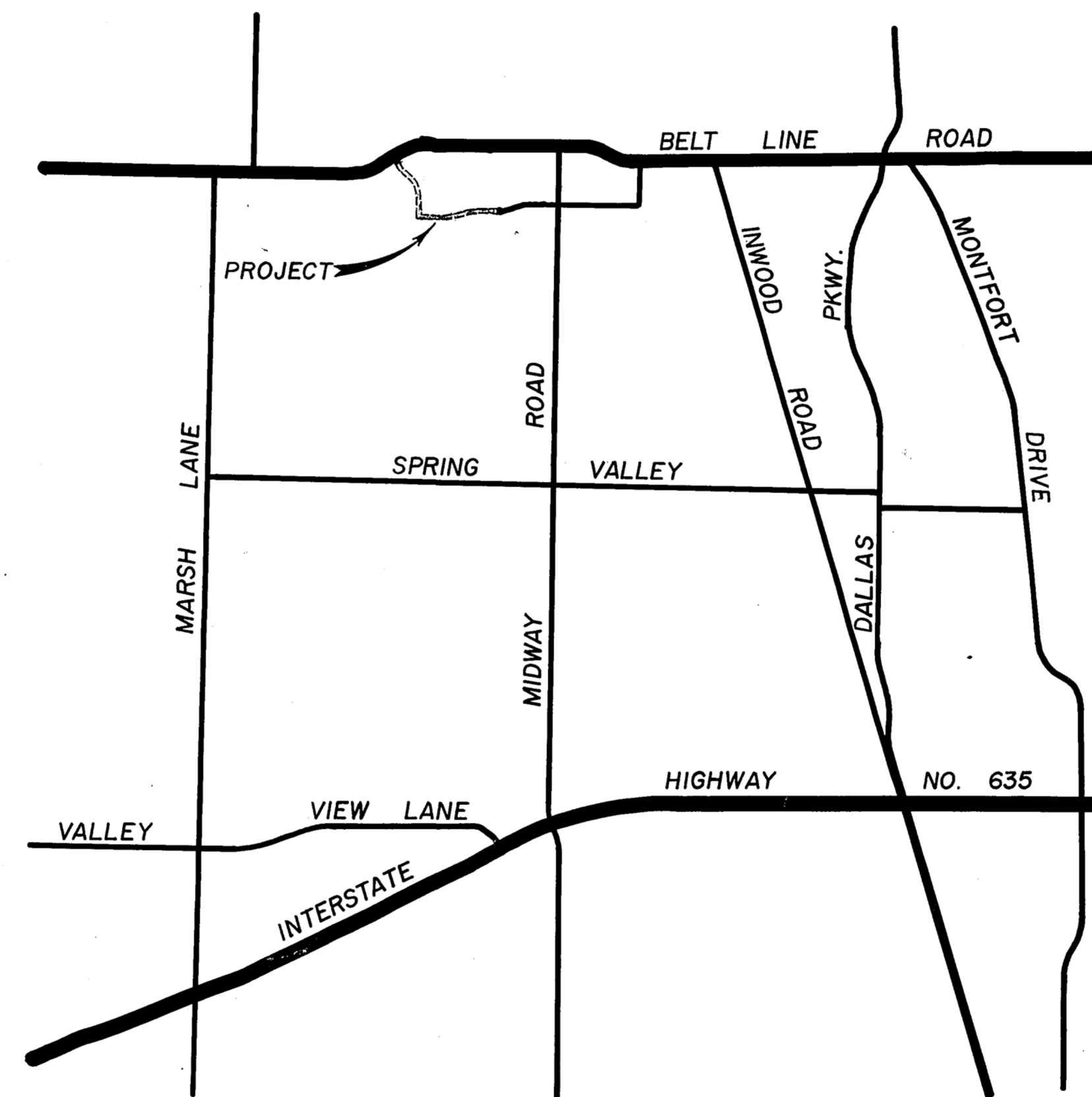
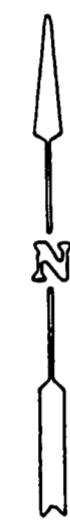


DEVELOPMENT PLANS
FOR

BELTWAY DRIVE & SURVEYOR BLVD.

GENERAL NOTES

1. All street and alley intersections and connections shall be built by the developer.
2. Excavation from streets to be deposited in low areas to allow proper drainage.
3. All existing ditches, except as noted on drainage plans, are to be filled to conform to surrounding terrain.
4. It will be the responsibility of the developer and/or the contractor to protect and maintain to proper line and grade all public utilities, manholes, cleanouts, valve boxes, fire hydrants, etc. during the construction of this project, prior to and after placing permanent pavement.
5. All materials and workmanship shall conform to the City Standards and Specifications.



INDEX

SHEET NO.	DESCRIPTION
2	Final Plat
3	Drainage Map
4-5	Paving Plans and Profiles
6-7	Storm Sewer
8	Water & Sewer Plan and Profile

PREPARED FOR

BENCHMARK PROPERTIES, INC.

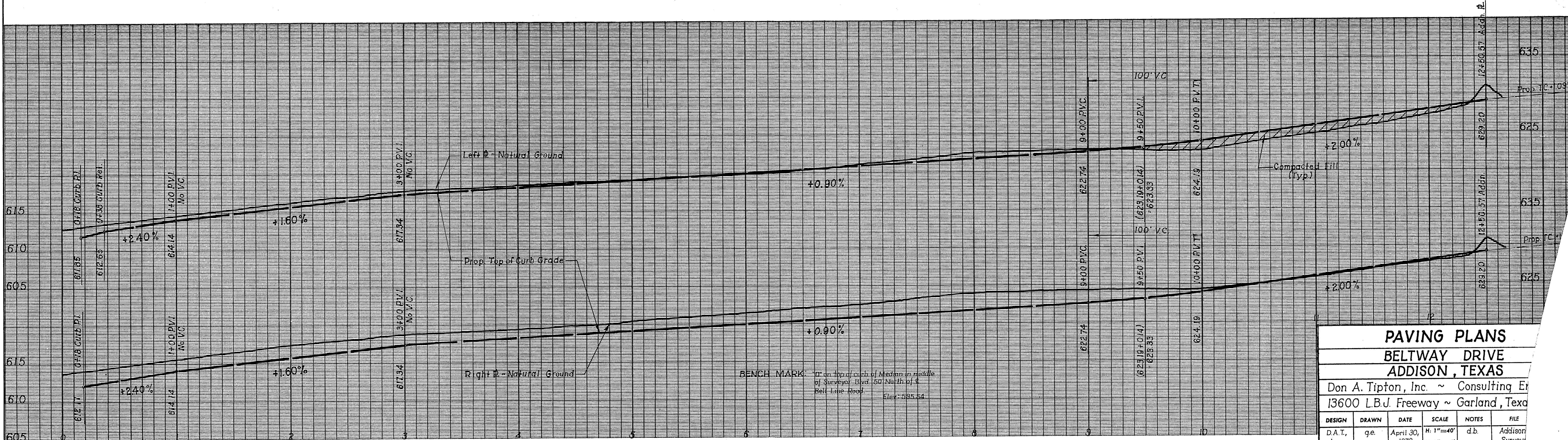
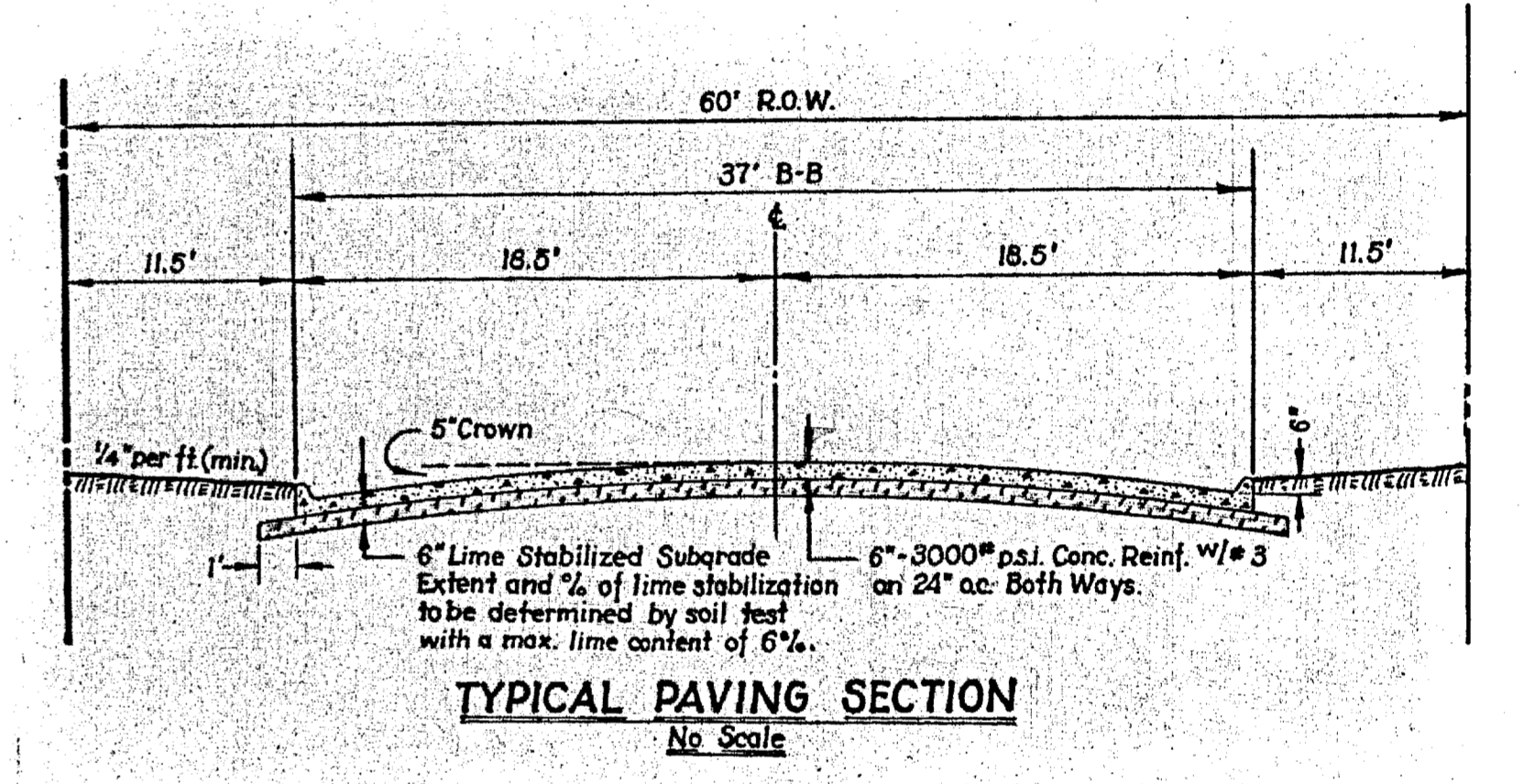
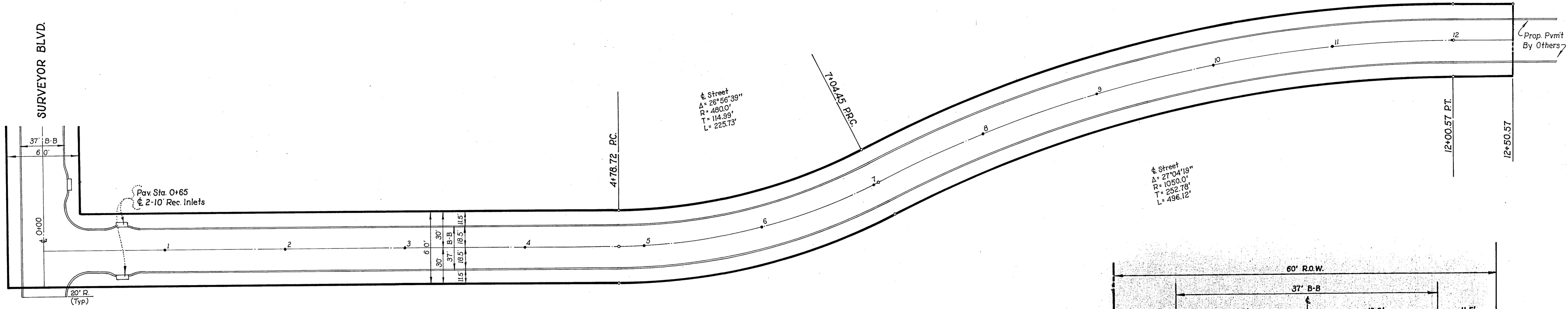
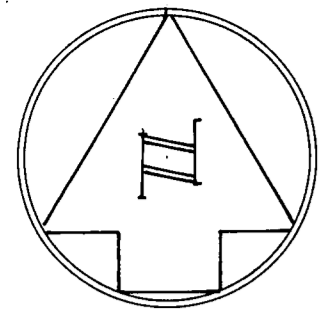
CORPORATE REALTY 71

DON A. TIPTON, INC.

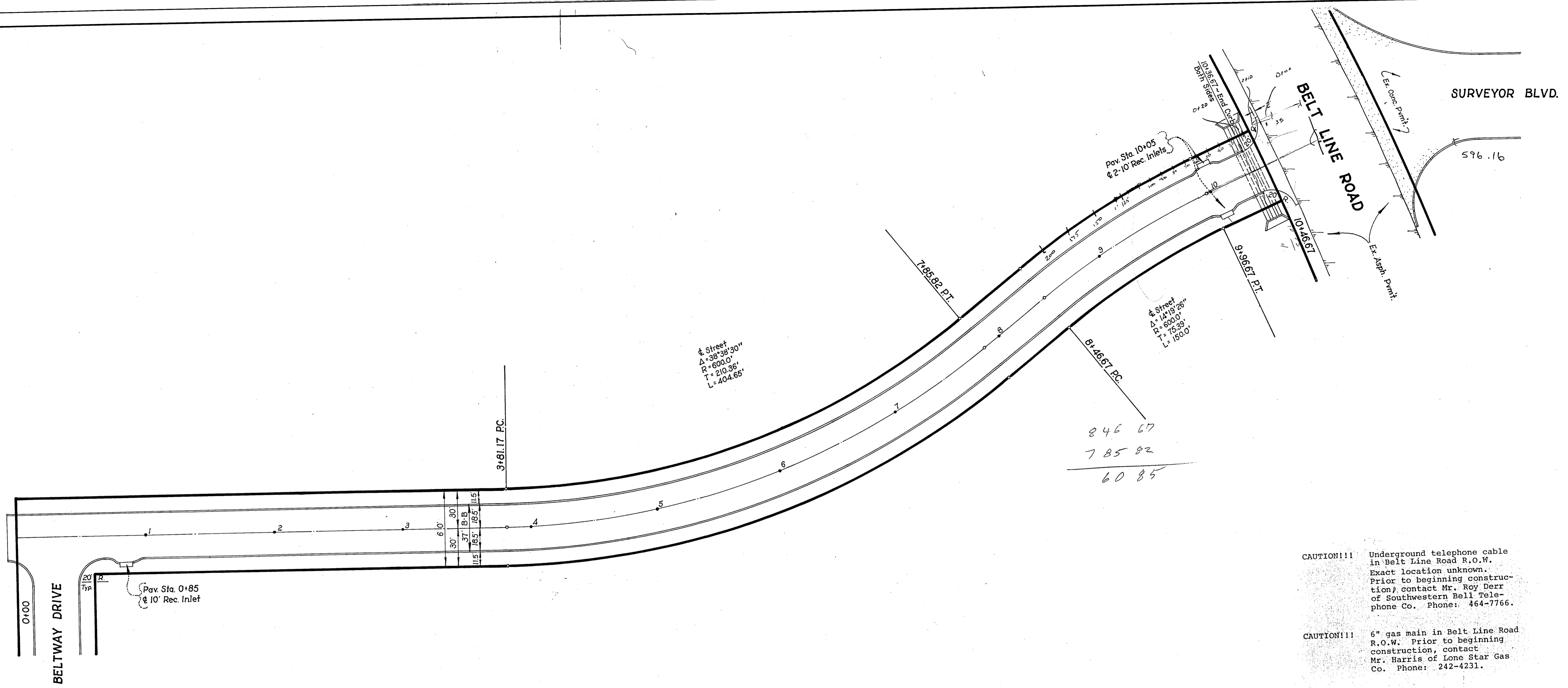
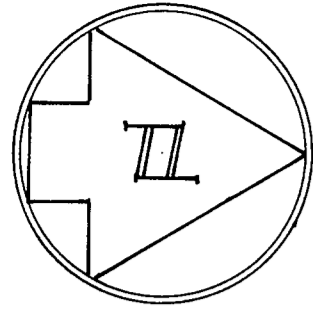
CONSULTING ENGINEERS

13600 L.B.J. FREEWAY

GARLAND, TEXAS 75041



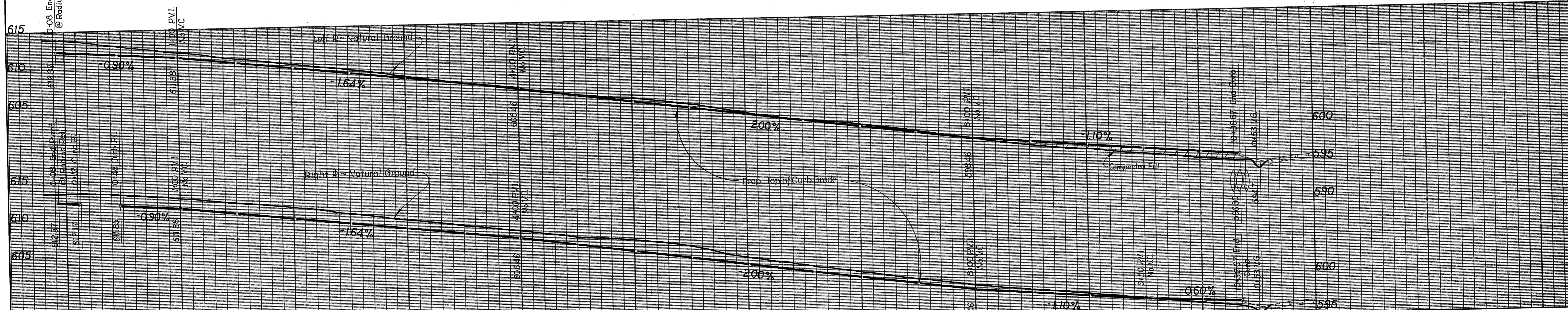
PAVING PLANS					
BELTWAY DRIVE					
ADDISON, TEXAS					
Don A. Tipton, Inc. ~ Consulting En					
13600 L.B.J. Freeway ~ Garland, Texa					
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE
D.A.T.	g.e.	April 30, 1979	H: 1"=40' V: 1"= 6'	d.b.	Addison Survey



846 67
785 82
60 85

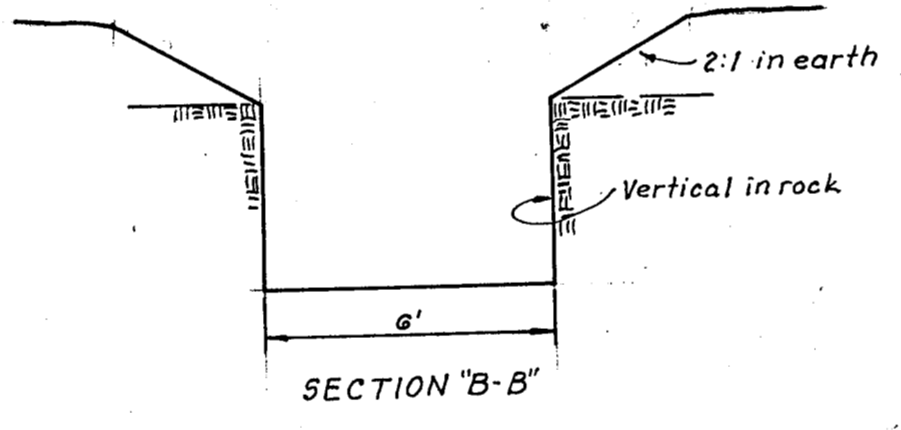
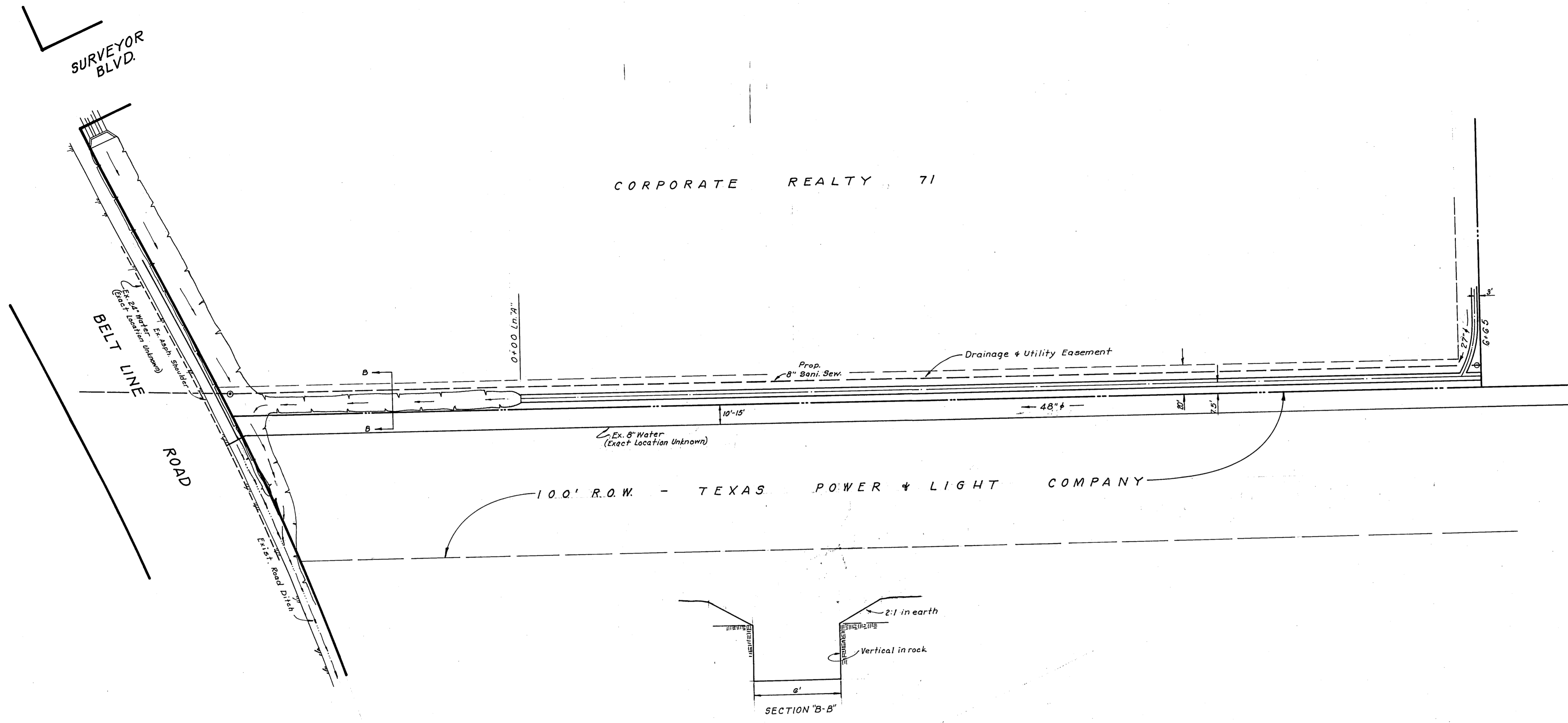
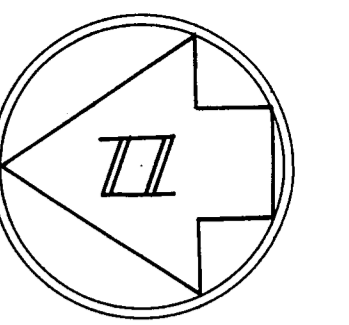
CAUTION!!! Underground telephone cable in Belt Line Road R.O.W. Exact location unknown. Prior to beginning construction, contact Mr. Roy Derr of Southwestern Bell Telephone Co. Phone: 464-7766.

CAUTION!!! 6" gas main in Belt Line Road R.O.W. Prior to beginning construction, contact Mr. Harris of Lone Star Gas Co. Phone: 242-4231.

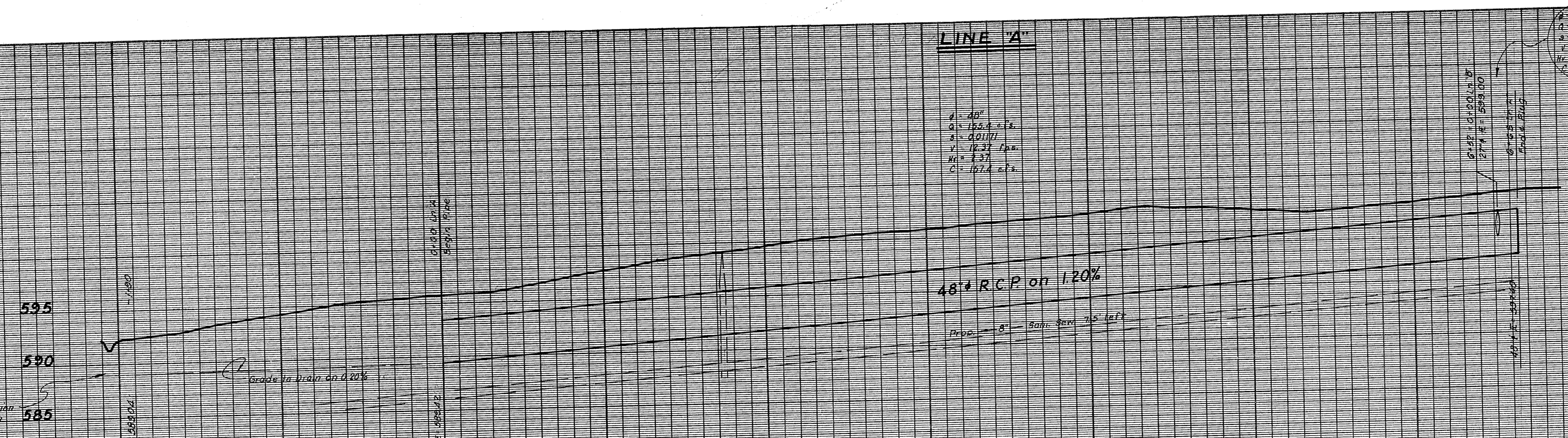


BENCH MARK: *Iron pipe in "B" back along the East R. of Midway Meadows Path, 280' South of Beltway Drive. Elev = 632.6*

PAVING PLANS						
SURVEYOR BLVD.						
ADDISON, TEXAS						
Don A. Tipton, Inc. ~ Consulting Engineers						
13600 L.B.J. Freeway ~ Garland, Texas 75041						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO
D.A.T., Inc.	q.e.	April 30, 1979	H: 1"=40' V: 1"=6'	db.	Addison Surveys	5

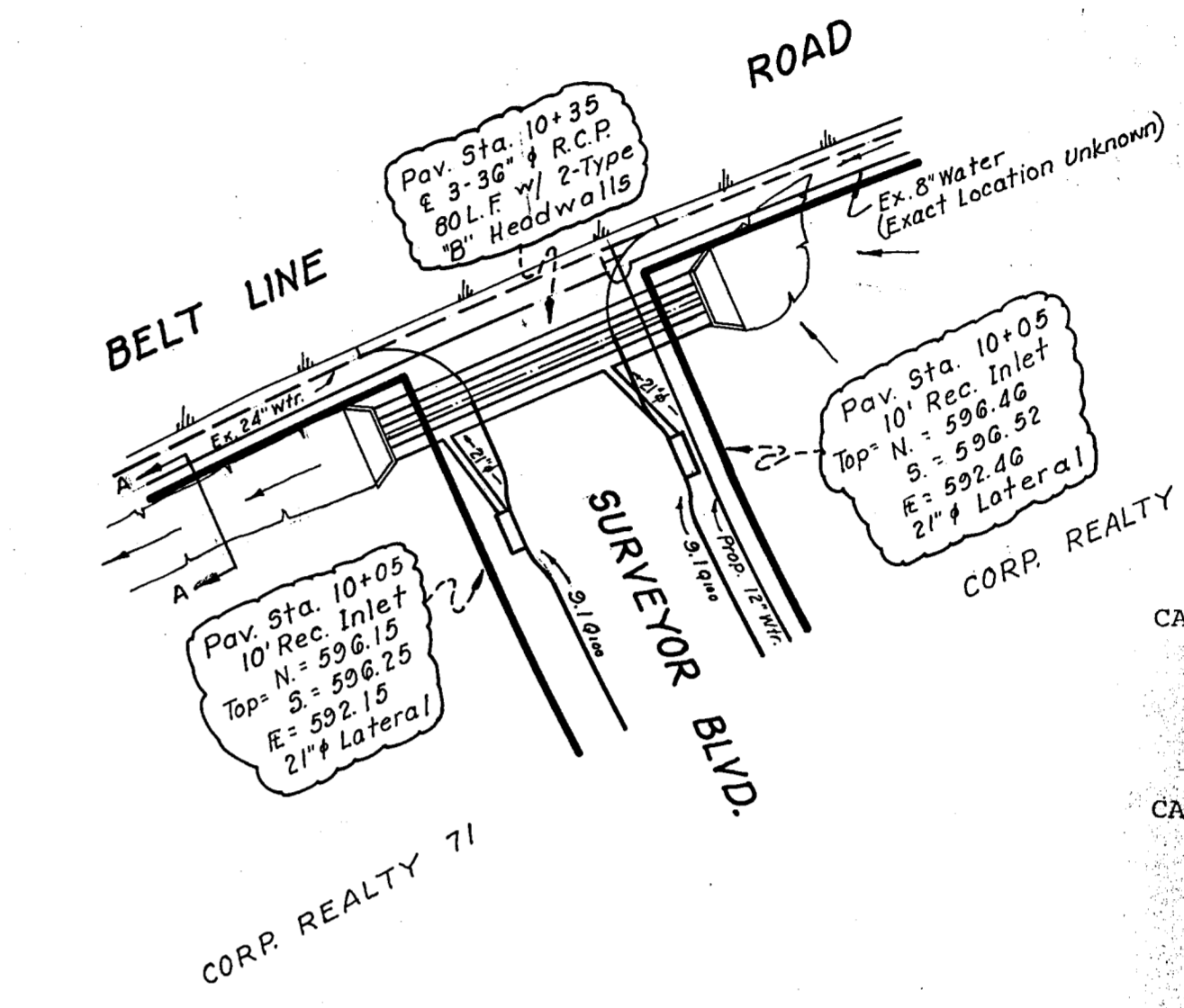
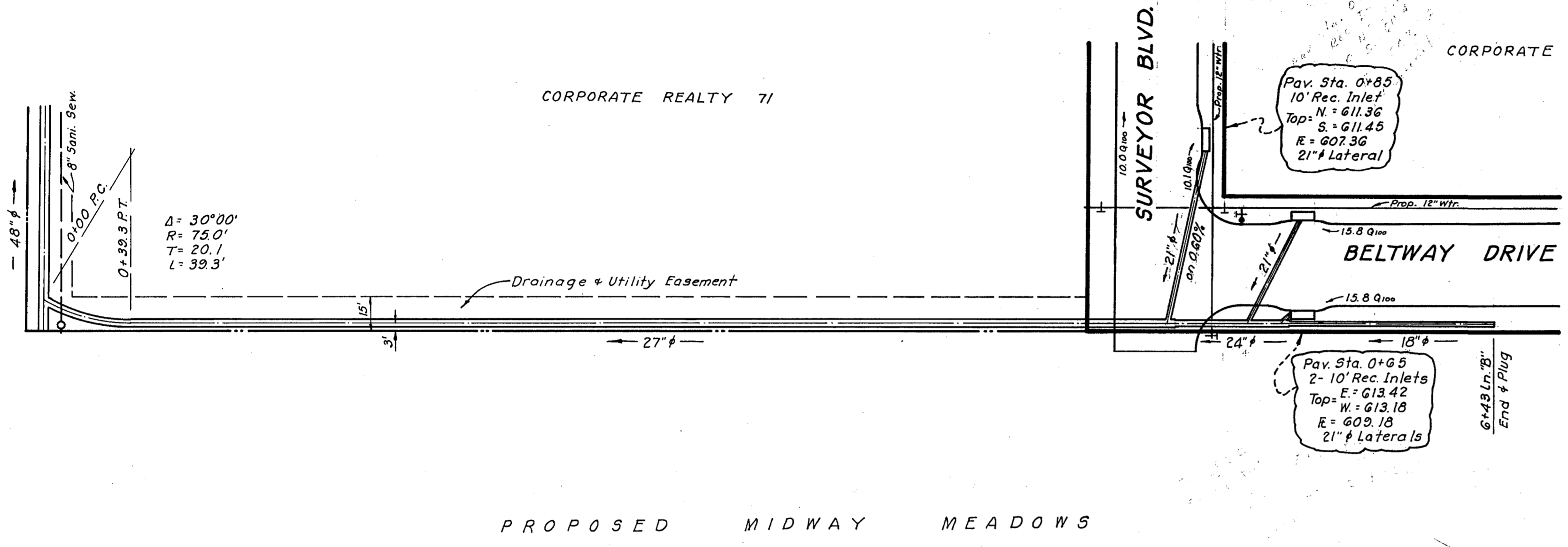
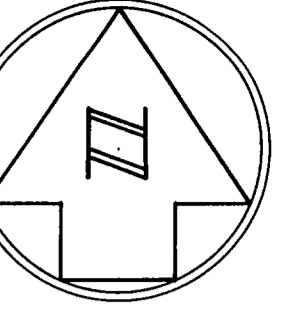


NOTES:
 It is the responsibility of the Contractor to notify all utility companies and verify all existing utilities prior to the start of construction.
 It will be the responsibility of the Contractor to avoid any conflicts between the water and sewer and the storm sewer inlets.
 All storm sewer pipe shall be R.C.P. Class III and shall have a minimum of 6" sand bedding, or equivalent bedding material.
 Utility Contractor shall be responsible for paving of variable height curb, inlet throat and paving leaveout.



NOTE:
 See Continuation of Profile on Sheet No. 8

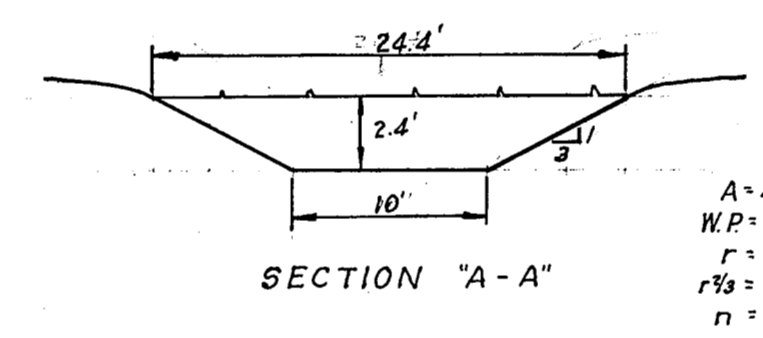
STORM SEWER							
MIDWAY MEADOWS							
DALLAS, TEXAS							
Don A. Tipton, Inc. ~ Consulting Engineers							
13600 L.B.J. Freeway ~ Garland, Texas 75041							
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO	
D.A.T.	r.d.o.	April 30, 1979	H. 1"=40' V. 1"=6'	d.b.	Midway Meadows	6	8



CAUTION!!! 6" gas main in Belt Line Road R.O.W. Prior to beginning construction, contact Mr. Harris of Lone Star Gas Co. Phone: 242-4231.

CAUTION!!! Underground telephone cable in Belt Line Road R.O.W. Exact location unknown. Prior to beginning construction, contact Mr. Roy Derr of Southwestern Bell Telephone Co. Phone: 464-7766.

PROPOSED MIDWAY MEADOWS



$\phi = 27"$ Q = 25.9 c.f.s. S = 0.0070 V = 6.51 f.p.s. Hv = 0.66 C = 37.9 c.f.s.	$\phi = 24"$ Q = 24.9 c.f.s. S = 0.01311 V = 8.24 f.p.s. Hv = 1.06 C = 28.8 c.f.s.	$\phi = 24"$ Q = 18.9 c.f.s. S = 0.00494 V = 3.06 f.p.s. Hv = 0.40 C = 28.8 c.f.s.	$\phi = 24"$ Q = 4.35 c.f.s. S = 0.40% r = 1.64 r/s = 1.39 n = 0.03	V = 4.35 f.p.s. S = 0.40% r = 1.64 r/s = 1.39 C = 180 c.f.s. Q = 178 c.f.s.
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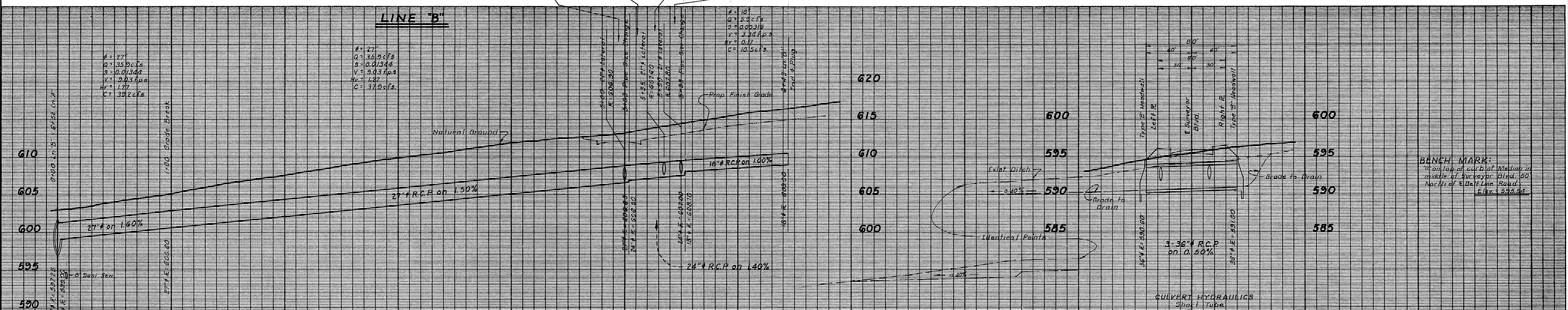
NOTES:

It is the responsibility of the Contractor to notify all utility companies and verify all existing utilities prior to the start of construction.

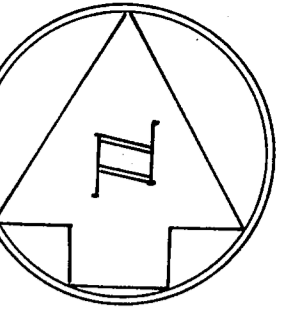
It will be the responsibility of the Contractor to avoid any conflicts between the water and sewer and the storm sewer inlets.

All storm sewer pipe shall be R.C.P. Class III and shall have a minimum of 6" sand bedding, or equivalent bedding material.

Utility Contractor shall be responsible for paving of variable height curb, inlet throat and paving layout.



STORM SEWER							
MIDWAY MEADOWS							
DALLAS, TEXAS							
Don A. Tipton, Inc. ~ Consulting Engineers							
13600 L.B.J. Freeway ~ Garland, Texas 75041							
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.	
D.A.T.	r.d.o.	April 30 1979	H: 1"=40' V: 1"=6'	d.b.	Midway Meadows	7	8



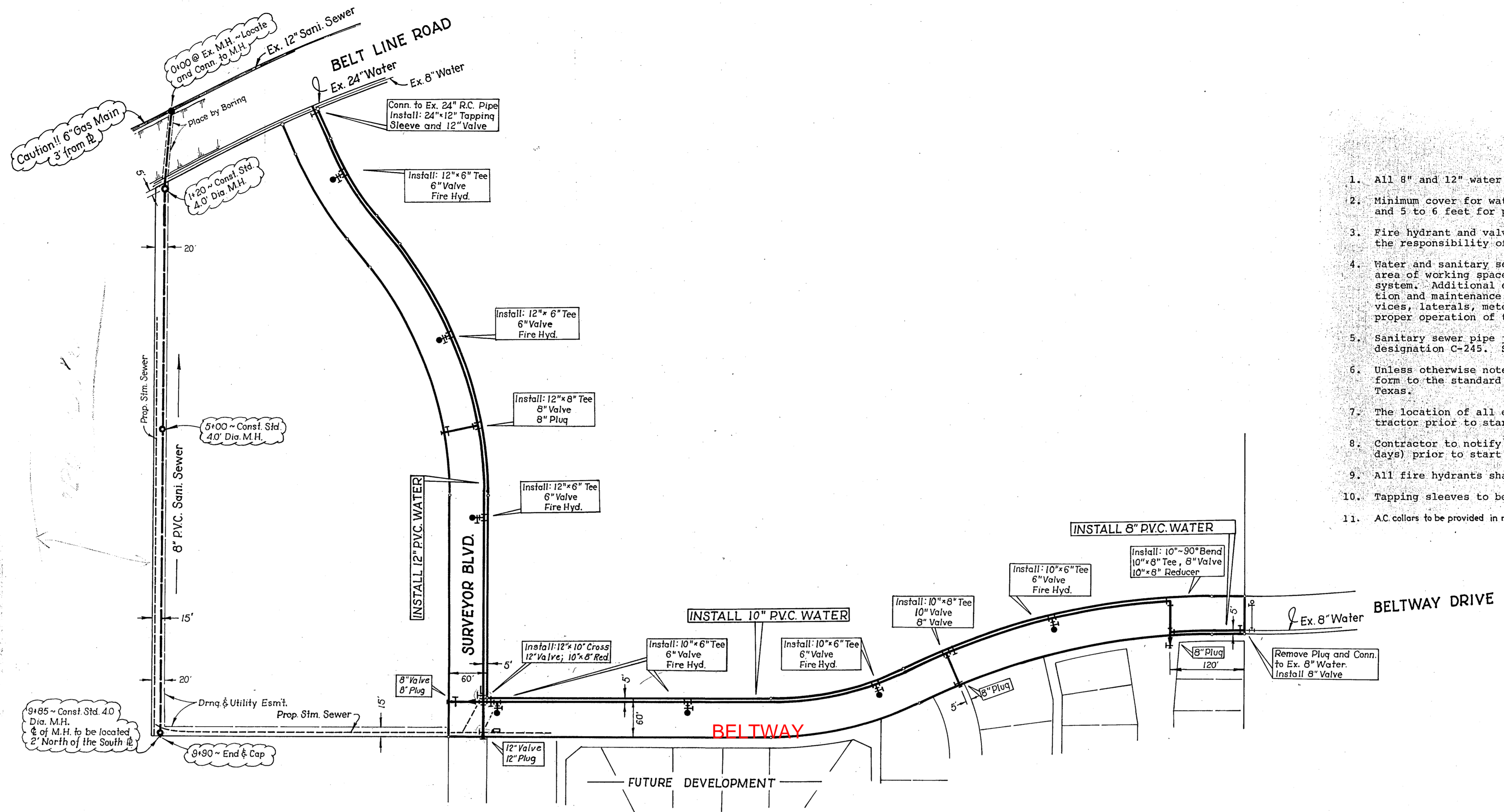
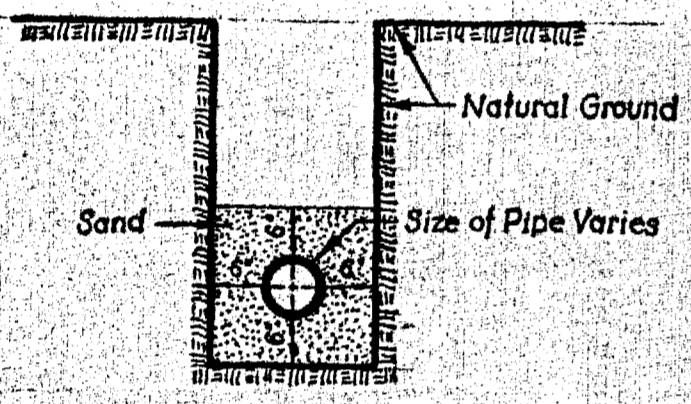
GENERAL NOTES

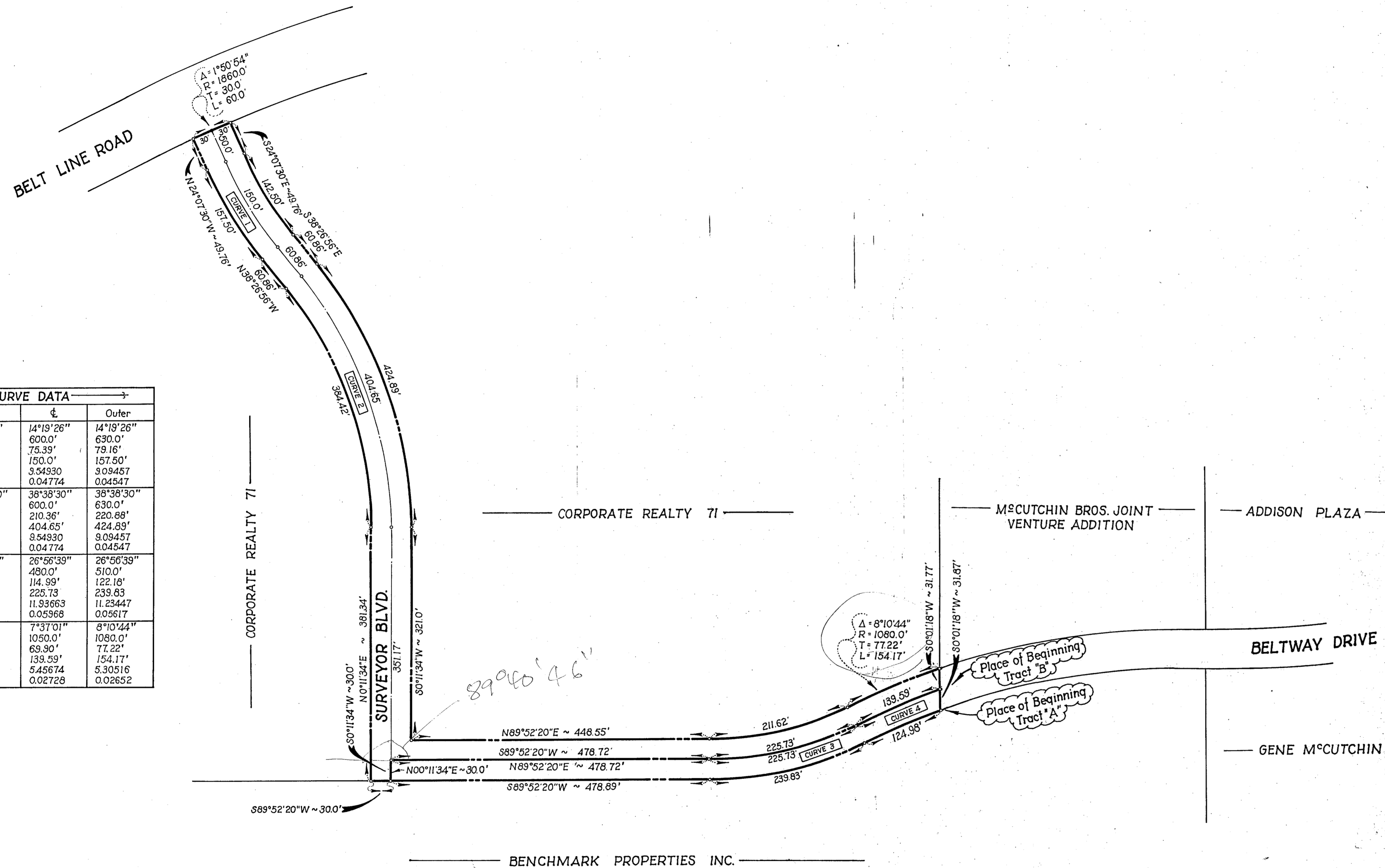
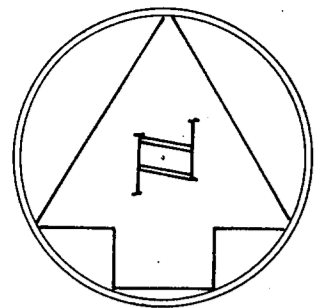
1. All 8" and 12" water mains to be SDR-18 PVC with #12 tracer wire.
2. Minimum cover for water mains to be 4 feet for 6" and 8" pipe, and 5 to 6 feet for pipe 10" or larger.
3. Fire hydrant and valve grade adjustments (after paving) shall be the responsibility of the utility contractor.
4. Water and sanitary sewer easements shall also include additional area of working space for construction and maintenance of the system. Additional easement area is also conveyed for installation and maintenance of manholes, cleanouts, fire hydrants, services, laterals, meters, and other appurtenances necessary for proper operation of the systems.
5. Sanitary sewer pipe joints shall conform to current A.S.T.M. designation C-245. SDR-35 PVC.
6. Unless otherwise noted, all material and construction shall conform to the standard specifications of the City of Addison, Texas.
7. The location of all existing utilities to be verified by contractor prior to start of construction.
8. Contractor to notify utility companies at least 48 hours (2 working days) prior to start of construction.
9. All fire hydrants shall be Mueller Centurion model.
10. Tapping sleeves to be Mueller or Clow.
11. AC collars to be provided in manholes.

CAUTION!!! Underground telephone cable in Belt Line Road R.O.W. Exact location unknown. Prior to beginning construction, contact Mr. Roy Derr of Southwestern Bell Telephone Co. Phone: 464-7766.

CAUTION!!! 6" gas main in Belt Line Road R.O.W. Prior to beginning construction, contact Mr. Harris of Lone Star Gas Co. Phone: 242-4231.

TYPICAL WATER & SANI. SEWER EMBEDMENT DETAIL
No Scale





CURVE DATA			
No.	f	Inner	Outer
1	Δ	14°19'26"	14°19'26"
	R	570.0'	630.0'
	T	71.62'	79.16'
	L	142.50'	157.50'
	d	0.05025	0.04774
2	Δ	38°38'30"	38°38'30"
	R	570.0'	630.0'
	T	199.84'	220.88'
	L	384.42'	424.89'
	d	0.05025	0.04774
3	Δ	26°56'39"	26°56'39"
	R	450.0'	510.0'
	T	107.80'	122.16'
	L	211.62'	239.83'
	d	0.06366	0.05617
4	Δ	7°01'13"	8°10'44"
	R	1020.0'	1080.0'
	T	62.57'	77.22'
	L	124.98'	154.17'
	d	0.02808	0.02652

**STREET EASEMENT PLAT
BELTWAY DRIVE & SURVEYOR BLVD.
ADDISON, TEXAS
THOMAS L. CHENOWETH ~ ABST. NO. 273
DALLAS COUNTY, TEXAS**

← OWNERS →
BENCHMARK PROPERTIES, INC.
CORPORATE REALTY 71
3362 Wiley Post Road, Carrollton, Texas 75006
DON A. TIPTON, INC. ~ CONSULTING ENGINEERS
13600 L.B.J. Freeway, Garland, Texas 75041
Scale: 1"=100' June 1, 1979

OWNER'S CERTIFICATE

TRACT "A"

WHEREAS, BENCHMARK PROPERTIES, INC. is the owner of a tract of land situated in the Thomas L. Chenoweth Survey, Abstract No. 273, City of Addison, Dallas County, Texas, and being more particularly described as follows:
BEGINNING at the Southwest corner of McCutchin Bros. Joint Venture Addition, as recorded in Volume 79069 at Page 1424 of the Map Records of Dallas County, Texas, a point for corner;
THENCE, Southwesterly, around a curve to the left having a central angle of 7°01'13" and a radius of 1020.0 feet, a distance of 124.98 feet to the beginning of a curve to the right having a central angle of 26°56'39" and a radius of 510.0 feet, a point for corner;
THENCE, Southwesterly, around said curve to the right, a distance of 239.83 feet to a point for corner;
THENCE, S. 89°52'20"W, a distance of 478.89 feet to a point for corner;
THENCE, N. 0°11'34"E, a distance of 30.0 feet to a point for corner;
THENCE, N. 89°52'20"E, a distance of 478.72 feet to the beginning of a curve to the left having a central angle of 26°56'39" and a radius of 480.0 feet, a point for corner;
THENCE, Northeasterly, around said curve to the left, a distance of 225.73 feet to the beginning of a curve to the right having a central angle of 7°37'01" and a radius of 1050.0 feet, a point for corner;
THENCE, Northeasterly, around said curve to the right, a distance of 139.59 feet to a point for corner;
THENCE, S. 0°01'18"W, a distance of 31.87 feet to the PLACE OF BEGINNING and containing 0.581 Acres of Land.

TRACT "B"

WHEREAS, CORPORATE REALTY 71, INC. is the owner of a tract of land situated in the Thomas L. Chenoweth Survey, Abstract No. 273, City of Addison, Dallas County, Texas, and being more particularly described as follows:
BEGINNING at a point being N. 0°01'18"E, 31.87 feet from the Southwest corner of McCutchin Bros. Joint Venture Addition, as recorded in Volume 79069 at Page 1424 of the Map Records of Dallas County, Texas, a point for corner;
THENCE, Southwesterly, around a curve to the left having a central angle of 7°37'01" and a radius of 1050.0 feet, a distance of 139.59 feet to the beginning of a curve to the right having a central angle of 26°56'39" and a radius of 480.0 feet, a point for corner;
THENCE, Southwesterly, around said curve to the right, a distance of 225.73 feet to a point for corner;
THENCE, S. 89°52'20"W, a distance of 478.72 feet to a point for corner;
THENCE, S. 0°11'34"W, a distance of 30.0 feet to a point for corner;
THENCE, S. 89°52'20"W, a distance of 30.0 feet to a point for corner;
THENCE, N. 0°11'34"E, a distance of 381.34 feet to the beginning of a curve to the left having a central angle of 38°38'30" and a radius of 570.0 feet, a point for corner;
THENCE, Northwesterly, around said curve to the left, a distance of 384.42 feet to a point for corner;
THENCE, N. 38°26'56"W, a distance of 60.86 feet to the beginning of a curve to the right having a central angle of 14°19'26" and a radius of 630.0 feet, a point for corner;
THENCE, Northwesterly, around said curve to the right, a distance of 157.50 feet to a point for corner;
THENCE, N. 24°07'30"W, a distance of 49.76 feet to a point on the Southeast line of Belt Line Road, a point for corner;
THENCE, Northeasterly, along said Belt Line Road and around a curve to the right having a central angle of 1°50'54" and a radius of 1860.0 feet, a distance of 60.0 feet to a point for corner;
THENCE, S. 24°07'30"E, leaving said Belt Line Road, a distance of 49.76 feet to the beginning of a curve to the left having a central angle of 14°19'26" and a radius of 570.0 feet, a point for corner;
THENCE, Southeastly, around said curve to the left, a distance of 142.50 feet to a point for corner;
THENCE, S. 38°26'56"E, a distance of 60.86 feet to the beginning of a curve to the right having a central angle of 38°38'30" and a radius of 630.0 feet, a point for corner;
THENCE, Southeastly around said curve to the right, a distance of 424.89 feet to a point for corner;
THENCE, S. 0°11'34"W, a distance of 321.0 feet to a point for corner;
THENCE, N. 89°52'20"E, a distance of 448.55 feet to the beginning of a curve to the left having a central angle of 26°56'39" and a radius of 450.0 feet, a point for corner;
THENCE, Northeasterly, around said curve to the left, a distance of 211.62 feet to the beginning of a curve to the right having a central angle of 8°10'44" and a radius of 1080.0 feet, a point for corner;
THENCE, Northeasterly, around said curve to the right, a distance of 154.17 feet to a point on the Northerly line of Beltway Drive, a point for corner;
THENCE, S. 0°01'18"W, a distance of 31.77 feet to the PLACE OF BEGINNING and containing 1.980 Acres of Land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:
THAT, WE, BENCHMARK PROPERTIES, INC. and CORPORATE REALTY 71, INC., do hereby adopt this plat designating the hereinabove described property as Street Easement Plat - Beltway Drive and Surveyor Blvd., an Easement to the City of Addison, Dallas County, Texas, and do hereby reserve the easements shown on this plat for the mutual use and accommodation of all public utilities desiring to use or using same. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way, endanger or interfere with the construction, maintenance or efficiency of its respective systems on any of these easements; and any public utility shall, at all times, have the right of ingress and egress to and from and upon the said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, and adding to or removing all or part of its respective systems without the necessity, at any time, or procuring the permission of anyone.
WITNESS MY HAND AT DALLAS, TEXAS, this the _____ day of _____, 1979.
BENCHMARK PROPERTIES, INC. CORPORATE REALTY 71, INC.
Ray Williamson, President D. W. Morton, President

STATE OF TEXAS)
COUNTY OF DALLAS)
BEFORE ME, the undersigned authority, a Notary Public in and for said County and State on this day personally appeared RAY WILLIAMSON, known to me to be the person and officer whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.
GIVEN UNDER MY HAND AND SEAL OF OFFICE this the _____ day of _____, 1979.
Notary Public in and for Dallas County, Texas
STATE OF TEXAS)
COUNTY OF DALLAS)
BEFORE ME, the undersigned authority, a Notary Public in and for said County and State on this day personally appeared D. W. MORTON, known to me to be the person and officer whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.
GIVEN UNDER MY HAND AND SEAL OF OFFICE this the _____ day of _____, 1979.
Notary Public in and for Dallas County, Texas

ENGINEER'S CERTIFICATE

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:
THAT I, DON A. TIPTON, do hereby certify that I have prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the Platting Rules and Regulations of the City of Addison, Texas.
STATE OF TEXAS)
COUNTY OF DALLAS)
DON A. TIPTON, Registered Professional Engineer
BEFORE ME, the undersigned authority, a Notary Public in and for said County and State, on this day personally appeared DON A. TIPTON, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same in the capacity therein stated, and for the purposes and consideration therein expressed.
GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the _____ day of _____, 1979.
Notary Public in and for Dallas County, Texas