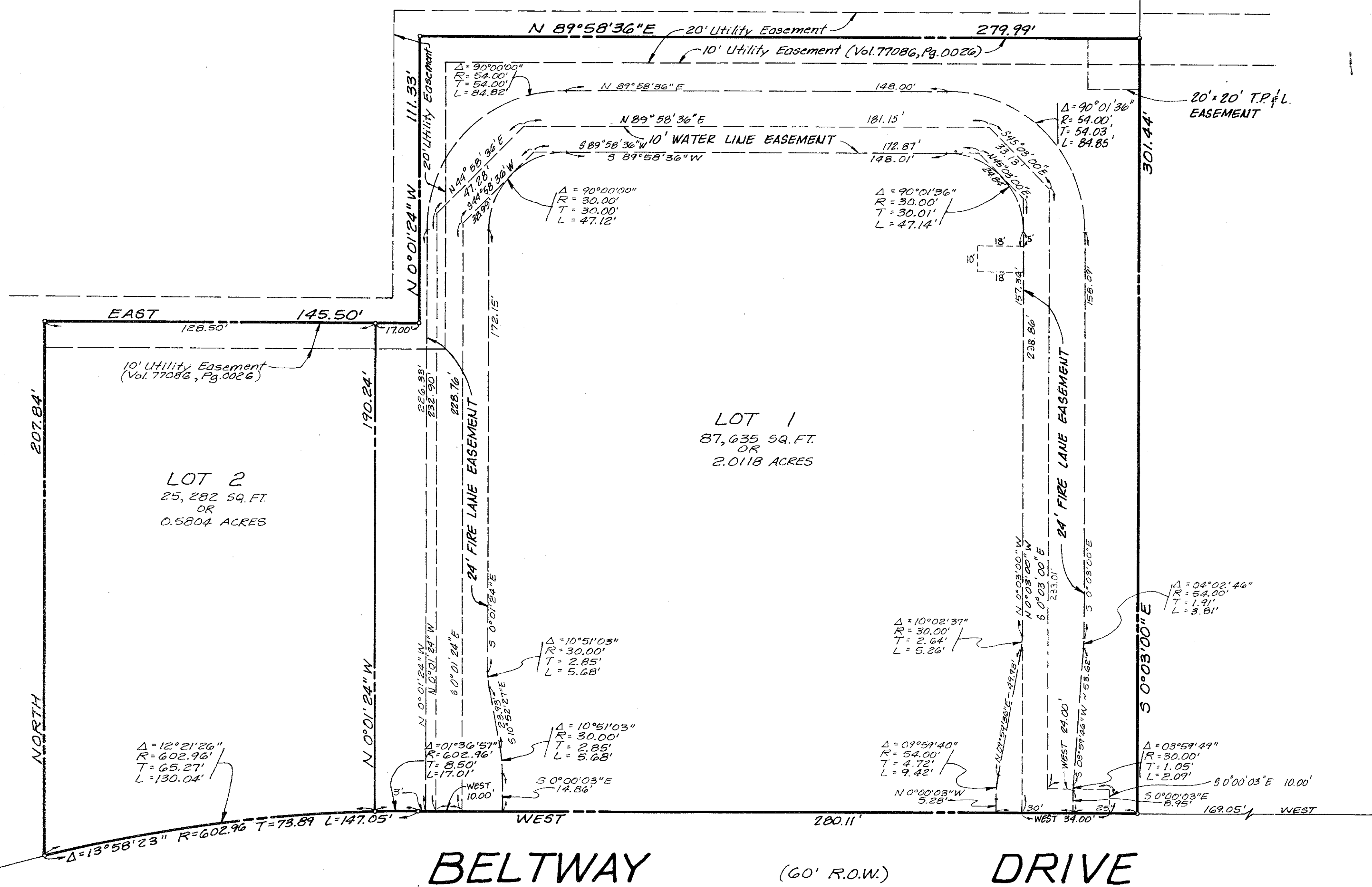
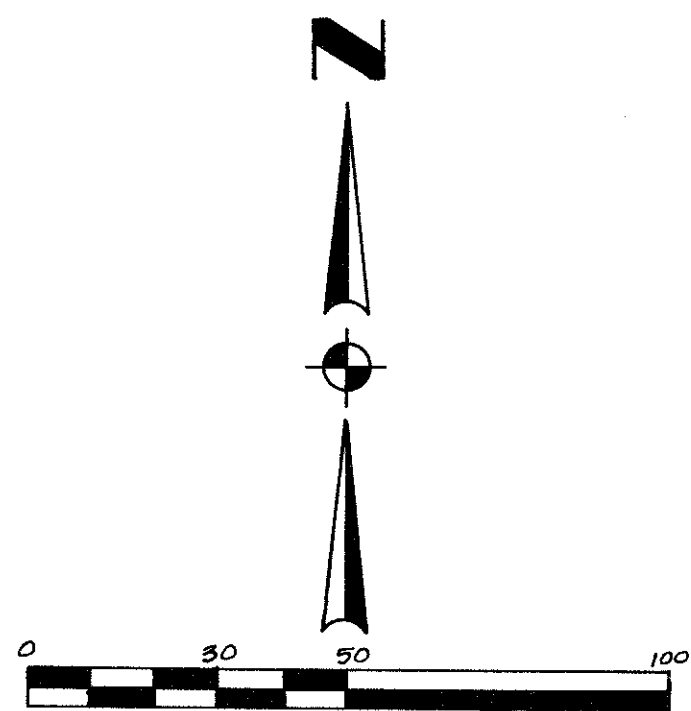


LOCATION MAP



NOTE: ALL ON-SITE UTILITIES SHALL BE PLACED UNDERGROUND

BELTWAY (60' R.O.W.) DRIVE

LOT 1

BEING a tract of land out of the Elisha Fike Survey, Abstract No. 478, in the City of Addison, Dallas County, Texas, and also being part of Beltway Office Park, Tract III, an addition to the City of Addison, as recorded in Volume 77086, Page 0026, Deed Records of Dallas County, Texas, and being more particularly described as follows:

COMMENCING at the point of intersection of the northerly right-of-way line of Beltway Drive (60 foot right-of-way) with the westerly right-of-way line of Beltway Drive (60 foot right-of-way);

THENCE due West, along the said northerly right-of-way line of Beltway Drive, a distance of 169.05 feet to an iron rod found at THE POINT OF BEGINNING;

THENCE due West, along the said northerly right-of-way line of Beltway Drive, a distance of 280.11 feet to an iron rod found at the point of tangency of a circular curve to the left having a radius of 602.96 feet;

THENCE Southwesterly, along said circular curve to the left, continuing along the said northerly right-of-way line of Beltway Drive, through a central angle of 14°12'47" an arc distance of 149.57 feet to an iron rod set for a corner;

THENCE North 0°01'24" West, departing the said northerly right-of-way line of Beltway Drive, a distance of 208.52 feet to an iron rod set for a corner, said point being on the centerline of a 20-foot utility easement as recorded in Volume 77086, Page 0026, Deed Records of Dallas County, Texas;

THENCE due East, continuing along said centerline, a distance of 148.03 feet to an iron rod found for a corner;

THENCE North 0°01'24" West, continuing along said centerline, a distance of 111.33 feet to an iron rod found for a corner;

THENCE North 89°58'36" East, continuing along said centerline, a distance of 279.99 feet to an iron rod found for a corner;

THENCE South 0°03'00" East, departing said centerline, a distance of 301.44 feet to THE POINT OF BEGINNING AND CONTAINING 87,635 square feet or 2.0118 acres of land more or less.

LOT 2

BEING a tract of land out of the Elisha Fike Survey, Abstract No. 478, in the City of Addison, Dallas County, Texas, and also being part of Beltway Office Park, Tract III, an addition to the City of Addison, as recorded in Volume 77086, Page 0026, Deed Records of Dallas County, Texas, and being more particularly described as follows:

COMMENCING at the point of intersection of the northerly right-of-way line of Beltway Drive (60 foot right-of-way) with the westerly right-of-way line of Beltway Drive (60 foot right-of-way);

THENCE due West, along the said northerly right-of-way line of Beltway Drive, a distance of 449.16 feet to the point of tangency of a circular curve to the left having a radius of 602.96 feet;

THENCE Southwesterly, along said circular curve to the left, continuing along the said northerly right-of-way line of Beltway Drive, through a central angle of 01°36'57" an arc distance of 17.01 feet to THE POINT OF BEGINNING;

THENCE Southwesterly, continuing along said circular curve to the left, through a central angle of 12°21'26" an arc distance of 130.04 feet to a corner;

THENCE due North, departing the said northerly right-of-way line of Beltway Drive, a distance of 207.84 feet to a point on a corner, said point being on the north line of an existing 16-foot utility easement as recorded in Volume 77086, Page 0026, Deed Records of Dallas County, Texas;

THENCE due East, along the north line of said utility easement, a distance of 128.50 feet to a point a corner;

THENCE South 0°01'24" East, departing the north line of said utility easement, a distance of 190.24 feet to THE POINT OF BEGINNING AND CONTAINING 25,282 square feet or 0.5804 acres of land more or less.

NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS, THAT FOXHILL HOLDING COMPANY, INC., does hereby adopt this plat as "HAMPTON INN HOTEL" in addition to the City of Addison, Texas, and do hereby dedicate to the public use forever the streets and alleys shown hereon. The easements as shown are hereby reserved for the purposes as indicated. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the utility easements as shown. Said utility easements being hereby reserved for the actual use and accommodation of all public utilities desiring to use or using same.

All and any public utility shall have the right to remove and keep reserved all or parts of any building, fences, shrubs, trees or other improvements or growths which may endanger or interfere with the construction, maintenance or efficiency of its respective systems on the utility easements and all public utilities shall at all times have the full right of ingress and egress to or from and upon the said utility easements for the purpose of constructing, reconstructing, inspecting, retreating, maintaining and adding to or removing all or part of its respective system without the necessity at any time of procuring the permission of anyone.

This plat approved subject to all planning ordinances, rules, regulations and resolutions of the City of Addison, Texas.

WITNESS MY HAND at Dallas, Texas, this _____ day of _____, 1985.

ATTEST: _____
Executive Vice President

STATE OF TEXAS
COUNTY OF DALLAS

BEFORE ME, the undersigned, a Notary Public in and for Dallas County, Texas, on this day personally appeared G. Huston Bell, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that the same was the act of the said Foxhill Holding Company, Inc., a corporation, and that he executed the same as the act of such corporation for the purposes and consideration therein expressed, and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this _____ day of _____, 1985.

Notary Public, Dallas County, Texas

Certificate of Approval
Approved this _____ day of _____, 1985, by the planning and zoning commission of the City of Addison, Texas.
City Secretary: Jacque Kruse Mayor: Jerry Redding

SURVEYOR'S CERTIFICATE
This is to certify that I, Raul Wong, Jr., a Registered Public Surveyor of the State of Texas, have platted the above subdivision from an actual survey on the ground; and that all lot corners, angle points, and points of curve shall be properly marked on the ground, and that this plat correctly represents that survey made by me, or under my supervision.

STATE OF TEXAS
COUNTY OF DALLAS
BEFORE ME, the undersigned authority, on this day personally appeared RAUL WONG, JR., known to me to be the person whose name is subscribed to the above and foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration expressed and in the capacity therein stated.
GIVEN UNDER MY HAND AND SEAL OF OFFICE on this _____ day of _____, 1985.

RAUL WONG, JR.
REGISTERED PUBLIC SURVEYOR
TEXAS
No. 2958

Notary Public, Dallas County, Texas

FINAL PLAT
OF
HAMPTON INN HOTEL
LOT 1 & LOT 2
OUT OF THE
BELTWAY OFFICE PARK ADDITION
ELISHA FIKE SUR. ABST#478
CITY OF ADDISON, DALLAS COUNTY, TEXAS
FOR
FOXHILL HOLDING COMPANY, INC.
2777 STEMMONS FREEWAY, DALLAS, TX 75205
BY
ALBERT H. HALFF ASSOCIATES, INC. - ENGINEERS
8614 NORTHWEST PLAZA, DALLAS, TEXAS 75225
SCALE: 1" = 30' A.V.D. 8001 MARCH, 1985