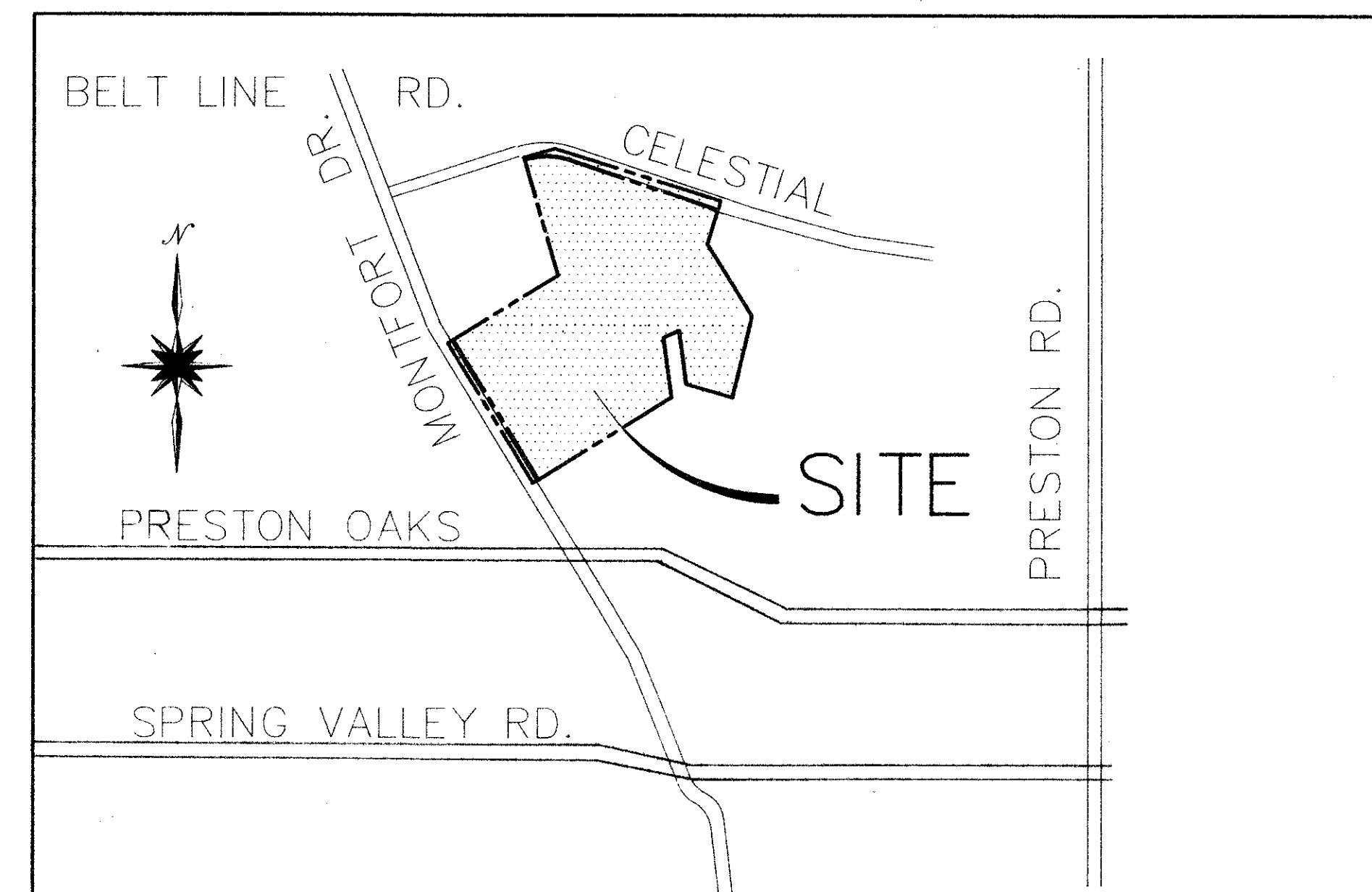


CELESTIAL PLACE ADDITION

AN ADDITION TO THE TOWN OF

ADDISON, TEXAS

PLANS FOR THIS PROJECT	
SHEET	DESCRIPTION
1	COVER SHEET
2	PLAT
3	PAVING PLANS
4	DRAINAGE AREA MAP
5	STORM SEWER PLAN & PROFILE
6	WATER AND SANITARY SEWER PLAN
7	SANITARY SEWER PLAN & PROFILE
8	GRADING PLAN
9	EROSION CONTROL PLAN & DETAILS
10-13	DETAILS



LOCATION MAP

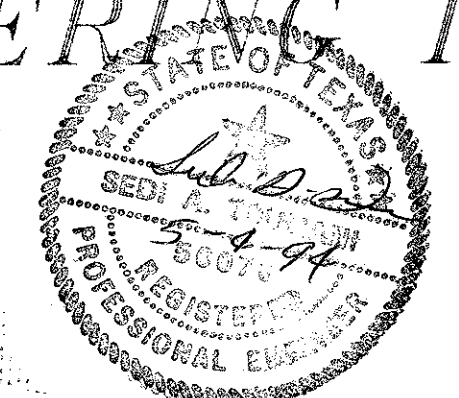
DEVELOPER : ALLEGIANCE GROUP, INC.

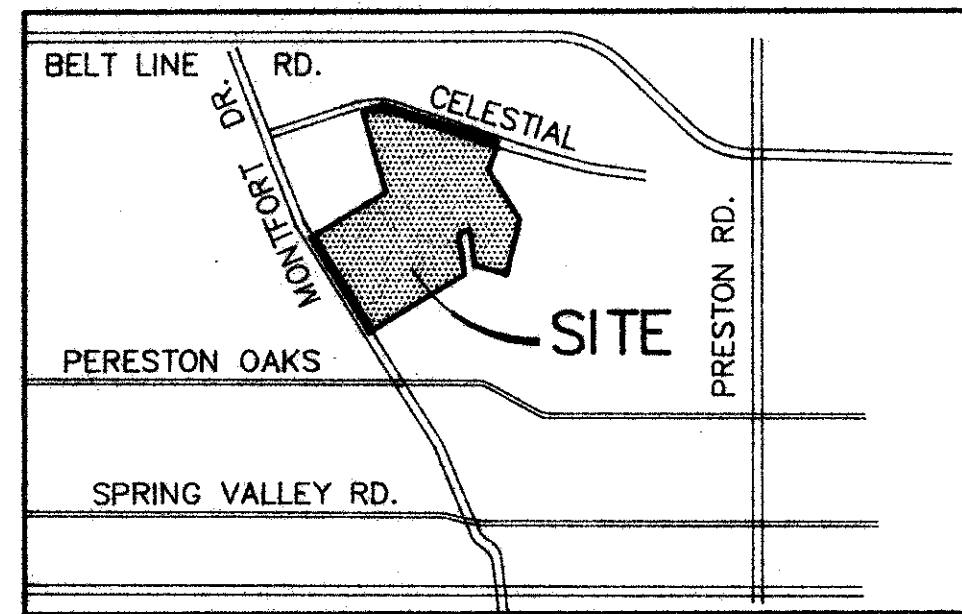
8080 N. CENTRAL EXPWY.
SUITE 880
DALLAS, TEXAS 75206

9313
JANUARY 1994

ENGINEER : DAL-TECH ENGINEERING INC.

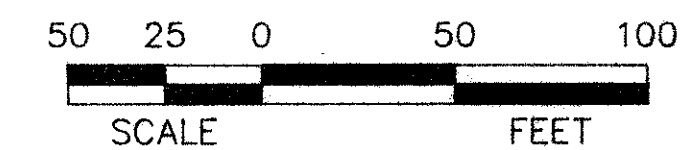
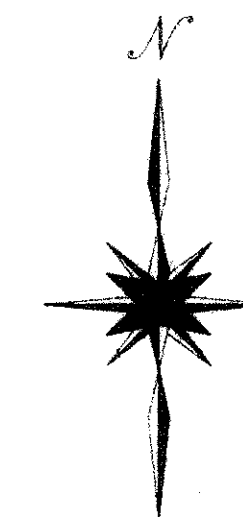
11020 AUDELIA RD. SUITE C 207,
DALLAS, TEXAS 75243
PH. (214) 553-5500





LOCATION MAP

CRV NO	RADIUS	DELTA	TANGENT	LENGTH	CHORD
C-1	50.00	286°15'37"	37.50'	249.81'	60.00'
C-2	50.00	239°20'22"	87.77'	208.86'	86.89'
C-3	210.00	34°55'21"	66.06'	128.00'	126.03'
C-4	250.00	30°19'49"	67.76'	132.34'	130.80'
C-5	250.00	34°55'21"	78.64'	152.38'	150.03'
C-6	168.50	36°29'18"	55.54'	107.31'	105.50'



OWNER CERTIFICATE
STATE OF TEXAS, COUNTY OF DALLAS

That CHARLES D. AMES does hereby adopt this plat designating the hereinabove property as CELESTIAL PLACE ADDITION as addition to the Town of Addison, Texas, and, subject to the conditions, restrictions and reservations stated hereinafter, owner dedicates to the public use forever the streets and alleys shown thereon.

The easements shown on this plat are hereby reserved for the purposes as indicated, including, but not limited to, the installation and maintenance of water, sanitary sewer, storm sewer, drainage, electric, telephone, gas and cable television. Owner shall have the right to use these easements provided however, that it does not unreasonably interfere or impede with the provision of the services to others. Said utility easements are hereby being reserved by mutual use and accommodation of all public utilities using or desiring to use the same. An express easement of ingress and egress is hereby expressly granted on, over and across all such easements for the benefit of the provider of services for which easements are granted.

Any drainage and floodway easement shown hereon is hereby dedicated to the public's use forever, but including the following covenants with regards to maintenance responsibilities. The existing channels or creeks traversing the drainage and floodway easement will remain as an open channel, unless required to be enclosed by ordinance, at all times and shall be maintained by the individual owners of the lot or lots that are traversed by or adjacent to the drainage and floodway easement. The City will not be responsible for the maintenance and operation of said creek or creeks or for any damage or injury of private property or person that results from the flow of water along said creek or for the control of erosion. No obstruction to the natural flow of water run-off shall be permitted by construction of any type building, fence or any other structure within the drainage and floodway easement. Provided, however, it is understood that in the event it becomes necessary for the City to channelize or consider erecting any type of drainage, then in such event, the City shall have the right, but not the obligation, to enter upon the drainage and floodway easement at any point, or points, with all rights of ingress and egress to investigate, survey, erect, construct or maintain any drainage facility deemed necessary by the City for drainage purposes. Each property owner shall keep the natural drainage channels and creeks traversing the drainage and floodway easement adjacent to his property clean and free of debris, silt, growth, vegetation, weeds, rubbish, refuse, matter and any substance which would result in unsanitary conditions or obstruct the flow of water, and the City shall have the right of ingress and egress for the purpose of inspection and supervision and maintenance work by the property owner to alleviate any undesirable conditions which may occur. The natural drainage channels and creeks through the drainage and floodway easement, as in the case of all natural channels, are subject to storm water overflow and natural bank erosion to an extent that cannot be definitely defined. The City shall not be held liable for any damages or injuries of any nature resulting from the occurrence of these natural phenomena, nor resulting from the failure of any structure or structures, within the natural drainage channels, and the owners hereby agree to indemnify and hold harmless the City from any such damages and injuries. Building areas outside the drainage and floodway easement line shall be filled to a minimum elevation as shown on the plat. The minimum floor of elevation of each lot shall be shown on the plat.

The maintenance or paving of the utility and fire lane easements is the responsibility of the property owner. All public utilities shall at all times have the full right of ingress and egress to and from and upon the said utility easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective system without the necessity of any time of procuring the permission of anyone. Any public utility shall have the right of ingress or egress to private property for the purpose of reading meters and any maintenance and service required or ordinarily performed by that utility. Buildings, fences, trees, shrubs or other improvements or growth may be constructed, reconstructed or placed upon, over or across the utility easements as shown; provided, however, that owner shall at its sole cost and expense be responsible under any and all circumstances for the maintenance and repair of such improvements or growth, and any public utility shall have the right to remove and keep removed all or parts of any building, fences, trees, shrubs or other improvements or growth which in any way endangers or interferes with the construction, maintenance or efficiency of its respective system or service.

Water main and sanitary sewer easements shall also include additional area of working space for construction and maintenance of the systems. Additional easement area is also conveyed for installation and maintenance of manholes, cleanouts, fire hydrants, water service and sewer services from the main to curb or pavement line, and the descriptions of such additional easements herein granted shall be determined by their locations as installed.

This plat is approved, subject to all platting ordinances, rules, regulations and resolutions of the Town of Addison, Texas.

THE STATE OF TEXAS
COUNTY OF DALLAS

Before me, the undersigned authority a notary public in and for Dallas County, Texas, on this day personally appeared CHARLES D. AMES known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

Given my hand and seal of office, this the _____ day of 1994.

Notary Public in and for
The State of Texas

LEGAL DESCRIPTION

BEING 6.878 acres of land located in the ALLEN BLEDSOE SURVEY, Abstract No. 157, and the THOMAS GARVIN SURVEY, Abstract No. 524, Dallas County, Texas, and being a portion of the tract of land conveyed to Southwest Savings Association by the Substitute Trustee's Deed recorded in Volume 89192, Page 2611 of the Deed Records of Dallas County, Texas. Said 6.878 acres being more particularly described by metes and bounds as follows:

BEGINNING at an "x" cut in concrete in the Northeast right-of-way line of Montfort Drive (a fifty foot wide right-of-way at this point), lying South 31 degrees, 31 minutes, 26 seconds East, a distance of 378.47 feet from the former center line of Celestial Road; said beginning point also being the South corner of the tract of land conveyed to Walden Preparatory School Foundation by the deed recorded in Volume 72054, Page 954 of the Deed Records of Dallas County, Texas;

THENCE along the South and East boundary line of said School Trust tract as follows:

North 58 degrees, 20 minutes, 00 seconds East, at 14.85 feet passing a 1/2" iron rod in the East line of the right-of-way easement conveyed to the City of Dallas for Montfort Drive recorded in Volume 85180, Page 2082 of the Deed Records of Dallas County, Texas, and continuing in all 286.92 feet to a 1/2" iron rod found for corner;

North 16 degrees, 10 minutes, 03 seconds West, a distance of 287.84 feet to 1/2" iron rod at the North corner of said School Trust tract;

THENCE North 73 degrees, 49 minutes, 34 seconds East, a distance of 75.54 feet to an "x" cut in concrete within Celestial Road;

THENCE South 72 degrees, 27 minutes, 27 seconds East, a distance of 404.79 feet to an "x" cut in concrete within Celestial Road;

THENCE South 17 degrees, 24 minutes, 19 seconds West, departing Celestial Road, at 35.00 feet passing a 3/8" iron rod at the most Northerly Northwest corner of CELESTIAL ROAD

WATER FACILITIES, an addition to the City of Addison, Dallas County, Texas according to the plat recorded in Volume 88229, Page 509 of the Deed Records of Dallas County, Texas, and continuing in all 105.03 feet to a 3/8" iron rod found for corner;

THENCE continuing along the West boundary line of said WATER FACILITIES as follows:

South 31 degrees, 31 minutes, 42 seconds East, a distance of 200.00 feet to a 1/2" iron rod found for corner;

South 13 degrees, 20 minutes, 00 seconds West, a distance of 195.55 feet to a 1/2" iron rod in the North boundary line of Lot 1, Block A/8168, 14400 MONTFORT ADDITION to the City of Dallas, Dallas County, Texas, according to the plat recorded in Volume 86013, Page 4250 of the Deed Records of Dallas County, Texas;

THENCE along the North boundary line of said MONTFORT ADDITION as follows:

North 73 degrees, 41 minutes, 14 seconds West, a distance of 112.31 feet to a 1/2" iron rod found for corner;

South 47 degrees, 21 minutes, 54 seconds West, a distance of 46.09 feet to a 1/2" iron rod found for corner;

South 58 degrees, 20 minutes, 24 seconds West at 348.56 feet passing a 1/2" iron rod at the West corner of said MONTFORT ADDITION, and the East right-of-way line of aforesaid Montfort Drive, and continuing in all 363.50 feet to a point within Montfort Drive;

THENCE North 31 degrees, 31 minutes, 26 seconds West, a distance of 381.65 feet along the former East right-of-way line of Montfort Drive to the PLACE OF BEGINNING, containing 6.898 acres (304,702 square feet) of land.

KNOW ALL MEN BY THESE PRESENTS:

That I, Buddy J. Roberts, do hereby certify that I prepared this plat from actual and accurate survey of the land and that the iron pins at each corner were properly located or placed under my personal supervision in accordance with the platting rules and regulations of the city plan commission of the City of Dallas, Dallas County, Texas.

Given my hand and seal of office, this the _____ day of 1993.

Buddy J. Roberts
Registered Professional Surveyor
No. 3510
State of Texas

THE STATE OF TEXAS
COUNTY OF DALLAS

Before me, the undersigned authority a notary public in and for Dallas County, Texas, on this day personally appeared Buddy J. Roberts, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

Given my hand and seal of office, this the _____ day of 1993.

Notary Public in and for
The State of Texas

NOTES:

PROPOSED SINGLE FAMILY, 21 LOTS
MAX. LOT COVERAGE 60%
AREA DRAINS REQUIRED ON LOTS 1, 2, & 3 OF BLK. "A" AND LOTS 11 & 12 OF BLK. "B" W/ HOUSE CONSTRUCTION.
ON LOTS 1-5 OF BLK. "B" PROVIDE OPENINGS UNDER ANY FENCE CONSTRUCTED ON SIDE LOT LINES TO ALLOW BACKYARD DRAINAGE TO PASS UNDER THE FENCE INTO SWALE BESIDES HOUSE ON ADJACENT LOT.

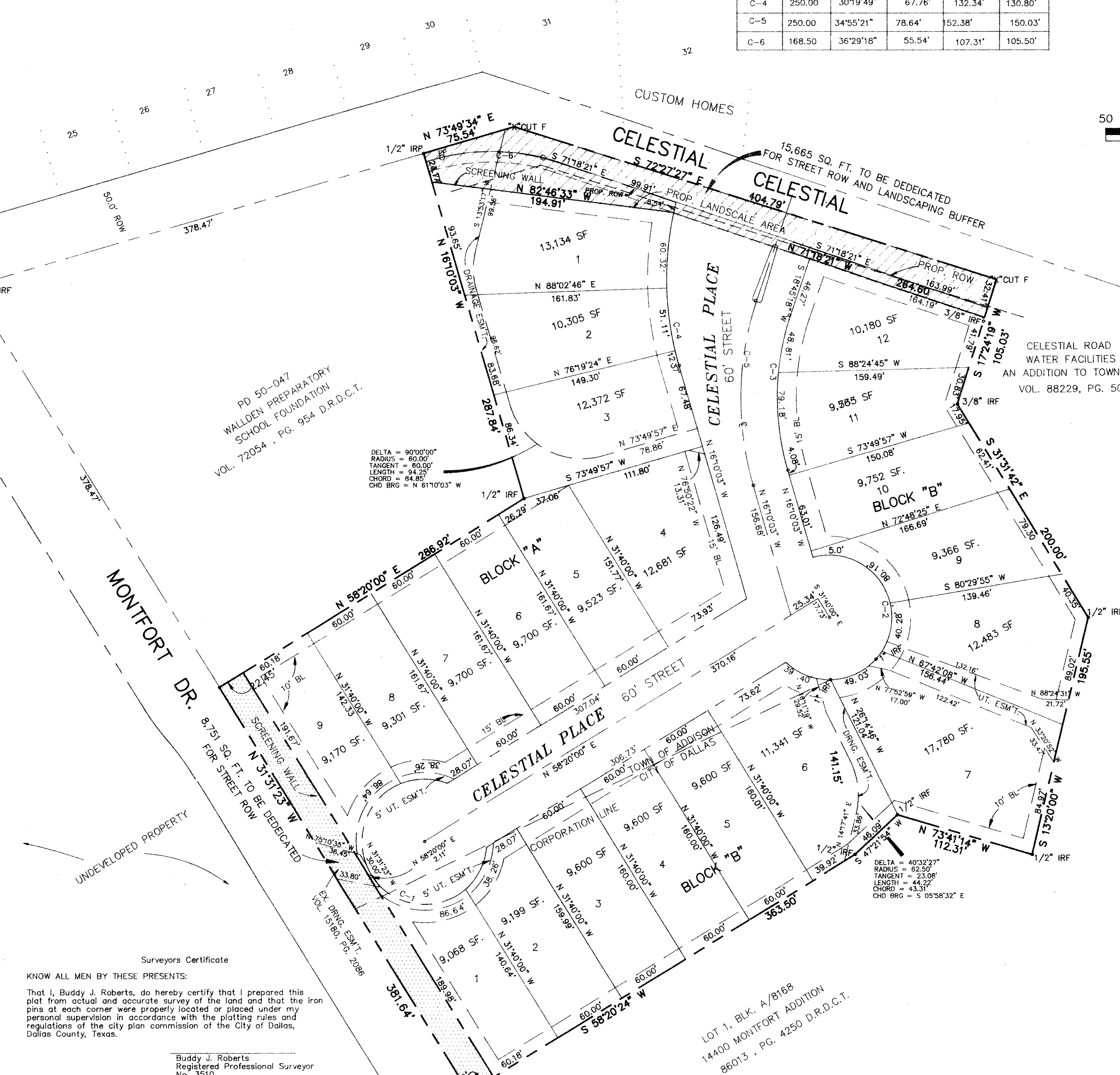
FOR :
ALLEGIANCE GROUP, INC.
8080 N. CENTRAL EXPWY.
DALLAS, TEXAS 75206

BY :
DAL-TECH ENGINEERING INC
11020 AUDELIA RD., SUITE C207
DALLAS, TEXAS 75342
PH. (214)553-5500

PRELIMINARY/FINAL PLAT
CELESTIAL PLACE ADDITION
ADDISON/DALLAS, TEXAS

MARCH 1994

JOB NO. 9313



Surveyors Certificate

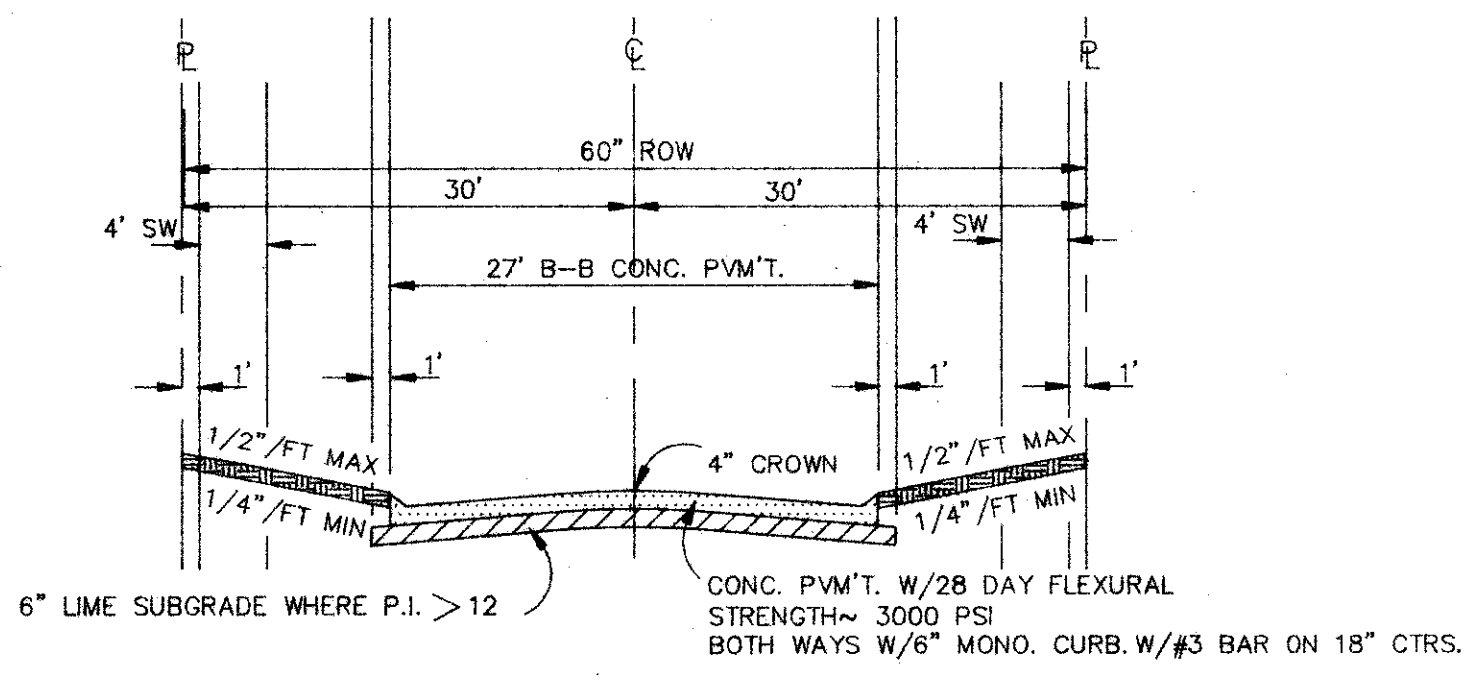
THE STATE OF TEXAS
COUNTY OF DALLAS

Before me, the undersigned authority a notary public in and for Dallas County, Texas, on this day personally appeared Buddy J. Roberts, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

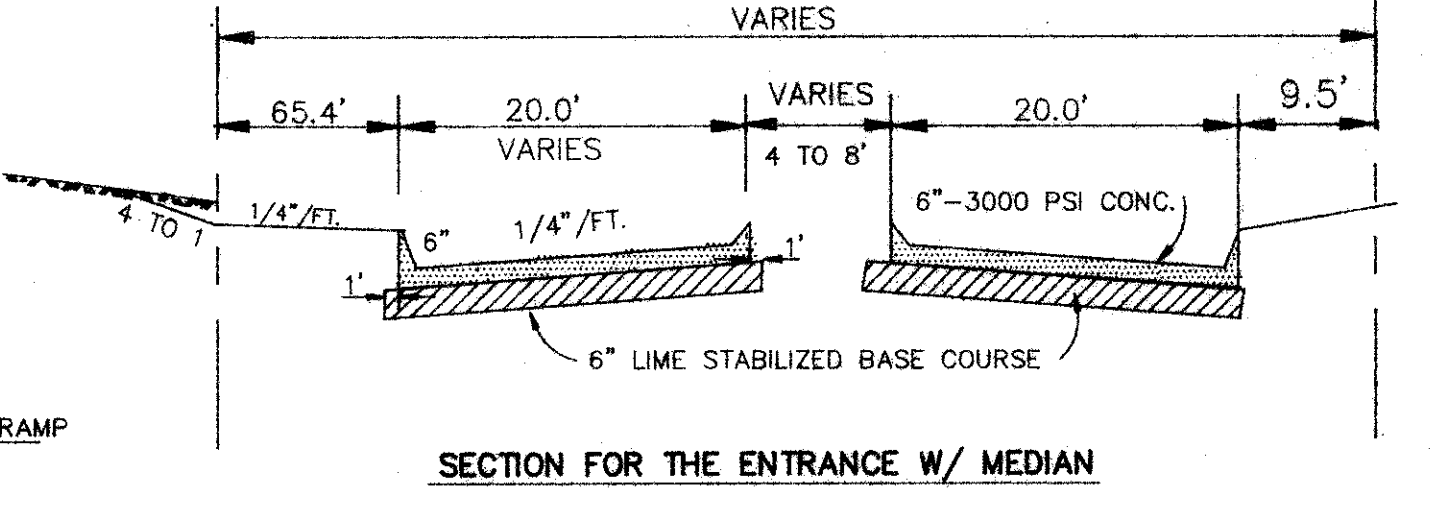
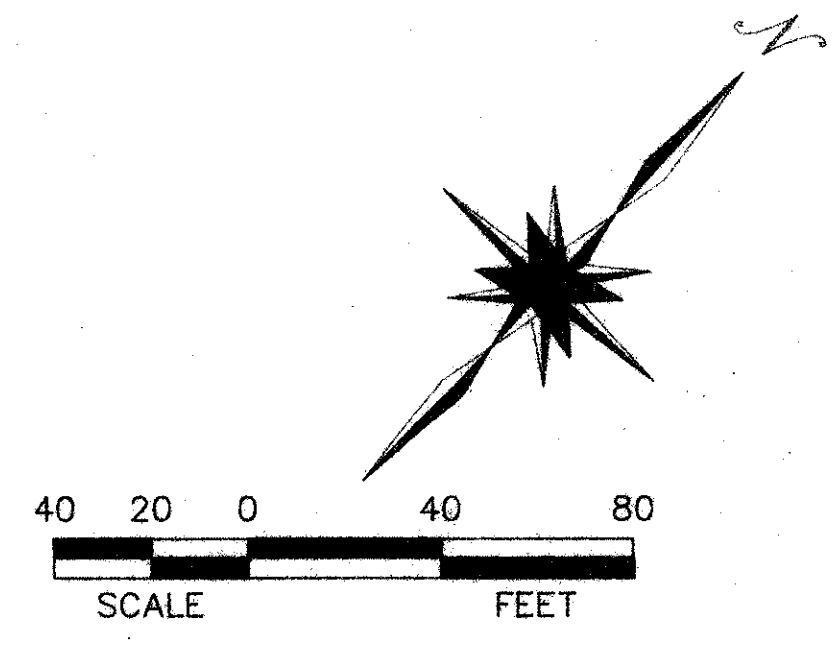
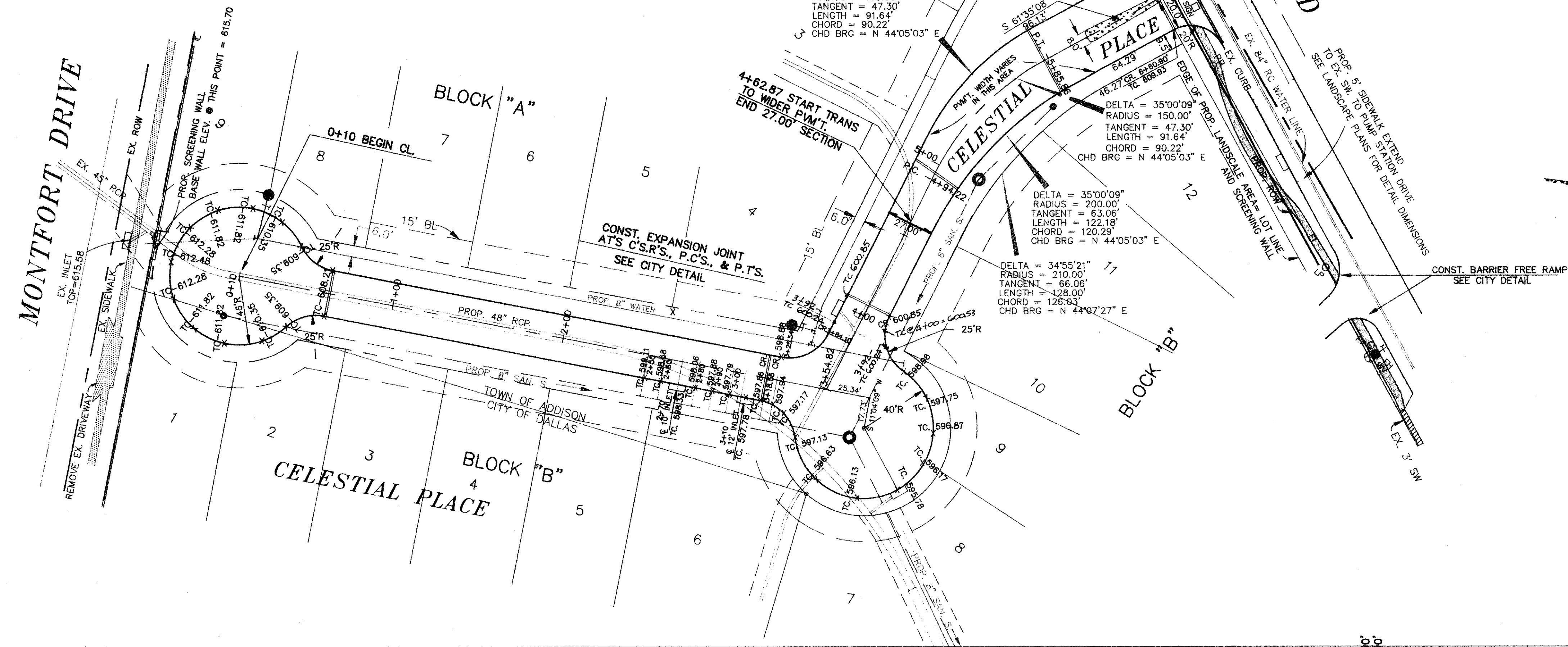
Given my hand and seal of office, this the _____ day of 1993.

Notary Public in and for
The State of Texas

C:\CELESTIAL\9313\PLAT.DWG



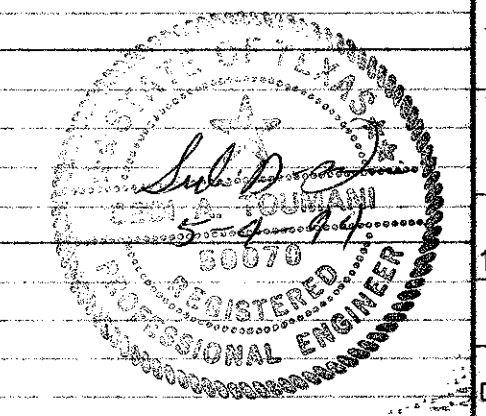
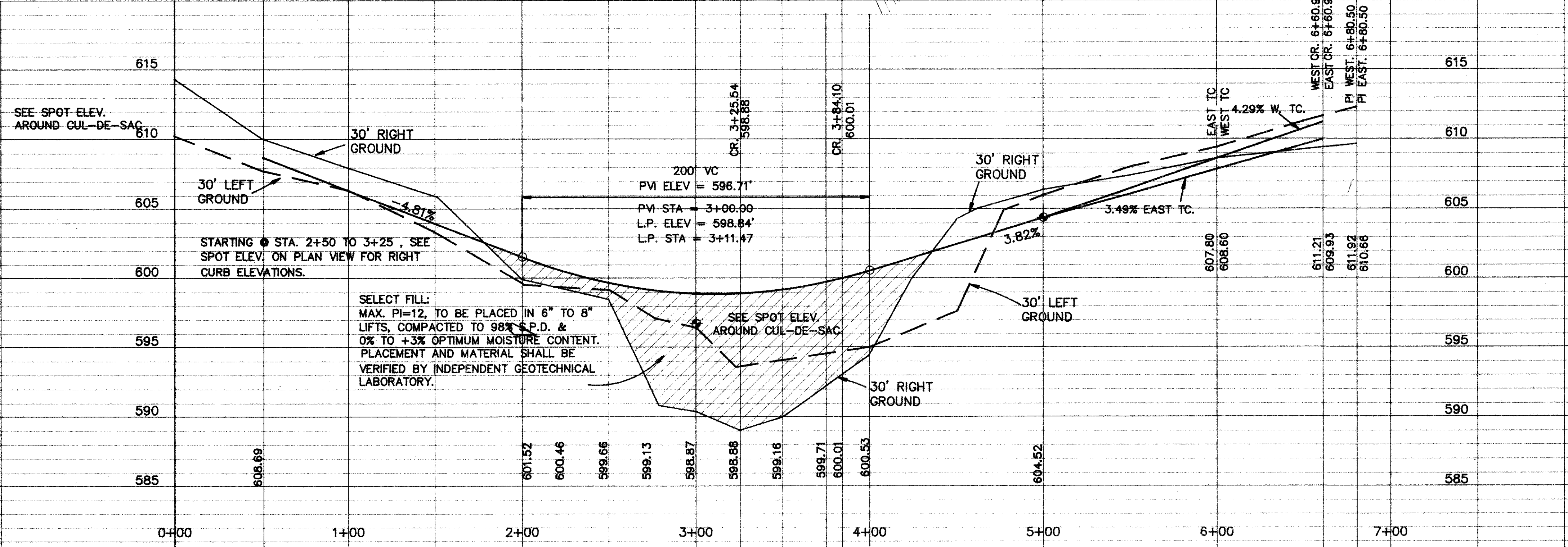
TYPICAL PAVING SECTION



ALL CONSTRUCTION RELATED ITEM SHOULD COMPLY W/TOWN OF ADDISON STD. DETAILS AND SPECIFICATIONS.

BENCH MARK: CITY OF DALLAS WATER UTILITIES, SQUARE CUT ON CONCRETE BASE OF 6 FOOT BRICK WALL AT NORTHEAST CORNER OF CELESTIAL DRIVE AND MONTFORT, ELEVATION 526.81 FEET.

The engineer accepts no responsibility for the location, vertical or horizontal, of manholes, inlets, fire hydrants, cleanouts or valve boxes, unless inspected by the engineer prior to final placement. It shall be the responsibility of the contractor to notify the engineer when ready for inspection.



CELESTIAL PLACE
ADDISON/DALLAS, TEXAS
PAVING PLAN & PROFILE

ALLEGIANCE GROUP, INC.
8080 N. CENTRAL EXPWY., SUITE 880, DALLAS, TEXAS 75206

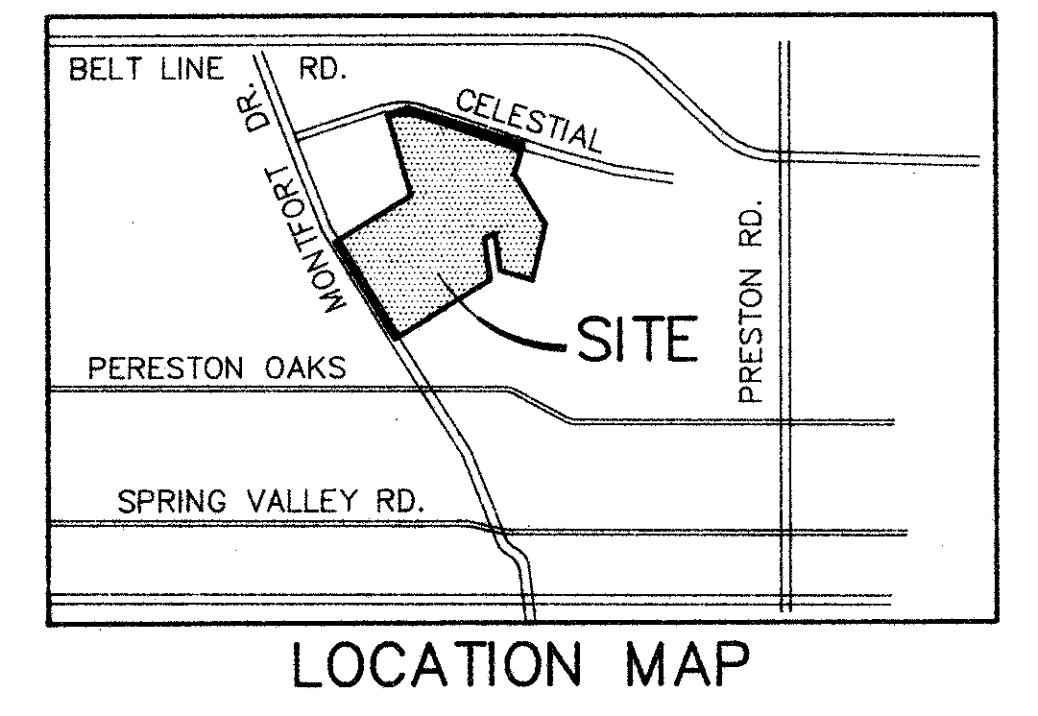
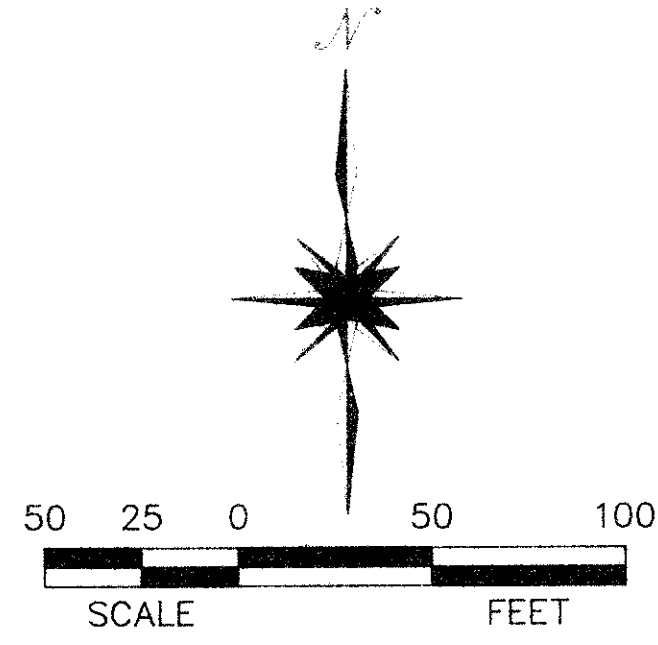
DAL-TECH ENGINEERING INC.
11020 AUDELIA RD., SUITE C207, DALLAS, TEXAS PH. 553-5500

DESIGN	DRAWN	DATE	SCALE	NOTES	SHEET
DAL-TECH	DAL-TECH	JANUARY 1994	H 1"=40' V 1"=5'	9313	3/13

ON SITE DRAINAGE DATA

Area No	Acres	Q ₁₀₀ , CFS
1	1.4	8.8
2	1.5	9.5
3	1.6	10.1
4	0.9	5.7
5	1.6	10.1

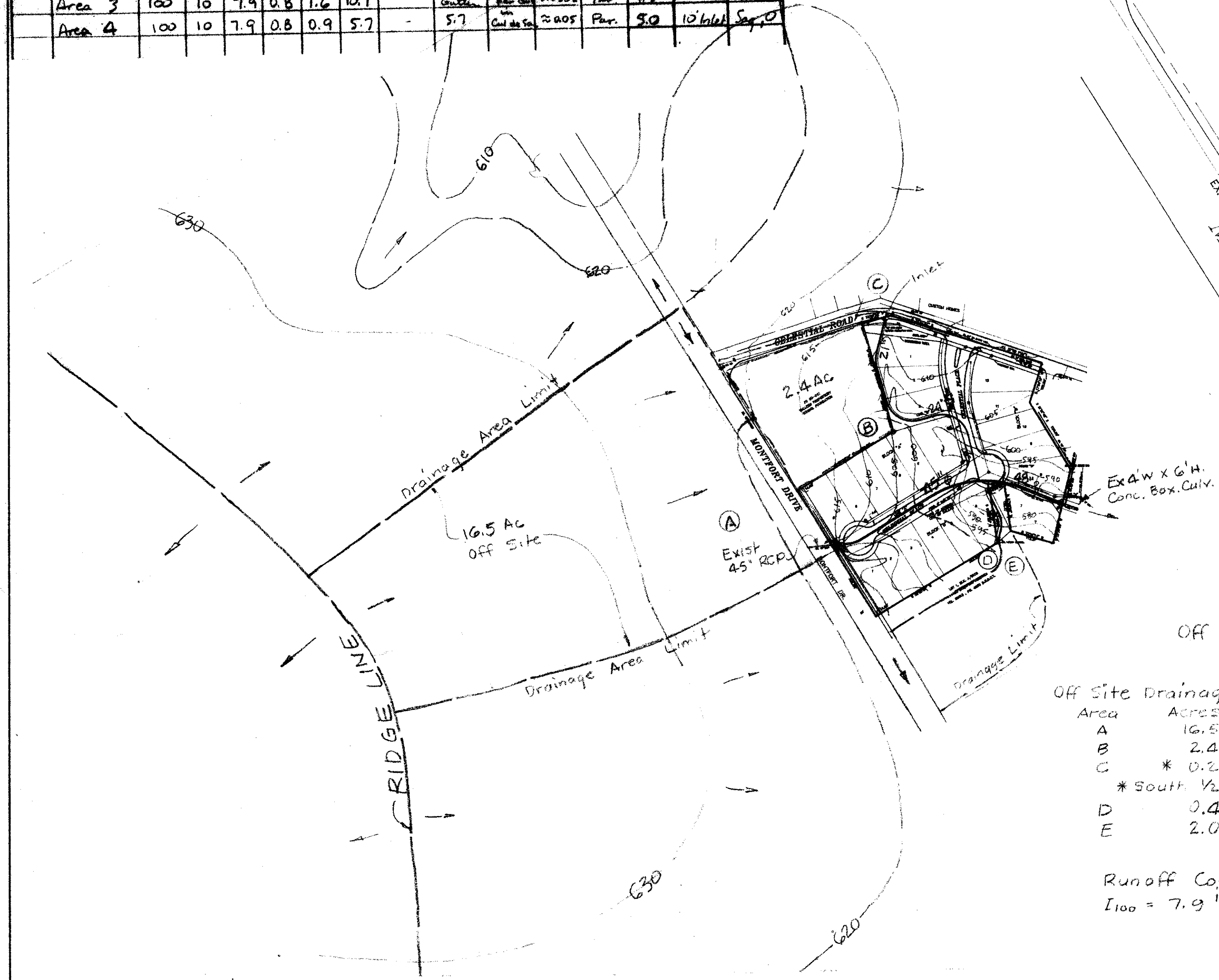
C = 0.8 tc = 10 min
I₁₀₀ = 7.9 in/hr.



**Town of Addison, Texas
Celestial Place Addition**

STREET CAPACITY & INLET DESIGN CALCULATIONS
BY DTE
DATE 3-11-94

INLET No.	Location	Design Storm Frequency (yrs)	AREA RUNOFF Q = CIA					Carry-Over From Upstream Inlet (c.f.s.)	Total Gutter Flow (c.f.s.)	Gutter Capacity (c.f.s.)	Gutter Slope (ft/ft)	Crown Type	SELECTED INLET		Carry-Over To Downstream Inlet (c.f.s.)
			Time of Conc. (min)	Intensity (in/hr)	Runoff Coeff.	Area (Ac)	"Q" (c.f.s.)						Length (ft)	Type	
1	Area 1&2	100	10	7.9	0.8	2.9	16.3	—	17.0	17.0	0.0481	Par	9.0	10' Inlet	8.1
2	Area 3	100	10	7.9	0.8	1.6	10.1	—	15.0	15.0	0.0382	Par	9.5	10' Inlet	0
3	Area 4	100	10	7.9	0.8	0.9	5.7	—	5.7	5.7	0.005	Par	8.0	10' Inlet	0



Off Site Drainage

Area	Acres	Q ₁₀₀
A	16.5	117.0 cfs
B	2.4	17.1 cfs
C	* 0.25	1.8 cfs
* South 1/2 of Celestial		
D	0.4	3.0 cfs
E	2.0	14.5 cfs

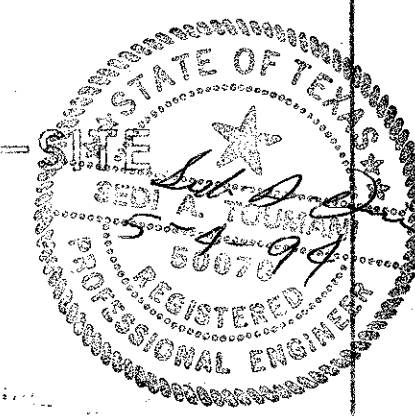
Runoff Coeff. = 0.8, tc = 10 min.
I₁₀₀ = 7.9 in/hr.

OFF SITE DRAINAGE AREAS
SCALE 1" = 200'

DRAINAGE AREA MAP, ON-SITE & OFF-SITE
CELESTIAL PLACE
ADDISON/DALLAS, TEXAS

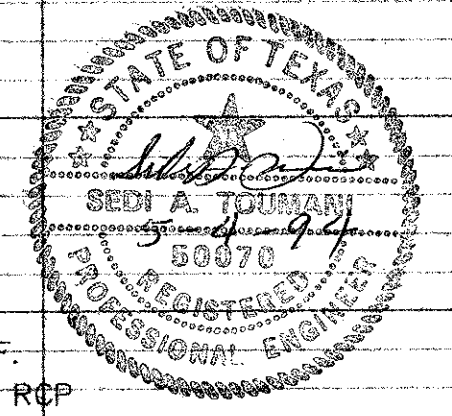
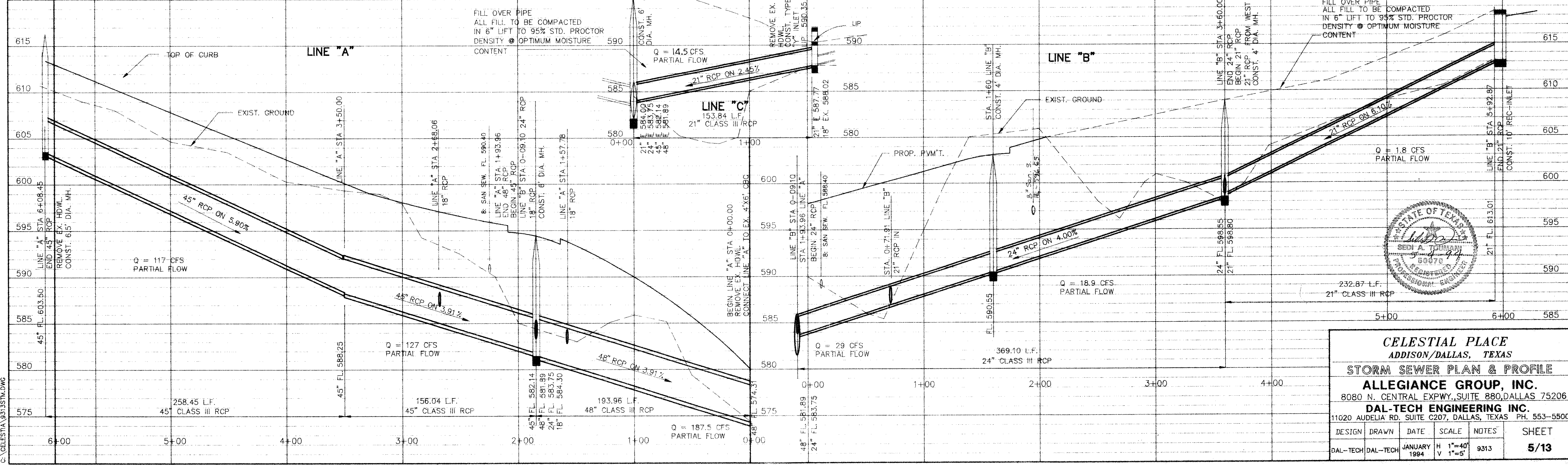
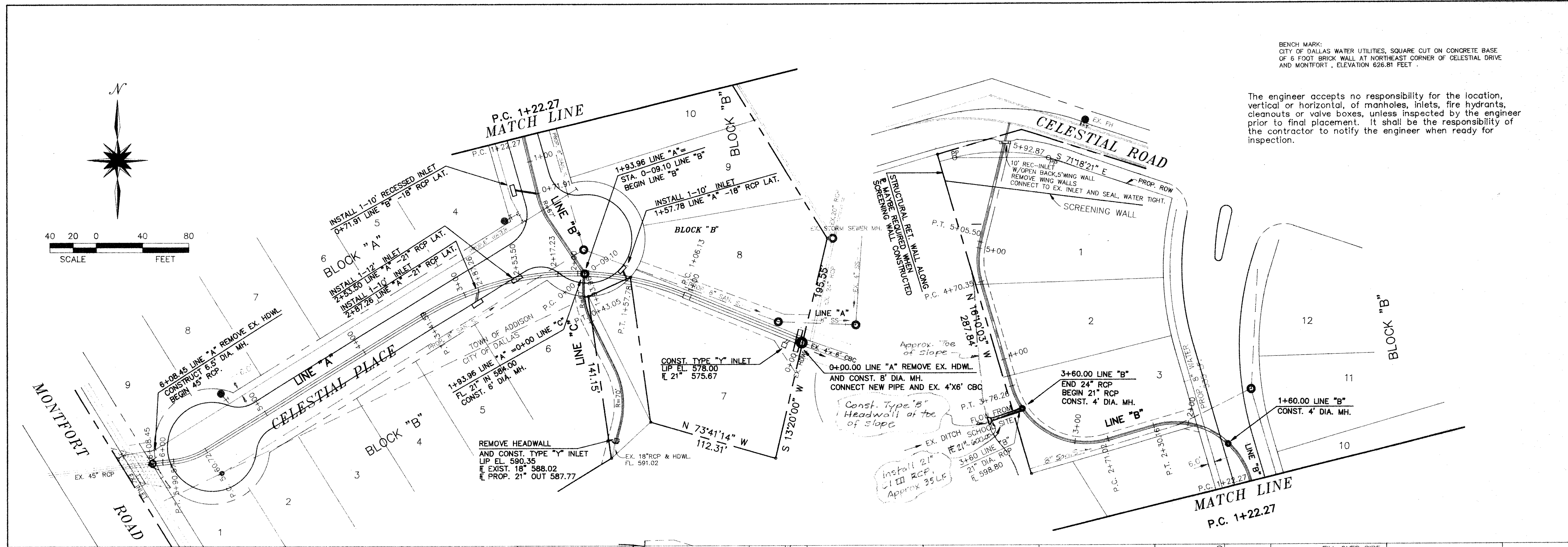
FOR: **ALLEGIANCE GROUP, INC.**
8080 N. CENTRAL EXPY., SUITE 880, DALLAS, TEXAS 75206

BY: **DAL-TECH ENGINEERING INC.**
11020 AUDELIA RD., SUITE C207, DALLAS, TEXAS 75342
PH. (214)553-5500



BENCH MARK:
CITY OF DALLAS WATER UTILITIES, SQUARE CUT ON CONCRETE BASE
OF 6 FOOT BRICK WALL AT NORTHEAST CORNER OF CELESTIAL DRIVE
AND MONTFORT, ELEVATION 626.81 FEET.

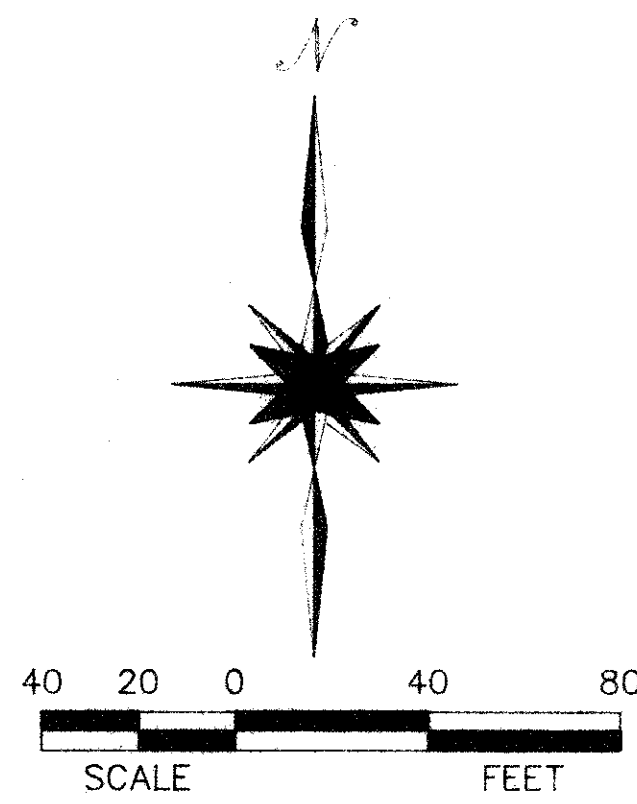
The engineer accepts no responsibility for the location, vertical or horizontal, of manholes, inlets, fire hydrants, cleanouts or valve boxes, unless inspected by the engineer prior to final placement. It shall be the responsibility of the contractor to notify the engineer when ready for inspection.



CELESTIAL PLACE
ADDISON/DALLAS, TEXAS
STORM SEWER PLAN & PROFILE
ALLEGIANCE GROUP, INC.
8080 N. CENTRAL EXPWY., SUITE 880, DALLAS 75206
DAL-TECH ENGINEERING INC.
11020 AUDELIA RD. SUITE C207, DALLAS, TEXAS PH. 553-5500

DESIGN	DRAWN	DATE	SCALE	NOTES	SHEET
DAL-TECH	DAL-TECH	JANUARY 1994	H 1"=40' V 1"=6'	9313	5/13

C:\CELESTIA\9313STM.DWG



PD 50-047
WALLEN PREPATORY
SCHOOL FOUNDATION
VOL. 72054, PG. 954 D.R.D.C.T.

MONTFORT DR.

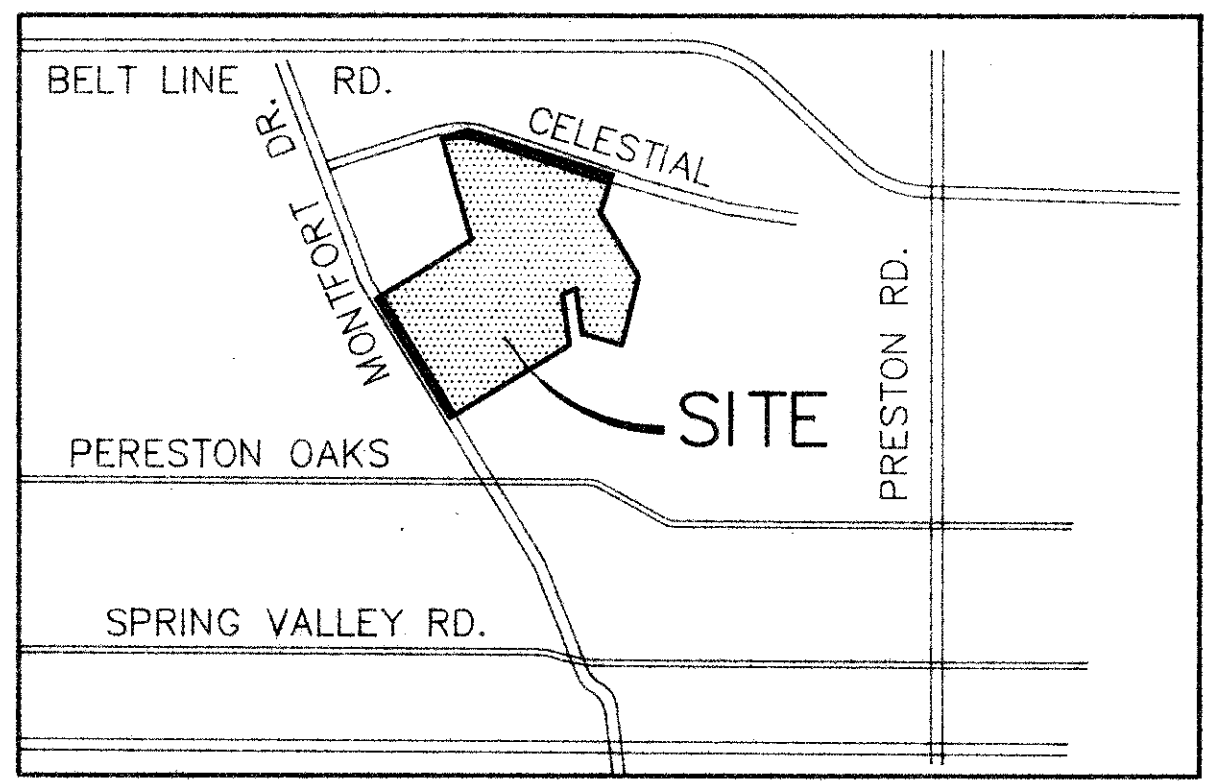
BLOCK "A"

BLOCK "B"

CELESTIAL PLACE

TOWN OF ADDISON
CITY OF DALLAS

BLOCK "B"



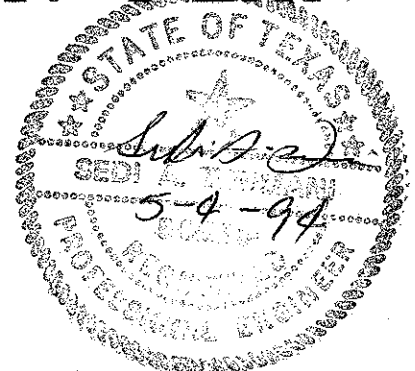
LOCATION MAP

BENCH MARK:
CITY OF DALLAS WATER UTILITIES, SQUARE CUT ON CONCRETE BASE
OF 6 FOOT BRICK WALL AT NORTHEAST CORNER OF CELESTIAL DRIVE
AND MONTFORT, ELEVATION 626.81 FEET

LOT 1, BLK. A/8168
14400 MONTFORT ADDITION
VOL. 86013, PG. 4250 D.R.D.C.T.

The engineer accepts no responsibility for the location,
vertical or horizontal, of manholes, inlets, fire hydrants,
cleanouts or valve boxes, unless inspected by the engineer
prior to final placement. It shall be the responsibility of
the contractor to notify the engineer when ready for
inspection.

WATER AND SANITARY SEWER PLAN
CELESTIAL PLACE
ADDISON/DALLAS, TEXAS



FOR :
ALLEGIANCE GROUP, INC.
8080 N. CENTRAL EXPWY.
DALLAS, TEXAS 75206
PH. (214)891-8159

BY :
DAL-TECH ENGINEERING INC
11020 AUDELIA RD., SUITE C207
DALLAS, TEXAS 75342
PH. (214)553-5500

CONTRACTOR TO COMPLY WITH THE TOWN OF
ADDISON STANDARD DETAILS AND SPECIFICATIONS
FOR CONSTRUCTION OF WATER AND SANITARY SEWER
LINES AND APPURTENANCES.
SEE DETAILS AND SPECS. SHEETS ATTACHED.

INSTALL 27 L.F. OF WATER LINE
BY OTHER THAN OPEN CUT.

INSTALL:
1-8" X 8"
TAPPING SLEEVE
AND VALVE

CUSTOM HOMES

CELESTIAL

2+85.00 LINE "B"
END, & CLEANOUT

1+81.73 LINE "B"
CONST. 4-0" DIA. MH.
= 0+00 LINE "C"

2+46.23 LINE "A"
0+00 LINE "B"
CONST. 4-0" DIA. MH.

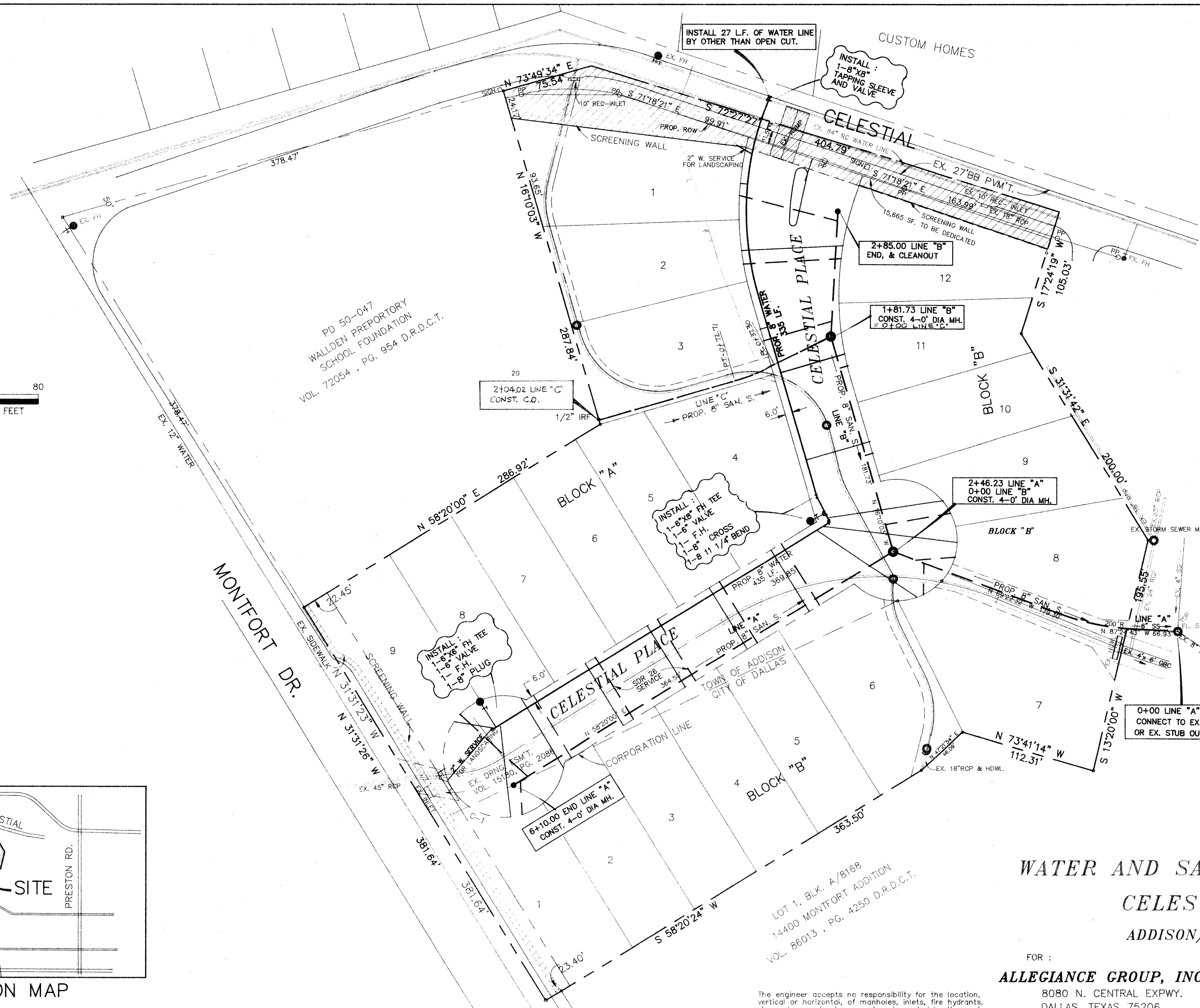
0+00 LINE "A"
CONNECT TO EX. MH
OR EX. STUB OUT.

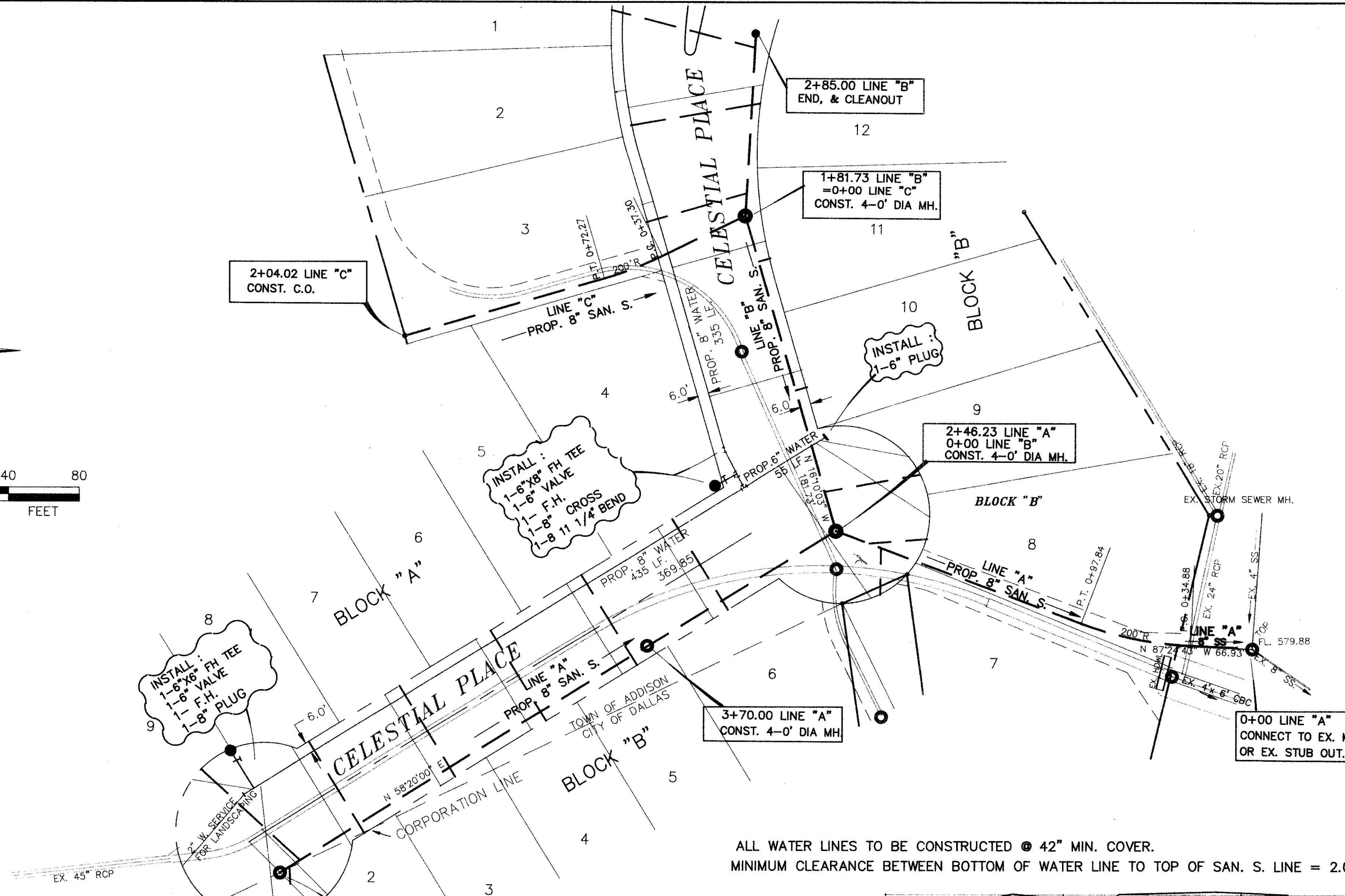
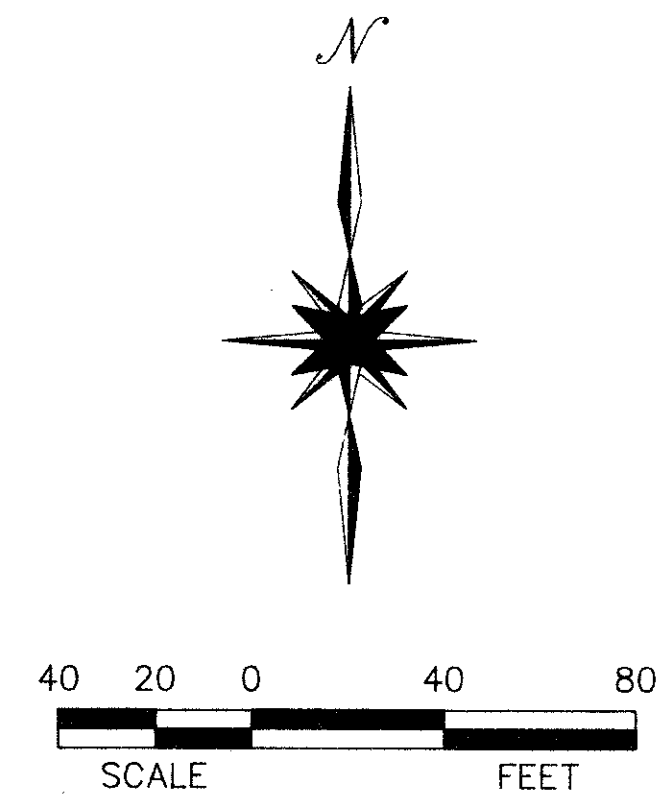
2+04.02 LINE "C"
CONST. C.D.

INSTALL:
1-6" X 8" FH TEE
1-6" VALVE
1-6" F.H. CROSS
1-8" 1 1/4 BEND

INSTALL:
1-6" X 6" FH TEE
1-6" VALVE
1-8" PLUG

6+10.00 END LINE "A"
CONST. 4-0" DIA. MH.



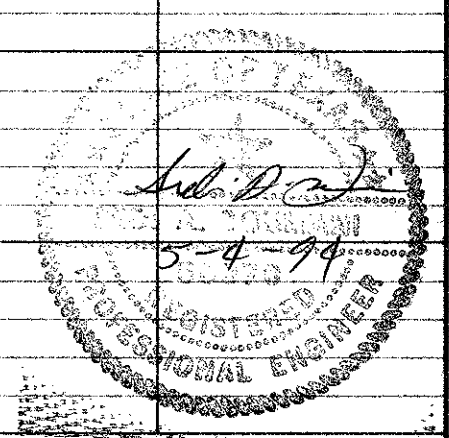
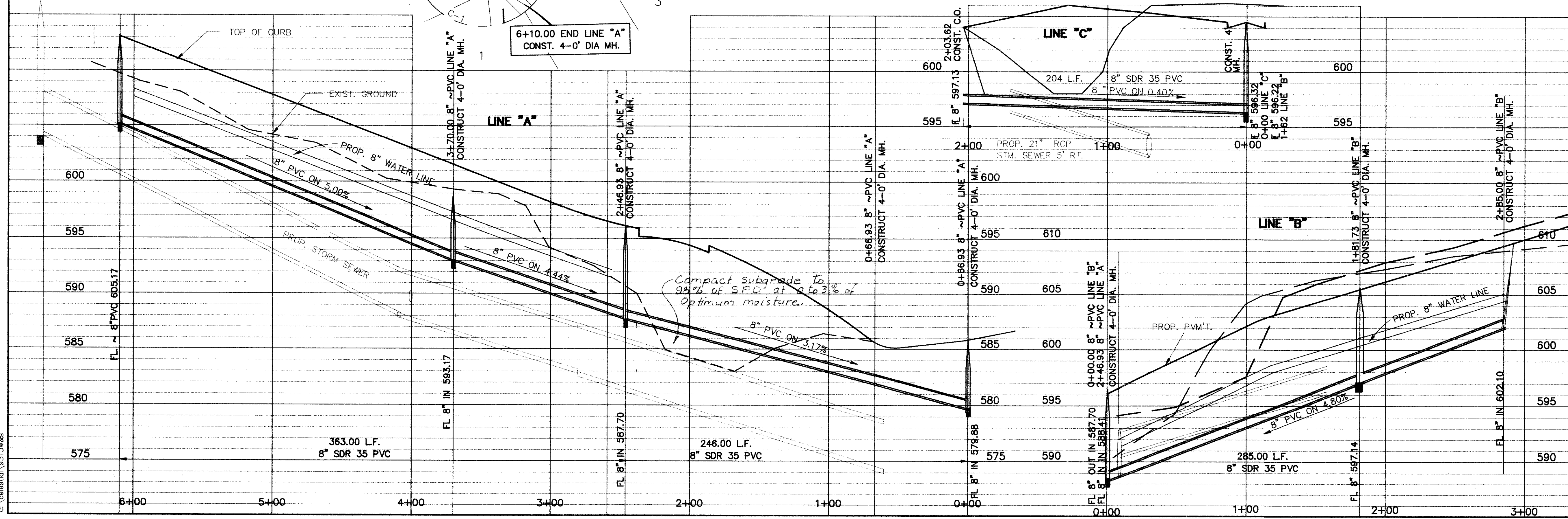


CONTRACTOR TO COMPLY WITH THE TOWN OF ADDISON STANDARD DETAILS AND SPECIFICATIONS FOR CONSTRUCTION OF WATER AND SANITARY SEWER
SEE DETAILS AND SPECS. SHEETS ATTACHED.

BENCH MARK:
CITY OF DALLAS WATER UTILITIES, SQUARE CUT ON CONCRETE BASE OF 6 FOOT BRICK WALL AT NORTHEAST CORNER OF CELESTIAL DRIVE AND MONTFORT, ELEVATION 626.81 FEET.

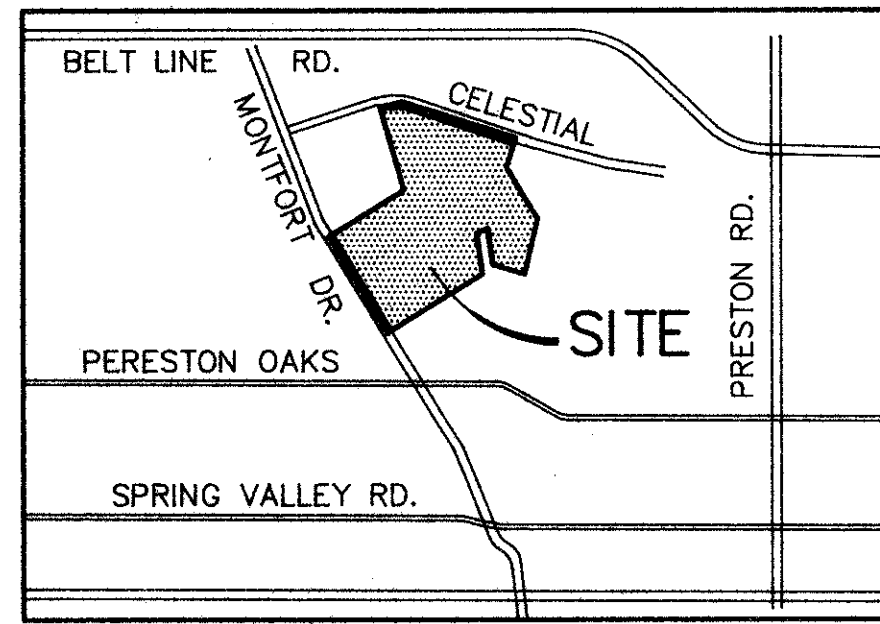
The engineer accepts no responsibility for the location, vertical or horizontal, of manholes, inlets, fire hydrants, cleanouts or valve boxes, unless inspected by the engineer prior to final placement. It shall be the responsibility of the contractor to notify the engineer when ready for inspection.

ALL WATER LINES TO BE CONSTRUCTED @ 42" MIN. COVER.
MINIMUM CLEARANCE BETWEEN BOTTOM OF WATER LINE TO TOP OF SAN. S. LINE = 2.00 FT. MIN.

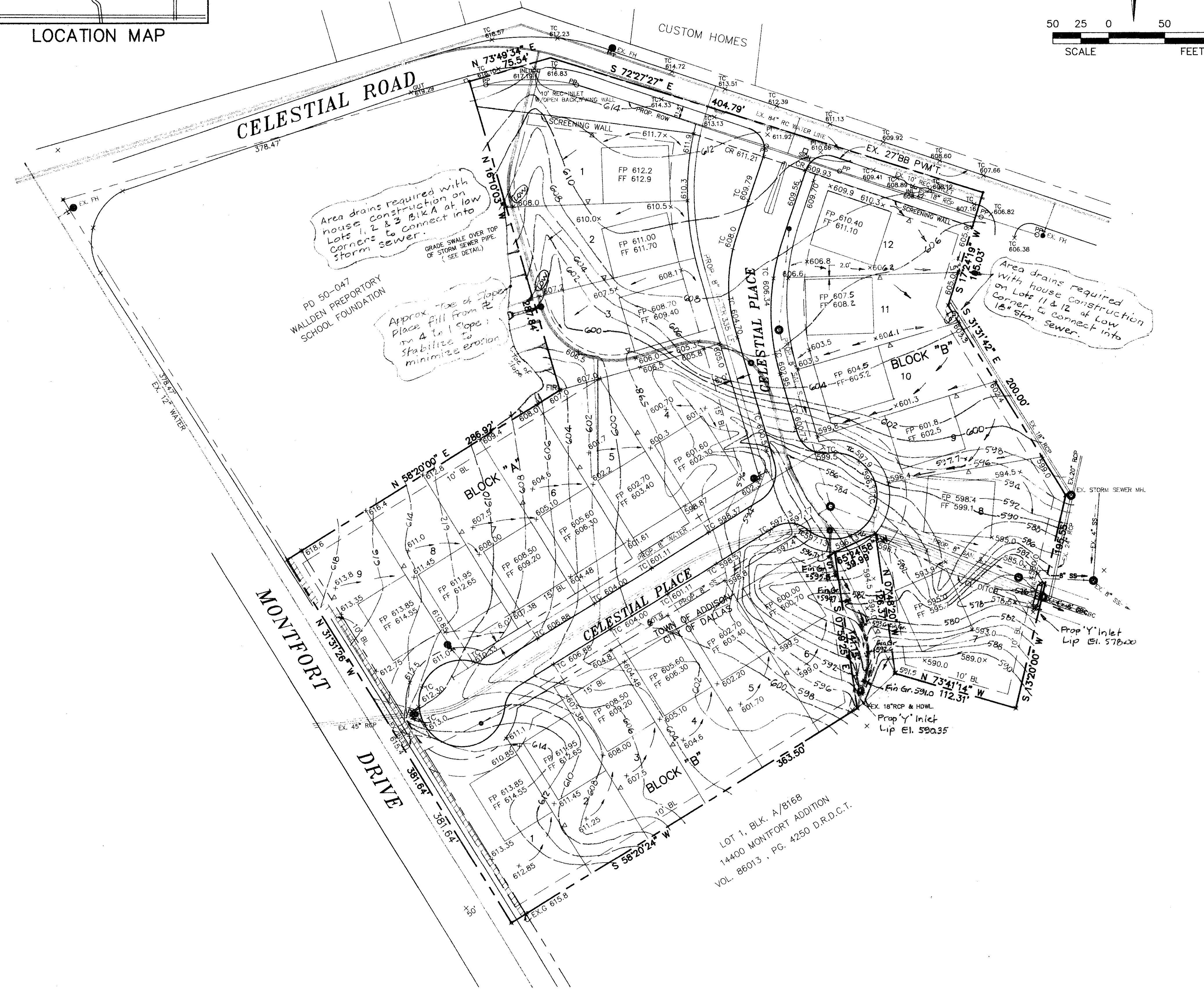
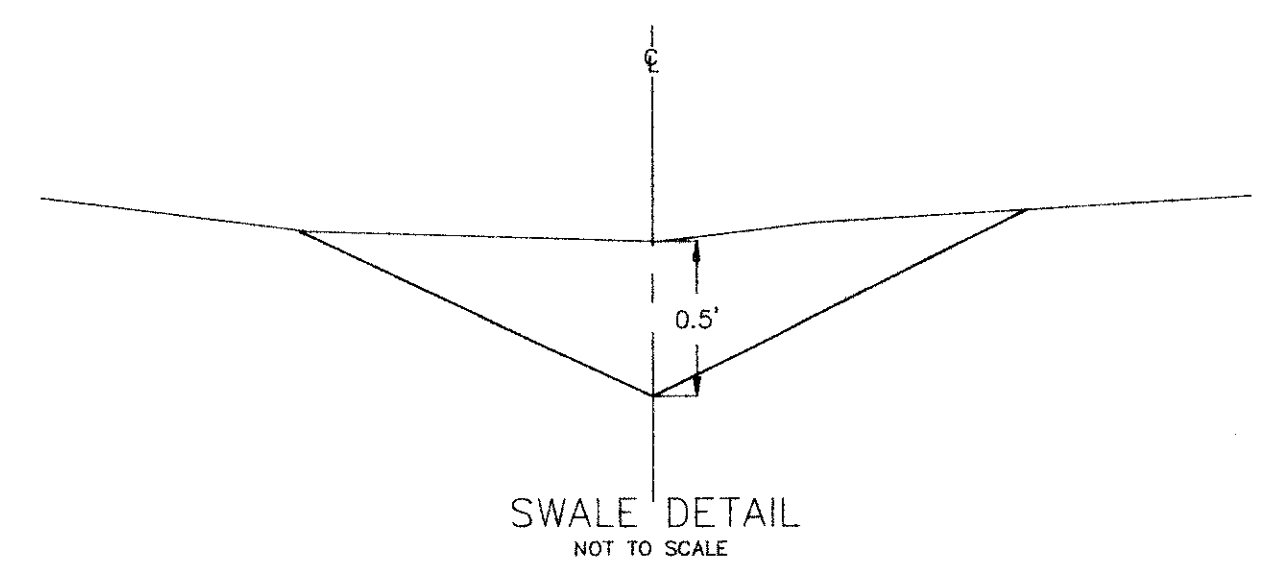
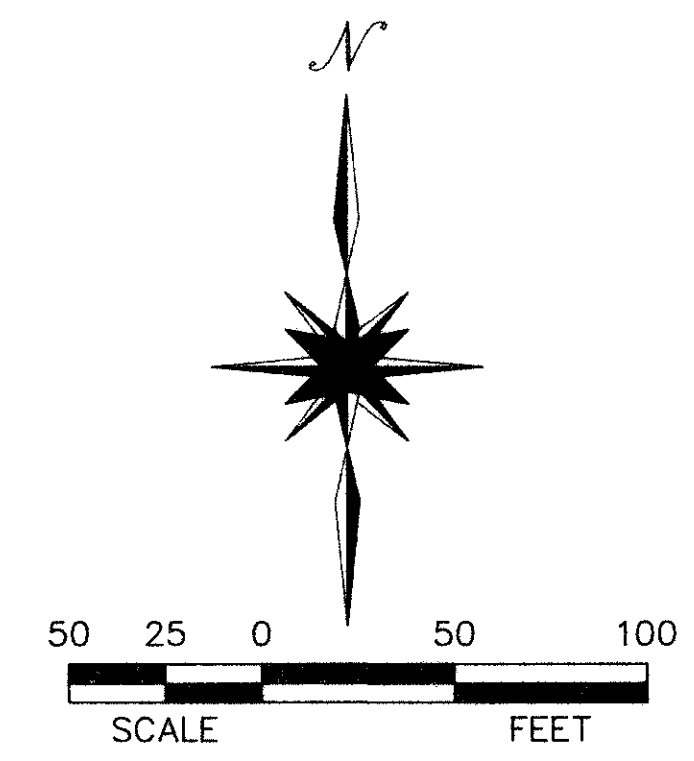


CELESTIAL PLACE					
ADDISON/DALLAS, TEXAS					
WATER & SAN. SEWER PROFILE					
ALLEGIANCE GROUP, INC.					
DAL-TECH ENGINEERING INC.					
1020 AUDELIA RD. SUITE C207, DALLAS, TEXAS PH. 553-5500					
DESIGN	DRAWN	DATE	SCALE	NOTES	SHEET
DAL-TECH	DAL-TECH	JANUARY 1994	H 1"=40' V 1"=5'	JOB NO. 9313 9313	7/13

c:\celestial\9313.wks



LOCATION MAP



Area drains required with house construction on Lots 1, 2 & 3 BKA at low corners to connect into storm sewer.

Approx. Place fill from 2' to 4' to stabilize to minimize erosion.

Area drains required with house construction on Lots 11 & 12 at low corner to connect into 15" storm sewer.

PD 50-047
WALLEN PREPATORY
SCHOOL FOUNDATION

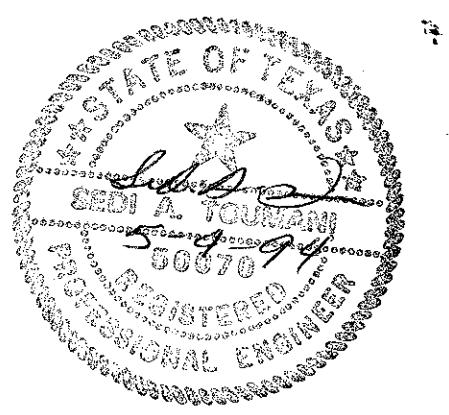
NOTE ~
FOR LOTS 4-9, BLOCK A AND 1-6 AND 9-12 OF BLOCK B,
DRIVEWAYS TO BE CONSTRUCTED ON HIGH SIDE OF LOTS.

BENCH MARK:
CITY OF DALLAS WATER UTILITIES, SQUARE CUT ON CONCRETE BASE
OF 6 FOOT BRICK WALL AT NORTHEAST CORNER OF CELESTIAL DRIVE
AND MONTFORT, ELEVATION 626.81 FEET

CONTOUR INTERVAL 2'

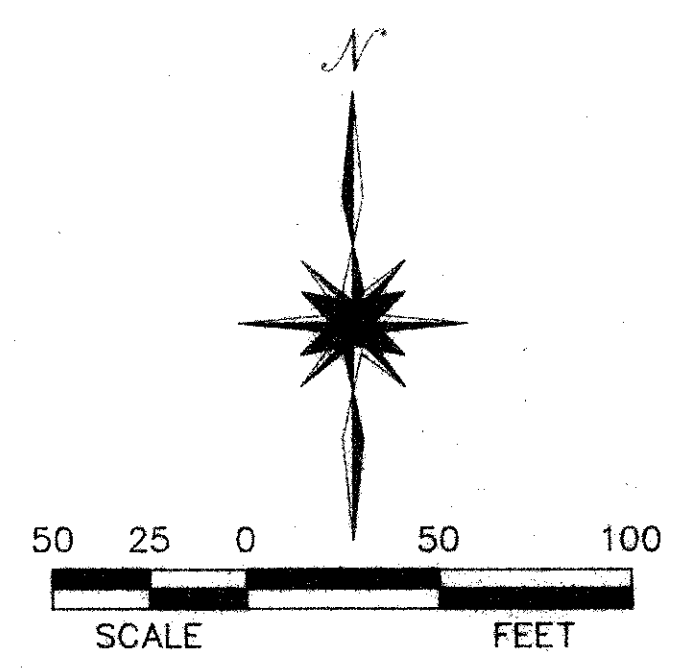
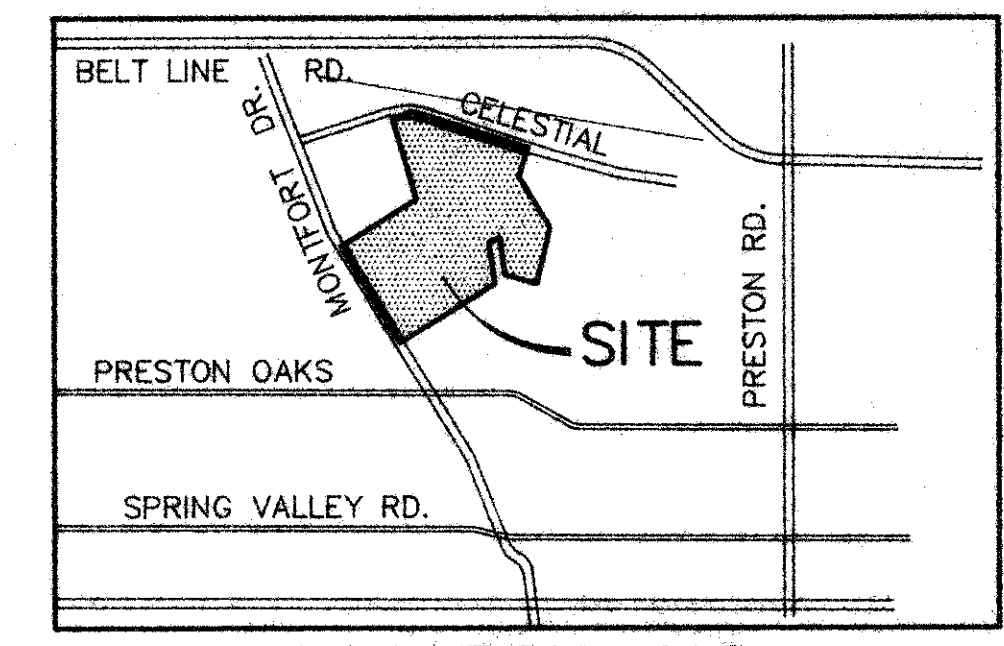
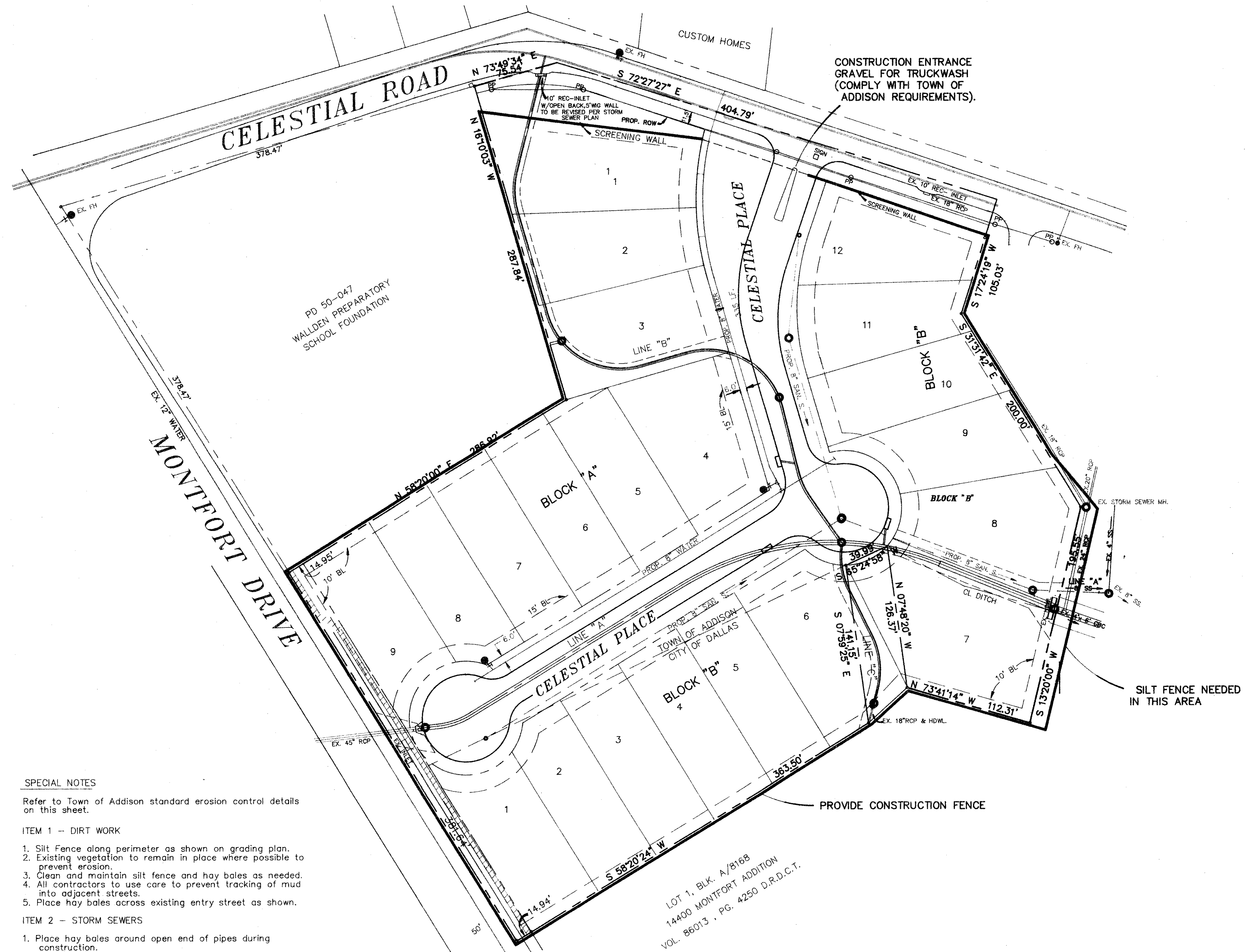
LOT 1, BLK. A/B168
14400 MONTFORT ADDITION
VOL. 86013, PG. 4250 D.R.D.C.T.

**TOWN OF ADDISON
GRADING PLAN
CELESTIAL PLACE
ADDISON / DALLAS, TEXAS**



FOR : **ALLEGIANCE GROUP, INC.**
8080 N. CENTRAL EXPWY.
DALLAS, TEXAS 75206

BY : **DAL-TECH ENGINEERING INC**
11020 AUDELIA RD., SUITE C207
DALLAS, TEXAS 75342
PH. (214)553-5500



SPECIAL NOTES

Refer to Town of Addison standard erosion control details on this sheet.

ITEM 1 - DIRT WORK

1. Silt Fence along perimeter as shown on grading plan.
2. Existing vegetation to remain in place where possible to prevent erosion.
3. Clean and maintain silt fence and hay bales as needed.
4. All contractors to use care to prevent tracking of mud into adjacent streets.
5. Place hay bales across existing entry street as shown.

ITEM 2 - STORM SEWERS

1. Place hay bales around open end of pipes during construction.
2. Place hay bales around all inlets during and after construction.

ITEM 3 - OTHER UTILITY WORK

1. Each Contractor is responsible to maintain any erosion control measures they may alter during construction operations.
2. Each Contractor is to protect the open end of any pipe during construction.

ITEM 4 - STREET CONSTRUCTION

1. Remove hay bales and silt fences from street right-of-way, but leave others in place.
2. Keep ITEMS 1 and 2 in place and maintain and replace if damaged during construction.

ITEM 5 - FINAL DRESS UP AND GRADING

1. Keep ITEMS 1 and 2 in place.
2. Seed bare areas subject to erosion.

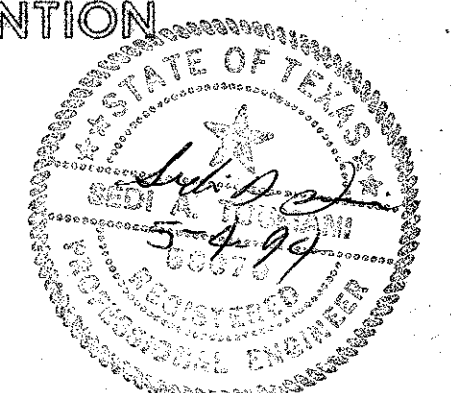
ITEM 6 - GROWTH STAGE

1. Keep ITEM 1 in place.
2. Establish grass cover.
3. When 70% grass cover is achieved, remove all silt fences, hay bales, etc.

LOT 1, BLK. A/8168
14400 MONTFORT ADDITION
VOL. 86013, PG. 4250 D.R.D.C.T.

STORM WATER POLLUTION PREVENTION PLAN
CELESTIAL PLACE
ADDISON/DALLAS, TEXAS

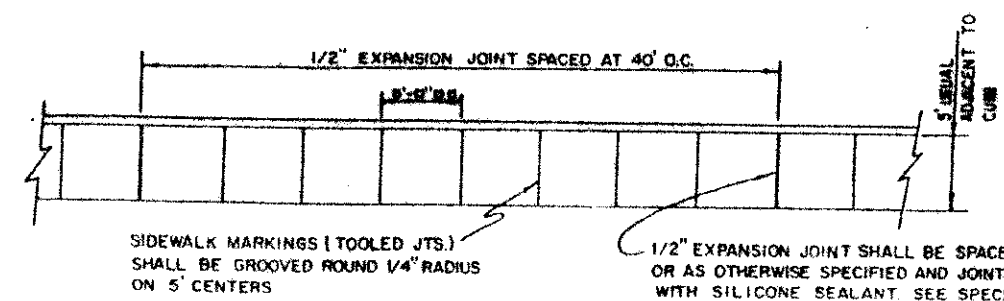
FOR : **ALLEGIANCE GROUP, INC.** 8080 N. CENTRAL EXPWY. SUITE 880, DALLAS, TEXAS 75206
BY : **DAL-TECH ENGINEERING INC** 11020 AUDELIA RD., SUITE C207 DALLAS, TEXAS 75342 PH. (214)553-5500



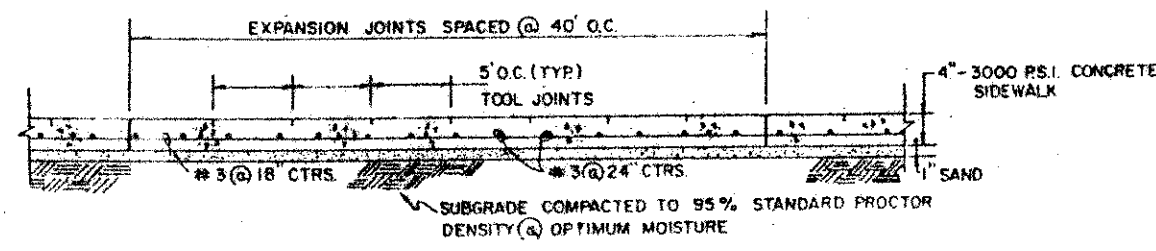
C:\CELESTIAL\9313.DWG

CONCRETE SIDEWALK DETAIL

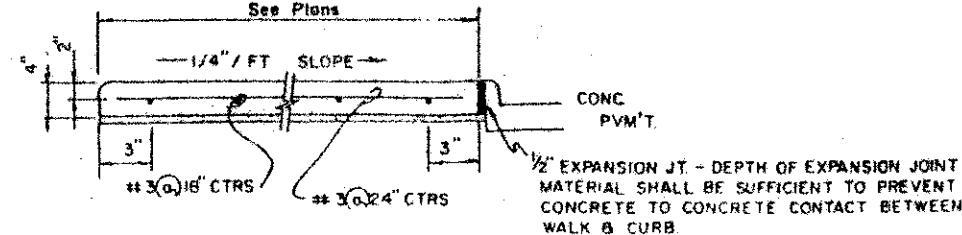
- GENERAL NOTES**
- Reinforced concrete sidewalk shall be 5 or 7 feet wide, a minimum of four (4) inches thick and shall be 3000 psi at 28 days (5 sack mix). Unless noted otherwise.
 - Channel shall exposed surface of concrete (2x4) inch.
 - All bar dimensions are given as center to center of bars and are located as shown.
 - All reinforcing steel shall be No. 3 on 18 inch centers longitudinally, 24 inch centers transversely and shall conform to the requirements of ASTM A-615, Grade 60.
 - 1" thick min. fine, washed sand cushion shall be free from organic materials or clays and shall be used for grade adjustment.
 - Subgrade shall be compacted to a density not less than 95% at optimum moisture.
 - Tooled joints (contraction joints) shall be on five (5) foot centers and shall be round one-fourth (1/4) inch radius.
 - A one-half (1/2) inch expansion joint shall be placed every eight (8) foot joints, and where works about old work, or where new work is constructed adjacent to other concrete, a one-inch expansion joint shall be used where sidewalk is adjacent to curb, the expansion joint shall be made of pre-molded bituminous expansion joint filler or redwood with silicone sealant. See Specs.
 - Sidewalk shall be finished by lightly brooming surface transversely to direction of main traffic or where adjacent sidewalks differ from this standard, new sidewalks shall conform to adjacent sidewalk (e.g. exposed aggregate).
 - Cross slope walk one-fourth (1/4) inch per foot towards curb or as shown on the drawings to provide drainage.



PLAN

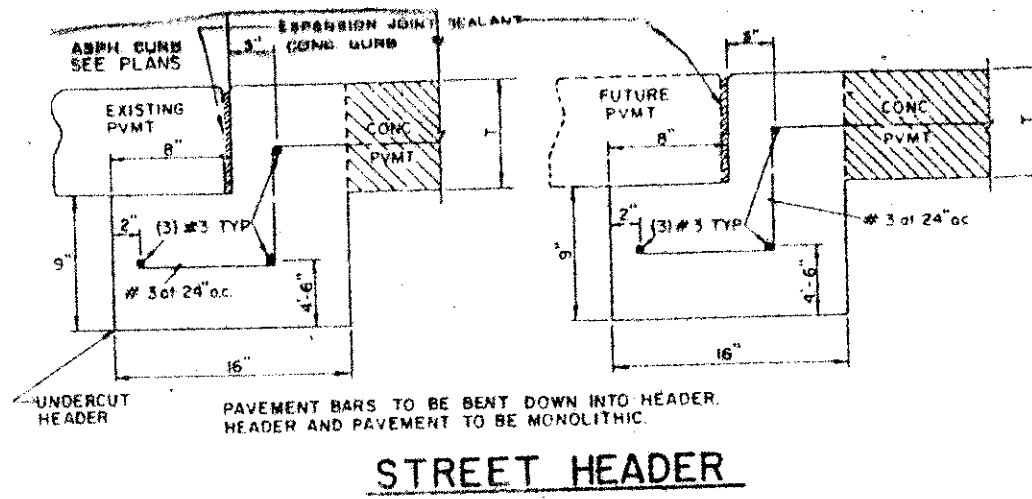


SIDE ELEVATION

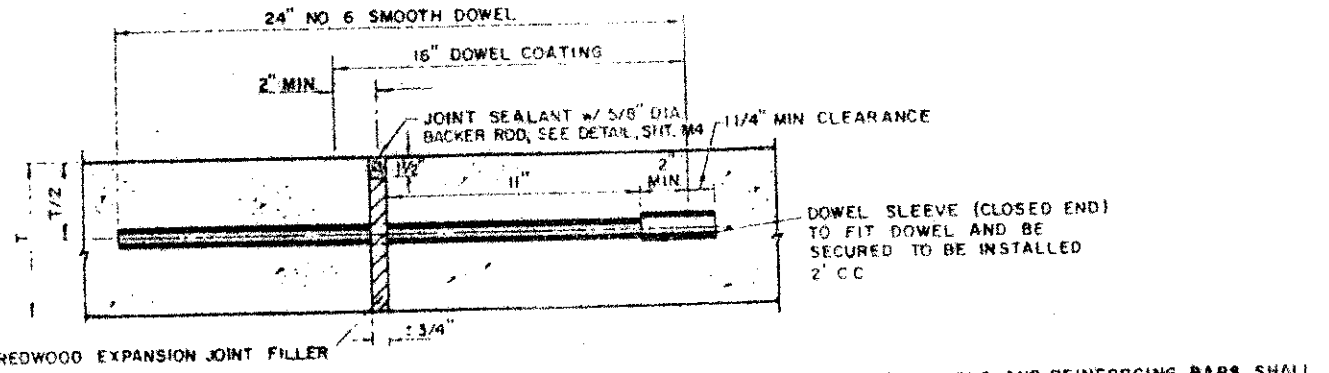


SECTION

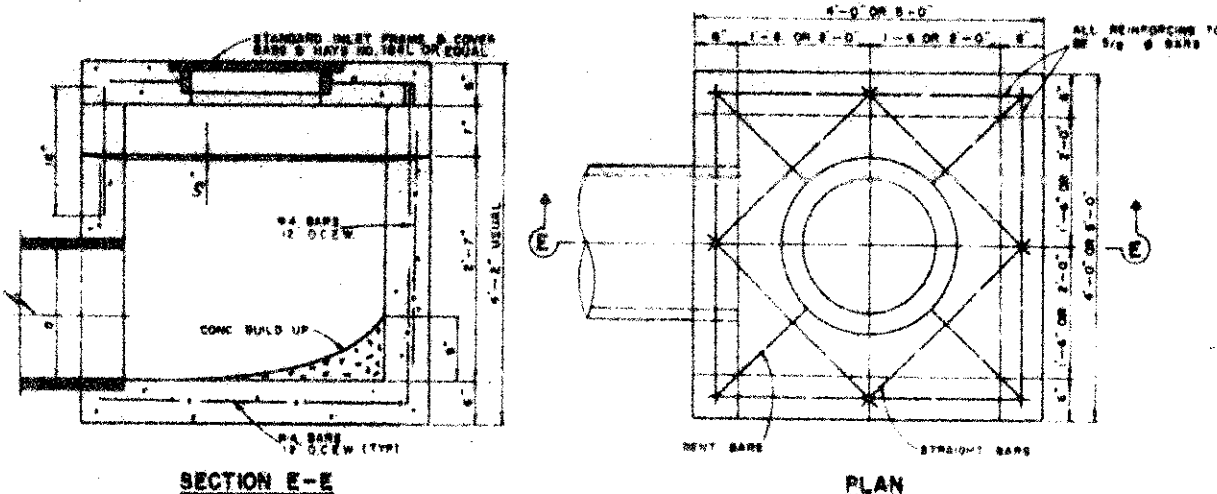
EXPANSION JOINT DETAIL



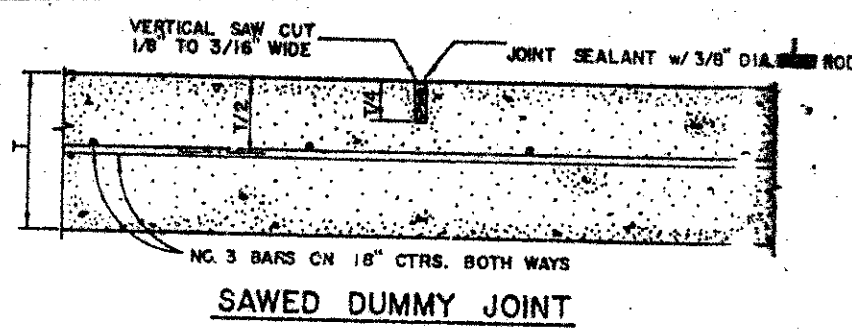
STREET HEADER



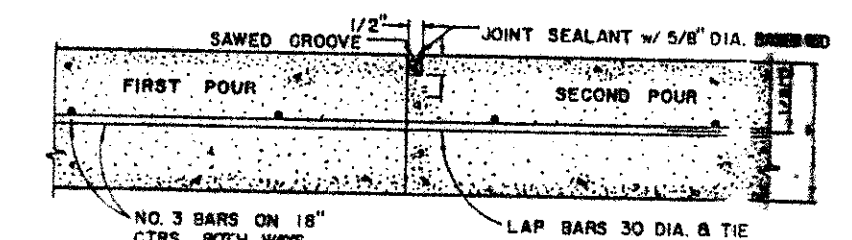
TRANSVERSE EXPANSION JOINT
(SPACED 600 FT MAXIMUM LOCATE AT INTERSECTIONS)



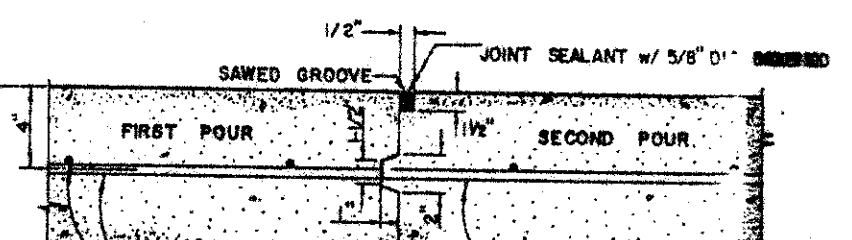
STANDARD DROP INLET



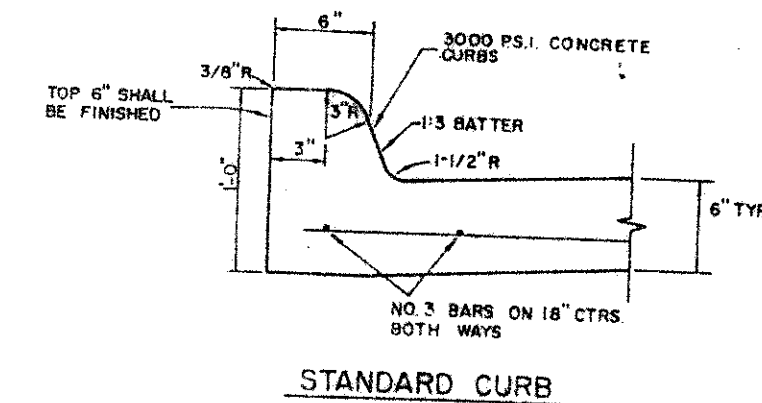
SAWED DUMMY JOINT



CONSTRUCTION JOINT FOR 6 INCH PAVEMENT



CONSTRUCTION JOINT FOR 8 INCH PAVEMENT



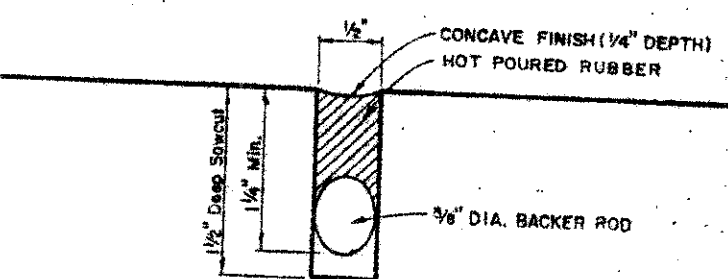
STANDARD CURB

REINFORCED CONCRETE PAVEMENT

- ALL REINFORCING BARS SHALL BE NO. 3 TRANSVERSE BARS TO BE SPACED ON 1'-6" CENTERS LONGITUDINAL BARS TO BE SPACED ON 1'-6" EXCEPT UNIMPROVED STREETS - PROVIDE 4" DRL - REF YELLOW & BUTTON P-17-Y PATTERNS TO BE ESTABLISHED BY ENGINEER. SEE DETAIL SHEET.
- SAWED LONGITUDINAL DUMMY JOINT.
 - CONSTRUCTION JOINT (FULL WIDTH PAVT) IS ALLOWED WHERE APPROVED BY ENGINEER.
 - FINISH SHALL BE TRANSVERSE WITH TRAFFIC LANES AND SHALL BE STEEL TINED BROOM FINISH.

GENERAL NOTES

- GENERAL PAVEMENT THICKNESS FOR STREETS SHALL BE AS SPECIFIED BELOW IN SPECIAL NOTES.
- STANDARD SPECIFICATIONS REINFORCED CONCRETE PAVEMENTS
 - ALL CURBS SHALL BE PLACED INTEGRAL WITH PAVEMENT.
 - CURBS SHALL MEET THE SAME COMPRESSIVE STRENGTH AS SPECIFIED FOR THE CONCRETE PAVEMENT.
 - DETAIL AND ARRANGEMENT OF JOINTS, ALL TYPES, SHALL BE AS SHOWN ON THE STANDARD CONSTRUCTION DETAILS, AS APPROVED BY ENGINEER.
 - BAR LAPS SHALL BE 30 DIAMETERS.
- BAR CHAIRS OR AN APPROVED SUPPORTING DEVICE SHALL BE FURNISHED.



TYPICAL JOINT DETAIL

REINFORCING STEEL SCHEDULE

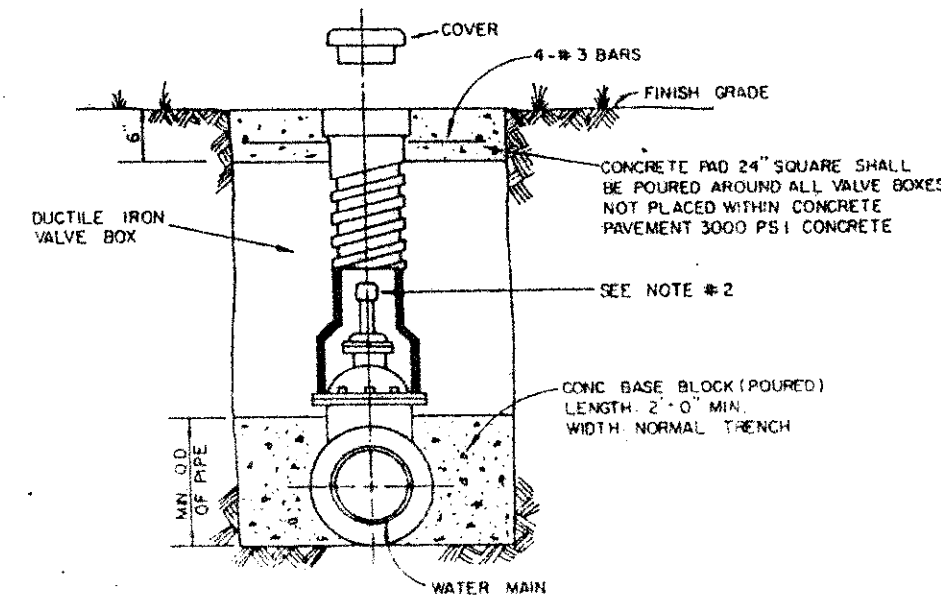
DIMENSIONS SHOWN ARE FOR MINIMUM INLETS

INLET LENGTH	BAR TYPE	BAR DIA. (B/IN)	REG'D	A	B	C
4	A	3	6	3'-2"	2'-2"	2'-2"
4	B	3	6	3'-2"	2'-2"	2'-2"
4	C	4	15	4'-8"	4'-8"	4'-8"
4	D	4	5	4'-8"	4'-8"	4'-8"
4	E	4	5	4'-8"	4'-8"	4'-8"
4	F	4	5	4'-8"	4'-8"	4'-8"
4	G	3	5	2'-0"	2'-0"	2'-0"
4	H	3	5	2'-0"	2'-0"	2'-0"
4	I	3	5	2'-0"	2'-0"	2'-0"
4	J	3	5	2'-0"	2'-0"	2'-0"
4	K	3	5	2'-0"	2'-0"	2'-0"
4	L	3	5	2'-0"	2'-0"	2'-0"
4	M	3	5	2'-0"	2'-0"	2'-0"
4	N	3	5	2'-0"	2'-0"	2'-0"
4	O	3	5	2'-0"	2'-0"	2'-0"
4	P	3	5	2'-0"	2'-0"	2'-0"
4	Q	3	5	2'-0"	2'-0"	2'-0"
4	R	3	5	2'-0"	2'-0"	2'-0"
4	S	3	5	2'-0"	2'-0"	2'-0"
4	T	3	5	2'-0"	2'-0"	2'-0"
4	U	3	5	2'-0"	2'-0"	2'-0"
4	V	3	5	2'-0"	2'-0"	2'-0"
4	W	3	5	2'-0"	2'-0"	2'-0"
4	X	3	5	2'-0"	2'-0"	2'-0"
4	Y	3	5	2'-0"	2'-0"	2'-0"
4	Z	3	5	2'-0"	2'-0"	2'-0"
4	AA	3	5	2'-0"	2'-0"	2'-0"
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4	AF	3	5	2'-0"	2'-0"	2'-0"
4	AG	3	5	2'-0"	2'-0"	2'-0"
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4	AI	3	5	2'-0"	2'-0"	2'-0"
4	AJ	3	5	2'-0"	2'-0"	2'-0"
4	AK	3	5	2'-0"	2'-0"	2'-0"
4	AL	3	5	2'-0"	2'-0"	2'-0"
4	AM	3	5	2'-0"	2'-0"	2'-0"
4	AN	3	5	2'-0"	2'-0"	2'-0"
4	AO	3	5	2'-0"	2'-0"	2'-0"
4	AP	3	5	2'-0"	2'-0"	2'-0"
4	AQ	3	5	2'-0"	2'-0"	2'-0"
4	AR	3	5	2'-0"	2'-0"	2'-0"
4	AS	3	5	2'-0"	2'-0"	2'-0"
4	AT	3	5	2'-0"	2'-0"	2'-0"
4	AU	3	5	2'-0"	2'-0"	2'-0"
4	AV	3	5	2'-0"	2'-0"	2'-0"
4	AW	3	5	2'-0"	2'-0"	2'-0"
4	AX	3	5	2'-0"	2'-0"	2'-0"
4	AY	3	5	2'-0"	2'-0"	2'-0"
4	AZ	3	5	2'-0"	2'-0"	2'-0"
4	BA	3	5	2'-0"	2'-0"	2'-0"
4	BB	3	5	2'-0"	2'-0"	2'-0"
4	BC	3	5	2'-0"	2'-0"	2'-0"
4	BD	3	5	2'-0"	2'-0"	2'-0"
4	BE	3	5	2'-0"	2'-0"	2'-0"
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4	BU	3	5	2'-0"	2'-0"	2'-0"
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4	FK	3	5	2'-0"	2'-0"	2'-0"
4	FL	3	5	2'-0"	2'-0"	2'-0"
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4	GB	3	5	2'-0"	2'-0"	2'-0"
4	GC	3	5	2'-0"	2'-0"	2'-0"
4	GD	3	5	2'-0"	2'-0"	2'-0"
4	GE	3				

TOWN OF ADDISON

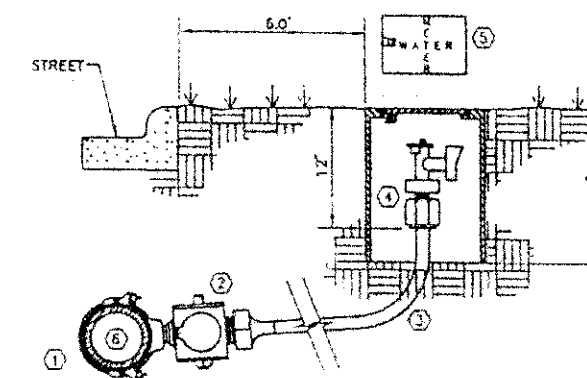
GENERAL NOTES

- A. Prior to final acceptance by the Town of Addison.
- 1) The Contractors shall provide sufficient notes concerning any fill change for the Owner and Engineer to provide reproducible set of as-builts (sealed and certified by a Texas Registered Engineer) and 2 blue line sets.
 - 2) A five foot sidewalk shall be installed along Celestial Avenue. See attached detail.
 - 3) A one year 10% maintenance bond is required for the internal subdivision infrastructure.
 - 4) Contractor shall demonstrate that the water and sanitary sewer systems meets the proper pressure, bacteria and mandrel tests. In addition, the owner shall provide a VHS format video tape of the sanitary sewer.
- B. Prior to starting construction, the contractor shall contact the utility companies to locate existing facilities. These include but may not be limited to the following:
- 1) Town of Addison;
 - 2) Lone Star Gas;
 - 3) Southwestern Bell;
 - 4) Storer Cable;
 - 5) Planned Cable System;
 - 6) TU Electric.
- C. Prior to beginning construction, the Owner or his authorized representative shall convey a Pre-Construction Conference between the Town of Addison, Consulting Engineer, Contractor(s), Utility Companies and any other affected parties. Notify Bruce Eli 450-2847 at least 48 hours prior to beginning construction.
- D. Any existing pavement, curbs, and/or sidewalks damaged or removed will be repaired by the contractor at their expense.
- E. Lot pins shall be installed after construction and prior to final acceptance. Concrete monuments shall be placed as shown on the final plat and iron pins shall be placed at block corners, curve points and angle points in public right-of-way. Concrete monuments shall be six (6) inches



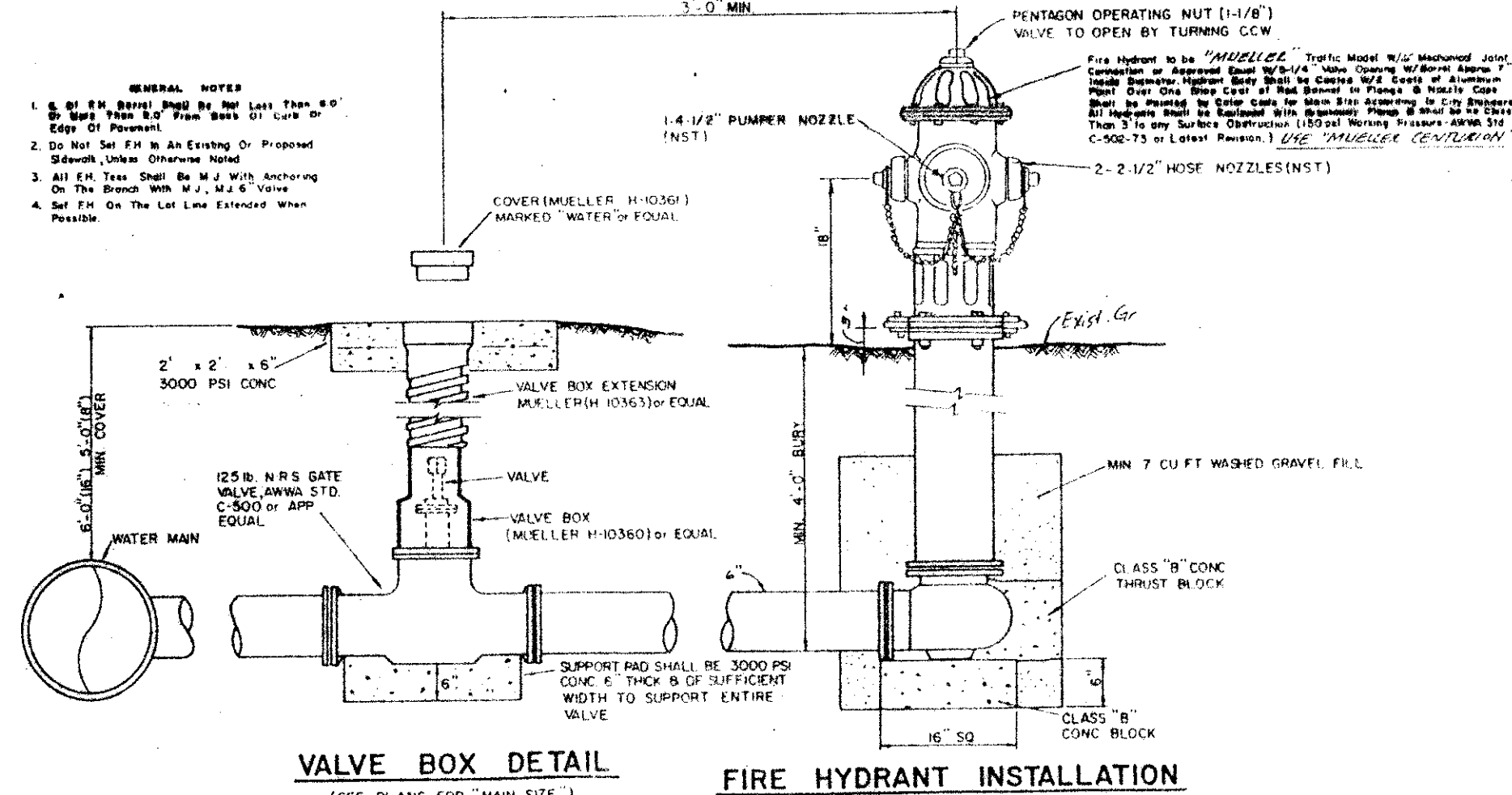
- NOTE:
- 1) GATE VALVES SHALL BE IN ACCORDANCE WITH AWWA STANDARD C-300-80 OR LATEST THEREOF. ALL VALVES SHALL BE "MUELLE" OR APPROVED EQUAL.
 - 2) A PERMANENTLY ATTACHED VALVE EXTENSION STEM SHALL BE REQUIRED FOR ANY VALVE THAT'S OPERATING NUT IS LOCATED IN EXCESS OF 4 FEET BELOW THE TOP OF VALVE BOX. THIS EXTENSION SHALL BE OF SUFFICIENT LENGTH TO INSURE THAT ITS TOP IS WITHIN 4" OF VALVE BOX LID. MANUFACTURED VALVE STACK DUCTILE IRON PIPE TO BE USED FOR EXTENSION GREATER THAN 4'-0" BELL END OF STACK TO BE FITTED OVER VALVE AND VALVE STACK IS TO BE POLY WRAPPED.
 - 3) VALVES SHALL BE OF DUCTILE IRON W/ RUBBER ENCAPSULATED DISK BODY BOLTS SHALL BE STAINLESS STEEL OF SAME SIZE ON EACH VALVE.

TYPICAL VALVE SETTING AND BOX



- 1) DOUBLE STOP BRONZE SADDLE W/ CON. THREADS, MUELLER
- 2) ANGLE STOP W/ CON. WING, MUELLER
- 3) CORPORATION STOP W/ CON. THREADS, MUELLER
- 4) 1" - 1000 COMPRESSION CO.
- 5) WATER WATER BOX
- 6) CONCRETE OR METAL SHELL, CONSTRUCTION
- 7) 1" TYPE "K" LOST COPPER W/ NO SPLICES
- 8) WATER MAIN
- 9) PAD W/ MIN. 2000 SOIL 14"/4" INTERNAL WALL BELL

TYPICAL WATER SERVICE DETAIL

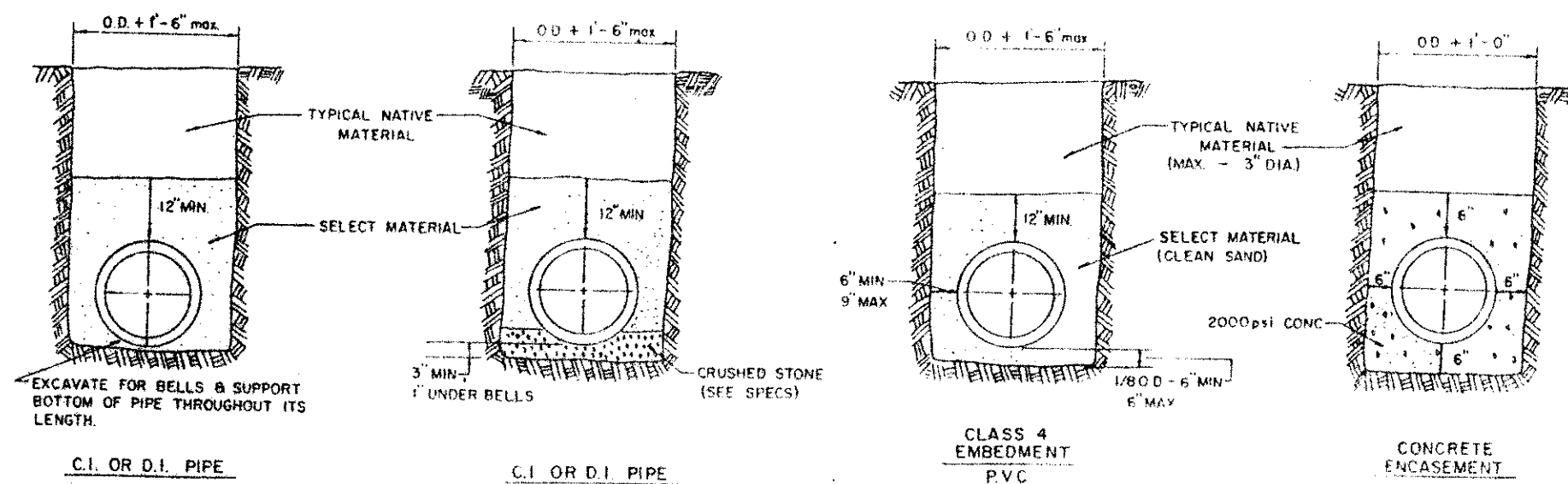


GATE VALVES AND VALVE BOXES

- 1) GATE VALVES SHALL BE IRON BODY, BRONZE OR BRASS MOUNTED, NON-RISING STEM, PARALLEL SEAT TYPE VALVES SHALL BE OF EQUAL OR GREATER PRESSURE CLASS THAN THE PIPING IN WHICH THEY ARE TO BE INSTALLED.
- 2) VALVE BOXES SHALL BE CAST IRON AND SHALL BE OF SUFFICIENT LENGTH AND DIAMETER TO OPERATE ALL VALVES BORED IN THE GROUND COVERS SHALL BE MARKED "WATER" THE BOXES SHALL REST ON THE VALVE AND BE ADJUSTED SO THAT THE COVER MAY BE SET FLUSH WITH THE FINISHED GRADE.

VALVE BOX DETAIL

FIRE HYDRANT INSTALLATION



EMBEDMENT DETAILS FOR WATER MAIN

- in diameter embedded at least three (3) inches in the monument at the exact intersection point of the monument. The monuments shall be set at such an elevation that after construction, the top of the monument will be not less than twelve (12) inches below the ground surface.
- F. The contractor shall stamp a 2-inch, "S" and 2-inch "W" in the curb at the location of the sewer service and water service lines, respectfully.
- G. At intersections that have valley drainage, the crown of the intersecting streets will culminate in a distance of 40 feet from the intersecting curb line unless otherwise noted.
- H. Temporary or permanent street barricades shall remain at all points of ingress and egress to prevent public use until such street received final acceptance.
- I. Contractor shall obtain a right-of-way permit by the Town of Addison for working within the public right-of-way.
- J. During construction, the owner shall provide a qualified geotechnical lab to perform materials testing during the construction at the request of the Town of Addison.
- K. The contractor shall submit material sheets to the Town of Addison for approval prior to incorporating materials into the job.
- L. The utility contractor shall submit to the Town of Addison for approval a trench safety plan sealed by a registered professional engineer for the installation of utilities greater than (5) feet in depth.

TOWN OF ADDISON
WATER AND SEWER
STANDARD DETAILS
CELESTIAL PLACE
ADDISON / DALLAS, TEXAS

FOR :
ALLEGIANCE GROUP, INC.

8080 N. CENTRAL EXPWY.
DALLAS, TEXAS 75206

BY :
DAL-TECH ENGINEERING INC

11020 AUDELIA RD., SUITE C207
DALLAS, TEXAS 75342
PH. (214)553-5500

WATER METER (DOUBLE-CHECK) BOX

When a meter must be located in a traffic area, it will be enclosed in a concrete meter box with a cast iron lid #T36. If necessary, a concrete pad will be poured under the box to take the traffic load.

All meter boxes will be located at a finished grade with the meter top not lower than six (6) to twelve (12) inches below the finished grade. To prevent the inflow of mud and silt into the box, a minimum of eight (8) inches of washed pea gravel will be placed under the meter inside of the meter box.

Double-check valves must be installed on all water lines and should be installed in the same manner as is required for water meters. They must be located in a separate box with a minimum of an eighteen (18) inch nipple between the water meter and the double-check.

A deposit is required on all meters in the Town of Addison. This deposit is to be made by the party responsible for the water bill.

WATER TAP AND INSTALLATION SPECIFICATIONS

Contractors or plumbers will be responsible for all taps and materials.

Prior to the actual tap, the Utilities Division will be called to locate the water line, inspect the tapping procedures and supervise the backfill operations. The Utilities Department telephone number is 450-2873.

On taps up to 1 1/2", the following materials will be used:

1. Double strap bronze tapping saddle (Mueller-CC threads).
2. Mueller Corporation stop #H-15000.
3. Tapping saddle and corporation stop to be poly-wrapped prior to backfill.
4. Six (6) inches of cushion sand to be put around main tap and copper line.
5. Copper type "K" soft with flared fittings.
6. Mueller #14255 angle curb stop.
7. Badger or Hersey meter. All meters must have a test port for testing the accuracy of the water meter.
8. Meter box to be concrete meter box. All meter flanges to be brass and flange bolts to be stainless steel.
9. Box to be set at finished grade level.
10. Backflow preventor or double check assembly installed in same manner as required for water meters.

For 1 1/2" to 2" taps, use compression angle curb stop Mueller #14277 with locking wing and Muller compression corporation (Mueller-CC threads) #15013.

Taps over 2": tapping sleeve Mueller #H-615
tapping valve Mueller #H-667

**RESIDENTIAL
WATER TAPS & SERVICE**

The Town of Addison's policy regarding water taps is as follows:

Contractors and/or plumbers are responsible for all taps, copper line to meter, flanged-flare type angle curb stop, meter, setting a box large enough to have access to the entire meter, including flanges and curb stop. No hand valves will be allowed on inlet side of meter.

All materials will be provided by the contractor, including double check assembly after all meters. All materials must conform to the town specifications. Meters will be set at the property line out of the flow of vehicles or parking spaces. The meter box will be concrete with reader lid and the meter shall be easily accessible for future repairs. Depth of the meter is to be between six (6) inches and twelve (12) inches from the top of the meter to the top of the meter box. The meter must be a Badger or Hersey, straight-read register, measuring in gallons. All meter flanges shall be brass and all meter flange bolts will be stainless steel.

Backfill:

The tapping saddle and corporation stop must be polywrapped (8 mil) and sand placed on the pipe to a depth of six (6) inches to twelve (12) inches deep by hand shovels only. No backhoes. The rest of the backfill may be done by machine, with material free of rocks and clods exceeding three (3) inches in diameter.

CAUTION:

If a tap is made and backfilled without an inspector present, it will have to be exposed by the contractor so it may be inspected by the town.

TAP FEES:	3/4" = \$50.00
	1" = \$100.00
	1 1/2" = \$150.00
	2" = \$400.00
	4" = \$600.00
	6" = \$800.00

PVC (Sewer) Pipe

PVC pipe and fittings shall meet the extra strength requirements of ASTM specifications D3034, SDR 35. Pipe shall have integral wall bell and spigot joints.

Joints - Joints for the PVC pipe and fittings shall be compression rubber gasket joints. The bell shall consist of an integral wall section with factory installed ring securely locked in bell groove to provide positive seal under all installation conditions.

Fittings - Fittings and accessories shall be manufactured and furnished by the pipe supplier and have bell and/or spigot configuration identical to that of the pipe.

Connections at Manholes - Asbestos cement sleeves with rubber ring joint will be used at manhole walls to provide positive water tight connections. Manholes are to be poured in place. Six (6) sack concrete mix. Forms must be in place after pour for four (4) hours. Manhole steps are required.

Stiffness - Minimum pipe stiffness at 5% deflection shall be 46 (Forty-six) for all sizes when calculated in accordance with ASTM D-2412.

Rectangular concrete box large enough to permit test/repair of backflow prevention assembly - as required by Inspection Department.

Double-check/Backflow-preventer

Pipe inlet and outlet must be sealed

MINGED COVER ILLUSTRATED

Must be large enough to remove the meter without disassembly

All meters must have test ports.

All valves outside of box must have concrete pads 24" x 24" x 6" poured around valve risers

Concrete floor sealed between floor and wall

3" (min)

4-8" (min)

6" R.V. PASS

DIRECTION OF FLOW

8" PIPE

8" R.V. PASS

8" R.V. PASS

8" R.V. PASS

8" R.V. PASS

8" R.V. PASS

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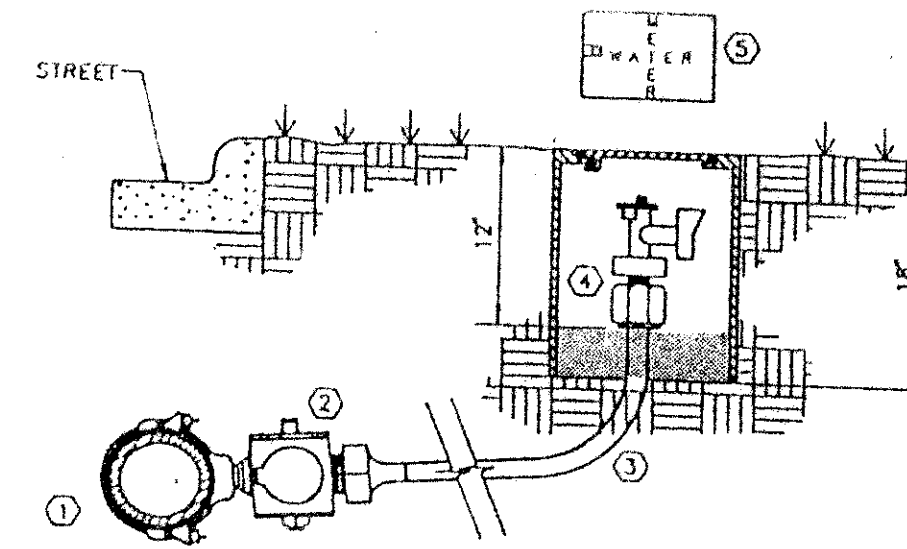
8" R.V. PASS

NOTES:

1. Pipe and meter size shall be as determined by owner; on approval of Building Inspection and Fire Inspection. Plans must be prepared by a registered professional engineer. Installation is by other than City forces.
2. Vault shall be behind curb and/or walkway and out of vehicular traffic.
3. The doors to the pit shall be of the "Bilco" type, but not necessarily that brand. They shall be aluminum, spring-assisted, and lockable.
4. Meter shall be mounted level in all directions, and should have at least eight diameters of straight pipe at inlet end.
5. All valves shall be resilient seal or resilient wedge type.
6. All fittings outside of vault shall be wrapped with 8 mil. poly.
7. Meter flange bolts and nuts shall be stainless steel.
8. Meter shall rest 1 ft. above floor of vault with the supports placed under the flanges.



02/22/94



- Double strap bronze saddle with C.C.W. threads (Mueller only).
- Corporation stop with C.C.W. threads (Mueller-compression only).
- 1" type "K" soft copper with no splices.
- 90 degree curb stop with lock wing (Mueller-compression only).
- Meter box concrete or metal shell construction with reader lid.

WATER & SEWER SPECIFICATIONS

PVC (WATER) Pressure Pipe

The PVC pipe shall be SDR-18. Dimensions Class 150. The pipe shall meet or exceed requirements of AWWA C-900-75. PVC pipe with cast iron outside dimensions and with rubber ring joints. PVC water pipe shall be listed by Underwriters Laboratories and approved for use in cities and towns of Texas by the State Board of Insurance. The rigid PVC pipe shall bear the seal of approval (or "NSF" mark) of the National Sanitation Foundation Testing Laboratory for potable water pipe. Provisions must be made for contraction and expansion at each joint with a rubber ring and an integral thickened bell as part of each joint. Pipe and fittings must be assembled with a non-toxic lubricant. Pipe shall be made from NSF approved Class 12454-A or B PVC Pipe Compound conforming to NSF resin specification D1784.

Joints and Fittings - Fittings shall be mechanical joint or rubber ring slip joint cast iron fittings. All cast iron fittings will be polywrapped (8 mil.).

Pipe Bedding

Bedding material for water and sewer pipe shall be sand. Sand shall be placed six (6) inches below the pipe, six (6) inches each side of the pipe and six (6) inches above the pipe. Sand must be free of clods or lumps exceeding three (3) inches.

Tracer

The No. 12 plastic coated copper wire shall be placed in the trench over all water lines. The wire will be tied to all valves and fire hydrants and attached directly to the top of pipe and extending to six (6) inches above finished grade along the outside of all valve stacks and fire hydrants.

Fire Hydrants

Fire hydrants will be Mueller Centurion Model, 200 psi rated with two and one half (2 1/2) inch hose nozzles and a four (4) inch stem connection. Threads will be national standard. Fire hydrants shall be located as shown on the plans and shall be set truly vertical with the base resting upon a stone or concrete slab four (4) inches thick and approximately twelve (12) inches square. The base of the hydrant shall be surrounded by not less than two (2) cubic feet of clean crushed stone or gravel, size one (1) inch to two (2) inches. Pipe joints shall be made as specified for pipe laying. The hydrants shall be carefully and substantially blocked against firm trench walls with concrete of 3,000 psi concrete.

All materials must conform to the Town's specifications:

- A. Meters will be set within the utilities easement and out of the flow of vehicles or parking spaces, when possible. When a meter must be located in a traffic area, it will be enclosed in a concrete meter box with a cast iron lid. If necessary, a concrete pad will be poured under the box to take the traffic load.
- B. Meter boxes will be located in finish grade with the meter top not lower than six to twelve inches below the finish grade.
- C. To prevent the inflow of mud or silt into the box a minimum of six inches of pea gravel will be placed under the meter inside the meter box.
- D. Meter boxes shall be of concrete or corrugated metal with a reader lid and large enough that the curbstop, meter, and meter nuts are easily accessible for future repairs.
- E. Meters shall be Badger or Hersey, straight-read register, measuring in gallons.
- F. Double check valves shall be installed on all water services after the meter and accessible for repairs.
- G. A deposit is required on all meters. This deposit is to be made by the party responsible for the water bill.

SEWER TAPS

The Town of Addison will make all four (4) to six (6) inch taps. The plumber will be responsible for exposing the sewer line. The line should be fully exposed for a minimum length of thirty-six (36) inches and two-thirds (2/3) of the diameter. To get a tap, call the Sewer Division at least one day in advance. If it is raining or a holiday, the taps will be made on another day. All water must be pumped out of the hole at the time the tap is being made. Taps are to be on a 45 degree angle, and a double clear-out at the property line must be S.D.R. 35 P.V.C.

BACKFILL:

The plumber shall extend his yard line to the tap on grade no higher than twelve (12) inches above the tap. Prior to any tap being backfilled, the town shall be called for an inspection and shall supervise the backfill operation. The tap and exposed yard line will be backfilled with sand to a level of twelve (12) inches above the pipe. This portion of the backfill will be done by hand shovels only! No backhoes. After the hand operation, the remainder of the trench can be machine filled with select fill material. No rocks or clods over three (3) inches in diameter.

CAUTION:

If you backfill the tap without an inspector on location, you will be required to dig it up for an inspection.

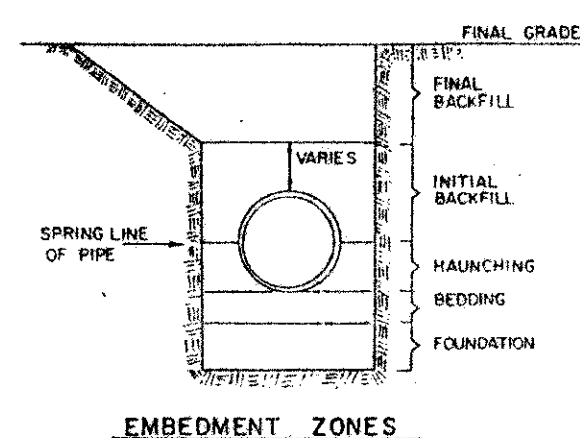
FEES:

- The fee for a four (4) inch sewer tap is \$110.00.
- The fee for a six (6) inch sewer tap is \$120.00.
- The fee for an eight (8) inch sewer tap is \$160.00.

TOWN OF ADDISON
WATER AND SEWER
GENERAL NOTES
CELESTIAL PLACE
ADDISON / DALLAS, TEXAS

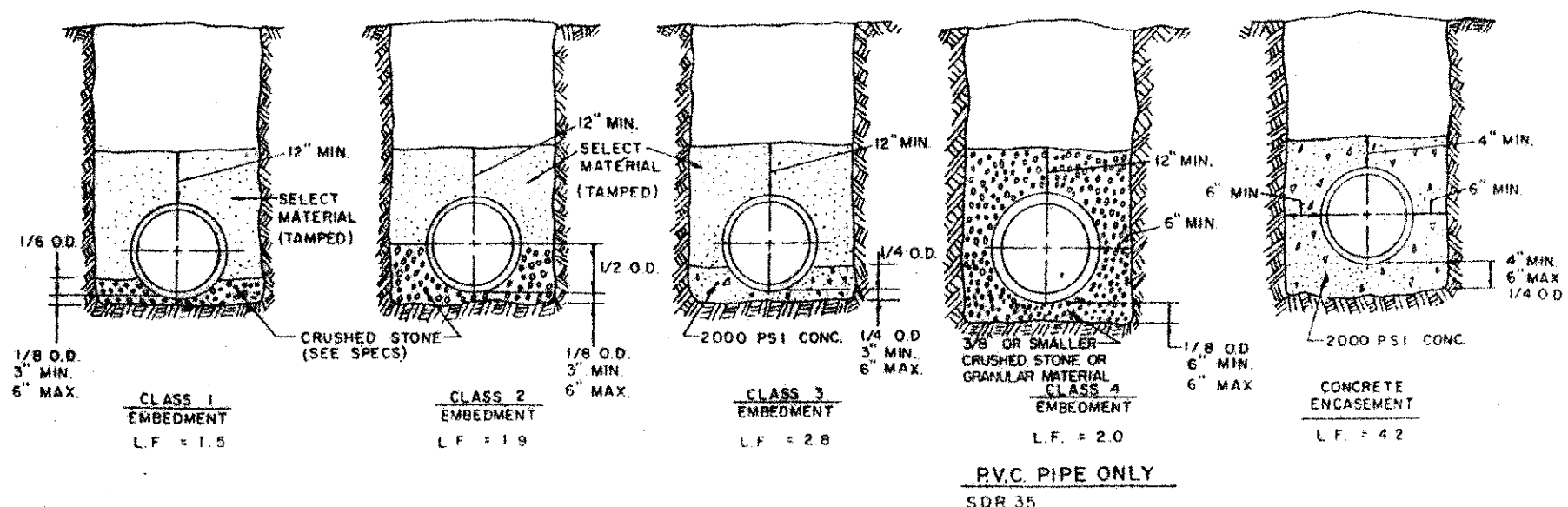
FOR :
ALLEGIANCE GROUP, INC.
8080 N. CENTRAL EXPWY.
DALLAS, TEXAS 75206

BY :
DAL-TECH ENGINEERING INC
11020 AUDELIA RD., SUITE C207
DALLAS, TEXAS 75342
PH. (214)553-5500



SANITARY SEWER

TYPICAL NATIVE MATERIAL COMPACTED TO:
95% OPTIMUM MOISTURE 0 TO +3% UNDER FLOVEMENT
95% OPTIMUM MOISTURE 0 TO +3% OUTSIDE CURB LINES
SETTING IS NOT ALLOWED
BACKFILL TO BE COMPACTED IN 6" LIFTS
TYPICAL NATIVE MATERIAL (MAX 3" DIA)

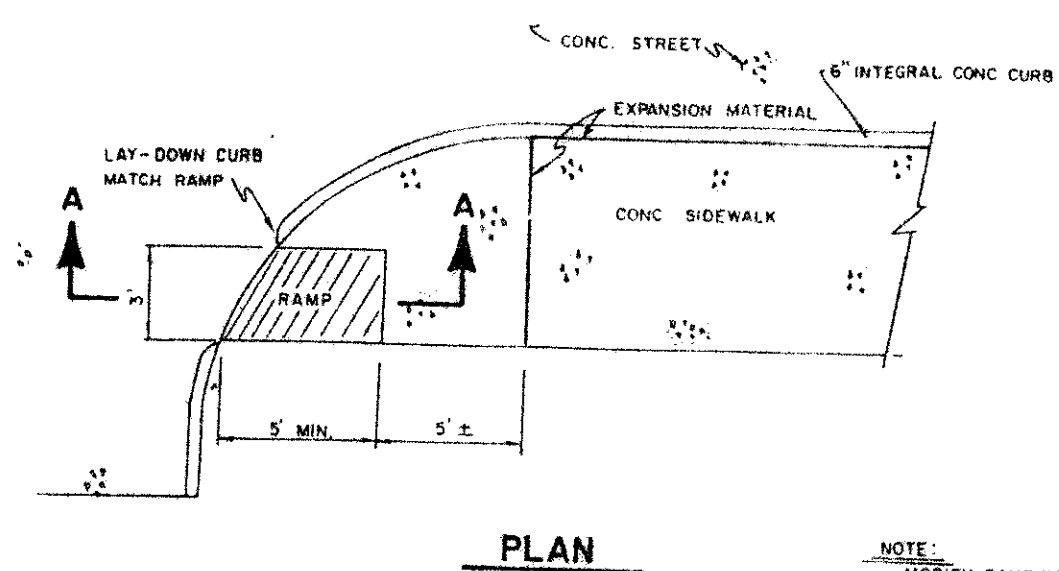


EMBEDMENT DETAILS FOR SANITARY SEWER

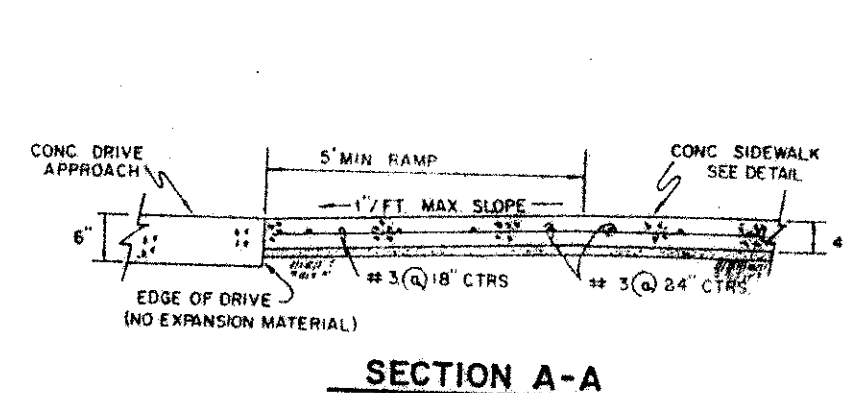
TABLE OF QUANTITIES OF 2000 PSI CONCRETE, GRAVEL OR CRUSHED STONE IN CUBIC YARDS PER 100 LINEAR FEET FOR EACH CLASS EMBEDMENT

SIZE OF PIPE IN INCHES I.D.	O.D. OF PIPE IN INCHES	TRENCH WIDTH IN INCHES	TRENCH WIDTH IN FEET	CLASS 1 EMBEDMENT CRUSHED STONE	CLASS 2 EMBEDMENT CRUSHED STONE	CLASS 3 EMBEDMENT CONCRETE	CONCRETE ENCASEMENT
12	16.00	32	2.67	4.1	6.5	4.8	15.8
15	19.50	36	3.00	4.8	7.8	6.4	19.2
18	23.00	39	3.25	5.7	9.2	8.2	21.2
21	26.50	43	3.58	6.9	11.0	10.2	24.9
24	30.00	46	3.83	8.3	13.1	12.4	28.7
27	33.50	51	4.25	10.3	16.1	14.4	32.8
30	37.00	57	4.75	12.7	20.1	17.0	34.9
33	40.50	62	5.17	15.1	23.8	19.3	39.2
36	44.00	67	5.58	18.0	28.6	22.1	43.8

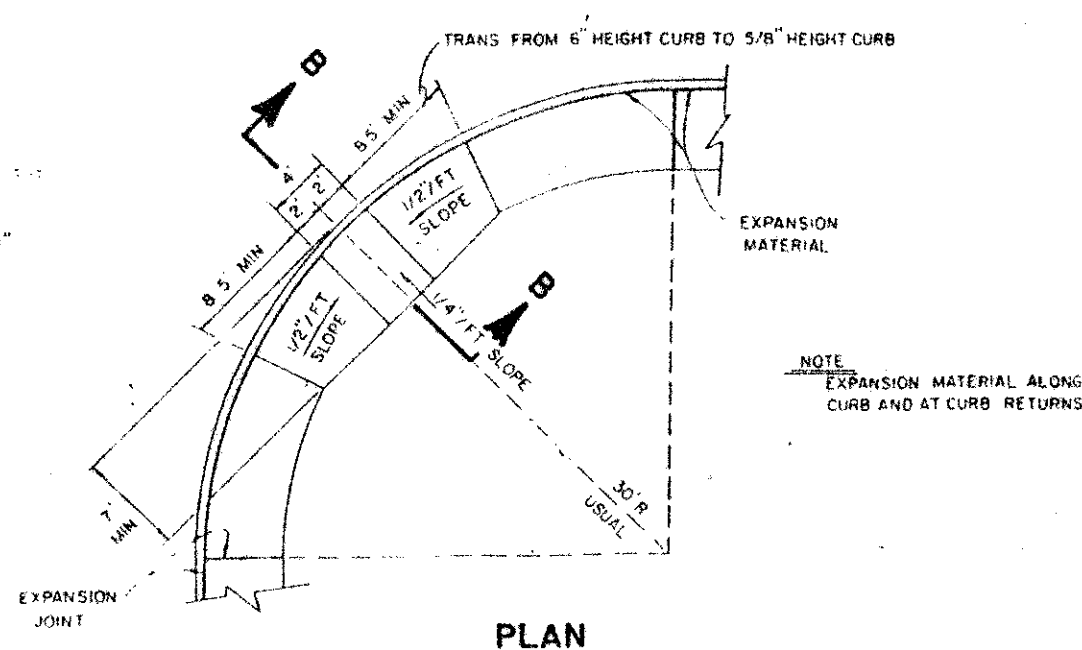
SIZE OF PIPE IN INCHES	O.D. OF PIPE IN INCHES	TRENCH WIDTH IN INCHES	TRENCH WIDTH IN FEET	CLASS 4 EMBEDMENT CRUSHED STONE	CONCRETE ENCASEMENT
6	5.78	24	2.00	8.0	11.7
8	8.16	24	2.00	8.7	12.4
10	10.20	26	2.16	10.2	14.2
12	12.24	28	2.33	11.7	15.9
16	15.30	31	2.61	14.0	18.8
24	21.36	36	3.0	17.0	23.8
30	30.00	42	3.5	20.1	28.6



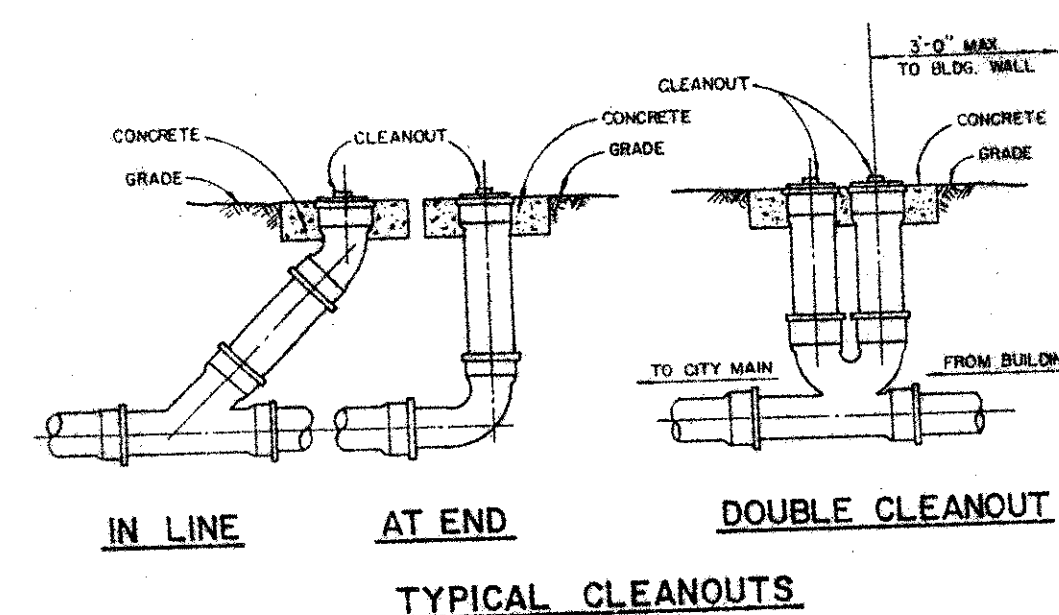
SECTION B-B



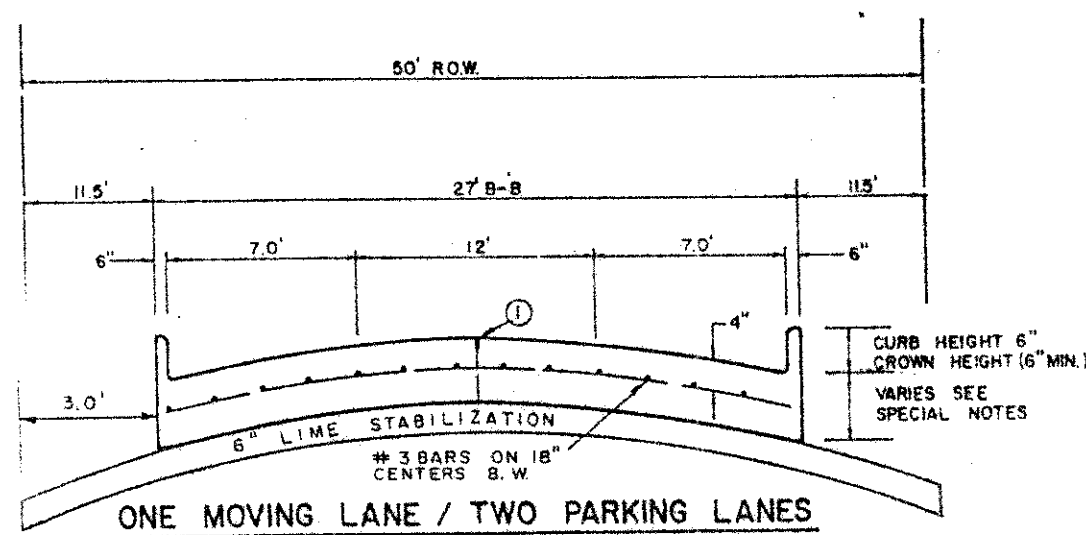
SECTION A-A



PLAN



TYPICAL CLEANOUTS



LOCAL STREET

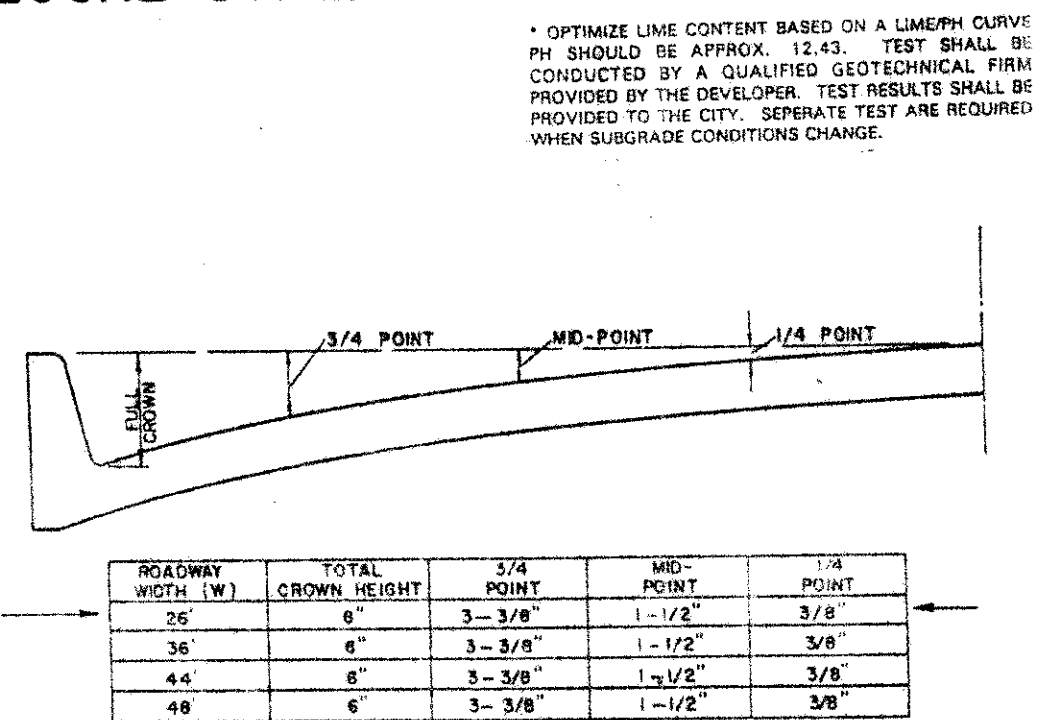
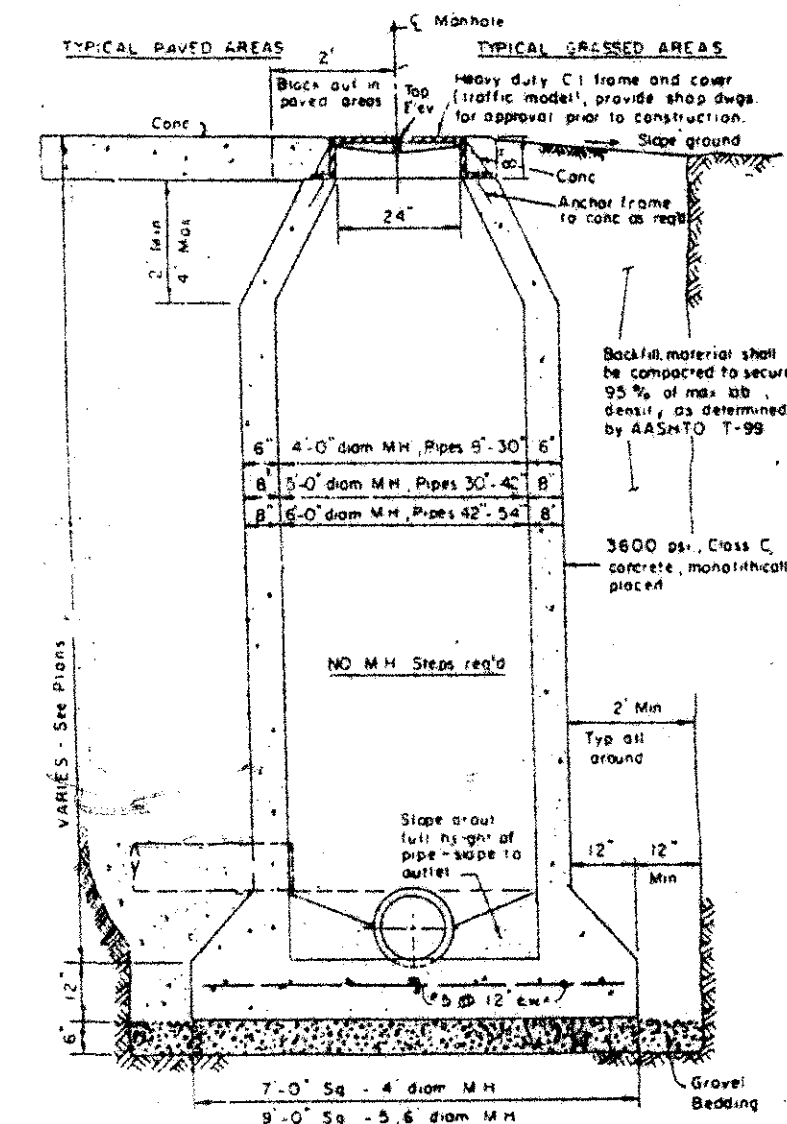
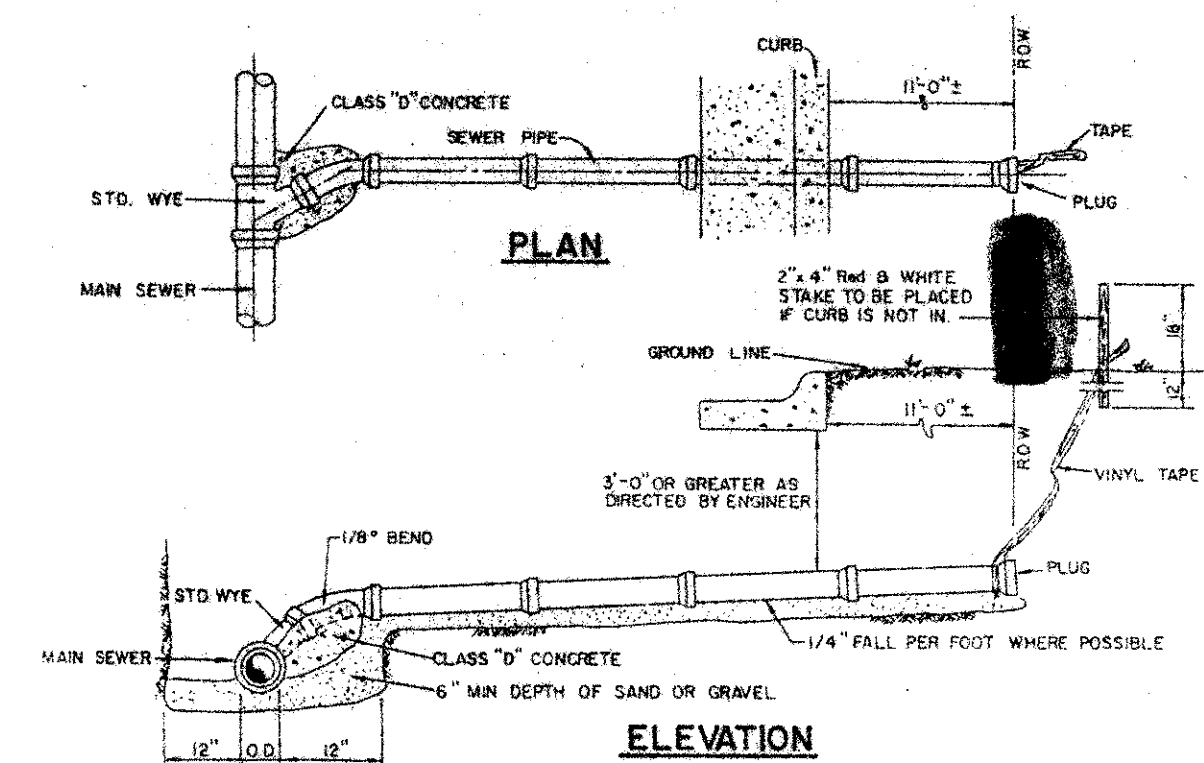


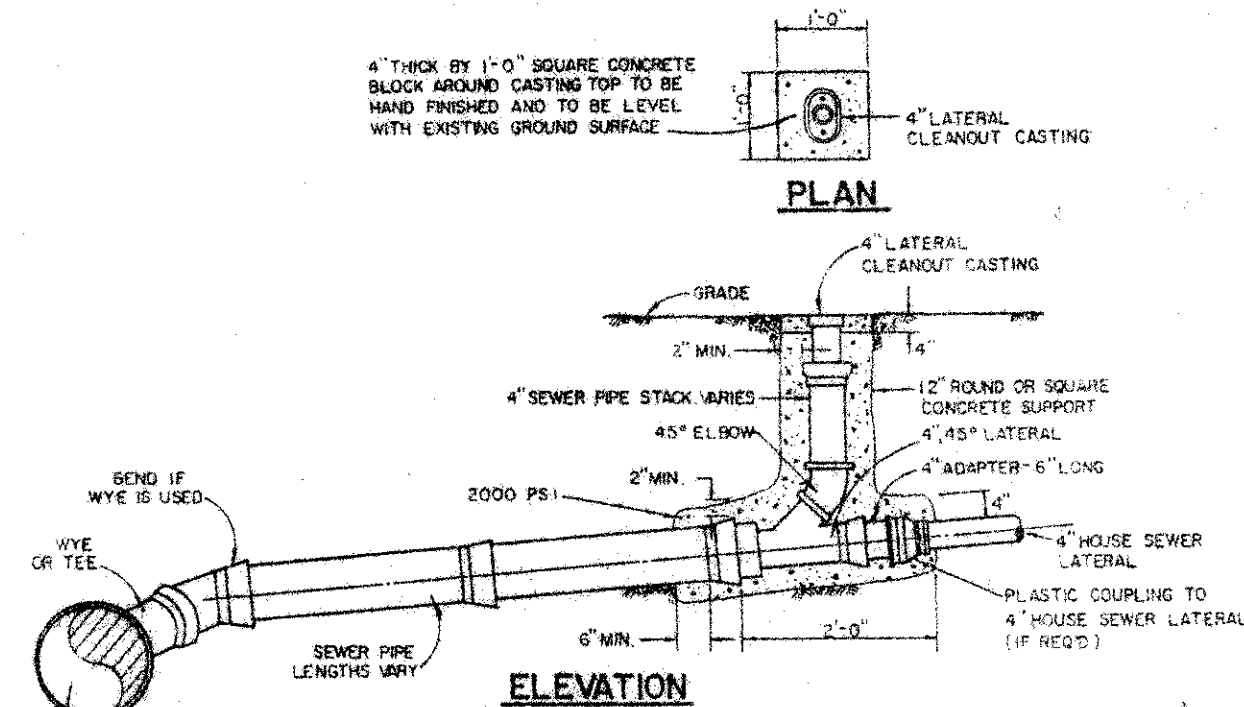
TABLE OF CROWN HEIGHTS AND ORDINATES FOR VARIOUS PARABOLIC SECTIONS



CAST IN PLACE MANHOLE WHERE DROP M.H. IS REQUIRED, USE INSIDE DROP CONNECTION AS PER TOWN OF ADDISON STANDARDS.



SANITARY SEWER SERVICE CONNECTION



ALL PVC SANITARY SEWER PIPE TO BE SDR 35 WITH INTEGRAL BELL. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD LOCATE HORIZONTALLY EACH 4' SERVICE IN RELATION TO THE SANITARY SEWER STATIONING. FIELD TIES ARE TO BE INCLUDED AND RECORDED ON ALLOWED SANITARY SEWER MAPS. THIS IS TO BE GREEN ORANGE IN COLOR IS TO BE ATTACHED TO THE 4' SERVICE AT THE ROW LINE AND BROUGHT TO THE SURFACE TO BE USED AS A PERMANENT MARKER.

TOWN OF ADDISON
PAVING AND DRAINAGE, UTILITIES
STANDARD DETAILS
CELESTIAL PLACE
ADDISON / DALLAS, TEXAS

FOR :
ALLEGIANCE GROUP, INC.
8080 N. CENTRAL EXPWY.
DALLAS, TEXAS 75206

BY :
DAL-TECH ENGINEERING INC
11020 AUDELIA RD., SUITE C207
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