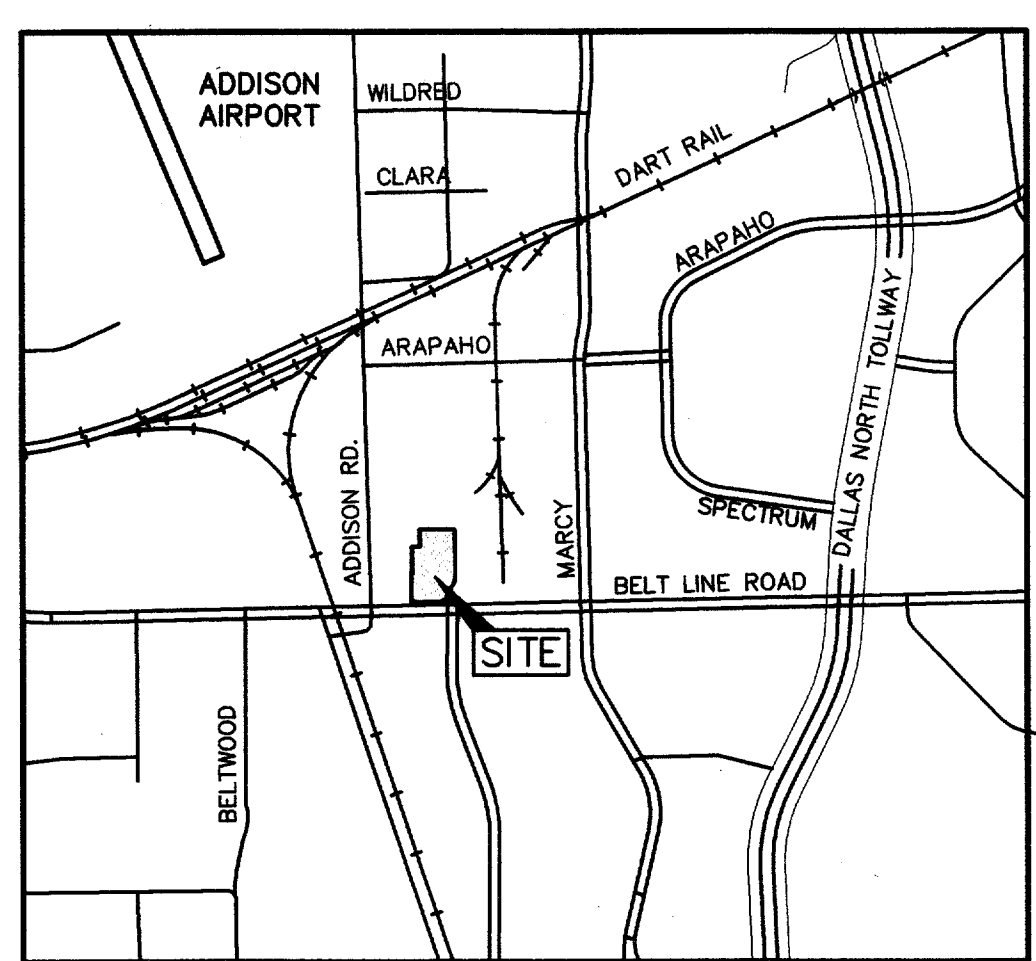
CIVIL SITE DEVELOPMENT PLANS



BELTLINE ROAD ADDISON, TEXAS

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MAY 2005

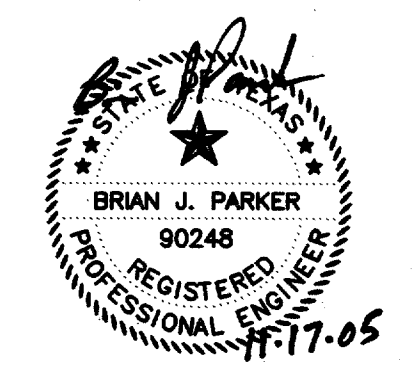
OWNER/DEVELOPER

BRINKER INTERNATIONAL
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6820 LBJ FREEWAY
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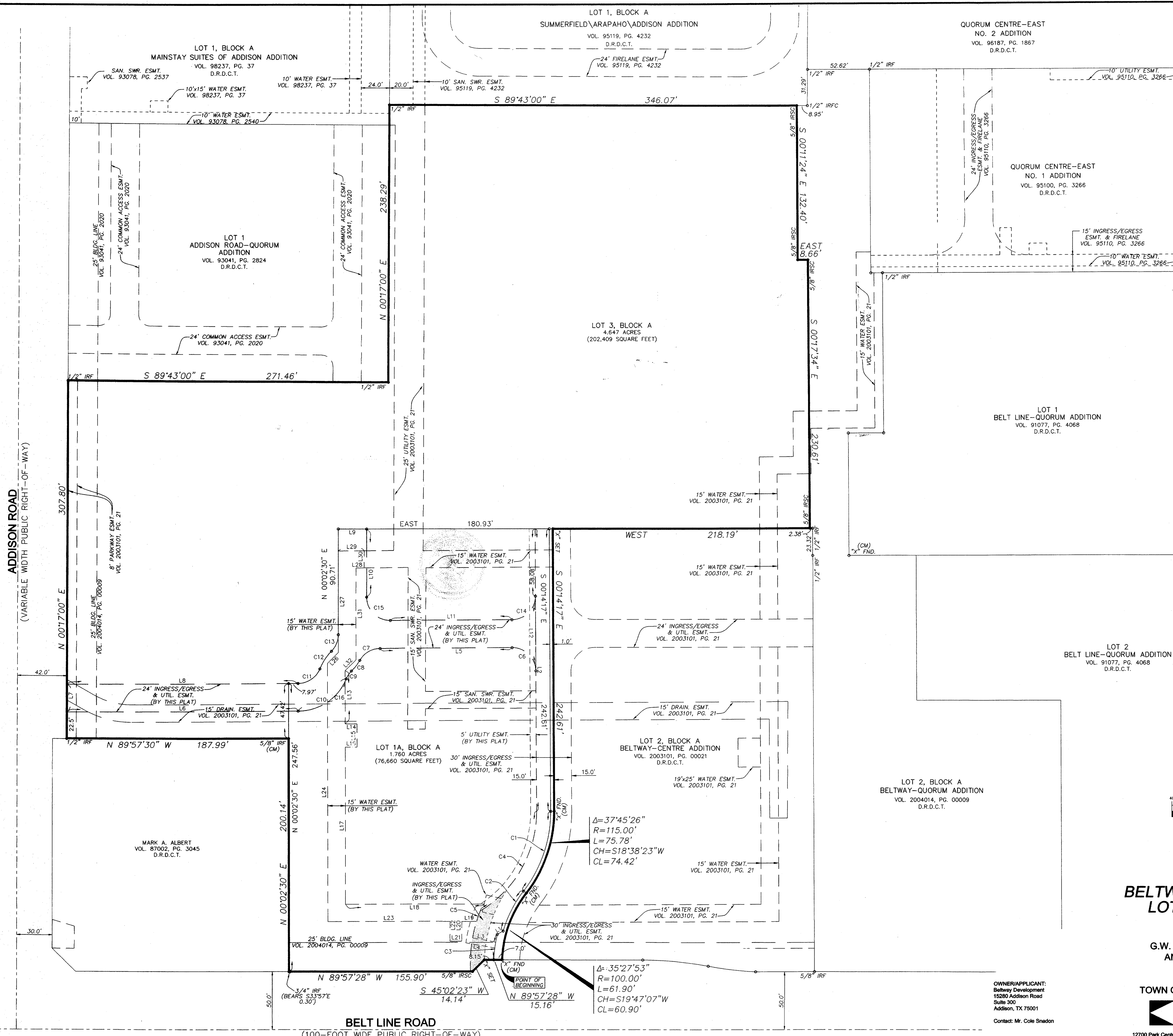
ENGINEER

**Kimley-Horn
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12700 Park Central Drive, Suite 1800
Dallas, Texas 75251
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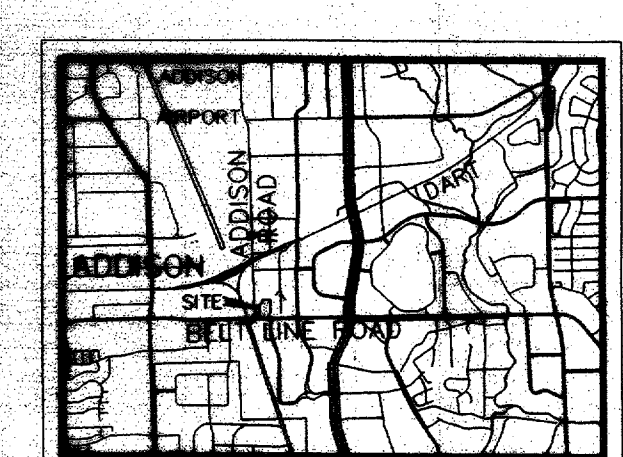
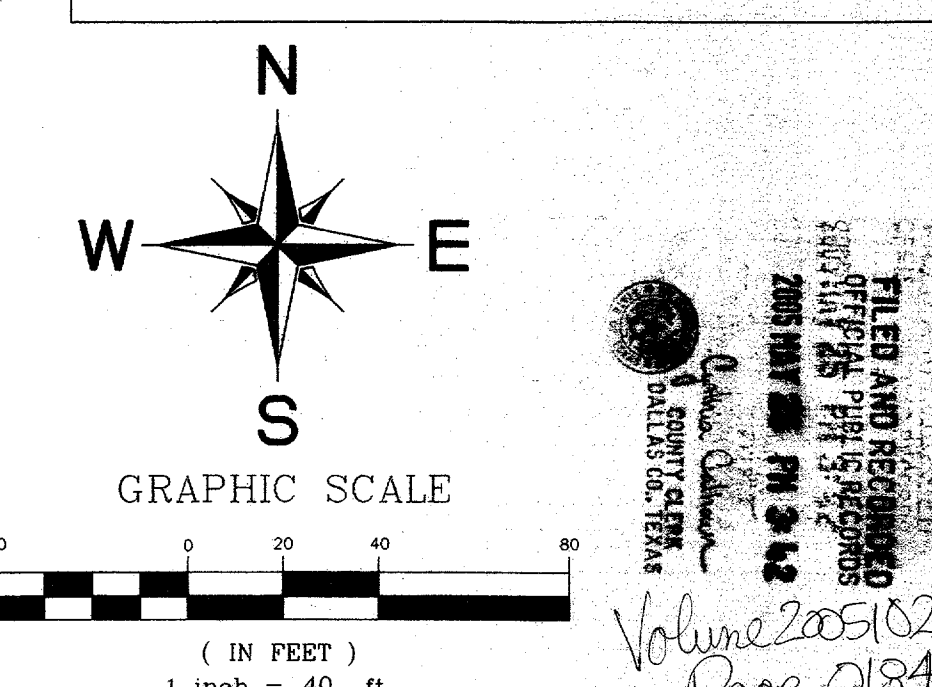
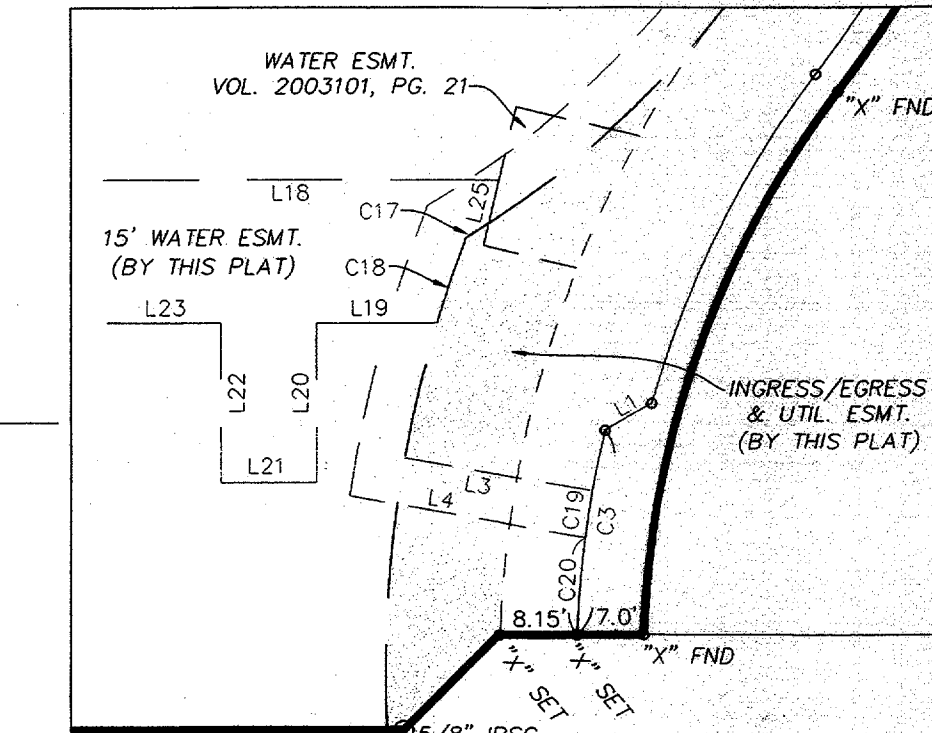


LINE TABLE

LINE	LENGTH	BEARING
L1	8.66	S59°10'32"W
L2	242.67	S00°14'17"E
L3	20.00	N79°54'04"W
L4	25.02	N79°54'04"W
L5	112.04	S89°45'43"W
L6	195.98	S89°45'43"W
L7	24.00	S00°14'17"E
L8	195.76	S89°45'43"W
L9	24.00	S90°00'00"W
L10	58.58	S00°02'30"W
L11	103.22	N89°45'43"E
L12	64.00	S00°14'17"E
L13	46.26	N00°02'30"E
L14	10.00	S89°57'30"E
L15	20.00	S00°02'30"W
L16	10.00	S89°57'30"E
L17	134.62	N00°02'30"E
L18	117.88	N89°57'28"W
L19	12.63	N89°57'28"W
L20	17.00	S00°02'32"W
L21	10.00	N89°57'28"W
L22	17.00	S00°02'32"W
L23	103.72	N89°57'28"W
L24	222.09	N00°02'30"E
L25	4.73	S13°28'13"W
L26	11.67	N45°02'30"E
L27	87.29	N00°02'30"E
L28	6.88	N89°43'00"E
L29	21.94	N89°43'00"E
L30	15.00	S00°17'00"W
L31	78.59	N00°02'30"E
L32	13.08	N45°02'30"E

CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD
C1	37°45'26"	114.00	75.12	N 83°23'23"E	73.77
C2	20°26'18"	101.00	36.03	S27°17'55"W	35.84
C3	11°42'48"	107.00	21.87	S07°46'41"W	21.84
C4	58°36'09"	100.00	102.86	N29°13'42"E	98.39
C5	23°52'43"	127.00	52.93	S09°03'08"W	52.55
C6	90°00'00"	20.00	31.42	N45°14'17"W	28.28
C7	59°50'18"	20.00	20.89	S59°50'14"W	19.95
C8	15°07'27"	44.00	11.61	N37°29'08"E	11.58
C9	23°43'01"	20.00	8.28	S33°11'22"W	8.22
C10	68°25'52"	44.00	52.55	N55°32'47"E	49.48
C11	68°25'52"	20.00	23.89	N55°32'47"E	22.49
C12	23°43'01"	44.00	18.21	S33°11'22"W	18.08
C13	45°00'22"	20.00	15.71	N22°32'41"E	15.31
C14	90°00'00"	20.00	31.42	N44°45'43"E	28.28
C15	90°16'47"	20.00	31.51	S45°05'53"E	28.35
C16	30°57'51"	44.00	23.78	N39°43'33"E	23.49
C17	1°37'16"	100.00	2.83	N57°53'06"E	2.83
C18	41°43'32"	127.00	9.40	S18°52'14"W	9.40
C19	2°40'42"	107.00	5.00	S08°45'35"W	5.00
C20	5°29'57"	107.00	10.27	S04°40'16"W	10.27
C21	18°11'42"	20.00	6.35	N09°08'21"E	6.32



REPLAT OF
BELTWAY-QUORUM ADDITION
LOTS 1A and 3, BLOCK A
 6.407 ACRES

SITUATED IN THE
 G.W. FISHER SURVEY, ABSTRACT No. 482
 AND BEING ALL OF LOT 1, BLOCK A
 OF THE FINAL PLAT OF
 BELTWAY-QUORUM ADDITION
 TOWN OF ADDISON, DALLAS COUNTY, TEXAS



12700 Park Central Drive, Suite 1800
 Dallas, Texas 75221
 Tel. No. 972-770-1900
 Fax No. 972-289-3800
 DATE: MAY 3, 2005
 JOB NO. 063984003
 SCALE: 1" = 40'

OWNER'S CERTIFICATION

STATE OF TEXAS
COUNTY OF DALLAS
ADDISON SOUTHWEST, LTD.

WHEREAS BELTWAY DEVELOPMENT, acting by and through the undersigned, its duly authorized agent is the owner of a tract of land located in the G.W. FISHER SURVEY, Abstract No. 482, in the Town of Addison, Dallas County, Texas, and being all of Lot 1, Block A of the Final Plat of BELTWAY-QUORUM ADDITION, an addition to the Town of Addison, Dallas County, Texas, as thereof recorded in Volume 2004014, Page 00009 of the Deed Records of Dallas County, Texas, and being more particularly described by metes and bounds as follows (bearing system based on the said Final Plat of BELTWAY-QUORUM ADDITION):

BEING at an "X" cut in concrete found in the northerly right-of-way line of Belt Line Road (100-foot wide public right-of-way) for the most southerly southeast corner of Lot 1, Block A of the aforementioned BELTWAY-QUORUM ADDITION, same being the southwest corner of Lot 2, Block A of BELTWAY-CENTRE ADDITION, an addition to the Town of Addison, Dallas County, Texas, according to the plat thereof recorded in Volume 2003101, Page 00021 of the Deed Records of Dallas County, Texas;

THENCE with the northerly right-of-way line of Belt Line Road and the southerly line of Lot 1, Block A, the following courses and distances to wit:

- North 89°57'28" West, a distance of 15.16 feet to an "X" cut in concrete set for corner;
-South 45°02'23" West, a distance of 14.14 feet to a 5/8-inch iron rod with a plastic "KHA" cap set for corner;
-North 89°57'28" West, a distance of 195.90 feet to a point for the most southerly southwest corner of Lot 1, Block A, from which a 3/4-inch iron rod found bears South 33°57' East, a distance of 0.30 feet, said corner being the southeast corner of a tract of land described in deed to Mark A. Albert, recorded in Volume 97002, Page 3045 of the Deed Records of Dallas County, Texas;

THENCE leaving the northerly right-of-way line of Belt Line Road, with the east line of the Albert tract, North 00°02'30" East, a distance of 200.14 feet a 5/8-inch iron rod found for the northeast corner of the Albert tract;

THENCE with the north line of the Albert tract, North 89°57'30" West, a distance of 187.99 feet to a 1/2-inch iron rod found in the easterly right-of-way line of Addison Road (variable width public right-of-way);

THENCE with the easterly right-of-way line of Addison Road, North 00°17'00" East, a distance of 307.80 feet to a 1/2-inch iron rod found for the southwest corner of Lot 1 of ADDISON ROAD-QUORUM ADDITION, an addition to the Town of Addison, Dallas County, Texas, according to the plat thereof recorded in Volume 33041, Page 2824 of the Deed Records of Dallas County, Texas;

THENCE leaving the easterly right-of-way line of Addison Road, with the south line of Lot 1 of ADDISON ROAD-QUORUM ADDITION, South 89°43'00" East, a distance of 271.46 feet to a 1/2-inch iron rod found for the southeast corner of said Lot 1;

THENCE with the westerly line of Lot 1, Block A of BELTWAY-QUORUM ADDITION, North 00°17'00" East, a distance of 288.28 feet to a 1/2-inch iron rod found for corner in the easterly line of Lot 1, Block A of MAINSTAY SUITES OF ADDISON ADDITION, an addition to the Town of Addison, Dallas County, Texas, according to the revised plat thereof recorded in Volume 98237, Page 37 of the Plat Records of Dallas County, Texas, same being the southwest corner of Lot 1, Block A of SUMMERFIELD/VARAPAHO/ADDISON ADDITION, an addition to the Town of Addison, Dallas County, Texas, according to the plat thereof recorded in Volume 95119, Page 4232 of the Deed Records of Dallas County, Texas;

THENCE with the common line of Lot 1, Block A of BELTWAY-QUORUM ADDITION and Lot 1, Block A of SUMMERFIELD \ VARAPAHO/ADDISON ADDITION, South 89°43'00" East, a distance of 346.07 feet to a 5/8-inch iron rod with plastic "KHA" cap set for the most northeasterly corner of Lot 1, Block A and the most westerly northwest corner of Lot 2, Block A, both of BELTWAY-QUORUM ADDITION;

THENCE leaving the southerly line of Lot 1, Block A of SUMMERFIELD VARAPAHO/ADDISON ADDITION, with the common line of said Lots 1 and 2, Block A of BELTWAY-QUORUM ADDITION, the following courses and distances to wit:

- South 00°11'24" East, a distance of 132.40 feet to a 5/8-inch iron rod with plastic "KHA" cap set for corner;
-Then East, a distance of 8.66 feet to a 5/8-inch iron rod with plastic "KHA" cap set for corner;
-South 00°17'34" East, a distance of 230.61 feet to a 5/8-inch iron rod with plastic "KHA" cap set for the most southerly common corner of said Lots 1 and 2, Block A of BELTWAY-QUORUM ADDITION, and being in the northerly line of Lot 2, Block A of BELTWAY-CENTRE ADDITION;

THENCE with the common line of Lots 1 and 2, Block A of BELTWAY-CENTRE ADDITION, the following courses and distances to wit:

- Then West, a distance of 218.19 feet to an "X" cut in concrete set for corner;
-South 00°14'17" East, a distance of 242.61 feet to an "X" cut in concrete found for corner and being the beginning of a tangent curve to the right;
-Continuously with said curve to the right, through a central angle of 37°45'26", having a radius of 115.00 feet, a chord bearing and distance of South 18°38'23" West, 74.42 feet, an arc distance of 75.78 feet to an "X" cut in concrete found for corner and the beginning of a reverse curve to the left;
-Southwesterly with said curve to the left, through a central angle of 35°27'53", having a radius of 100.00 feet, a chord bearing and distance of South 19°47'07" West, 60.90 feet, an arc distance of 61.90 feet to the POINT OF BEGINNING and containing 6.407 acres (279,069 square feet) of land, more or less.

OWNER'S DEDICATION

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT ADDISON SOUTHWEST, LTD. does hereby adopt this plat designating the hereinabove property as BELTWAY-CENTRE ADDITION, BLOCK A, LOTS 1A and 3, an addition to the Town of Addison, Texas, and subject to the conditions, restrictions and reservations stated hereinafter, owner dedicates to the public use forever the streets and alleys shown hereon.

The easements shown on this plat are hereby reserved for the purposes as indicated, including, but not limited to, the installation of water, sanitary sewer, storm sewer, drainage, electric, telephone, gas and cable television. Owner shall have the right to use these easements, provided, however, that it does not unreasonably interfere or impede with the provision of the services to others. Said utility easements are hereby being reserved by mutual use and accommodation of all public utilities using or desiring to use the same. An express easement of ingress and egress is hereby expressly granted on, over and across all such easements for the benefit of the provider of services for which easements are granted.

Any drainage and floodway easement shown hereon is hereby dedicated to the public's use forever, but including the following covenants with regards to maintenance responsibilities. The existing channels or creeks traversing the drainage and floodway easement will remain as an open channel, unless required to be enclosed by ordinance at all times and shall be maintained by the individual owners of that lot to lots that are traversed by or adjacent to the drainage and floodway easement. The town will not be responsible for the maintenance and operation of said creek or creeks or for any damage or injury of private property or person that results from the flow of water along said creek, or for the control of erosion. No obstruction to the natural flow of water runoff shall be permitted by construction of any type building, fence or any other structure within the drainage and floodway easement. Provided, however, it is understood that in the event it becomes necessary for the town to channelize or consider erecting any type of drainage structure in order to improve the storm drainage, then in such event, the town shall have the right, but not the obligation, to enter upon the drainage and floodway easement at any point, or points, with all rights of ingress and egress to investigate, survey, erect, construct or maintain any drainage facility deemed necessary by the town for maintenance or efficiency of its respective system or service.

Water main and sanitary sewer easements shall also include additional area of working space for construction and maintenance of the systems. Additional easement area is also conveyed for installation and maintenance of manholes, cleanouts, fire hydrants, water service and sewer services from the main to curb or pavement line, and the descriptions of such additional easements herein granted shall be determined by their locations as installed.

This plat is approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Addison.

WITNESS, my hand, this the 4th day of May, 2005.

ADDISON SOUTHWEST, LTD.

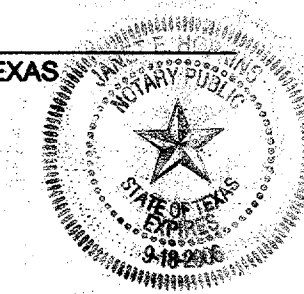
By: [Signature]
DANIEL M. COLE SNADON, its GENERAL PARTNER

STATE OF TEXAS
COUNTY OF DALLAS

BEFORE ME, the undersigned, a Notary Public in and for the State of Texas, on this day personally appeared Cole Snadon, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

Given under my hand and seal of office on this the 4th day of May, 2005.

[Signature]
NOTARY PUBLIC in and for the STATE OF TEXAS



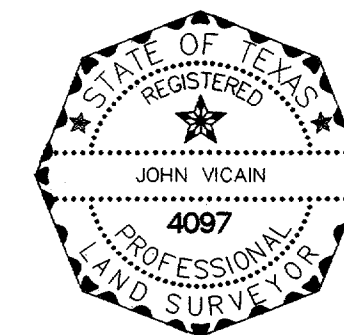
SURVEYORS CERTIFICATION

KNOW ALL MEN BY THESE PRESENTS:

THAT I, JOHN VICAIN, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision in accordance with the Platting Rules and Regulation of the Town of Addison, Texas.

DATED THIS 4th DAY OF May, 2005.

JOHN VICAIN
Registered Professional Land Surveyor #4097
KIMLEY-HORN AND ASSOCIATES, INC.
12700 Park Central Drive, Suite 1800, Dallas, Texas 75251
(972) 770-1300

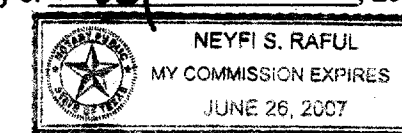


STATE OF TEXAS
COUNTY OF DALLAS

BEFORE ME, the undersigned authority, on this day personally appeared John Vicain, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed, in the capacity therein stated and as the act and deed of said corporation.

Given under my hand and seal of office on this the 4th day of May, 2005.

[Signature]
NOTARY PUBLIC in and for the STATE OF TEXAS



APPROVED and ACCEPTED for the Town of Addison this the 12th day of April, 2005.

The approval of this plat is contingent upon the plat being filed for record with the County Clerk of Dallas County with 180 days from the above date.

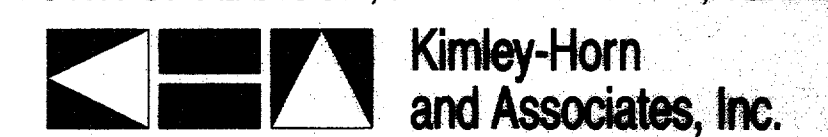
[Signature]
Mayor: R. Scott Wheeler

[Signature]
City Secretary

FILED AND RECORDED
OFFICIAL PUBLIC RECORDS
MAY 23 PM 2:42
Dallas County, Texas

REPLAT OF
BELTWAY-QUORUM ADDITION
LOTS 1A and 3, BLOCK A
6.407 ACRES

SITUATED IN THE
G.W. FISHER SURVEY, ABSTRACT No. 482
AND BEING ALL OF LOT 1, BLOCK A
OF THE FINAL PLAT OF
BELTWAY-QUORUM ADDITION
TOWN OF ADDISON, DALLAS COUNTY, TEXAS



12700 Park Central Drive, Suite 1800 Dallas, Texas 75251 Tel. No. 972-770-1300 Fax No. 972-239-3820
DATE: MAY 3, 2005 JOB NO. 063984003 SCALE: 1" = 40'

GENERAL CONSTRUCTION NOTES

- 1. ALL MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE TOWN OF ADDISON'S DESIGN STANDARDS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS.
3. THE CONTRACTOR SHALL CONTACT ALL FRANCHISED UTILITY COMPANIES TO HAVE THEM LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE THE EXACT LOCATION AND DEPTH OF ALL FRANCHISED UTILITY SERVICES AND ANY REQUIRED RELOCATION AND/OR EXTENSIONS. SERVICES SHOWN ON THE PLANS ARE CONCEPTUAL.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, ETC. MUST BE ADJUSTED TO PROPER GRADE BY THE CONTRACTOR PRIOR TO AND AFTER PLACING OF PERMANENT PAVING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE DURING CONSTRUCTION OF THE PAVING FOR THIS PROJECT.
5. BRACING OF UTILITY POLES MAY BE REQUIRED BY UTILITY COMPANIES WHEN TRENCHING OR EXCAVATION IS IN CLOSE PROXIMITY TO THE POLES. THE COST OF BRACING POLES WILL BE BORNE BY THE CONTRACTOR. THERE IS NO SEPARATE PAY ITEM FOR THIS WORK. THE COST IS INCIDENTAL TO THE VARIOUS PAY ITEMS FOR INSTALLATION OF PIPE.
6. THE LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES SHOWN ON THE PLANS WERE OBTAINED FROM AVAILABLE UTILITY COMPANY RECORDS AND PLANS AND ARE CONSIDERED APPROPRIATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATIONS, ELEVATIONS, AND DIMENSIONS OF ADJACENT AND/OR CONFLICTING UTILITIES SUFFICIENTLY IN ADVANCE OF CONSTRUCTION IN ORDER THAT ADJUSTMENTS CAN BE MADE TO PROVIDE ADEQUATE CLEARANCES. THE CONTRACTOR SHALL PROTECT PUBLIC UTILITIES AT ALL TIMES DURING CONSTRUCTION. ANY DAMAGE TO UTILITIES RESULTING FROM CONTRACTOR'S OPERATIONS SHALL BE RESTORED AT THEIR EXPENSE. THE ENGINEER SHALL BE NOTIFIED WHEN PROPOSED FACILITY GRADES CONFLICT WITH EXISTING UTILITY GRADES.
7. THE CONTRACTOR SHALL IMMEDIATELY REPAIR OR REPLACE ANY PHYSICAL DAMAGE TO PRIVATE PROPERTY, INCLUDING, BUT NOT LIMITED TO, FENCES, WALLS, PAVEMENT, GRASS, TREES, AND LAWN SPRINKLER AND IRRIGATION SYSTEMS AT NO COST TO THE OWNER. THIS WORK SHALL BE SUBSIDIARY TO THE CONTRACT (UNLESS OTHERWISE NOTED) AND IS NOT A SEPARATE PAY ITEM.
8. THE CONTRACTOR SHALL REMOVE SURPLUS MATERIAL FROM THE PROJECT AREA. THIS WORK SHALL BE SUBSIDIARY TO THE CONTRACT AND IS NOT A SEPARATE PAY ITEM.
9. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.
10. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONTRACT INCLUDING PLANS, SPECIFICATIONS, AND SPECIAL CONDITIONS, COPIES OF ANY REQUIRED CONSTRUCTION PERMITS, EROSION CONTROL PLANS, SWPPP AND INSPECTION REPORTS.
11. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE ARCHITECT AND ENGINEER. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR WHICH THE OWNER AND ENGINEER WERE NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.
12. ALL COPIES OF COMPACTOR, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE ARCHITECT, CIVIL ENGINEER AND CITY ENGINEER OF RECORD DIRECTLY FROM THE TESTING AGENCY.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE ENGINEER A CERTIFIED RECORD SURVEY SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF TEXAS, SHOWING THE ACTUAL FIELD LOCATION OF ALL CONSTRUCTED IMPROVEMENTS THAT ARE REQUIRED BY THE JURISDICTIONAL AGENCIES FOR THE CERTIFICATION PROCESS. ALL SURVEY COSTS WILL BE THE CONTRACTOR'S RESPONSIBILITY.
14. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES, JURISDICTIONAL AGENCIES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
15. CONTRACTOR SHALL VERIFY BENCHMARKS AND DATUM PRIOR TO COMMENCING CONSTRUCTION OR STAKING OF IMPROVEMENTS.
16. CONTRACTOR SHALL THOROUGHLY CHECK COORDINATION OF CIVIL, LANDSCAPE, MEP, ARCHITECTURE AND OTHER PLANS PRIOR TO COMMENCING CONSTRUCTION. OWNER AND ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCY PRIOR TO COMMENCING WITH CONSTRUCTION.
17. ALL HORIZONTAL DIMENSIONS GIVEN ARE TO FACE OF CURB AND TO PIPE CENTERLINES UNLESS OTHERWISE NOTED ON PLANS.
18. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING RELOCATION AND INSTALLATION OF FRANCHISED UTILITIES NECESSARY FOR ON AND OFF SITE CONSTRUCTION.
19. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH. THE AREAS SHALL THEN BE SEED, IRRIGATED, AND STABILIZED AS SPECIFIED IN THE PLANS, AND MAINTAINED UNTIL SOIL IS STABILIZED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE JOB SHALL BE CONNECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ALL EARTHEN AREAS WILL BE STABILIZED AND MULCHED AS SHOWN ON THE LANDSCAPE, GRADING, AND EROSION CONTROL PLANS.
20. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE SHOWN.
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
22. SO2 OR SEED MUST BE INSTALLED AND MAINTAINED ON EXPOSED SLOPES WITHIN 48 HOURS OF COMPLETING FINAL GRADING AT ANY OTHER TIME AS NECESSARY TO PREVENT EROSION, SEDIMENTATION OR TURBID DISCHARGES.
23. THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS IN GOOD CONDITION AT THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY WATER MANAGEMENT DISTRICT REPRESENTATIVES.
24. THE CONTRACTOR MUST CONSTRUCT AND MAINTAIN A PERMANENT STABLE PROTECTIVE COVER (GRASS) FOR EROSION AND SEDIMENT CONTROL ON ALL LAND SURFACES EXPOSED OR DISTURBED BY CONSTRUCTION OF THE PERMITTED PROJECT. THE PROTECTIVE COVER MUST BE INSTALLED WITHIN FOURTEEN DAYS AFTER FINAL GRADING OF THE AFFECTED LAND SURFACE. A PERMANENT STABLE COVER MUST BE ESTABLISHED WITHIN 60 DAYS OF ITS INSTALLATION.
25. UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE THE CIVIL ENGINEER A COPY OF AS-BUILT PLANS IDENTIFYING ALL DEVIATIONS OR VARIATIONS FROM THE ORIGINAL PLANS.
26. ALL WORK ON STATE RIGHT OF WAY (ROW) SHALL COMPLY WITH THE TxDOT PERMIT PROVISIONS AND TxDOT STANDARDS.
27. ALL EXISTING PAVEMENT, ADJACENT UTILITIES, STRUCTURES, ETC., DISTURBED AS A RESULT OF THE NEW CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
28. ALL WORK REQUIRED BY THESE PLANS SHALL BE CONDUCTED IN CONFORMANCE WITH CURRENT SAFETY CODES AND STANDARDS WITH JURISDICTION OVER THIS PROJECT.

EROSION CONTROL NOTES

- 1. ALL EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO SITE DISTURBANCE AND SHALL REMAIN IN PLACE UNTIL FINAL GRADING AND PAVING IS COMPLETE AND A STANDING OF GRASS IS ESTABLISHED WITH 70% COVERAGE ACHIEVED.
2. CONSTRUCTION OPERATIONS SHALL BE MANAGED SO THAT AS MUCH OF THE SITE AS POSSIBLE IS LEFT COVERED WITH TOPSOIL AND VEGETATION.
3. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL EROSION, CONSERVATION, AND SILTATION ORDINANCES. THE CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF PERMANENT DRAINAGE AND THE ESTABLISHMENT OF A STAND OF GRASS SUFFICIENT TO PREVENT EROSION. THE CONTRACTOR MUST USE SEDIMENT FILTERS OR OTHER MEASURES APPROVED BY THE ENGINEER AND CONSTRUCTION MANAGER TO PREVENT SILT AND CONSTRUCTION DEBRIS FROM CLOGGING STORM SEWER PIPES OR PROPOSED OR EXISTING INLETS, OR FROM BEING TRANSPORTED TO ADJACENT PROPERTIES AND STREET RIGHT OF WAYS.
4. CONTRACTOR SHALL CONSTRUCT A STABILIZED CONSTRUCTION ENTRANCE AT ALL PRIMARY POINTS OF ACCESS. CONTRACTOR IS RESPONSIBLE FOR INSURING THAT ALL CONSTRUCTION TRAFFIC UTILIZES THE STABILIZED ENTRANCE AT ALL TIMES FOR INGRESS/EGRESS TO THE SITE.
5. CONSTRUCTION ENTRANCE: MINIMUM SIZE STONE: 2" DIAMETER THICKNESS: NOT LESS THAN 8" LENGTH: NOT LESS THAN 50' WIDTH: NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS AND EGRESS. MAINTENANCE REQUIREMENTS: AS NECESSARY TO PREVENT TRACKING OR FLOWING MUD INTO PUBLIC RIGHT-OF-WAY OR PARKING AREAS.
6. SITE ENTRY AND EXIT LOCATIONS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ON A PUBLIC ROADWAY MUST BE IMMEDIATELY CLEANED UP. SEDIMENT REMOVAL IS REQUIRED TO REMOVE SEDIMENT PRIOR TO ENTRANCE TO A PUBLIC ROADWAY. IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE. ALL FINES IMPOSED FOR TRACKING ONTO PUBLIC ROADS SHALL BE PAID BY THE CONTRACTOR.
7. CONTRACTOR IS RESPONSIBLE FOR PROPER MAINTENANCE OF THE REQUIRED EROSION CONTROL DEVICES THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS. EROSION CONTROLS SHALL BE REPAIRED OR REPLACED AS INSPECTION DEMANDS NECESSARY, OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. ACCUMULATED SILT IN ANY EROSION CONTROL DEVICE SHALL BE REMOVED AND SHALL BE DISTRIBUTED ON SITE IN A MANNER NOT CONTRIBUTING TO ADDITIONAL SILTATION.
8. THE CONTRACTOR IS RESPONSIBLE FOR REESTABLISHING ANY EROSION CONTROL DEVICES WHICH THEY DISTURB. CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DEFICIENCIES IN THE ESTABLISHED EROSION CONTROL MEASURES WHICH MAY LEAD TO UNAUTHORIZED DISCHARGE OR STORM WATER POLLUTION, SEDIMENTATION OR OTHER POLLUTANTS. UNAUTHORIZED POLLUTANTS INCLUDE, BUT ARE NOT LIMITED TO, EXCESS CONCRETE DUMPING OR CONCRETE RESIDUE, PAINTS, SOLVENTS, GREASES, FUEL AND LUBE OIL, PESTICIDES, AND SOLID WASTE MATERIALS.
9. THE CONTRACTOR SHALL MAINTAIN ADEQUATE SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION. THE CONTRACTOR SHALL USE FILTER BARRIER (OR OTHER METHOD APPROVED BY THE ENGINEER AND TOWN OF ADDISON) AS REQUIRED TO PREVENT ADVERSE EFFECTS OF WATER OR CONSTRUCTION DEBRIS FLOWING ONTO ADJACENT PROPERTIES AS REQUIRED BY THE TOWN OF ADDISON. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, OR LOCAL EROSION, CONSERVATION, AND SILTATION ORDINANCES. CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF PERMANENT DRAINAGE FACILITIES AND THE ESTABLISHMENT OF A STAND OF GRASS OR OTHER GROWTH TO PREVENT EROSION.
10. CONTRACTOR SHALL PROVIDE ADEQUATE EROSION CONTROL DEVICES DURING THE PHASED CONSTRUCTION OF THIS PROJECT.
11. CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL SILT AND DEBRIS OFF SITE FROM THE EXISTING ROADWAYS AND PROJECT SITE THAT ARE A RESULT OF THE PROPOSED CONSTRUCTION.
12. BEFORE ANY EARTHWORK IS DONE, THE CONTRACTOR SHALL STAKE OUT AND MARK THE LIMITS OF CONSTRUCTION AND OTHER ITEMS ESTABLISHED BY THE PLANS. THE CONTRACTOR SHALL STAKE OUT AND MARK ALL CONTROL POINTS AT ALL TIMES DURING THE COURSE OF THE PROJECT. THE GRADING CONTRACTOR SHALL PROVIDE ALL NECESSARY ENGINEERING AND SURVEYING FOR LINE AND GRADE CONTROL POINTS RELATED TO EARTHWORK.
13. THE CONTRACTOR SHALL SALVAGE AND PROTECT ALL EXISTING POWER POLES, SIGNS, MANHOLES, TELEPHONE RISERS, WATER VALVES, ETC. DURING ALL CONSTRUCTION PHASES UNLESS NOTED OTHERWISE.
14. CONTRACTOR STAGING AREA TO BE AGREED UPON BY OWNER PRIOR TO BEGINNING CONSTRUCTION.
15. AS INLETS ARE COMPLETED TEMPORARY SEDIMENT BARRIERS SHALL BE INSTALLED.
16. SILT FENCE AND INLET SEDIMENT BARRIERS SHALL REMAIN IN PLACE UNTIL REVEGETATION HAS BEEN COMPLETED.
17. DISTURBED AREAS THAT ARE SEED OR SOODED SHALL BE CHECKED PERIODICALLY TO SEE THAT GRASS COVERAGE IS PROPERLY MAINTAINED. DISTURBED AREAS SHALL BE WATERED, FERTILIZED, AND RESEED OR RESOODED, IF NECESSARY.
18. CONTRACTOR SHALL PROMOTE AND PROVIDE FOR A HEALTHY ESTABLISHMENT OF TURF GRASSES WHILE KEEPING IRRIGATION TO A MINIMUM IN ORDER TO REDUCE EROSION FROM SURFACE RUNOFF.

GAS, ELECTRIC AND TELEPHONE NOTES

- 1. THE CONTRACTOR SHALL INSTALL 2-4" SCHEDULE 40 PVC CONDUITS FOR AREA TELEPHONE SERVICE PROVIDER. THE SERVICE PROVIDER WILL INSTALL THE WIRING. THE CONDUITS SHALL EXTEND FROM THE BUILDING TO THE ADJACENT R.O.W. CONTRACTOR SHALL COORDINATE LOCATION, ALIGNMENT AND INSTALLATION REQUIREMENTS WITH THE AREA TELEPHONE PROVIDER.
2. PULL BOXES SHALL BE INSTALLED AT ALL BENDS AND AT 1000-FOOT INCREMENTS ALONG ALL TELEPHONE AND COMMUNICATIONS CONDUITS. ALL PULL BOXES SHALL BE WATERPROOF, AND THOSE IN PAVED AREAS SHALL BE TRAFFIC RATED.
3. THE CONTRACTOR SHALL PROVIDE 4 WEEKS LEAD TIME FOR (TEMPORARY AND PERMANENT) TELEPHONE SERVICE INSTALLATION AND 14 WEEKS LEAD TIME FOR THREE-PHASE TRANSFORMERS. COORDINATE SERVICE WITH THE LOCAL ELECTRIC PROVIDER.
4. THE CONTRACTOR SHALL COORDINATE ALL ELECTRIC AND GAS SERVICE (TEMPORARY AND PERMANENT) LOCATION, ALIGNMENT, INSTALLATION REQUIREMENTS AND COST SHARING ARRANGEMENTS WITH FRANCHISED UTILITY PROVIDER.
5. ALL FRANCHISED UTILITY LOCATIONS SHOWN ON THESE DRAWINGS ARE CONCEPTUAL IN NATURE. THE CONTRACTOR SHALL COORDINATE THE EXACT DESIGN, ALIGNMENT, INSTALLATION REQUIREMENTS AND COST SHARING ARRANGEMENTS WITH THE INDIVIDUAL UTILITY PROVIDERS. THE CONTRACTOR SHALL INCLUDE ALL ASSOCIATED COSTS TO INSTALL FRANCHISED UTILITY (GAS, ELECTRIC, PHONE, CABLE) SERVICE TO THE PROPOSED BUILDING, IN THE BASE BID ALIGNMENT WITH UTILITY PROVIDER.

PAVING AND STRIPING NOTES

- 1. ALL WORK AND MATERIALS ON SITE SHALL BE IN ACCORDANCE WITH THE TOWN OF ADDISON'S DESIGN CRITERIA MANUAL.
2. THE REINFORCED PORTLAND CEMENT CONCRETE SHOULD HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3500 PSI AT 28 DAYS, 4X-8X ENTRAINED AIR, AND A MINIMUM REINFORCING OF #3 BARS @ 18" O.C.E.W. AND SHALL STRICTLY ADHERE TO THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND STRUCTURAL PLANS AND SPECIFICATIONS.
3. TESTING OF MATERIALS REQUIRED FOR THE CONSTRUCTION OF THE PAVING IMPROVEMENTS SHALL BE PERFORMED BY AN AGENCY, APPROVED BY THE OWNER, FOR TESTING MATERIALS. PROCUREMENT OF THE TESTING LABORATORY AND THE PAYMENT OF SUCH TESTING SERVICES SHALL BE MADE BY THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE, BY THE STANDARD TESTING PROCEDURES, THAT THE WORK CONSTRUCTED MEETS THE REQUIREMENTS OF THE CITY AND PROJECT SPECIFICATIONS.
4. ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE "TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
5. RAISED PAVEMENT MARKERS SHALL BE BONDED TO THE ROADWAY SURFACE WITH ADHESIVE CONFORMING WITH THE MANUFACTURER'S RECOMMENDATIONS.
6. THE PAVEMENT UPON WHICH THE LANE AND PAVEMENT MARKERS ARE TO BE PLACED SHALL BE PREPARED TO THE APPROVAL OF THE INSPECTOR TO ENSURE PROPER CLEANING OF THE PAVEMENT SURFACE.
7. ALL STRIPING SHALL BE EXTRUDED THERMOPLASTIC MARKING MATERIAL.
8. SIGN LOCATIONS AND INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE CITY. CONTRACTOR SHALL REVIEW ALL TRAFFIC CONTROL DEVICES WITH THE CITY PRIOR TO INSTALLATION.
9. CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS FOR FIRE LANES, PARKING STALLS, HANDICAPPED PARKING SYMBOLS, AND MISCELLANEOUS STRIPING WITHIN PARKING LOT AND AROUND BUILDING AS SHOWN ON THE PLANS.
10. SEE IRRIGATION PLAN AND MEP PLANS FOR LOCATION OF PROPOSED SLEEVING AND CONDUITS.
11. FIRE LANES SHALL BE DESIGNATED BY CONTINUOUS PAINTED CURBS OR LINES FOUR (4) INCHES IN WIDTH ON EACH SIDE OF THE FIRE LANE STARTING AT THE ENTRANCE FROM THE STREET AND TO BE CONTINUED TO THE EXIT. SUCH LINES SHALL BE BRIGHT RED IN COLOR. CURBS ADJACENT TO FIRE LANES SHALL BE PAINTED BRIGHT RED IN COLOR FROM THE CURB'S GUTTER LINE TO THE TOP, BACK OF CURB. THE WORDS "FIRE LANE" AND "NO PARKING" SHALL BE STENCILED IN FOUR (4) INCH HIGH WHITE LETTERS ALTERNATELY EVERY TWENTY (20) FEET ALONG THE RED FIRE LANE STRIPES IN THE FACE OF THE CURB.
12. ALL HANDICAP RAMPING, STRIPING, AND PAVEMENT MARKINGS SHALL CONFORM TO THE AMERICANS WITH ABILITIES ACT OF 1994 AND THE TEXAS ARCHITECTURAL BARRIERS ACT OF 1994.
13. ALL REGULAR PARKING SPACES ARE 8.0 FEET WIDE. ALL HANDICAP SPACES ARE 8.0 FEET WIDE WITH AN ADJACENT 8.0 FOOT WIDE STRIPED ZONE UNLESS NOTED OTHERWISE.
14. CONTRACTOR TO SUBMIT A PAVEMENT JOINTING PLAN TO THE ENGINEER AND OWNER PRIOR TO THE BEGINNING OF ANY CONCRETE PAVING WORK.
15. COORDINATE WITH BUILDING CONTRACTOR ON THE CONSTRUCTION AND PAVING NEAR THE COMPACTOR AND ENCLOSURE.
16. ALL EXISTING CONCRETE OR ASPHALT SHOWN TO BE REMOVED SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR OFF SITE.
17. CONTRACTOR SHALL REFER TO GEOTECHNICAL REPORT FOR PAVEMENT THICKNESS AND TYPE.

GRADING NOTES

- 1. A GRADING PERMIT IS REQUIRED FROM THE TOWN OF ADDISON PRIOR TO STARTING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMIT AND PAYING ALL ASSOCIATED FEES.
2. CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN) WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT HIS OWN EXPENSE.
3. ALL SPOT ELEVATIONS SHOWN ARE TO TOP OF PAVING SURFACE OR FINISHED EARTH GRADE UNLESS NOTED OTHERWISE. ADD 0.50' TO SPOT GRADES SHOWN FOR TOP OF CURB ELEVATIONS.
4. CONTRACTOR TO ENSURE POSITIVE DRAINAGE FROM THE PROPOSED BUILDINGS AND NO PONDING IN PAVED AREAS. CONTRACTOR ADJUSTMENTS TO SPOT GRADES TO MAINTAIN POSITIVE DRAINAGE IS ALLOWED WITH THE PRIOR APPROVAL OF THE ENGINEER. CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO PAVING IF ANY AREAS OF POOR DRAINAGE ARE ENCOUNTERED.
5. THE CONTRACTOR SHALL PROTECT ALL MANHOLE COVERS, VALVE COVERS, VAULT LIDS, FIRE HYDRANTS, POWER POLES, GUY WIRES, AND TELEPHONE BOXES WHICH ARE TO REMAIN IN PLACE AND UNDISTURBED DURING CONSTRUCTION.
6. ALL EXISTING CONCRETE PAVING, CHANNEL IMPROVEMENTS, SIDEWALK, STRUCTURES AND CURB DEMOLITION SHALL BE REMOVED IN THEIR ENTIRETY AND DISPOSED OF BY THE CONTRACTOR, OFF SITE UNLESS OTHERWISE DIRECTED BY THE OWNER OR ENGINEER.
7. ALL AREAS DISTURBED BY GRADING OPERATIONS SHALL BE SEED, TEMPORARILY IRRIGATED AND MAINTAINED UNTIL A UNIFORM COVERAGE OF 70% MINIMUM DENSITY, AS DETERMINED BY THE OWNER OR OWNER'S REPRESENTATIVE, IS ACHIEVED.
8. BUILDING PAD PREPARATION SHALL BE CONSISTENT WITH THE GEOTECHNICAL REPORT.
9. ALL CLEARING, GRADING, COMPACTION AND SUBGRADE PREPARATION SHALL BE IN ACCORDANCE TO THE RECOMMENDATIONS MADE IN THE SUBSURFACE EXPLORATION REPORT.
10. GRADING CONTRACTOR TO COORDINATE WITH THE FRANCHISED UTILITY COMPANIES FOR ANY REQUIRED UTILITY ADJUSTMENTS AND/OR RELOCATIONS.
11. THE CONTRACTOR SHALL CALCULATE HIS OWN EARTHWORK QUANTITIES AND USE TO DETERMINE HIS BID ACCORDINGLY. ANY DEVIATION FROM A BALANCED CUT AND FILL SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND CIVIL ENGINEER AND ANY VARIANCE QUANTIFIED ON THE BID.
12. REFERENCE STRUCTURAL PLANS AND SPECIFICATIONS AND GEOTECHNICAL REPORT FOR ALL BUILDING PAD LAYOUT AND SOIL PREPARATION/COMPACTION.

WATER AND SANITARY SEWER NOTES

- 1. THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES WHERE PROPOSED UTILITIES ARE BEING CONNECTED, PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF A CONFLICT IS DISCOVERED.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHOWN, COORDINATING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITY SERVICES ENTERING THE BUILDING AND/OR CROSSING OTHER UTILITIES.
3. ALL WATER AND SANITARY SEWER SERVICES SHALL TERMINATE 5 FEET OUTSIDE THE BUILDING UNLESS OTHERWISE NOTED AND THE END OF THESE SERVICES SHALL BE TIGHTLY PLUGGED OR CAPPED. SEE M.E.P. OR ARCHITECTURAL PLANS FOR CONTINUATION.
4. ALL FIRE WATER LINES SHALL BE PVC C909, DR-14 OR APPROVED EQUAL.
5. ALL DOMESTIC WATER LINES SHALL BE CLASS 150 PVC (DR-14) AWMA C-909 WITH DUCTILE IRON FITTINGS OR TYPE K COPPER TUBING.
6. ALL SANITARY SEWER LINES SHALL BE A MINIMUM OF PVC SDR-35, ASTM F789/D3212. ALL SANITARY SEWER LINES DEEPER THAN 15 FEET SHALL BE A MINIMUM OF PVC SDR-26.
7. ALL UTILITY CONSTRUCTION, WATER TAPS, VALVES, AND SERVICES SHALL BE INSTALLED BY THE CONTRACTOR AFTER APPROVAL FROM THE TOWN OF ADDISON AND SHALL CONFORM TO ALL GUIDELINES AND REGULATIONS SET FORTH BY THE TOWN OF ADDISON FOR WATER AND SANITARY SEWER CONSTRUCTION.
8. ALL APPURTENANCES USED FOR FIRE PROTECTION SHALL CONFORM TO THE CURRENT TOWN OF ADDISON DESIGN STANDARDS.
9. ALL WATER AND SANITARY SEWER LINES SHALL MAINTAIN A MINIMUM COVER OF 42 INCHES FROM TOP OF PIPE TO TOP OF GROUND OR PAVEMENT, UNLESS OTHERWISE NOTED.
10. ALL PROPOSED WIRING AND CABLING SHALL BE INSTALLED BELOW GROUND.
12. CONTRACTOR TO SEQUENCE CONSTRUCTION AS TO AVOID INTERRUPTION OF WATER AND SANITARY SEWER SERVICE TO SURROUNDING AREAS.
13. CONTRACTOR TO REPLACE GRASS AND RESTORE PROPERTY TO ORIGINAL CONDITION IN ALL DISTURBED AREAS.
14. EXISTING AND/OR PROPOSED WATER MAINS SHALL BE LOWERED BELOW OR ABOVE PROPOSED SANITARY AND STORM SEWER LINES TO MAINTAIN A MINIMUM OF 2.0 FEET OF VERTICAL SEPARATION. SEE DETAILS INCLUDED IN THIS SET. CONTRACTOR TO MAINTAIN MINIMUM 4.0' SEPARATION BETWEEN SANITARY SEWER AND STORM LINES.
15. EXISTING MANHOLE TOPS, VALVE BOXES, FIRE HYDRANTS AND ALL OTHER UTILITY APPURTENANCES SHALL BE ADJUSTED AS REQUIRED TO MATCH PROPOSED GRADES AS SHOWN ON GRADING PLAN.
16. CONTRACTOR SHALL CONTACT NECESSARY FRANCHISED UTILITY COMPANIES PRIOR TO CONSTRUCTION, IN ORDER TO LOCATE AND/OR DISCONNECT SERVICES.
17. FOR EACH SEWER AND WATER CROSSING, CENTER ONE LENGTH OF SEWER PIPE UNDER THE EXISTING OR PROPOSED WATER MAIN.
18. FIRE HYDRANT SPRINKLER CONNECTIONS SHALL BE LOCATED ON THE BUILDING NOT LESS THAN 18" OR MORE THAN 48" ABOVE GRADE.
19. SITE WORK CONTRACTOR TO COORDINATE WITH BUILDING CONTRACTORS TO ENSURE THAT ALL UTILITIES SERVICE CONNECTIONS AND CONDUITS ARE IN PLACE AND COORDINATED PRIOR TO BEGINNING ANY PAVING ACTIVITIES.
20. ALL VALVES AND FITTINGS SHALL HAVE MEGALUG ANCHORS.
21. THE CONTRACTOR SHALL RECONNECT ANY EXISTING WASTEWATER LATERALS TO PROPOSED WASTEWATER MAINS.
22. WATER PIPES SHALL NOT BE RUN OR LAID IN THE SAME TRENCH AS DRAINAGE PIPES UNLESS:
A. THE BOTTOM OF THE WATER PIPE IS AT LEAST 24 INCHES ABOVE THE TOP OF THE DRAIN LINE.
B. THE WATER PIPE SHALL BE PLACED ON A SOLID SHELF EXCAVATED AT ONE SIDE OF THE COMMON TRENCH WITH A MINIMUM CLEAR HORIZONTAL DISTANCE OF AT LEAST 12 INCHES FROM THE DRAIN LINE.
23. CONTRACTOR TO ADJACE AND/OR BENCH ALL UTILITY TRENCHES AS REQUIRED FOR CONSTRUCTION PRIOR TO EXISTING AND/OR PROPOSED PAVEMENT AND FOUNDATIONS.

STORM SEWER NOTES

- 1. CONTRACTOR SHALL FIELD VERIFY THE VERTICAL AND HORIZONTAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND CONSTRUCTION MANAGER IMMEDIATELY IF A CONFLICT IS DISCOVERED.
2. CONTRACTOR SHALL VERIFY AND COORDINATE ALL DIMENSIONS SHOWN, INCLUDING THE HORIZONTAL AND VERTICAL LOCATION OF CURB INLETS, GRATE INLETS, AND ALL UTILITIES CROSSING THE STORM SEWER. FLOW LINES AND RIMS OF PROPOSED INLETS SHALL BE VERIFIED WITH THE PROPOSED GRADE PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE PROVIDED AN ELECTRONIC ACAD FILE FOR USE IN CONSTRUCTION STAKING AND LAYOUT.
3. ALL STORM SEWER SERVICES SHALL TERMINATE 5 FEET OUTSIDE THE BUILDING UNLESS OTHERWISE NOTED AND THE END OF THESE SERVICES SHALL BE TIGHTLY PLUGGED OR CAPPED. SEE M.E.P. OR ARCHITECTURAL PLANS FOR CONTINUATION.
4. THE SITE UTILITY CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF THE STORM SEWER.
5. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL CONSTRUCTION PERMITS.
6. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
7. REFERENCE TOWN OF ADDISON DESIGN STANDARDS FOR NEW STORM SEWER SYSTEMS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING AND IMPLEMENTING A TRENCH PROTECTION PLAN FOR ALL OPEN TRENCH EXCAVATION.
9. EXISTING MANHOLE TOPS AND ALL OTHER DRAINAGE FACILITIES SHALL BE ADJUSTED AS REQUIRED TO MATCH FINAL GRADES AS SHOWN ON GRADING PLAN. NO SEPARATE PAY ITEM.
10. ALL STORM SEWER PIPE WITHIN PUBLIC EASEMENTS/R.O.W. SHALL BE REINFORCED CONCRETE PIPE (RCP), ASTM C 76, CLASS III ONLY.
11. ALL PRIVATE STORM DRAINS SHALL BE:
A. REINFORCED CONCRETE PIPE (RCP), ASTM C 76, CLASS III OR IV AS NOTED
B. POLYVINYL CHLORIDE (PVC), SDR 25
C. HIGH DENSITY POLYETHYLENE (HDPE), SMOOTH INTERIOR, AASHTO M252 AND M254

STORM SEWER DISCHARGE AUTHORIZATION:

- 1. A CONSTRUCTION SITE NOTICE SHALL BE POSTED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
2. ALL CONTRACTORS AND SUBCONTRACTORS PROVIDING SERVICES RELATED TO THE SWPPP SHALL SIGN A CONTRACTOR CERTIFICATION STATEMENT ACKNOWLEDGING THEIR RESPONSIBILITIES AS SPECIFIED IN THE SWPPP.
3. A COPY OF THE SWPPP, INCLUDING CONTRACTOR CERTIFICATIONS AND ANY REVISIONS, SHALL BE SUBMITTED TO THE TOWN OF ADDISON AND FILED WITH THE CONSTRUCTION PLANS, AND SHALL BE RETAINED ON-SITE DURING CONSTRUCTION.
4. A NOTICE OF TERMINATION (N.O.T.) SHALL BE SUBMITTED TO THE TCEQ BY THE CONTRACTOR WHEN THE SITE HAS 100% OF THE DISTURBED AREAS STABILIZED AND THE SITE NO LONGER HAS STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITIES (CONSTRUCTION), OR THE N.O.T. PERMITTEE OR CO-PERMITTEE NO LONGER HOLDS OPERATIONAL CONTROL OF THE CONSTRUCTION.

TRAFFIC CONTROL NOTES

- 1. CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PLANS, AT LEAST 48 HOURS PRIOR TO ANY WORK IN A TOWN STREET.
2. ALL TRAFFIC CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUTCD), LATEST VERSION.
3. THE CONTRACTOR SHALL COVER EXISTING SIGNS AND OBLITERATE EXISTING PAVEMENT MARKINGS THAT CONFLICT WITH THE INTENT OF THESE TRAFFIC CONTROL PLANS TO AVOID CONFUSION TO THE TRAVELING PUBLIC.
4. THE CONTRACTOR SHALL UNCOVER EXISTING SIGNS AND REPLACE PAVEMENT MARKINGS IN-KIND AS ORIGINALLY CONFIGURED AT THE END OF CONSTRUCTION OPERATIONS AND PRIOR TO FINAL ACCEPTANCE BY THE OWNER.
5. ALL TEMPORARY SIGNS, BARRICADES, WARNING LIGHTS AND OTHER MISCELLANEOUS TRAFFIC CONTROL MEASURES SHALL BE REMOVED AND ORIGINAL TRAFFIC CONTROL MEASURES REPLACED AT THE END OF THE CONTRACTOR'S CONSTRUCTION OPERATIONS.
6. THE TEMPORARY TRAFFIC CONTROL MEASURES SHOWN ON THESE PLANS ARE TO BE CONSIDERED AN ESTABLISHED MINIMUM. ADDITIONAL SIGNS, BARRICADES OR OTHER WARNING DEVICES SHALL BE FURNISHED WHEN NECESSARY TO SAFELY GUIDE TRAFFIC THROUGH THE CONSTRUCTION AREA.
7. TRAFFIC BARRICADES WILL BE REQUIRED AT ALL PROPOSED DRIVEWAY CONNECTIONS TO STREETS AND STORM SEWER CONSTRUCTION IN STREET RIGHT-OF-WAY. BARRICADES SHALL CONFORM TO THE INSTALLATION SHOWN IN THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUTCD), LATEST VERSION.

TOWN OF ADDISON

GENERAL CONSTRUCTION NOTES:

- A. PRIOR TO COMMENCING CONSTRUCTION, THREE SETS OF APPROVED CONSTRUCTION PLANS (CIVIL SET) SHALL BE PROVIDED TO THE TOWN OF ADDISON PUBLIC WORKS DEPARTMENT. THE OWNER OR THEIR AUTHORIZED REPRESENTATIVE, SHALL CONVEY A PRE-CONSTRUCTION CONFERENCE AMONG THE TOWN OF ADDISON, THE CONSULTING ENGINEER(S), CONTRACTOR(S), UTILITY COMPANIES, AND ANY OTHER AFFECTED PARTIES, AT LEAST 48 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION. CONTACT THE ASSISTANT DIRECTOR OF PUBLIC WORKS OR THE PUBLIC WORKS INSPECTOR AT (972) 450-2871.
B. THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FROM THE TOWN OF ADDISON PRIOR TO WORKING WITHIN THE PUBLIC RIGHT-OF-WAY.
C. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ANY UTILITY COMPANIES FOR LOCATION OF EXISTING FACILITIES IN OR NEAR THE WORK AREAS. THESE INCLUDE, BUT MAY NOT BE LIMITED TO THE FOLLOWING:
THE TOWN OF ADDISON COMCAST (AT&T)
ONCOR GAS AND ELECTRIC MC WORLDCOM
SBC (SOUTHERN BELL) BROADBAND
TC/CHARTER CABLE EXPLORER PIPELINE
D. THE CONTRACTOR SHALL PROVIDE SUBMITTALS TO THE TOWN OF ADDISON, FOR APPROVAL OF ALL MATERIALS TO BE ADDED TO THE PUBLIC INFRASTRUCTURE, PRIOR TO INCORPORATING MATERIALS INTO THE JOB.
E. THE UTILITY CONTRACTOR SHALL SUBMIT TO THE TOWN OF ADDISON, AN APPROVED TRENCH SAFETY PLAN, SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF TEXAS, FOR THE INSTALLATION OF UTILITIES GREATER THAN FIVE (5) FEET IN DEPTH.
F. THE CONTRACTOR / DEVELOPER SHALL VERIFY COMPLIANCE WITH NPDES AND SUBMIT A SWPPP AS PART OF THE CONSTRUCTION PLANS.
G. A TRAFFIC CONTROL PLAN THAT COMPLIES WITH PART VI OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS SHALL BE SUBMITTED AS PART OF THE CONSTRUCTION PLANS.
H. TEMPORARY OR PERMANENT BARRICADES SHALL REMAIN AT ALL POINTS OF INGRESS OR EGRESS TO PREVENT PUBLIC USE UNTIL THE WORK RECEIVES FINAL ACCEPTANCE.
I. DURING CONSTRUCTION, THE OWNER SHALL PROVIDE A QUALIFIED GEOTECHNICAL LIAISON TO COORDINATE APPROPRIATE TESTING DURING THE CONSTRUCTION, AT THE REQUEST OF THE TOWN OF ADDISON.

PRIOR TO FINAL ACCEPTANCE BY THE TOWN OF ADDISON, THE FOLLOWING ITEMS SHALL BE COMPLETED:

- 1. THE CONTRACTOR, AT THEIR EXPENSE, SHALL REPAIR ANY EXISTING PAVEMENT, CURB, IRRIGATION SYSTEM, LANDSCAPING, AND/OR SIDEWALKS DAMAGED OR REMOVED DUE TO CONSTRUCTION ACTIVITY.
2. LOT PINS SHALL BE INSTALLED AFTER CONSTRUCTION AND PRIOR TO FINAL ACCEPTANCE. CONCRETE MONUMENTS SHALL BE PLACED AS SHOWN ON THE FINAL PLAN. IRON PINS SHALL BE PLACED AT BLOCK CORNERS, CURVE POINTS, AND ANGLE POINTS IN PUBLIC RIGHT-OF-WAY. CONCRETE MONUMENTS SHALL BE SIX (6) INCHES IN DIAMETER AND TWENTY-FOUR (24) INCHES LONG. AN IRON ROD ONE-HALF (1 1/2) INCH IN DIAMETER SHALL BE EMBEDDED AT LEAST THREE (3) INCHES INTO THE MONUMENT AT THE EXACT INTERSECTION POINT OF THE MONUMENT. THE MONUMENT SHALL BE SET AT SUCH AN ELEVATION THAT AFTER CONSTRUCTION, THE TOP OF THE MONUMENT WILL BE NOT LESS THAN TWELVE (12) INCHES BELOW FINISHED GRADE.
3. THE CONTRACTOR SHALL STAMP A 2-INCH "W" AND A 2-INCH "S" IN THE CURB AT THE LOCATION OF THE WATER AND SEWER LINES, RESPECTIVELY. A 2-INCH "C" SHALL MARK CONDUITS CROSSING PAVEMENT, AND A 2-INCH "V" SHALL MARK WATER VALVES, WITH THE "POINT" OF THE "V" TOWARD THE VALVE.
4. ALL EXISTING AND PROPOSED IMPROVEMENTS (VALVES, MANHOLES, FIRE HYDRANTS, WATER METERS, ETC.) SHALL BE ADJUSTED TO FINAL FINISHED GRADE BY THE CONTRACTOR.
5. ANY ADJACENT PROPERTIES AFFECTED BY THE CONSTRUCTION SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITION, OR BETTER.
6. A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS SHALL CERTIFY THAT THE PROJECT WAS CONSTRUCTED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS APPROVED BY THE TOWN OF ADDISON.
7. THE OWNER SHALL PROVIDE ONE REPRODUCIBLE SET, TWO BLUE LINE SETS, AND ONE ELECTRONIC MEDIA (INTERGRAPH OR AUTOCAD) COPY OF DIMENSIONED AS-BUILT PLANS (DIMENSIONED, DATED, SEALED AND CERTIFIED BY A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS).
8. A LIST OF MATERIALS AND APPURTENANCES INCLUDED IN THE PUBLIC INFRASTRUCTURE SHALL BE SUBMITTED. SQUARE FOOTAGE OF APPROACHES AND SIDEWALKS SHALL BE INCLUDED IN THIS LIST.
9. THE CONTRACTOR SHALL PROVIDE VERIFICATION OF COMPLETION OF ALL REQUIRED TESTS (PRESSURE, BACTERIOLOGICAL, BACKFLOW, VACUUM, MANHOLE, VHS VIDEO OF SANITARY SEWER, ETC.).
10. A MAINTENANCE BOND SHALL BE SUBMITTED FOR THE PUBLIC INFRASTRUCTURE:
100% FOR VALUATIONS LESS THAN OR EQUAL TO \$5,000.00
\$5,000.00 FOR VALUATIONS > \$5,000.00 BUT < \$50,000.00
10% FOR VALUATIONS > \$50,000.00

- 11. THE CONTRACTOR SHALL CALL (972) 450-2847 TO REQUEST A WALK-THROUGH INSPECTION OF THE PUBLIC INFRASTRUCTURE.
12. WATER AND SANITARY ACCOUNTS SHALL BE SET UP WITH UTILITY BILLING (972-450-7081) AND ALL NECESSARY DEPOSITS PAID BY THE PARTY RESPONSIBLE FOR THE WATER SERVICES.
13. ISSUES IDENTIFIED DURING THE FINAL WALK-THROUGH INSPECTION THAT REQUIRE REVISION, REPAIR, OR ADDITIONAL WORK MAY BE ADDRESSED IN A LETTER TO THE TOWN OF ADDISON. THE LETTER SHOULD BE SENT TO THE ATTENTION OF THE ASSISTANT DIRECTOR OF PUBLIC WORKS, PO BOX 9010, ADDISON, TX 75001, ON OFFICIAL LETTERHEAD (OWNER/GENERAL CONTRACTOR), AND WILL INCLUDE A LIST OF THE ITEMS AND THE PROJECTED COMPLETION DATE. UPON RECEIPT OF SAID LETTER, THE PUBLIC WORKS INSPECTOR MAY SIGN OFF ON A "TEMPORARY" CERTIFICATE OF OCCUPANCY PROVIDED THERE IS NO ENDANGERMENT TO HEALTH OR SAFETY.
14. UPON COMPLETION OF ALL REQUIRED WORK IN A SATISFACTORY MANNER, AND RECEIPT OF ALL THE REQUIREMENTS LISTED ABOVE, THE PUBLIC WORKS INSPECTOR WILL SIGN OFF ON THE USE CERTIFICATE. OTHER DEPARTMENTS OR AGENCIES MAY HAVE SEPARATE REQUIREMENTS NOT COVERED BY THE PUBLIC WORKS DEPARTMENT.

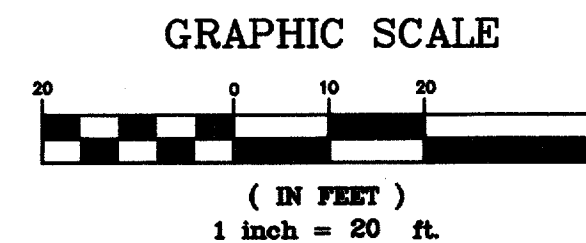
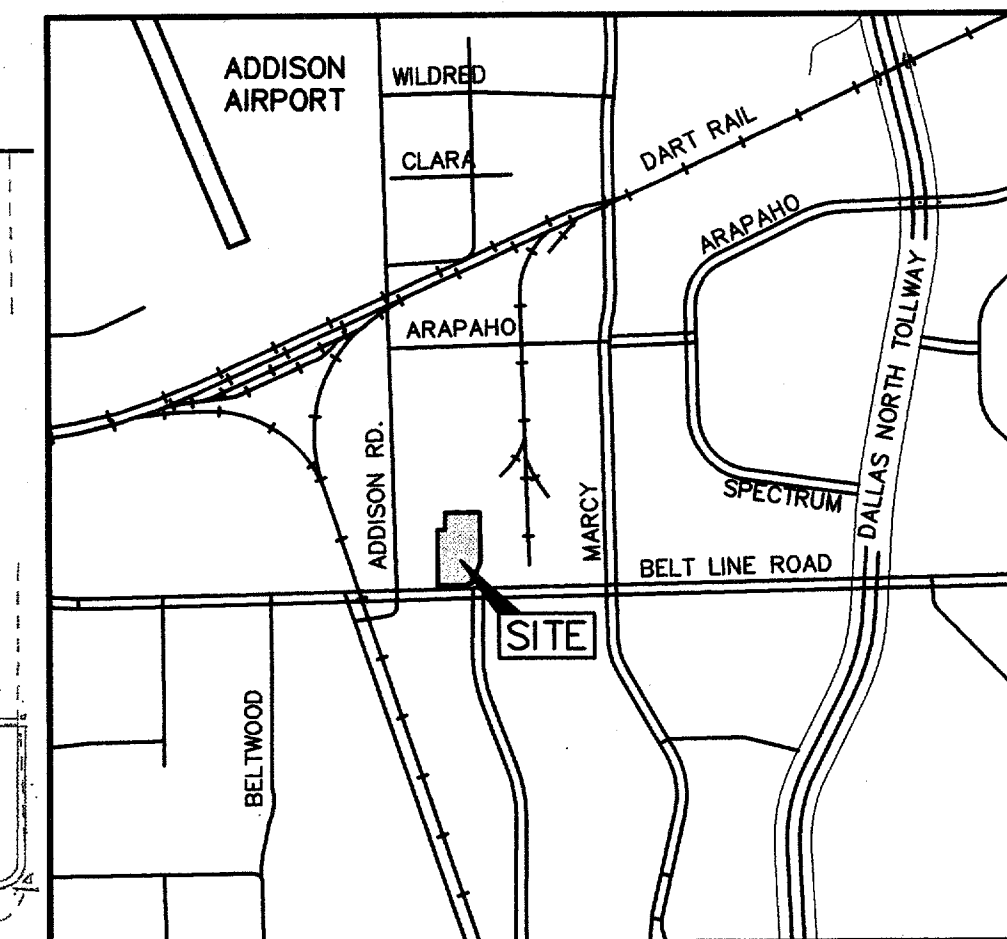
RECORD DRAWING THIS DRAWING HAS BEEN REVIEWED TO SHOW IT DOES NOT CONFLICT WITH ANY OTHER DRAWINGS REPORTED BY THE CONTRACTOR TO KIMLEY-HORN AND ASSOCIATES, INC. SIGNATURE OF THE REGISTERED PROFESSIONAL ENGINEER IS REQUIRED TO BE ACRIBITALLY CERTIFIED AND BASED ON THE INFORMATION MADE AVAILABLE. DATE: 11-17-05 BY: [Signature]

Scale: NONE
Designed by: SCG
Drawn by: SCG
Checked by: BJP
Date: MAY 2005
Project No. 0639849003
SHEET C-1 OF 12
Kimley-Horn and Associates, Inc.
12700 Park Central Drive, Suite 1800
Dallas, Texas 75251
Tel. No. (972) 770-1300
Fax No. (972) 239-3920
BRIAN J. PARKER
REGISTERED PROFESSIONAL ENGINEER
90248
PROTOTYPE 93
ON THE BORDER
GENERAL CONSTRUCTION NOTES
OTB RELOCATION
OTB ADDISON
BELLINE ROAD
ADDISON, TEXAS

SITE DATA SUMMARY TABLE	
LOT DATA:	
SITE AREA	1.780 ACRES (76,600 SF)
ZONING	C-1 (COMMERCIAL-1)
PROPOSED USE	RESTAURANT
BUILDING DATA:	
BUILDING HEIGHT	1 STORY (24')
BUILDING AREA	6,802 SF
PATIO AREA	2,041 SF
FLOOR TO AREA RATIO	0.08:1
LOT COVERAGE	9%
PARKING DATA:	
REQUIRED (1/70 S.F. BLDG. AREA)	127
PROVIDED	127 (123 REG; 4 ACCESSIBLE)

REMAINDER OF
LOT 1, BLOCK A
BELTWAY-CENTRE ADDITION
VOL. 2004014, PG. 00009
D.R.D.C.T.
(ZONED C-1)

BENCHMARK:
WATER DEPARTMENT BENCHMARK IN CENTER OF SOUTH CONCRETE
HEADWALL OF A 6'X3'X48" CONCRETE BOX CULVERT ON SOUTH SIDE OF
BELT LINE ROAD AND 22.7 FEET EAST OF CENTERLINE OF ST. LOUIS &
SOUTHWESTERN RAILROAD AT ADDISON ROAD.
ELEVATION = 634.15



LOT 2, BLOCK A
BELTWAY-CENTRE ADDITION
VOL. 2004014, PG. 00009
D.R.D.C.T.
(ZONED C-1)

STOP!
CALL BEFORE YOU DIG
DIG TESS
1-800-DIG-TESS
(@ least 72 hours prior to digging)

- NOTES:**
1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
 2. ALL RADII ARE 3.0' UNLESS OTHERWISE NOTED.
 3. REFERENCE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
 4. REFERENCE GRADING PLAN FOR RETAINING WALL ELEVATIONS.

ADDISON ROAD
(VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)

MARK A. ALBERT
VOL. 97002, PG. 3045
D.R.D.C.T.
ZONED "LR"

ONE STORY
COMMERCIAL BUILDING
THOMAS
REPROGRAPHICS

BELT LINE ROAD
(100-FOOT WIDE PUBLIC RIGHT-OF-WAY)

LOT 1A, BLOCK A
1.758 AC. (76,600 S.F.)
ZONED C-1

LEGEND	
	EXISTING FINELINE
	PROPOSED 24' FINELINE
	PROPOSED RETAINING WALL SEE SHT. C-10
	PROPOSED FIRE HYDRANT
	PROPOSED WATER METER
	PROPOSED FIRE DEPARTMENT CONNECTION
	PROPOSED CURB INLET
	PROPOSED AREA DRAIN
	PROPOSED ACCESSIBLE PARKING
	PROPOSED VAN ACCESSIBLE PARKING
	EXISTING OVERHEAD POWER POLE
	EXISTING LIGHT POLE
	EXISTING SANITARY SEWER MANHOLE

"RECORD DRAWING"
THIS DRAWING HAS BEEN REVISED TO SHOW THOSE
CHANGES DURING THE CONSTRUCTION PROCESS
REPORTED BY THE CONTRACTOR TO KIMLEY-HORN
AND ASSOCIATES, INC. AND CONSIDERED TO BE
SIGNIFICANT. THIS DRAWING IS NOT GUARANTEED
TO BE "AS-BUILT" BUT IS BASED ON THE
INFORMATION MADE AVAILABLE.
DATE: 11.17.05 BY: B. Parker

ENGINEER:
KIMLEY-HORN & ASSOCIATES, INC.
12700 PARK CENTRAL DR.
SUITE 1800
DALLAS, TX 75251
PHONE (972) 770-1300
FAX (972) 239-3820
CONTACT: BRIAN PARKER, P.E.

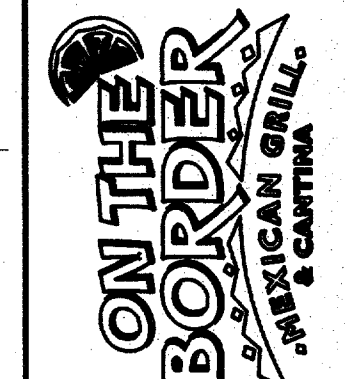
OWNER/APPLICANT:
BELTWAY DEVELOPMENT
15280 ADDISON ROAD
SUITE 300
ADDISON, TX 75001
PHONE (972) 628-3464
FAX (972) 385-8039
CONTACT: COLE SNADON

Scale: AS SHOWN
Designed by: ABC
Drawn by: ABC
Checked by: BP
Date: MAY 2005
Project No. 063984003

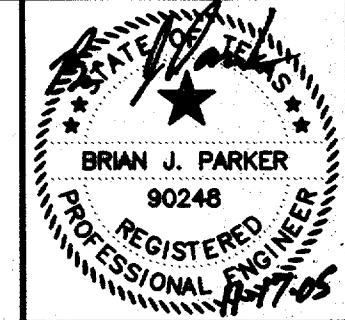
SHEET
C-3
OF 12

PROTOTYPE 9.3

OTB RELOCATION
OTB ADDISON
BELTLINE ROAD
ADDISON, TEXAS



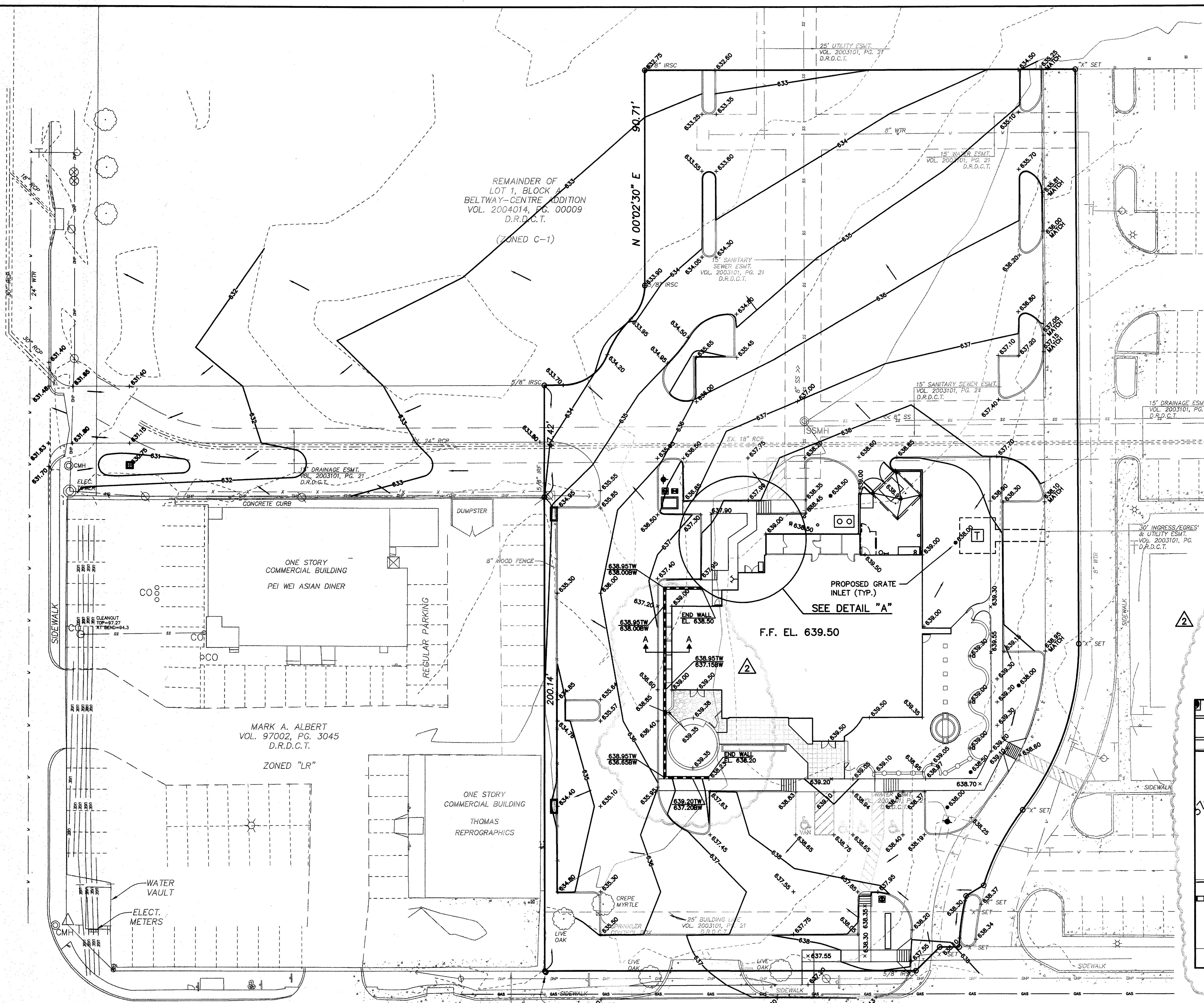
SITE PLAN



**Kimley-Horn
and Associates, Inc.**
12700 Park Central Drive, Suite 1800
Dallas, Texas 75251
Tel. No. (972) 770-1300
Fax. No. (972) 239-3820

No.	Date	Revisions	App.
10/14/05		REVISE WORDING FOR TRANSFORMER AND EASEMENT	B.P.
08/12/05		ADDED NOTE FOR RETAINING WALL	B.P.
		RELOCATE TRANSFORMER	

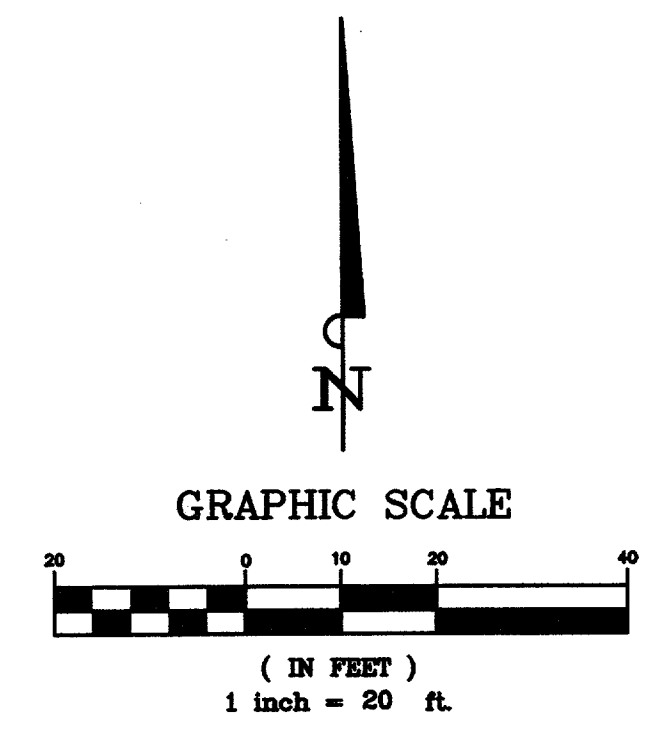
ADDISON ROAD
(VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)



STOP!
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DIG TESS
1-800-DIG-TESS
(@ least 72 hours prior to digging)

BELT LINE ROAD
(100-FOOT WIDE PUBLIC RIGHT-OF-WAY)

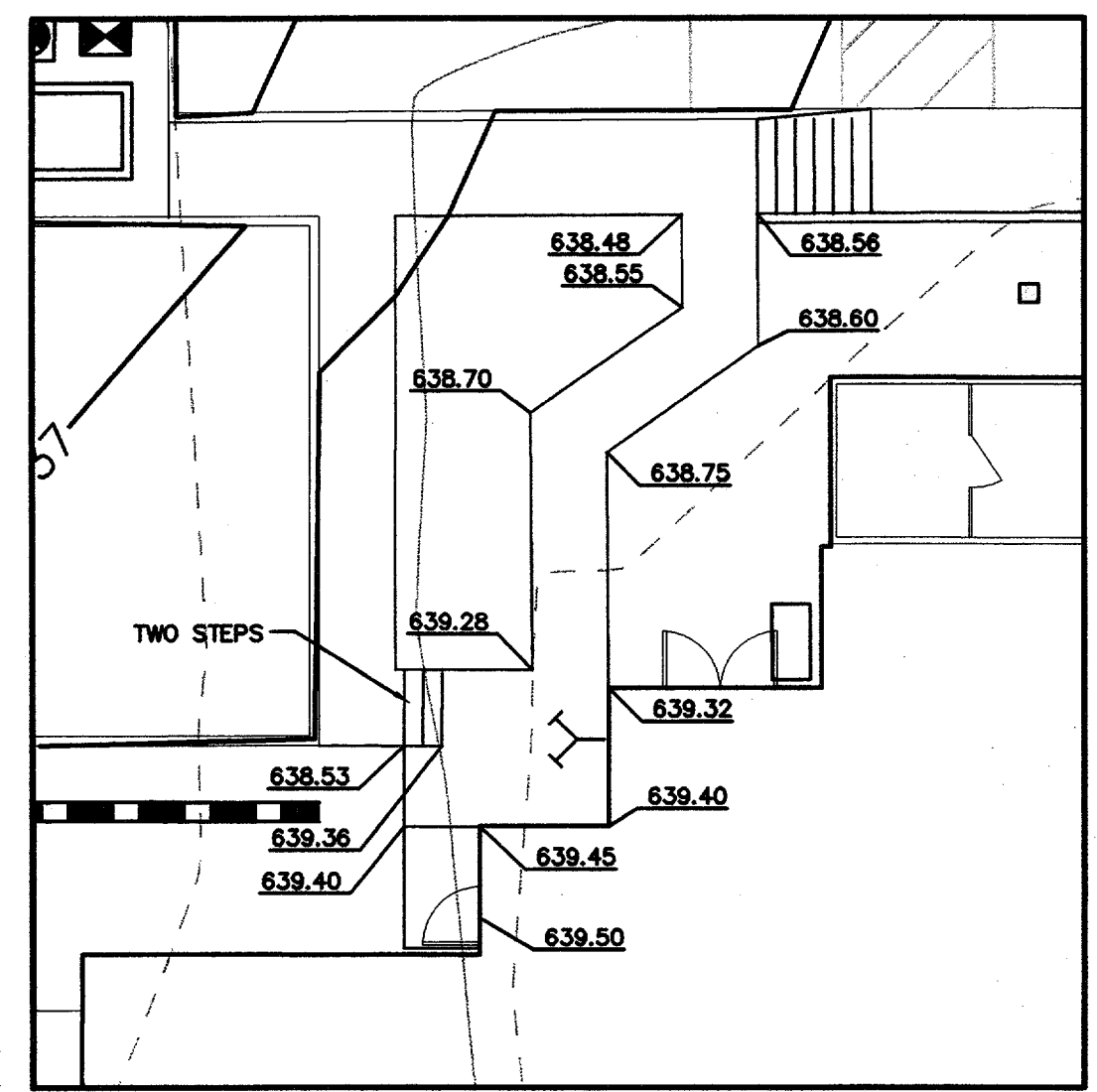
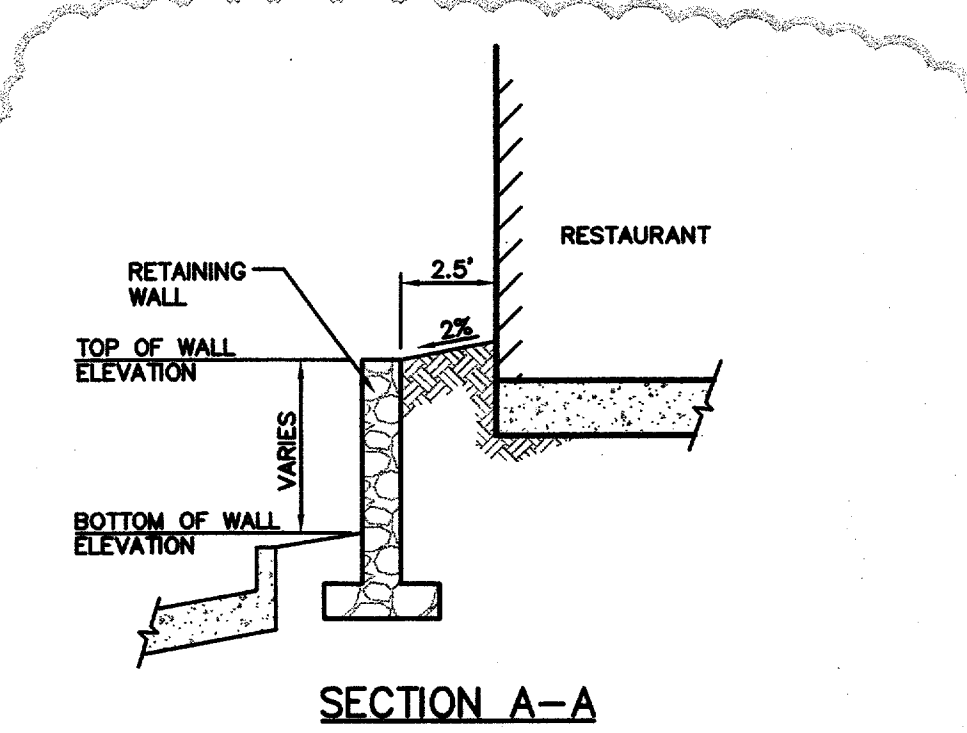
BENCHMARK:
WATER DEPARTMENT BENCHMARK IN CENTER OF SOUTH CONCRETE HEADWALL OF A 6'X3'X46" CONCRETE BOX CULVERT ON SOUTH SIDE OF BELT LINE ROAD AND 22.7 FEET EAST OF CENTERLINE OF ST. LOUIS & SOUTHWESTERN RAILROAD AT ADDISON ROAD.
ELEVATION = 634.15



LEGEND

- - - 635	EXISTING CONTOURS
— 635	PROPOSED CONTOURS
+ 691.65	PROPOSED SPOT GRADE
1.00% ->	SLOPE AND FLOW DIRECTION
—	PROPOSED RETAINING WALL

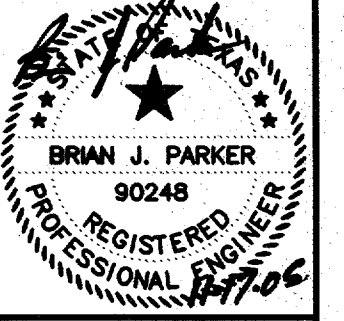
- NOTES:**
- ALL SPOT GRADES ARE TO TOP OF PAVEMENT (TP) OR TOP OF GRADE, UNLESS OTHERWISE NOTED AS TC (TOP OF CURB), BW (BOTTOM OF WALL, OR TW (TOP OF WALL).
 - NO EARTHEN SLOPE SHALL BE GREATER THAN 3:1, UNLESS OTHERWISE NOTED.



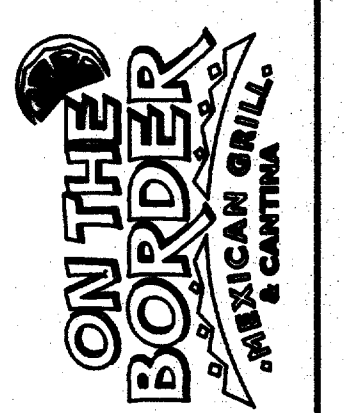
"RECORD DRAWING"
THIS DRAWING HAS BEEN REVISION TO SHOW THOSE CHANGES DURING THE CONSTRUCTION PROCESS REPORTED BY THE CONTRACTOR TO KIMLEY-HORN AND ASSOCIATES, INC. AND CONSIDERED TO BE SIGNIFICANT. THIS DRAWING IS NOT GUARANTEED TO BE "AS-BUILT" BUT IS BASED ON THE INFORMATION MADE AVAILABLE.
DATE: 11-17-05 BY: *[Signature]*

No.	Date	Revisions	App.
08/12/05		ADD SECTION A-A, DETAIL "A", WALL ELEVATIONS	B.P.

Kimley-Horn and Associates, Inc.
12700 Park Central Drive, Suite 1800
Dallas, Texas 75251
Tel. No. (972) 770-1300
Fax No. (972) 238-3820



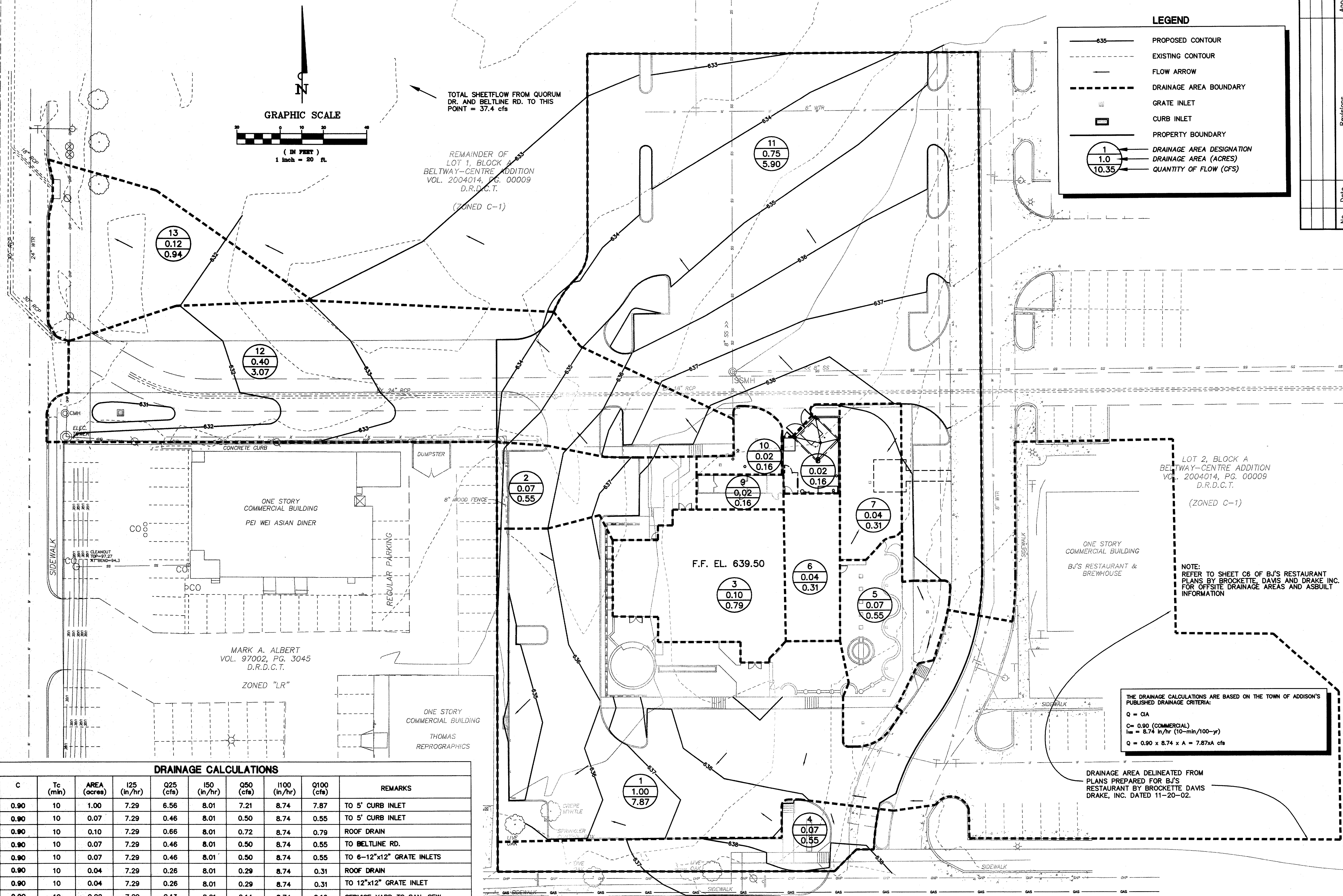
PROTOTYPE 9.3
OTB RELOCATION
OTB ADDISON
BELTLINE ROAD
ADDISON, TEXAS



GRADING PLAN

Scale:	AS SHOWN
Designed by:	ABC
Drawn by:	ABC
Checked by:	B.P.
Date:	MAY 2005
Project No.:	063984003
SHEET C-4 OF 12	

ADDISON ROAD
(VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)



LEGEND

- 635 — PROPOSED CONTOUR
- - - - - EXISTING CONTOUR
- FLOW ARROW
- - - - - DRAINAGE AREA BOUNDARY
- GRATE INLET
- CURB INLET
- PROPERTY BOUNDARY
- ① 1.0
10.35 DRAINAGE AREA DESIGNATION
- ① 1.0 DRAINAGE AREA (ACRES)
- ① 10.35 QUANTITY OF FLOW (CFS)

DRAINAGE CALCULATIONS										
DRAINAGE AREA	C	Tc (min)	AREA (acres)	I25 (in/hr)	Q25 (cfs)	I50 (in/hr)	Q50 (cfs)	I100 (in/hr)	Q100 (cfs)	REMARKS
1	0.90	10	1.00	7.29	6.56	8.01	7.21	8.74	7.87	TO 5' CURB INLET
2	0.90	10	0.07	7.29	0.46	8.01	0.50	8.74	0.55	TO 5' CURB INLET
3	0.90	10	0.10	7.29	0.66	8.01	0.72	8.74	0.79	ROOF DRAIN
4	0.90	10	0.07	7.29	0.46	8.01	0.50	8.74	0.55	TO BELTLINE RD.
5	0.90	10	0.07	7.29	0.46	8.01	0.50	8.74	0.55	TO 6-12"x12" GRATE INLETS
6	0.90	10	0.04	7.29	0.26	8.01	0.29	8.74	0.31	ROOF DRAIN
7	0.90	10	0.04	7.29	0.26	8.01	0.29	8.74	0.31	TO 12"x12" GRATE INLET
8	0.90	10	0.02	7.29	0.13	8.01	0.14	8.74	0.16	SERVICE YARD TO SAN. SEW.
9	0.90	10	0.02	7.29	0.13	8.01	0.14	8.74	0.16	ROOF DRAIN
10	0.90	10	0.02	7.29	0.13	8.01	0.14	8.74	0.16	TO 2-12"x12" GRATE INLETS
11	0.90	10	0.75	7.29	4.92	8.01	5.41	8.74	5.90	OFFSITE TO THE NORTH
12	0.90	10	0.39	7.29	2.56	8.01	2.81	8.74	3.07	TO 2'x2' DROP INLET
13	0.90	10	0.12	7.29	0.79	8.01	0.86	8.74	0.94	TO EX. CURB INLET ON ADDISON RD.

THE DRAINAGE CALCULATIONS ARE BASED ON THE TOWN OF ADDISON'S PUBLISHED DRAINAGE CRITERIA:

Q = CIA

C = 0.90 (COMMERCIAL)

I₁₀ = 8.74 in/hr (10-min/100-yr)

Q = 0.90 x 8.74 x A = 7.874A cfs

DRAINAGE AREA DELINEATED FROM PLANS PREPARED FOR BJ'S RESTAURANT BY BROCKETTE DAVIS DRAKE, INC. DATED 11-20-02.

"RECORD DRAWING"

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DATE: 11-17-05 BY: *[Signature]*

BENCHMARK:
WATER DEPARTMENT BENCHMARK IN CENTER OF SOUTH CONCRETE HEADWALL OF A 6'X3'X46" CONCRETE BOX CULVERT ON SOUTH SIDE OF BELT LINE ROAD AND 22.7 FEET EAST OF CENTERLINE OF ST. LOUIS & SOUTHWESTERN RAILROAD AT ADDISON ROAD.

ELEVATION = 634.15

App. _____

Revisions _____

No. _____ Date _____

Kimley-Horn and Associates, Inc.
Tel. No. (972) 778-1300
Fax No. (972) 258-9580
12700 Park Central Drive, Suite 1800
Dallas, Texas 75251

BRIAN J. PARKER
90248
REGISTERED PROFESSIONAL ENGINEER

PROTOTYPE 9.3
OTB RELOCATION
OTB ADDISON
BELTLINE ROAD
ADDISON, TEXAS

ON THE BORDER
BORER
AMERICAN GRILL & CANTINA

DRAINAGE AREA
MAP

Scale: AS SHOWN

Designed by: ABC

Drawn by: ABC

Checked by: BJP

Date: MAY 2005

Project No. 063984003

SHEET C-5 OF 12

Project: DAM from B&E/F
Date: 11/17/2005 8:10am
File: C:\DATA\WORK\063984\063984.dwg

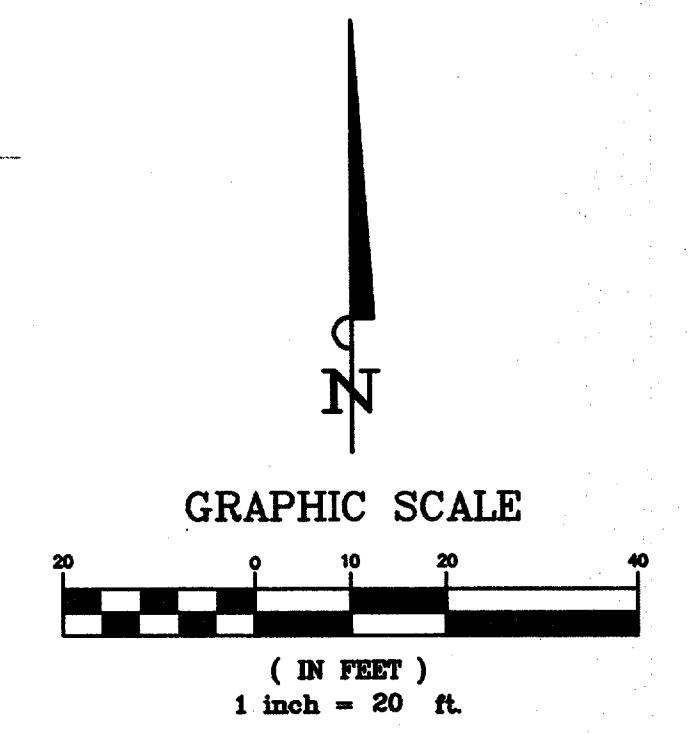
ADDISON ROAD
(VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)

LEGEND

	PROPOSED STORM SEWER
	PROPOSED LANDSCAPE STORM SEWER
	CURB INLET
	GRATE INLET
	PROPOSED ELECTRIC LINE
	PROPOSED TELEPHONE LINE
	PROPOSED GAS LINE
	PROPOSED WATER LINE
	PROPOSED SAN. SEW. LINE
	EXISTING STORM SEWER

NOTES:
1. PUBLIC STORM SEWER PIPE TO BE CLASS III RCP. PRIVATE SYSTEM TO BE HDPE OR PVC.
2. SEE SHEET C-12 FOR STORM SEWER DETAILS.

REMAINDER OF LOT 1, BLOCK A
BELTWAY-CENTRE ADDITION
VOL. 2004014, PG. 00009
D.R.D.C.T.
(ZONED C-1)



No.	Date	Revisions
1	11/17/05	REVISE LINE "SD1" PER AS-BUILT AND CONNECTION FOR CANOPY DOWNSPOUT.
2	09/12/05	REVISE LINE "SD3"

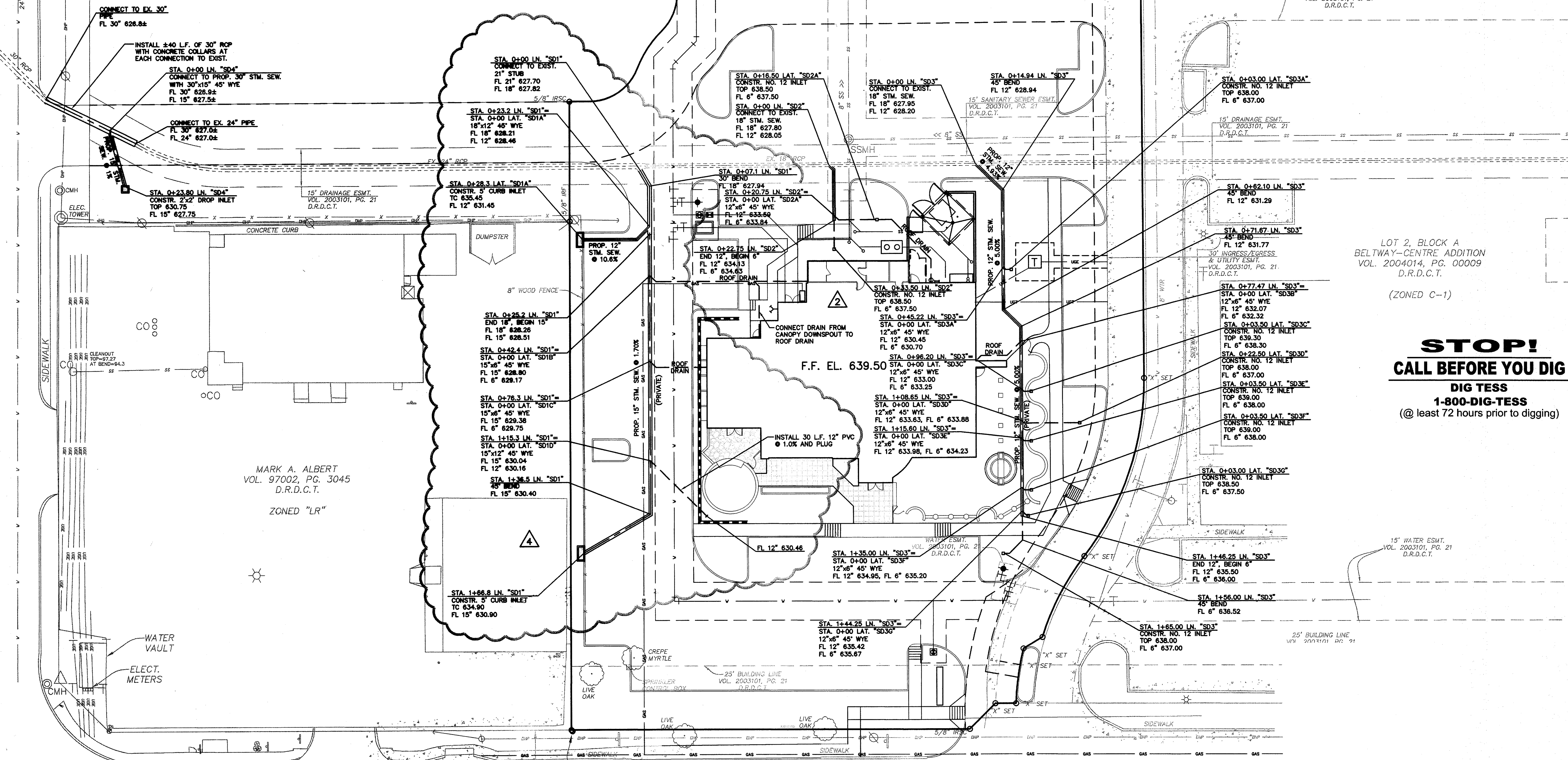
Kimley-Horn and Associates, Inc.
12700 Park Central Drive, Suite 1800
Dallas, Texas 75251
Tel. No. (972) 770-1300
Fax No. (972) 238-3820

BRIAN J. PARKER
90248
REGISTERED PROFESSIONAL ENGINEER

PROTOTYPE 9.3

ON THE BORDER
AMERICAN GRILL & CANTINA

STORM SEWER PLAN



MARK A. ALBERT
VOL. 97002, PG. 3045
D.R.D.C.T.
ZONED "LR"

LOT 2, BLOCK A
BELTWAY-CENTRE ADDITION
VOL. 2004014, PG. 00009
D.R.D.C.T.
(ZONED C-1)

STOP!
CALL BEFORE YOU DIG
DIG TESS
1-800-DIG-TESS
(@ least 72 hours prior to digging)

BENCHMARK:
WATER DEPARTMENT BENCHMARK IN CENTER OF SOUTH CONCRETE HEADWALL OF A 6'X3'X46" CONCRETE BOX CULVERT ON SOUTH SIDE OF BELT LINE ROAD AND 22.7 FEET EAST OF CENTERLINE OF ST. LOUIS & SOUTHWESTERN RAILROAD AT ADDISON ROAD.
ELEVATION = 634.15

BELT LINE ROAD
(100-FOOT WIDE PUBLIC RIGHT-OF-WAY)

"RECORD DRAWING"
THIS DRAWING HAS BEEN REVISED TO SHOW THOSE CHANGES DURING THE CONSTRUCTION PROCESS REPORTED BY THE CONTRACTOR TO KIMLEY-HORN AND ASSOCIATES, INC. AND CONSIDERED TO BE SIGNIFICANT. THIS DRAWING IS NOT GUARANTEED TO BE "AS-BUILT" BUT IS BASED ON THE INFORMATION MADE AVAILABLE.
DATE: 11/17/05 BY: *[Signature]*

Scale:	AS SHOWN
Designed by:	ABC
Drawn by:	ABC
Checked by:	BJP
Date:	MAY 2005
Project No.:	063984003
SHEET	C-6
OF	12

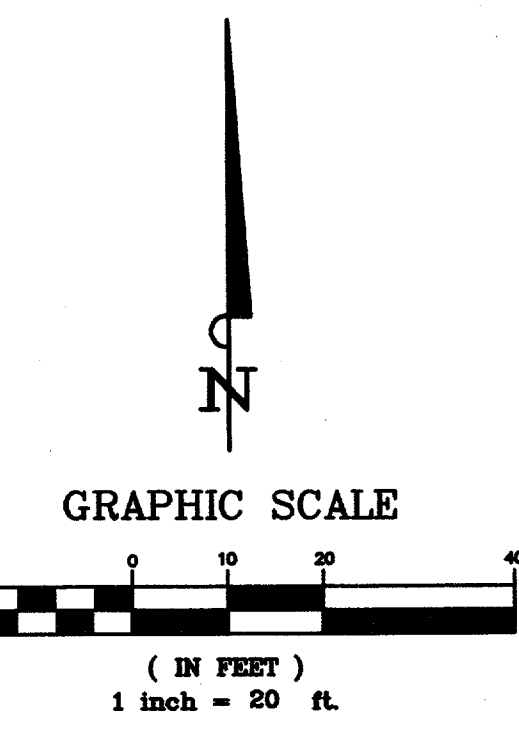
ADDISON ROAD
(VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)

LEGEND

	PROPOSED STORM SEWER
	PROPOSED LANDSCAPE STORM SEWER
	CURB INLET
	GRATE INLET
	PROPOSED ELECTRIC LINE
	PROPOSED TELEPHONE LINE
	PROPOSED GAS LINE
	PROPOSED WATER LINE
	PROPOSED SAN. SEW. LINE
	EXISTING STORM SEWER

- NOTES:
- PUBLIC STORM SEWER PIPE TO BE CLASS III RCP. PRIVATE SYSTEM TO BE HDPE OR PVC.
 - SEE SHEET C-12 FOR STORM SEWER DETAILS.

REMAINDER OF LOT 1, BLOCK A
BELTWAY-CENTRE ADDITION
VOL. 2004014, PG. 00009
D.R.D.C.T.
(ZONED C-1)



No.	Date	Revisions
1	08/12/05	ADD CONNECTION FOR CANOPY DOWNSPOUT. RESIZE LINE "SD3".

Kimley-Horn and Associates, Inc.
12700 Park Central Drive, Suite 1800
Dallas, Texas 75251
Tel. No. (972) 770-1300
Fax No. (972) 239-3820

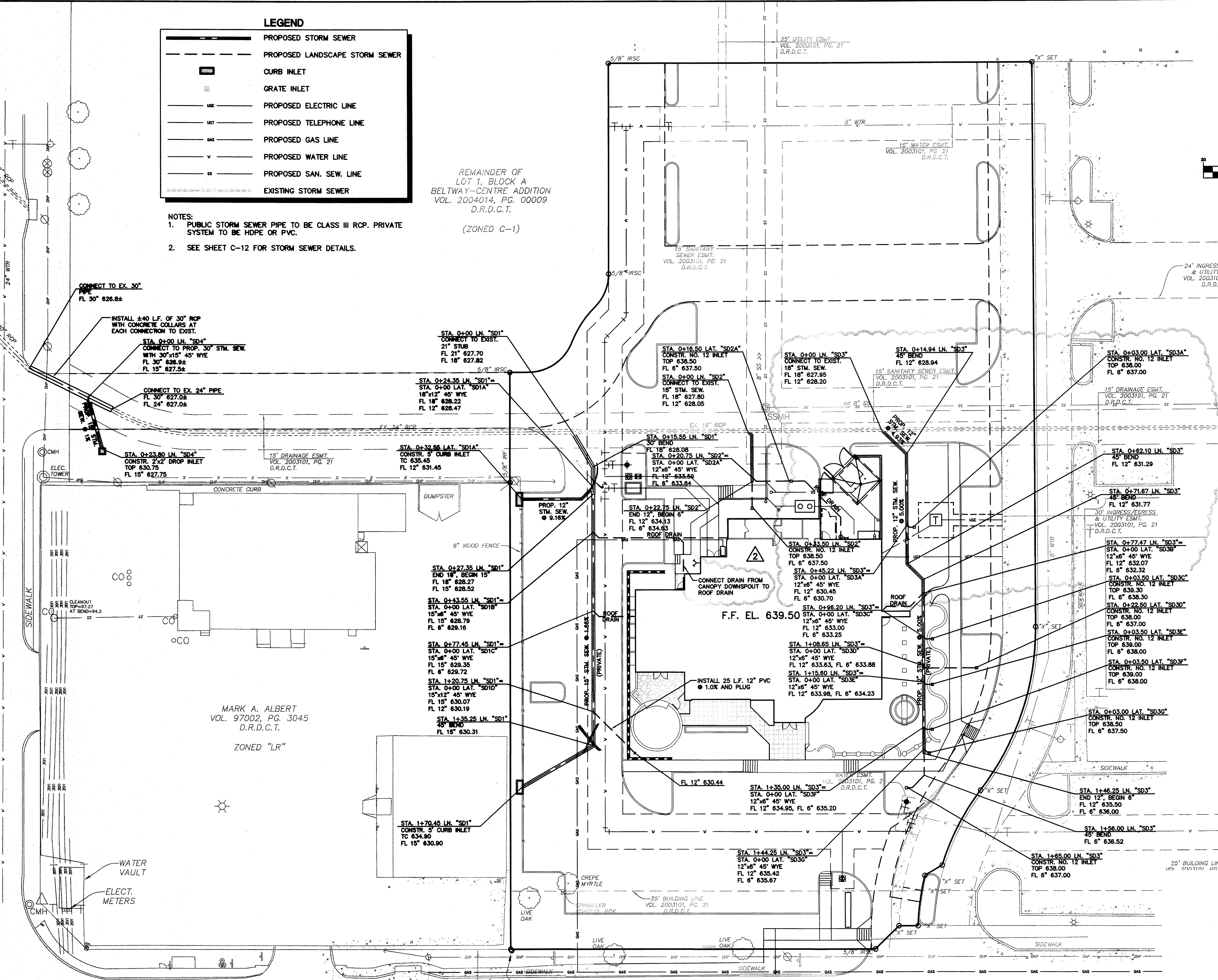


PROTOTYPE 9.3
OTB RELOCATION
OTB ADDISON
BELTLINE ROAD
ADDISON, TEXAS



STORM SEWER PLAN

AS SHOWN	Scale:
Designed by: ABC	AS SHOWN
Drawn by: ABC	AS SHOWN
Checked by: BIP	AS SHOWN
Date: MAY 2005	AS SHOWN
Project No. 063984003	AS SHOWN



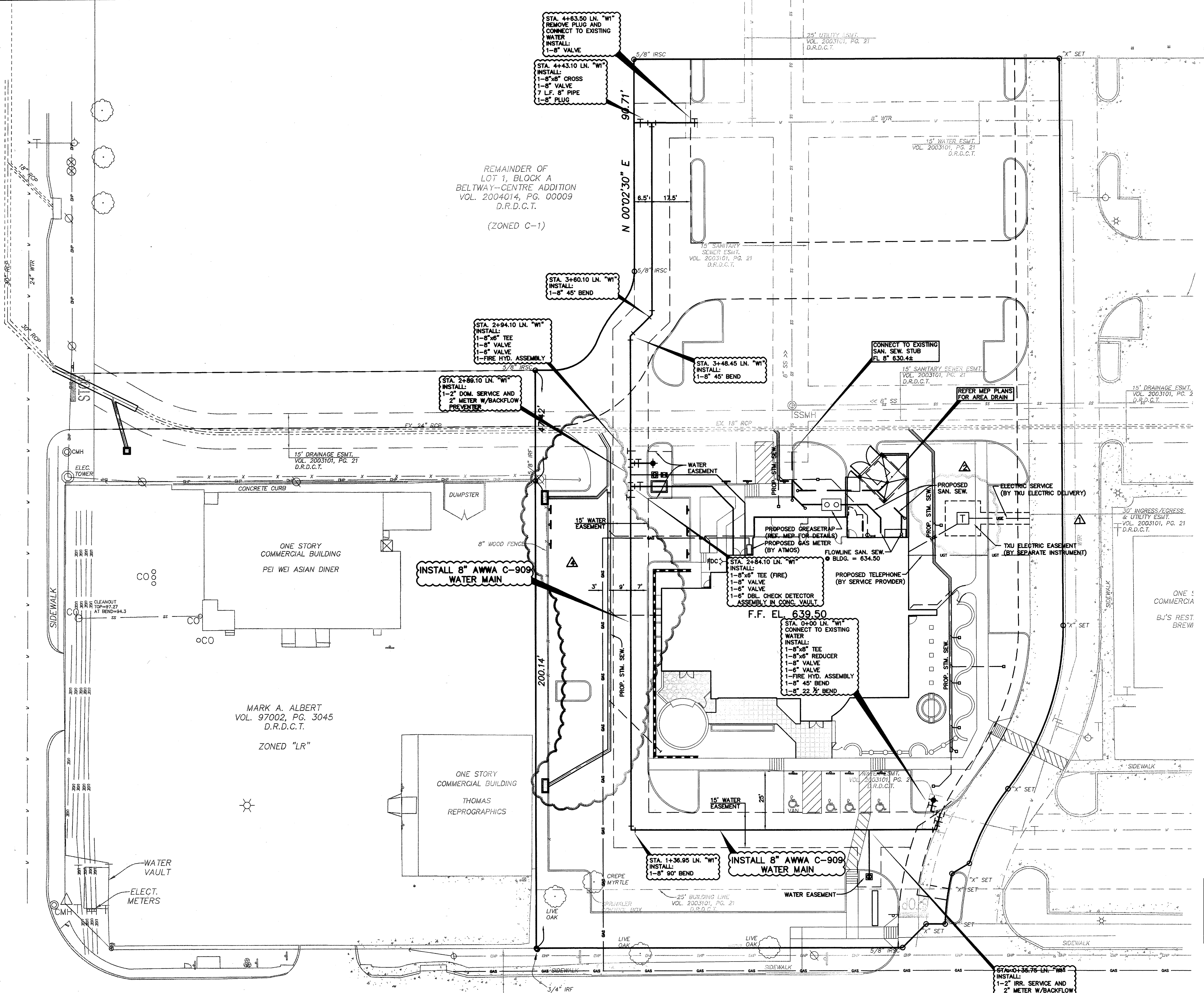
BENCHMARK:
WATER DEPARTMENT BENCHMARK IN CENTER OF SOUTH CONCRETE HEADWALL OF A 6'X3'X46" CONCRETE BOX CULVERT ON SOUTH SIDE OF BELT LINE ROAD AND 22.7 FEET EAST OF CENTERLINE OF ST. LOUIS & SOUTHWESTERN RAILROAD AT ADDISON ROAD.
ELEVATION = 634.15

BELT LINE ROAD
(100-FOOT WIDE PUBLIC RIGHT-OF-WAY)

"RECORD DRAWING"
THIS DRAWING HAS BEEN REVISED TO SHOW THOSE CHANGES DURING THE CONSTRUCTION PROCESS REPORTED BY THE CONTRACTOR TO KIMLEY-HORN AND ASSOCIATES, INC. AND CONSIDERED TO BE SIGNIFICANT. THIS DRAWING IS NOT GUARANTEED TO BE "AS-BUILT" BUT IS BASED ON THE INFORMATION MADE AVAILABLE.
DATE: 11-17-05 BY: *[Signature]*

SHEET 6 OF 12

ADDISON ROAD
(VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)



BELT LINE ROAD
(100-FOOT WIDE PUBLIC RIGHT-OF-WAY)

GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft.

LEGEND

- EXISTING WATER MAIN
- EXISTING SANITARY SEWER
- EXISTING OVERHEAD POWER
- EXISTING POWER POLE
- EXISTING FIRE HYDRANT
- PROPOSED WATER MAIN
- PROPOSED SANITARY SEWER
- PROPOSED UNDERGROUND ELECTRIC
- PROPOSED UNDERGROUND TELEPHONE
- PROPOSED GAS SERVICE
- PROPOSED WATER METER
- PROPOSED BACKFLOW PREVENTER
- PROPOSED FIRE HYDRANT
- PROPOSED FIRE DEPT CONNECTION
- PROPOSED TRANSFORMER
- PROPOSED RETAINING WALL

NOTES:

- ALL DIMENSIONS ARE TO CENTERLINE OF PIPE UNLESS NOTED OTHERWISE.
- REFERENCE MEP/PLUMBING PLANS FOR EXACT UTILITY CONNECTIONS AT BUILDING.
- FIRE SPRINKLER LINE SHALL BE SIZED AND INSTALLED BY A STATE LICENSED FIRE SPRINKLER CONTRACTOR AND PERMITTED BY THE TOWN OF ADDISON.
- ALL BACKFLOW PREVENTERS SHALL BE TESTED UPON INSTALLATION BY A LICENSED BACKFLOW PREVENTER TESTER REGISTERED WITH THE TOWN OF ADDISON.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE TOWN OF ADDISON STANDARDS AND SPECIFICATIONS.
- ALL FITTINGS TO BE RESTRAINED EBAA SERIES 2200 OR APPROVED EQUAL.

STOP!
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DIG TESS
1-800-DIG-TESS
(@ least 72 hours prior to digging)

BENCHMARK:
WATER DEPARTMENT BENCHMARK IN CENTER OF SOUTH CONCRETE HEADWALL OF A 6X3X48" CONCRETE BOX CULVERT ON SOUTH SIDE OF BELT LINE ROAD AND 22.7 FEET EAST OF CENTERLINE OF ST. LOUIS & SOUTHWESTERN RAILROAD AT ADDISON ROAD.
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DATE: 11.17.05 BY: *[Signature]*

No.	Date	Revisions	App.
11/17/05		REVISE STIM. SAN. LINE "SD" PER ASBUILT	B.P.
08/12/05		RELOCATE ELECTRIC TRANSFORMER	B.P.
07/05/05		ADDED TXU ELECTRIC EASEMENT	B.P.

Kimley-Horn and Associates, Inc.
12700 Park Center Drive, Suite 1800
Dallas, Texas 75251
Tel. No. (972) 770-1300
Fax No. (972) 259-3820

BRIAN J. PARKER
90248
REGISTERED PROFESSIONAL ENGINEER
11-7-05

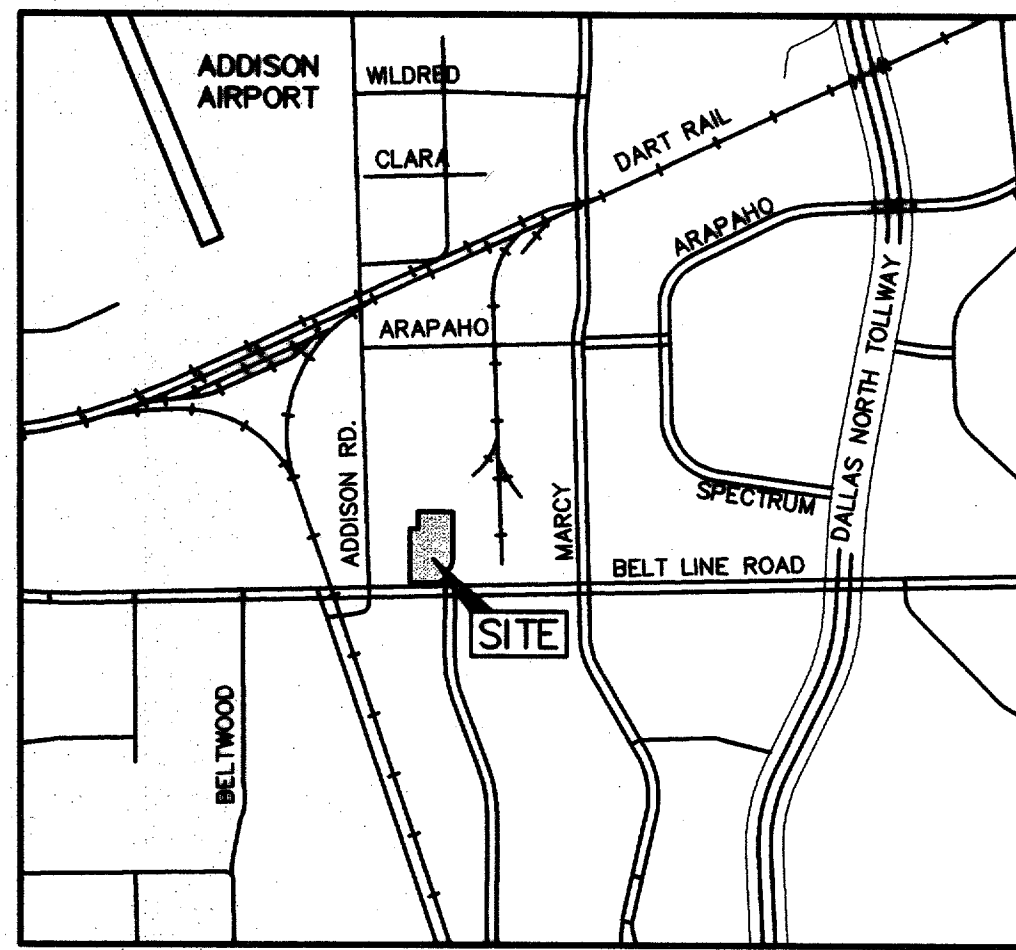
PROTOTYPE 9.3
OTB RELOCATION
OTB ADDISON
BELTLINE ROAD
ADDISON, TEXAS

ON THE BORDER
AMERICAN GRILL & CANTINA

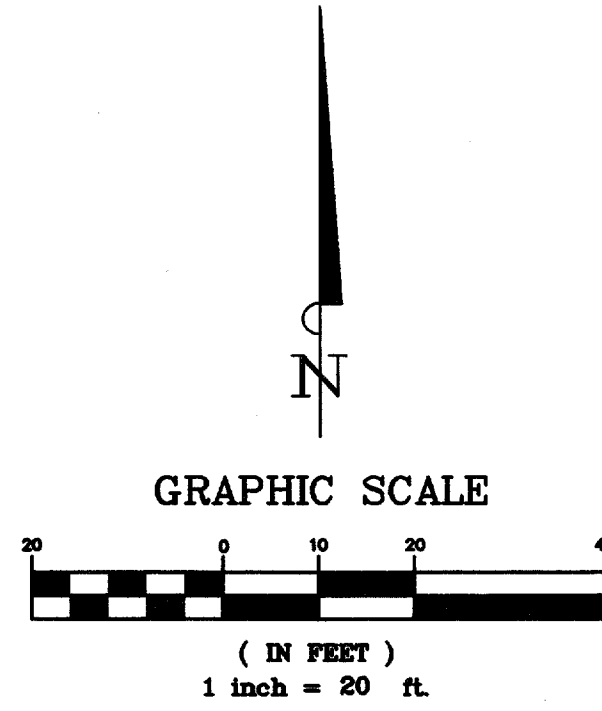
UTILITY PLAN

Scale: AS SHOWN
Designed by: ABC
Drawn by: ABC
Checked by: B.P.
Date: MAY 2005
Project No. 063984003

SHEET
C-7
OF 12



LOCATION MAP
N.T.S.
(MAPSCO: 14C)



SITE MAP-SITE SPECIFIC NOTES

- CONSTRUCTION ENTRANCE SHALL BE LOCATED SO AS TO PROVIDE THE LEAST AMOUNT OF DISTURBANCE TO THE FLOW OF TRAFFIC IN AND OUT OF THE SITE. ADDITIONALLY, CONSTRUCTION ENTRANCE SHALL BE LOCATED TO COINCIDE WITH THE PHASING OF THE PAVEMENT REPLACEMENT.
- PER FIRM MAP NO. 4811300180 J DATED AUGUST 23, 2001, THE SITE IS NOT LOCATED WITHIN FEMA DESIGNATED FLOODPLAIN.
- PER SITE INSPECTION/VISUAL RECONNAISSANCE, THE SITE DOES NOT CONTAIN WETLANDS.
- CONTRACTOR IS RESPONSIBLE FOR MODIFYING THE SWPPP/SITE MAP TO INCLUDE BMP'S FOR ANY OFF-SITE MATERIAL WASTE, BORROW OR EQUIPMENT STORAGE AREAS.
- CONTRACTOR SHALL INSPECT DISTURBED AREAS, MATERIAL STORAGE AREAS EXPOSED TO PRECIPITATION, STRUCTURAL CONTROL MEASURES, AND VEHICLE ENTRY AND EXIT AREAS AT LEAST ONCE EVERY 14 CALENDAR DAYS AND WITHIN 24 HOURS OF A STORM EVENT OF 0.5 INCHES OR GREATER.
- THE NATURE OF THIS SITE'S CONSTRUCTION CONSISTS OF:
A. CLEARING AND GRUBBING
B. PRELIMINARY GRADING
C. UTILITY INSTALLATION
D. PAVEMENT CONSTRUCTION
E. BUILDING CONSTRUCTION
F. FINAL GRADING AND STABILIZATION
- THE SUBSURFACE SOILS CONSIST GENERALLY OF STIFF TO VERY STIFF, TAN AND DARK BROWN, FINE SANDY CLAY FILL. REFERENCE THE GEOTECHNICAL REPORT PROVIDED BY GILES ENGINEERING ASSOCIATES, INC., PROJECT NO. 46-0501009, DATED FEBRUARY 9, 2005.
- STORM WATER ON-SITE WILL FLOW INTO THE PROPOSED STORM DRAINAGE SYSTEM WHICH WILL TIE INTO THE EXISTING UNDERGROUND STORM DRAINAGE SYSTEM.
- NO SEDIMENTATION BASINS HAVE BEEN PROVIDED ON THIS SITE BECAUSE THE AREA OF DISTURBANCE IS LESS THAN 10.0 ACRES.
- POST CONSTRUCTION STORM WATER POLLUTION CONTROL MEASURES INCLUDE STABILIZATION BY PERMANENT PAVING OR LANDSCAPING.
- VELOCITY DISSIPATION DEVICES (RIP-RAP) WILL NOT BE USED.
- DISTURBED PORTIONS OF SITE MUST BE STABILIZED. STABILIZATION PRACTICES MUST BE INITIATED WITHIN 14 DAYS IN PORTIONS OF THE SITE WHERE CONSTRUCTION HAS BEEN EITHER TEMPORARILY OR PERMANENTLY CEASED, UNLESS EXCEPTED WITHIN THE NPDES PERMIT. CONTRACTOR SHALL REMOVE TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF STABILIZATION OR PERMANENT DRAINAGE FACILITIES.

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Tel. No. (972) 770-1300
Fax No. (972) 239-3820
12700 Park Central Drive, Suite 1800
Dallas, Texas 75251

BRIAN J. PARKER
90248
REGISTERED PROFESSIONAL ENGINEER
No. 11770

SITE MAP-GENERAL NOTES

- CONTRACTOR IS SOLELY RESPONSIBLE FOR SELECTION, IMPLEMENTATION, MAINTENANCE, AND EFFECTIVENESS OF ALL SWPPP CONTROLS - CONTROLS SHOWN ON THIS SITE MAP ARE SUGGESTED CONTROLS ONLY.
- CONTRACTOR SHALL RECORD INSTALLATION, MAINTENANCE OR MODIFICATION, AND REMOVAL DATES FOR EACH BMP EMPLOYED (WHETHER CALLED OUT ON ORIGINAL SWPPP OR NOT) DIRECTLY ON THE SITE MAP.
- DRAINAGE PATTERNS ARE SHOWN ON THIS PLAN BY PROPOSED AND EXISTING CONTOURS, FLOW ARROWS, AND SLOPES.
- TEMPORARY AND PERMANENT STABILIZATION PRACTICES AND BMP'S SHALL BE INSTALLED AT THE EARLIEST POSSIBLE TIME DURING THE CONSTRUCTION SEQUENCE. AS AN EXAMPLE, PERIMETER SILT FENCE SHALL BE INSTALLED BEFORE COMMENCEMENT OF ANY GRADING ACTIVITIES. OTHER BMP'S SHALL BE INSTALLED AS SOON AS PRACTICABLE AND SHALL BE MAINTAINED UNTIL FINAL SITE STABILIZATION IS ATTAINED. CONTRACTOR SHALL ALSO REFERENCE CIVIL AND LANDSCAPE PLANS SINCE PERMANENT STABILIZATION IS PROVIDED BY LANDSCAPING, THE BUILDING(S), AND SITE PAVING.
- BMP'S HAVE BEEN LOCATED AS INDICATED ON THIS PLAN IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES IN ORDER TO MINIMIZE SEDIMENT TRANSFER. FOR EXAMPLE: SILT FENCES LOCATED AT TOE OF SLOPE AND INLET PROTECTION FOR INLETS RECEIVING SEDIMENT FROM SITE RUN-OFF.
- SANITARY SEWER EFFLUENT IS DISPOSED OF VIA AN ON-SITE SEWER SYSTEM CONNECTED TO A MUNICIPAL SEWER SYSTEM.

LEGEND

- (FB) FILTER BARRIER
- (IP) INLET PROTECTION
- (CE) CONSTRUCTION ENTRANCE
- (FB) FILTER FABRIC SILT FENCE
- (SO) STONE OVERFLOW
- 645— PROPOSED CONTOUR
- 645--- EXISTING CONTOUR
- [Hatched] LIMITS OF DISTURBED AREA
- [Dotted] PROPOSED LANDSCAPED AREA
- [Cross-hatched] PROPOSED CONSTRUCTION ENTRANCE
- X FILTER BARRIER

EROSION CONTROL SCHEDULE AND SEQUENCING

I. ROUGH GRADING	CONSTRUCTION ENTRANCE/EXIT AND SILT FENCE PROTECTION SHALL BE INSTALLED PRIOR TO THE INITIATION OF ROUGH GRADING. AS NEEDED, INLET PROTECTION SHALL BE INSTALLED AT INLETS AS INDICATED ON THE PLAN.
II. UTILITY INSTALLATION	ALL PRIOR EROSION CONTROL MEASURES INSTALLED ABOVE TO BE MAINTAINED AS NECESSARY DURING UTILITY INSTALLATION.
III. PAVING	ALL PRIOR EROSION CONTROL MEASURES INSTALLED ABOVE TO BE MAINTAINED AS NECESSARY DURING PAVING AND THROUGHOUT THE REMAINDER OF THE PROJECT.
IV. FINAL GRADING	REMOVE TEMPORARY ENTRANCE/EXIT AND INLET PROTECTION. ALL PRIOR EROSION CONTROL MEASURES INSTALLED ABOVE TO BE MAINTAINED DURING FINAL GRADING AND THROUGHOUT THE REMAINDER OF THE PROJECT.
V. SOIL STABILIZATION/LANDSCAPING	ALL TEMPORARY EROSION CONTROL MEASURES TO BE REMOVED AT THE CONCLUSION OF THE PROJECT AS DIRECTED BY THE CITY.

SITE DATA

GROSS LOT AREA	1.80 ACRES (78,509 SF)
TOTAL AREA DISTURBED *	1.85 ACRES (80,447 SF)
PAVED AREA	1.12 AC (48,834 SF)
ROOFED AREA	0.16 AC (6,902 SF)
NEW SEEDED/SOD AREA	0.30 AC (13,205 SF)
PRE-DEVELOPMENT RUNOFF COEFFICIENT	0.35
POST-DEVELOPMENT RUNOFF COEFFICIENT	0.90

* DOES NOT INCLUDE ANY OFF-SITE DISPOSAL OR BORROW AREAS - CONTRACTOR TO UPDATE AS NECESSARY DURING CONSTRUCTION.

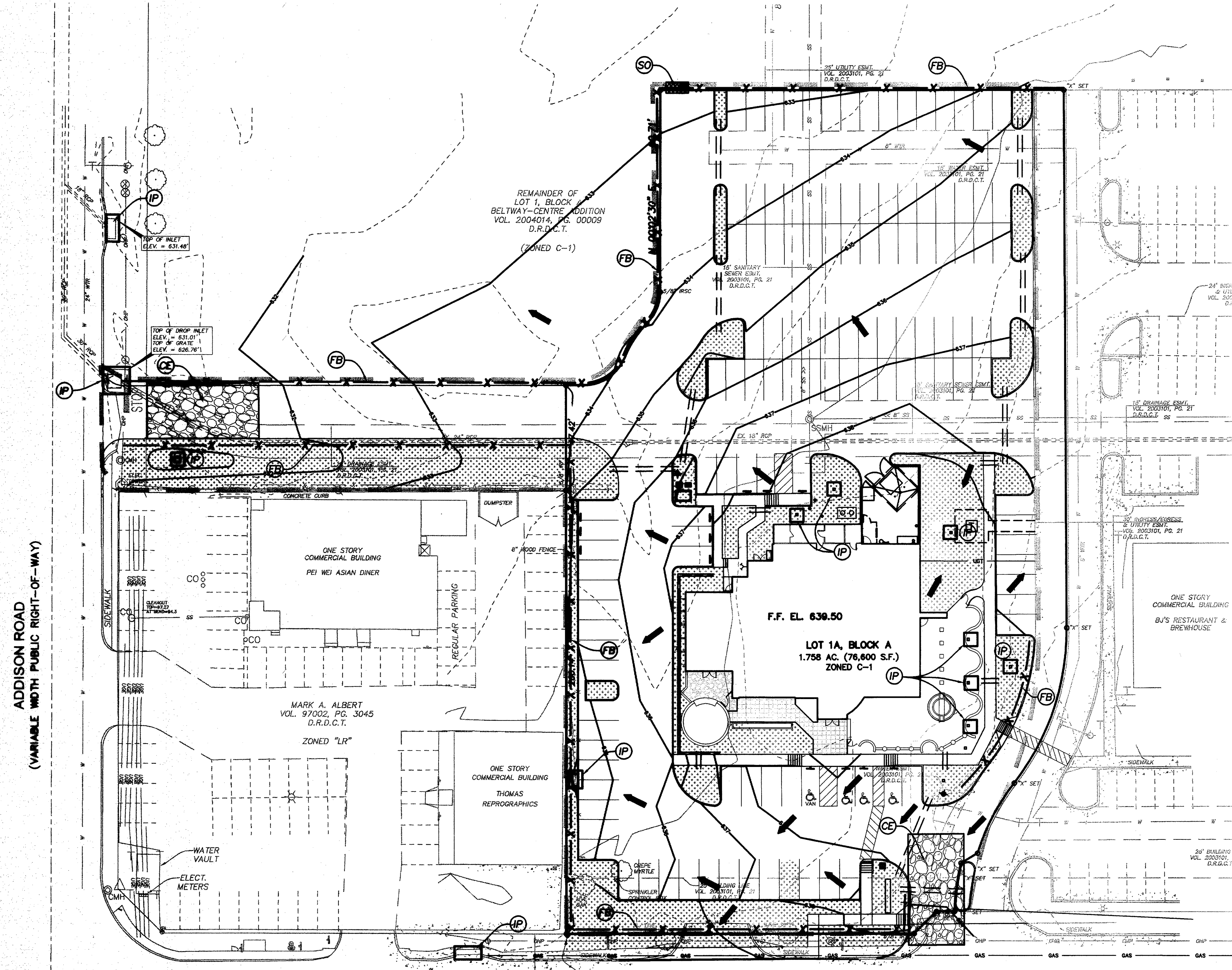
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WATER DEPARTMENT BENCHMARK IN CENTER OF SOUTH CONCRETE HEADWALL OF A 6'X3'X46" CONCRETE BOX CULVERT ON SOUTH SIDE OF BELT LINE ROAD AND 22.7 FEET EAST OF CENTERLINE OF ST. LOUIS & SOUTHWESTERN RAILROAD AT ADDISON ROAD.
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DATE: 11-17-05 BY: *G. Han*

PROTOTYPE 9.3
 OTB RELOCATION
 OTB ADDISON
 BELTLINE ROAD
 ADDISON, TEXAS
ON THE BORDER
 AMERICAN BUILT
 EROSION CONTROL
 PLAN/SITE MAP
 (S.W.P.P.P.)

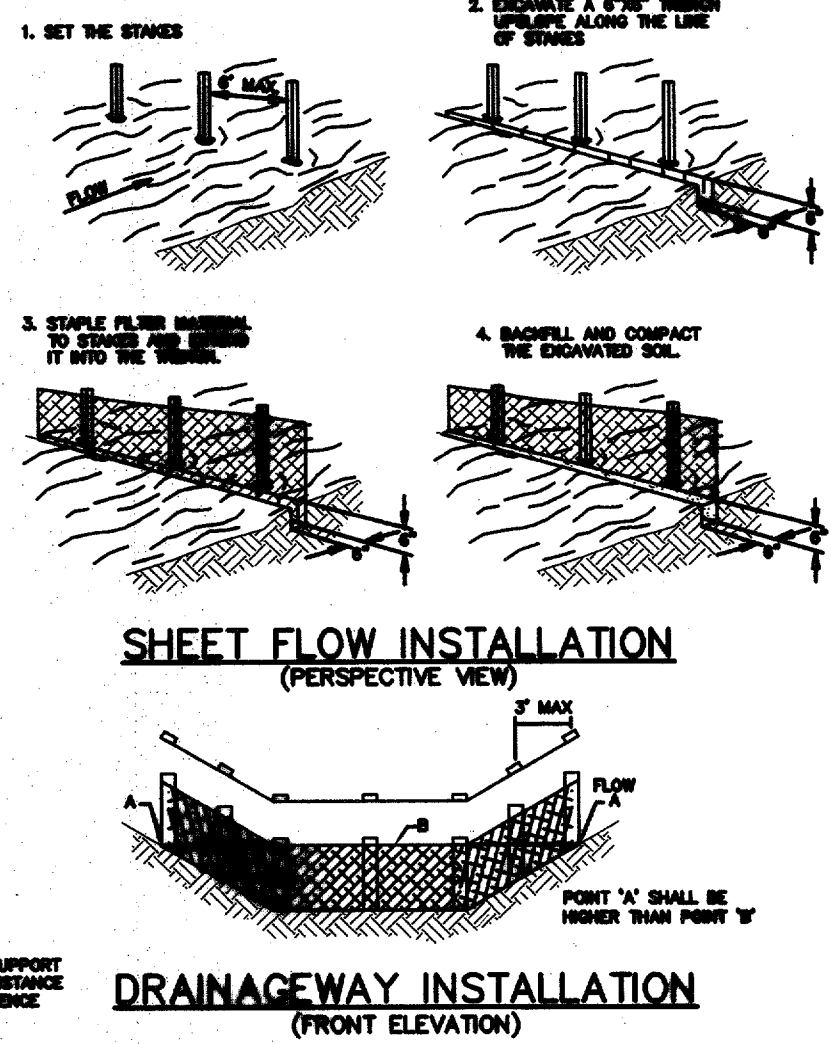
AS SHOWN	Scale:
Designed by: SCC	AS SHOWN
Drawn by: ABC	AS SHOWN
Checked by: BIP	AS SHOWN
Date: MAY 2005	AS SHOWN
Project No. 063984003	AS SHOWN
SHEET	C-8
OF	12



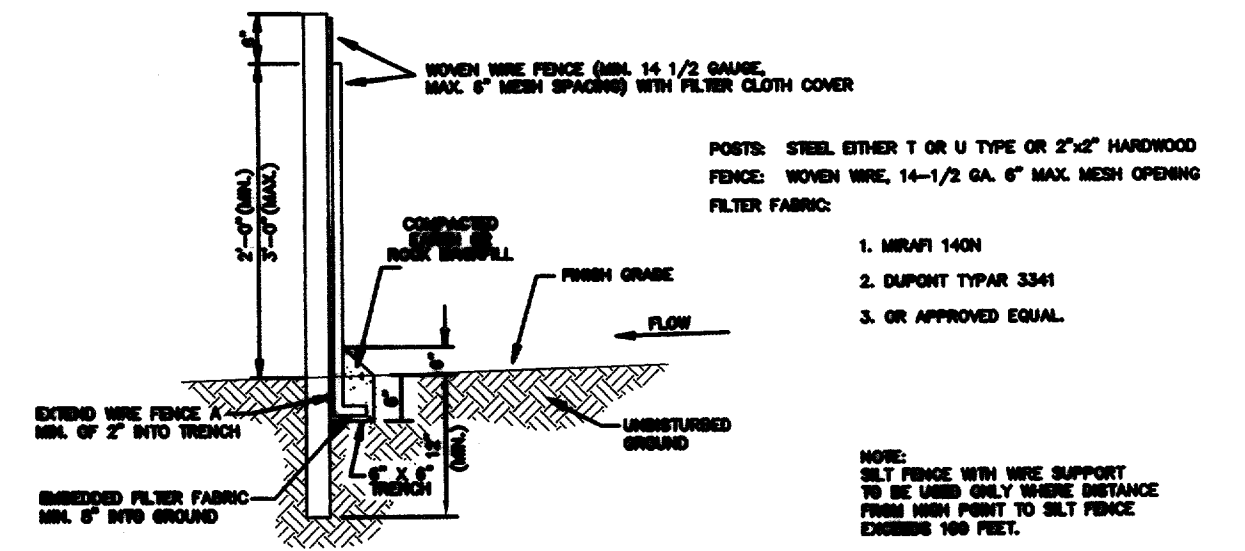
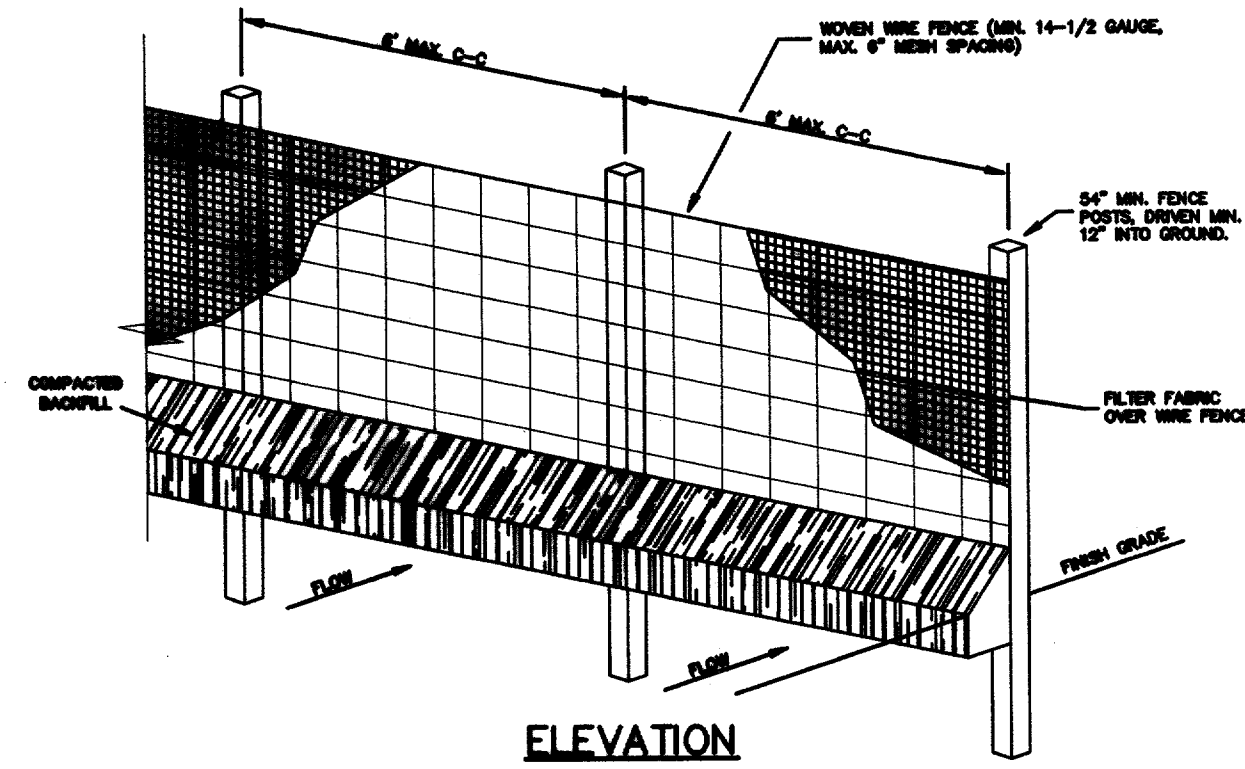
GENERAL NOTES

1. THE OWNER AND CONTRACTOR SHALL EACH SUBMIT A NOTICE OF INTENT (NOI) TO TCEQ AT LEAST 48 HOURS PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES. OWNER AND CONTRACTOR ARE RESPONSIBLE FOR RETAINING PROOF THAT THE NOI WAS SUBMITTED TO TCEQ (PROOF MUST CONSIST OF CERTIFIED MAIL WITH RETURN RECEIPT).
2. TCEQ TEXAS POLLUTANT DISCHARGE ELIMINATION SYSTEM (TPDES) CONSTRUCTION GENERAL PERMIT TXR150000, LANDSCAPE PLANS, GEOTECHNICAL INVESTIGATION, AND CIVIL ENGINEERING PLANS AND SPECIFICATIONS ARE HEREBY INCORPORATED INTO THIS SWPPP. CONTRACTOR SHALL OBTAIN AND KEEP A CURRENT COPY OF THESE DOCUMENTS AT THE CONSTRUCTION SITE.
3. ALL EROSION AND SEDIMENTATION CONTROLS MUST BE DESIGNED, INSTALLED AND MAINTAINED TO RETAIN SEDIMENT ON-SITE TO THE EXTENT PRACTICABLE.
4. ALL CONTROL MEASURES MUST BE SELECTED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND GOOD ENGINEERING PRACTICES.
5. OFF-SITE ACCUMULATIONS OF SEDIMENT ESCAPING PROJECT SITE MUST BE REMOVED AT A FREQUENCY NECESSARY TO MINIMIZE OFF-SITE IMPACTS. FOR EXAMPLE, SEDIMENTATION WITHIN STREETS ADJACENT TO THE PROJECT SITE MUST BE REMOVED PRIOR TO RAINFALL EVENTS. ALL FINES IMPOSED FOR TRACKING ONTO PUBLIC ROADS SHALL BE PAID BY THE CONTRACTOR. IN ANY EVENT SILT SHALL ALWAYS BE REMOVED SUCH THAT PONDING IN A STREET IS PREVENTED.
6. CONTRACTOR MUST REMOVE SEDIMENT FROM ALL APPLICABLE CONTROLS WHEN DESIGN SILT STORAGE CAPACITY HAS BEEN REDUCED BY 50%.
7. CONTRACTOR SHALL ENSURE THAT ALL LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS ARE PREVENTED FROM BECOMING POLLUTANT SOURCES.
8. CONTRACTOR SHALL ENSURE THAT EXISTING VEGETATION IS PRESERVED WHERE ATTAINABLE.
9. OFF-SITE MATERIAL STORAGE AREAS USED SOLELY FOR THIS PROJECT, INCLUDING DIRT STOCKPILES AND BORROW AREAS (AS APPLICABLE), MUST BE PREVENTED FROM BECOMING POLLUTANT SOURCES BY INSTALLATION OF BMP'S.
10. CONTRACTOR SHALL MAINTAIN RECORDS OF DATES IN THE SWPPP OF WHEN MAJOR GRADING ACTIVITIES OCCUR, WHEN CONSTRUCTION ACTIVITIES EITHER TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE, AND WHEN STABILIZATION MEASURES ARE INITIATED.
11. CONTRACTOR SHALL ENSURE THAT SWPPP IS CONSISTENT WITH SEDIMENT AND EROSION SITE PLANS, STORM WATER PERMITS, AND STORM WATER MANAGEMENT PLANS APPROVED BY STATE, TRIBAL, OR LOCAL OFFICIALS. UPDATES TO SWPPP ARE REQUIRED UPON WRITTEN NOTICE TO PERMITTEE OF CHANGES APPLICABLE TO STORM WATER PERMITS, SEDIMENT AND EROSION CONTROL PLANS, OR STORM WATER MANAGEMENT PLANS BY SUCH OFFICIALS.
12. ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND ANY OTHER PROTECTIVE MEASURES IDENTIFIED IN THE SWPPP MUST BE MAINTAINED IN EFFECTIVE OPERATING CONDITION. WHEN INSPECTIONS IDENTIFY CONTROLS OPERATING INEFFECTIVELY, THE CONTROLS SHALL BE MAINTAINED PRIOR TO THE NEXT RAINFALL EVENT OR AS NECESSARY TO MAINTAIN EFFECTIVENESS OF THE CONTROL, OR AS SOON AS PRACTICABLE.
13. CONTRACTOR SHALL INSPECT DISTURBED AREAS, MATERIAL STORAGE AREAS EXPOSED TO PRECIPITATION, STRUCTURAL CONTROL MEASURES, AND VEHICLE ENTRY AND EXIT AREAS AT LEAST ONCE EVERY 14 CALENDAR DAYS AND WITHIN 24 HOURS OF A STORM EVENT OF 0.5 INCHES OR GREATER.
14. CONTRACTOR SHALL INSPECT STABILIZED AREAS AND AREAS WHERE RUNOFF IS UNLIKELY DUE TO FROZEN OR ARID WEATHER CONDITIONS AT LEAST ONCE PER MONTH.
15. CONTRACTOR SHALL INSPECT ACCESSIBLE DISCHARGE LOCATIONS (OR NEARBY DOWNSTREAM LOCATIONS IF DISCHARGE POINT IS NOT ACCESSIBLE) IN ORDER TO ASCERTAIN WHETHER OR NOT EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATERS.
16. STRUCTURAL BMP'S SHOULD NOT, TO THE DEGREE ATTAINABLE, BE PLACED WITHIN FLOODPLAINS.
17. BASED ON INSPECTION RESULTS, REVISIONS TO SWPPP MUST BE MADE WITHIN 7 CALENDAR DAYS OF THE INSPECTION. NEW OR MODIFIED CONTROL MEASURES MUST BE INSTALLED PRIOR TO THE NEXT RAINFALL EVENT, OR AS SOON AS PRACTICABLE.
18. REPORTS SUMMARIZING THE SCOPE OF ALL INSPECTIONS, INCLUDING NAME AND QUALIFICATIONS OF INSPECTOR, DATE OF INSPECTION, AND MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THE SWPPP (INCLUDING LOCATION OF DISCHARGES OF SEDIMENT OR OTHER POLLUTANTS, LOCATION OF CONTROLS THAT NEED TO BE MAINTAINED, LOCATIONS WHERE CONTROLS ARE INADEQUATE OR ARE OPERATING IMPROPERLY, AND LOCATIONS WHERE ADDITIONAL CONTROLS ARE NEEDED) MUST BE SIGNED BY THE INSPECTOR PER 30 TEXAS ADMINISTRATIVE CODE (TAC) SECTION 305.128, AND RETAINED WITHIN THE SWPPP FOR AT LEAST 3 YEARS FROM THE DATE THE SITE IS FINALLY STABILIZED. REPORTS THAT DO NOT IDENTIFY INCIDENTS OF NON-COMPLIANCE SHALL CONTAIN A CERTIFICATION STATING THAT THE SITE IS IN COMPLIANCE WITH THE SWPPP AND THE GENERAL PERMIT.
19. CONTRACTOR SHALL IDENTIFY ALL SOURCES OF NON-STORM WATER THAT WILL BE COMBINED WITH STORM WATER AT THE SITE (EXCEPT FIRE-FIGHTING ACTIVITIES) AND ENSURE IMPLEMENTATION OF APPROPRIATE POLLUTION PREVENTION MEASURES FOR NON-STORM WATER COMPONENT(S) OF DISCHARGE.
20. CONTRACTOR SHALL ENSURE THAT THE INDIVIDUAL SIGNING THE SWPPP MAKES THE CERTIFICATION UNDER PART VI.G.2.d OF THE GENERAL PERMIT. THIS CERTIFICATION MUST APPEAR WITHIN THE SWPPP.
21. CONTRACTOR SHALL SUBMIT A NOTICE OF TERMINATION (NOT) TO TCEQ AND A COPY OF THE N.O.T. TO THE OPERATOR IF ANY MS4 RECEIVING DISCHARGE WITHIN THIRTY (30) DAYS AFTER FINAL STABILIZATION, OR ANOTHER OPERATOR HAS ASSUMED CONTROL, OR ALL SILT FENCES AND OTHER TEMPORARY EROSION CONTROL, HAS BEEN REMOVED.
22. SUPPLEMENTARY INFORMATION BOOKLET (CONTAINING SAMPLE INSPECTION FORM AND A COPY OF THE TPDES GENERAL PERMIT NO. TXR 150077) IS TO BE KEPT ON-SITE AND WITH THESE SWPPP PLANS AT ALL TIMES.

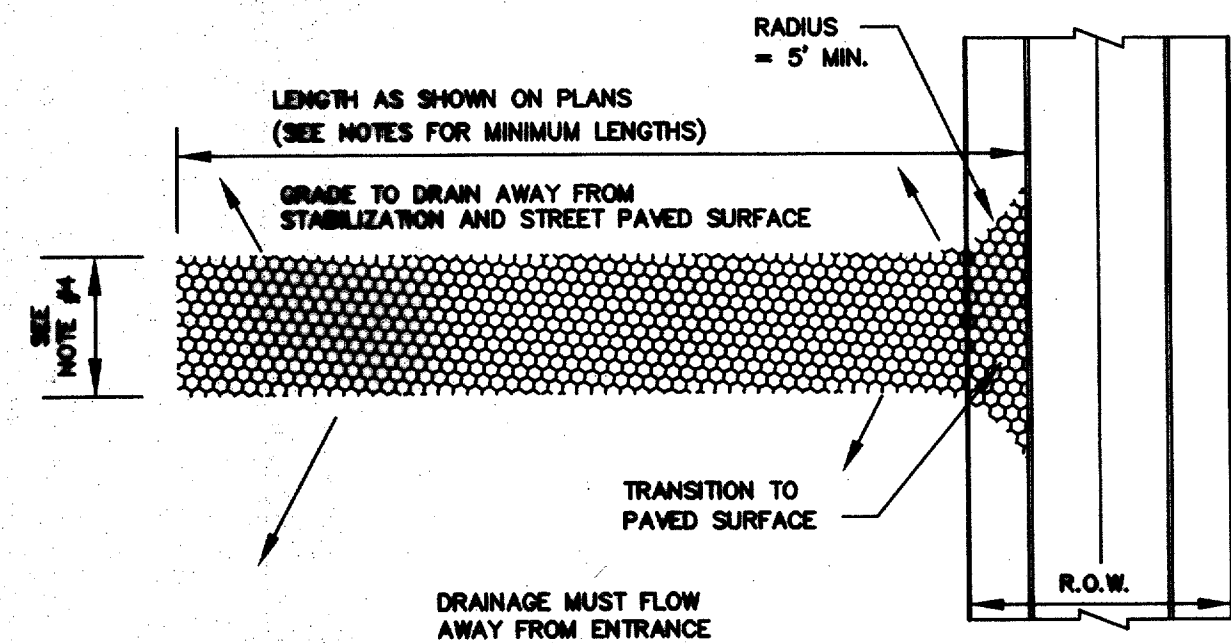
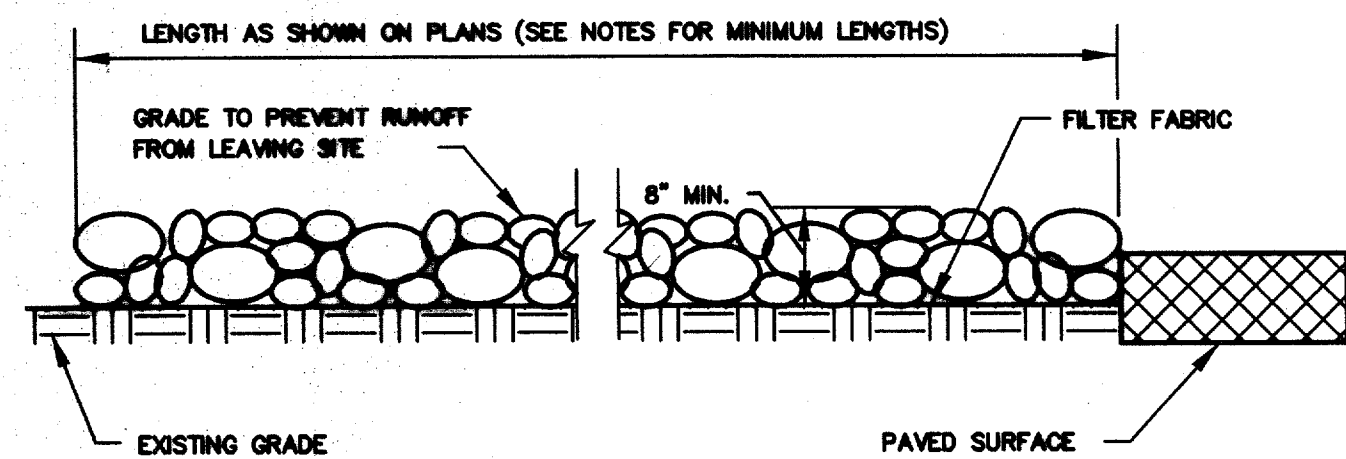
- SILT FENCE GENERAL NOTES**
1. SILT FENCES WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. FENCES MUST BE SPACED AT A MINIMUM OF 10 FEET.
 2. THE LINE OF THE SILT FENCE SHALL BE PERPENDICULAR TO THE LINE OF FLOW. SILT FENCES SHOULD BE TRENCHED IN (4-6" DEPTH), NEARLY FLAT OR SPILLAGE TO PREVENT FLOW FROM BEHIND SILT FENCE.
 3. SILT FENCES MUST BE SPACED BY 6 FEET MINIMUM AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FACING TO BE LAID IN THE TRENCH.
 4. SILT FENCES SHOULD BE SECURELY FASTENED TO BARRIERS, SUPPORT POSTS OR TO WOODEN WIPES OR STAPLES OR STAPLES TO THE GROUND. AT TOP AND BOTTOM ENDS SILT FENCES ARE ATTACHED TO THE STEEL FENCE POST. THESE SHALL BE A 3 FOOT STAPLE, SECURELY FASTENED TO THE END OF THE FENCE LINE.
 5. REPAIRS SHALL BE MADE EVERY TWO WEEKS AND AFTER EACH 1/2" RAINFALL. REPAIR OR REPLACEMENT SHALL BE MADE IMMEDIATELY AS NEEDED.
 6. SILT FENCES SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPED STORM FLOW OR ACCUMULATE SILT. SILT SHALL BE REMOVED WHEN IT REACHES A HEIGHT OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL EROSION.



SEDIMENTATION/SILT FENCE WITHOUT WIRE SUPPORT
N.T.S.

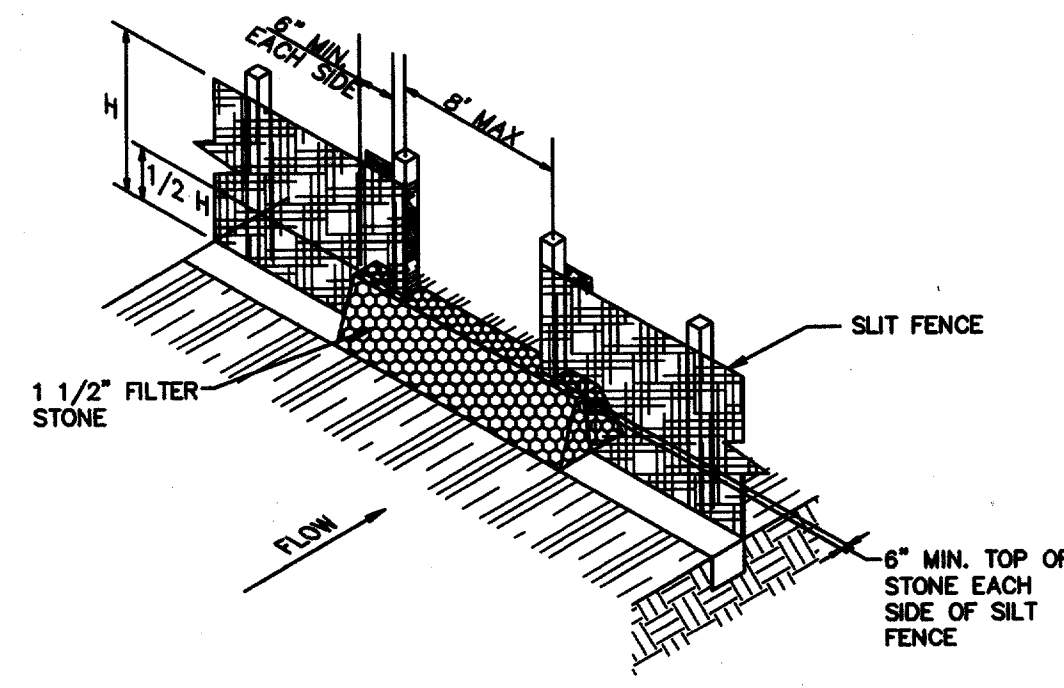
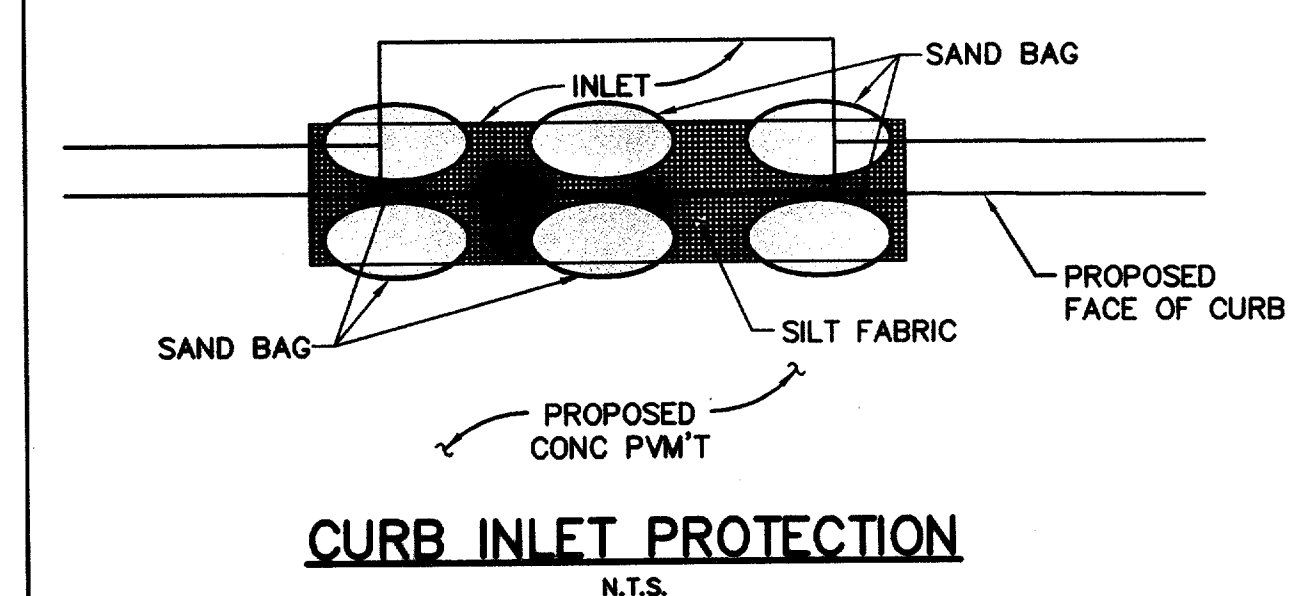
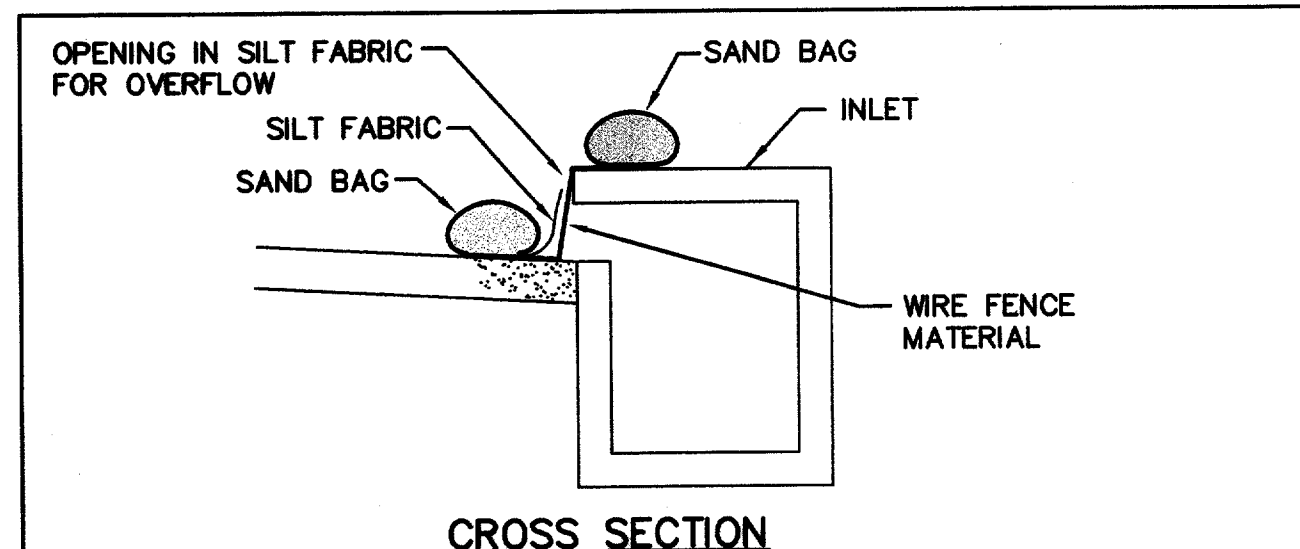


SEDIMENTATION/SILT FENCE WITH WIRE SUPPORT
N.T.S.



- STABILIZED CONSTRUCTION ENTRANCE GENERAL NOTES:**
1. STONE SHALL BE 4 TO 6 INCH DIAMETER CRUSHED ROCK OR ACCEPTABLE CRUSHED PORTLAND CEMENT CONCRETE.
 2. LENGTH SHALL BE SHOWN ON PLANS, WITH A MINIMUM LENGTH OF 30 FEET FOR LOTS WHICH ARE LESS THAN 150 FEET FROM EDGE OF PAVEMENT. THE MINIMUM DEPTH IN ALL OTHER CASES SHALL BE 50 FEET.
 3. STONE LAYER THICKNESS SHALL NOT BE LESS THAN 6".
 4. THE WIDTH SHALL BE NO LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
 5. WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE STREET AND THE STABILIZED ENTRANCE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.
 6. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED SURFACES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PAVED SURFACES MUST BE REMOVED IMMEDIATELY.
 7. THE ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.

STABILIZED CONSTRUCTION ENTRANCE
N.T.S.



VEGETATIVE STABILIZATION REQUIREMENTS

- TEMPORARY SEEDING**
1. ALL DISTURBED AREAS WHICH WILL BE LEFT DORMANT FOR GREATER THAN 14 DAYS SHALL BE SEEDING WITH FAST-GERMINATING TEMPORARY VEGETATION IMMEDIATELY FOLLOWING GRADING OPERATIONS. SELECTION OF THE SEED WILL DEPEND ON THE TIME OF YEAR IT IS APPLIED (SEE DESCRIPTIONS IN TABLE 2). REFERENCE LANDSCAPE PLAN FOR PERMANENT STABILIZATION REQUIREMENTS.
- | TABLE 2
VEGETATION TABLE* | | |
|------------------------------|---------------|----------------|
| TEMPORARY SEEDING SPECIES | PLANTING RATE | PLANTING DATES |
| CRIMSON CLOVER | 7#/ACRE | 8/15 - 11/30 |
| MILLET, FOXTAIL | 30#/ACRE | 5/1 - 8/31 |
| RYEGRASS, ANNUAL | 30#/ACRE | 8/15 - 9/30 |
| SPRANGLETOP, GREEN | 2.5#/ACRE | 2/1 - 5/1 |
| TALL FESCUE | 7-10#/1000 SF | 9/1 - 10/15 |
- *USE ONLY USDA CERTIFIED SEED.
- SURFACE PREPARATION FOR TEMPORARY SEEDING**
1. INSTALL EROSION STRUCTURES SUCH AS DIKES, DIVERSIONS, ETC. PRIOR TO SEEDING.
 2. FURROW SLOPES STEEPER THAN 3:1 ON THE CONTOUR LINE BEFORE SEEDING.
 3. ENSURE SEED BED IS PULVERIZED, LOOSE, AND UNIFORM.
- APPLICATION**
1. WHEN HYDROMULCHING IS USED, DO NOT MIX SEED AND FERTILIZER MORE THAN 30 MINUTES PRIOR TO APPLICATION.
 2. APPLY SEED EVENLY USING PROPER EQUIPMENT AND WATER TO AID VEGETATION GROWTH.
 3. EROSION CONTROL NETTING SHALL BE INSTALLED OVER FILL SLOPES WHICH HAVE BEEN BROUGHT TO FINAL GRADE AND HAVE BEEN SEEDING TO PROTECT AGAINST EROSION. MULCH (STRAW OR FIBER) SHALL BE USED ON RELATIVELY FLAT SLOPES.

"RECORD DRAWING"
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DATE: 11-17-05 BY: *[Signature]*

Scale: AS SHOWN
Designed by: SCG
Drawn by: ABC
Checked by: BCP
Date: MAY 2005
Project No. 063984003

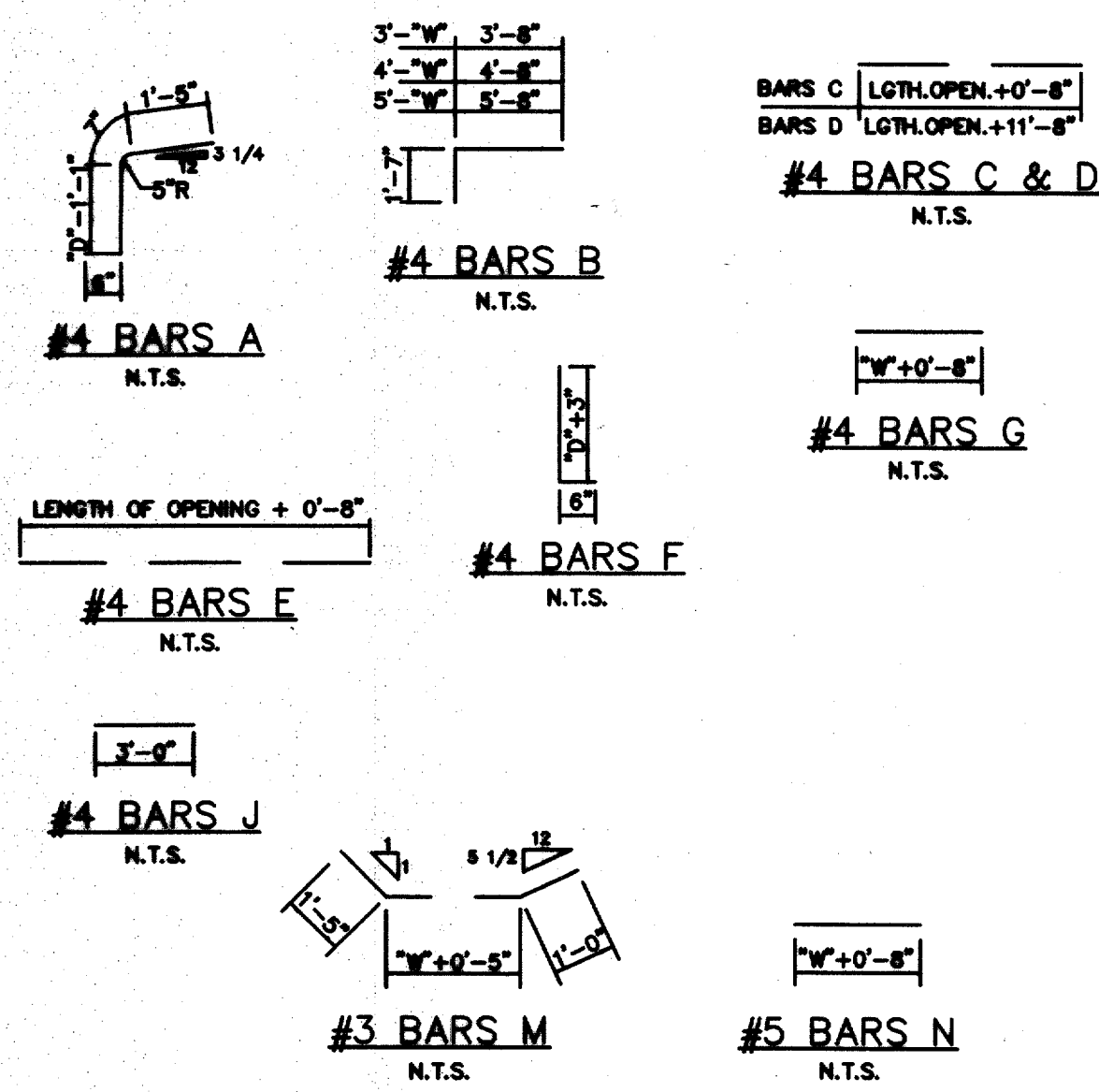
Kimley-Horn and Associates, Inc.
Tel. No. (972) 770-3300
Fax No. (972) 239-3820
12700 Park Central Drive, Suite 1800
Dallas, Texas 75251

PROTOTYPE 9.3
OTB RELOCATION
OTB ADDISON
BELTLINE ROAD
ADDISON, TEXAS

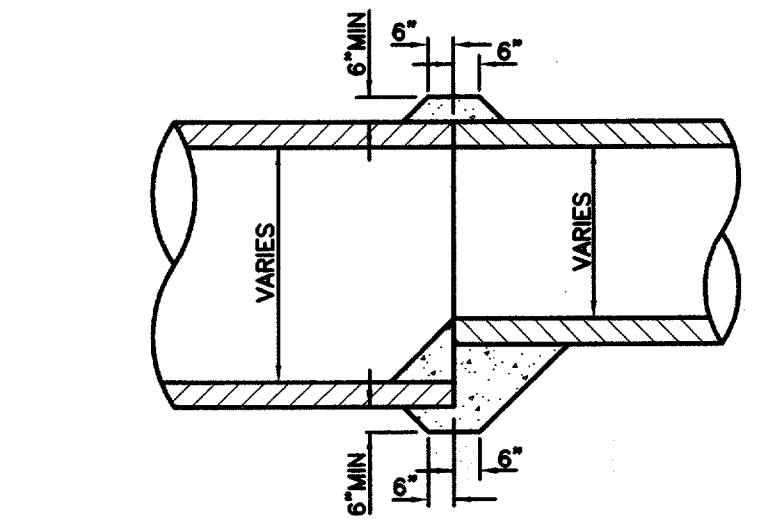
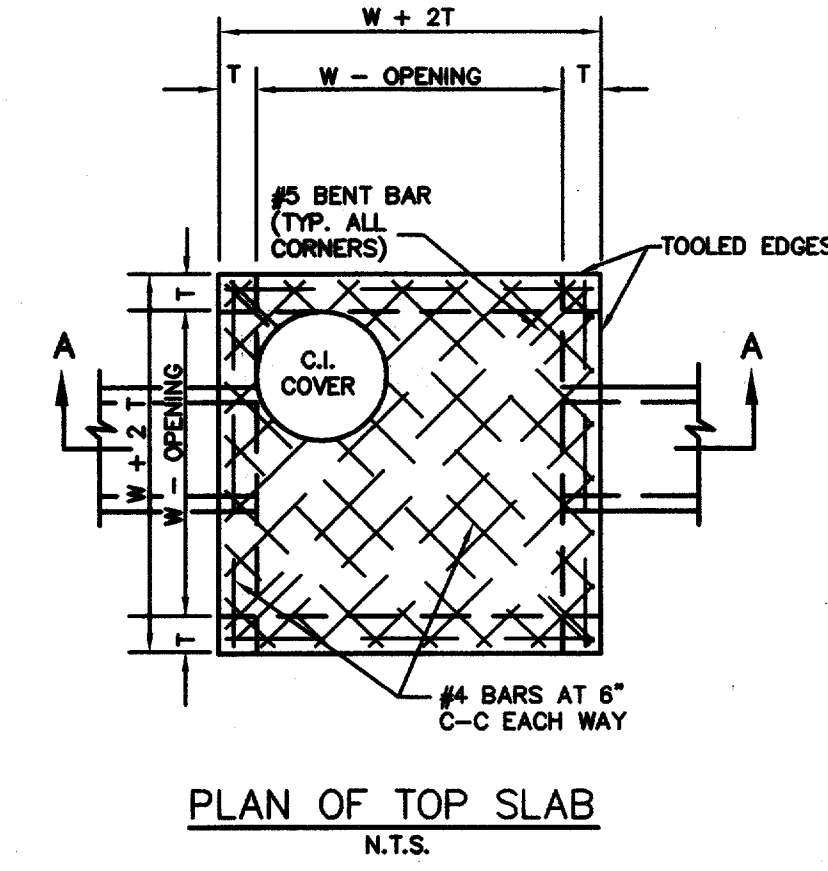
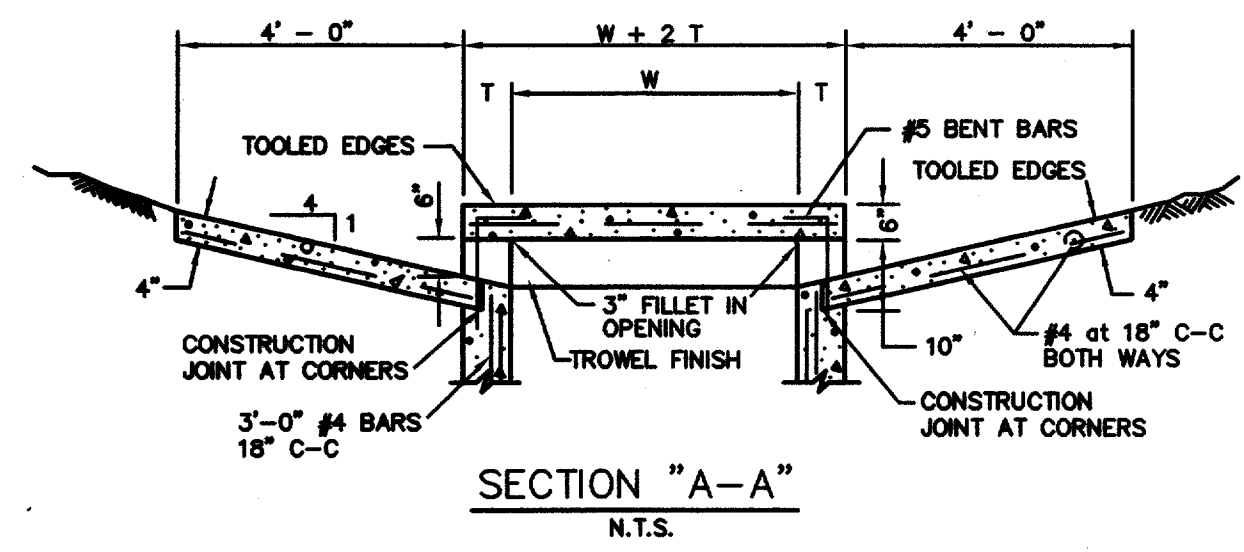
ON THE BORDER
MEXICAN ORIGIN & GROWTH

EROSION CONTROL DETAILS AND NOTES (S.W.P.P.P.)

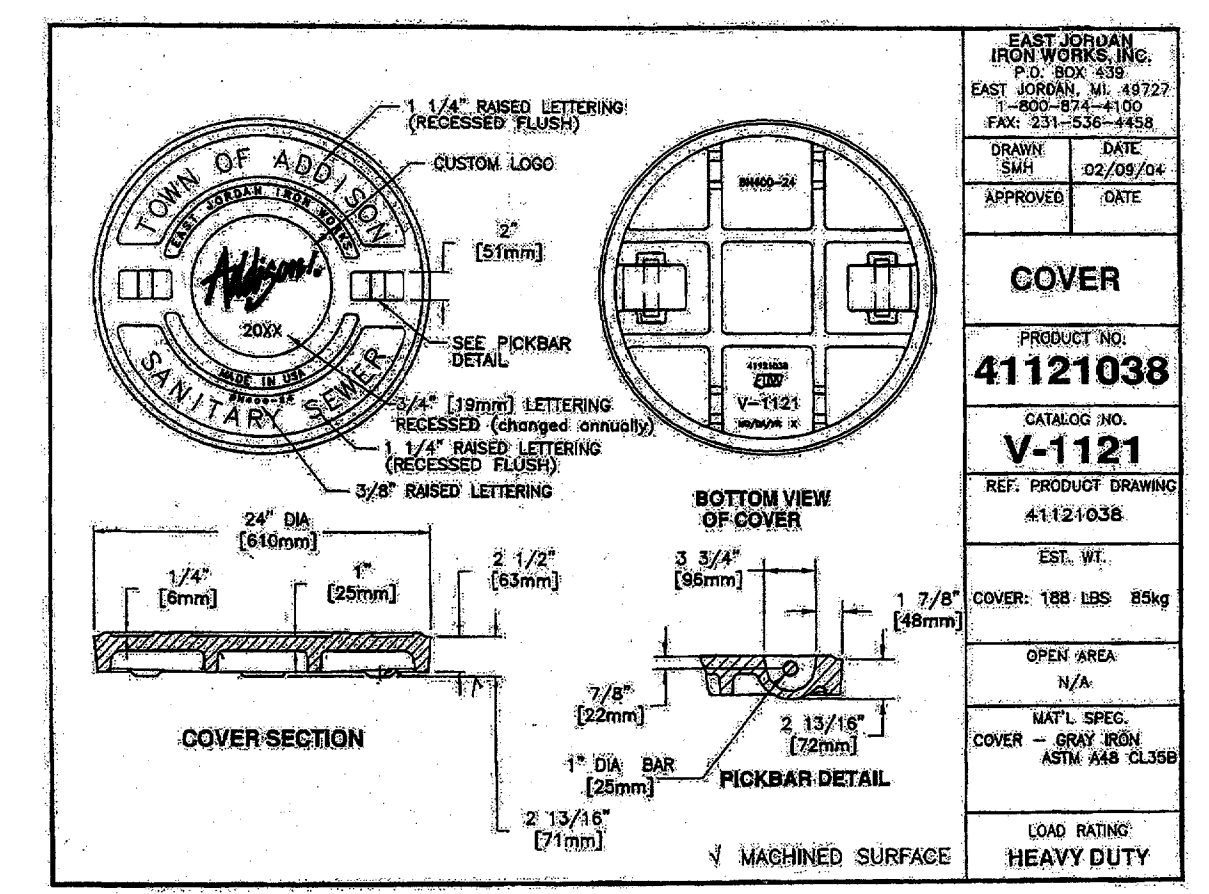
SHEET C-9 OF 12



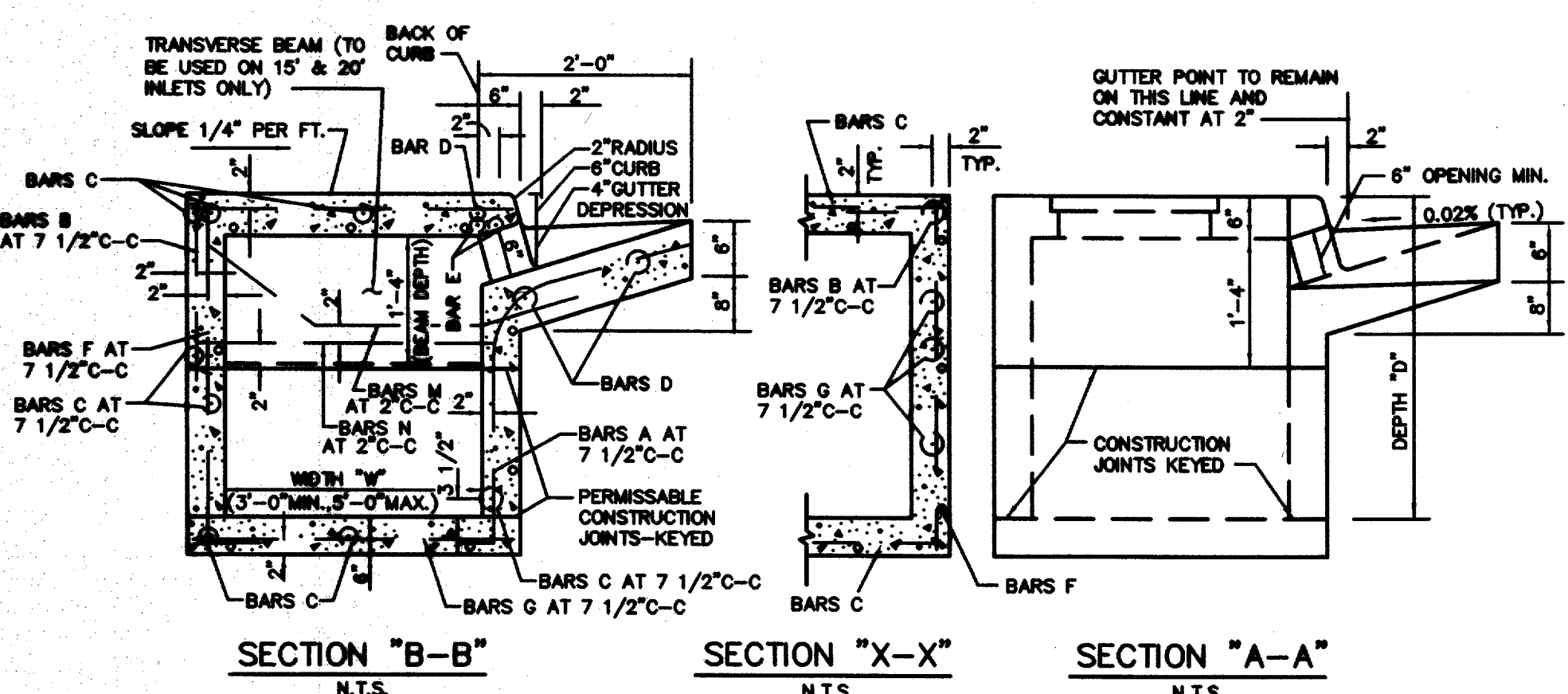
INLET SIZE	T	W
2' SQUARE	7"	2'-0"
4' SQUARE	7"	4'-0"
6' SQUARE	8"	6'-0"
8' SQUARE	9"	8'-0"



DETAIL OF CONCRETE COLLAR
FOR END TO END EXTENSIONS

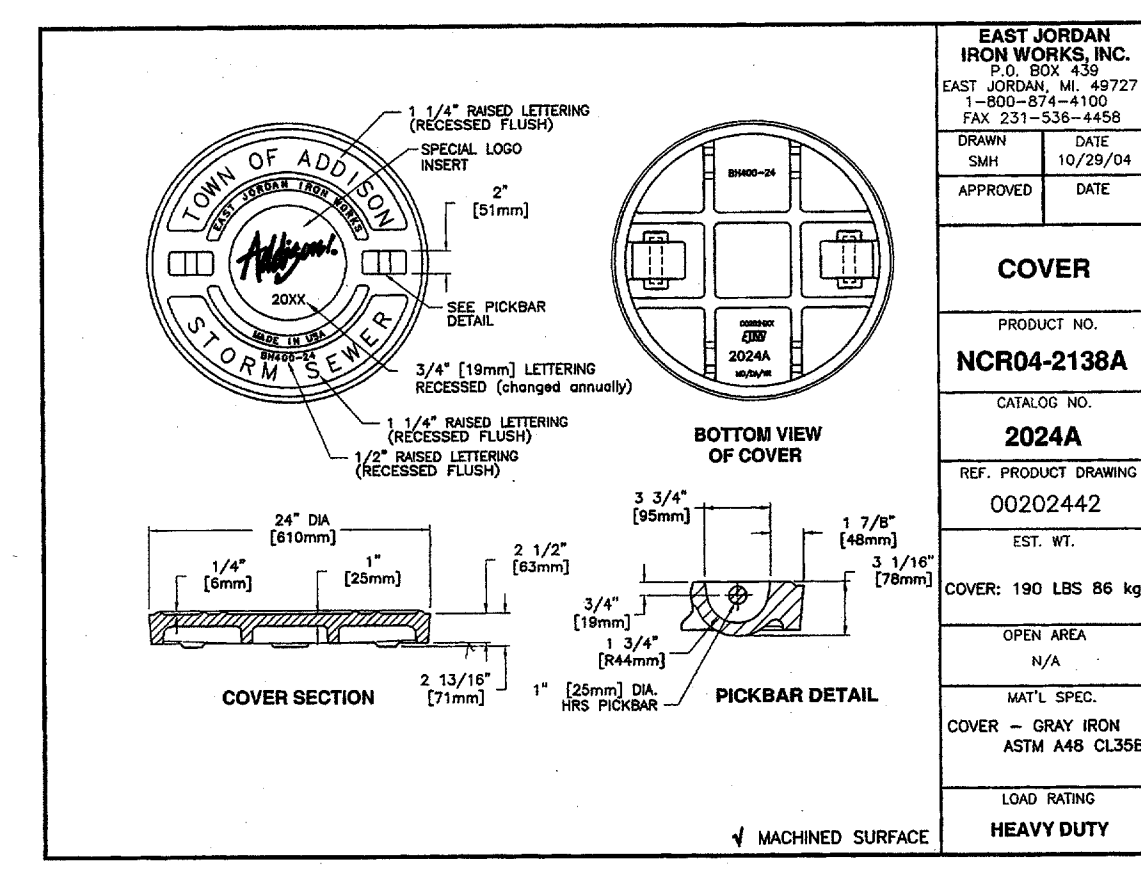


SANITARY SEWER COVER DETAIL
N.T.S.

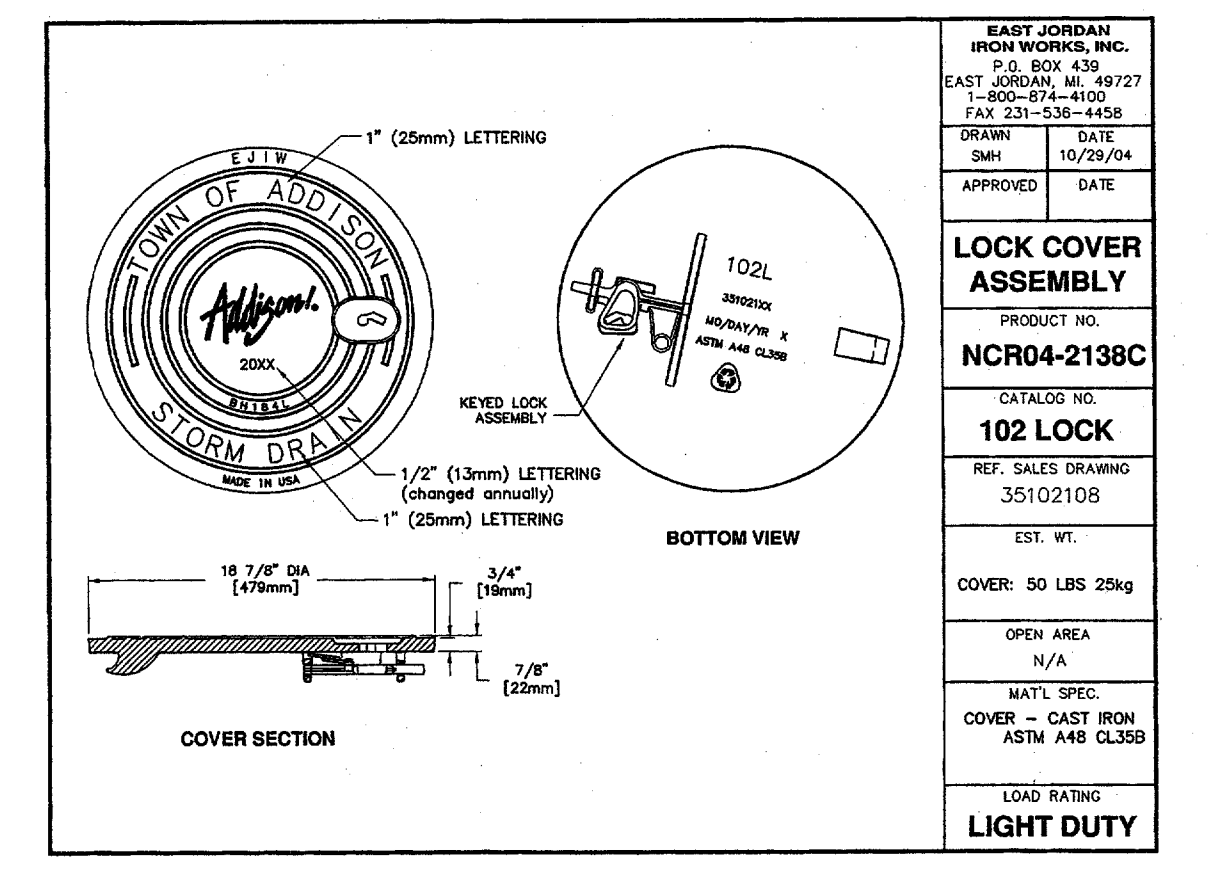


DROP INLET
N.T.S.

- NOTES:**
- MATERIAL AND WORKMANSHIP SHALL CONFORM WITH THE REQUIREMENTS OF NCTCOG STANDARD SPECIFICATIONS FOR STANDARD CONCRETE MANHOLES. MINIMUM CLASS "A" CONCRETE.
 - LAYERS OF REINFORCING STEEL NEAREST THE INTERIOR AND EXTERIOR SURFACES SHALL HAVE A COVER OF 2" TO THE CENTER OF BARS, UNLESS OTHERWISE NOTED.
 - FOR DETAILS OF REINFORCING OF LOWER PORTIONS OF INLET SEE APPROPRIATE SQUARE MANHOLE DETAILS.
 - DEPTH OF DROP INLET FROM FINISHED GRADE TO FLOW LINE OF INLET IS VARIABLE. APPROXIMATE DEPTH WILL BE SHOWN ON PLANS AT LOCATION OF INLET.
 - ALL STANDARD DROP INLETS SHALL HAVE ONE OPENING ON EACH SIDE UNLESS OTHERWISE SHOWN ON PLANS.
 - DECK MAY BE REINFORCED SAME AS 4' SQUARE MANHOLE.

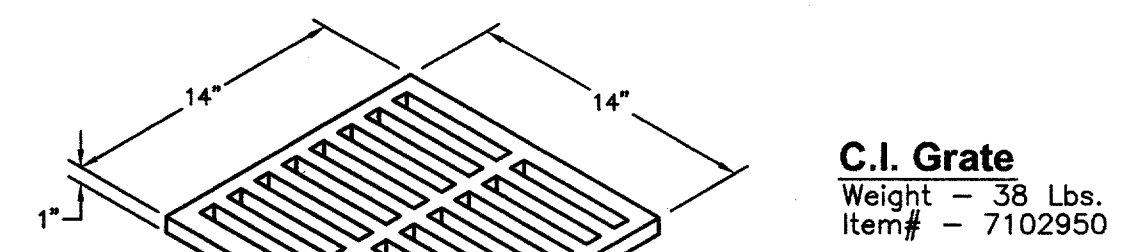


STORM SEWER COVER DETAIL
N.T.S.

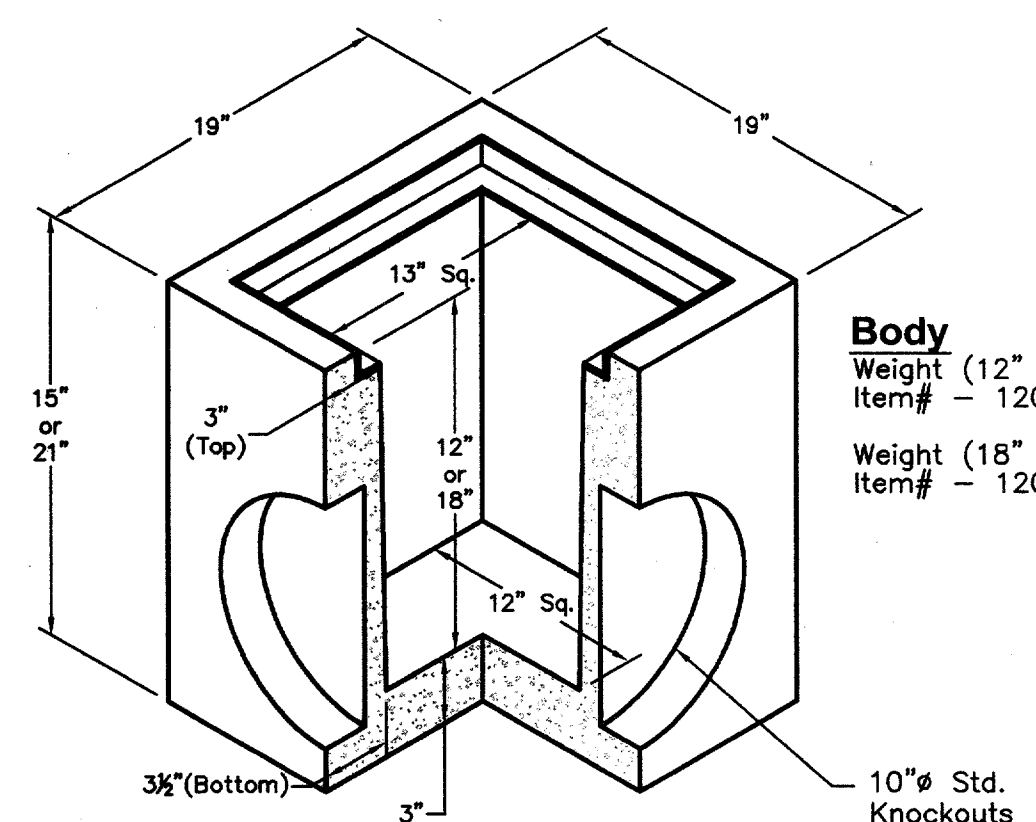


STORM DRAIN LOCK COVER ASSEMBLY DETAIL
N.T.S.

- GENERAL NOTES:**
- ALL CONCRETE SHALL BE CLASS "A" CONCRETE.
 - REINFORCING BARS SHALL BE STANDARD GRADE STEEL, DEFORMED REINFORCING BARS OF A DIAMETER AND LENGTH AS SHOWN.
 - CHAMFER ALL EXPOSED CORNERS 3/4" EXCEPT WHERE OTHERWISE NOTED.
 - DIMENSIONS RELATING TO REINFORCING STEEL ARE TO CENTERS OF BARS.
 - FIELD CUT AND BEND BARS AS NECESSARY TO ACCOMMODATE STORM SEWER PIPE.
 - RING AND COVER SHALL BE APPROVED BY THE OWNER AND INSTALLED BY THE CONTRACTOR.



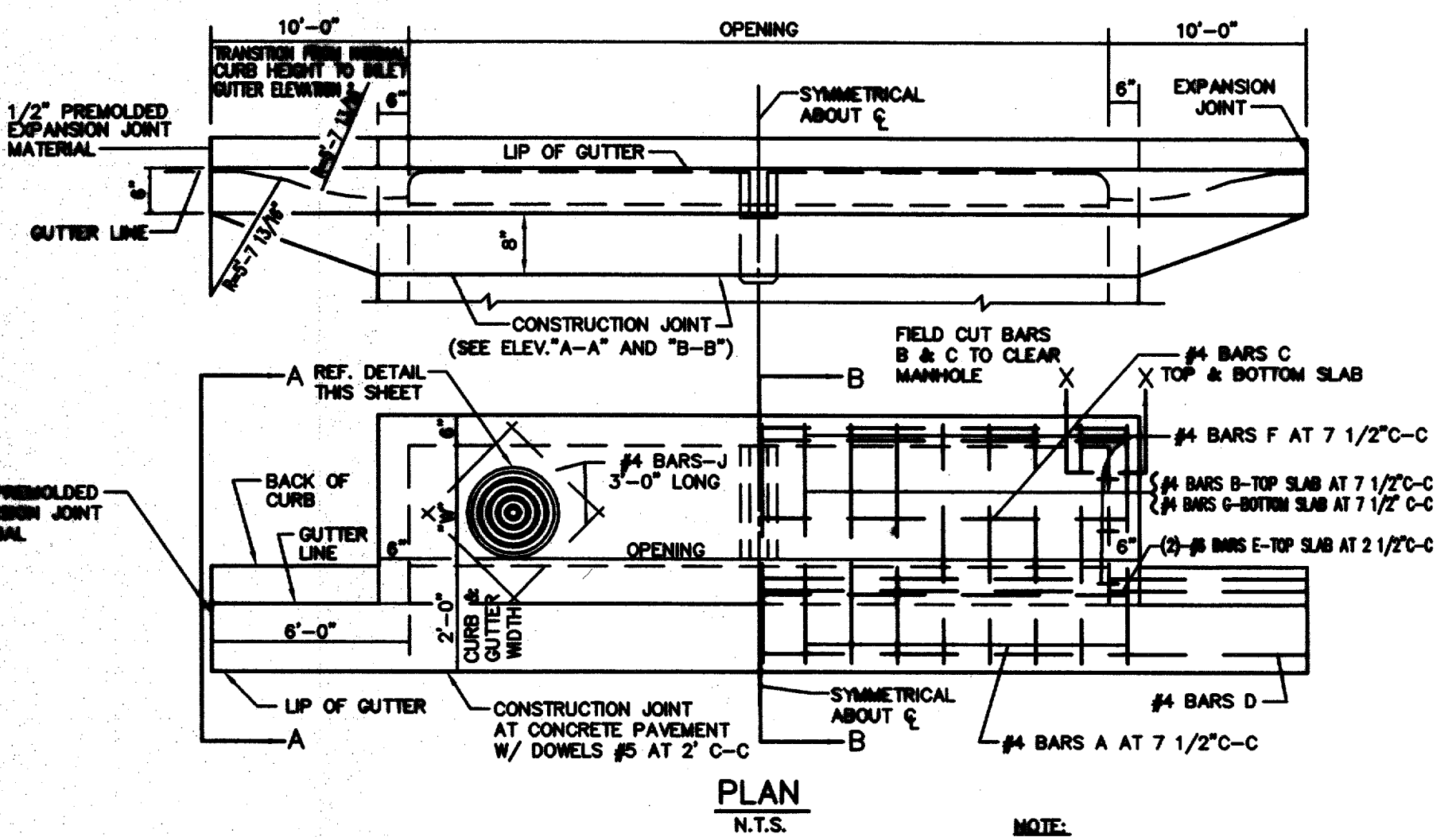
C.I. Grate
Weight - 38 Lbs.
Item# - 7102950



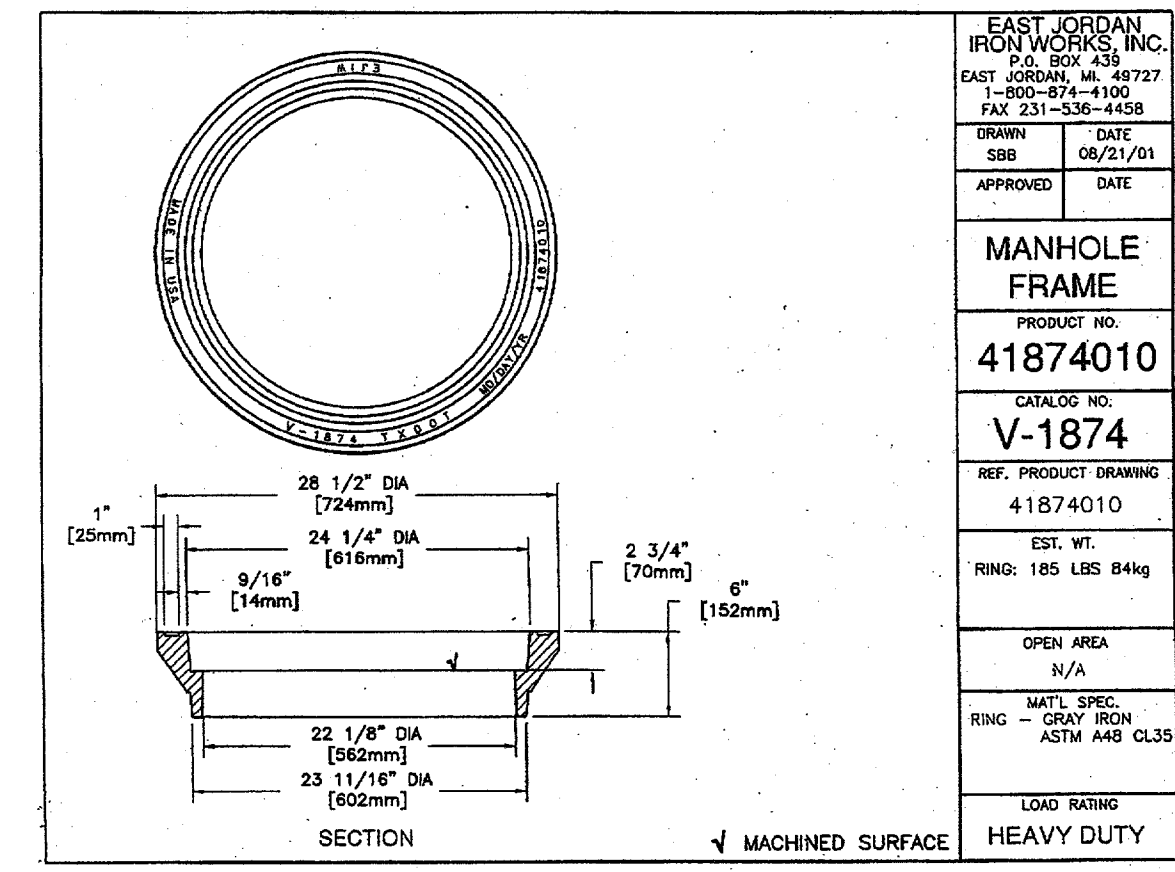
Body
Weight (12" Depth) - 300 Lbs.
Item# - 1201300
Weight (18" Depth) - 425 Lbs.
Item# - 1201340

INLET SHOWN IS OLDCASTLE PRECAST CB-1313.

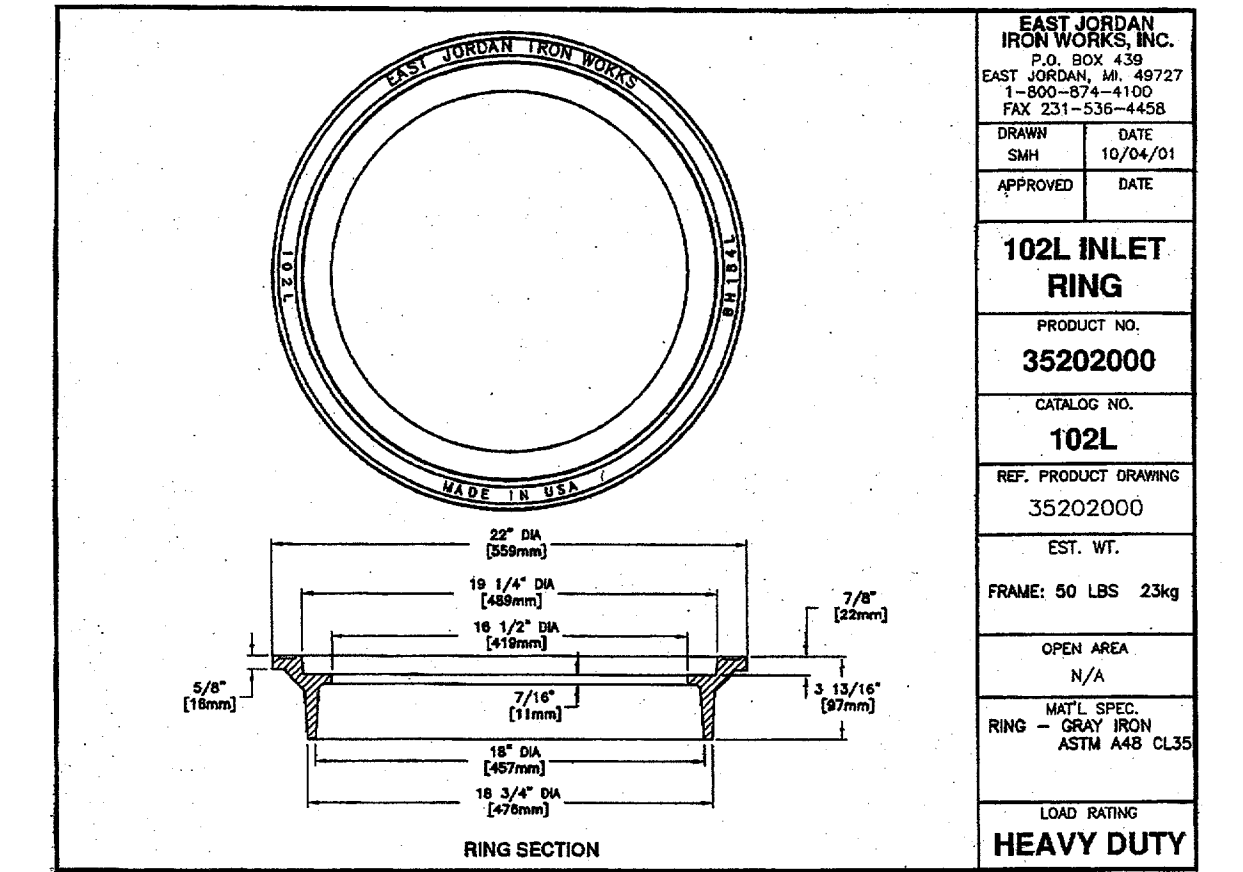
NO. 12 GRATE INLET
N.T.S.



STORM SEWER CURB INLET
N.T.S.



MANHOLE FRAME DETAIL
N.T.S.



INLET RING DETAIL
N.T.S.

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Scale: AS SHOWN
Designed by: ABC
Drawn by: ABC
Checked by: B.P.
Dated: MAY 2005
Project No. 063984003

SHEET C-12 OF 12

Revisions: App. No. Date

PROFESSIONAL ENGINEER
BRIAN J. PARKER
90248

PROTOTYPE 9.3
OTB RELOCATION
OTB ADDISON
BELTLINE ROAD
ADDISON, TEXAS

ON THE BORDER
AMERICAN GRILLS & CHIMNIA

Kimley-Horn and Associates, Inc.
12700 Park Central Drive, Suite 1800
Dallas, Texas 75251
Tel. No. (972) 776-1300
Fax No. (972) 239-3920