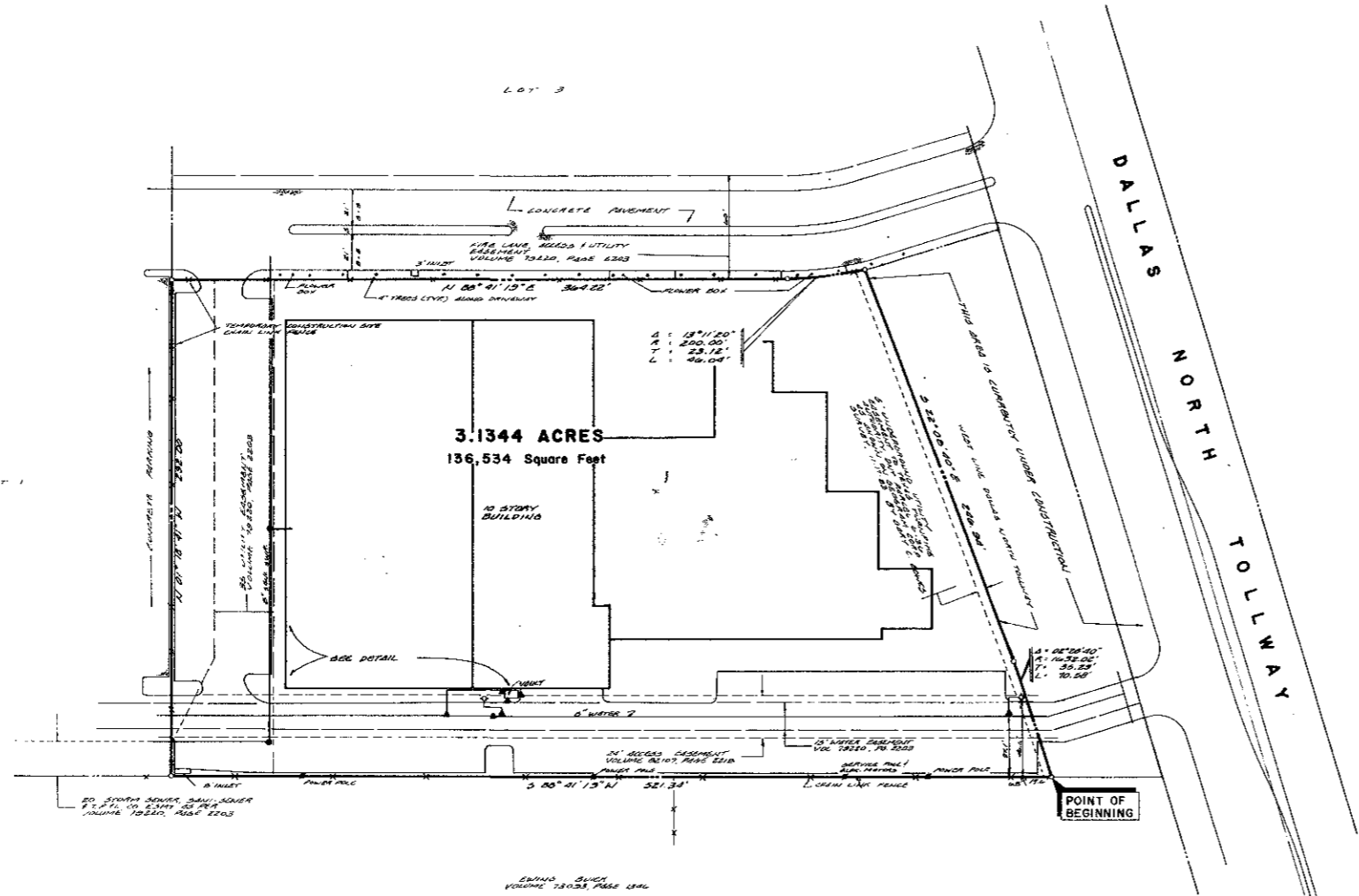


DETAIL
(NOT TO SCALE)



3.1344 ACRES
136,534 Square Feet

- LEGEND
- ▲ WATER VALVE
 - 24\"/>

FIELD NOTE DESCRIPTION

BEING a tract of land out of the JOSIAH PANCOAST SURVEY, Abstract No. 1146, Dallas County, Texas, and being part of Lot 2, Block 1 of Wellington Square Addition an addition to the City of Addison, Texas, as recorded in Volume 79220, Page 2203 of the Plat Records, Dallas County, Texas, and being more particularly described as follows:

BEGINNING at a point in the West line of the Dallas North Tollway, said point also being in the South line of said Lot 2;

THENCE, S 88°41'19\"/>

KNOW ALL MEN BY THESE PRESENTS:

I, Robert L. Zollars, a Registered Public Surveyor, hereby certify that the foregoing As-Built Utility Survey was compiled from an accurate survey made on-the-ground, under my personal supervision and that the water line and sanitary sewer line are accurately shown hereon.

Robert L. Zollars 4-21-86

Robert L. Zollars
Registered Public Surveyor
Texas Registration No. 2491



AS BUILT UTILITY SURVEY

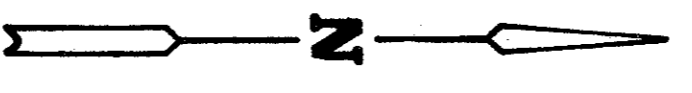
3.1344 ACRES SITUATED IN THE
JOSIAH PANCOAST SURVEY, ABST. NO. 1146
LOT 2, BLOCK 1
WELLINGTON SQUARE ADDITION
CITY OF ADDISON, DALLAS COUNTY, TEXAS

FOR: SPRING VALLEY CONSTRUCTION
16475 Dallas Parkway
Suite 620
Dallas, TX 75248

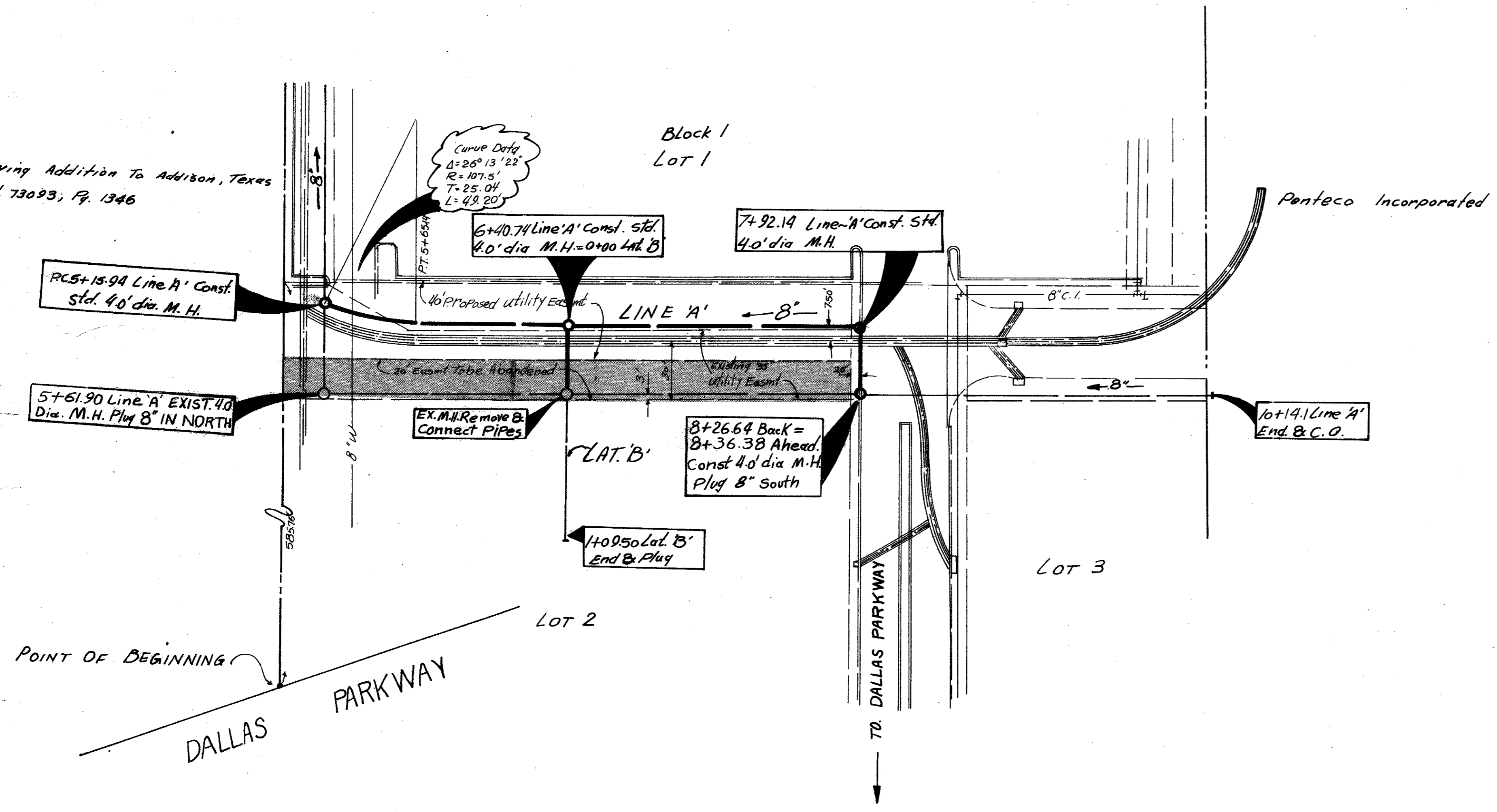
BY: WITTT-ZOLLARS, INC.
1440 Empire Central
Suite 100
Dallas, TX 75247

PROJECT # 0757-01 DATE 4-14-86

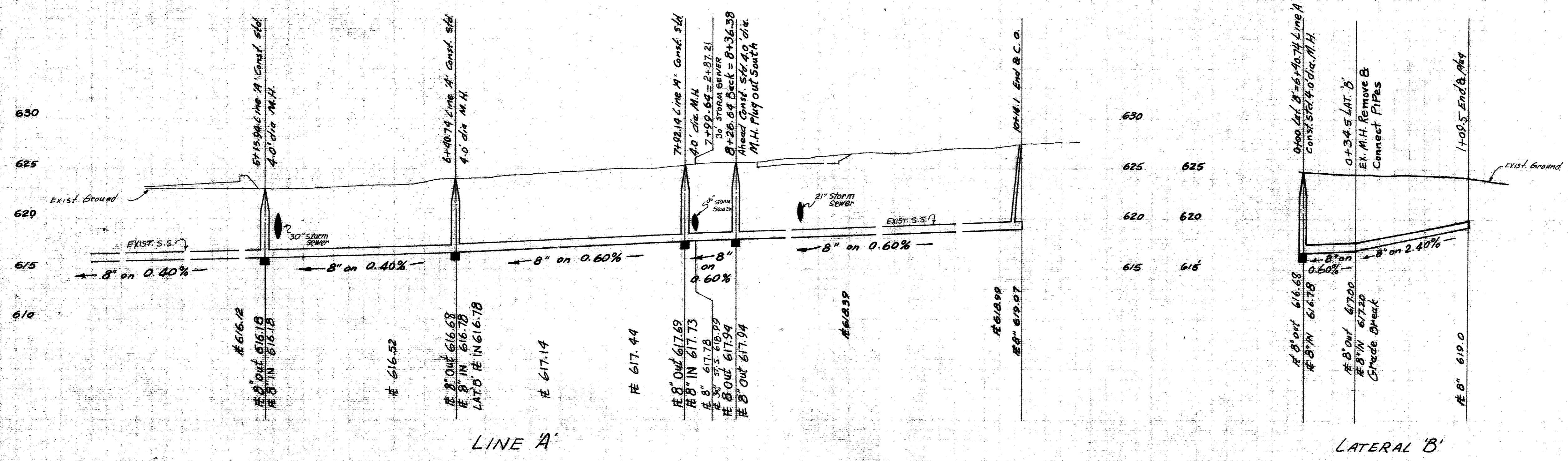
REVISED: 4-21-86



S. Finley Ewing Addition To Addison, Texas
Vol. 73093, Pg. 1346



JOSIAH PANCOAST SURVEY - ABSTRACT 1146



SANITARY SEWER RELOCATION						
WELLINGTON SQUARE						
CITY OF ADDISON						
DALLAS COUNTY TEXAS						
HAROLD L. EVANS & CONSULTING ENGINEER						
DESIGN	DRAWN	DATE	SCALE	NOTE	FILE	NO.
D.M.H.	D.M.H.	AUG 1983	1\"/>			

BOUNDARY LINE CURVE DATA

C1	C2	C3
Δ = 13°11'20"	Δ = 03°35'07"	Δ = 02°28'40"
R = 200.00'	R = 200.00'	R = 1632.02'
T = 23.12'	T = 6.26'	T = 35.29'
L = 46.04'	L = 12.52'	L = 70.58'

Lot 3
Block 1

NOTE:
1. See architectural sheet A-101 for curb
indents for landscaping purposes.

GENERAL NOTES
GRADING:

- All pavement within the limits of this project is proposed.
- All fill shall be void of debris and rocks shall be 6" diameter or smaller.
- All fill shall be placed in lifts of 6" and compacted to 95% Standard Proctor Density.
- Steps in walks shall be installed, where necessary, to keep walks to 6" grade or less. Risers shall not exceed 6", unless otherwise noted.
- Refer to approved Architect plans and approved dimension control plan prior to staking final building pads and final building locations.
- Refer to approved utility plans prior to staking final grade.
- No trees shall be removed from site without permission of owner and/or architect.
- Spot elevations are gutter elevations, unless otherwise noted.
- Finished grade along building lines shall be minimum 8" below finished floor.
- Refer to landscape architect plan for grading around buildings and in open areas.
- PVC drains by others.
- Retaining wall structural design by others.

GENERAL NOTES
DRAINAGE

- All materials and workmanship shall conform to the City of Addison Standards and Specifications.
- It will be the responsibility of the contractor to protect all public utilities in the construction of this project. All manholes, cleanouts, valve boxes, fire hydrants, ect., must be adjusted to proper line and grade by the contractor prior to and after the placing of permanent paving. Utilities must be maintained to proper line and grade during the construction of the paving for this development.
- All fill shall be compacted to 95% Proctor density in a maximum of six (6) inch lifts.
- All storm sewer headwalls shall be 3000 P.S.I. concrete at 28 days.
- Class III reinforced concrete pipe shall be used on all storm sewer systems.
- Concrete cushion will be provided when rock is encountered in storm sewer trenches.

Drainage Data

Drainage Data Based On 100 Yr. Frequency

Runoff Coefficient	0.90
Intensity I100	7.80
tc	10 min.

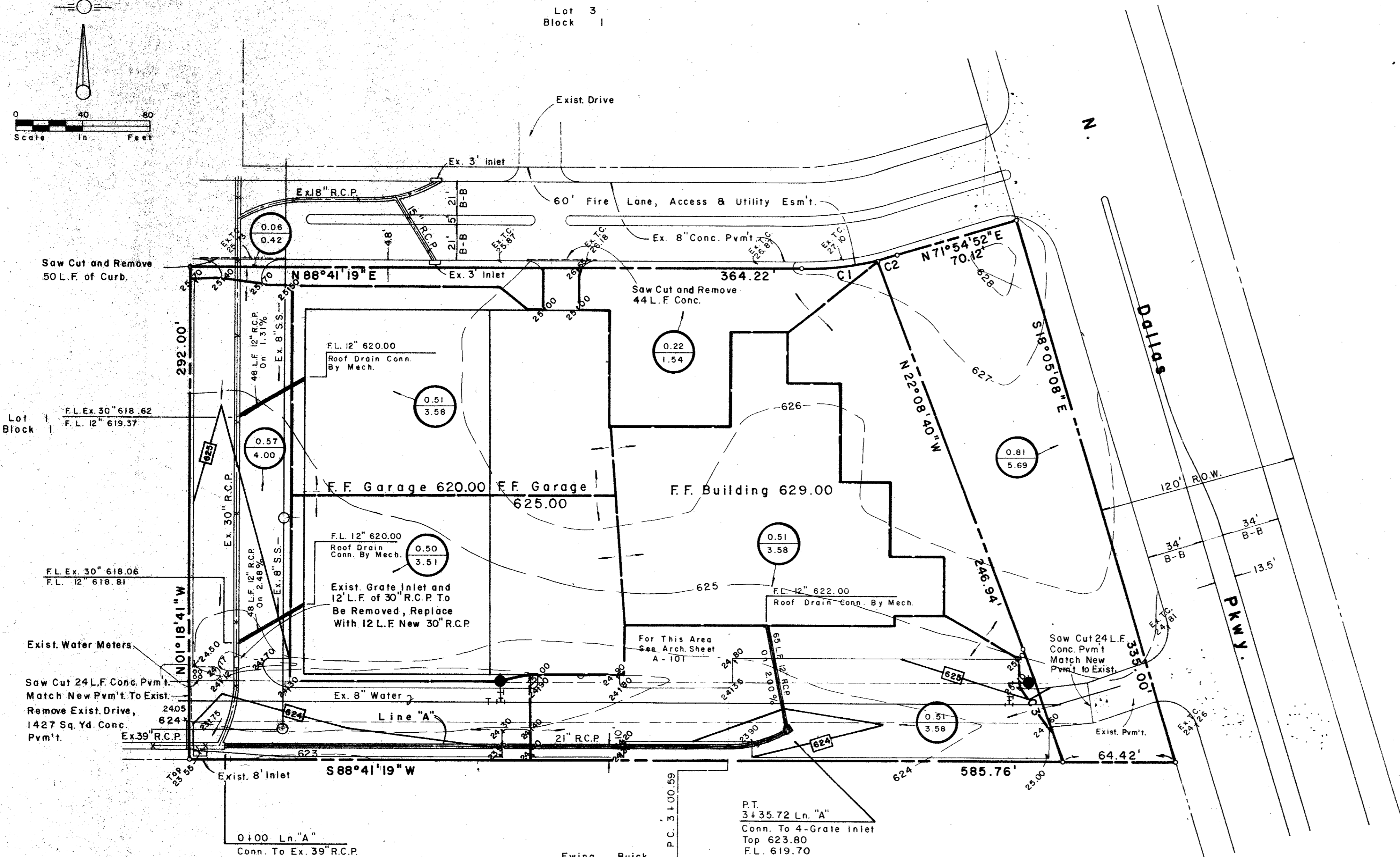
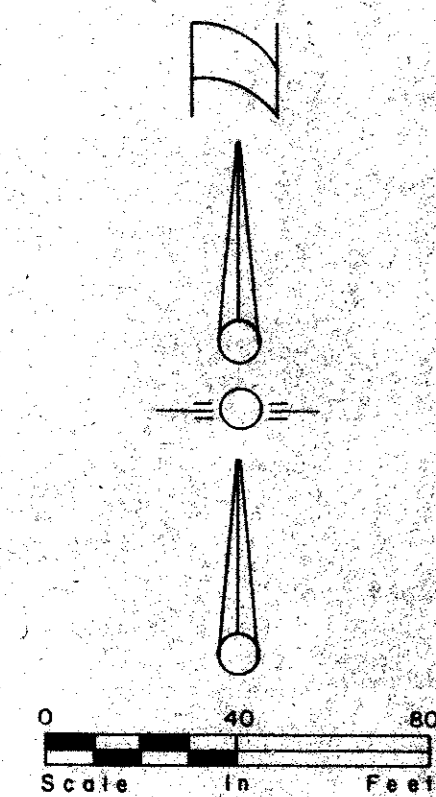
Legend

Existing Contours	— 625 —
Proposed Contours	— 625 —
Spot Elevations	25.50
Finished Floor Elev.	F.F. 625.00
Flow Direction	→
Drainage Divide	—
Area (Ac.)	⊙
Q100 (c.f.s.)	⊙

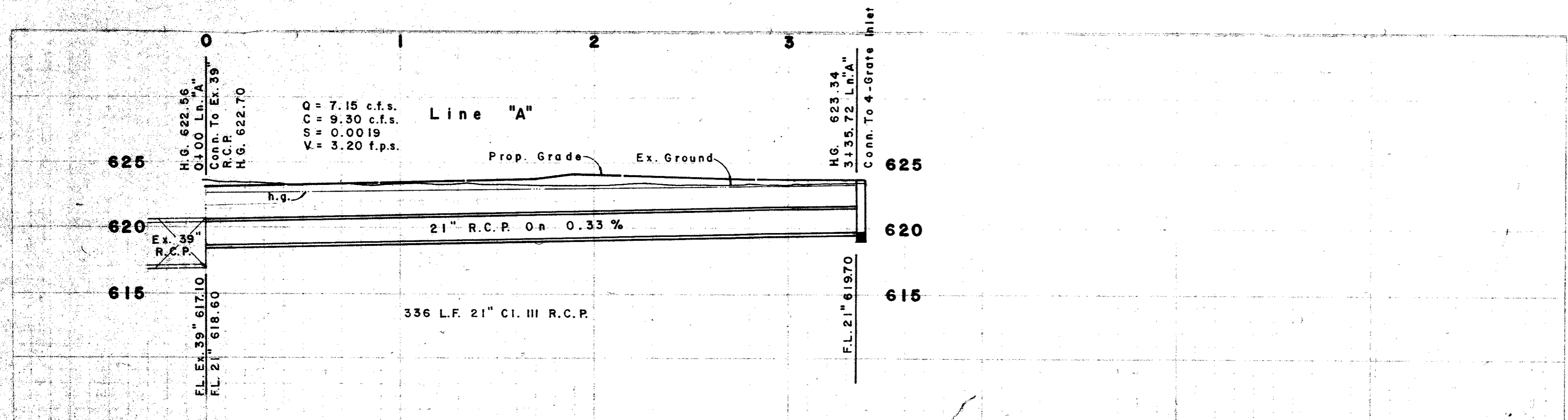
BENCH MARKS:

- Std. W.D.B.M. On Storm Inlet At N.W. Corner Of Intersection Of Spring Valley Rd. & N. Dallas Pkwy. Elev. 617.74'
- Std. W.D.B.M. On Storm Inlet On East Side Of N. Dallas Pkwy. & 0.45 Miles North Of Spring Valley Rd. Elev. 630.90'

GRADING & DRAINAGE PLAN						
PARKWAY LIM.TED						
Taylor Hewlett, Inc.						
Huitt-Zollars, Inc.						
Consulting Engineers						
CITY OF ADDISON, TEXAS						
DRAWN	DESIGN	CHKD.	SCALE	DATE	FILE	NO.
S.G.	R.P.I.	J.A.S.	1" = 40'	Aug. '84		



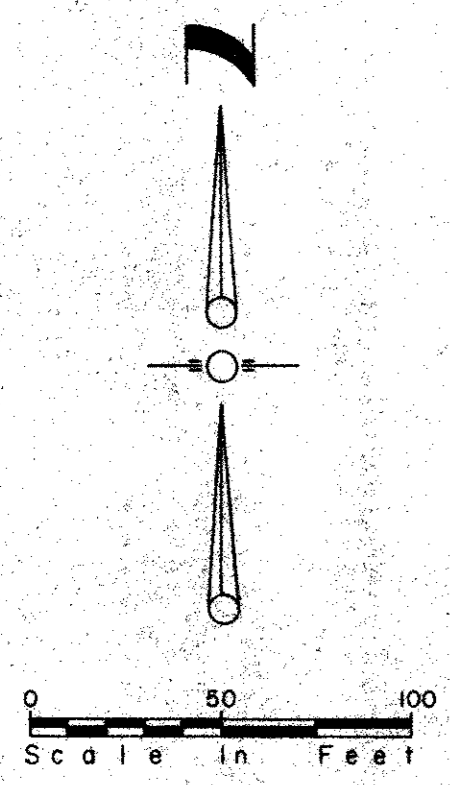
Stm. Swr. Curve Data
Δ = 30°02'26"
R = 67.00'
T = 17.98'
L = 35.13'



GENERAL NOTE:
All utilities services to be placed under ground.

CURVE DATA

C1	C2	C3
$\Delta = 13^{\circ}11'20''$	$\Delta = 03^{\circ}35'07''$	$\Delta = 02^{\circ}28'40''$
R = 200.00	R = 200.00	R = 1632.02
T = 23.12'	T = 6.26'	T = 35.29'
L = 46.04'	L = 12.51'	L = 70.58'

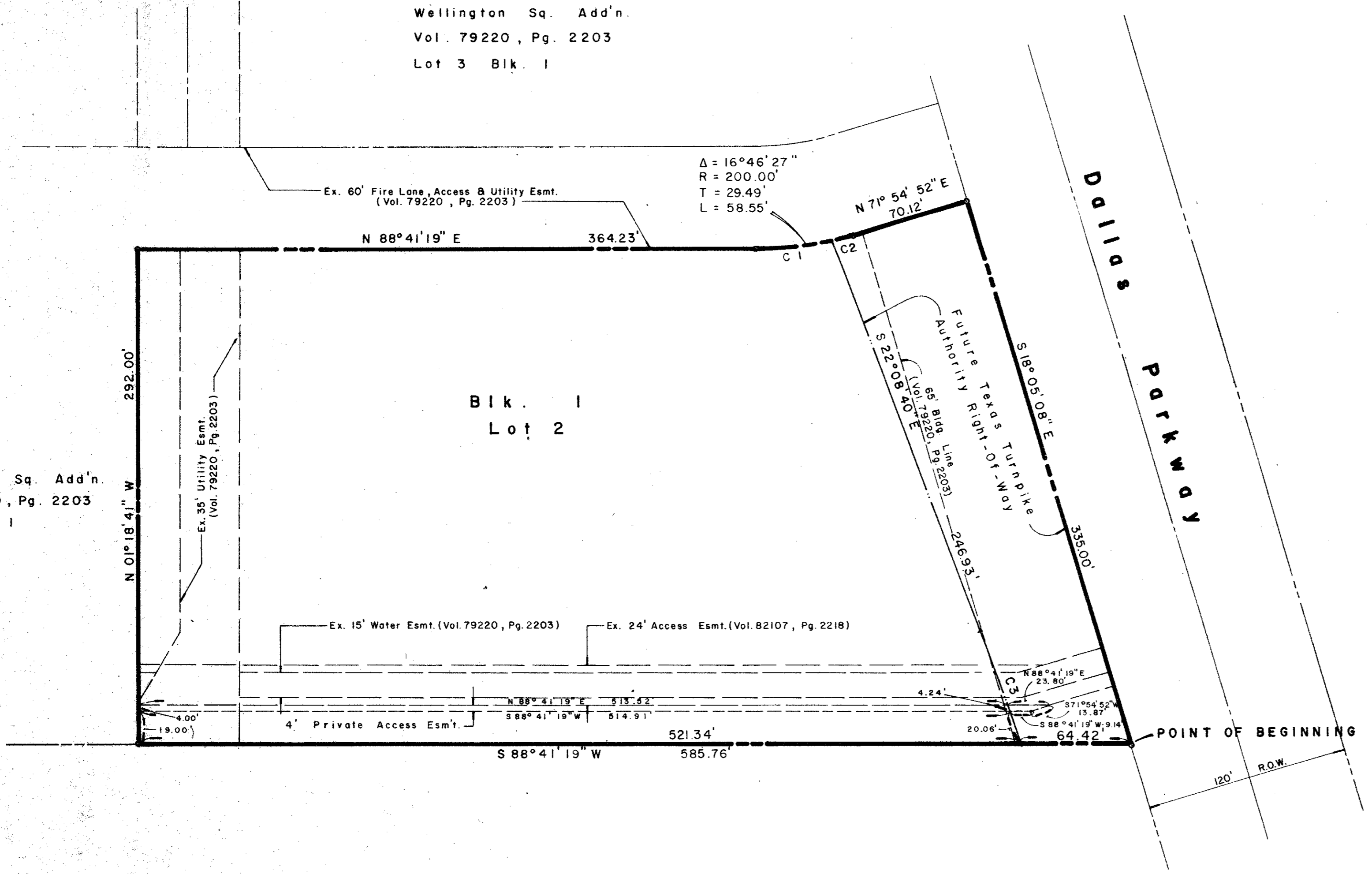


Wellington Sq. Add'n.
Vol. 79220, Pg. 2203
Lot 3 Blk. 1

Wellington Sq. Add'n.
Vol. 79220, Pg. 2203
Lot 1 Blk. 1

Blk. 1
Lot 2

Ewing Buick
Vol. 73095, Pg. 1346



WHEREAS, PARKWAY LIMITED, is the owner of a tract of land out of the JOSIAH PANCOAST SURVEY, Abstract No. 1146, Dallas County, Texas, and being part of Lot 2, Block 1 of Wellington Square Addition, an addition to the City of Addison, Texas, as recorded in Volume 79220, Page 2203 of the Plat Records, Dallas County, Texas, and being more particularly described as follows:

BEGINNING at a found iron rod in the West line of Dallas Parkway (120' R.O.W.) said point being the Southeast corner of said Lot 2;

THENCE, S 88°41'19" W, departing said West line of Dallas Parkway, a distance of 585.76 feet to a found iron rod for a corner;

THENCE, N 01°18'41" W, a distance of 292.00 feet to a found iron rod for a corner;

THENCE, N 88°41'19" E, a distance of 364.23 feet to a found iron rod, said point being the beginning of a curve to the left, having a central angle of 16°46'27", a radius of 200.00 feet, a tangent length of 29.49 feet;

THENCE, along said curve to the left an arc distance of 58.55 feet to a found iron rod;

THENCE, N 71°54'52" E, a distance of 70.12 feet to a found iron rod on said West line of Dallas Parkway;

THENCE, S 18°05'08" E, along said West line of Dallas Parkway a distance of 335.00 feet to the POINT OF BEGINNING and CONTAINING 159,728 Square Feet or 3.6669 Acres of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT, Parkway Limited, does hereby adopt this plat designating the hereinabove described property as Parkway Limited, an addition to the City of Addison, Texas. The easements shown thereon are hereby reserved for the purposes as indicated.

No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the "Utility Easement" being hereby reserved for the mutual use and accommodation of all public utilities desiring to use or using same. All and any public utility shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction maintenance or efficiency of its respective system on the "Utility Easement" and all public utilities shall at all times have the full right of ingress and egress to or from and upon the said "Utility Easement" for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or part of its respective systems, without the necessity at any time of procuring the permission of anyone.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Addison, Texas.

EXECUTED at Addison, Texas, this the _____ day of _____, A.D., 19__.

PARKWAY LIMITED

BY: _____

STATE OF TEXAS
COUNTY OF DALLAS

BEFORE ME, the undersigned Notary Public in and for said County and State, on this day personally appeared, Parkway Limited, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same as the act and deed of said corporation for the purposes and considerations therein expressed in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the _____ day of _____, A.D., 1984.

Notary Public in and for
Dallas County, Texas

KNOW ALL MEN BY THESE PRESENTS:

THAT I, Robert L. Zollars, a Registered Public Surveyor, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the platting rules and regulations of the City Plan Commission of the City of Addison, Texas.

Robert L. Zollars
Registered Public Surveyor

STATE OF TEXAS §
COUNTY OF DALLAS §

BEFORE ME, the undersigned Notary Public in and for Dallas County, Texas, on this day personally appeared Robert L. Zollars, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed.

GIVEN UNDER MY HAND SEAL OF OFFICE, this the _____ day of _____, A.D., 19__.

Notary Public in and for
Dallas County, Texas

CERTIFICATE OF APPROVAL

THIS _____ Day of _____, 1984, by the City Council of the City of Addison.

Jerry Redding
Mayor

Jacque Kruse
City Secretary

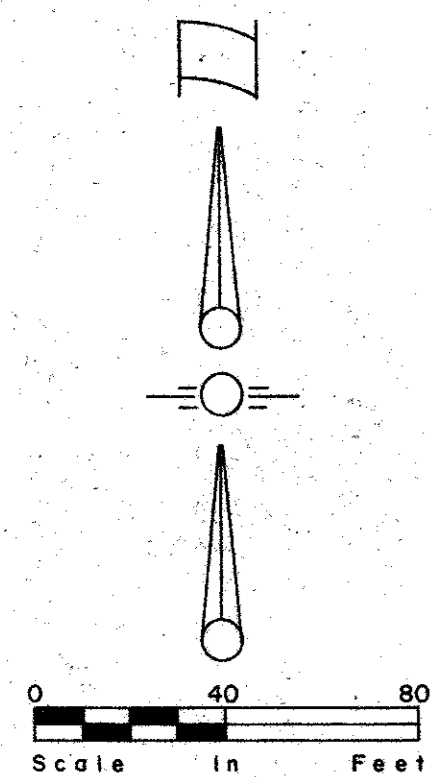
FINAL PLAT

PARKWAY LIMITED
AN ADDITION TO THE CITY OF ADDISON
OUT OF THE JOSIAH PANCOAST SURVEY,
ABSTRACT 1146, CITY OF ADDISON,
DALLAS COUNTY, TEXAS

OWNER:	BY:
PARKWAY LIMITED	HUITT - ZOLLARS, INC.
9319 L.B.J. FRWY., S-218	1440 EMPIRE CENTRAL, S-420
DALLAS, TEXAS 75240	DALLAS, TEXAS 75247

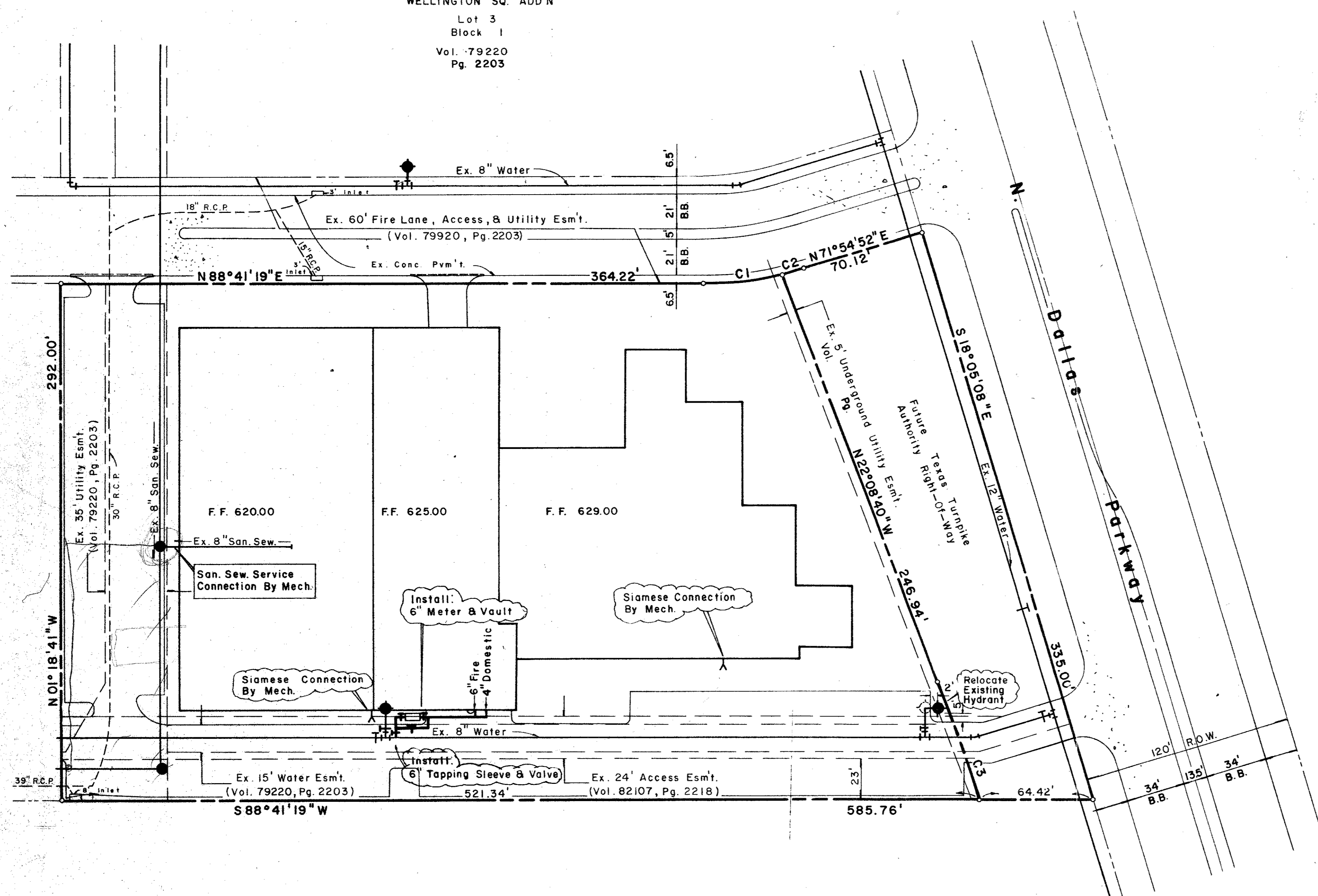
Date: August 10, 1984

C1	C2	C3
$\Delta = 13^{\circ}11'20''$	$\Delta = 03^{\circ}35'07''$	$\Delta = 02^{\circ}28'40''$
$R = 200.00'$	$R = 200.00'$	$R = 1632.02'$
$T = 23.12'$	$T = 6.26'$	$T = 35.29'$
$L = 46.04'$	$L = 12.52'$	$L = 70.58'$



WELLINGTON SQ. ADD'N
 Lot 3
 Block 1
 Vol. 79220
 Pg. 2203

WELLINGTON SQ. ADD'N
 Lot 1
 Block 1
 Vol. 79220
 Pg. 2203



Ewing Buick
 Vol. 73095, Pg. 1346

- GENERAL NOTES**
- All water mains shall be P.V.C., Cl. 200 water pipe.
 - All sanitary sewer shall be P.V.C. sewer pipe with sand embedment as per City of Addison specifications.
 - All water mains shall have a minimum cover below finish grade as follows:
 6" & 8" - 48", 12" - 60", or as required to clear other utilities.
 - Extend water services and sanitary sewer laterals 2' beyond proposed curb.
 - Water and Sanitary Sewer easements shall also include additional area of working space for construction and maintenance of the system. Additional easement area is also conveyed for installation and maintenance of manholes, cleanouts, fire hydrants, water services from the main to and including the meter boxes, sewer laterals from the main to the curb or pavement line, and the description of such additional easements herein granted shall be determined by their locations as installed.
 - All sanitary sewer laterals shall be 6" and located as shown.
 - All water services shall be copper and located and size as shown.
 - All pavement within the limits of this project is proposed.

CITY OF ADDISON
APPROVED
 FOR CONSTRUCTION
 BUILDING DEPARTMENT
 01-03-85
 DATE: CONTRACTOR IS HEREBY INSTRUCTED TO NOTE: CONTRACTOR IS HEREBY INSTRUCTED TO EXERCISE CARE IN MEETING OR EXCEEDING ALL REQUIREMENTS OF BOTH NATIONAL AND LOCAL CODES AND/OR ORDINANCES APPLICABLE TO HIS WORK. APPROVAL OF THESE DRAWINGS SHALL NOT BE CONSTRUED TO RELIEVE RESPONSIBILITY OR IMPLY VARIANCE TO SUCH CODES.

BENCH MARKS:

Std. W.D.B.M. On Storm Inlet At N.W. Corner Of The Intersection Of Spring Valley Rd. & N. Dallas Pkwy.
 Elev. 617.74'

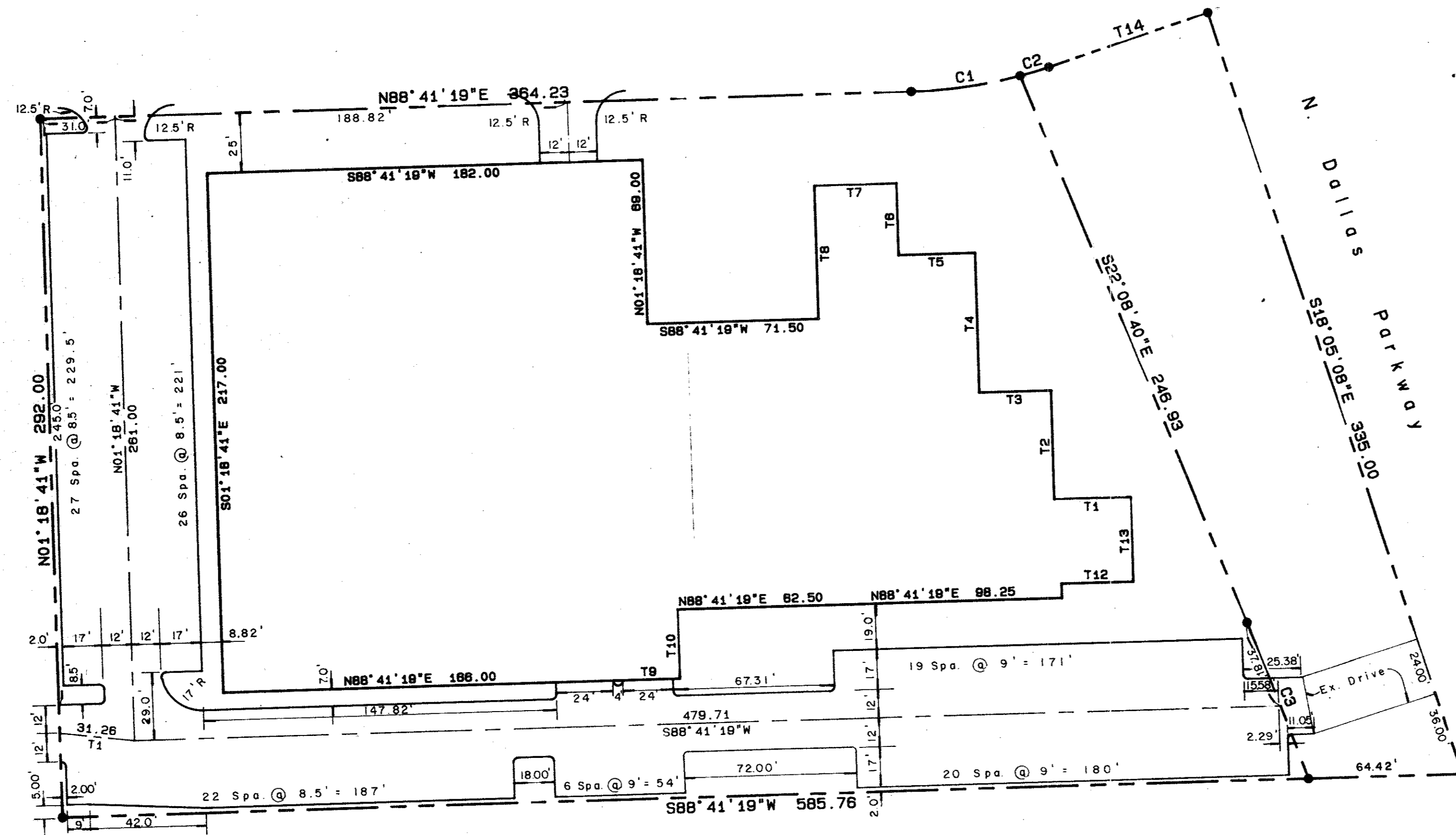
Std. W.D.B.M. On Storm Inlet On East Side Of N. Dallas Pkwy. & 0.45 Miles North Of Spring Valley Rd.
 Elev. 630.90'

WATER & SANITARY SEWER PLAN						
PARKWAY LIMITED						
Taylor Hewlett, Inc.						
Huitt-Zollars, Inc.						
Consulting Engineers						
CITY OF ADDISON, TEXAS						
DRAWN	DESIGN	CHKD.	SCALE	DATE	FILE	NO.
S.G.	R.P.I.	J.A.S.	1"=40'	Aug '84		



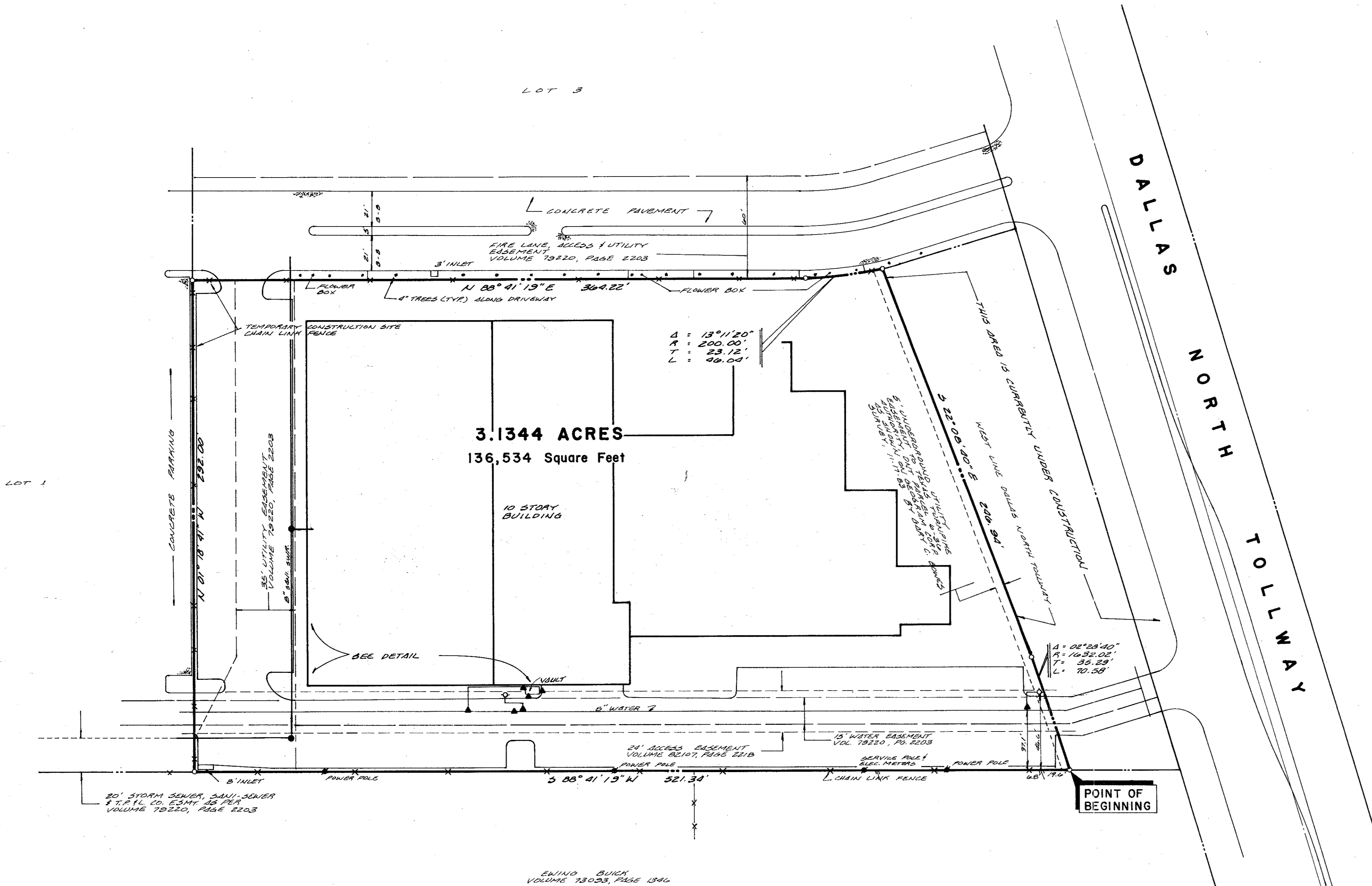
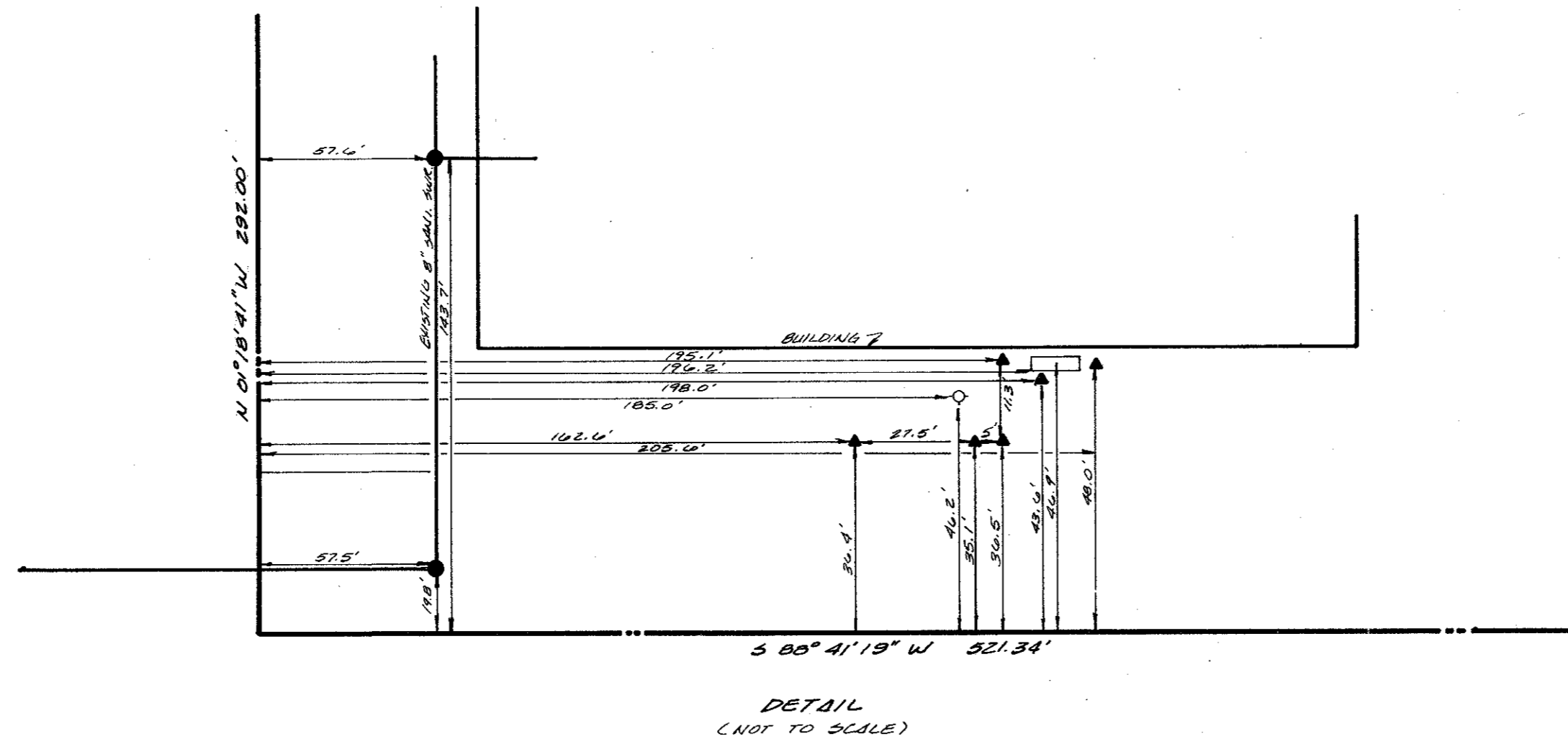
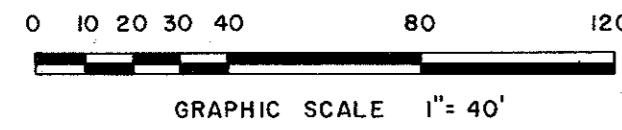
NO.	BEARING	CHORD	DELTA	RADIUS	LENGTH	TAN
C1	N82°05'36"E	45.84	13°11'20"	200.00	46.04	23.12
C2	N73°42'25"E	12.51	3°35'07"	200.00	12.51	8.26
C3	S20°54'02"E	70.57	2°28'40"	1632.02	70.58	35.29

- NOTES:
1. All radii 2' unless otherwise noted.
 2. All parking dimensions are to face of curb.
 3. All building dimensions are to face of brick.
 4. Refer to approved architectural plans for final building dimensions.



NO.	BEARING	DISTANCE
T1	S88°41'19"W	32.00
T2	N01°18'41"W	45.00
T3	S88°41'19"W	30.00
T4	N01°18'41"W	58.00
T5	S88°41'19"W	32.00
T6	N01°18'41"W	30.00
T7	S88°41'19"W	34.25
T8	S01°18'41"E	58.00
T9	N88°41'19"E	25.00
T10	N01°18'41"W	28.00
T11	N01°18'41"W	8.00
T12	N88°41'19"E	30.00
T13	N01°18'41"W	35.00
T14	N71°54'52"E	70.12

DIMENSION CONTROL						
PARKWAY LIMITED						
Taylor Hewlett, Inc.						
Huittt-Zollars, Inc. Consulting Engineers						
CITY OF ADDISON, TEXAS						
DRAWN	DESIGN	CHKD.	SCALE	DATE	FILE	NO.
S.G.	R.P.I.	J.A.S.	1" = 40'	Aug. '84		



- LEGEND
- ▲ WATER VALVE
 - SANI. SWR. MANHOLE
 - ◇ FIRE HYDRANT

FIELD NOTE DESCRIPTION

BEING a tract of land out of the JOSIAH PANCOAST SURVEY, Abstract No. 1146, Dallas County, Texas, and being part of Lot 2, Block 1 of Wellington Square Addition an addition to the City of Addison, Texas, as recorded in Volume 79220, Page 2203 of the Plat Records, Dallas County, Texas, and being more particularly described as follows:

BEGINNING at a point in the West line of the Dallas North Tollway, said point also being in the South line of said Lot 2;

THENCE, S 88°41'19" W, a distance of 521.34 feet to a point for a corner;

THENCE, N 01°18'41" W, a distance of 292.00 feet to a point for a corner;

THENCE, N 88°41'19" E, a distance of 364.22 feet to a point for a corner, said point being the beginning of a curve to the left, having a central angle of 13°11'20", a radius of 200.00 feet, a tangent length of 23.12 feet, a chord bearing of N 82°05'39" E, and a chord length of 45.94 feet;

THENCE, along said curve to the left an arc distance of 46.04 feet to a point for a corner, said point being in the West line of Dallas North Tollway;

THENCE, S 22°08'40" E, along said West line a distance of 246.94 feet to a point for a corner, said point being the beginning of a curve to the right, having an angle of 02°28'40", a radius of 1632.02 feet, a tangent length of 35.29 feet, a chord bearing S 20°54'20" E, and a chord length of 70.57 feet;

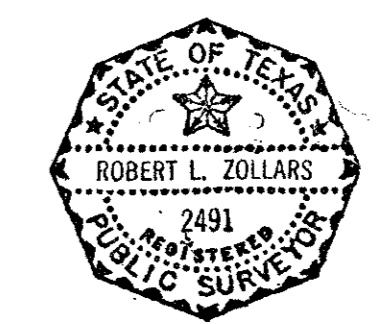
THENCE, along said curve to the right and said West line an arc distance of 70.58 feet to the POINT OF BEGINNING and CONTAINING 136,534 Square Feet or 3.1344 Acres of Land, more or less.

KNOW ALL MEN BY THESE PRESENTS:

I, Robert L. Zollars, a Registered Public Surveyor, hereby certify that the foregoing As-built Utility Survey was compiled from an accurate survey made on-the-ground, under my personal supervision and that the water line and sanitary sewer line are accurately shown hereon.

Robert L. Zollars 4-21-86

Robert L. Zollars
Registered Public Surveyor
Texas Registration No. 2491



AS BUILT UTILITY SURVEY

3.1344 ACRES SITUATED IN THE JOSIAH PANCOAST SURVEY, ABST. NO. 1146 LOT 2, BLOCK 1 WELLINGTON SQUARE ADDITION CITY OF ADDISON, DALLAS COUNTY, TEXAS

FOR: SPRING VALLEY CONSTRUCTION
16475 Dallas Parkway
Suite 620
Dallas, TX 75248

BY: HUITT-ZOLLARS, INC.
1440 Empire Central
Suite 100
Dallas, TX 75247

REVISED: 4-21-86

PROJECT # 0757-01 DATE: 4-16-86