

# CONSTRUCTION PLANS FOR BJ'S RESTAURANT

LOT 2, BLOCK A, BELTWAY-CENTRE ADDITION

AN ADDITION TO  
THE TOWN OF ADDISON, TEXAS

Developer

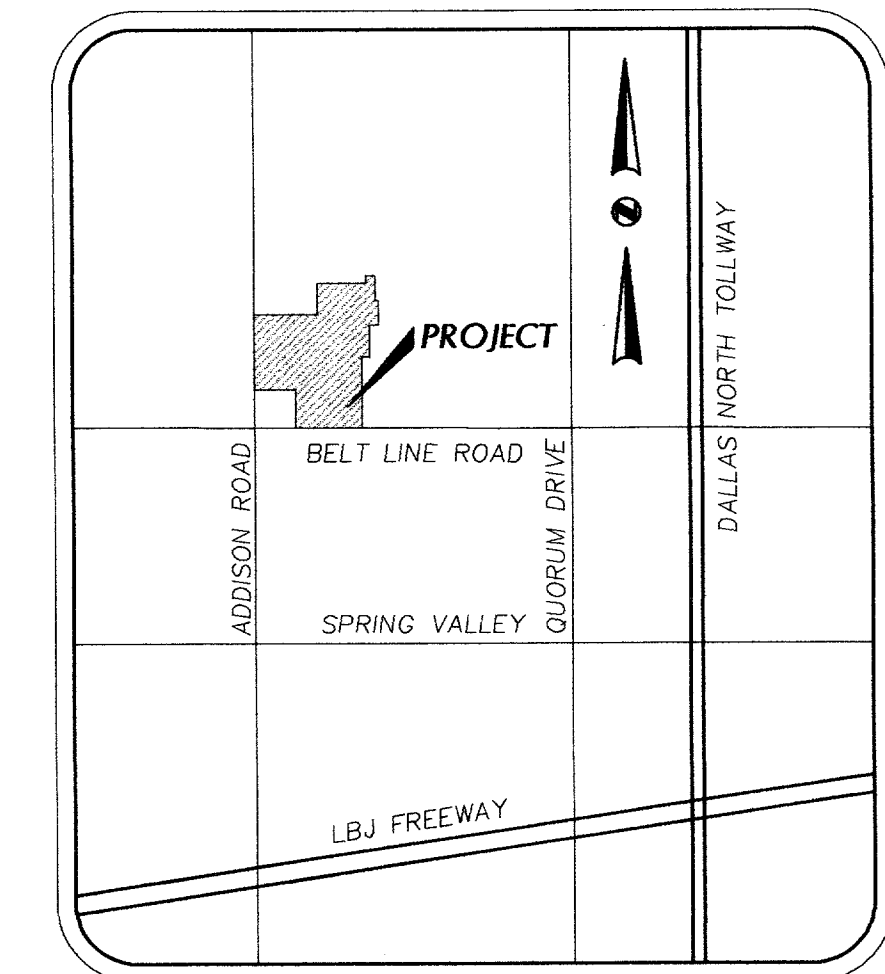
BELTWAY DEVELOPMENT  
15280 ADDISON RD, SUITE 300  
ADDISON, TX 75001  
(972) 661-1011 (tel)  
(972) 385-8039 (fax)  
ATTN: Mark Sommer

Architect

Nuttall • Uchizono Associates  
3199-C Airport Loop Dr.  
Costa Mesa, CA 92626  
(714) 545-3760 (tel)  
(714) 546-2912 (fax)  
ATTN: Stan Uchizono

Engineer

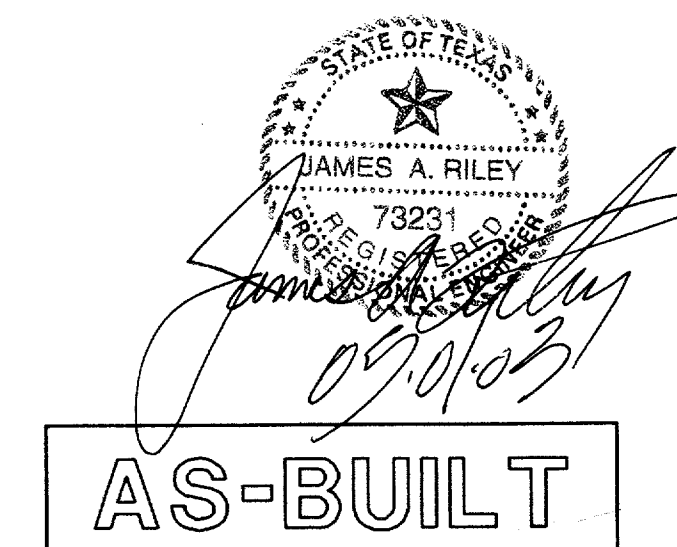
Brockette • Davis • Drake  
4144 N. Central Expressway, Suite 1100  
Dallas, Texas 75204  
(214) 824-3647  
(214) 824-7064 (fax)  
ATTN: Jim Riley



VICINITY MAP

#### GENERAL NOTES

- A. Prior to final acceptance by the Town of Addison,
  1. A Texas Registered Professional Engineer shall certify that the project was constructed in accordance with the plans and specifications approved by the Town of Addison.
  2. The Owner shall provide one reproducible set of as-built (sealed and certified by a Texas Registered Engineer) and two blue lines sets.
  3. A five foot (5') sidewalk shall be installed along the public streets. See attached detail.
  4. A one year 10% maintenance bond is required for the public infrastructure.
  5. Contractor shall demonstrate that the water and sanitary sewer systems meet the property pressure, bacteria, and mandrel tests. In addition, the Owner shall provide a VHS format video tape of the sanitary sewer.
- B. Prior to starting construction, the Contractor shall contact the utility companies to locate existing facilities. These include but may not be limited to the following:
  1. Town of Addison
  2. Oncor Electric & TXU Gas
  3. Southwestern Bell
  4. AT&T Cable
  5. Fiber Optic Companies
- C. Prior to beginning construction, the Owner or his authorized representative shall convene at a preconstruction conference among the Town of Addison, Consulting Engineers, Contractor(s), utility companies and any other affected parties. Notify Dave Wiles (214) 218-2666 at least 48 hours prior to beginning of construction.
- D. Any existing pavement, curbs, and/or sidewalks damaged or removed will be repaired by the Contractor at their expense, and in accordance with Town of Addison std. specifications.
- E. Lot pins shall be installed after construction and prior to final acceptance. Concrete monuments shall be placed as shown on the final plat and iron pins shall be placed at block corners, curve points and angle points in public right-of-way. Concrete monuments shall be six inches (6") in diameter and twenty-four inches (24") long, an iron rod one-half inch (1/2") in diameter embedded at least three inches (3") in the monument at the exact intersection point of the monument. The monuments shall be set at such an elevation that after construction, the top of the monument will be not less than twelve inches (12") below the ground surface.
- F. The Contractor shall stamp a two inch (2") "S" and a two inch (2") "W" in the curb at the location of the sewer service and water service lines, respectively.
- G. At intersections that have valley drainage, the crown of the intersecting streets will culminate in a distance of 40 feet (40') from the intersecting curb line unless otherwise note.
- H. Temporary or permanent street barricades and signage shall remain at all points of ingress and egress to prevent public use until such street received final acceptance.
- I. Contractor shall obtain a right-of-way permit by the Town of Addison for working within the public right-of-way.
- J. During construction, the Owner shall provide a qualified geotechnical lab at owner's expense to perform materials testing during the construction at the request of the Town of Addison.
- K. The Contractor shall submit material sheets to the Town of Addison for approval prior to incorporating materials into the job.
- L. The utility contractor shall submit to the Town of Addison for approval a trench safety plan signed by a Registered Professional Engineer for the installation of utilities greater than five feet (5') in depth.
- M. All existing and proposed improvements (valves, manholes, fire hydrants, water meters, etc.) shall be adjusted to finished grade by the Contractor.



NOTE:  
THESE PLANS HAVE BEEN REVISED  
TO CONFORM WITH CONSTRUCTION  
RECORDS PROVIDED BY CONTRACTOR.

#### Index Of Drawings

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C3	Final Plat
C4	Site Plan
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C9	Storm Sewer Profiles
C10	Overall Utility Plan
C10a	Utility Construction Responsibility
C11	Sanitary Sewer Profiles
C12	Erosion Control Plan
C13	Details
C14	Details

WORDS/WORDS & UTILITY EASEMENT LINE TABLE

NUMBER	DIRECTION	DISTANCE
L1	S 00°14'01" E	120.46'
L2	N 00°14'01" W	242.67'
L3	WEST	30.00'
L4	S 00°14'17" E	58.08'
L5	EAST	185.61'
L6	WEST	185.44'
L7	S 00°14'01" E	24.00'

WATER EASEMENT LINE TABLE

NUMBER	DIRECTION	DISTANCE
L15	S 89°45'57" W	12.50'
L16	S 00°14'03" E	136.52'
L17	S 00°14'03" E	133.49'
L18	N 89°45'57" E	54.43'
L19	N 89°45'57" E	54.43'
L20	N 89°45'57" E	28.91'
L21	N 89°45'57" E	28.91'
L22	S 00°14'03" E	38.91'
L23	S 00°14'03" E	38.91'
L24	N 00°14'02" W	235.57'
L25	N 00°14'02" W	220.63'
L26	N 89°45'59" E	188.60'
L27	N 89°45'59" E	212.57'
L28	S 76°31'47" E	13.26'
L29	S 76°31'47" E	10.09'
L30	N 13°28'13" E	15.00'
L31	N 89°46'29" E	93.96'
L32	N 89°46'29" E	93.83'
L33	S 00°17'00" W	106.51'
L34	S 00°17'00" W	139.01'
L35	S 00°17'00" W	383.37'
L36	S 00°17'00" W	366.08'
L37	S 89°45'59" W	107.86'
L38	S 89°45'59" W	110.11'
L39	S 89°43'00" W	37.39'
L40	S 89°43'00" E	5.00'
L49	S 00°17'00" W	17.50'
L50	N 89°43'00" E	15.00'
L51	S 00°17'00" W	15.00'
L52	N 89°43'00" E	25.00'
L53	S 68°55'50" E	10.00'
L54	S 21°04'10" W	10.00'
L55	N 68°55'50" W	10.00'

DRAINAGE EASEMENT LINE TABLE

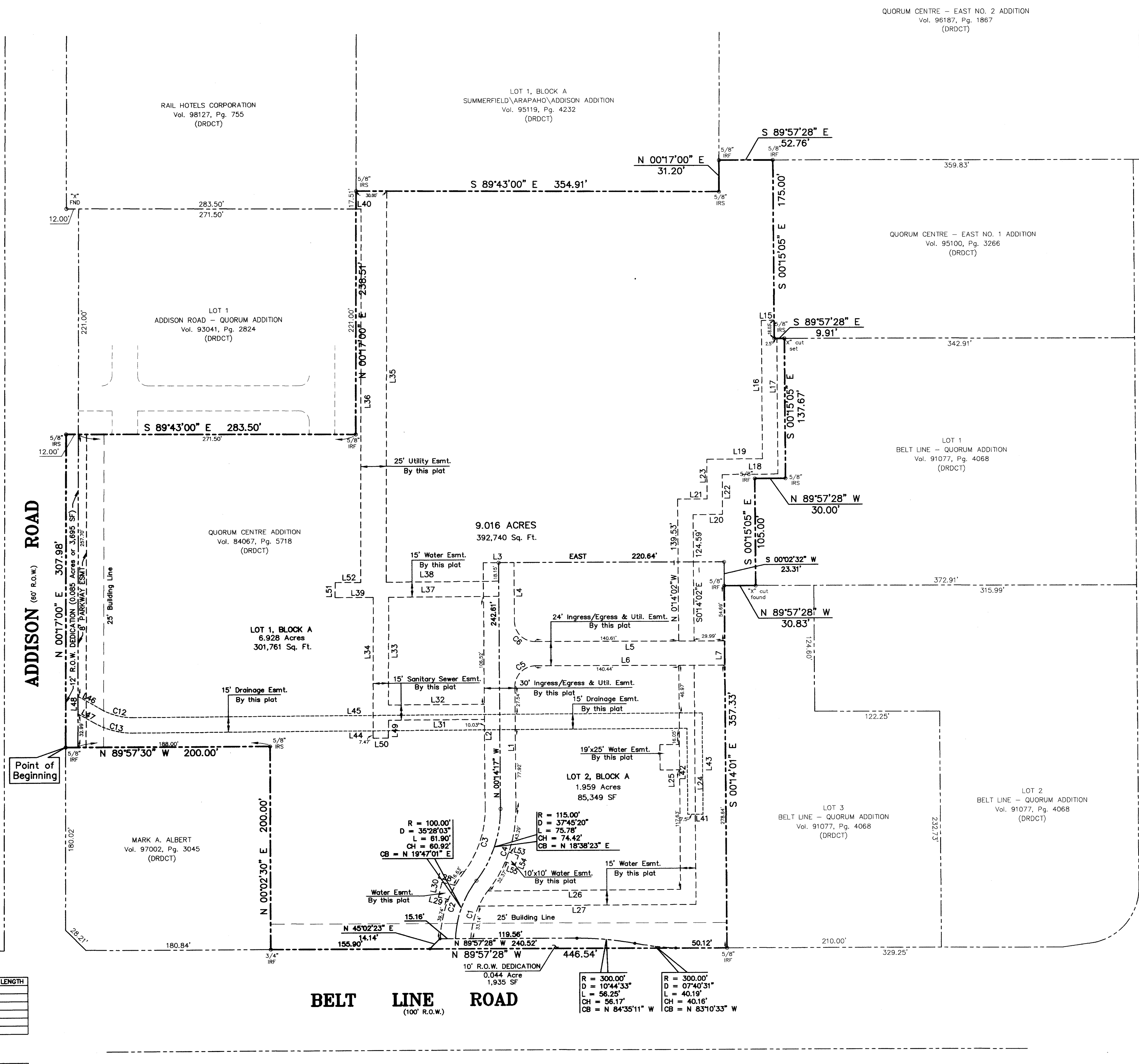
NUMBER	DIRECTION	DISTANCE
L41	N 89°45'59" E	15.00'
L42	S 00°14'01" E	84.67'
L43	S 00°14'01" E	99.67'
L44	S 89°45'59" W	541.78'
L45	S 89°45'59" W	556.78'
L46	N 60°14'01" W	26.09'
L47	N 60°14'01" W	17.61'
L48	N 00°17'00" E	17.23'

INGRESS/EGRESS & UTILITY EASEMENT CURVE TABLE

NUMBER	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD DIRECTION	CHORD LENGTH
C1	35°06'47"	85.00	52.06	N 19°57'39" E	51.28
C2	35°43'46"	115.00	71.71	S 19°38'10" W	70.56
C3	37°45'20"	100.00	65.90	N 18°38'23" E	64.71
C4	37°45'20"	130.00	85.66	S 18°38'23" W	84.12
C5	90°14'17"	20.00	31.50	S 44°52'51" W	28.34
C6	89°45'43"	20.00	31.33	S 45°07'09" E	28.23

DRAINAGE EASEMENT CURVE TABLE

NUMBER	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD DIRECTION	CHORD LENGTH
C10	30°00'00"	77.50	40.58	N 15°14'01" W	40.12
C11	29°56'21"	62.50	32.64	N 15°11'41" W	32.27
C12	30°00'00"	62.50	32.72	S 75°14'01" E	32.35
C13	30°00'00"	77.50	40.58	S 75°14'01" E	40.12



QUORUM CENTRE - EAST NO. 2 ADDITION  
Vol. 96187, Pg. 1867  
(DRDCT)

LOT 1, BLOCK A  
SUMMERFIELD\ARAPAHO\ADDISON ADDITION  
Vol. 95119, Pg. 4232  
(DRDCT)

RAIL HOTELS CORPORATION  
Vol. 98127, Pg. 755  
(DRDCT)

LOT 1  
ADDISON ROAD - QUORUM ADDITION  
Vol. 93041, Pg. 2824  
(DRDCT)

QUORUM CENTRE - EAST NO. 1 ADDITION  
Vol. 95100, Pg. 3266  
(DRDCT)

QUORUM CENTRE ADDITION  
Vol. 84067, Pg. 5718  
(DRDCT)

LOT 1, BLOCK A  
8.928 Acres  
301,761 Sq. Ft.

LOT 2, BLOCK A  
1.959 Acres  
85,349 SF

LOT 3  
BELT LINE - QUORUM ADDITION  
Vol. 91077, Pg. 4068  
(DRDCT)

LOT 2  
BELT LINE - QUORUM ADDITION  
Vol. 91077, Pg. 4068  
(DRDCT)

MARK A. ALBERT  
Vol. 97002, Pg. 3045  
(DRDCT)

**FINAL PLAT**  
**BELTWAY - CENTRE ADDITION**

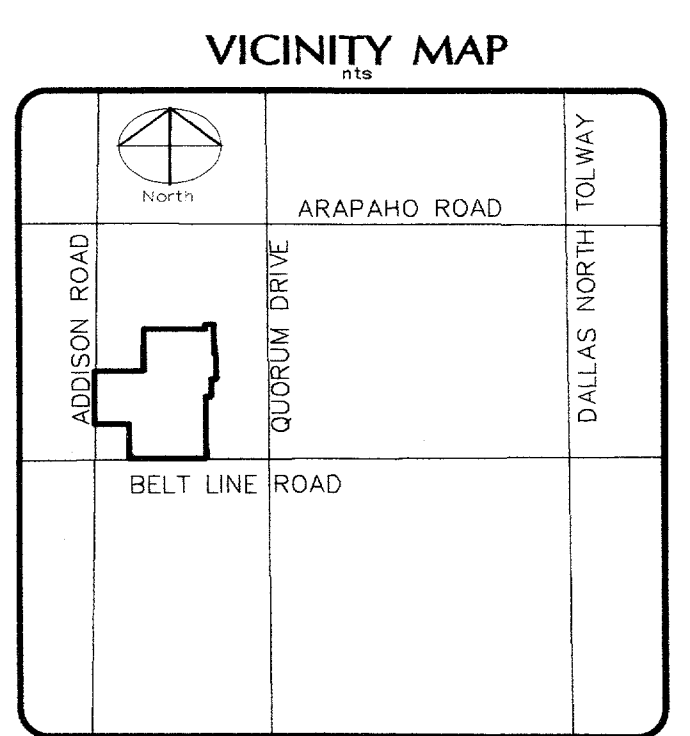
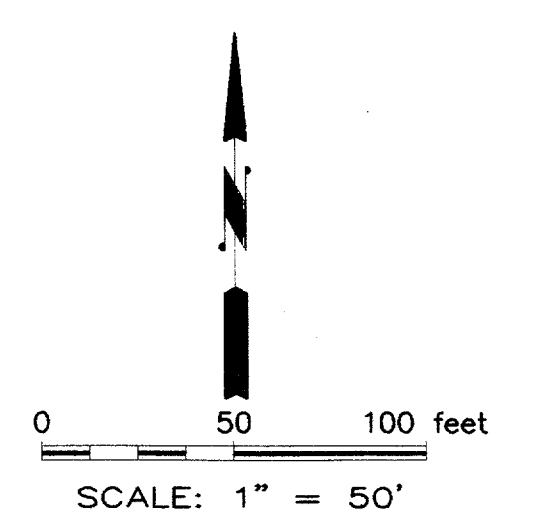
LOTS 1 & 2, BLOCK A  
9.016 ACRES

G.W. FISHER SURVEY ABSTRACT No. 482  
TOWN OF ADDISON, DALLAS COUNTY, TEXAS

OWNER  
BELTWAY DEVELOPMENT  
15280 ADDISON ROAD  
SUITE 300  
ADDISON, TEXAS 75001  
972-661-1011  
Mark Sommer

SURVEYOR  
BROCKETTE-DAVIS-DRAKE, INC.  
4144 NORTH CENTRAL EXPRESSWAY  
SUITE 1100  
DALLAS, TEXAS 75204  
214-824-3647  
214-824-7064 (fax)

January, 2003



OWNER'S DEDICATION

STATE OF TEXAS  
COUNTY OF DALLAS

WHEREAS BELTWAY DEVELOPMENT is the owner of a tract of land situated in the G.W. FISHER SURVEY ABSTRACT No. 482, Dallas County, Texas and being a portion of BELTWAY - CENTRE ADDITION, an addition to the Town of Addison according to the plat as recorded in Volume 84067, Page 5718 of the Deed Records of Dallas County, Texas (DRDCT) and being more particularly described as follows:

BEGINNING at a 5/8 inch iron rod found in the easterly right-of-way line of ADDISON ROAD (a variable width right-of-way) and the northwesterly corner of a tract of land described in a deed to MARK A. ALBERT as recorded in Volume 97002, Page 3045 (DRDCT), said point being located N 00°17'00" E, a distance of 180.02 feet from the northerly corner of a corner clip at the intersection of the easterly right-of-way line of said ADDISON ROAD and the northerly right-of-way line of BELT LINE ROAD (100' right of way);

THENCE along the easterly right-of-way line of said ADDISON ROAD, N 00°17'00" E, a distance of 307.98 feet to a 5/8 inch iron rod set for corner;

THENCE departing the easterly right-of-way line of said ADDISON ROAD, S 89°43'00" E, a distance of 283.50 feet to a 5/8 inch iron rod found for corner;

THENCE N 00°17'00" E, a distance of 238.51 feet to a 5/8 inch iron rod set for corner;

THENCE S 89°43'00" E, a distance of 354.91 feet to a 5/8 inch iron rod set for corner;

THENCE N 00°17'00" E, a distance of 31.20 feet to a 5/8 inch iron rod found for corner;

THENCE S 89°57'28" E, a distance of 52.76 feet to a 5/8 inch iron rod found for corner;

THENCE S 00°15'05" E, a distance of 175.00 feet to a 5/8 inch iron rod set for corner;

THENCE S 89°57'28" E, a distance of 9.91 feet to an "X" cut set for corner;

THENCE S 00°15'05" E, a distance of 137.67 feet to a 5/8 inch iron rod set for corner;

THENCE N 89°57'28" W, a distance of 30.00 feet to a 5/8 inch iron rod found for corner;

THENCE S 00°15'05" E, a distance of 105.00 feet to an "X" cut found for corner;

THENCE N 89°57'28" W, a distance of 30.83 feet to a 5/8 inch iron rod found for corner;

THENCE S 00°14'01" E, a distance of 357.33 feet to a 5/8 inch iron rod found for corner in the northerly right-of-way line of aforementioned BELT LINE ROAD;

THENCE along the northerly right-of-way line of said BELT LINE ROAD, N 89°57'28" W, a distance of 446.54 feet to a 3/4 inch iron rod found at the southeasterly corner of aforementioned MARK A. ALBERT tract;

THENCE departing the northerly right-of-way line of said BELT LINE ROAD, N 00°02'30" E, a distance of 200.00 feet to a 5/8 inch iron rod set for corner;

THENCE N 89°57'30" W, a distance of 200.00 feet to the POINT OF BEGINNING;

CONTAINING within these metes and bounds 9.016 acres or 392,740 square feet of land more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That BELTWAY DEVELOPMENT does hereby adopt this plat designating the hereinabove property as BELTWAY - CENTRE ADDITION, an addition to the Town of Addison, Texas, and, subject to the conditions, restrictions and reservations stated hereinafter, owner dedicates to the public use forever the streets and alleys shown thereon.

The easements shown on this plat are hereby reserved for the purposes as indicated, including, but not limited to, the installation and maintenance of water, sanitary sewer, storm sewer, drainage, electric, telephone, gas and cable television. Owner shall have the right to use these easements, provided, however, that it does not unreasonably interfere or impede with the provision of the services to others. Said utility easements are hereby being reserved by mutual use and accommodation of all public utilities using or desiring to use the same. An express easement of ingress and egress is hereby expressly granted on, over and across all such easements for the benefit of the provider of services for which easements are granted.

Any drainage and floodway easement shown hereon is hereby dedicated to the public's use forever, but including the following covenants with regards to maintenance responsibilities. The existing channels or creeks traversing the drainage and floodway easement will remain as an open channel, unless required to be enclosed by ordinance, at all times and shall be maintained by the individual owners of the lot or lots that are traversed by or adjacent to the drainage and floodway easement. The town will not be responsible for the maintenance and operation of said creek or creeks or for any damage or injury of private property or person that results from the flow of water along said creek, or for the control of erosion. No obstruction to the natural flow of water runoff shall be permitted by construction of any type building, fence or any other structure within the drainage and floodway easement. Provided, however, it is understood that in the event it becomes necessary for the town to channelize or consider erecting any type of drainage structure in order to improve the storm drainage, then in such event, the town shall have the right, but not the obligation, to enter upon the drainage and floodway easement at any point, or points, with all rights of ingress and egress to investigate, survey, erect, construct or maintain any drainage facility deemed necessary by the town for maintenance or efficiency of its respective system or service.

Water main and sanitary sewer easements shall also include additional area of working space for construction and maintenance of the systems. Additional easement area is also conveyed for installation and maintenance of manholes, cleanouts, fire hydrants, water service and sewer services from the main to curb or pavement line, and the descriptions of such additional easements herein granted shall be determined by their locations as installed.

This plat is approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Addison, Texas.

WITNESS, my hand at Dallas, Texas, this the \_\_\_\_\_ day of \_\_\_\_\_, 2003.

By: BELTWAY DEVELOPMENT

STATE OF TEXAS  
COUNTY OF DALLAS

BEFORE ME, the undersigned authority, on this day personally appeared \_\_\_\_\_, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purposes and consideration therein expressed, in the capacity therein stated, and as the act and deed of said partnership.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on the \_\_\_\_\_ day of \_\_\_\_\_, 2003.

Notary Public in and for State of Texas

SURVEYOR'S CERTIFICATION

I, JOHN R. PIBURN, JR., a Registered Professional Land Surveyor in the State of Texas, do hereby certify that I have prepared this plat from a actual on the ground survey of the land, and the monuments shown hereon were found and/or placed under my personal supervision.

JOHN R. PIBURN, JR.  
Registered Professional Land Surveyor  
Texas Registration No. 3689

STATE OF TEXAS  
COUNTY OF DALLAS

BEFORE ME, the undersigned authority, on this day personally appeared JOHN R. PIBURN, JR., known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purposes and consideration therein expressed, in the capacity therein stated, and as the act and deed of said partnership.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on the \_\_\_\_\_ day of \_\_\_\_\_, 2003.

Notary Public in and for State of Texas

APPROVED and ACCEPTED for the Town of Addison this the \_\_\_\_ day of \_\_\_\_\_, 2003.

The approval of this plat is contingent upon the plat being filed for record with the County Clerk of Dallas County within 180 days from the above date.

Mayor: R. Scott Wheeler

City Secretary

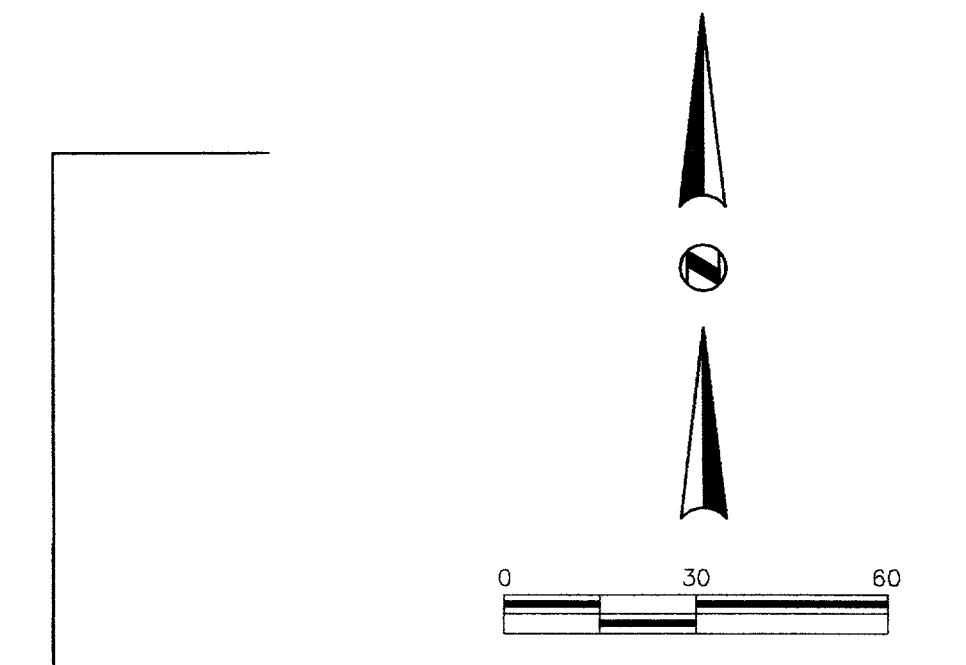
**FINAL PLAT**  
**BELTWAY - CENTRE ADDITION**

LOTS 1 & 2, BLOCK A  
9.016 ACRES

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TOWN OF ADDISON, DALLAS COUNTY, TEXAS

OWNER  
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Mark Sommer

SURVEYOR  
BROCKETTE-DAVIS-DRAKE, INC.  
4144 NORTH CENTRAL EXPRESSWAY  
SUITE 1100  
DALLAS, TEXAS 75204  
214-824-3647  
214-824-7064 (fax)



LOT 1  
BELT LINE - QUORUM ADDITIO  
VOL. 91877, PG. 4068

TABLATIONS	BUILDING AREA	PARKING REQUIRED
BUILDING	7,376 S.F.	(1:70 S.F.) 140
PATIO	1,457 S.F.	
SERVICE YARD	954 S.F.	
<b>TOTAL SEATS</b>	<b>INDOORS - 316</b>	
	<b>PATIO - 104</b>	
<b>TOTAL</b>	<b>9,787 S.F.</b>	<b>(140)</b>
PARKING PROVIDED		136
HANDICAP PARKING PROVIDED		6
<b>TOTAL</b>		<b>142</b>
EXISTING ZONING	LR (Local Retail)	
PROPOSED ZONING	LR (Local Retail)	
SITE AREA	2.156 AC.	
TOTAL SITE AREA	±2.156 AC.	

**AS-BUILT**

NOTE:  
THESE PLANS HAVE BEEN REVISED  
TO CONFORM WITH CONSTRUCTION  
RECORDS PROVIDED BY CONTRACTOR.

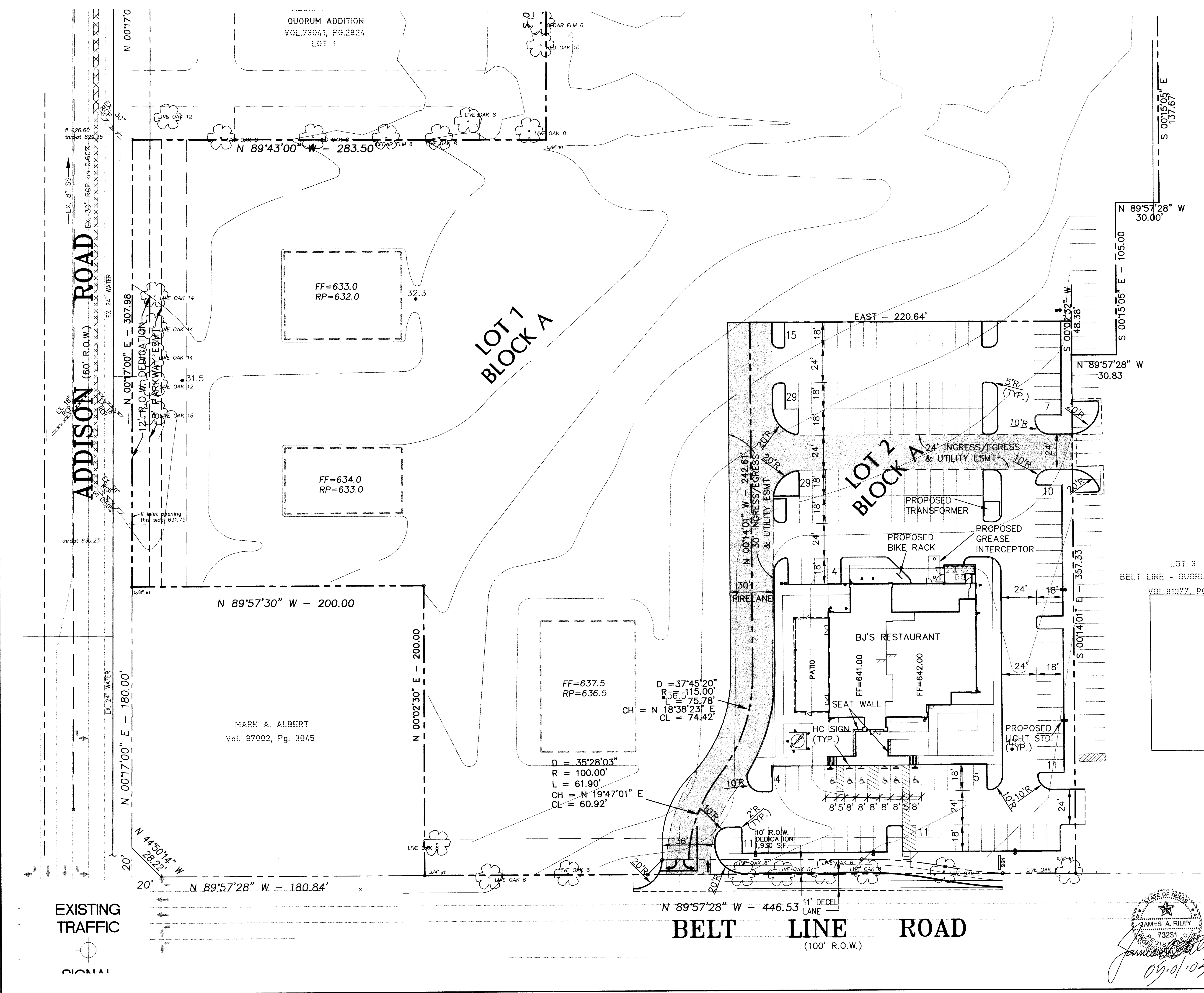
BENCHMARK:  
TOP OF BRASS DISK FOUND ON SOUTHWEST  
CORNER OF 8" RECESSED CURB INLET ON EAST  
SIDE OF ADDISON ROAD, 275'± NORTH OF BELT  
LINE ROAD.  
ELEV.=631.82'

**SCHEMATIC SITE PLAN**  
 BJ'S RESTAURANT  
 LOT 2, BLOCK A OF  
 BELTWAY CENTRE ADDITION  
 TOWN OF ADDISON  
 DALLAS COUNTY, TEXAS

**BROCKETTE • DAVIS • DRAKE, INC.**  
**consulting engineers**  
 Civil & Structural Engineering • Surveying  
 4144 North Central Expressway, Suite 1100 • Dallas, Texas 75204  
 (214) 824-3647 • fax (214) 824-7064

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
JAR	BLM	11/19/02	1"=30'	BDD	C02132	<b>C4</b>

STATE OF TEXAS  
 JAMES A. RILEY  
 73231  
 09.01.03



**ADDISON ROAD**  
(60' R.O.W.)

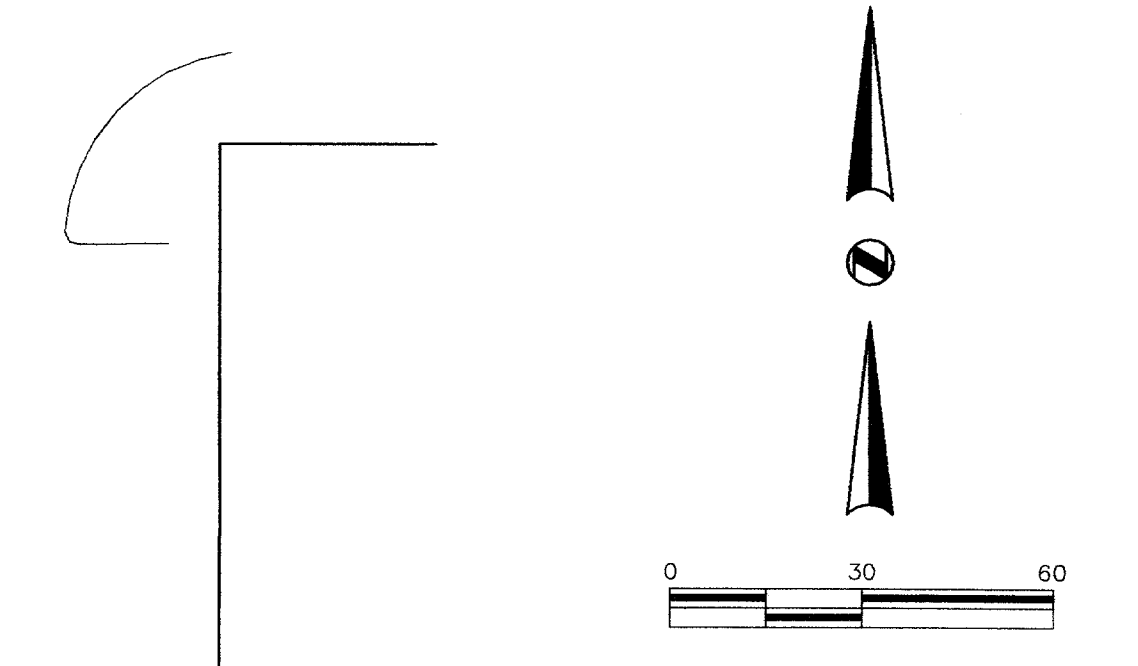
QUORUM ADDITION  
VOL.73041, PG.2824  
LOT 1

Mutual Access Easement  
Vol.93055, Pg.1864

**LOT 1  
BLOCK A**

**LOT 2  
BLOCK A**

- LEGEND**
- 2' Curb Opening
  - Existing Curb
  - Proposed Curb
  - Prop. Sawcut Line
  -



LOT 1  
BELT LINE - QUORUM ADDITION  
VOL.91077, PG.4068

**GENERAL NOTES**

- All materials and construction shall conform to the Town of Addison's standards and N.C.T.C.O.G. specifications.
- It will be the responsibility of the contractor to protect all public utilities in the construction of this project. All manholes, clean-outs, valve boxes, fire hydrants, etc. must be adjusted to proper line and grade by the Contractor prior to and after the placing of permanent paving. Utilities must be maintained to proper line and grade during construction of this project.
- The Contractor will be responsible for coordinating with all the appropriate utility companies for the location of all utilities within the construction area.
- The Paving Contractor shall coordinate with the Utility Contractor to insure all sleeving for irrigation has been installed prior to placement of permanent pavement.
- All paving and earthwork operations shall conform to the recommendations in the Geotechnical Investigation Report submit report to the Town of Addison.
- All dimensions are to back of curb unless otherwise noted.
- All curb return radii are 1.5' unless otherwise noted.
- All construction debris shall be legally disposed of offsite.

**AS-BUILT**

NOTE:  
THESE PLANS HAVE BEEN REVISED  
TO CONFORM WITH CONSTRUCTION  
RECORDS PROVIDED BY CONTRACTOR.

R.O.W. DEDICATION CURVE DATA			
C1	C2		
D = 10'44'33"	D = 07'40'31"		
R = 300.00'	R = 300.00'		
L = 56.25'	L = 40.19'		
CB = N 84'35'11" W	CB = S 83'10'33" E		
CL = 56.17'	CL = 40.16'		

LOT 3  
BELT LINE - QUORUM ADDITION  
VOL.91077, PG.4068

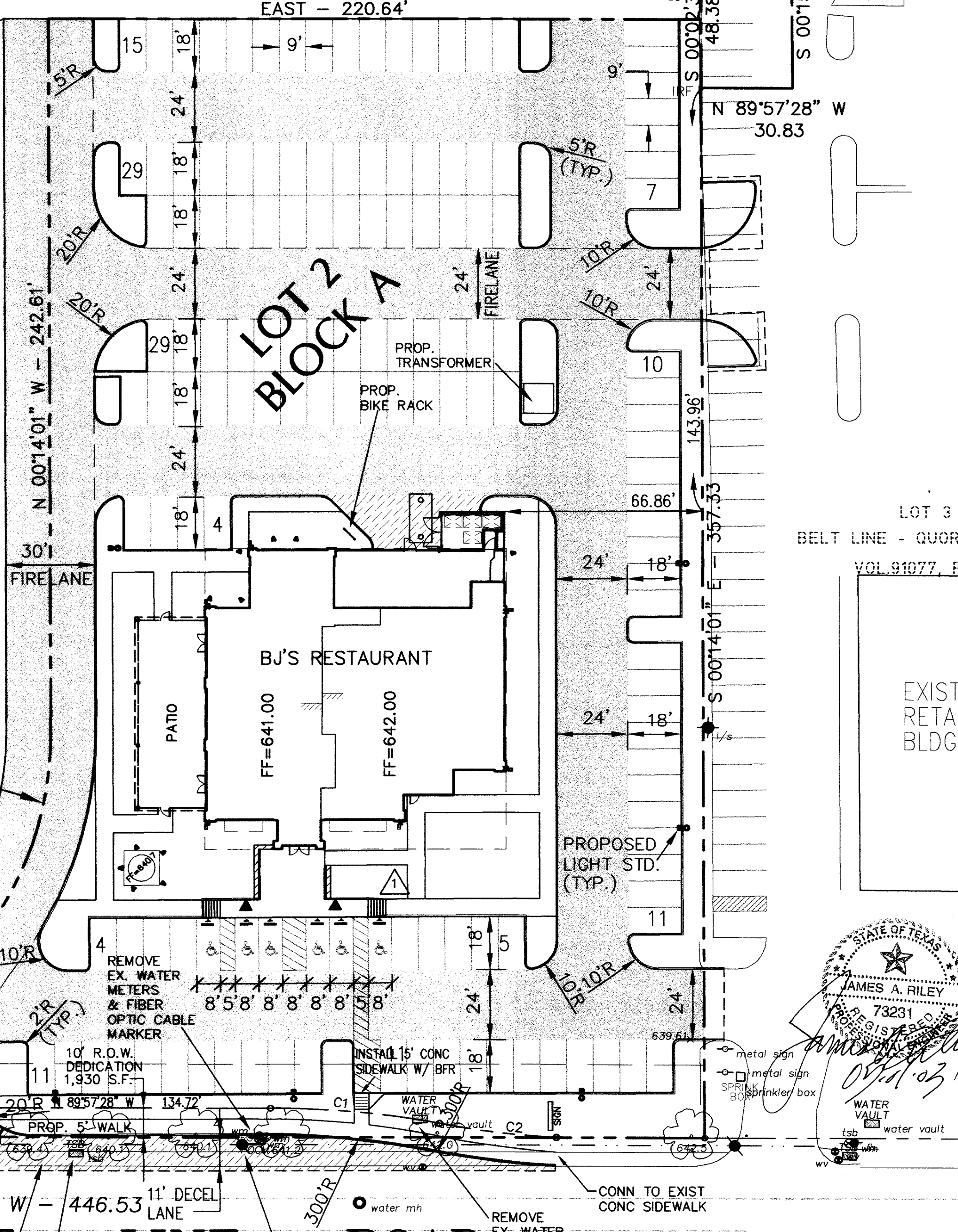
EXISTING  
RETAIL  
BLDG.

N 89'57'30" W - 200.00  
single-story wood bldg.  
brick

MARK A. ALBERT  
Vol. 97002, Pg. 3045

D = 37'45'20"  
R = 115.00'  
L = 75.78'  
CH = N 18'38'23" E  
CL = 74.42'

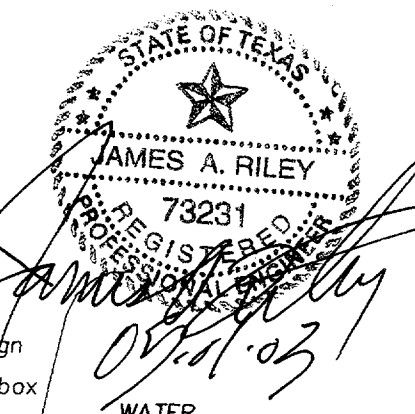
D = 35'28'03"  
R = 100.00'  
L = 61.90'  
CH = N 19'47'01" E  
CL = 60.92'



EXISTING  
TRAFFIC

**BELT LINE ROAD**  
(100' R.O.W.)

BENCHMARK:  
TOP OF BRASS DISK FOUND ON SOUTHWEST  
CORNER OF 8' RECESSED CURB INLET ON EAST  
SIDE OF ADDISON ROAD, 275'± NORTH OF BELT  
LINE ROAD.  
ELEV.=631.82'



10-7-02 REVISED HC PARKING AND  
SIDEWALK AT FRONT OF BUILDING

**PAVING PLAN**  
BJ'S RESTAURANT  
LOT 2, BLOCK A OF  
BELTWAY CENTRE ADDITION  
TOWN OF ADDISON  
DALLAS COUNTY, TEXAS

**BROCKETTE • DAVIS • DRAKE, INC.**  
consulting engineers  
Civil & Structural Engineering • Surveying  
4144 North Central Expressway, Suite 1100 • Dallas, Texas 75204  
( 214 ) 824-3647 • Fax ( 214 ) 824-7064

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
JAR	BLM	11/19/02	1"=30'	BDD	C02132	C5

CAPACITY OF EX 48" RCP  
 $CAP = \frac{(1.49)}{(0.013)} (12.5664)(1.000)(0.006)^{1/2}$   
 CAP=111.6 cfs

CAPACITY OF EX 42" RCP  
 $CAP = \frac{(1.49)}{(0.013)} (9.6212)(0.915)(0.006)^{1/2}$   
 CAP=78.2 cfs

CAPACITY OF EX 30" RCP  
 $CAP = \frac{(1.49)}{(0.013)} (4.9088)(0.731)(0.006)^{1/2}$   
 CAP=31.9 cfs

TOTAL Q TO THIS POINT=98.2 cfs

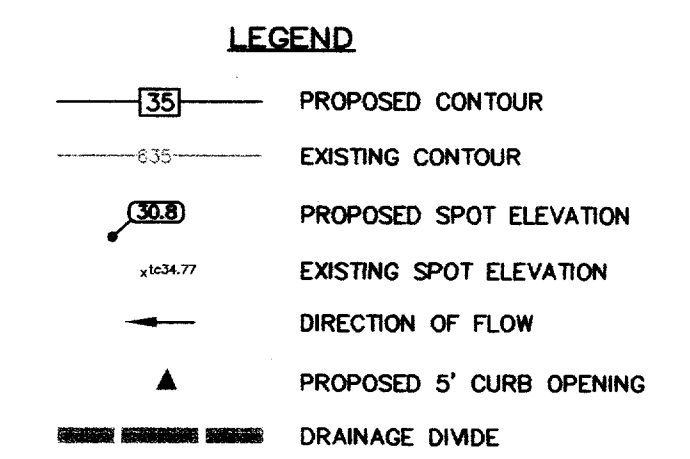
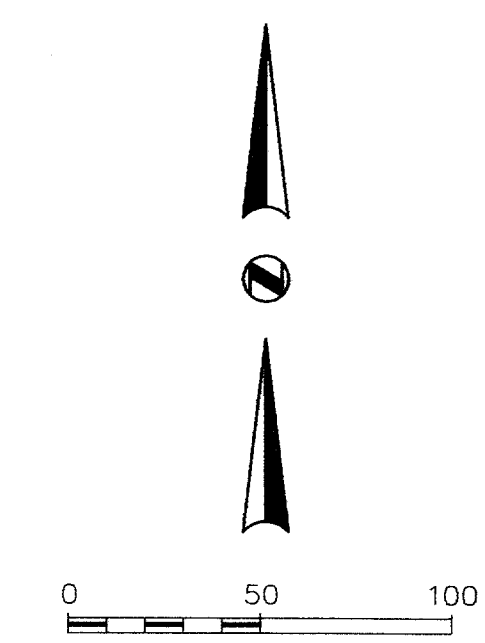
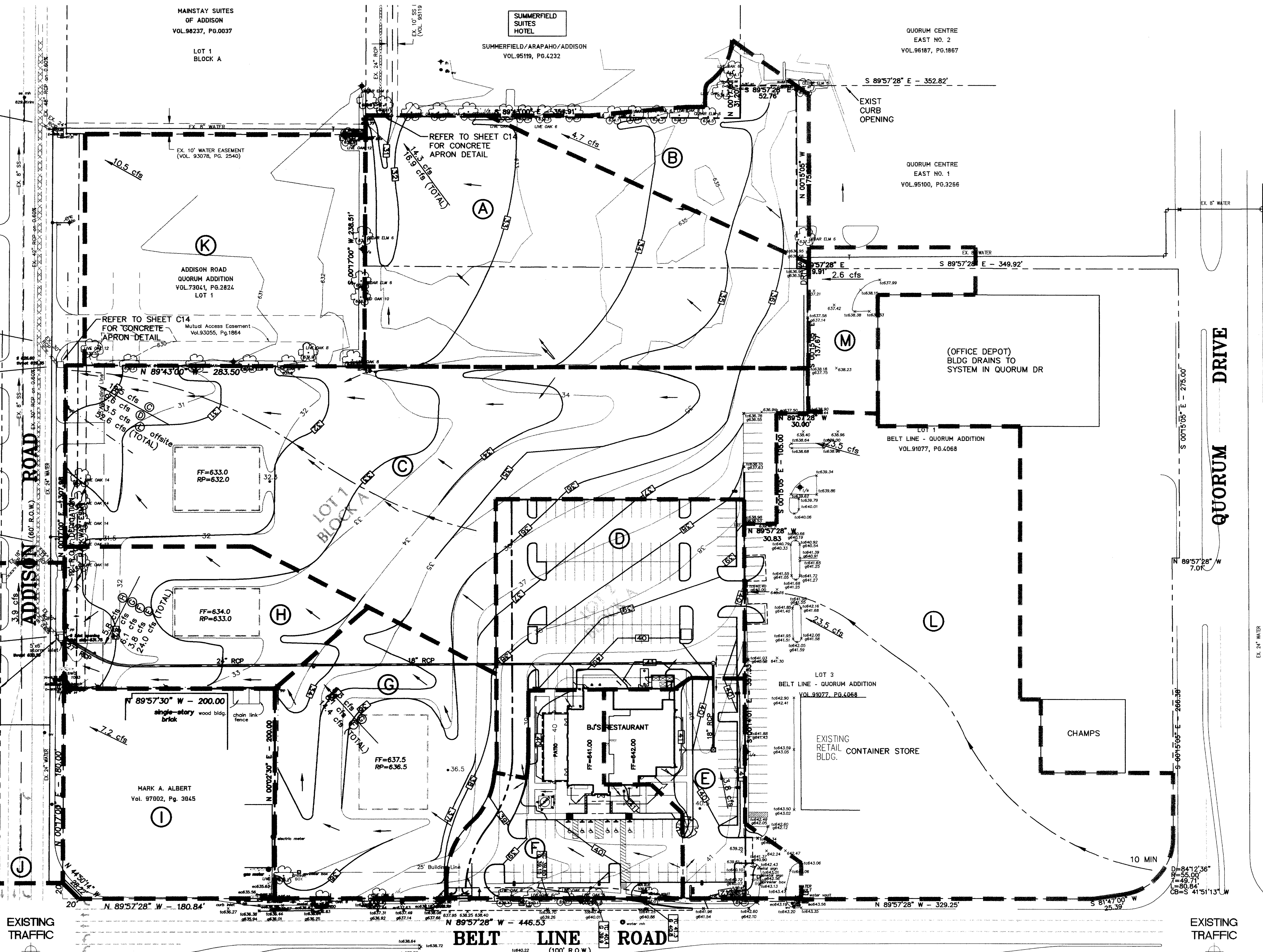
TOTAL Q TO THIS POINT=87.7 cfs

TOTAL Q TO THIS POINT=35.1 cfs

EX 5"x5' INLET  
 TOP=630.74  
 THROAT=629.35  
 FL=626.50

EX 5"x5' INLET  
 TOP=631.6  
 THROAT=630.23  
 FL=626.85

REFER TO SHEET C14 FOR CONCRETE APRON DETAIL



**DRAINAGE CRITERIA**

Q=CIA  
 C=0.90  
 I100 = 8.74 in/hr

AREA (acres)  
 RUNOFF (cfs)

**TRAVEL TIME FOR AREA C,D,L**

10 MIN +  $\left(\frac{1700 \text{ ft} / 1 \text{ min}}{8 \text{ fps} / 60 \text{ sec}}\right) = 13.5 \text{ min}$

I100 = 7.9 in/hr (13.5 min)

TOTAL Q FOR AREA C,D,L USING 13.5 MIN tc

Q = C-I-A  
 Q = (0.90)(7.9)(6.69)  
 Q = 47.6 cfs (tc=13.5 min)

**AS-BUILT**

NOTE:  
 THESE PLANS HAVE BEEN REVISED TO CONFORM WITH CONSTRUCTION RECORDS PROVIDED BY CONTRACTOR.

BENCHMARK:  
 TOP OF BRASS DISK FOUND ON SOUTHWEST CORNER OF 8' RECESSED CURB INLET ON EAST SIDE OF ADDISON ROAD, 275± NORTH OF BELT LINE ROAD.

ELEV.=631.82'

**DRAINAGE CALCULATIONS**

DA NO	tc (MIN)	C	AREA (acres)	I25 (in/hr)	Q25 (cfs)	I50 (in/hr)	Q50 (cfs)	I100 (in/hr)	Q100 (cfs)	REMARKS
A	10	0.90	1.82	7.29	11.9	8.01	13.1	8.74	14.3	TO EX WYE INLET (24" DISCHARGE PIPE)
B	10	0.90	0.60	7.29	3.9	8.01	4.3	8.74	4.7	SHEET FLOW TO SUMMERFIELD SUITES
C	10	0.90	2.74	7.29	18.0	8.01	20.0	8.74	21.6	TO EX 3"x5' INLET (30" DISCHARGE PIPE)
D	10	0.90	1.02	7.29	6.7	8.01	7.4	8.74	8.0	TO EX 3"x5' INLET (30" DISCHARGE PIPE)
E	10	0.90	0.48	7.29	3.1	8.01	3.5	8.74	3.8	TO EX 3"x5' INLET (30" DISCHARGE PIPE)
F	10	0.90	0.66	7.29	4.3	8.01	4.8	8.74	5.2	TO EX 3"x5' INLET (30" DISCHARGE PIPE)
G	10	0.90	1.09	7.29	7.2	8.01	7.9	8.74	8.6	TO EX 3"x5' INLET (30" DISCHARGE PIPE)
H	10	0.90	0.74	7.29	4.9	8.01	5.3	8.74	5.8	TO EX 3"x5' INLET (30" DISCHARGE PIPE)
I	10	0.90	0.92	7.29	6.0	8.01	6.6	8.74	7.2	SHEET FLOW TO ADDISON ROAD
J	10	0.90	0.50	7.29	3.3	8.01	3.6	8.74	3.9	TO EX INLETS IN ADDISON ROAD
K	10	0.90	1.34	7.29	8.8	8.01	9.7	8.74	10.5	TO EX CURB INLET (24" DISCHARGE PIPE)
L	10	0.90	2.99	7.29	19.6	8.01	21.6	8.74	23.5	SHEET FLOW TO PAYLESS CASHWAY SITE
M	10	0.90	0.33	7.29	2.2	8.01	2.4	8.74	2.6	SHEET FLOW TO SUMMERFIELD SUITES

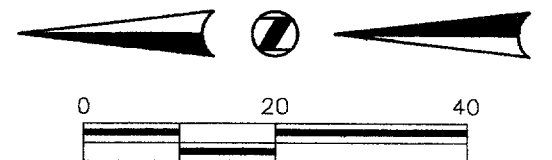
**DRAINAGE AREA MAP**

BJ'S RESTAURANT  
 LOT 2, BLOCK A OF  
 BELTWAY CENTRE ADDITION  
 TOWN OF ADDISON  
 DALLAS COUNTY, TEXAS

**BROCKETTE • DAVIS • DRAKE, INC.**  
 consulting engineers  
 Civil & Structural Engineering • Surveying  
 4144 North Central Expressway, Suite 1100 • Dallas, Texas 75204  
 (214) 824-3647 • fax (214) 824-7064

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
JAR	BLM	11/19/02	1"=50'	BDD	C02132	C6

STATE OF TEXAS  
 JAMES A. RILEY  
 07/01/03



**GENERAL NOTES**

- All materials and construction shall conform to the Town of Addison's and M.C.T.C.O.'s Standard Specifications except as noted herein or by the City.
- All storm sewer pipe 18" and larger shall be Class III RCP.
- Contractor shall be responsible for maintaining trench safety requirements in accordance with City Standards, Texas State Law, and O.S.H.A. Standards for all excavation in excess of five feet in depth.
- Concrete for inlets and drainage structures shall be 3000 psi and continue upstream with pipe grooves facing upstream.
- Construction shall begin at downstream end of project and continue upstream with pipe grooves facing upstream.
- Contractor shall protect all public utilities in the construction of this project.
- The location of all utilities indicated on these plans are taken from existing public records. The exact location and elevation of all public utilities must be determined by the Contractor. It shall be the duty of the Contractor to ascertain whether any additional facilities other than those shown on the plans may be present.
- If rock is encountered in the trench, rock spoil shall not be used in the upper 1.5 feet of the trench. The upper 1.5 feet of the trench is to be backfilled only with quality topsoil.
- See Water and Sanitary Sewer Plan for additional information related to other utility construction.
- All trench backfill for storm sewer shall be compacted as required by the Town of Addison specifications.
- It will be the responsibility of the contractor to protect all public utilities in the construction of this project. All manholes, clean-outs, valve boxes, fire hydrants, etc. must be adjusted to proper line and grade by the contractor prior to and after the placing of permanent paving. Utilities must be maintained to proper line and grade during construction of the paving for this development.
- Backfill for utility lines should be carefully placed so that they will be stable. Where utility lines cross through the parking lot, the top 6" should be compacted similarly to the remainder of the lot. Utility ditches should be visually inspected during the excavation process to insure that undesirable fill is not used.
- Prior to placing any fill material, all existing surfaces, vegetation, loose fill, and debris should be removed to a minimum depth of 6". All exposed surfaces should then be scarified, watered as required, and recompact to a minimum density of 95% of the maximum dry density as defined by ASTM D 698 (Standard Proctor Test) at a moisture content between -1 and +3 percent above optimum moisture content.
- Drainage should be maintained away from the foundations, both during and after construction.
- Areas of construction shall be properly barricaded for the protection of the public.
- Maximum cross slope on sidewalks shall be 2.00%.

**LEGEND**

- 650 — Existing Contour
- 50 — Proposed Contour
- 55.0 Existing Spot Elevation
- 50.0 Proposed Spot Elevation
- Flow Arrow
- Existing Curb
- Proposed Curb
- - - Sawcut
- ▲ 2' Curb Opening

**AS-BUILT**

NOTE: THESE PLANS HAVE BEEN REVISED TO CONFORM WITH CONSTRUCTION RECORDS PROVIDED BY CONTRACTOR.

1 10-7-02 REVISED HC PARKING AND SIDEWALK AT FRONT OF BUILDING

BENCHMARK: TOP OF BRASS DISK FOUND ON SOUTHWEST CORNER OF 8' RECESSED CURB INLET ON EAST SIDE OF ADDISON ROAD, 275'± NORTH OF BELT LINE ROAD.

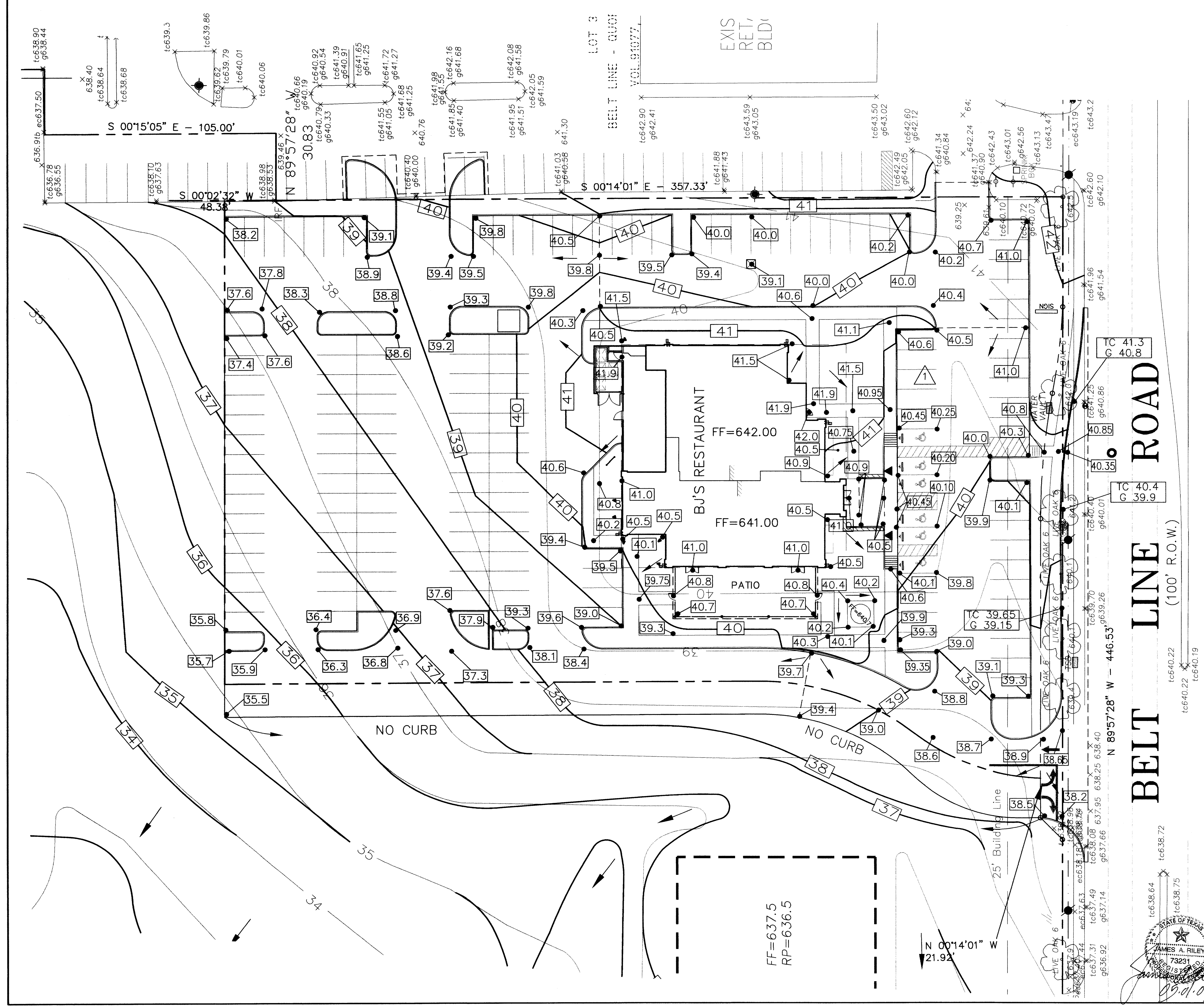
ELEV.=631.82'

**GRADING PLAN**

BJ'S RESTAURANT  
 LOT 2, BLOCK A OF  
 BELTWAY CENTRE ADDITION  
 TOWN OF ADDISON  
 DALLAS COUNTY, TEXAS

**BROCKETTE • DAVIS • DRAKE, INC.**  
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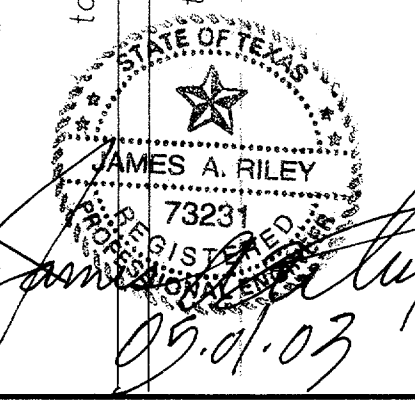
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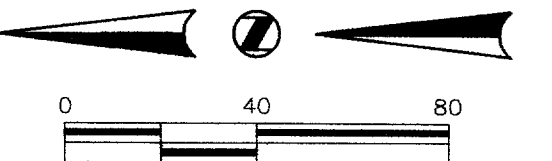


**BELT LINE ROAD**  
(100' R.O.W.)

FF=637.5  
RP=636.5

N 00°14'01" W  
21.92'





**GENERAL NOTES**

- All materials and construction shall conform to the Town of Addison's and N.C.T.C.O.C.'s Standard Specifications except as noted herein or by the City.
- All storm sewer pipe 18" and larger shall be Class III RCP.
- Contractor shall be responsible for maintaining trench safety requirements in accordance with City Standards, Texas State Law, and O.S.H.A. Standards for all excavation in excess of five feet in depth.
- Concrete for inlets and drainage structures shall be 3000 psi at 28 days.
- Construction shall begin at downstream end of project and continue upstream with pipe grooves facing upstream.
- Contractor shall protect all public utilities in the construction of this project.
- The location of all utilities indicated on these plans are taken from existing public records. The exact location and elevation of all public utilities must be determined by the Contractor. It shall be the duty of the Contractor to ascertain whether any additional facilities other than those shown on the plans may be present.
- If rock is encountered in the trench, rock spoil shall not be used in the upper 1.5 feet of the trench. The upper 1.5 feet of the trench is to be backfilled only with quality topsoil.
- See Water and Sanitary Sewer Plan for additional information related to other utility construction.
- All trench backfill for storm sewer shall be compacted as required by the Town of Addison specifications.
- It will be the responsibility of the contractor to protect all public utilities in the construction of this project. All manholes, clean-outs, valve boxes, fire hydrants, etc. must be adjusted to proper line and grade by the contractor prior to and after the placing of permanent paving. Utilities must be maintained to proper line and grade during construction of the paving for this development.
- Backfill for utility lines should be carefully placed so that they will be stable. Where utility lines cross through the parking lot, the top 6" should be compacted similarly to the remainder of the lot. Utility ditches should be visually inspected during the excavation process to insure that undesirable fill is not used.
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- Drainage should be maintained away from the foundations, both during and after construction.
- Areas of construction shall be properly barricaded for the protection of the public.
- Maximum cross slope on sidewalks shall be 2.00%.

**LEGEND**

- 65.0 — Existing Contour
- 50 — Proposed Contour
- 55.5 — Existing Spot Elevation
- 50.0 — Proposed Spot Elevation
- — Flow Arrow
- — Existing Curb
- — Proposed Curb
- - - - Sawcut
- ▲ — 2' Curb Opening

**AS-BUILT**

NOTE: THESE PLANS HAVE BEEN REVISED TO CONFORM WITH CONSTRUCTION RECORDS PROVIDED BY CONTRACTOR.

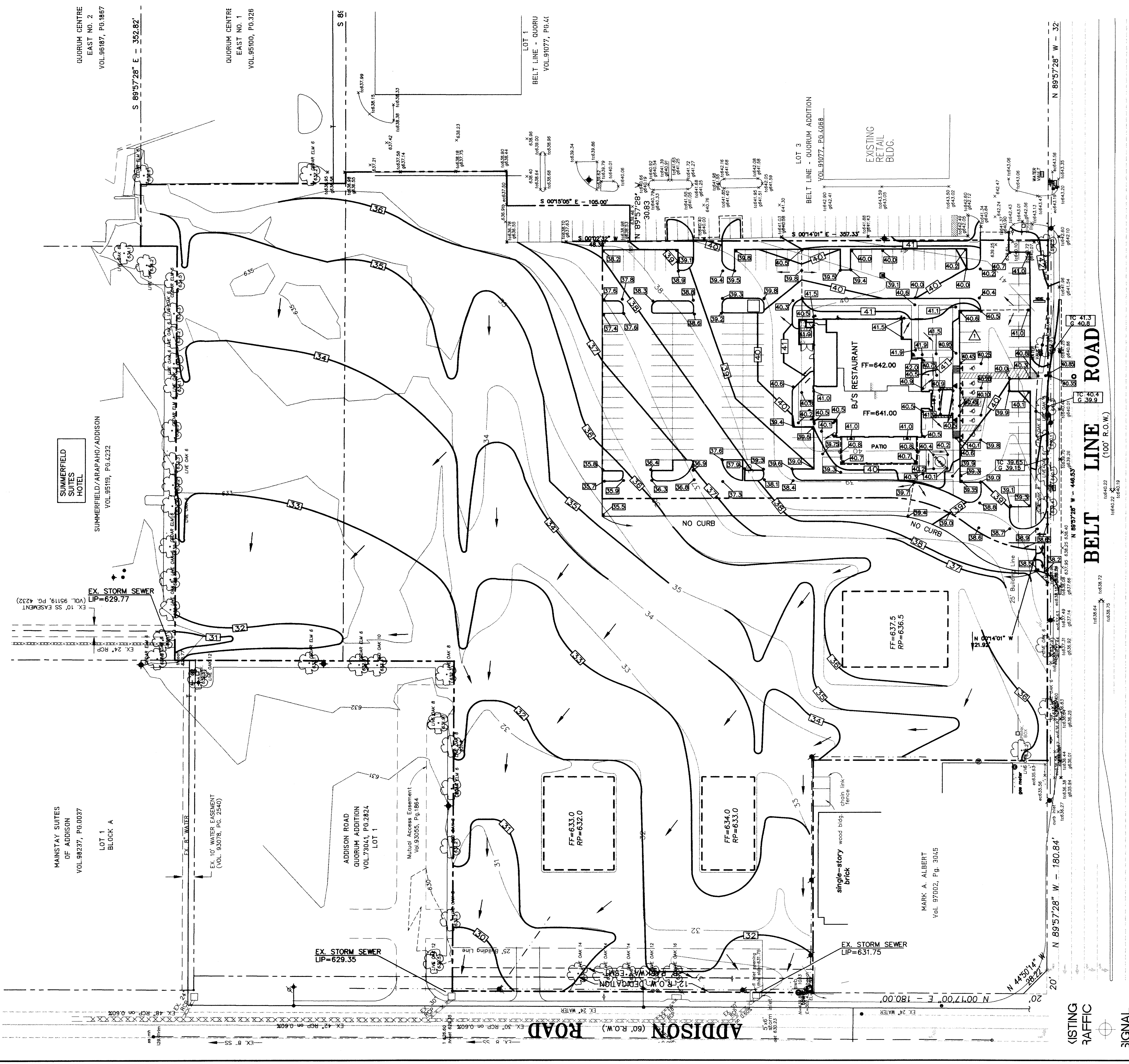
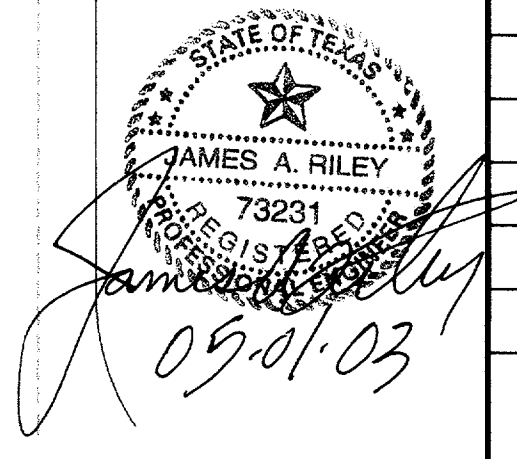
BENCHMARK: TOP OF BRASS DISK FOUND ON SOUTHWEST CORNER OF 8" RECESSED CURB INLET ON EAST SIDE OF ADDISON ROAD, 275'± NORTH OF BELT LINE ROAD.  
ELEV.=631.82'

**OVERALL GRADING PLAN**

BJ'S RESTAURANT  
LOT 2, BLOCK A OF  
BELTWAY CENTRE ADDITION  
TOWN OF ADDISON  
DALLAS COUNTY, TEXAS

**BROCKETTE • DAVIS • DRAKE, INC.**  
consulting engineers  
Civil & Structural Engineering • Surveying  
4144 North Central Expressway, Suite 1100 • Dallas, Texas 75204  
(214) 824-3647 • fax (214) 824-7064

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
JAR	BLM	11/19/02	1"=40'	BDD	C02132	C7a



EXISTING TRAFFIC SIGNAL

QUORUM CENTRE  
EAST NO. 2  
VOL. 96187, PG. 1867

QUORUM CENTRE  
EAST NO. 1  
VOL. 95190, PG. 326

LOT 1  
BELT LINE - QUORUM  
VOL. 91077, PG. 41

LOT 3  
BELT LINE - QUORUM ADDITION  
VOL. 91077, PG. 698

SUMMERFIELD SUITES HOTEL  
VOL. 95119, PG. 4232

EX. STORM SEWER  
LIP=629.77  
EX. 10" SS EASEMENT  
(VOL. 95119, PG. 4232)

MAINSTAY SUITES OF ADDISON  
VOL. 98237, PG. 0037

LOT 1  
BLOCK A

EX. R. WATER  
EX. 10" WATER EASEMENT  
(VOL. 93028, PG. 2540)

ADDISON ROAD  
QUORUM ADDITION  
VOL. 73041, PG. 2824  
LOT 1

Mutual Access Easement  
Vol. 93055, Pg. 1864

FF=633.0  
RP=632.0

FF=634.0  
RP=633.0

MARK A. ALBERT  
Vol. 97002, Pg. 3045

EX. STORM SEWER  
LIP=631.75

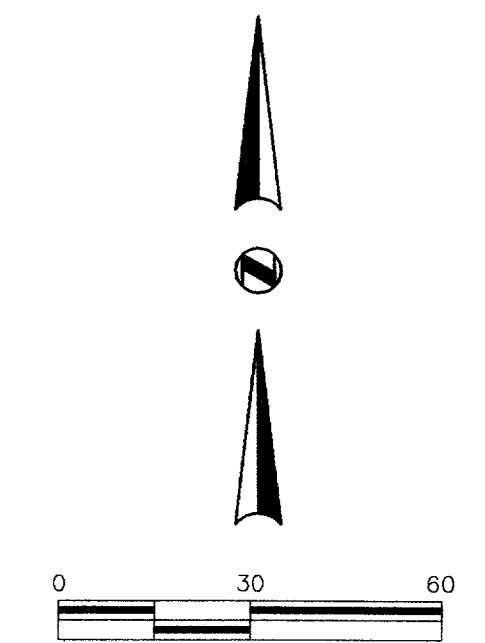


QUORUM ADDITION  
VOL. 73041, PG. 2824  
LOT 1

NOTE:  
EXISTING WYE INLET  
WILL REQUIRE A CONC APRON  
SEE SHEET C14 FOR DETAIL

Mutual Access Easement  
Vol. 93055, Pg. 1864

NOTE:  
EXISTING WYE INLET  
AT SUMMERFIELD SUITES  
WILL REQUIRE A CONC APRON  
SEE SHEET C14 FOR DETAIL

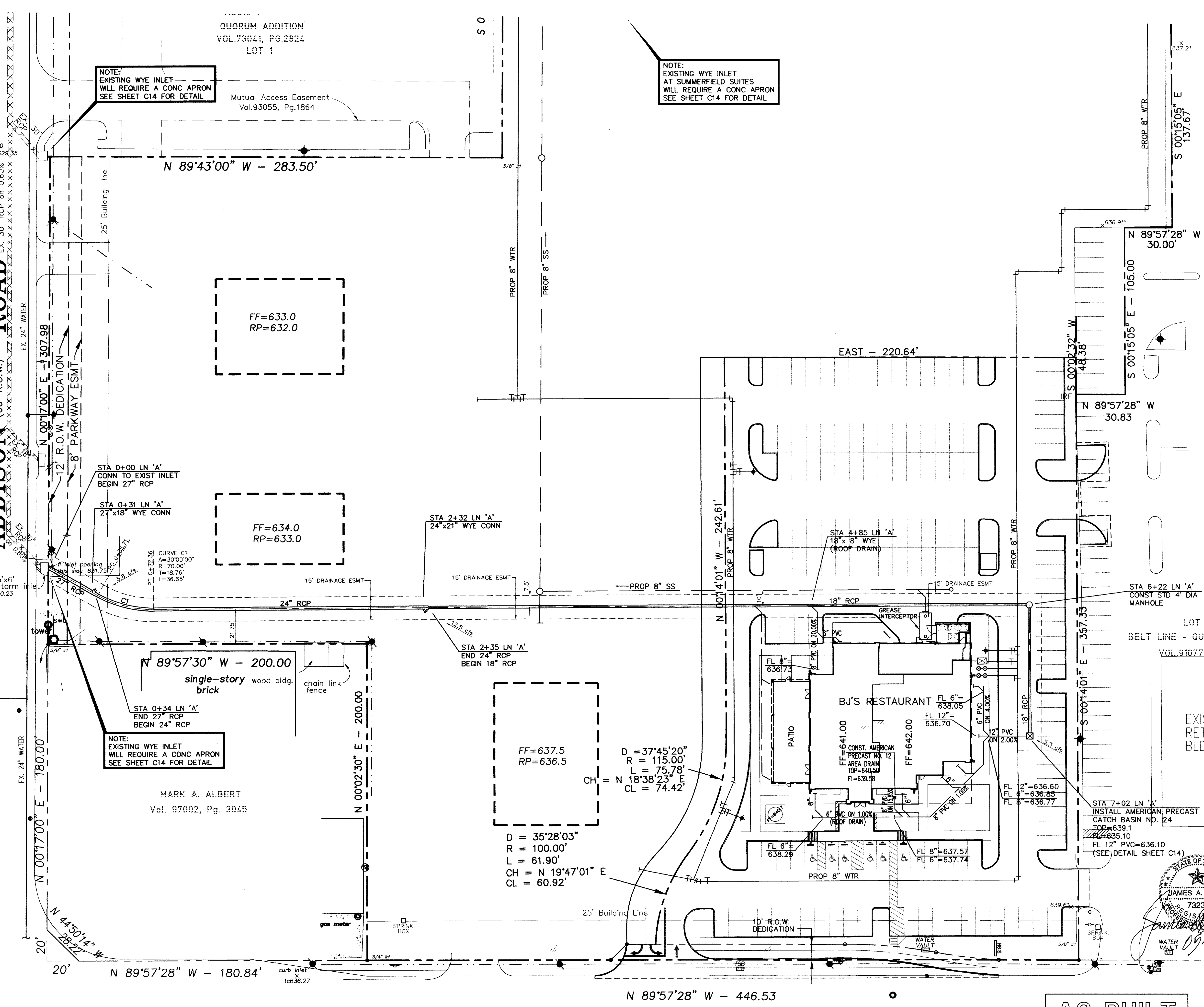


ADDISON ROAD (60' R.O.W.)

EX. 30" RCP on 0.60%  
throat 626.60

5'x6' storm inlet  
throat 630.23

EX. 24" WATER



LOT 1  
BELT LINE - QUORUM ADDITION  
VOL. 91077, PG. 4068

**GENERAL NOTES**

1. All materials and construction shall conform to the Town of Addison's Standards and N.C.T.C.O.G. Specifications except as noted herein or by the City.
2. All storm sewer pipe 15" and larger shall be Class III RCP.
3. Contractor shall be responsible for maintaining trench safety requirements in accordance with City Standards, Texas State Law, and O.S.H.A. Standards for all excavation in excess of five feet in depth.
4. Concrete for inlets and drainage structures shall be 3000 psi at 28 days.
5. Construction shall begin at downstream end of project and continue upstream with pipe grooves facing upstream.
6. Contractor shall protect all public utilities in the construction of this project.
7. The location of all utilities indicated on these plans are taken from existing public records. The exact location and elevation of all public utilities must be determined by the Contractor. It shall be the duty of the Contractor to ascertain whether any additional facilities other than those shown on the plans may be present.
8. If rock is encountered in the trench, rock spoil shall not be used in the upper 1.5 feet of the trench. The upper 1.5 feet of the trench is to be backfilled only with quality topsoil.
9. See Water and Sanitary Sewer Plan for additional information related to other utility construction.
10. All trench backfill for storm sewer shall be compacted as required by the Town of Addison.
11. It will be the responsibility of the contractor to protect all public utilities in the construction of this project. All manholes, clean-outs, valve boxes, fire hydrants, etc. must be adjusted to proper line and grade by the contractor prior to and after the placing of permanent paving. Utilities must be maintained to proper line and grade during construction of the paving for this development.
12. Backfill for utility lines should be carefully placed so that they will be stable. Where utility lines cross through the parking lot, the top 6" should be compacted similarly to the remainder of the lot. Utility ditches should be visually inspected during the excavation process to insure that undesirable fill is not used.
13. Prior to placing any fill material, all existing surfaces, vegetation, loose fill, and debris should be removed to a minimum depth of 6". All exposed surfaces should then be scarified, watered as required, and recompacted to a minimum density of 95% of the maximum dry density as defined by ASTM D 698 (Standard Proctor Test) at a moisture content between -1 and +3 percent above optimum moisture content.
14. Drainage should be maintained away from the foundations, both during and after construction.
15. Areas of construction shall be properly barricaded for the protection of the public.
16. At all inlets an 8" diameter restrictor plate shall be bolted to the 18" lateral as it exits the inlet.
17. Refer to Mechanical Plan for exact location of building service points.

BENCHMARK:  
TOP OF BRASS DISK FOUND ON SOUTHWEST CORNER OF 8" RECESSED CURB INLET ON EAST SIDE OF ADDISON ROAD, 275'± NORTH OF BELT LINE ROAD.

ELEV.=631.82'

**STORM SEWER PLAN**

BJ'S RESTAURANT  
LOT 2, BLOCK A OF  
BELTWAY CENTRE ADDITION  
TOWN OF ADDISON  
DALLAS COUNTY, TEXAS

**BROCKETTE • DAVIS • DRAKE, INC.**  
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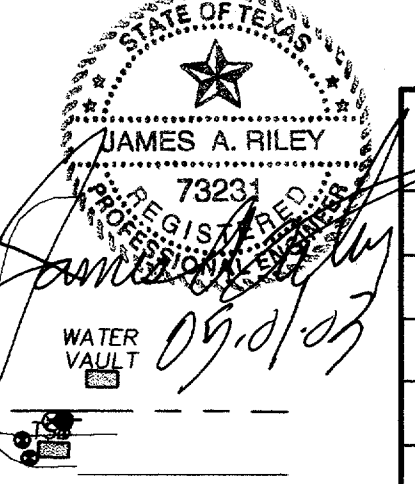
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JAR	BLM	11/19/02	1"=30'	BDD	C02132	C8

AS-BUILT

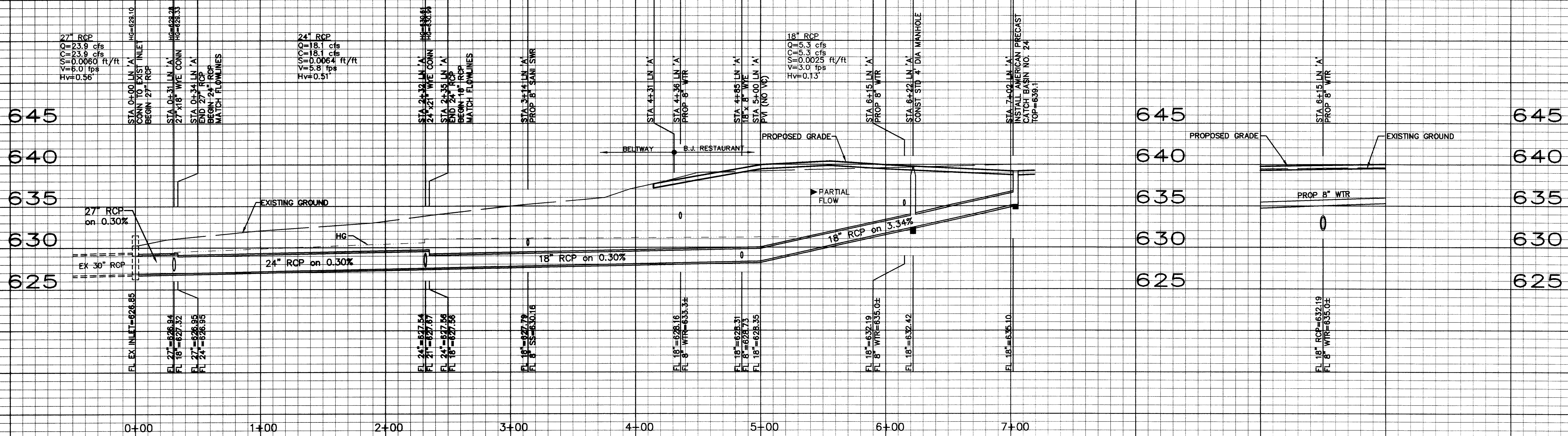
NOTE:  
THESE PLANS HAVE BEEN REVISED  
TO CONFORM WITH CONSTRUCTION  
RECORDS PROVIDED BY CONTRACTOR.

N 89°57'28" W - 446.53  
**BELT LINE ROAD**  
(100' R.O.W.)

MARK A. ALBERT  
Vol. 97002, Pg. 3045



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LINE 'A'

PROP 8" WTR X-ING

AS-BUILT

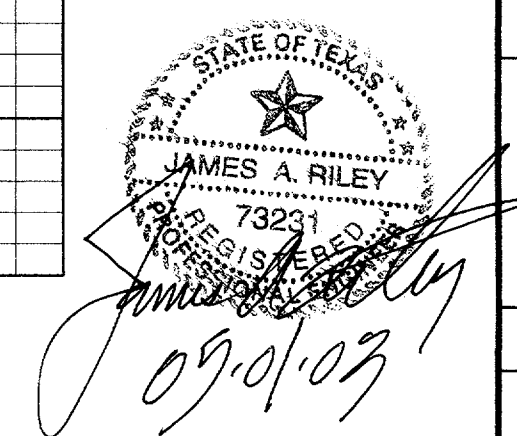
NOTE:  
 THESE PLANS HAVE BEEN REVISED  
 TO CONFORM WITH CONSTRUCTION  
 RECORDS PROVIDED BY CONTRACTOR.

BENCHMARK:  
 TOP OF BRASS DISK FOUND ON SOUTHWEST  
 CORNER OF 8" RECESSED CURB INLET ON EAST  
 SIDE OF ADDISON ROAD, 275± NORTH OF BELT  
 LINE ROAD.  
 ELEV.=631.82'

**STORM SEWER PROFILES**

BJ'S RESTAURANT  
 LOT 2, BLOCK A OF  
 BELTWAY CENTRE ADDITION  
 TOWN OF ADDISON  
 DALLAS COUNTY, TEXAS

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 consulting engineers  
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DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
JAR	BLM	11/19/02	1"=40' H 1"=6' V	BDD	C02132	C9

STMPROF-BJADWG

MAPS AT SUITES  
OF ADDISON  
VOL. 98237, PG. 0037

LOT 1  
BLOCK A

SUMMERFIELD  
SUITES  
HOTEL

SUMMERFIELD/ARAPAHO/ADDISON  
VOL. 95119, PG. 4232

QUORUM CENTRE  
EAST NO. 2  
VOL. 96187, PG. 1867

QUORUM CENTRE  
EAST NO. 1  
VOL. 95180, PG. 3266

ADDISON ROAD  
QUORUM ADDITION  
VOL. 73041, PG. 2824  
LOT 1

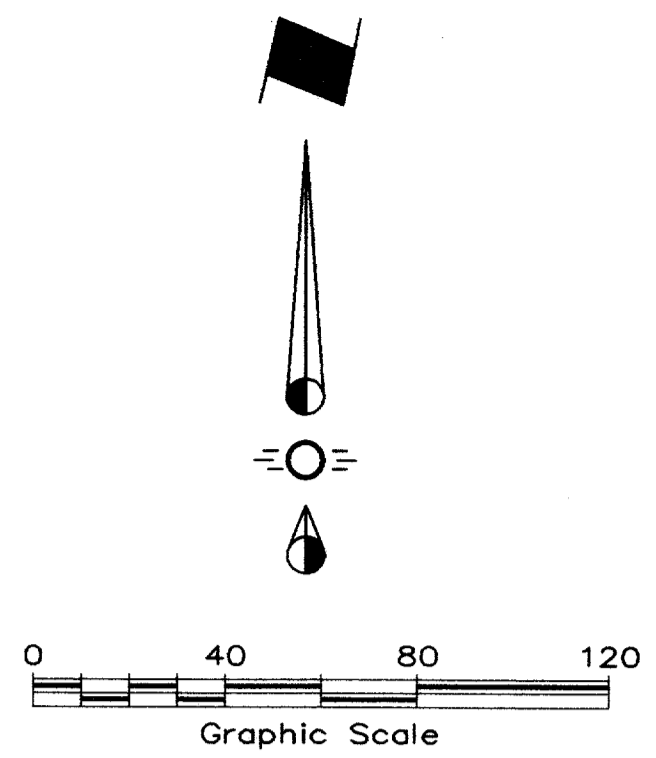
Mutual Access Easement  
Vol. 93055, Pg. 1864

LOT 1  
BELT LINE - QUORUM ADDITION  
VOL. 91077, PG. 4068

LOT 3  
BELT LINE - QUORUM ADDITION  
VOL. 91077, PG. 4068

MARK A. ALBERT  
Vol. 97882, Pg. 3045

BELT LINE ROAD  
(100' R.O.W.)



**GENERAL NOTES**

- All construction shall be in accordance with these plans and Town of Addison's ordinances and specifications.
- All materials and workmanship shall conform to "Standard Specifications for Public Works", published by the North Texas Council of Governments, except as modified by the Town of Addison.
- The location of all utilities located on these plans are taken from existing public records. The exact location and elevation of all public utilities shall be determined by the Contractor prior to construction. Contractor shall have a trench safety plan prepared for all excavation in excess of 5 feet deep. It shall be the duty of Contractor to ascertain whether any additional facilities other than those shown on the plans may be present.
- Contractor shall secure all necessary permits and contracts prior to commencing construction.
- It shall be the responsibility of the Contractor to protect all public utilities and other property in the construction of this project. Property damaged during this construction shall be repaired or replaced at the contractor's expense to the satisfaction of the owner.
- Concrete blocking shall be provided on water mains at all bends and fire hydrant per City Standards.
- Pavement affected by construction shall be replaced to match existing. Grassed areas affected shall be re-sodded with like materials.
- All public water mains shall be PVC-C909 water pipe.
- The water line shall be constructed with a minimum of 48" of cover.
- All fire hydrants shall be Mueller Centurion, or approved equal. Set nozzle of fire hydrant at a height between 18" and 24" from finished ground elevation.
- The Certificate of Acceptance (COA) will not be issued until all water appurtenances have been adjusted to their final position.
- All water meter assemblies shall have Town of Addison approved testable backflow prevention devices. These devices shall be installed, tested, and certified to be working prior to issuance of a certificate of occupancy.
- Upon installation of meters, the owner or agent shall go to 5350 Belt Line Road to pay the proper deposit and initiate service.
- All water appurtenances removed from the site shall be delivered to the Town of Addison Service, 16801 Westgrove Drive, Addison, TX. 75001-9010
- Refer to Mechanical Plan for exact location of building service points.

**AS-BUILT**

NOTE:  
THESE PLANS HAVE BEEN REVISED  
TO CONFORM WITH CONSTRUCTION  
RECORDS PROVIDED BY CONTRACTOR.

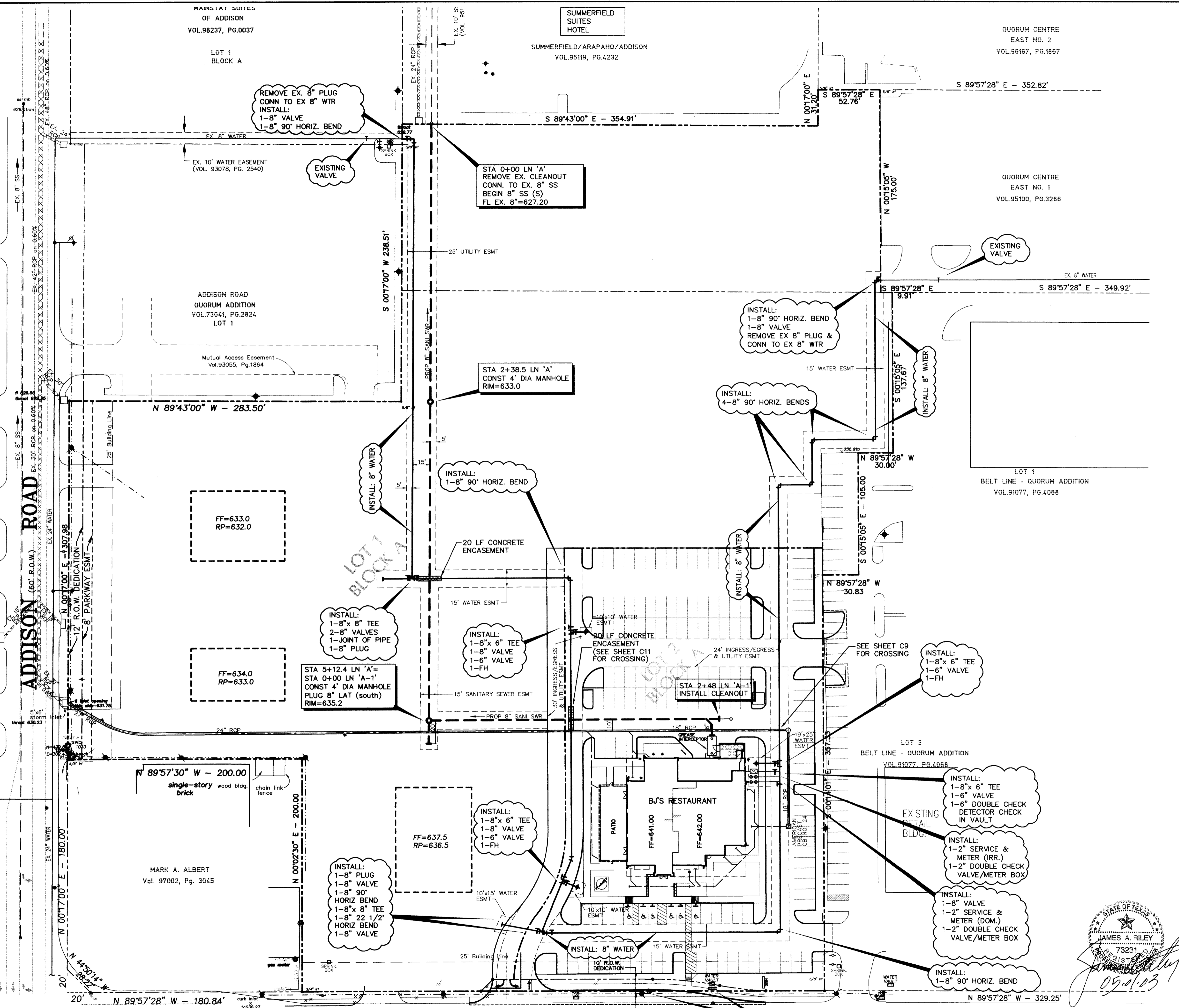
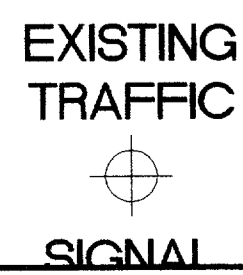
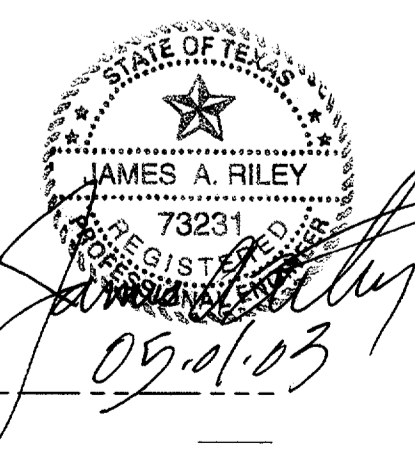
BENCHMARK:  
TOP OF BRASS DISK FOUND ON SOUTHWEST  
CORNER OF 8' RECESSED CURB INLET ON EAST  
SIDE OF ADDISON ROAD, 275± NORTH OF BELT  
LINE ROAD.  
ELEV.=631.82'

**OVERALL UTILITY PLAN**

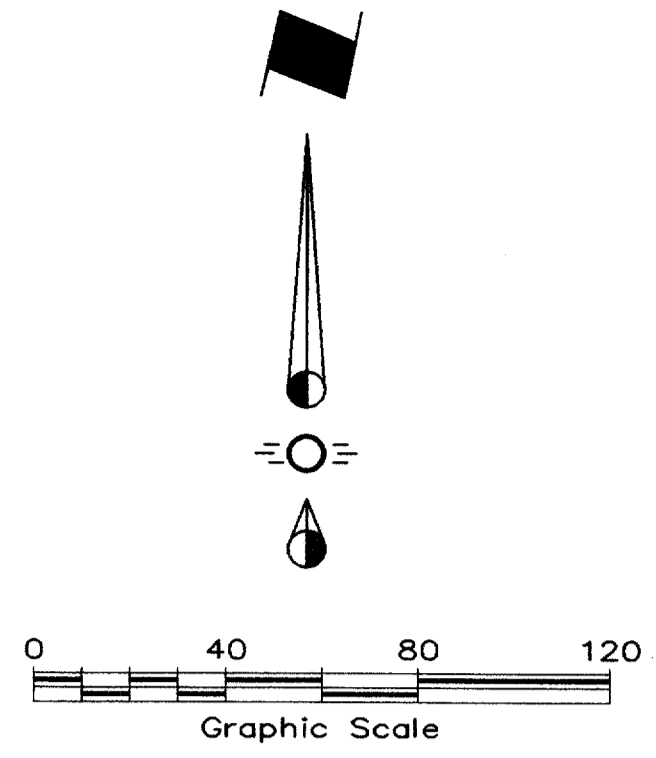
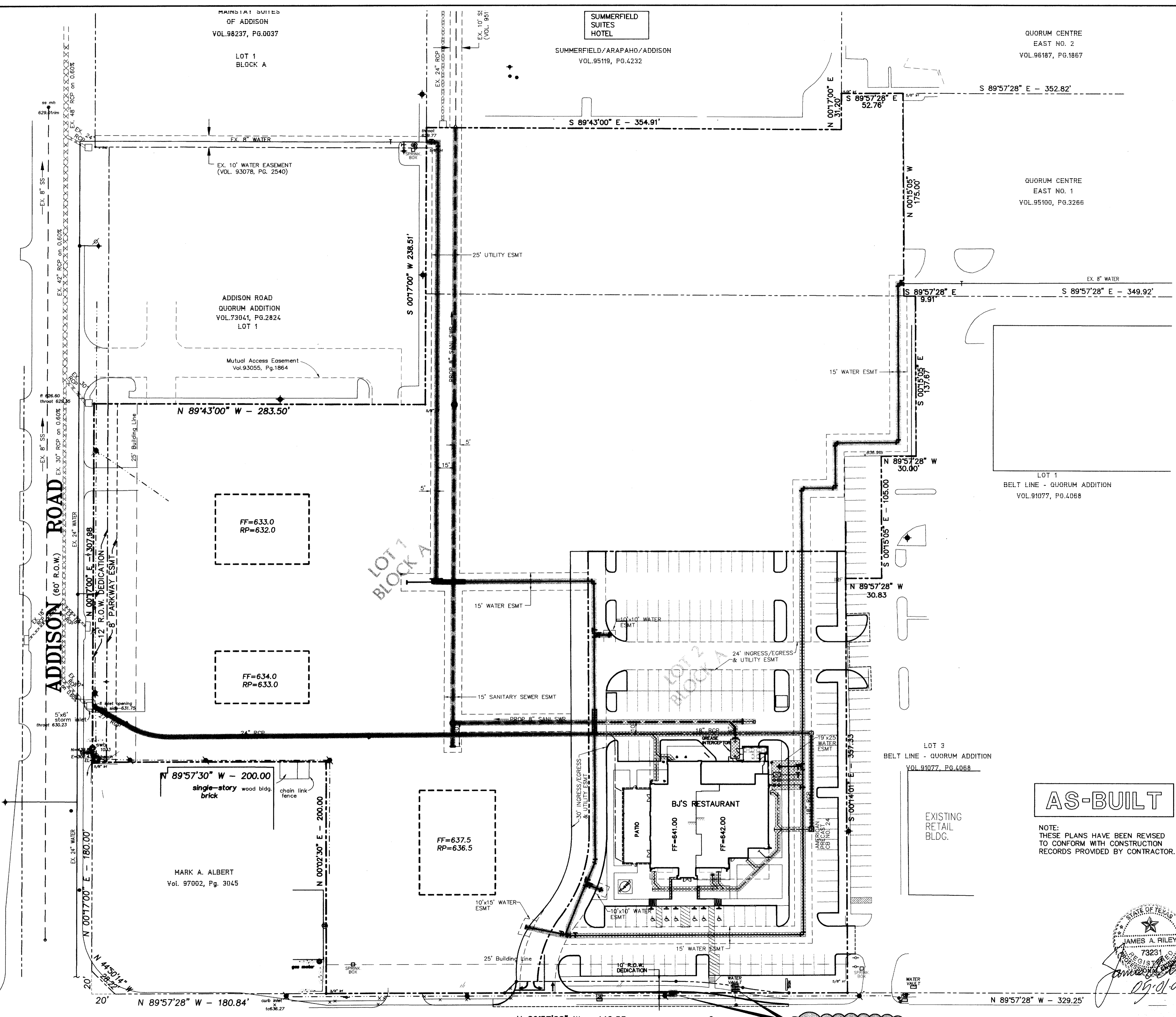
BJ'S RESTAURANT  
TOWN OF ADDISON  
DALLAS COUNTY, TEXAS

BROCKETTE · DAVIS · DRAKE, inc.  
consulting engineers  
Civil & Structural Engineering · Surveying  
4144 North Central Expressway, Suite 1100 Dallas, Texas 75204  
(214) 824-3647, fax (214) 824-7064

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
JAR	BLM	11/19/02	1"=40'	BDD	C02132	C10



CUT AND PLUG EXIST SERVICE  
REMOVE WATER VAULT AND METERS  
FILL W/ NATIVE MATERIAL IN  
6 INCH LIFTS AND COMPACT  
TO 95% STANDARD PROCTOR



**GENERAL NOTES**

- All construction shall be in accordance with these plans and Town of Addison's ordinances and specifications.
- All materials and workmanship shall conform to "Standard Specifications for Public Works", published by the North Texas Council of Governments, except as modified by the Town of Addison.
- The location of all utilities located on these plans are taken from existing public records. The exact location and elevation of all public utilities shall be determined by the Contractor prior to construction. Contractor shall have a trench safety plan prepared for all excavation in excess of 5 feet deep. It shall be the duty of Contractor to ascertain whether any additional facilities other than those shown on the plans may be present.
- Contractor shall secure all necessary permits and contracts prior to commencing construction.
- It shall be the responsibility of the Contractor to protect all public utilities and other property in the construction of this project. Property damaged during this construction shall be repaired or replaced at the contractor's expense to the satisfaction of the owner.
- Concrete blocking shall be provided on water mains at all bends and fire hydrant per City Standards.
- Pavement affected by construction shall be replaced to match existing. Grassed areas affected shall be re-sodded with like materials.
- All public water mains shall be PVC-C909 water pipe.
- The water line shall be constructed with a minimum of 48" of cover.
- All fire hydrants shall be Mueller Centurion, or approved equal. Set nozzle of fire hydrant at a height between 18" and 24" from finished ground elevation.
- The Certificate of Acceptance (COA) will not be issued until all water appurtenances have been adjusted to their final position.
- All water meter assemblies shall have Town of Addison approved testable backflow prevention devices. These devices shall be installed, tested, and certified to be working prior to issuance of a certificate of occupancy.
- Upon installation of meters, the owner or agent shall go to 5350 Belt Line Road to pay the proper deposit and initiate service.
- All water appurtenances removed from the site shall be delivered to the Town of Addison Service, 16801 Westgrove Drive, Addison, TX. 75001-9010
- Refer to Mechanical Plan for exact location of building service points.

**LEGEND**

- BELTWAY DEVELOPMENT CONSTRUCTION
- B.J.'S RESTAURANT CONSTRUCTION

**AS-BUILT**

NOTE: THESE PLANS HAVE BEEN REVISED TO CONFORM WITH CONSTRUCTION RECORDS PROVIDED BY CONTRACTOR.

BENCHMARK:  
TOP OF BRASS DISK FOUND ON SOUTHWEST CORNER OF 8' RECESSED CURB INLET ON EAST SIDE OF ADDISON ROAD, 275'± NORTH OF BELT LINE ROAD.  
ELEV.=631.82'

**UTILITY CONSTRUCTION RESPONSIBILITY**

BJ'S RESTAURANT  
TOWN OF ADDISON  
DALLAS COUNTY, TEXAS

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consulting engineers

Civil & Structural Engineering - Surveying  
4144 North Central Expressway, Suite 1100 Dallas, Texas 75204  
(214)824-3647, fax (214) 824-7064

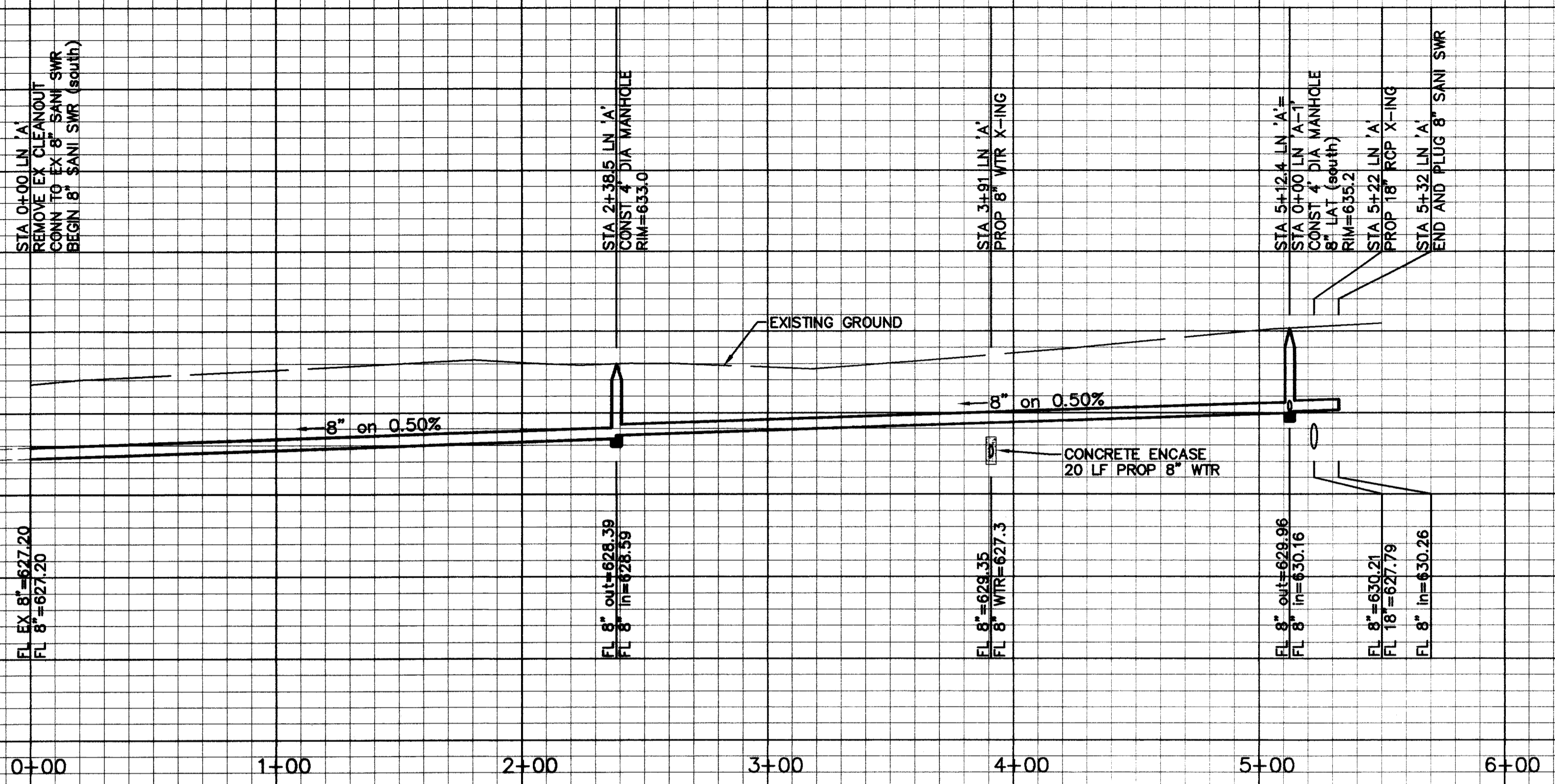
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JAR	BLM	11/19/02	1"=40'	BDD	C02132	C10a

STATE OF TEXAS  
JAMES A. RILEY  
7323  
Professional Engineer  
29.01.03

CUT AND PLUG EXIST SEWAGE REMOVE WATER VALVE AND METERS FILL W/ GRADE MATERIAL IN 6" INCH LIFTS AND COMPACT TO 95% STANDARD PROCTOR

UTILITY CONSTRUCTION RESPONSIBILITY-BJA.DWG

640  
635  
630  
625

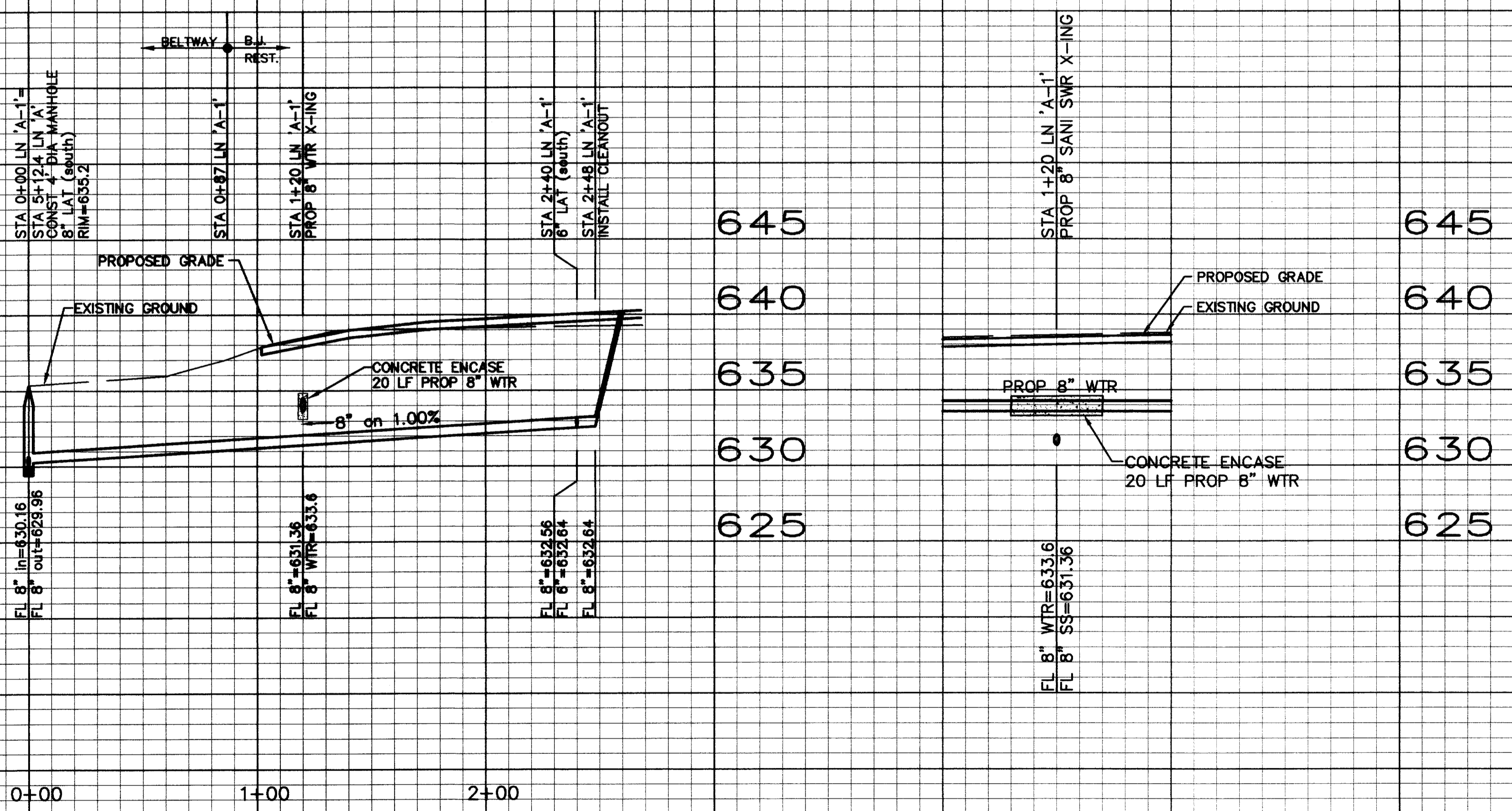


640  
635  
630  
625

PROP 8" WTR X-ING

LINE "A"  
(BELTWAY)

645  
640  
635  
630  
625



PROP 8" WTR X-ING

LINE "A-1"

AS-BUILT

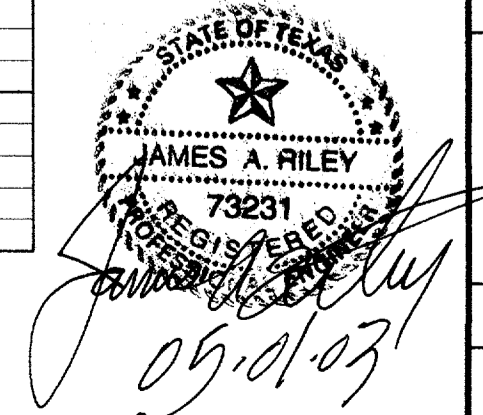
NOTE: THESE PLANS HAVE BEEN REVISED TO CONFORM WITH CONSTRUCTION RECORDS PROVIDED BY CONTRACTOR.

BENCHMARK: TOP OF BRASS DISK FOUND ON SOUTHWEST CORNER OF 8' RECESSED BURD INLET ON EAST SIDE OF ADDISON ROAD, 275'± NORTH OF BELT LINE ROAD.  
ELEV.=631.82'

SANITARY SEWER PROFILES

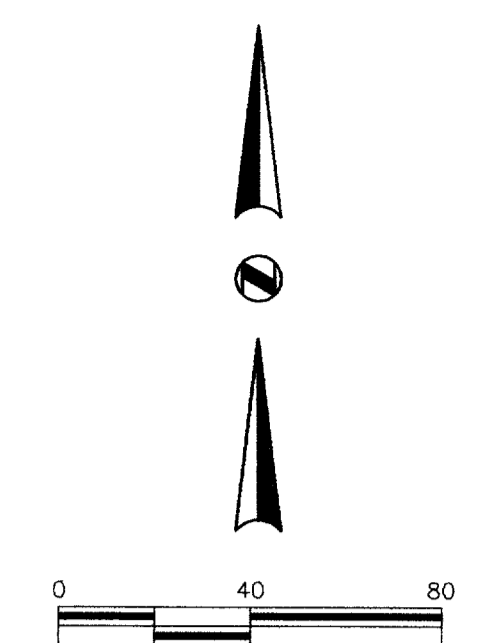
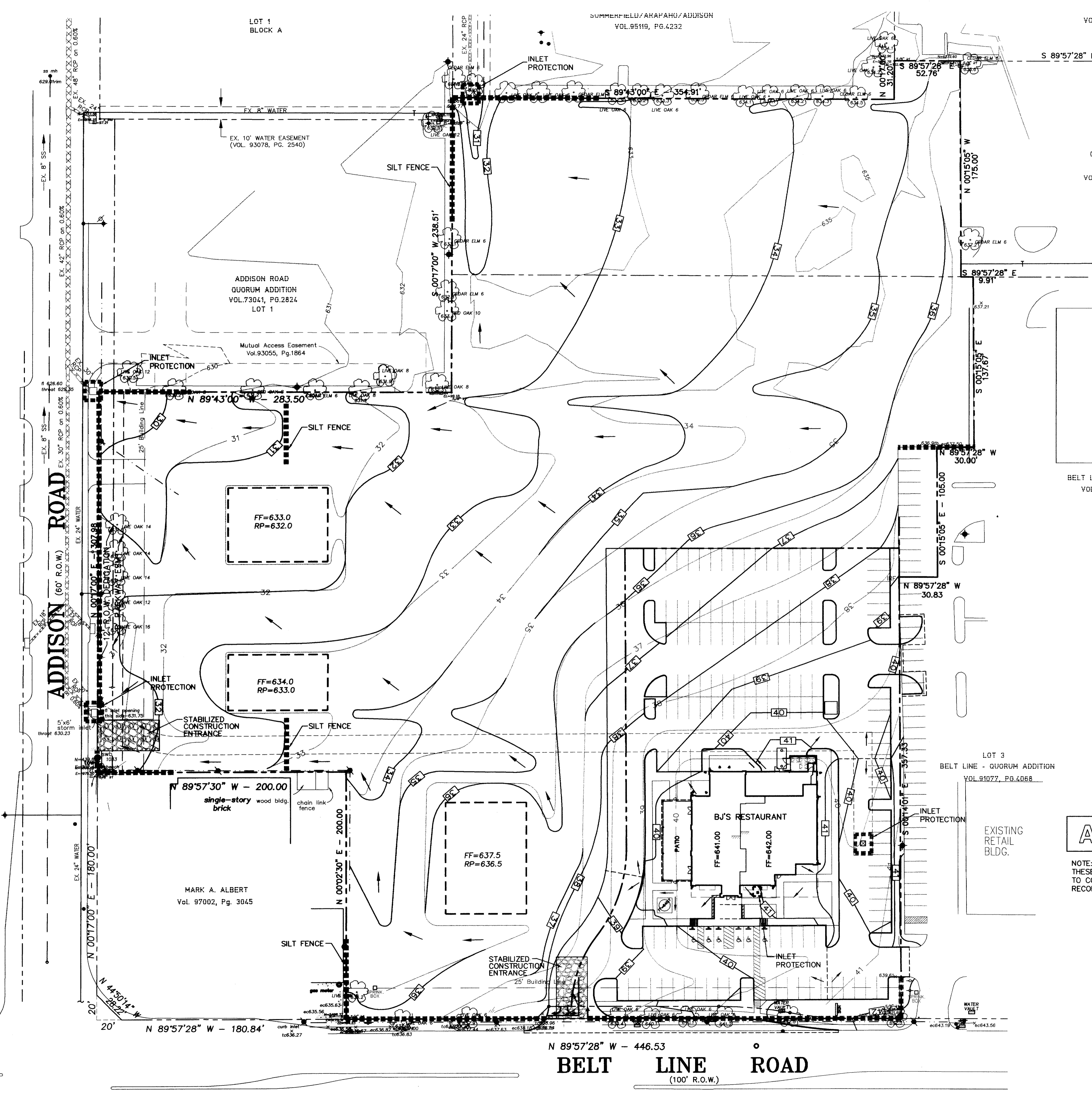
BJ'S RESTAURANT  
LOT 2, BLOCK A OF  
BELTWAY CENTRE ADDITION  
TOWN OF ADDISON  
DALLAS COUNTY, TEXAS

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( 214 ) 824-3647 • fax ( 214 ) 824-7064



DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
JAR	BLM	11/19/02	1"=40' H 1"=6' V	BDD	C02132	C11

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**NOTE:**  
1. FOR DETAILS REFER TO SHEET C13.

- LEGEND**
- 40 — Existing Contour
  - - - 40 - - - Proposed Contour
  - Flow Arrow
  - Existing Curb
  - - - Proposed Curb
  - ▬▬▬▬ Silt Fence
  - ▨ Stabilized Construction Entrance

**AS-BUILT**

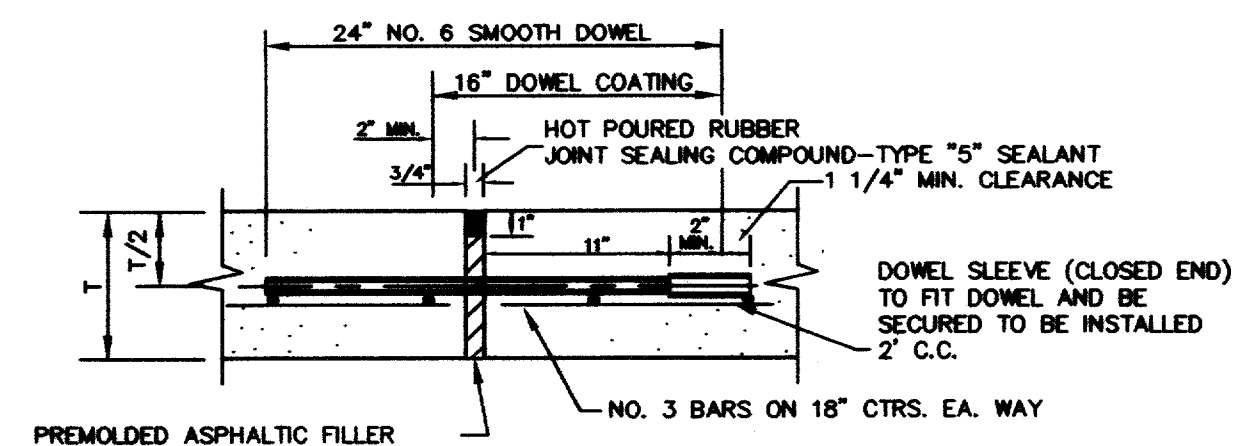
NOTE:  
THESE PLANS HAVE BEEN REVISED TO CONFORM WITH CONSTRUCTION RECORDS PROVIDED BY CONTRACTOR.

BENCHMARK:  
TOP OF BRASS DISK FOUND ON SOUTHWEST CORNER OF 8' RECESSED CURB INLET ON EAST SIDE OF ADDISON ROAD, 275'± NORTH OF BELT LINE ROAD.  
ELEV.=631.82'

<b>EROSION CONTROL PLAN</b>						
BJ'S RESTAURANT						
LOT 2, BLOCK A OF						
BELTWAY CENTRE ADDITION						
TOWN OF ADDISON						
DALLAS COUNTY, TEXAS						
BROCKETTE • DAVIS • DRAKE, INC.						
consulting engineers						
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4144 North Central Expressway, Suite 1100 • Dallas, Texas 75204						
( 214 ) 824-3647 • fax ( 214 ) 824-7064						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
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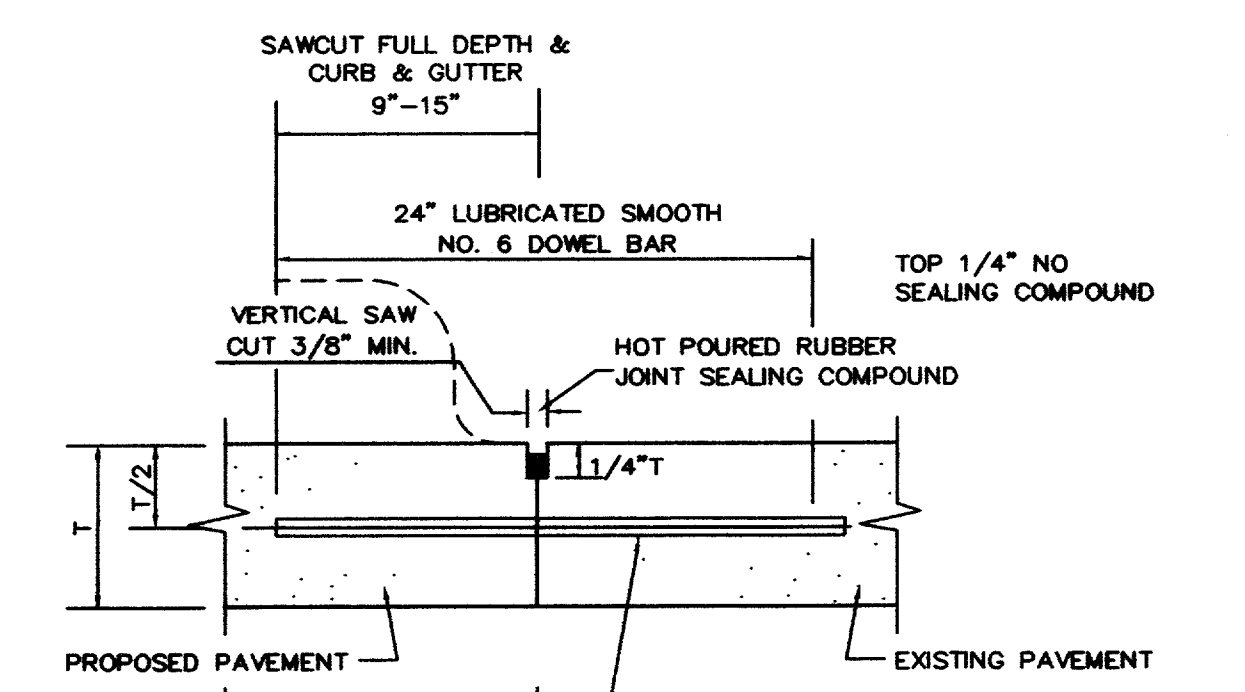
STATE OF TEXAS  
JAMES A. RILEY  
73231  
Professional Engineer  
05.01.03

EROS-BJA.DWG



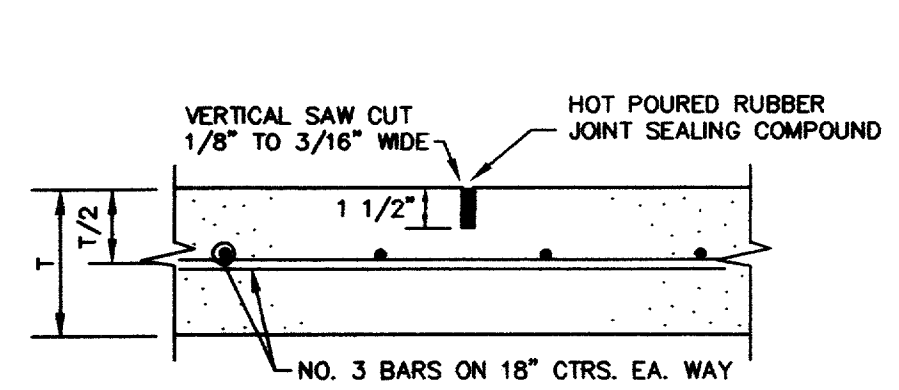
**EXPANSION JOINT**  
(60' O.C.E.W. MAX.)

NOTE:  
DOWELS AND REINFORCING BARS SHALL BE SUPPORTED BY AN APPROVED DEVICE.

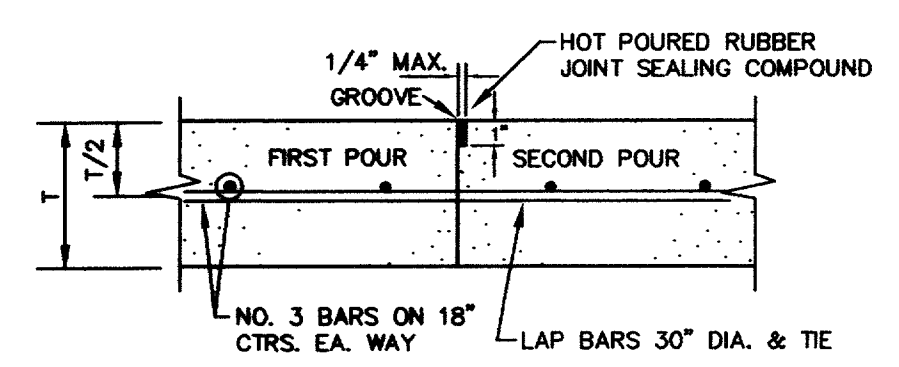


**LONGITUDINAL BUTT JOINT**  
N.T.S.

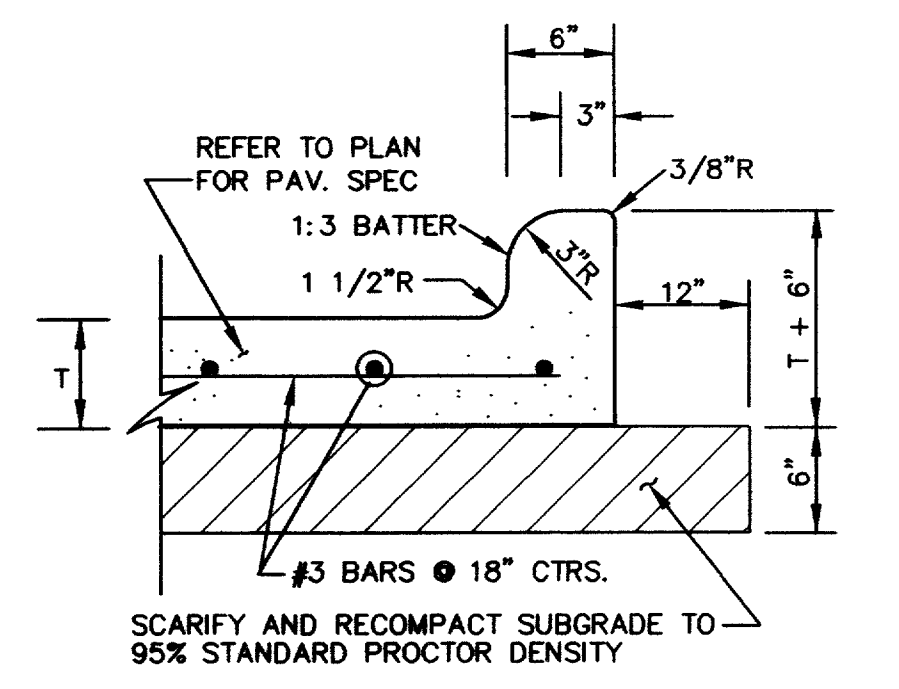
NOTES:  
1. REFER TO SHT C5 FOR PAVEMENT THICKNESS  
2. NO. 5 SMOOTH DOWEL BAR MAY BE USED IN 5 INCH AND 6 INCH PAVEMENT THICKNESS.  
3. LONGITUDINAL BUTT CONSTRUCTION MAY BE UTILIZED IN PLACE OF LONGITUDINAL HINGED (KEYWAY) JOINT AT CONTRACTORS OPTION.  
4. DOWEL BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF A MECHANICAL REC.  
5. DRILLED BY HAND IS NOT ACCEPTABLE, PUSHING DOWEL BARS INTO GREEN CONCRETE NOT ACCEPTABLE.



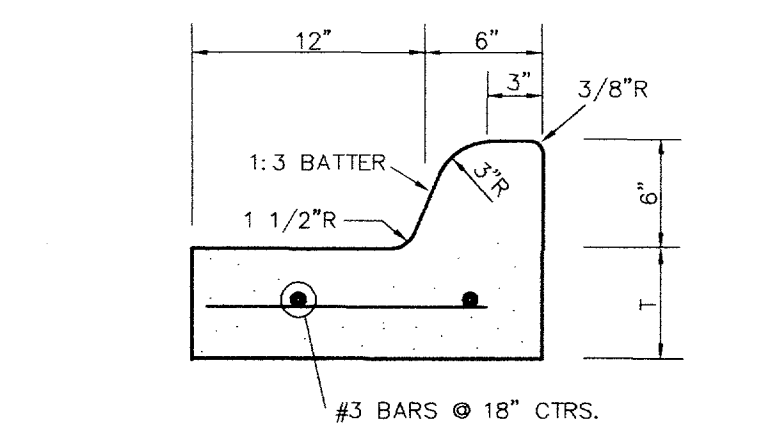
**SAWED DUMMY (CONTROL) JOINT**  
(15' O.C.E.W. MAX.)



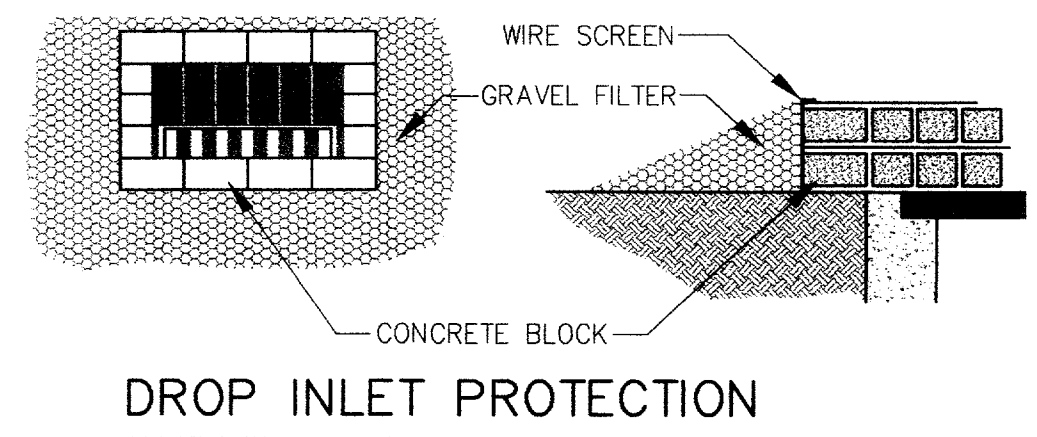
**CONSTRUCTION JOINT**  
N.T.S.



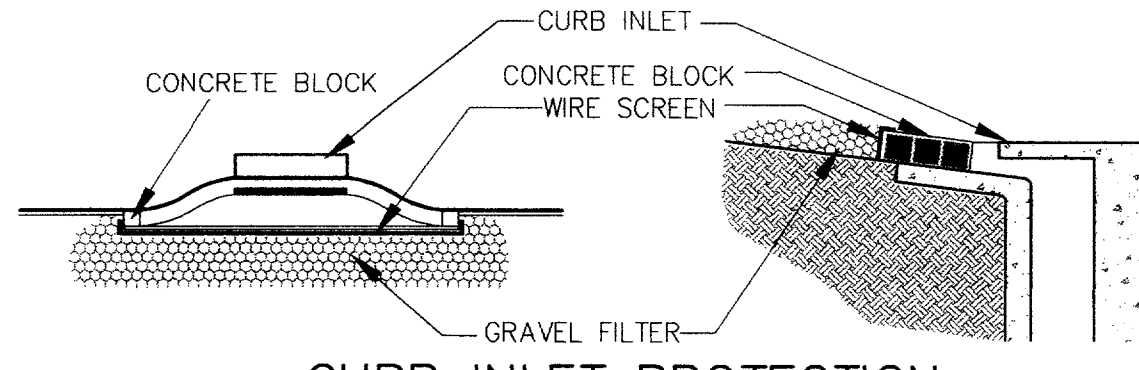
**TYPICAL PAVEMENT SECTION**  
N.T.S.



**18" CURB & GUTTER SECTION**  
N.T.S.

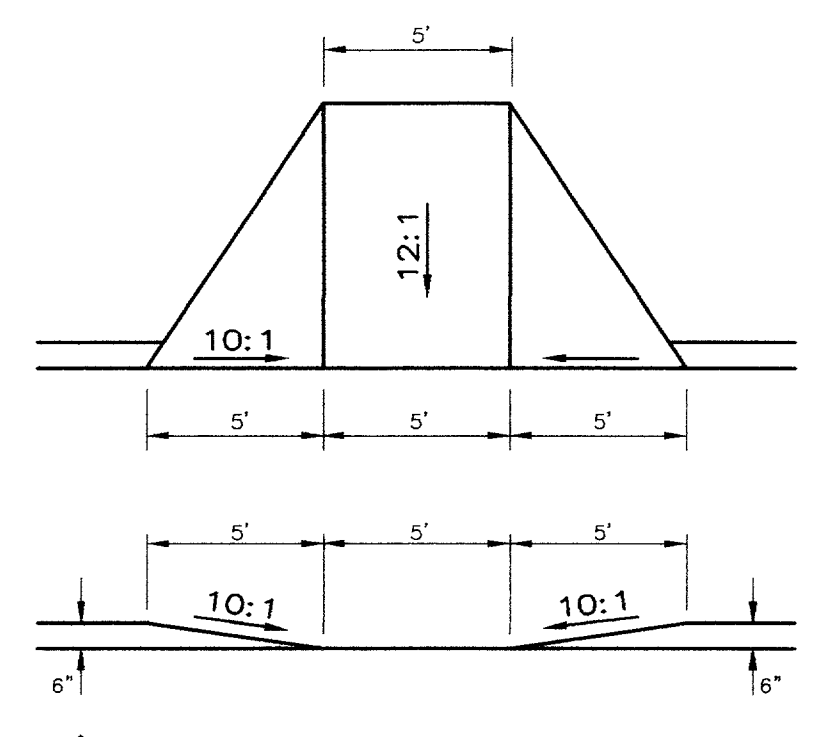


**DROP INLET PROTECTION**

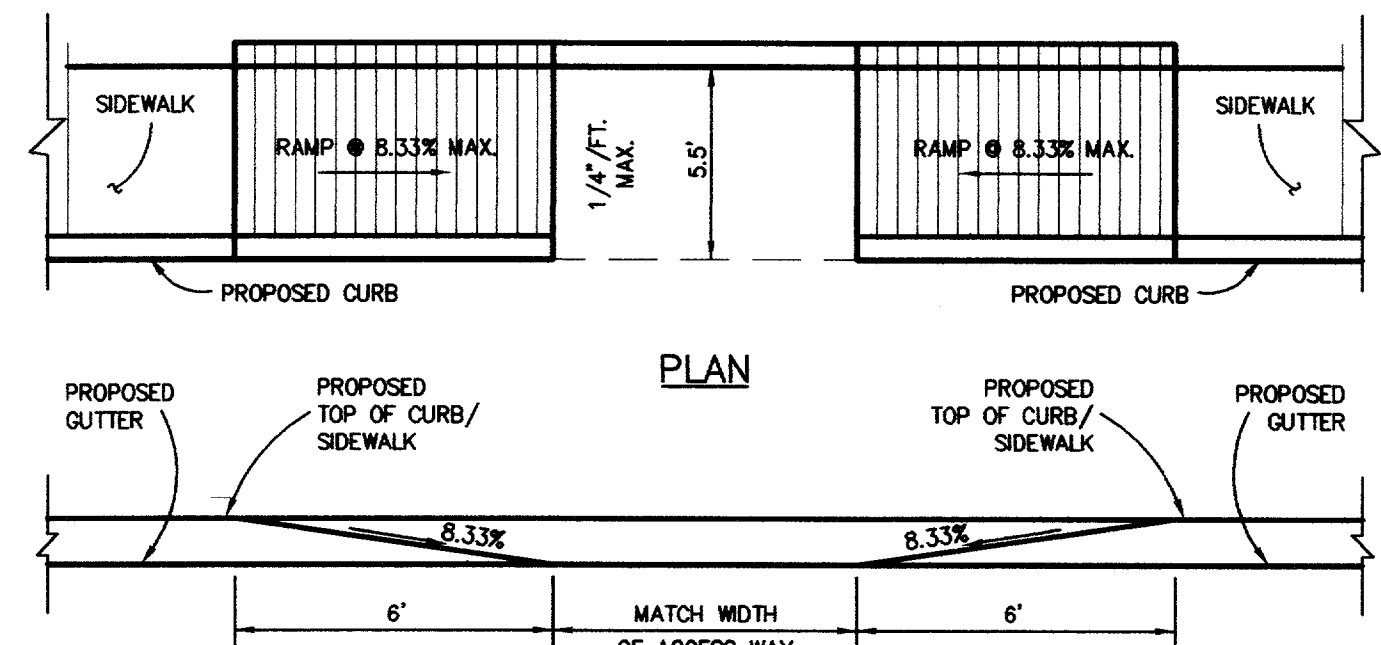


**CURB INLET PROTECTION**

**BLOCK AND GRAVEL PROTECTION**  
Concrete blocks are to be placed on their sides in a single row around the perimeter of the inlet, with ends abutting. Opening in the blocks should face outward, not upward. Wire mesh shall then be placed over the outside face of the blocks covering the holes. Filter stone shall then be piled against the wire mesh to the top of the blocks with the base of the stone being a minimum of 18 inches from the blocks. Periodically, when the stone filter becomes clogged, the stone must be removed and cleaned in a proper manner or replaced with new stone and piled back against the wire mesh.



**BARRIER FREE RAMP**  
N.T.S.



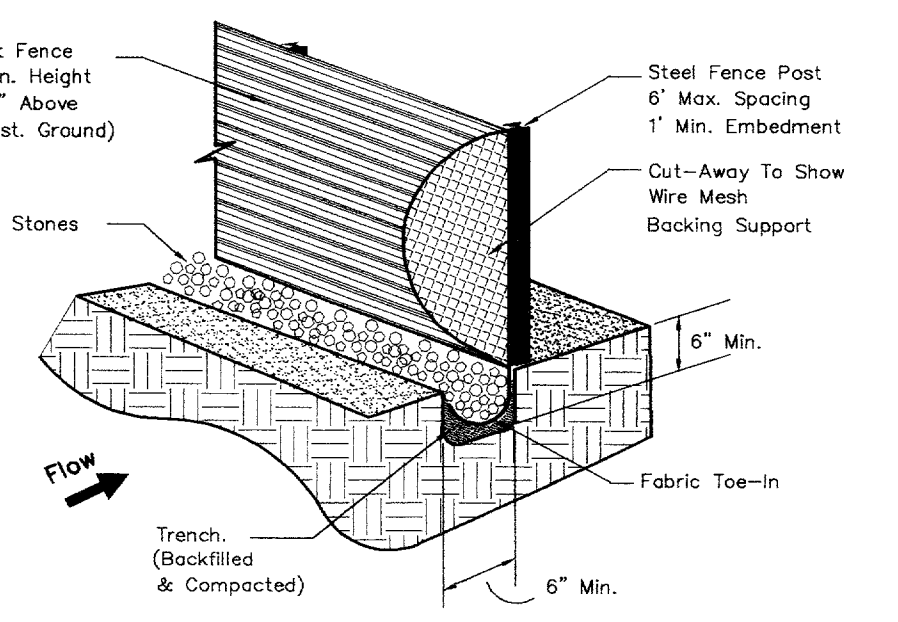
**ELEVATION**

NOTE:  
1. ON SITE BARRIER FREE RAMPS TO BE COLORED TO CONTRAST WITH THE ADJACENT SIDEWALKS.  
2. ON SITE BFR'S TO BE SCORED 1/4" WIDE BY 1/8" DEEP ON 2" CENTERS PERPENDICULAR TO DIRECTION OF TRAVEL.

**PLAN AND ELEVATION OF HANDICAP RAMP @ BUILDING**  
N.T.S.

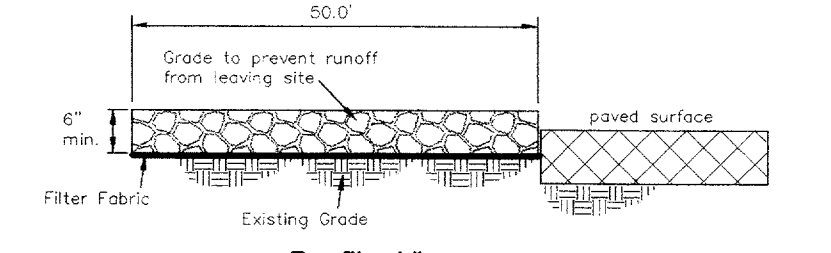
**CONSTRUCTION NOTES — SILT FENCE**

- Steel posts which support the silt fence shall be installed on a slight angle toward the anticipated runoff source. The post must be embedded a minimum of one foot.
- The toe of the silt fence shall be trenched in with a spade or mechanical trencher, so that the downslope face of the trench is flat and perpendicular to the line of flow. Where fence cannot be trenched in (e.g. pavement), weight fabric flap with washed gravel on the uphill side to prevent flow under fence.
- The trench must be a minimum of 6 inches deep and 6 inches wide to allow for the silt fence fabric to be laid in the ground and backfilled with compacted material.
- Silt fence shall be securely fastened to each steel support post or to woven wire, which is in turn attached to the steel support post. There shall be a 6 inch double overlap, securely fastened where ends of fabric meet.
- Inspection shall be made weekly or after each rainfall. Repair or replacement shall be made promptly as needed.
- Silt fence shall be removed when the site is completely stabilized so as not to block or impede storm flow or drainage.
- Accumulated silt shall be removed when it reached a depth of 6 inches. The silt shall be disposed of at an approved site and in such a manner as to not contribute to additional siltation.

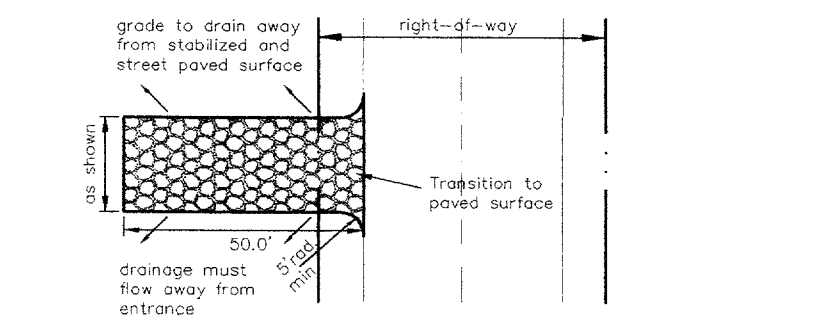


**SILT FENCE**

- Notes:
- Stone shall be 3 to 5 inch diameter crushed rock or acceptable crushed Portland Cement Concrete.
  - When necessary, vehicles shall be cleaned to remove sediment prior to entrance onto a public roadway. When washing is required, it shall be done on an area stabilized with crushed stone with drainage flowing away from both the street and the stabilized entrance. All sediment shall be prevented from entering any storm drain, ditch or watercourse using approved methods.
  - The entrance shall maintained in a condition which will prevent tracking or flowing of sediment onto paved surfaces. This may require periodic top dressing with additional stone a conditions demand. All sediment spilled, dropped, washed or tracked onto paved surfaces, must be removed immediately.
  - The entrance must be properly graded or incorporate a drainage swale to prevent runoff from leaving the construction site.



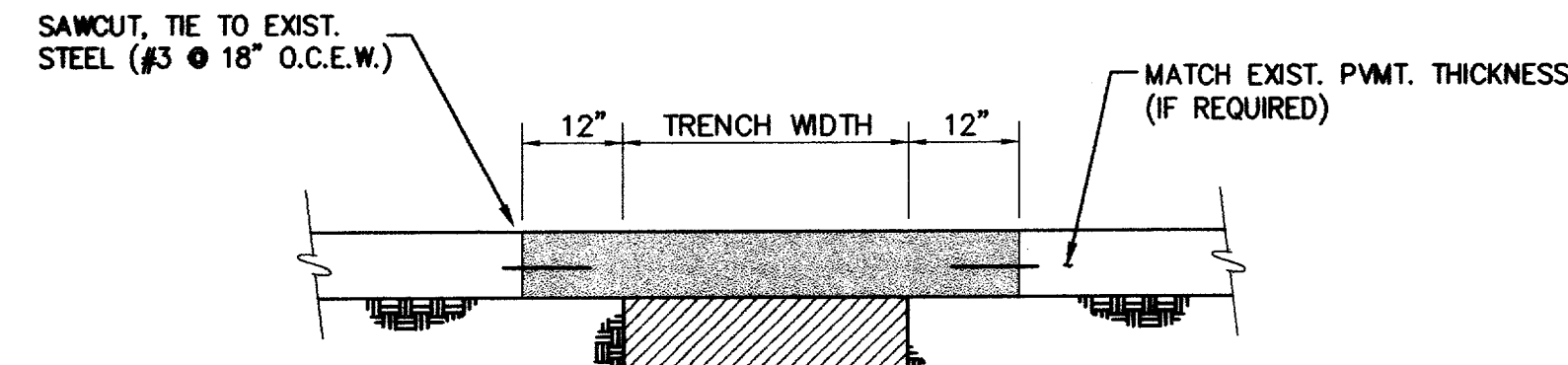
**Profile View**



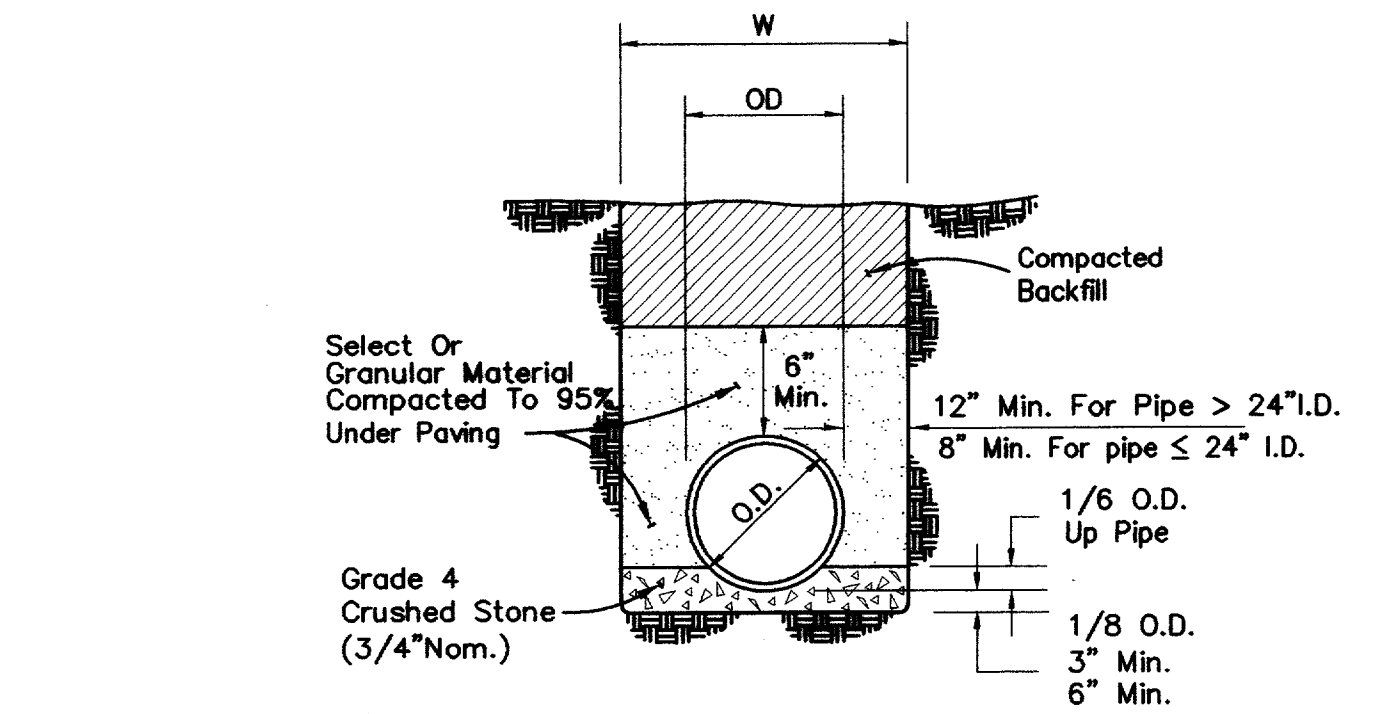
**Plan View**

**Stabilized Construction Entrance**

BENCHMARK:  
TOP OF BRASS DISK FOUND ON SOUTHWEST CORNER OF 8' RECESSED CURB INLET ON EAST SIDE OF ADDISON ROAD, 275'± NORTH OF BELT LINE ROAD.  
ELEV.=631.82'



**EMBEDMENT FOR PVC PIPE**  
N.T.S.



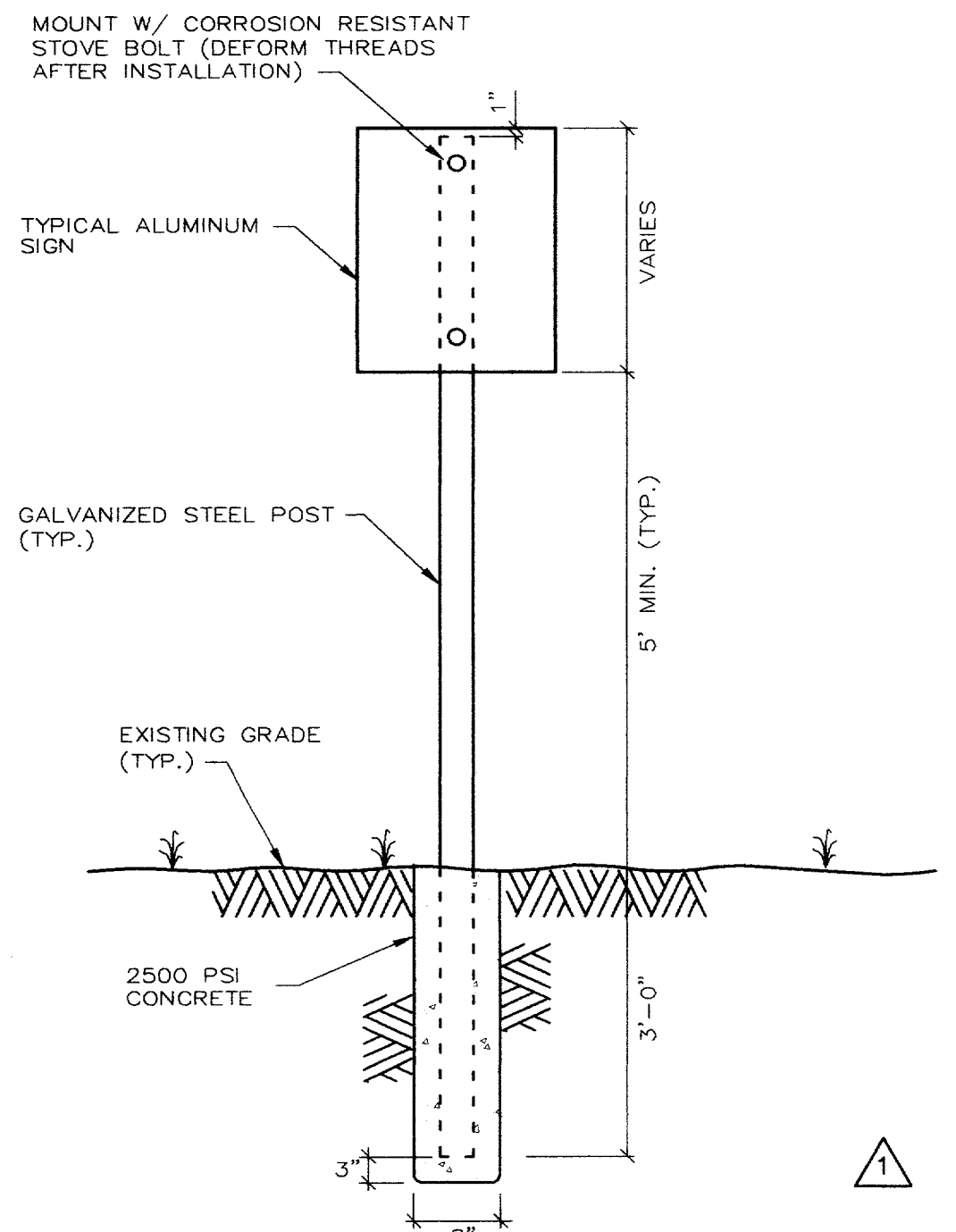
**STORM SEWER PIPE EMBEDMENT DETAIL**  
N.T.S.

Depth Of Trench Below Pipe:  
3" Min. For 27" Pipe and Smaller  
4" Min. For 30" To 60" Pipe  
6" Min. For 66" Pipe and Larger

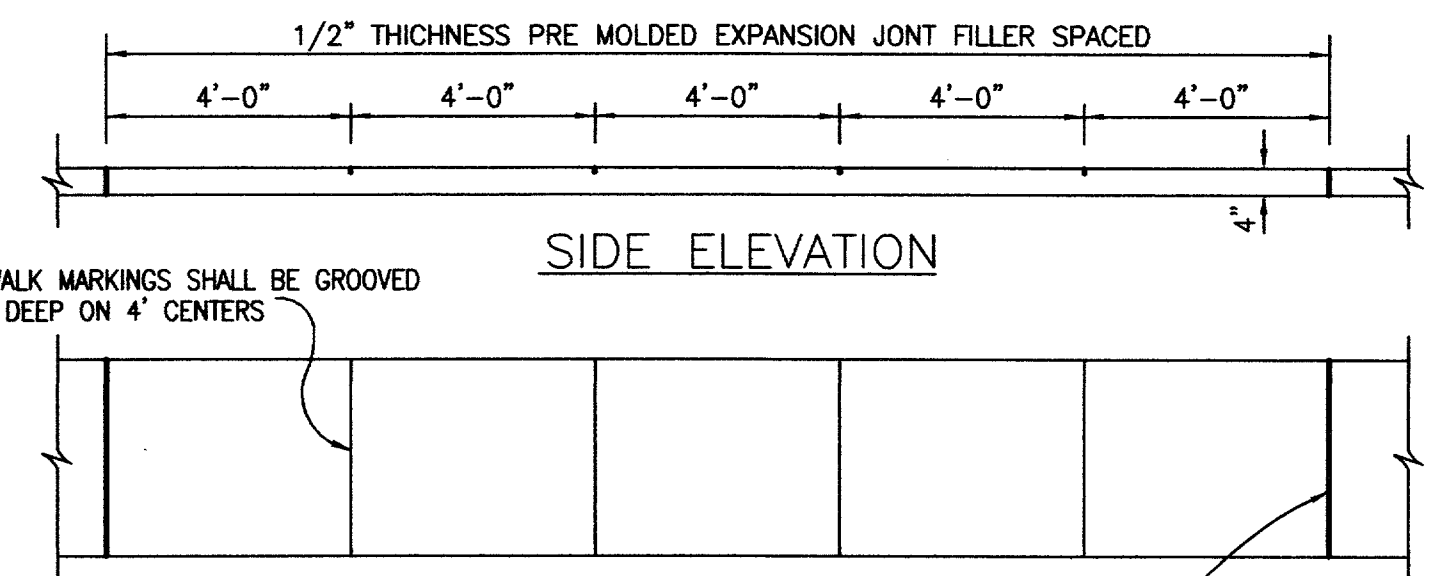


**TYPICAL SIGNAGE DETAIL**  
N.T.S.

- NOTES:  
1. SPACING BETWEEN LETTERS, COLORS, AND PROCESSES SHALL CONFORM STANDARD HIGHWAY AND SIGN DESIGNS FOR TEXAS.  
2. INSTALL WHERE INDICATED ON PLANS.  
3. VAN-ACCESSIBLE SIGNAGE ON VAN SPACES ONLY.

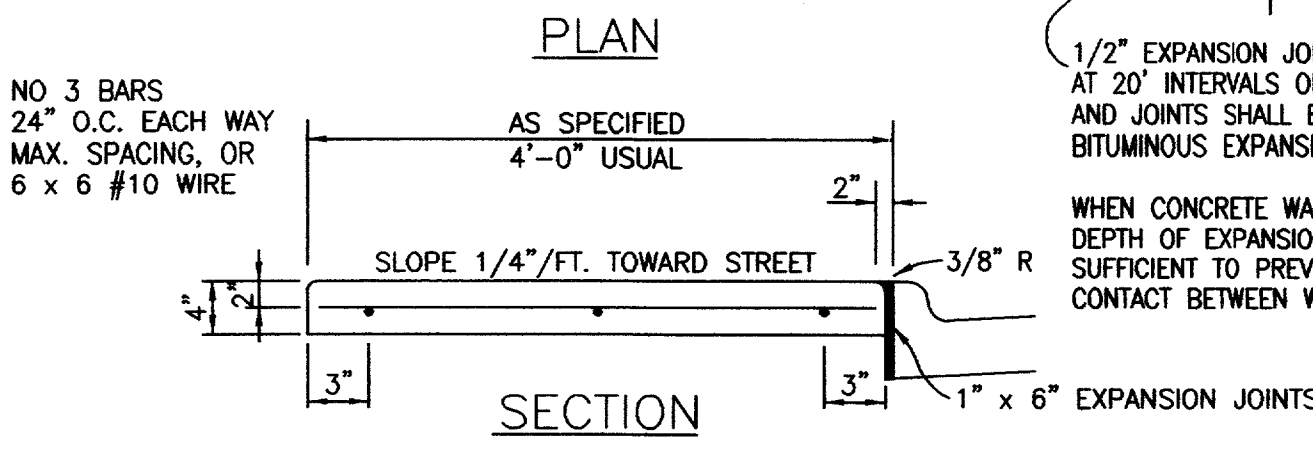


**TYPICAL SIGNAGE MOUNTING DETAIL**  
N.T.S.



**SIDE ELEVATION**

SIDEWALK MARKINGS SHALL BE GROOVED 3/8" DEEP ON 4' CENTERS



**SECTION**

**CONCRETE SIDEWALK**  
N.T.S.

**AS-BUILT**

NOTE:  
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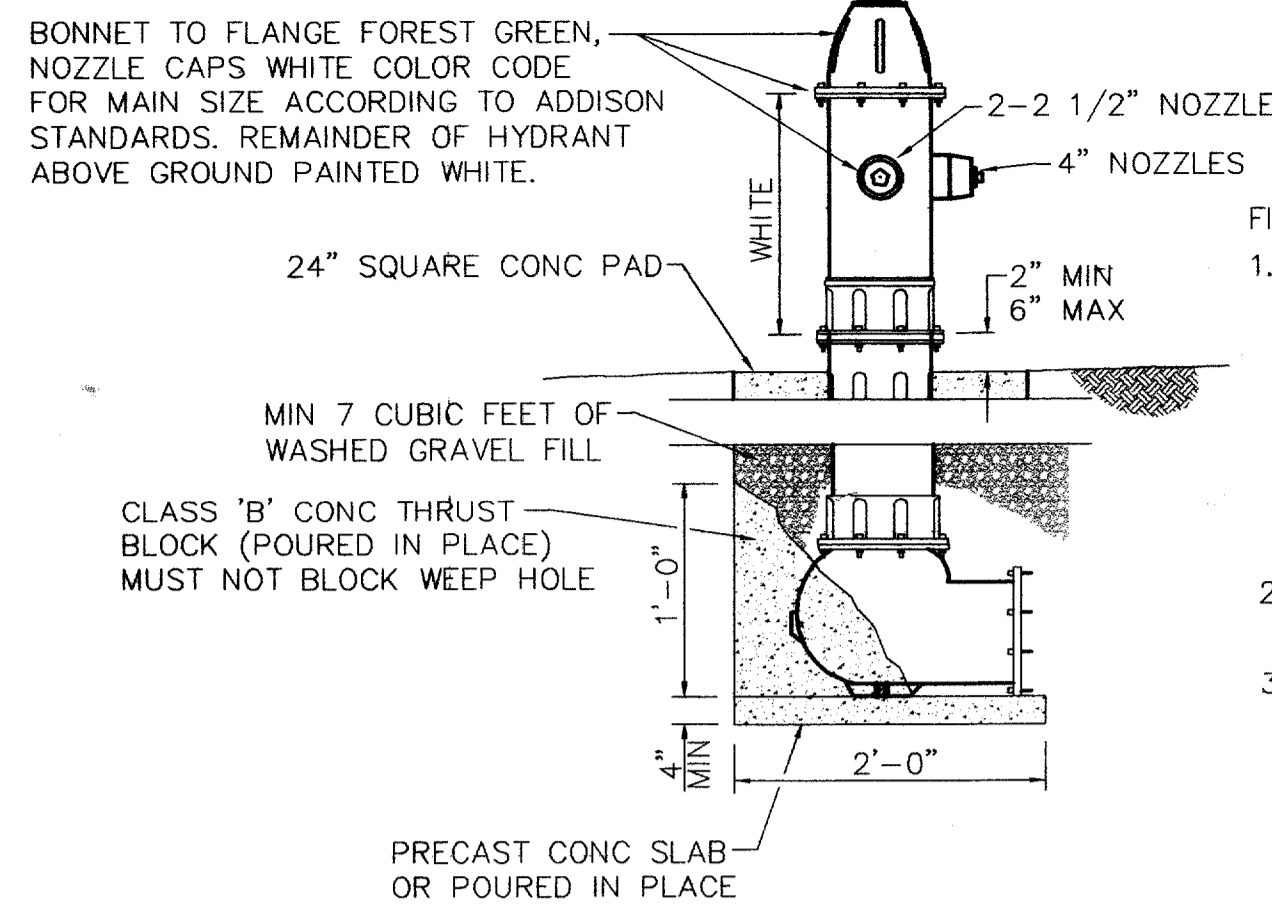
10-7-02 ADDED HC SIGN & BFR DETAIL

**DETAILS**

**BJ'S RESTAURANT**  
LOT 2, BLOCK A OF  
BELTWAY CENTRE ADDITION  
TOWN OF ADDISON  
DALLAS COUNTY, TEXAS

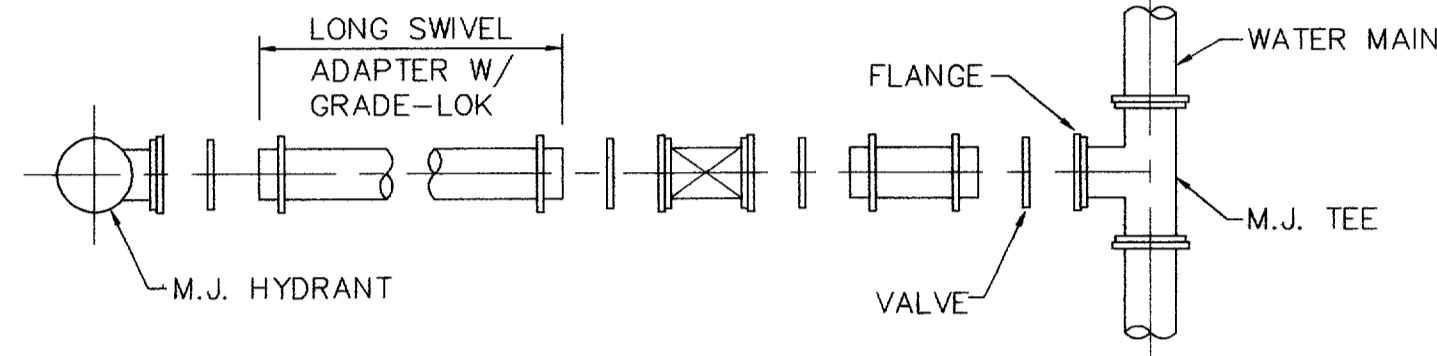
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consulting engineers  
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DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
JAR	BLM	11/19/02	NTS	BDD	C02132	C13

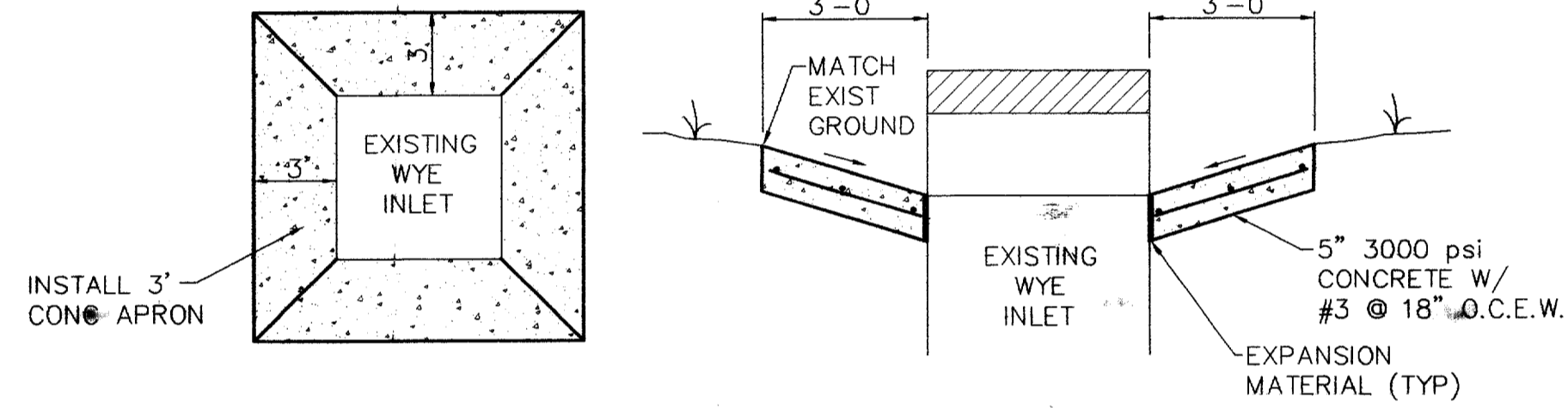


**FIRE HYDRANT NOTES:**

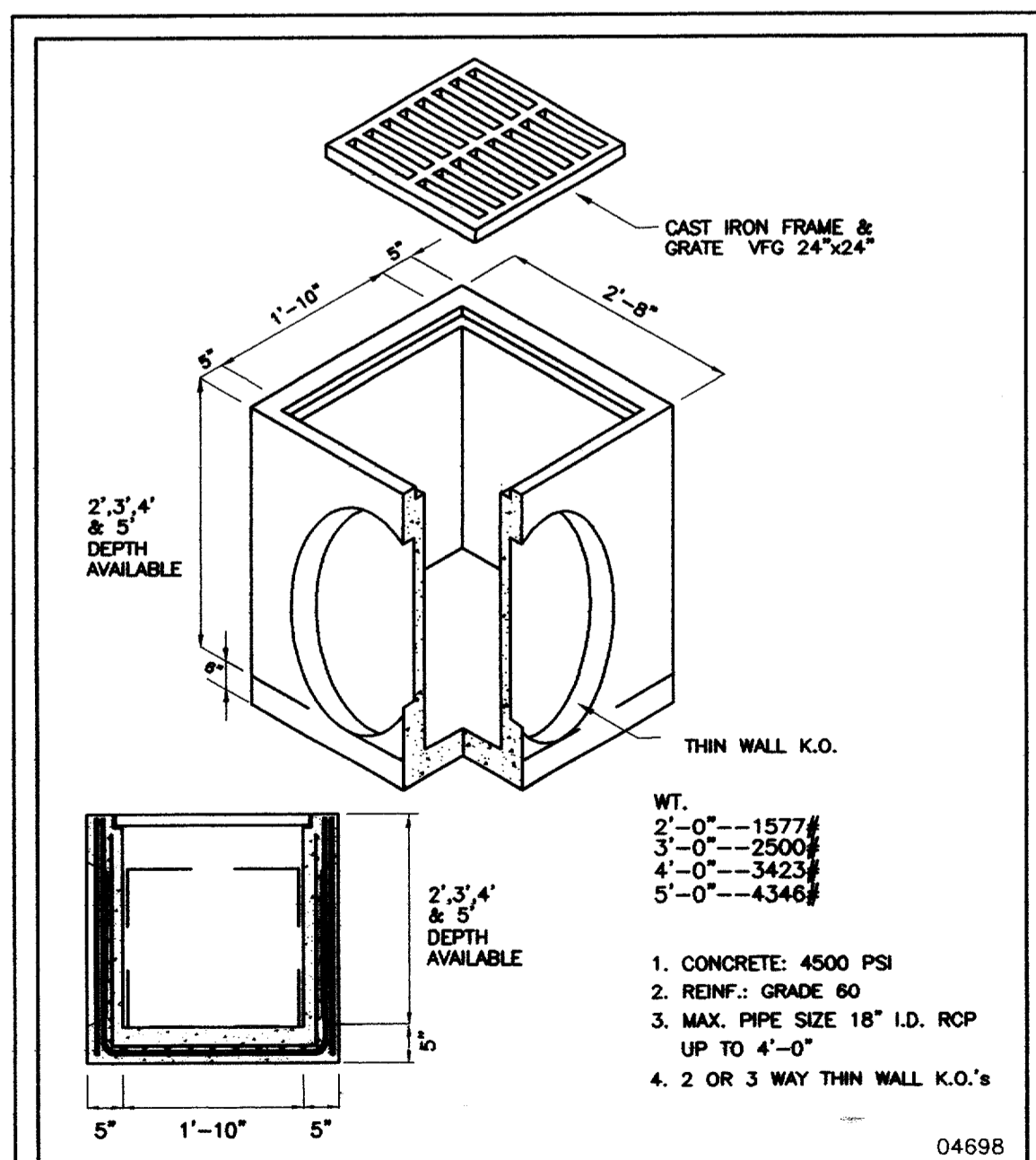
1. IN GENERAL ALL FIRE HYDRANTS SHALL CONFORM TO AWWA STANDARDS SPECIFICATIONS FOR FIRE HYDRANTS FOR ORDINARY WATER WORKS SERVICE FOR WATER AND SANITARY SEWER IMPROVEMENTS. FIRE HYDRANTS SHALL HAVE A 5-1/4" MINIMUM VALVE OPENING AND WITH A BARREL APPROXIMATELY 7" INSIDE DIAMETER. ALL HYDRANTS SHALL BE EQUIPPED WITH A BREAKAWAY FLANGE. ALL HYDRANTS SHALL BE APPROVED BY THE TOWN OF ADDISON.
2. ACCEPTABLE FIRE HYDRANTS IN ADDISON ARE MUELLER CENTURAN, OR APPROVED EQUAL.
3. FIRE HYDRANT PAINT: VITRA-GARD RUST NO MORE HEAVY DUTY GLOSS  
FOREST GREEN 3844-6 ----- ENAMEL  
SATIN WHITE ----- POLY URETHANE



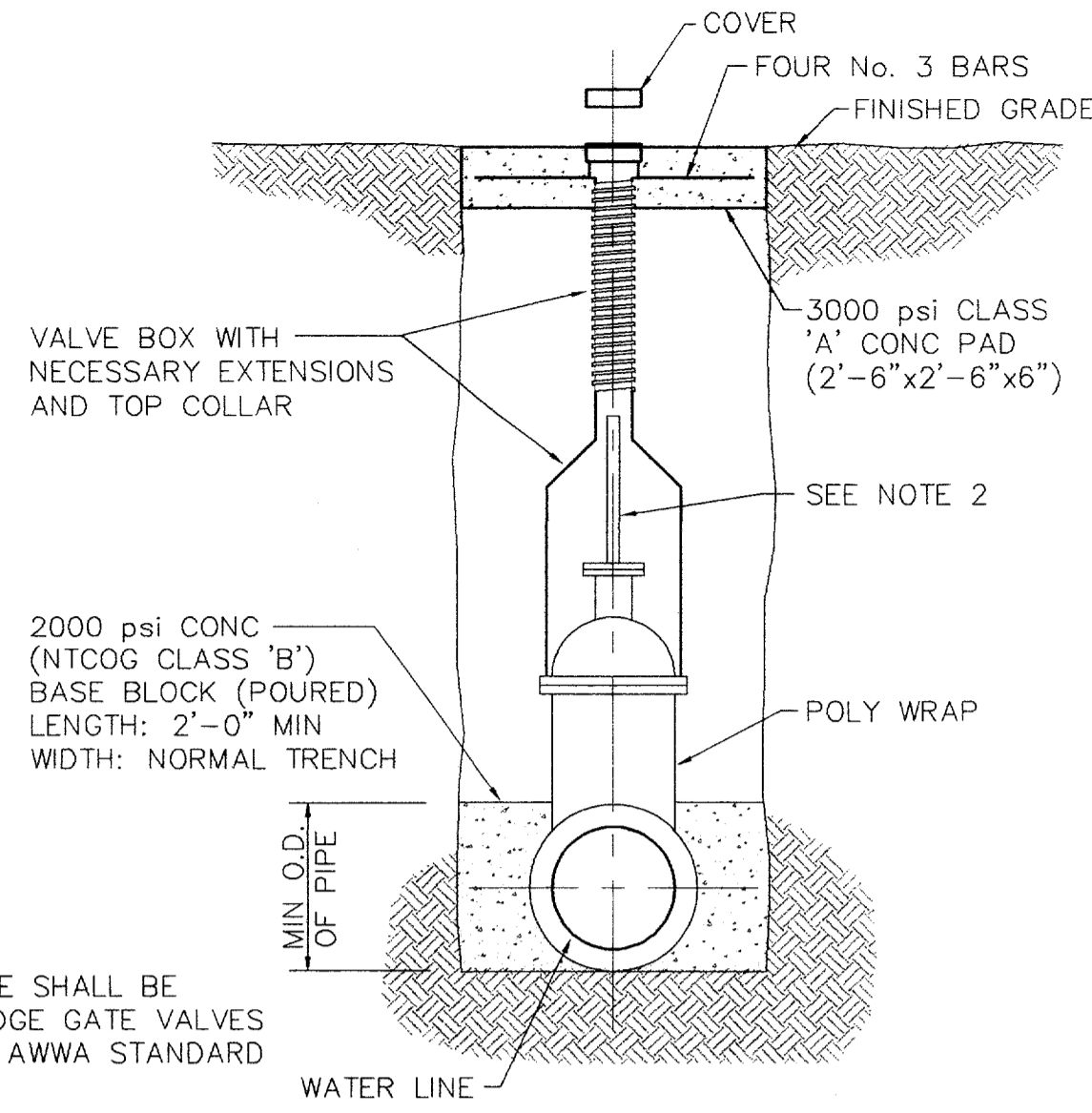
**TYPICAL FIRE HYDRANT INSTALLATION**  
N.T.S.



**EXISTING WYE INLET CONCRETE APRON DETAIL**  
N.T.S.



**A** CATCH BASIN NO. 24  
American Industrial Pre-Cast Products, Inc.  
P.O. BOX 365 ALVARADO, TEXAS 76009. METRO: 817-477-5286  
501 EAST BAXTER SEGUIN, TEXAS 78155 210-401-0555

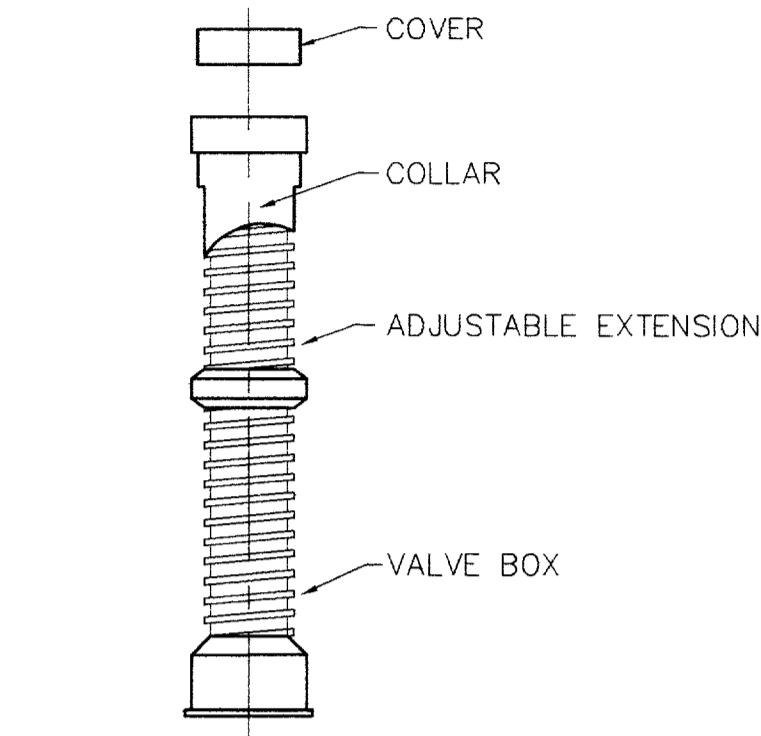


**VALVE SETTING & BOX**  
N.T.S.

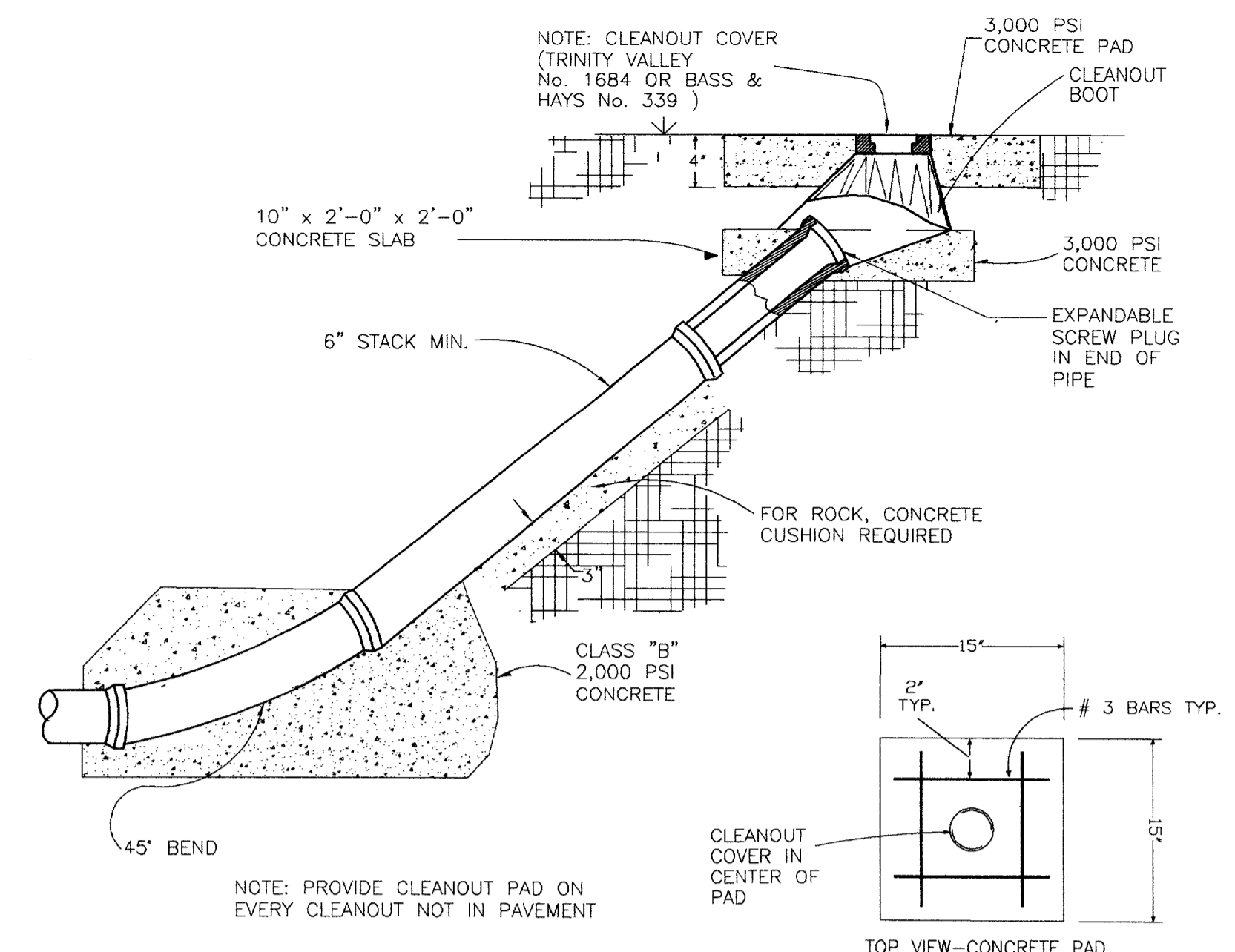
**WATER VALVE NOTES:**

1. 4" TO 12" GATE VALVE SHALL BE RESILIENT SEATED WEDGE GATE VALVES IN ACCORDANCE WITH AWWA STANDARD C-509
2. A PERMANENTLY ATTACHED VALVE EXTENSION STEM SHALL BE REQUIRED FOR ANY VALVE WHOSE OPERATING NOT IS LOCATED IN EXCESS OF 4 FEET BELOW THE TOP OF VALVE BOX. THIS EXTENSION SHALL BE OF SUFFICIENT LENGTH TO INSURE THAT ITS TOP IS WITHIN 4" OF THE VALVE BOX COVER.
3. VALVE SHALL BE WRAPPED IN POLY WRAP.
4. VALVE PAD SHALL BE 6 INCHES THICK AND BE 3000 psi CONCRETE.

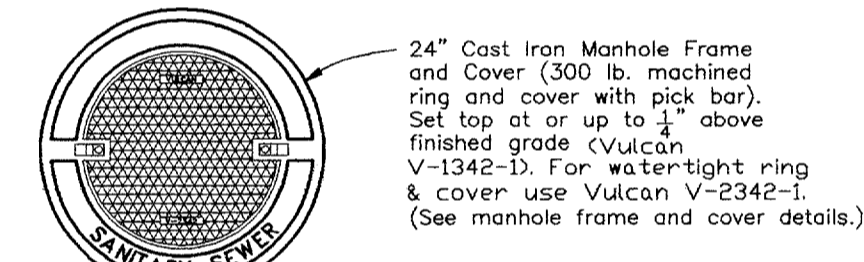
**VALVE BOX PAD PLAN**  
N.T.S.



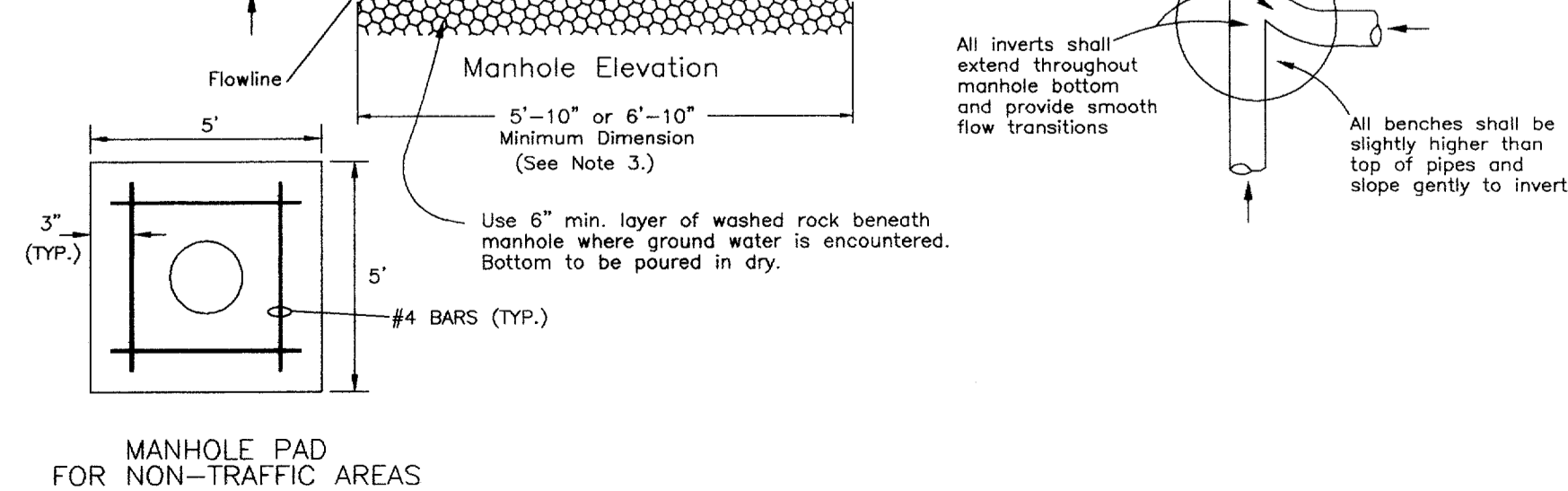
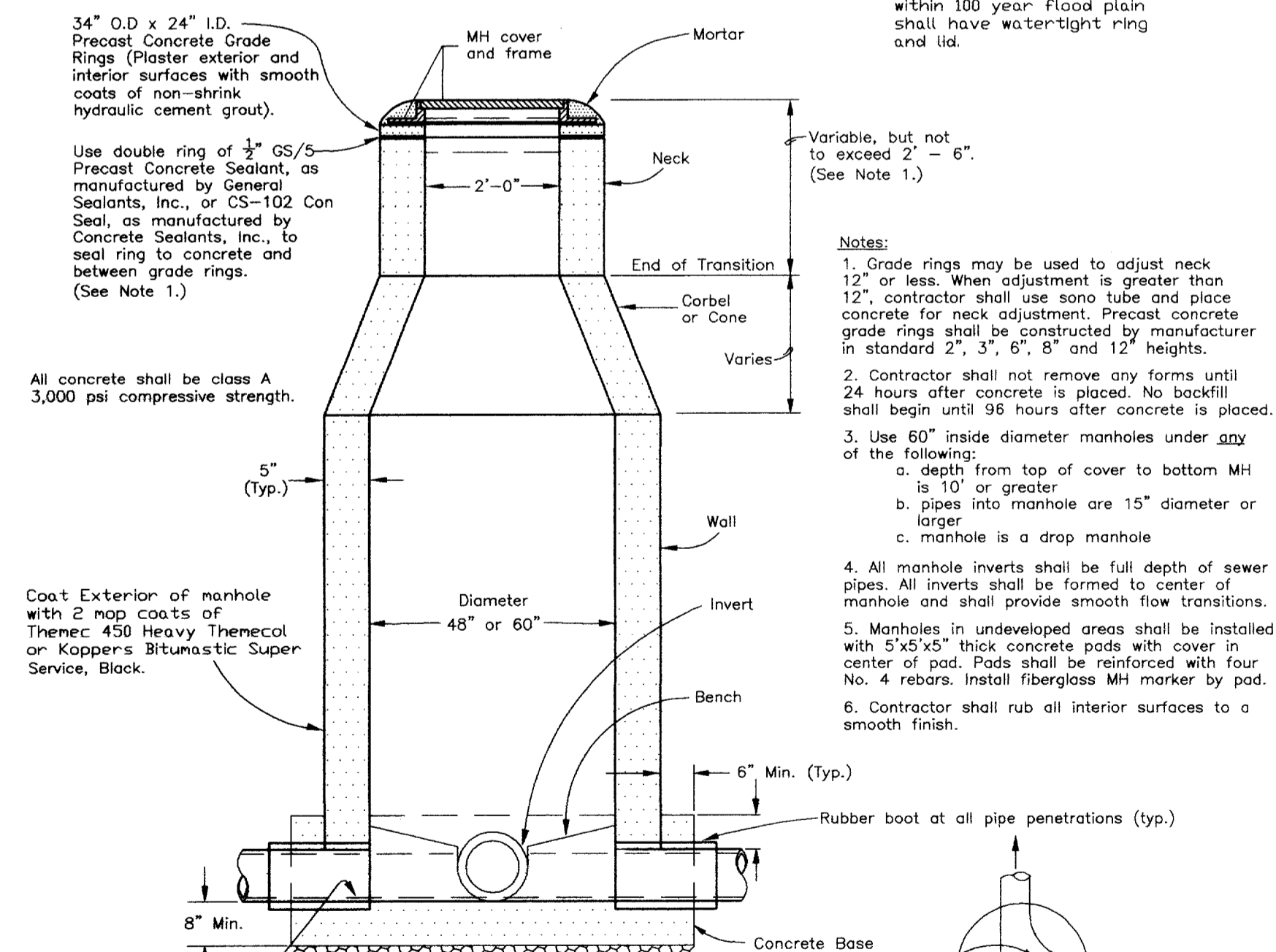
**VALVE BOX WITH EXTENSION**  
N.T.S.



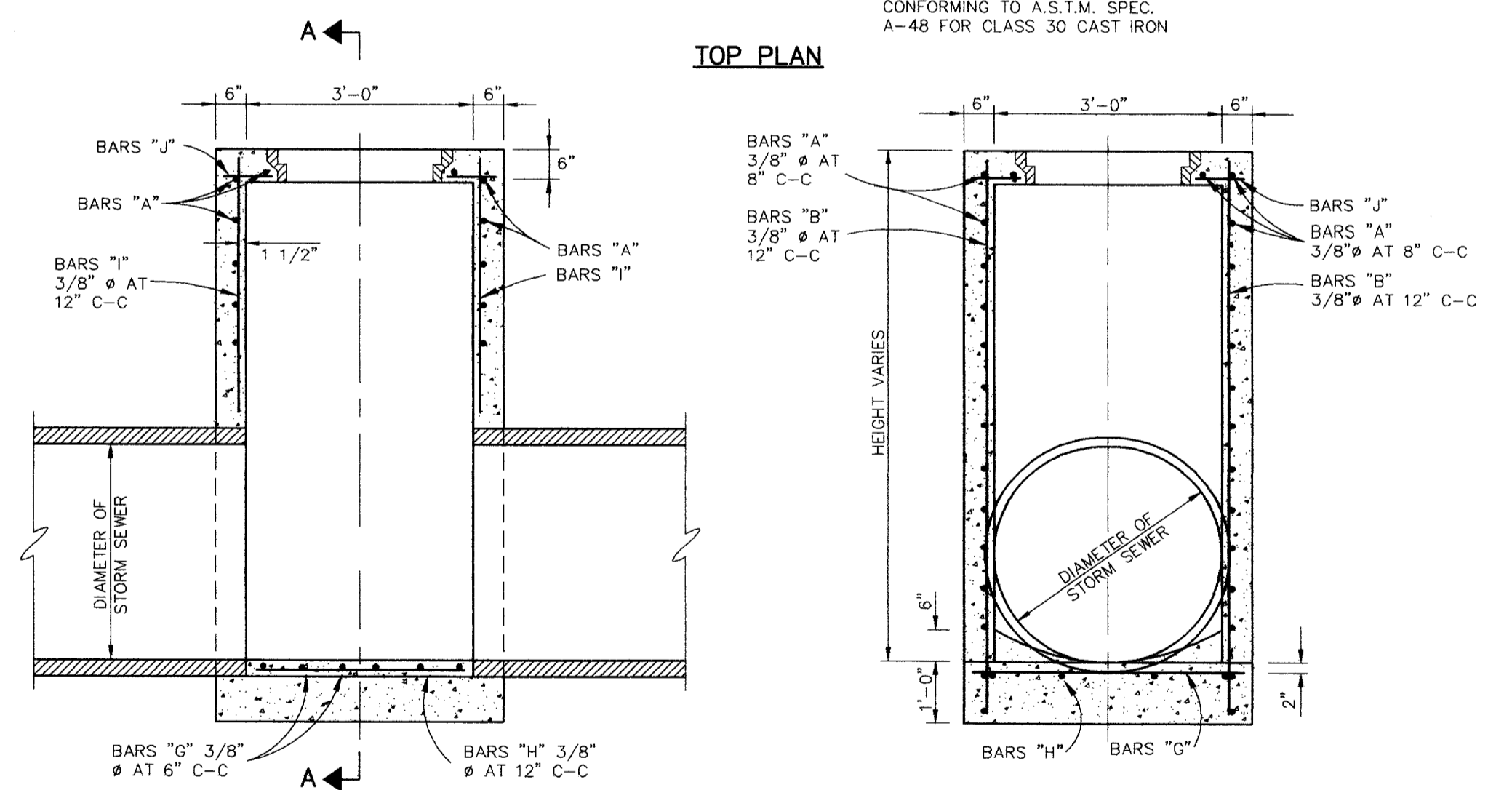
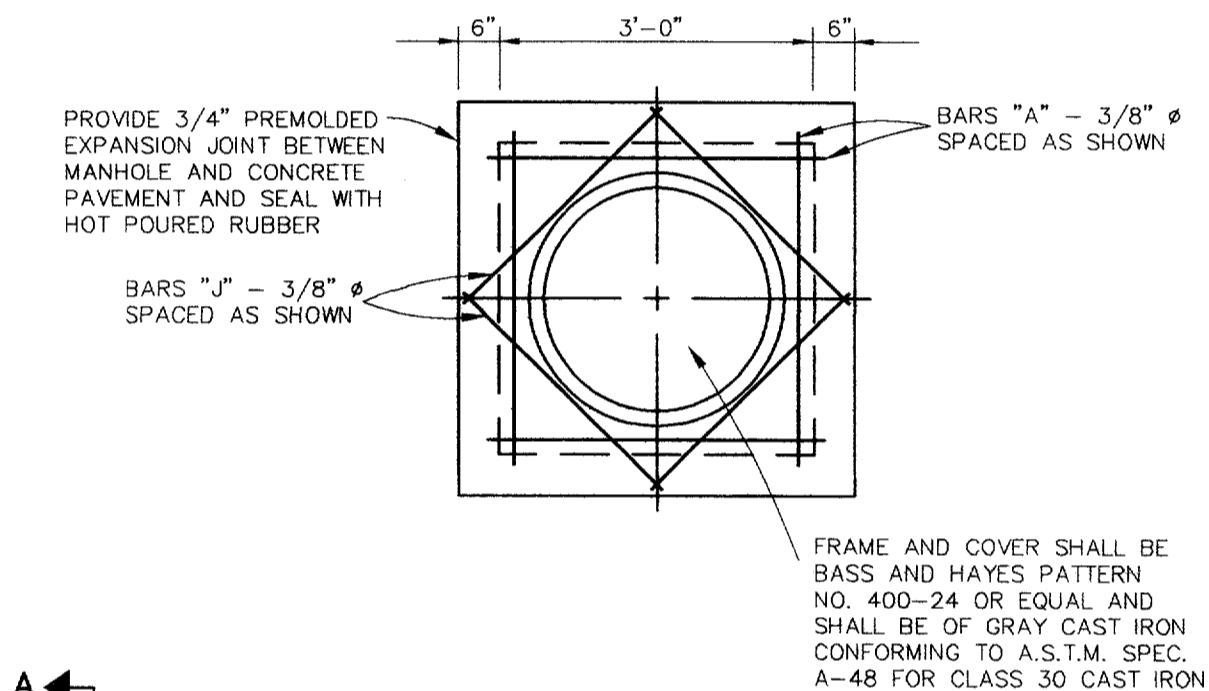
**SANITARY SEWER CLEANOUT**  
N.T.S.



Manholes constructed within 100 year Flood plain shall have water-tight ring and lid.



**CAST-IN-PLACE SANITARY SEWER MANHOLE**  
N.T.S.



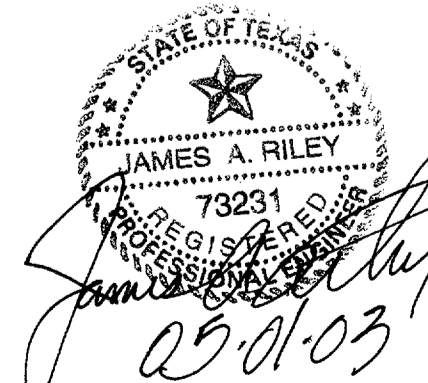
**CAST-IN-PLACE STORM SEWER MANHOLE**  
N.T.S.

**SECTION A-A**

**AS-BUILT**

NOTE: THESE PLANS HAVE BEEN REVISED TO CONFORM WITH CONSTRUCTION RECORDS PROVIDED BY CONTRACTOR.

BENCHMARK: TOP OF BRASS DISK FOUND ON SOUTHWEST CORNER OF 8' RECESSED CURB INLET ON EAST SIDE OF ADDISON ROAD, 275± NORTH OF BELT LINE ROAD.  
ELEV.=631.82'



**DETAILS**

BJ'S RESTAURANT  
LOT 2, BLOCK A OF  
BELTWAY CENTRE ADDITION  
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DET-BUILDING