

I. G. IMPERIAL GROUP IV, N.V.
Vol. 80066, Pg. 3690 DRDCT.

FND 3/8" I.D. 0.10' NORTH OF LINE

6 89° 25' 00" E 797.78'

$\Delta = 07^{\circ}16'10"$
 $R = 630.00'$
 $T = 40.02'$
 $L = 79.93'$
 $CB = N03^{\circ}26'34"W$
 $C = 79.88'$

OUTER CURVE
 $\Delta = 89^{\circ}38'20"$
 $R = 54.00'$
 $T = 53.66'$
 $L = 84.48'$
 $CH = 76.15'$
 $S44^{\circ}35'50"E$

INNER CURVE
 $\Delta = 89^{\circ}38'20"$
 $R = 30.00'$
 $T = 29.81'$
 $L = 42.94'$
 $CH = 42.29'$
 $N44^{\circ}35'50"W$

$\Delta = 08^{\circ}10'16"$
 $R = 1080.00'$
 $T = 77.14'$
 $L = 154.02'$
 $C = 153.85'$
 $CB = S67^{\circ}01'53"W$

$\Delta = 26^{\circ}56'00"$
 $R = 450.00'$
 $T = 107.76'$
 $L = 211.53'$
 $C = 209.59'$
 $CB = S76^{\circ}24'45"W$

6.868 ACRES ±

SURVEYOR BOULEVARD
(60' RIGHT-OF-WAY)

N 00° 11' 31" E 320.71'

5 89° 25' 00" E 721.42'
N 89° 25' 00" W 721.25'

S 89° 52' 45" W 448.32'

BELTWAY DRIVE
(60' RIGHT-OF-WAY)

POINT OF BEGINNING

DESCRIPTION & CERTIFICATE

Whereas we, PECAN SQUARE JOINT VENTURE, A TEXAS JOINT VENTURE PARTNERSHIP, are the owners of a tract of land out of the Thomas L. Chenoweth Survey, Abstract No. 273, City of Addison, Dallas County, Texas, and being that same tract of land as described in deed to C. E. Seal, II, as recorded in Volume 80066, Page 3700, of the Deed Records of Dallas County, Texas, and being more particularly described as follows:

BEGINNING at a found 3/8-inch iron rod at the intersection of the East line of Surveyor Boulevard (60-foot right-of-way) and the North line of Beltway Drive (60-foot right-of-way);

THENCE N 00° 11' 31" E, along said East line of Surveyor Boulevard, a distance of 320.71 feet to a found 3/8-inch iron rod for the point of curvature of a circular curve to the left having a radius of 630.00 feet;

THENCE northwesterly, along said circular curve to the left through a central angle of 07° 16' 10", an arc distance of 79.93 feet, and having a chord which bears N 03° 26' 34" W, a distance of 79.88 feet to a found 3/8-inch iron rod;

THENCE S 89° 25' 00" E, along the South line of a tract of land as described in deed to I. G. Imperial Group IV, N.V., as recorded in Volume 80066, Page 3690, of the Deed Records of Dallas County, Texas, and passing a found 3/8-inch iron rod, 0.10 feet north at 398.39 feet, in all a distance of 797.78 feet to a found 3/8-inch iron rod;

THENCE S 00° 03' 20" W, along the west line of Addison Plaza II, an addition to the City of Addison, Dallas County, Texas, as recorded in Volume 79069, Page 1424, of the said Deed Records of Dallas County, Texas, a distance of 282.09 feet to a found 3/8-inch iron rod in the northerly line of said Beltway Drive, said iron rod being in a circular curve to the left having a radius of 1080.00 feet;

THENCE southwesterly, along the northerly line of said Beltway Drive and along said circular curve to the left through a central angle of 08° 10' 16", an arc distance of 154.02 feet, and having a chord which bears S 67° 01' 53" W, a distance of 153.85 feet to a found 3/8-inch iron rod for the point of reverse curvature of a circular curve to the right having a radius of 450.00 feet;

THENCE southwesterly continuing along the northerly line of said Beltway Drive and along said circular curve to the right through a central angle of 26° 56' 00", an arc distance of 211.53 feet, and having a chord which bears S 76° 24' 45" W, a distance of 209.59 feet to a found 3/8-inch iron rod for the point of tangency;

THENCE S 89° 52' 45" W, continuing along the northerly line of said Beltway Drive a distance of 448.32 feet to the POINT OF BEGINNING and CONTAINING 6.868 acres of land, more or less.

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That, PECAN SQUARE JOINT VENTURE, A TEXAS JOINT VENTURE PARTNERSHIP, being the owner does hereby adopt this plat designating the hereinabove described property as "PECAN SQUARE CONDOMINIUMS," an addition to the City of Addison, Dallas County, Texas, and do hereby dedicate to the public use forever the easements shown thereon. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed, re-constructed or placed upon, over or across the utility easements as shown, said utility easements being hereby reserved for the mutual use and accommodation of all public using or desiring to use same. Paving, parking areas, curbs and sidewalks may be constructed upon said utility easements.

All and any public utility shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which in any way endanger or interfere with the construction, maintenance or efficiency of its respective system on the utility easements and all public utilities shall at all times have the full right of ingress and egress to and from and upon the said utility easements for the purpose of construction, re-constructing, inspecting, patrolling, maintaining, and adding to or removing all or parts of its respective systems without the necessity at any time of procuring the permission of anyone. Any public utility shall have the right of ingress and egress to private property for the purposes of reading meters and any maintenance and service required or ordinarily performed by that utility.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Addison, Texas.

Witness my hand this ___ day of _____, 1982.

A. STARKE TAYLOR, III
THOMAS HODGES, PRESIDENT

STATE OF TEXAS
COUNTY OF DALLAS

Before me, the undersigned authority, a Notary Public in and for said county and state, on this day personally appeared A. STARKE TAYLOR, III, known to me to be the person and officer whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed and in the capacity therein stated.

Given under my hand and seal of office this ___ day of _____, 1982.

Notary Public, Dallas County, Texas

STATE OF TEXAS
COUNTY OF DALLAS

Before me, the undersigned authority, a Notary Public in and for said county and state, on this day personally appeared THOMAS HODGES, PRESIDENT OF GREENBELT PROPERTIES, INC., known to me to be the person and officer whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and considerations therein expressed and in the capacity therein stated.

Given under my hand and seal of office this ___ day of _____, 1982.

Notary Public, Dallas County, Texas

STATE OF TEXAS
COUNTY OF DALLAS

I, BRAD SPARR, a Registered Public Surveyor, do hereby certify that this plat is true and correct to the best of my knowledge and belief, and that the tract shown hereon was determined by a survey made on the ground during March 1982 under my direction and supervision.

Witness my hand and seal at Dallas, Dallas County, Texas this ___ day of _____, 1982.

BRAD SPARR
REGISTERED PUBLIC SURVEYOR
NO. 3701 - STATE OF TEXAS

STATE OF TEXAS
COUNTY OF DALLAS

Before me, the undersigned authority, a Notary Public in and for said county and state, on this day personally appeared BRAD SPARR, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

Given under my hand and seal of office this ___ day of _____, 1982.

This plat approved subject to all rules and regulations of the platting ordinance of the City of Addison, Texas.

This ___ day of _____, 1982.

MAYOR
ATTEST: CITY SECRETARY

NO.	REVISION	BY	DATE

DESIGNED BY: _____
DRAWN BY: *R. Anderson*
CHECKED BY: _____
SCALE: 1" = 30'
DATE: March 23, 1981

eh ESPEY, HUSTON & ASSOCIATES, INC.
Engineering & Environmental Consultants
P.O. Box 402305, Dallas, TX 75240
(214) 669-9600

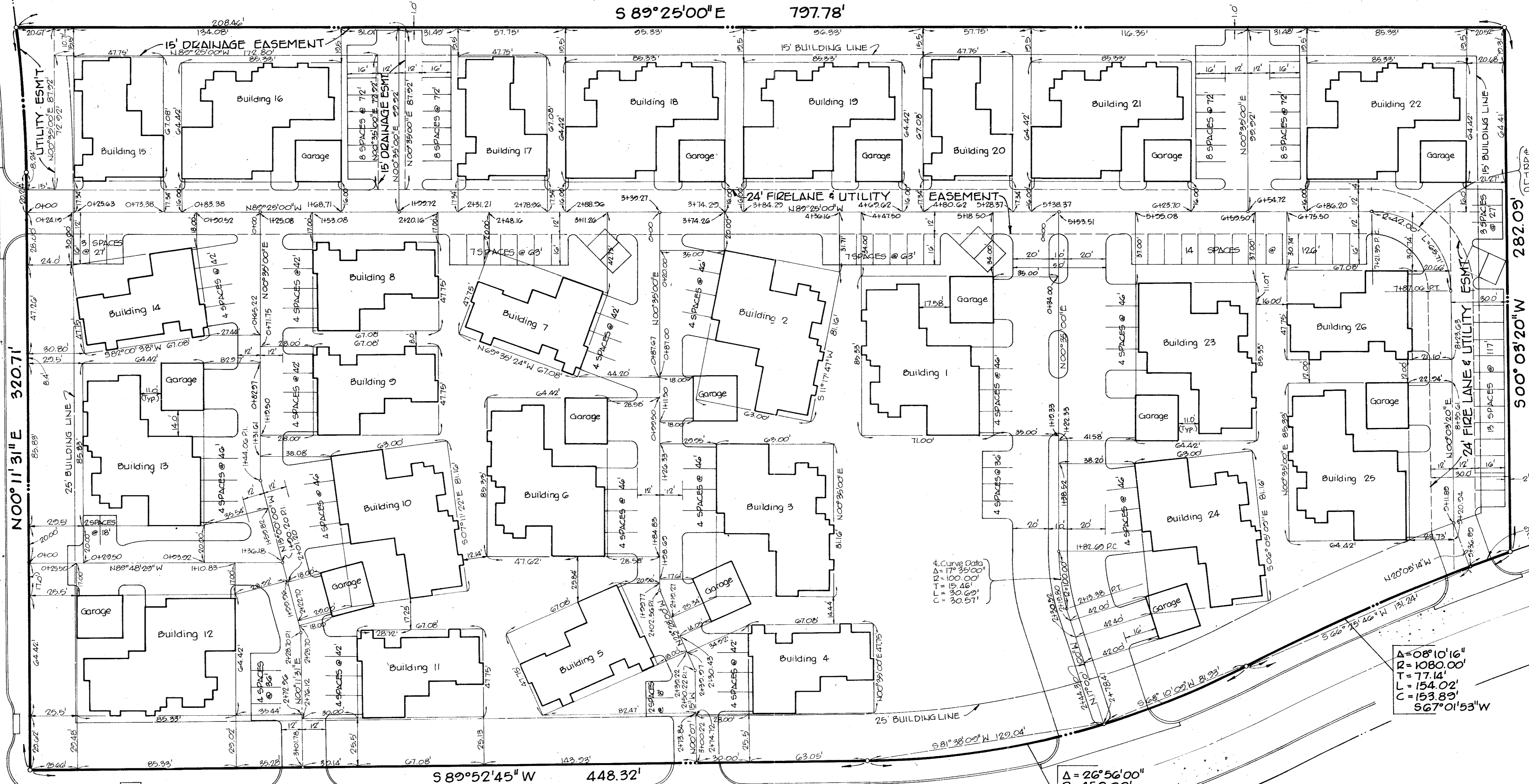
FINAL PLAT
PECAN SQUARE CONDOMINIUMS
THOMAS L. CHENOWETH SURVEY, ABSTRACT 273
CITY OF ADDISON, DALLAS COUNTY, TEXAS
for
PECAN SQUARE JOINT VENTURE
4015 Beltline Road, Dallas, TX 75234

SHEET NO.	1
OF SHEETS	
JOB NO.	2201-11



$\Delta = 07^{\circ}16'10''$
 $R = 630.00'$
 $T = 40.02'$
 $L = 79.93'$
 $C = 79.88'$
 $N 03^{\circ}26'34'' W$

SURVEYOR BOULEVARD
(CONC. P.V.M.T. 31' B-B)



4 Curve Data
 $\Delta = 50^{\circ}58'20''$
 $R = 42.00'$
 $T = 41.74'$
 $L = 69.71'$
 $C = 59.21'$

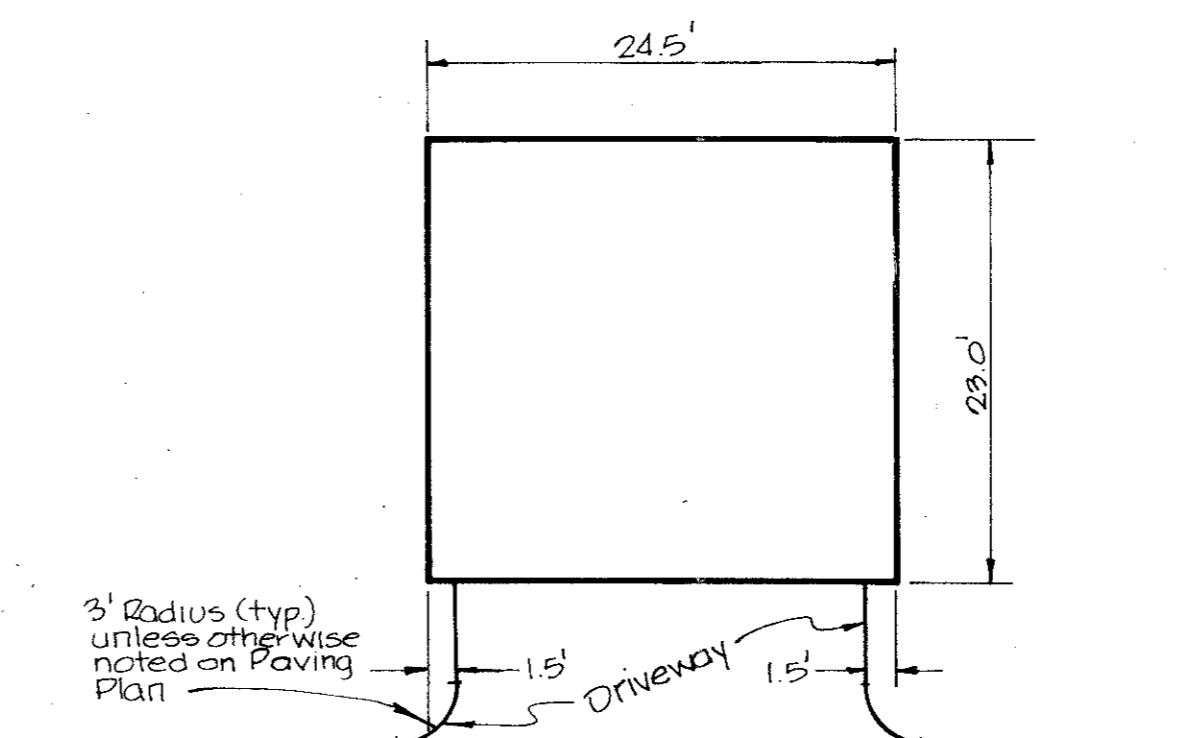
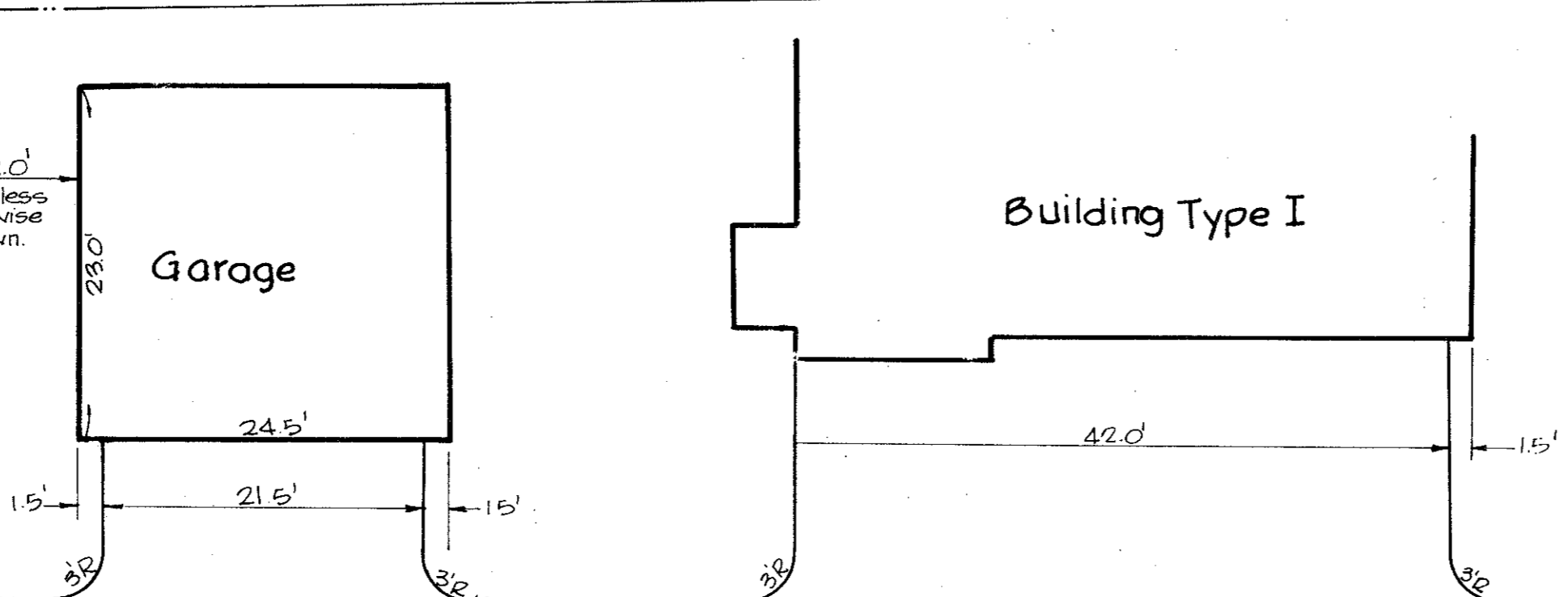
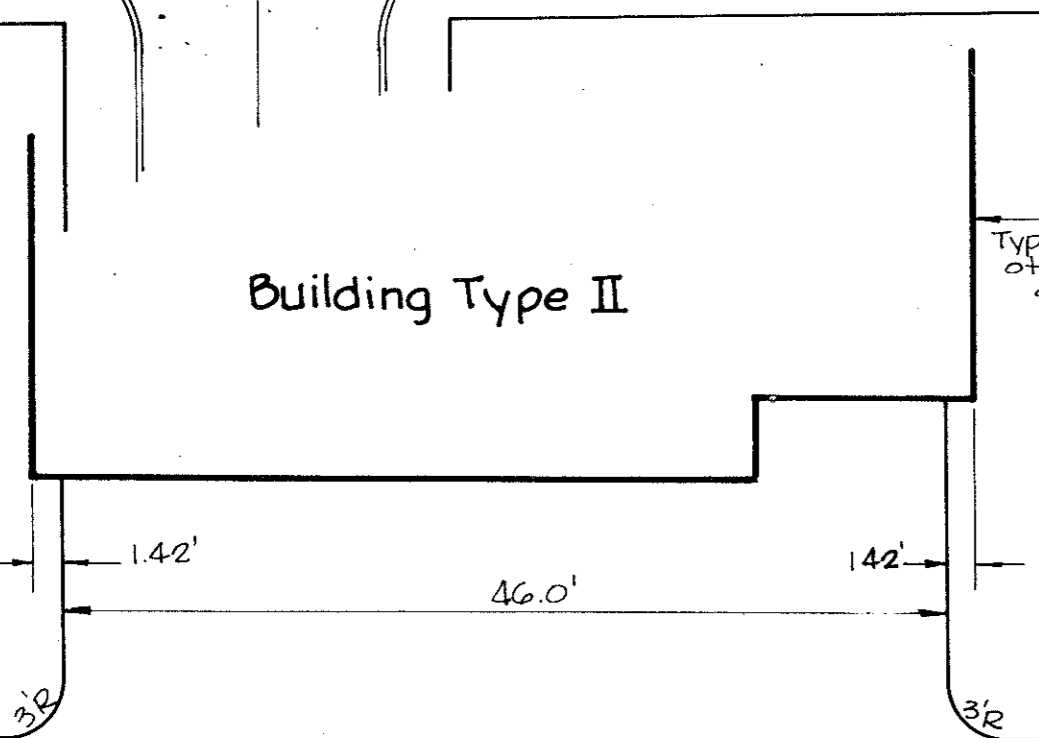
4 Curve Data
 $\Delta = 08^{\circ}10'16''$
 $R = 1080.00'$
 $T = 77.14'$
 $L = 154.02'$
 $C = 153.89'$
 $S 67^{\circ}01'53'' W$

4 Curve Data
 $\Delta = 26^{\circ}56'00''$
 $R = 450.00'$
 $T = 107.76'$
 $L = 211.53'$
 $C = 209.59'$
 $S 76^{\circ}24'45'' W$

389°52'45" W 448.32'
 (CONC. P.V.M.T. 31' B-B)
BELTWAY DRIVE

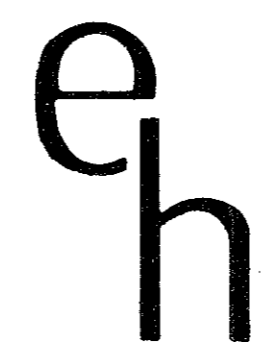
GENERAL NOTES

1. All pavement dimensions are to face of curb.
2. All curb radii are shown on Paving Plan.
3. All building ties are 90° to the centerline.



NO.	REVISION	BY	DATE

DESIGNED BY: _____
 DRAWN BY: _____
 CHECKED BY: _____
 SCALE: 1" = 30'
 DATE: _____


ESPEY, HUSTON & ASSOCIATES, INC.
 Engineering & Environmental Consultants
 P. O. Box 402305, Dallas, TX 75240
 (214)669-9600

DIMENSIONAL CONTROL
PECAN SQUARE CONDOMINIUMS
 CITY OF ADDISON, DALLAS COUNTY, TEXAS
 FOR
PECAN SQUARE JOINT VENTURE

SHEET NO. **2**
 OF SHEETS
 JOB NO. **2201**

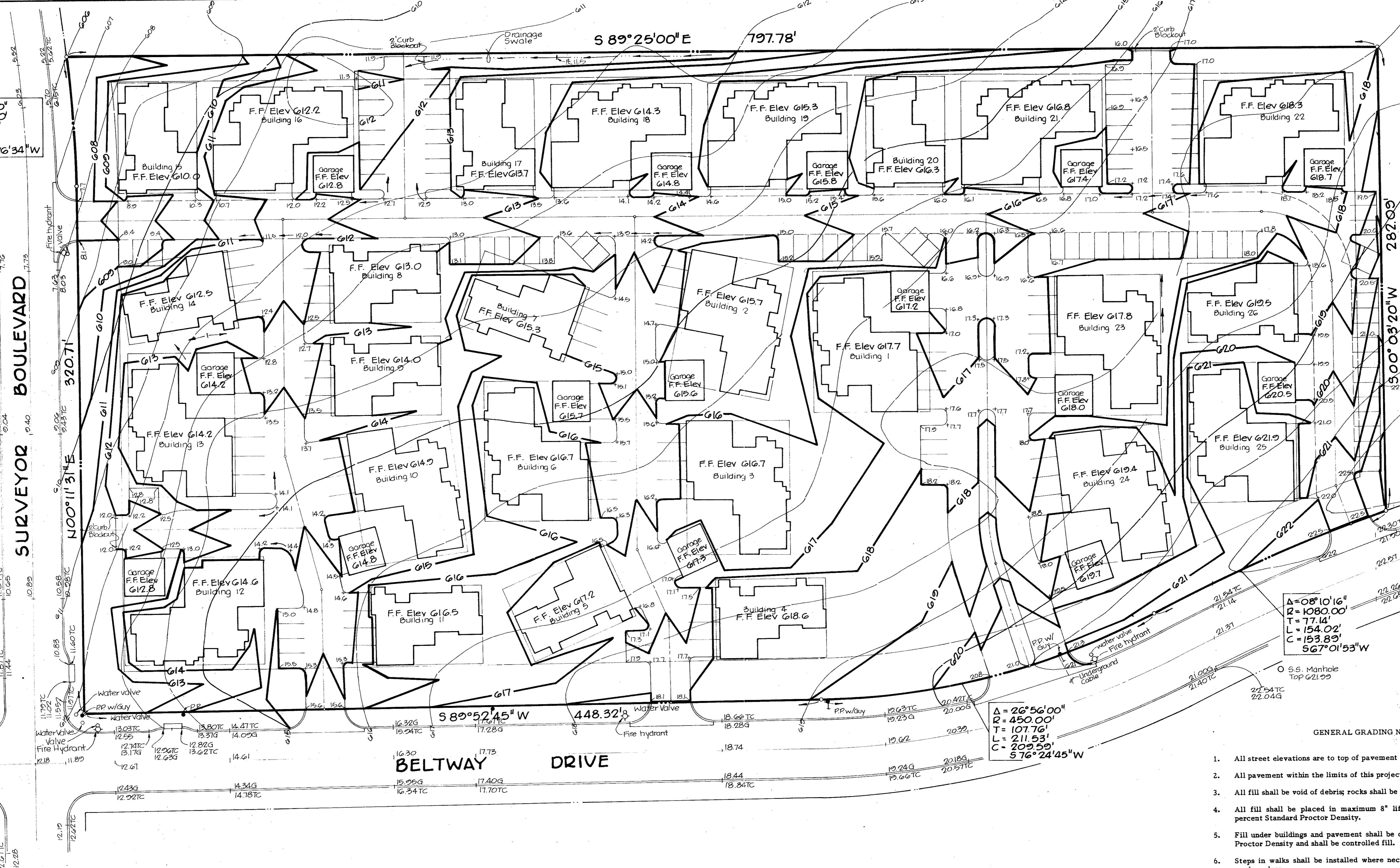
$\Delta = 07^{\circ}16'10''$
 $R = 630.00'$
 $T = 40.02'$
 $L = 79.93'$
 $C = 79.88'$
 $N 03^{\circ}26'34'' W$

SURVEYOR BOULEVARD
 $100^{\circ}11'31'' E$
 $320.71'$

$S 89^{\circ}25'00'' E$
 $797.78'$

$\Delta = 08^{\circ}10'16''$
 $R = 1080.00'$
 $T = 77.14'$
 $L = 154.02'$
 $C = 153.89'$
 $S 67^{\circ}01'53'' W$

$\Delta = 26^{\circ}56'00''$
 $R = 450.00'$
 $T = 107.76'$
 $L = 211.53'$
 $C = 209.59'$
 $S 76^{\circ}24'45'' W$



LEGEND

- Existing Contour
- Proposed Contour
- Proposed TC Elevation (Unless noted, or existing offsite)
- Flow Arrow

BENCHMARKS

NORTH RIM OF MANHOLE IN E. OF MORMAN LANE
ELEV 621.66

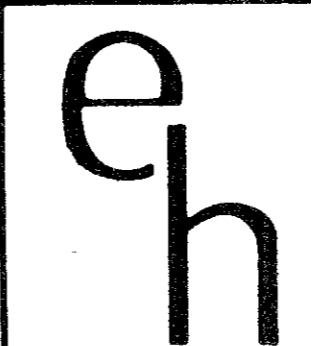
MOST SOUTHERLY TOP FLANGE BOLT ON FIRE HYDRANT 330'± EAST OF N.E. INTERSECTION OF SURVEYOR BOULEVARD & BELTWAY DRIVE
ELEV 620.21

GENERAL GRADING NOTES

1. All street elevations are to top of pavement unless otherwise noted.
2. All pavement within the limits of this project is proposed.
3. All fill shall be void of debris; rocks shall be size 6" diameter or smaller.
4. All fill shall be placed in maximum 8" lifts and shall be compacted to 95 percent Standard Proctor Density.
5. Fill under buildings and pavement shall be compacted to 95 percent Standard Proctor Density and shall be controlled fill.
6. Steps in walks shall be installed where necessary to keep walks to 5 percent grade or less.
7. Refer to approved architect plans prior to staking final building pads.
8. Refer to approved utility plans prior to staking final grades.
9. Field construction shall be in accordance with latest approved architectural and engineering plans and governing specifications.
10. All excess excavated material and strippings shall become the property of the contractor and shall be disposed of in a proper manner off the project site.

NO	REVISION	BY	DATE

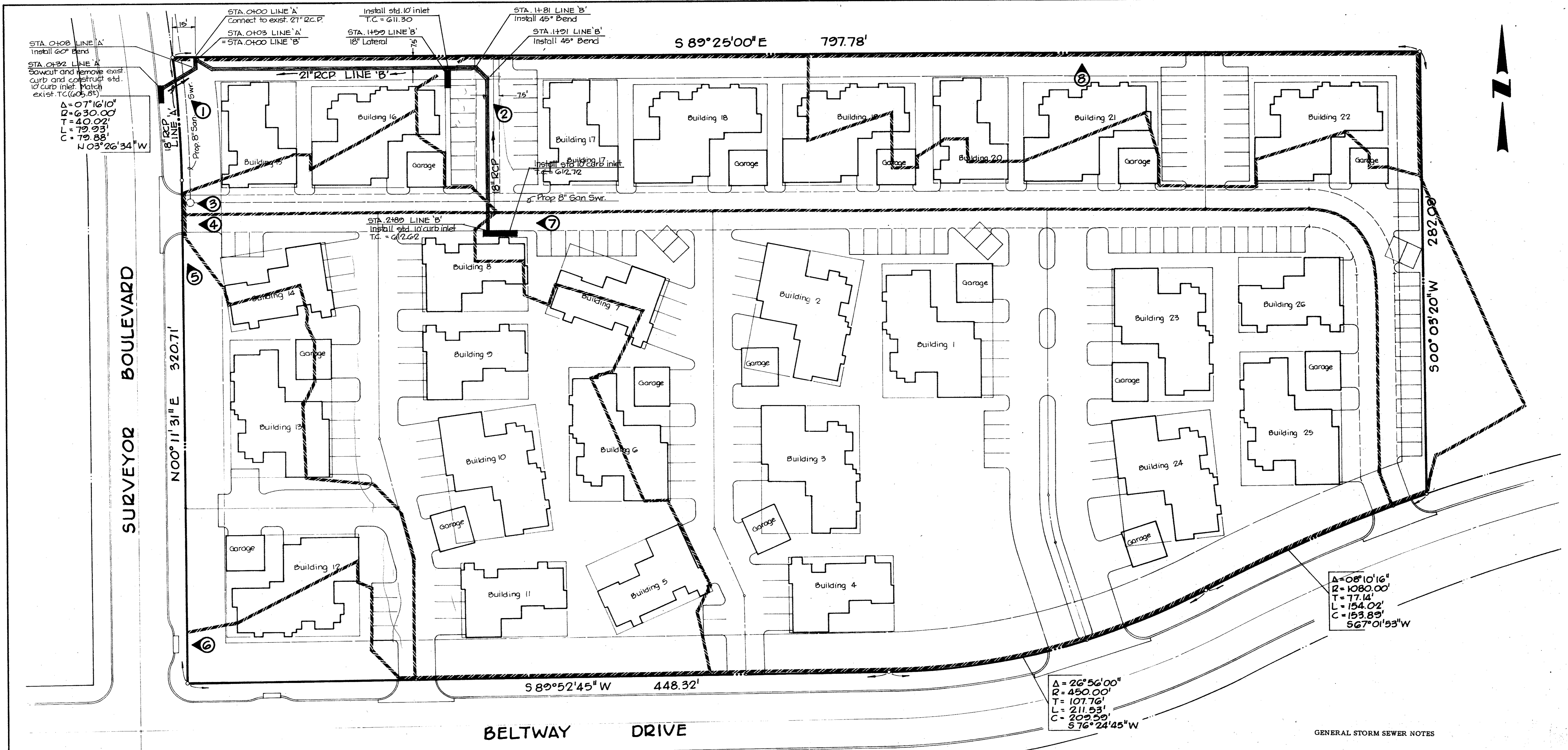
DESIGNED BY _____
 DRAWN BY *L. Anderson*
 CHECKED BY _____
 SCALE: 1" = 30'
 DATE _____



ESPEY, HUSTON & ASSOCIATES, INC.
 Engineering & Environmental Consultants
 P. O. Box 402305, Dallas, TX 75240
 (214) 669-9600

GRADING PLAN
PECAN SQUARE CONDOMINIUMS
 CITY OF ADDISON, DALLAS COUNTY, TEXAS
 FOR
PECAN SQUARE JOINT VENTURE

SHEET NO. **3**
 OF _____ SHEETS
 JOB NO. **2201**



STA. 0+08 LINE 'A'
Install 60° Bend
STA. 0+32 LINE 'A'
Sawcut and remove exist.
curb and construct std.
10' curb inlet. Match
exist. T.C. (605.85)
 $\Delta = 07^{\circ}16'10''$
 $R = 630.00'$
 $T = 40.02'$
 $L = 79.93'$
 $C = 79.88'$
 $N 03^{\circ}26'34'' W$

SURVEYOR BOULEVARD

320.71'
N 00° 11' 31" E

S 89° 25' 00" E 797.78'

S 89° 52' 45" W 448.32'

BELTWAY DRIVE

282.08'
S 00° 03' 20" W

$\Delta = 08^{\circ}10'16''$
 $R = 1080.00'$
 $T = 77.14'$
 $L = 154.02'$
 $C = 153.83'$
 $S 67^{\circ}01'53'' W$

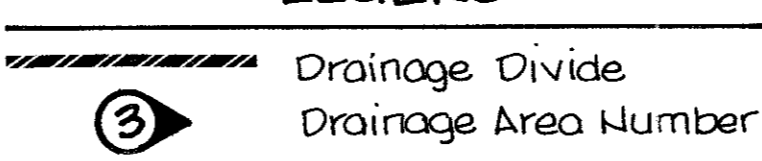
$\Delta = 26^{\circ}56'00''$
 $R = 450.00'$
 $T = 107.76'$
 $L = 211.53'$
 $C = 209.59'$
 $S 76^{\circ}24'45'' W$

GENERAL STORM SEWER NOTES

- All materials and workmanship shall conform to the City of Addison Standards and Specifications.
- All fill shall be compacted to 95 percent Standard Proctor Density in a maximum of eight (8) inch lifts.
- Class III C-76 Reinforced Concrete Pipe shall be used on all storm sewer systems.
- Concrete cushion will be provided when rock is encountered in storm sewer trenches.

Drainage Area Number	Runoff Coefficient	Intensity (100 yr.)	Area (Acres)	Flow (c.f.s.)
1	0.75	7.8	0.26 (inc. ROW)	1.52
2	0.75	7.8	1.15	6.61
3	0.75	7.8	0.14	0.82
4	0.75	7.8	1.32	7.72
5	0.75	7.8	0.55 (inc. ROW)	3.22
6	0.75	7.8	0.20 (inc. ROW)	1.17
7	0.75	7.8	2.99	17.49
8	0.75	7.8	0.58	3.39

LEGEND



BENCHMARKS

NORTH RIM OF MANHOLE IN E. OF MORMAN LANE.
ELEV. 621.66
MOST SOUTHERLY TOP FLANGE BOLT ON FIRE HYDRANT 330' ± EAST OF N.E. INTERSECTION OF SURVEYOR BOULEVARD & BELTWAY DRIVE.
ELEV. 620.21

NO.	REVISION	BY	DATE

DESIGNED BY _____
DRAWN BY *L. Henderson*
CHECKED BY _____
SCALE: 1" = 30'
DATE _____

eh ESPEY, HUSTON & ASSOCIATES, INC.
Engineering & Environmental Consultants
P.O. Box 402305, Dallas, TX 75240
(214)669-9600

DRAINAGE PLAN
PECAN SQUARE CONDOMINIUMS
CITY OF ADDISON, DALLAS COUNTY, TEXAS
FOR
PECAN SQUARE JOINT VENTURE

SHEET NO. **4**
OF _____ SHEETS
JOB NO. **2201**

S 89°25'00"E 797.78'



Δ = 07°16'10"
R = 630.00'
T = 40.02'
L = 79.93'
C = 79.83'
N 03°26'34"W

STA. 0+00
Tie to existing 8"
sewer Main
Rt. Elev. 527.15

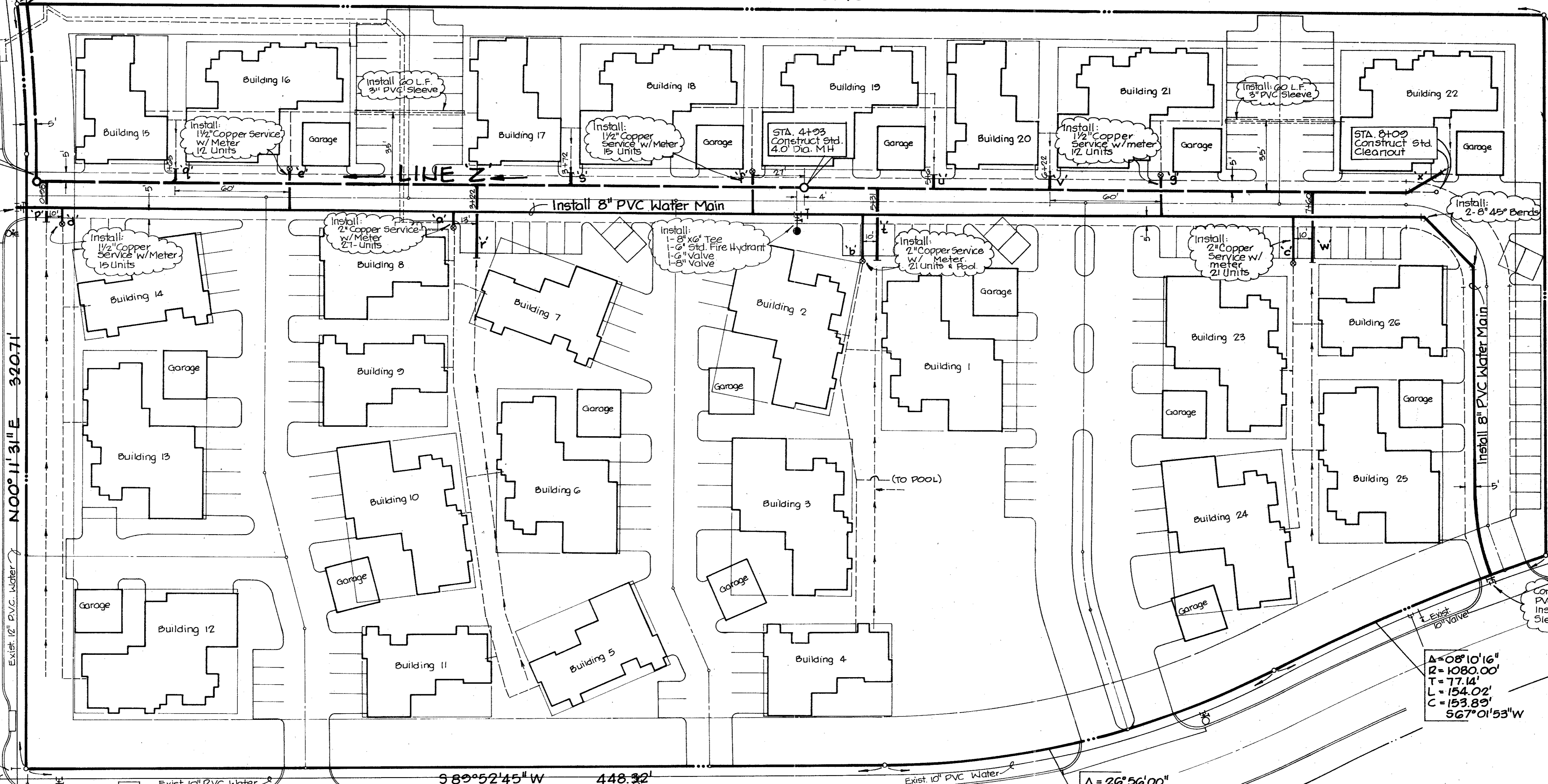
STA. 0+33
Construct Std.
4.0' Dia. MH

Connect to Exist. 12"
PVC Water Main
Install: 12"x8" Tapping
Sleeve w/8" Valve

SURVEYOR BOULEVARD

320.71'
N 00°11'31"E

Exist. 12" PVC Water
Exist. 12" Valve
Exist. 10" Valve
Exist. 10" PVC Water



282.09'
500°03'20"W

Δ = 08°10'16"
R = 1080.00'
T = 17.14'
L = 154.00'
C = 153.89'
S 67°01'53"W

BELTWAY DRIVE

S 89°52'45"W 448.32'

Δ = 26°56'00"
R = 450.00'
T = 107.76'
L = 211.53'
C = 202.59'
S 76°24'45"W

GENERAL SPECIFICATIONS FOR WATER AND SANITARY SEWER IMPROVEMENTS

1. UNLESS OTHERWISE NOTED, ALL MATERIAL, CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO THE STANDARD SPECIFICATIONS OF THE CITY OF ADDISON. IN THE EVENT AN ITEM IS NOT COVERED IN THE CITY OF ADDISON SPECIFICATIONS, THE CITY ENGINEER'S DECISION SHALL APPLY.
2. ALL WATER LINES MUST BE S.D.R. 18 P.V.C.
3. ALL CAST IRON FITTINGS SHALL BE OF THE MECHANICAL JOINT TYPE OR SLIP JOINT AND SHALL BE CLASS D, OR CLASS 250 ON SIZES 12" AND SMALLER IN ACCORDANCE WITH A.W.W.A. SPECIFICATION C-110-64 AND C-111-64.
4. ALL WATER MAINS 8" IN SIZE SHALL HAVE A MINIMUM COVER OF 42" OR SUFFICIENT COVER TO CLEAR OTHER UTILITIES.
5. FIRE HYDRANTS SHALL BE PLACED 2 FEET FROM BACK OF CURB LOCATED AS SHOWN ON PLANS.
6. FIRE HYDRANTS SHALL BE MUELLER "CENTURION HYDRANTS" OR APPROVED EQUAL, AND COLOR CODED.
7. GATE VALVES SHALL BE MUELLER OR CLOW BRAND.
8. ALL WATER AND SANITARY SEWER MAINS AND SERVICES SHALL HAVE A 10 FOOT MINIMUM LATERAL SEPARATION.
9. ALL SANITARY SEWER LATERALS SHALL INCLUDE 6" P.V.C. WYE, BEND, PIPE AND STOPPER INSTALLED TWO (2) FEET BEYOND THE BACK OF CURB, EXCEPT AS SHOWN ON PLAN.
10. ALL WATER SERVICES SHALL BE INSTALLED TWO (2) FEET BEYOND THE BACK OF CURB, EXCEPT AS SHOWN ON PLAN.
11. TRACER WIRE MUST BE NO. 12 COPPER, PLASTIC COATED, OR EQUAL, PLACED IN THE TRENCH ABOVE ALL WATER LINES.
12. FIRE HYDRANTS SHALL BE COLOR CODED TO CONFORM WITH STATE INSURANCE BOARD COLOR-CODING. (BONNET & OPERATING NUT ONLY) COLORS ARE AS FOLLOWS:
6" - SILVER
8" - BLUE
10" OR LARGER - YELLOW
13. ALL SANITARY SEWER MAINS SHALL BE S.D.R. 35 P.V.C. UNLESS OTHERWISE SPECIFIED, AND HAVE RUBBER GASKET JOINTS.
14. SANITARY SEWER MANHOLES MUST BE CONCRETE POURED IN PLACE.
15. TAPPING SLEEVE AND VALVE SHALL BE MUELLER OR CLOW BRAND.
16. BEDDING MATERIAL FOR WATER AND SEWER PIPE SHALL BE SAND PLACED 6" BELOW, AROUND AND 6" ABOVE THE PIPE.
17. ALL WATER SERVICES 2" AND SMALLER SHALL BE COPPER AND LOCATED AS SHOWN. SIZED AND REFERENCED AS FOLLOWS:
2" - 'a', 'b' and 'c'
1 1/2" - 'd', 'e', 'f' and 'g'
18. ALL SANITARY SEWER LATERALS SHALL BE LOCATED AS SHOWN. SIZED AND REFERENCED AS FOLLOWS:
6" - 'p', 'q', 'r', 's', 't', 'u', 'v', 'w' and 'x'
19. P.V.C. WATER PIPE - ON SERVICES 1" AND LARGER TAPPING SADDLES WILL BE USED.
20. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, ETC., MUST BE ADJUSTED TO PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER THE PLACING OF PERMANENT PAVING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE DURING THE CONSTRUCTION OF THE PAVING FOR THIS DEVELOPMENT.

NO.	REVISION	BY	DATE

DESIGNED BY _____
DRAWN BY *L. Henderson*
CHECKED BY _____
SCALE 1" = 30'
DATE _____

eh ESPEY, HUSTON & ASSOCIATES, INC.
Engineering & Environmental Consultants
P. O. Box 402305, Dallas, TX 75240
(214)669-9600

WATER & SEWER PLAN
PECAN SQUARE CONDOMINIUMS
CITY OF ADDISON, DALLAS COUNTY, TEXAS
FOR
PECAN SQUARE JOINT VENTURE

SHEET NO. **5**
OF SHEETS
JOB NO. **2201**



NO.	REVISION	BY	DATE

DESIGNED BY: _____
 DRAWN BY: L. Henderson
 CHECKED BY: _____
 SCALE: 1"=30'H. 1"=6'V.
 DATE: _____

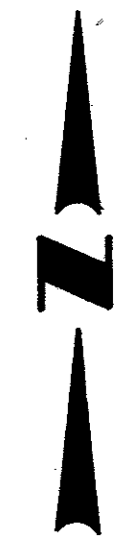
eh ESPEY, HUSTON & ASSOCIATES, INC.
 Engineering & Environmental Consultants
 P. O. Box 402305, Dallas, TX 75240
 (214) 669-9600

SANITARY & STORM SEWER PROFILE
PECAN SQUARE CONDOMINIUMS
 CITY OF ADDISON, DALLAS COUNTY, TEXAS
 FOR
PECAN SQUARE JOINT VENTURE

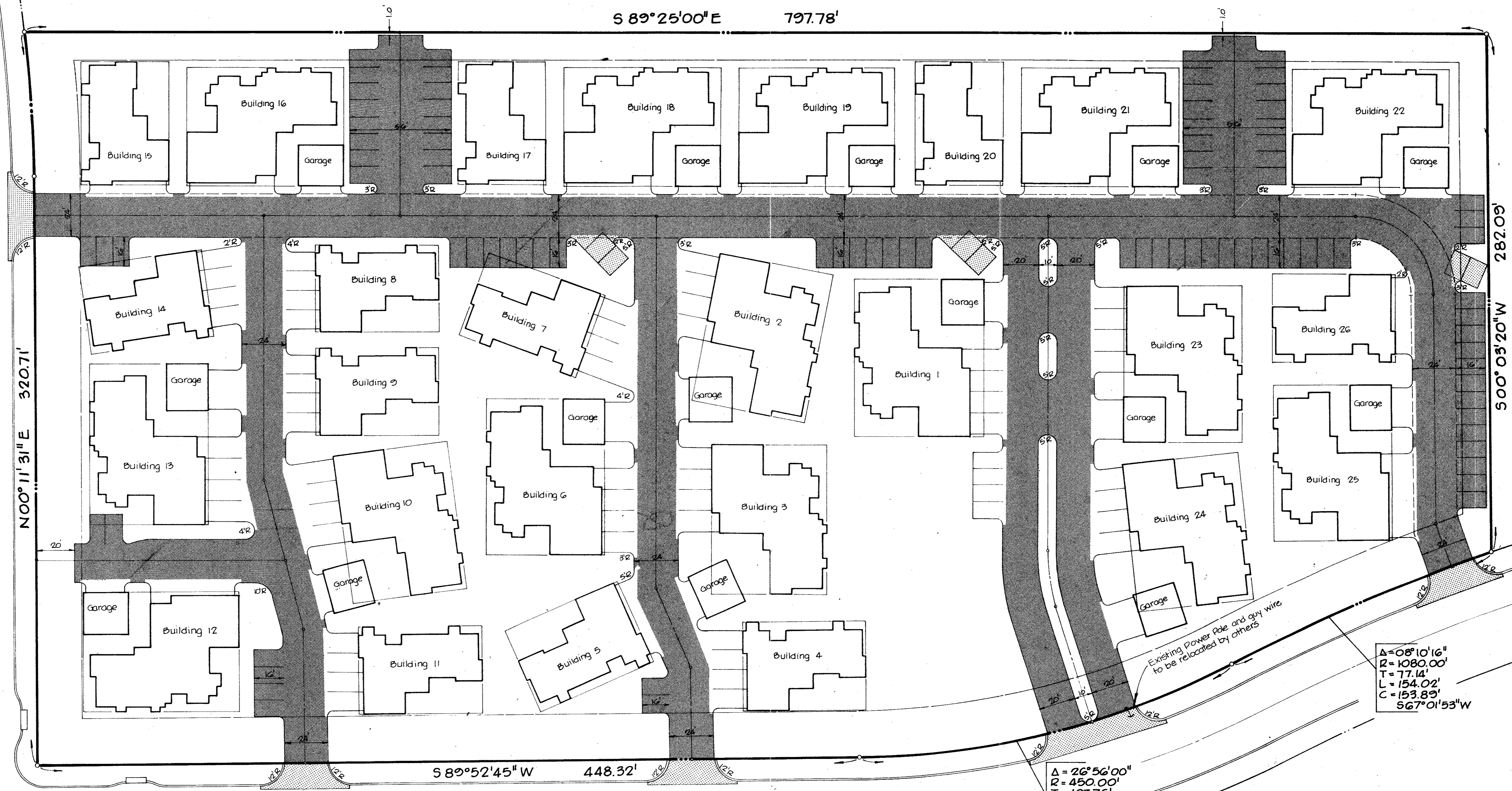
SHEET NO. **6**
 OF _____ SHEETS
 JOB NO. **2201**

$\Delta = 07^{\circ}16'10''$
 $R = 630.00'$
 $T = 40.02'$
 $L = 79.93'$
 $C = 79.88'$
 $N 03^{\circ}26'34'' W$

$S 89^{\circ}25'00'' E$ $797.78'$



SURVEYOR BOULEVARD



$N 00^{\circ}11'31'' E$ $320.71'$

$S 00^{\circ}03'20'' W$ $282.09'$

BELTWAY DRIVE

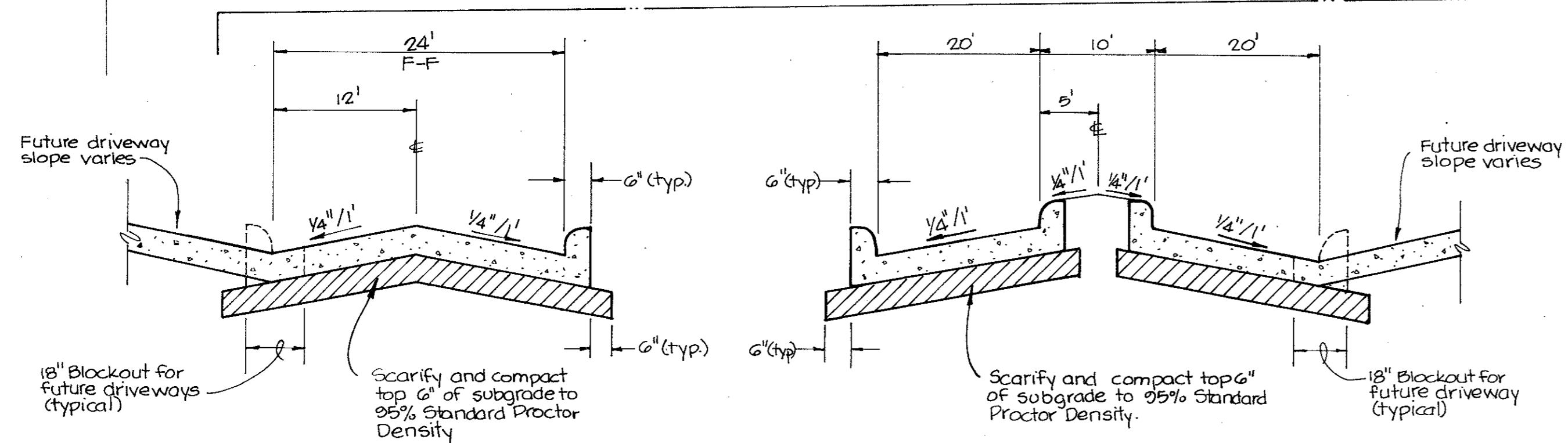
$S 89^{\circ}52'45'' W$ $448.32'$

$\Delta = 26^{\circ}56'00''$
 $R = 450.00'$
 $T = 107.76'$
 $L = 211.53'$
 $C = 209.59'$
 $S 76^{\circ}24'45'' W$

$\Delta = 08^{\circ}10'16''$
 $R = 1080.00'$
 $T = 77.14'$
 $L = 154.02'$
 $C = 153.83'$
 $S 67^{\circ}01'53'' W$

GENERAL PAVING NOTES

- Contractor to obtain required driveway permits and notify the City of Addison 48 hours prior to beginning construction within dedicated roadways.
- Sawcut and remove existing curb and pavement, expose and tie to existing steel. Blockout to be 18" typical measured from back of curb.
- All curb radii within project area to be 3' (face of curb) unless otherwise shown.



TYPICAL PAVING SECTIONS
NO SCALE

LEGEND

5" Thick - 3000 P.S.I. Concrete w/ #3 Bars @ 24" e.w. Control joints @ 25' O.C. Transversely 40' O.C. Longitudinally
 6" Thick - 3000 P.S.I. Concrete w/ #3 bars @ 12" e.w. on 4" sand pad

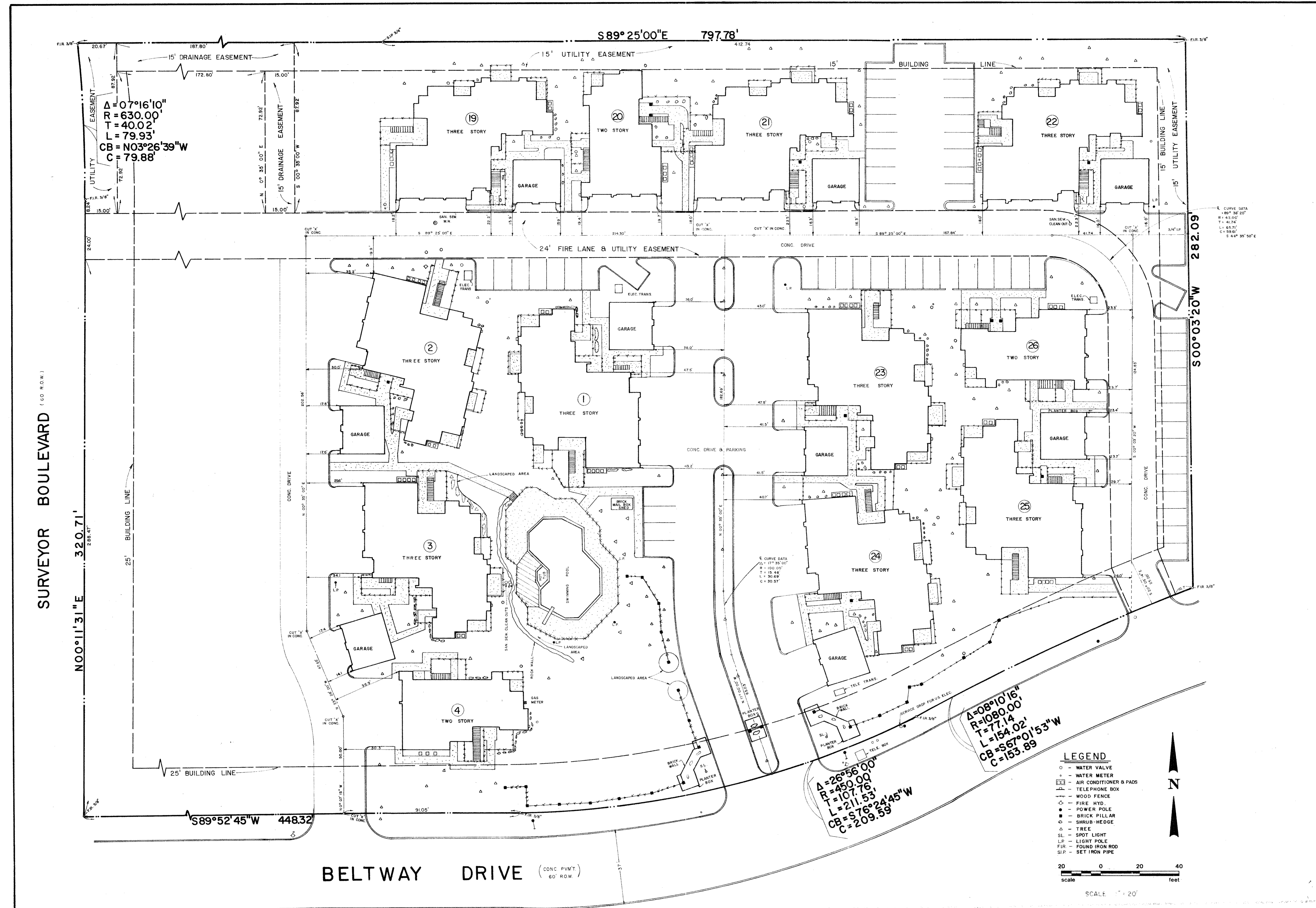
NO.	REVISION	BY	DATE

DESIGNED BY _____
 DRAWN BY _____
 CHECKED BY _____
 SCALE: 1" = 30'
 DATE _____

ESPEY, HUSTON & ASSOCIATES, INC.
 Engineering & Environmental Consultants
 P. O. Box 402305, Dallas, TX 75240
 (214)669-9600

PAVING PLAN
PECAN SQUARE CONDOMINIUMS
 CITY OF ADDISON, DALLAS COUNTY, TEXAS
 FOR
 PECAN SQUARE JOINT VENTURE

SHEET NO. **7**
 OF _____ SHEETS
 JOB NO. **2201**

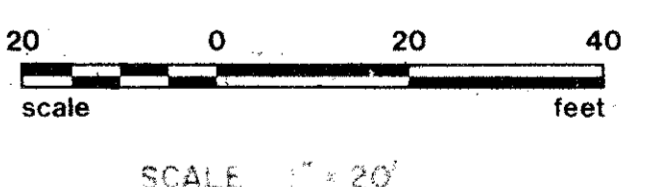


$\Delta = 07^{\circ}16'10''$
 $R = 630.00'$
 $T = 40.02'$
 $L = 79.93'$
 $CB = N03^{\circ}26'39''W$
 $C = 79.88'$

$\Delta = 08^{\circ}10'16''$
 $R = 1080.00'$
 $T = 77.14'$
 $L = 154.02'$
 $CB = S67^{\circ}01'53''W$
 $C = 153.89'$

$\Delta = 26^{\circ}56'00''$
 $R = 450.00'$
 $T = 107.76'$
 $L = 211.53'$
 $CB = S76^{\circ}24'45''W$
 $C = 209.59'$

- LEGEND**
- WATER VALVE
 - WATER METER
 - AIR CONDITIONER & PADS
 - ☐ TELEPHONE BOX
 - WOOD FENCE
 - ⊕ FIRE HYD.
 - POWER POLE
 - BRICK PILLAR
 - SHRUB-HEDGE
 - △ TREE
 - SL SPOT LIGHT
 - LP LIGHT POLE
 - FIR FOUND IRON ROD
 - SIP SET IRON PIPE



NOTES:

1. BOUNDARY AND EASEMENT INFORMATION SHOWN HEREON ARE AS PER THE FINAL PLAT OF PECAN SQUARE CONDOMINIUMS AS RECORDED BY VOLUME 82165 PAGE 1772 OF THE DEED RECORDS OF DALLAS COUNTY, TEXAS.
2. ALL DIMENSIONS SHOWN TO BUILDINGS ARE BASED ON TIES MADE AT GROUND LEVEL.

STATE OF TEXAS
COUNTY OF DALLAS

TO: Greenbelt Properties exclusively:
I, Paul Hubert, a Registered Public Surveyor for Espey, Huston & Associates, Inc., do hereby certify that the attached drawing represents the findings of a careful and accurate survey made on the ground under my direction and supervision during the month of October, 1983.

Paul Hubert
 Registered Public Surveyor
 Texas Registration No. 1942

DESIGNED BY:	
DRAWN BY:	R.C. ZALAKAR
CHECKED BY:	
SCALE:	1" = 20'
DATE:	OCTOBER, 1983
NO.	REVISION
1	REVISED BLDG. 2 & 3 FROM 2 STORY TO 3 STORY
	BY R.C.Z. 12-9-83
	DATE

DESIGNED BY: _____
 DRAWN BY: R.C. ZALAKAR
 CHECKED BY: _____
 SCALE: 1" = 20'
 DATE: OCTOBER, 1983


ESPEY, HUSTON & ASSOCIATES, INC.
 Engineering & Environmental Consultants
 333 W. Campbell Road Richardson, Texas 75080
 (214) 669-9600

AS BUILT SURVEY
 PHASE 1 & 2
PECAN SQUARE CONDOMINIUMS
 CITY OF ADDISON, DALLAS COUNTY, TEXAS
 FOR
GREENBELT PROP.

SHEET NO.	
OF SHEETS	
FILE NO.	4051