



STATE OF TEXAS ()
COUNTY OF DALLAS ()

BEFORE ME, the undersigned authority, a Notary Public in and for said County and State on this day personally appeared John R. Piburn, Jr., known to me to be the person and person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed.

GIVEN under my hand and seal of office, this the ___ day of _____, 1986.

Notary Public in and for the State of Texas

SURVEYOR'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS: THAT, I, John R. Piburn, Jr., do hereby certify that I prepared this plat from an actual and accurate survey of land and that the corner monuments shown thereon were properly placed under my personal supervision in accordance with the platting rules and regulations of the City of Addison, Texas.

John R. Piburn, Jr., R.P.S.
Registration No. 3689

OWNER'S CERTIFICATE

WHEREAS, Corporate I, L.T.D., a Texas Limited Partnership is the Owner of a tract of land situated in the City of Addison, Dallas County, Texas and out of the William Lomax Survey, Abstract No. 792, and being part of the tracts of land conveyed to T.F. Stone Liberty Land Associates by deeds recorded in Volume 80140, Page 1720 and Volume 83132, Page 0772, and part of the tract of land conveyed to T.F. Stone Companies, Inc., by deed recorded in Volume 82157, Page 0474 of the Deed Records of Dallas County, Texas, and being more particularly described as follows:

COMMENCING at a point, said point being the intersection of the North line of Keller Springs Road (60' R.O.W.) with the West line of Dallas Parkway (a variable R.O.W.); THENCE N 01°15'00" E, along the West line of Dallas Parkway, a distance of 642.32 feet to the POINT OF BEGINNING;
THENCE N 89°55'43" W, leaving the West line of Dallas Parkway, a distance of 344.41 feet to an iron rod for corner;
THENCE N 00°12'00" E, a distance of 221.01 feet to an iron rod for corner;
THENCE N 89°48'00" W, a distance of 113.35 feet to an iron rod for corner;
THENCE N 00°12'00" E, a distance of 276.13 feet to an iron rod for corner;
THENCE S 89°48'00" E, a distance of 113.35 feet to an iron rod for corner;
THENCE N 00°12'00" E, a distance of 224.35 feet to an iron rod for corner;
THENCE S 89°55'43" E, a distance of 346.87 feet to an iron rod for corner, said point being in the West line of Dallas Parkway and in a curve to the right having a central angle of 07°06'51" and a radius of 1400.00 feet and a radial bearing S 84°08'09" W;
THENCE SOUTHERLY, along the West line of Dallas Parkway and along said curve to the right, an arc distance of 173.83 feet to an iron rod for corner;
THENCE S 01°15'00" W, along the West line of Dallas Parkway, a distance of 548.03 feet to the POINT OF BEGINNING and containing 283,335 square feet or 6.5183 acres of land, more or less. Less 22,177 square feet or 0.5091 acres of land for The Dallas Parkway Take Area.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS: THAT, CORPORATE I, L.T.D., a Texas Limited Partnership, do hereby adopt this plat designating the hereinabove described property as SUNBELT CENTER, an addition to the City of Addison, Texas, and do hereby dedicate to the public use forever the streets and alleys shown thereon. The easements shown thereon are hereby reserved for the purposes as indicated. The utility, access and fire lane easements shall be open to the public and private utilities for each particular use. The maintenance and paving on the utility, access and fire lane easements is the responsibility of the property owner. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed, reconstructed or placed upon, over or across the utility easements as shown. Said easements being hereby reserved for mutual use and accommodation of all public utilities using or desiring to use same. All and any public utility shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which in any way endanger or interfere with the construction, maintenance or efficiency of its respective system on the easements and all public utilities shall at all times have the full right of ingress and egress to and from upon the said utility easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective system without the necessity at any time of procuring the permission of anyone. Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and any maintenance and service required or ordinarily performed by that utility.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Addison, Texas.

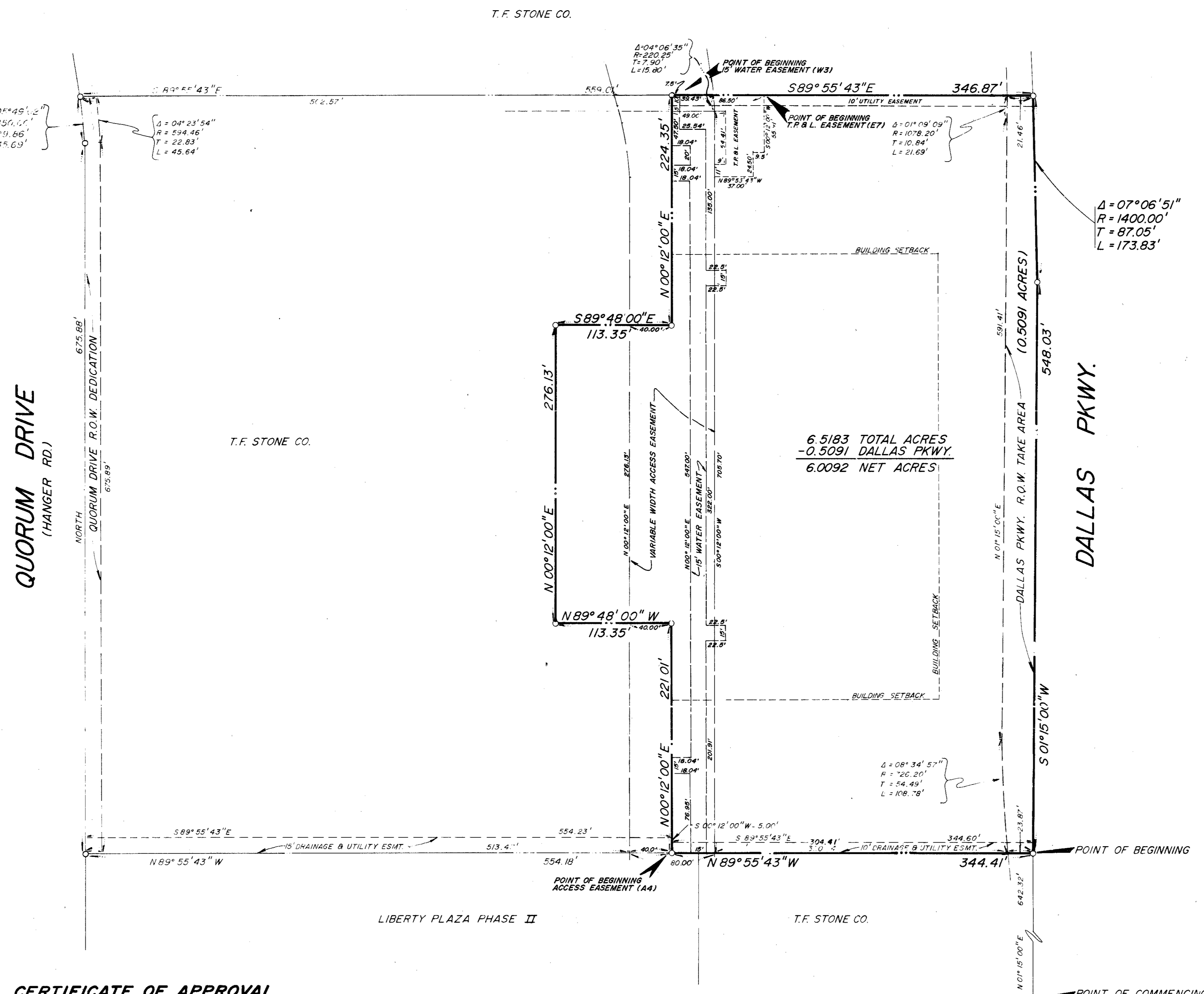
CORPORATE I, L.T.D.,
A Texas Limited Partnership

STATE OF TEXAS ()
COUNTY OF DALLAS ()

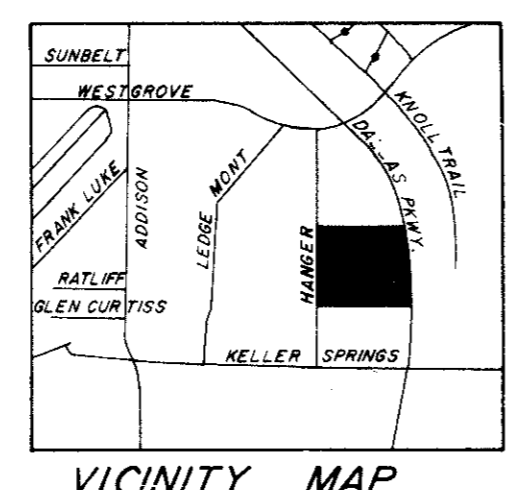
BEFORE ME, the undersigned authority, a Notary Public in and for said County and State on this day personally appeared _____, know to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN under my hand and seal of office, this the ___ day of _____, 1986.

Notary Public in and for the State of Texas



CERTIFICATE OF APPROVAL
THIS PLAT WAS APPROVED BY THE CITY OF ADDISON ON _____
CITY SECRETARY _____
MAYOR _____



KELLER SPRINGS RD.

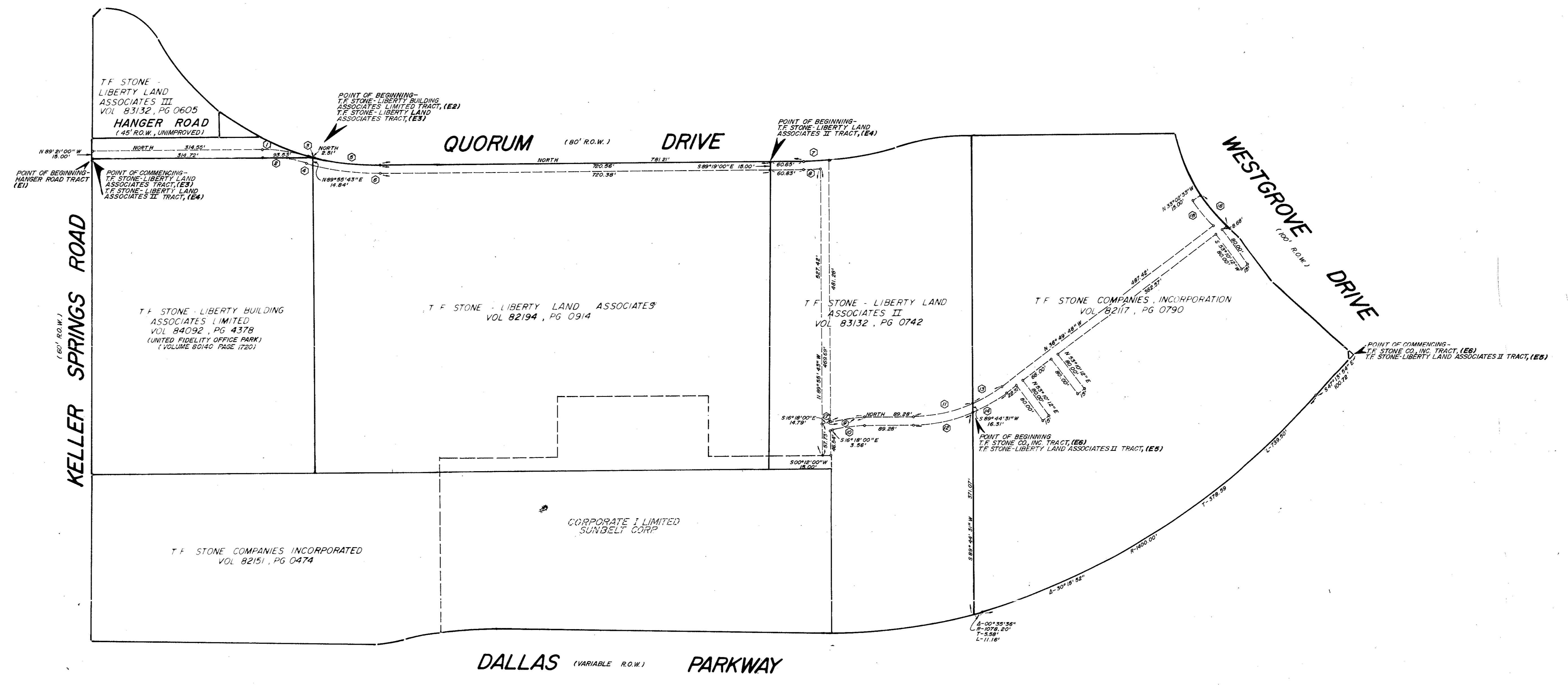
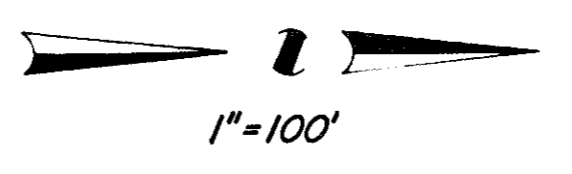
NOTE: 1/2" IRON RODS SET AT ALL PROPERTY CORNERS.

OWNER:
CORPORATE I, L.T.D.,
A TEXAS LIMITED PARTNERSHIP
4901 LBJ FREEWAY
SUITE 400
DALLAS, TX 75244
386-0444

ENGINEER:
EROCKETTE DAVIS DRAKE, INC.
3525 TRAVIS
SUITE 100
DALLAS, TX 75204
522-9440

CURVE DATA

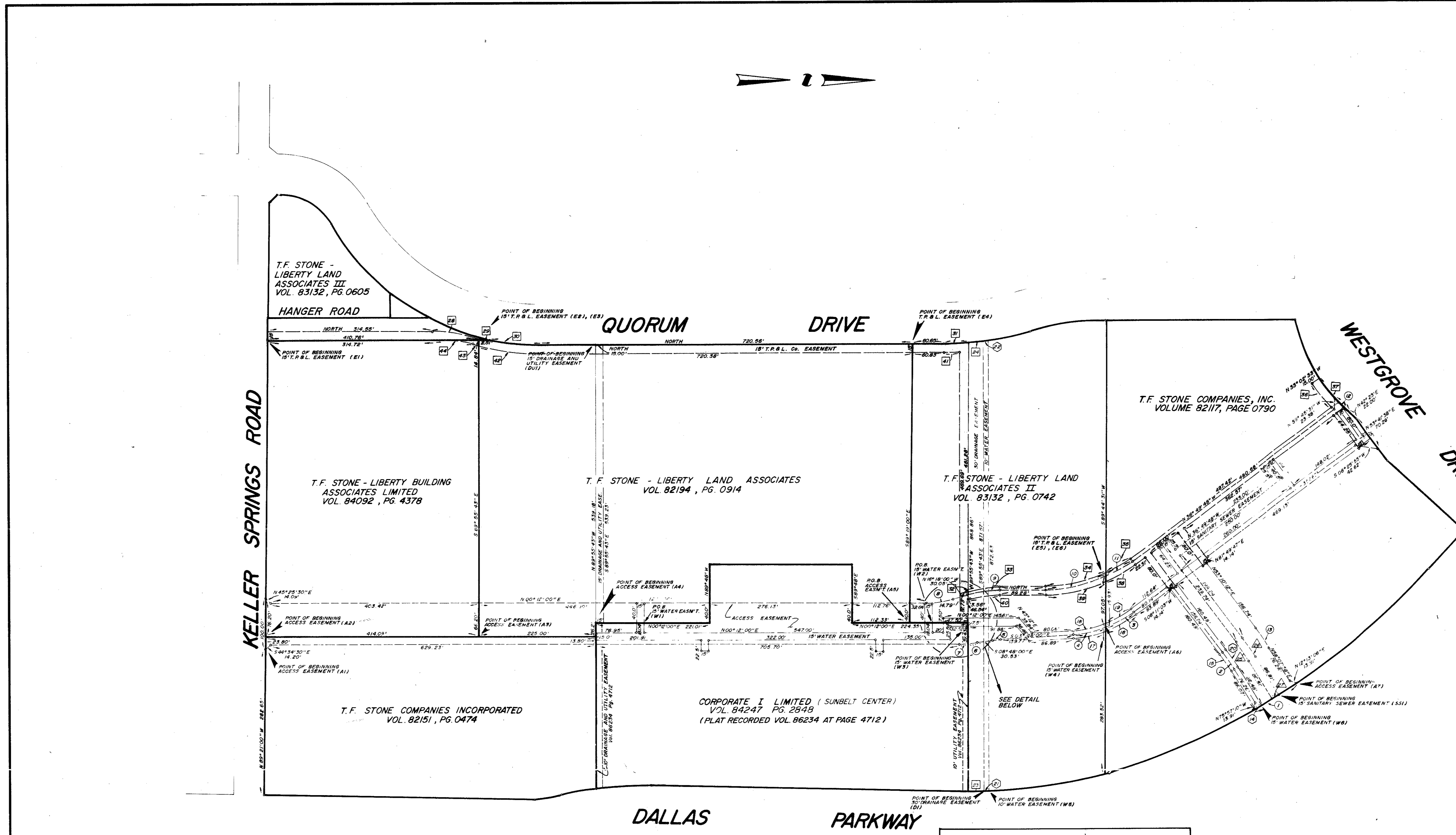
No.	DELTA	RADIUS	TANGENT	LENGTH
1	16° 01' 16"	307.50'	43.27'	85.98'
2	16° 01' 16"	292.50'	41.16'	81.79'
3	01° 25' 00"	465.00'	5.75'	11.50'
4	01° 34' 54"	480.00'	6.63'	13.25'
5	14° 35' 39"	465.00'	59.54'	118.44'
6	14° 26' 22"	480.00'	60.81'	120.97'
7	04° 23' 54"	594.46'	22.83'	45.64'
8	02° 52' 31"	609.46'	15.30'	30.58'
9	16° 18' 00"	226.50'	32.44'	64.44'
10	16° 18' 00"	211.50'	30.29'	60.17'
11	24° 01' 26"	273.50'	58.19'	114.68'
12	22° 43' 07"	288.50'	57.96'	114.39'
13	12° 48' 22"	273.50'	30.69'	61.13'
14	14° 06' 41"	288.50'	35.71'	71.06'
15	09° 57' 82"	345.00'	30.08'	60.00'
16	12° 52' 30"	330.00'	37.23'	74.16'
17	00° 12' 52"	226.50'	0.42'	0.85'



15' T.R. & L. EASEMENT EXHIBIT
CORPORATE I LIMITED
ADDISON, TEXAS

BROCKETTE DAVIS DRAKE, inc.
 consulting engineers
 Civil & Structural Engineering • Surveying
 3535 Travis, Suite 100 • Dallas, Texas 75204 • (214) 522-9540

design	drawn	date	scale	notes	job no.	sheet no.
	B.C.	10 22 86	1"=100'		C0631	1 of 1



ACCESS EASEMENT CURVE DATA

No.	Delta	Radius	Tangent	Arc
1	04°05'34"	1400.00'	50.02'	100.01'
2	04°57'46"	460.00'	19.93'	39.84'
3	17°00'40"	220.25'	32.74'	65.39'
4	16°01'08"	226.25'	30.99'	61.58'
5	05°00'00"	179.75'	7.85'	15.69'
6	04°53'25"	220.25'	9.41'	18.80'
7	04°06'35"	220.25'	7.90'	15.80'
8	16°30'00"	179.75'	26.06'	51.76'
9	16°18'00"	220.25'	31.54'	62.66'
10	23°27'41"	279.75'	58.09'	114.55'
11	13°22'07"	279.75'	32.79'	65.27'
12	04°49'36"	330.00'	13.91'	27.80'
13	04°57'46"	540.00'	23.40'	46.77'

15' WATER EASEMENT CURVE DATA

No.	Delta	Radius	Tangent	Arc
14	00°36'51"	1400.00'	7.50'	15.01'
15	04°57'46"	453.75'	19.66'	39.30'
16	17°34'18"	226.50'	35.01'	69.46'
17	15°27'29"	226.50'	30.74'	61.11'
18	16°51'48"	211.50'	31.35'	62.25'
19	16°09'59"	211.50'	30.04'	59.68'
20	04°57'46"	468.75'	20.31'	40.60'

10' WATER EASEMENT CURVE DATA

No.	Delta	Radius	Tangent	Arc
21	00°31'54"	1078.20'	5.00'	10.01'
22	00°58'23"	594.46'	5.05'	10.10'

30' DRAINAGE EASEMENT CURVE DATA

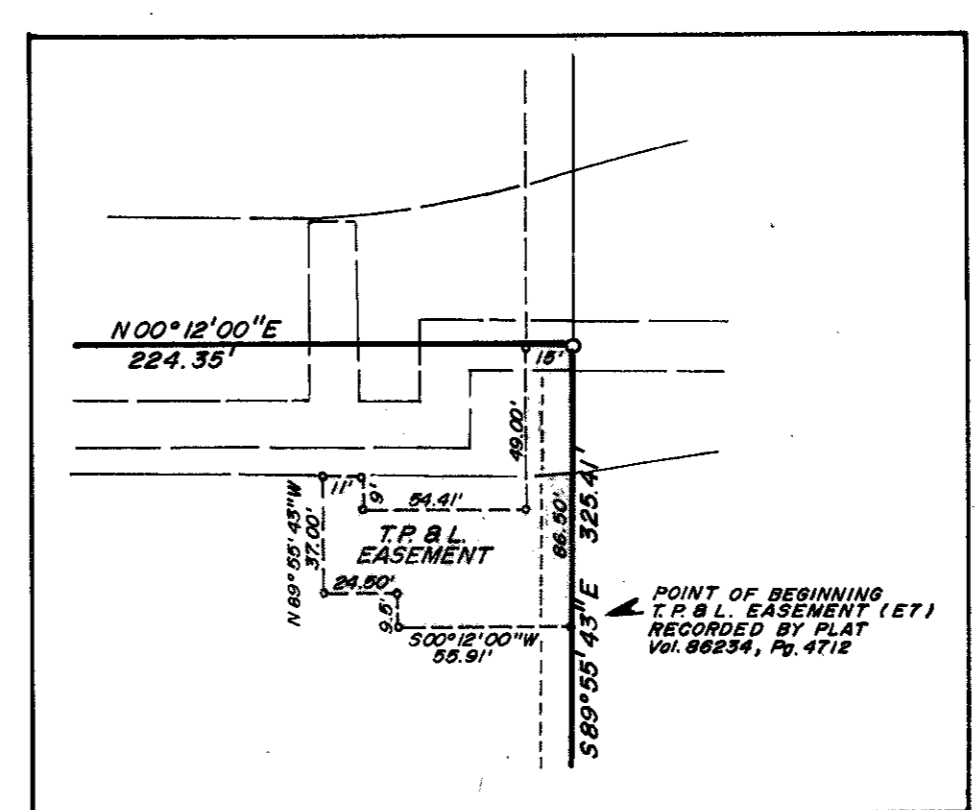
No.	Delta	Radius	Tangent	Arc
23	01°35'40"	1078.20'	15.00'	30.00'
24	02°54'26"	594.46'	15.09'	30.16'

15' SANITARY SEWER EASEMENT CURVE DATA

No.	Delta	Radius	Tangent	Arc
25	04°57'46"	492.50'	21.34'	42.66'
26	04°57'46"	507.50'	21.99'	43.96'
27	00°36'50"	1400.00'	7.50'	15.00'

15' T.P. & L. CO. EASEMENT CURVE DATA

No.	Delta	Radius	Tangent	Arc
28	16°01'16"	307.50'	43.27'	85.96'
29	01°25'00"	465.00'	5.75'	11.50'
30	14°35'39"	465.00'	59.54'	118.44'
31	04°23'54"	594.46'	22.83'	45.64'
32	00°12'52"	226.50'	0.42'	0.85'
33	16°18'00"	226.50'	32.44'	64.44'
34	24°01'26"	273.50'	58.19'	114.68'
35	12°48'22"	273.50'	30.69'	61.13'
36	09°57'52"	345.00'	30.08'	60.00'
37	12°52'30"	330.00'	37.23'	74.16'
38	14°06'41"	288.50'	35.71'	71.06'
39	22°43'07"	288.50'	57.96'	114.39'
40	16°18'00"	211.50'	30.29'	60.17'
41	02°52'31"	609.46'	15.30'	30.58'
42	14°26'22"	480.00'	60.81'	120.97'
43	01°34'54"	480.00'	6.63'	13.25'
44	16°01'16"	292.50'	41.16'	81.79'



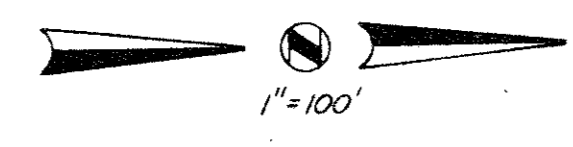
EASEMENT DETAIL
SCALE - 1" = 60'

EASEMENT EXHIBIT
CORPORATE I LIMITED
 ADDISON, TEXAS

BROCKETTE-DAVIS DRAKE, inc.
 consulting engineers

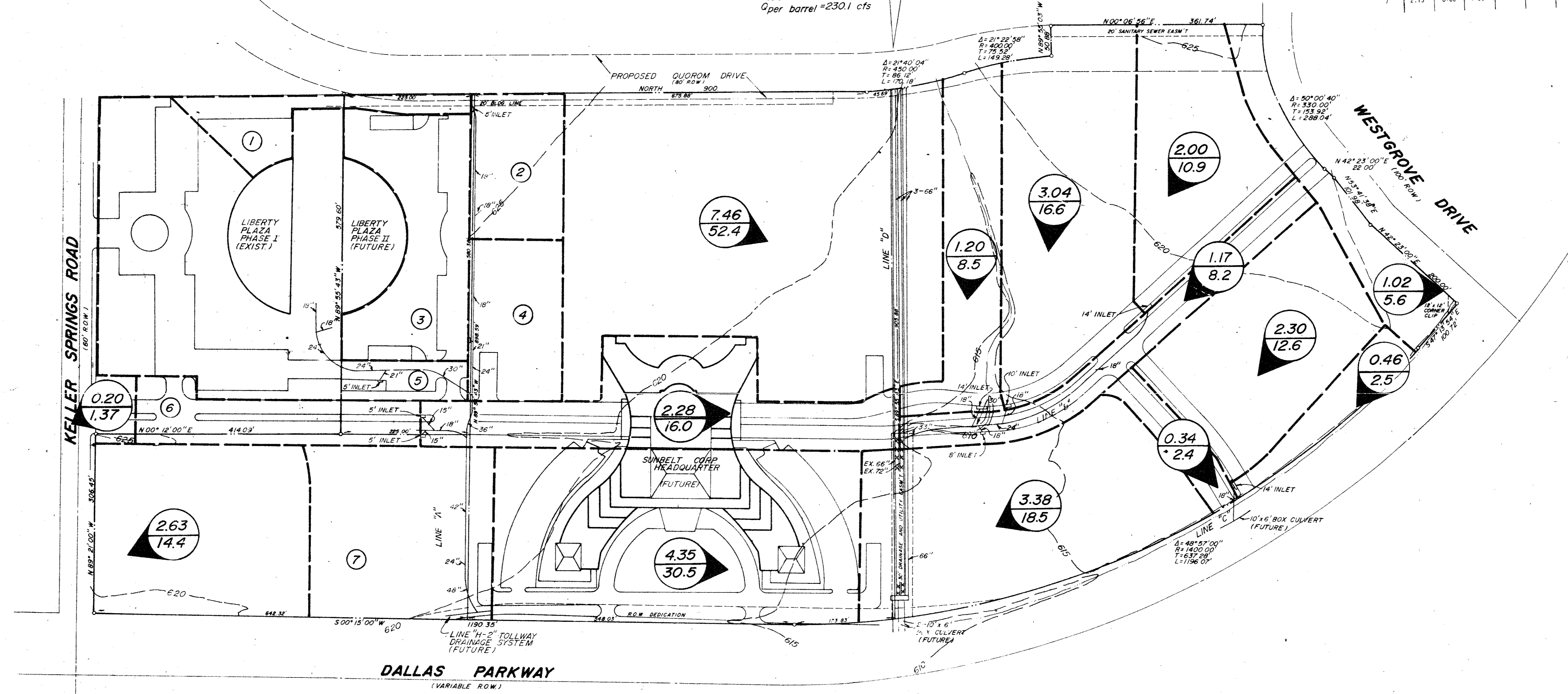
Civil & Structural Engineering • Surveying
 3535 Travis, Suite 100 • Dallas, Texas 75204 • (214) 522-9540

design	drawn	date	scale	notes	job no.	sheet no.
	B.C.	10-22-86	1"=100'		C8631	1 of 1



OFF-SITE DRAINAGE
 AREA = 170 Acres
 TC = 22.7 MIN.
 I₁₀₀ = 5.8 IN./HR.
 C = 0.7
 Q = CIA
 Q₁₀₀ = 690.3 cfs
 Q per barrel = 230.1 cfs

LINE "A"																
O.A. No.	Area (Ac)	From Sta.	To Sta.	C	CA	Inlet Q (cfs)	Acc. CA	Tc (Min)	I ₁₀₀ (In/HR)	Total Q (cfs)	Length (ft)	Pipe Size	Slope (ft/ft)	V (fps)	V ₁₀₀	Remarks
1	1.01	6+11	8+60	0.9	0.91	7.0	0.91	10.0	7.8	7.0	249	18"	0.47	4.0	0.25	5' Rect. Inlet
2	0.85	4+58	6+11	0.9	0.77	6.0	1.68	11.0	7.7	13.0	153	18"	11.60	7.5	0.07	18" Stub-out
3	1.37	4+55	4+58	0.9	1.23	9.6	2.91	11.3	7.6	22.3	3	24"	0.95	7.2	0.00	5' Rect. Inlet
4	0.79	3+60	4+55	0.9	0.71	5.5	3.62	11.4	7.5	27.3	75	24"	1.40	8.6	1.15	Line "A1"
5	6.74	3+62	3+60	0.9	6.07	47.3	9.69	11.4	7.5	72.8	18	36"	1.10	9.9	1.52	Discharge 36" RCP
5A							9.69	11.5	7.4	71.7	59	36"	1.02	9.5	1.40	Extend 36" Slope Upgrade
6	0.97	1+05	3+03	0.9	0.87	6.8	10.56	11.9	7.3	77.1	198	42"	0.50	7.4	0.65	Two 5' Curb Inlets
7	2.13	0+00	1+05	0.7	1.49	11.6	12.05	12.1	7.2	86.8	105	48"	0.50	8.1	1.02	24" STUB-OUT



DRAINAGE CRITERIA

XX - AREA, ACRES
 XX - Q, cfs
 Q = CIA
 C = 0.7 or 0.9
 I = 7.8 IN./HR.

BM No. 1
 Square cut on top of curb at the radius return of an island located near the northeast corner of Liberty Plaza I, approximately 639 feet north of the southeast property corner.
 Elevation 622.14

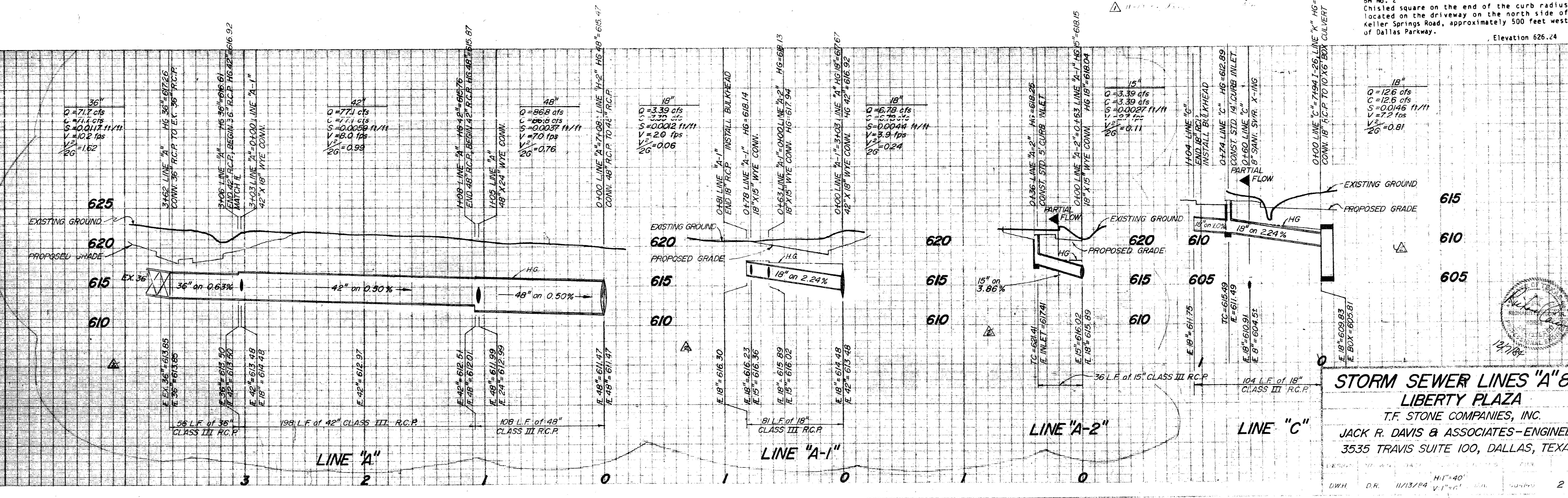
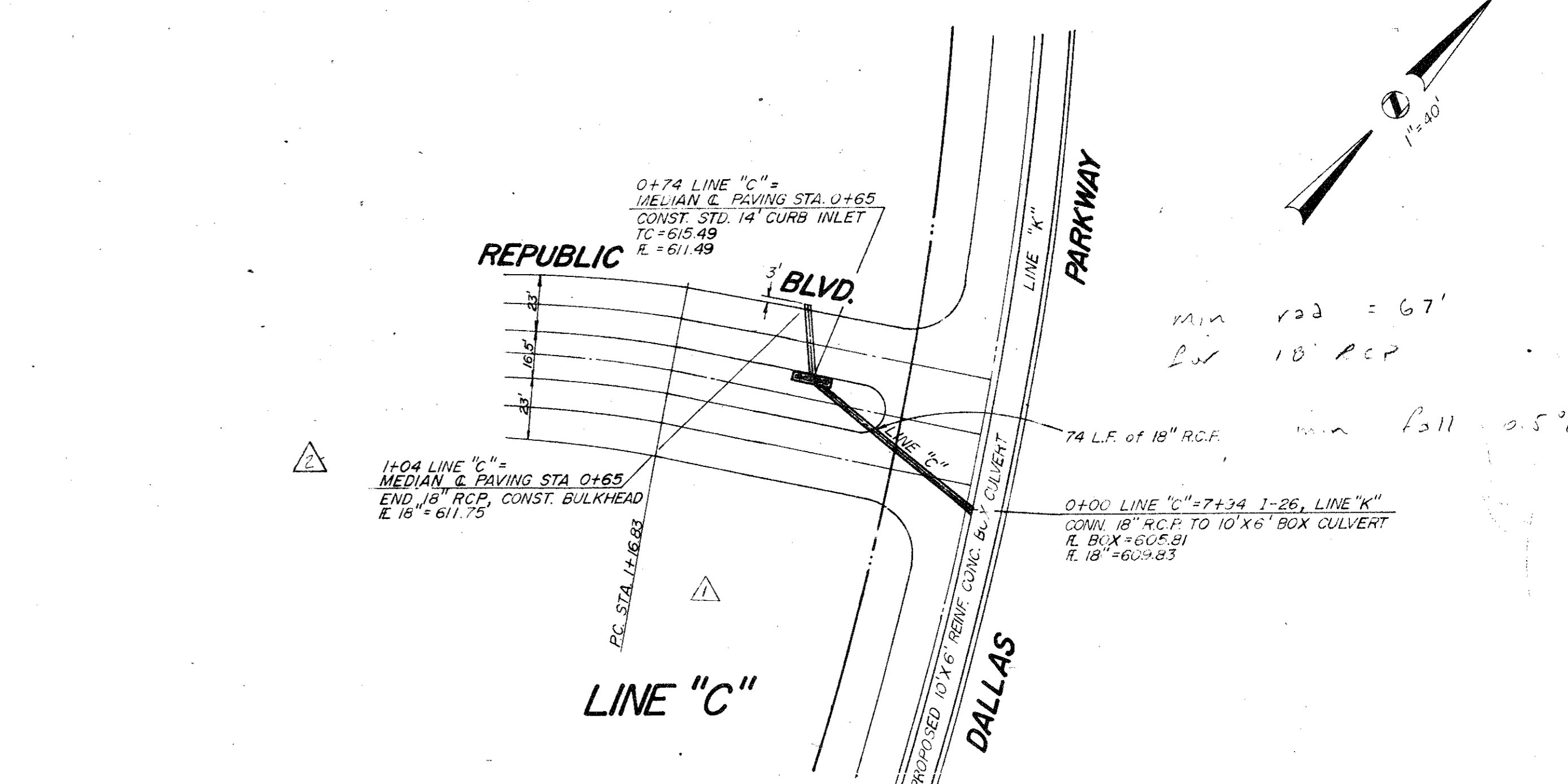
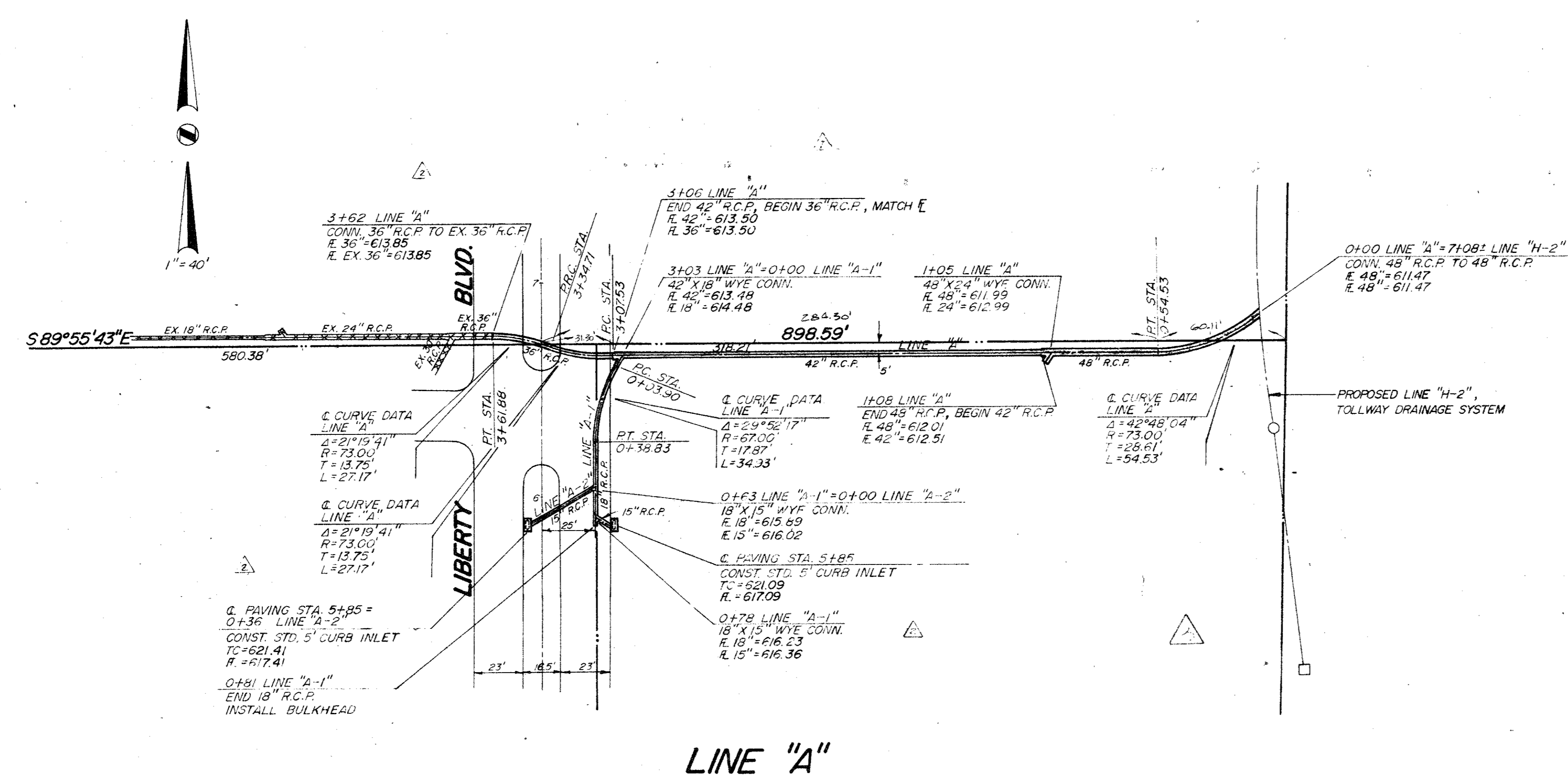
BM No. 2
 Chisled square on the end of the curb radius located on the driveway on the north side of Keller Springs Road, approximately 500 feet west of Dallas Parkway.
 Elevation 626.24

NOTE: BOUNDARY INFORMATION IS FROM A BOUNDARY SURVEY BY GEORAM CORP. DATED FEBRUARY, 1984

DRAINAGE AREA MAP
LIBERTY PLAZA
 T.F. STONE COMPANIES, INC.
 JACK R. DAVIS & ASSOCIATES-ENGINEERS
 3535 TRAVIS SUITE 100, DALLAS, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO
JRD	JRD	11/15/84	1"=100'	JRD	GBR16T	1 of 16

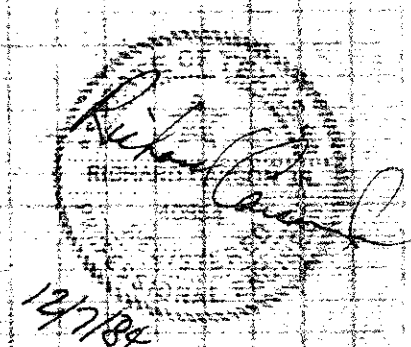
Handwritten signature and date: 12/7/84

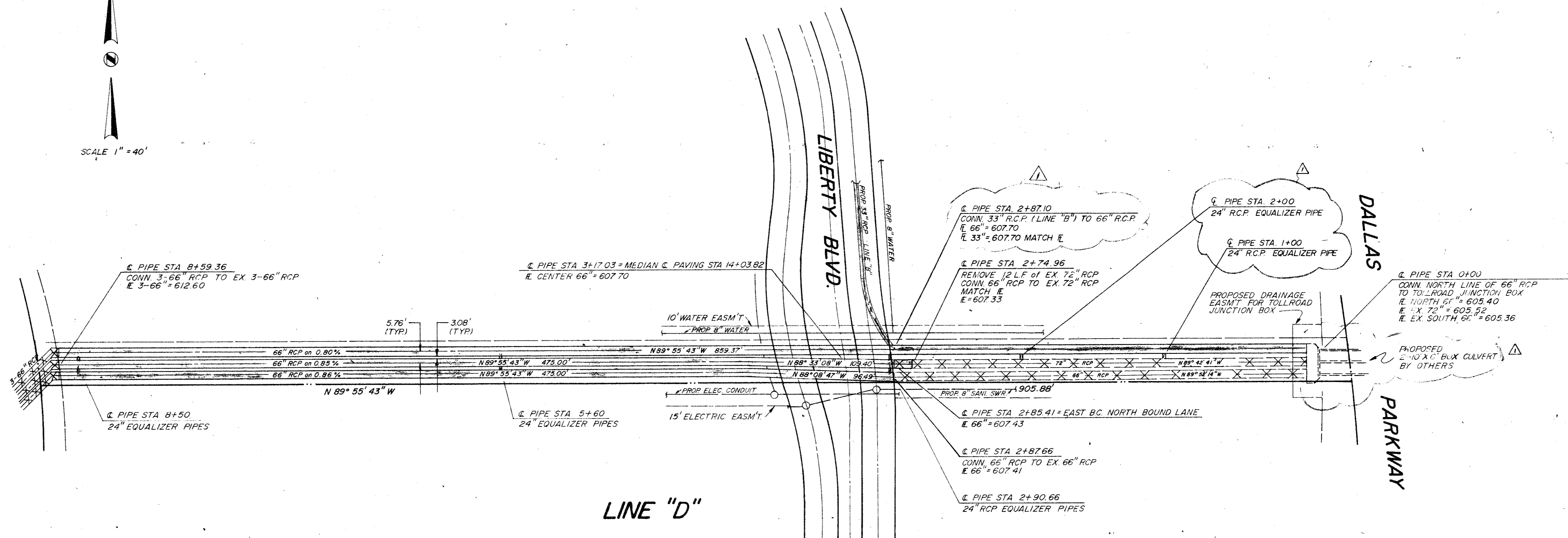
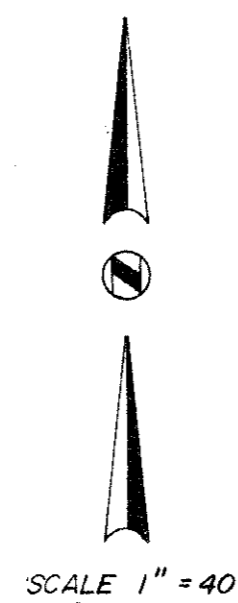


IN No. 1
Square cut on top of curb at the radius return of an island located near the northeast corner of Liberty Plaza I, approximately 639 feet north of the southeast property corner. Elevation 622.14

BM No. 2
Chisled square on the end of the curb radius located on the driveway on the north side of Keller Springs Road, approximately 500 feet west of Dallas Parkway. Elevation 626.24

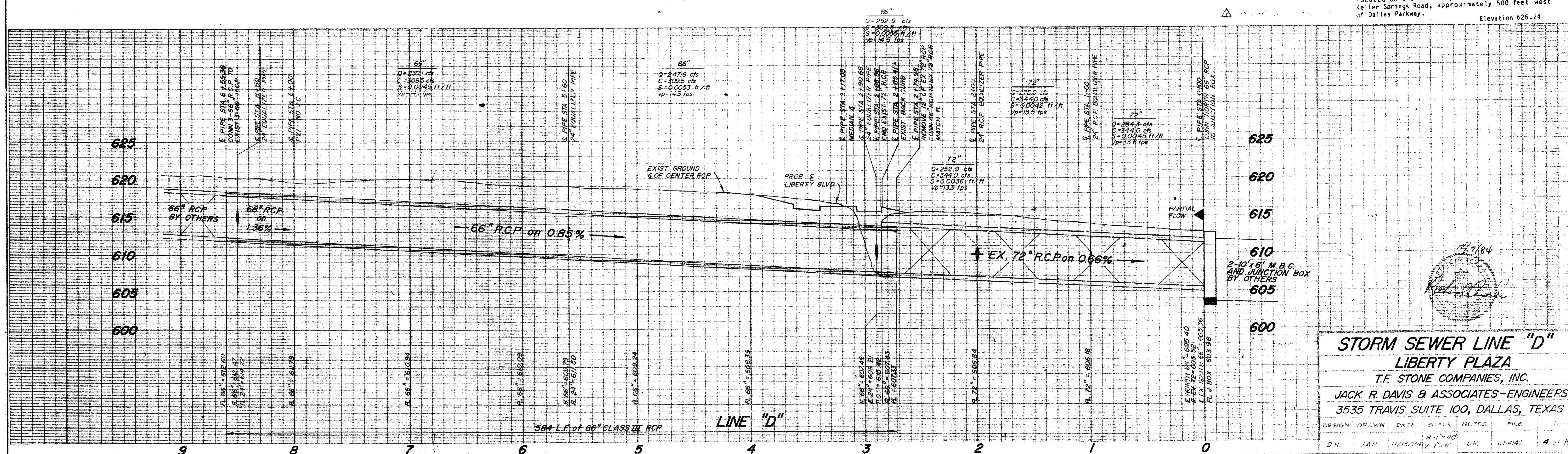
STORM SEWER LINES "A" & "C"
LIBERTY PLAZA
T.F. STONE COMPANIES, INC.
JACK R. DAVIS & ASSOCIATES-ENGINEERS
3535 TRAVIS SUITE 100, DALLAS, TEXAS





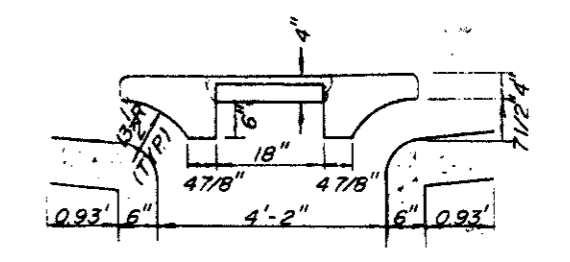
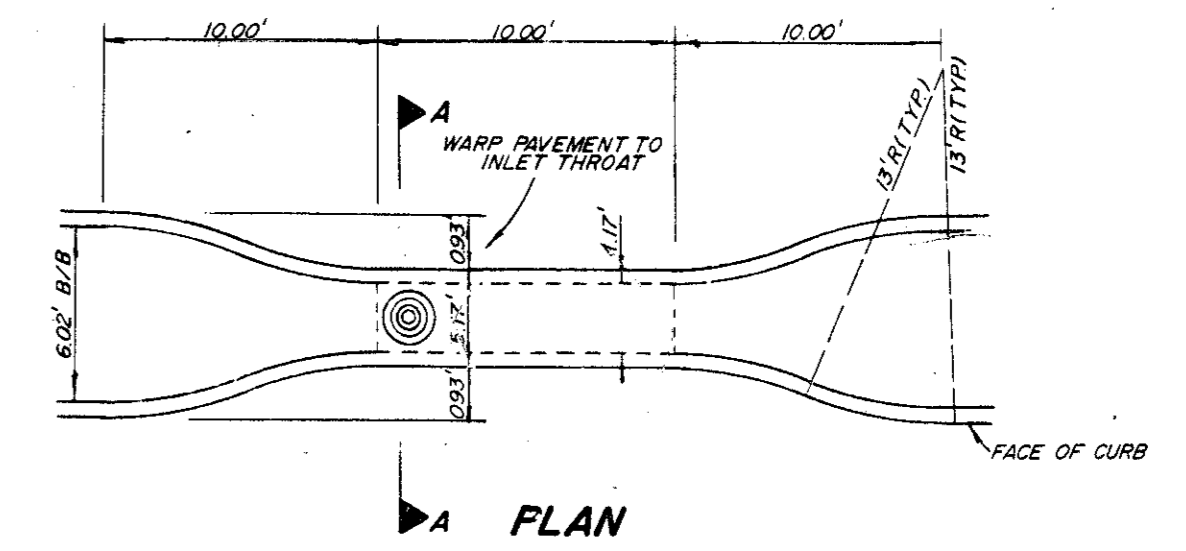
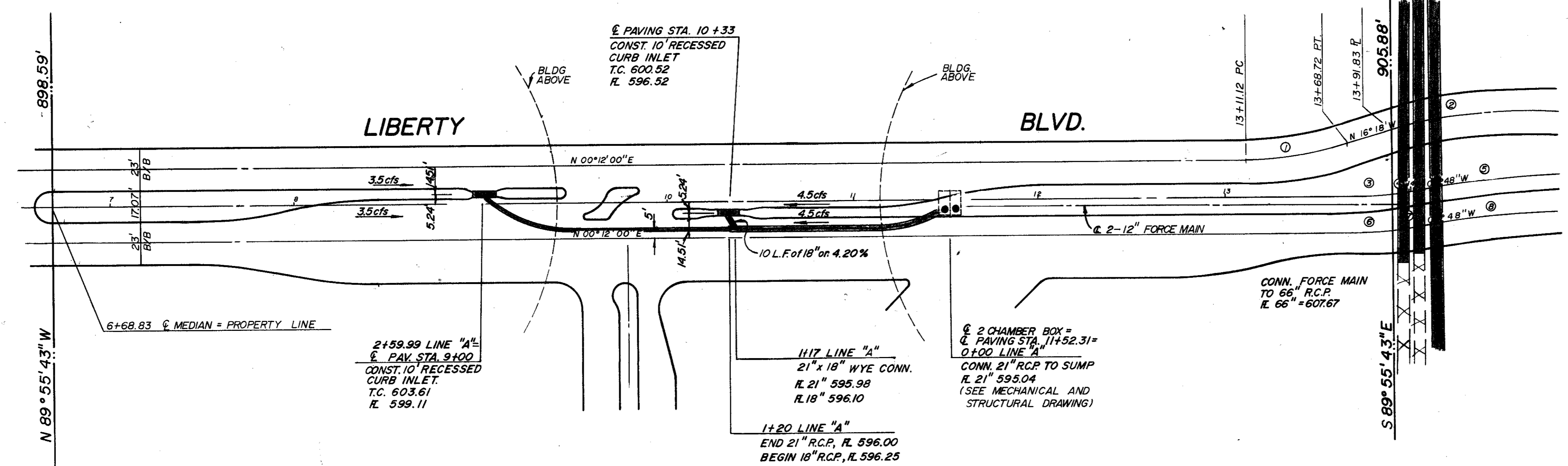
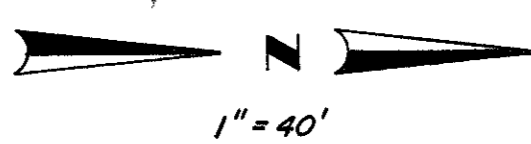
BM No. 1
Square cut on top of curb at the radius return
of an island located near the northeast corner of
Liberty Plaza 1, approximately 639 feet north of
the southeast property corner. Elevation 622.14

BM No. 2
Chisled square on the end of the curb radius
located on the driveway on the north side of
Keller Springs Road, approximately 500 feet west
of Dallas Parkway. Elevation 626.24



STORM SEWER LINE "D"
LIBERTY PLAZA
 T.F. STONE COMPANIES, INC.
 JACK R. DAVIS & ASSOCIATES-ENGINEERS
 3535 TRAVIS SUITE 100, DALLAS, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE
DH	JAR	11/13/84	H-1"=40' V-1"=6'	DR	CG414C 4 of 11



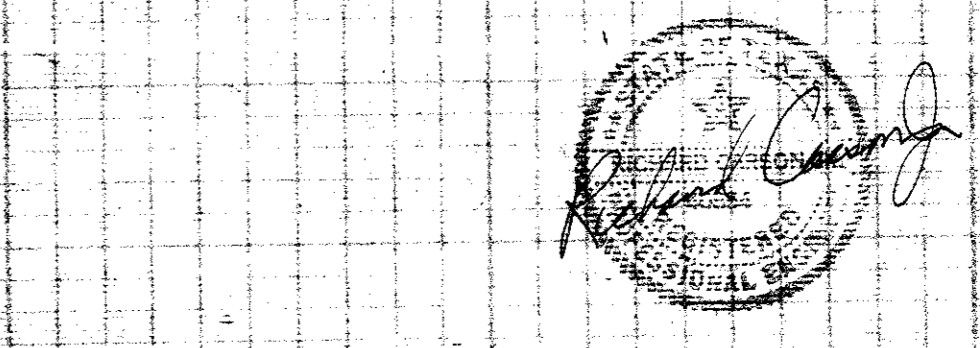
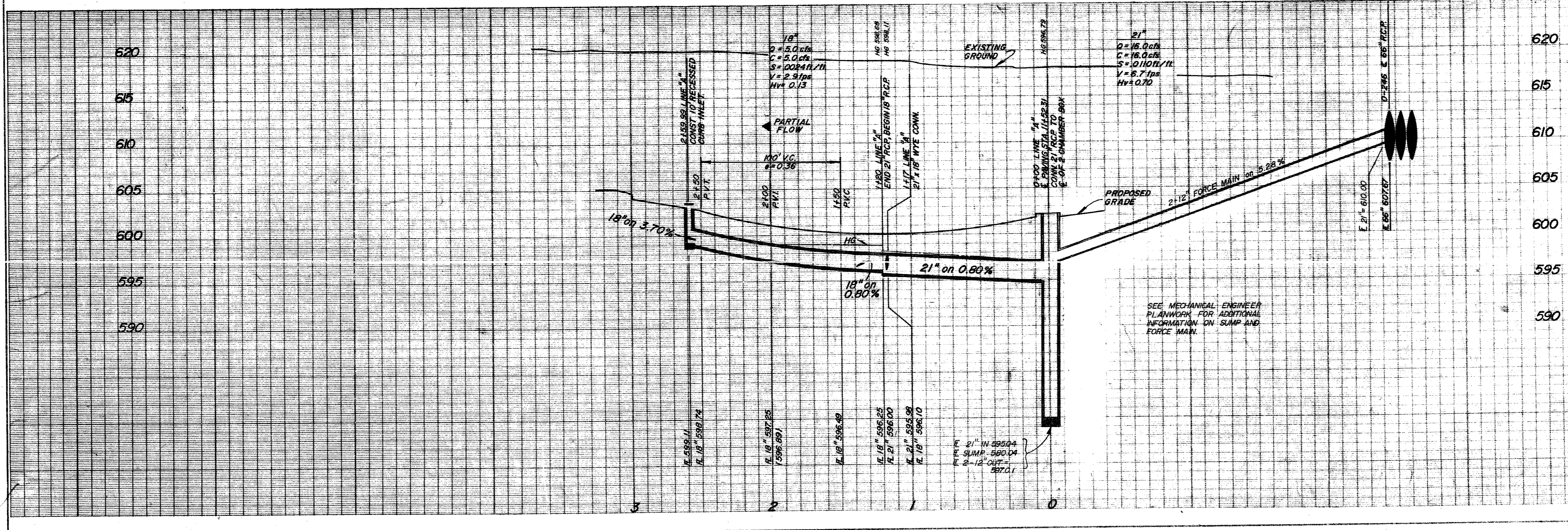
SECTION 'A-A'
10' RECESSED CURB INLET DETAIL
NTS

CURVE DATA

NO.	Δ	R	T	L
1	161°30'00"	200.00'	24.30'	57.60'
2	161°16'00"	200.00'	28.64'	56.90'
3	04°55'42"	180.25'	7.86'	15.71'
4	04°00'18"	180.25'	6.30'	12.60'
5	03°11'00"	21.75'	4.55'	19.15'
6	04°30'49"	200.00'	7.91'	15.76'
7	04°29'11"	200.00'	7.43'	15.67'
8	05°27'00"	200.00'	8.71'	17.45'

BM NO. 1
SQUARE CUT ON TOP OF CURB AT THE RADIUS RETURN OF AN ISLAND
LOCATED NEAR THE NORTHEAST CORNER OF LIBERTY PLAZA I,
APPROXIMATELY 639 FEET NORTH OF THE SOUTHEAST PROPERTY
CORNER.
ELEV. 622.14

BM NO. 2
CHISEL SQUARE ON THE END OF THE CURB RADIUS LOCATED ON THE
DRIVEWAY ON THE NORTH SIDE OF KELLER SPRINGS ROAD, APPROXIMATELY
500 FEET WEST OF DALLAS PARKWAY.
ELEV. 626.24



STORM SEWER PLAN
SUNBELT CENTER
SUN DEVELOPMENT
JACK R. DAVIS & ASSOCIATES-ENGINEERS
3535 TRAVIS, SUITE 100, DALLAS, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
T.B.	J.S.S.	JUN. 85	1" = 40'	FG	C84187T	5 OF 16

JACK R. DAVIS & ASSOCIATES, INC.
consulting civil engineers & surveyor
3535 Travis Street, Suite 100
Dallas, Texas 75204 (214) 522-554

HARWOOD K. SMITH & PARTNERS
Architects-Engineers-Planners
1111 Plaza of the Americas North, LB 307
Dallas, Texas 75201 214/748-5261

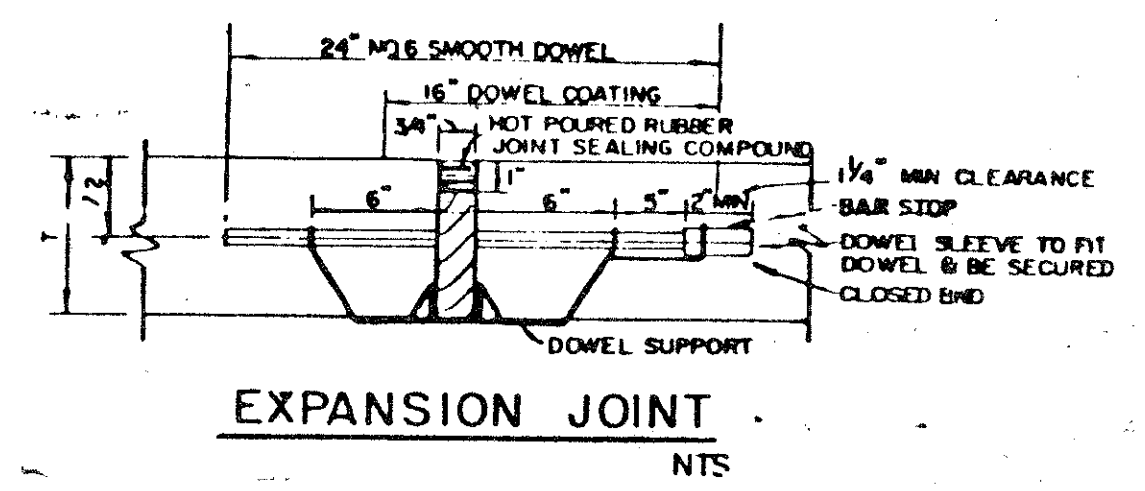
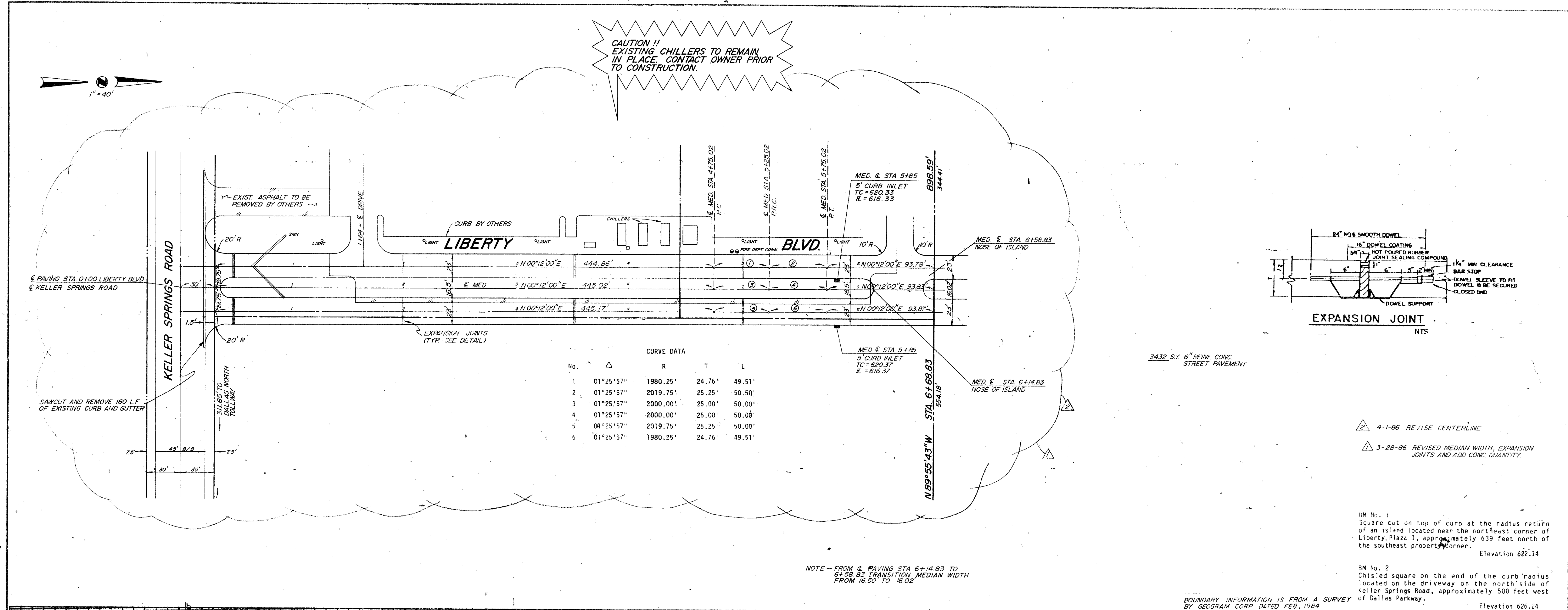
HKS

SUNBELT CORPORATE HEADQUARTERS
TEXAS
ADDISON

Issued For Construction
PC #1 6/9/85
Job No: **C84187**

Revision

Sheet Title:
STORM SEWER
Date: **6/03/85**
Drawn:
Sheet No:
C4
of sheets



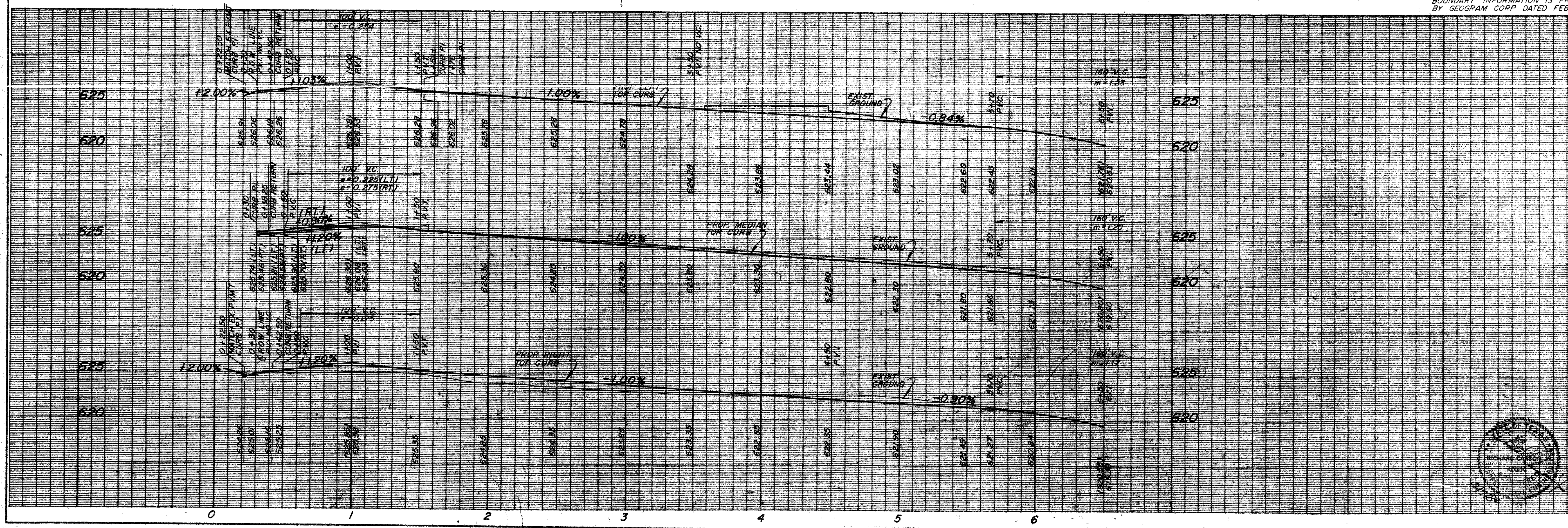
3432 S.Y. 6" REINF CONC.
STREET PAVEMENT

- ② 4-1-86 REVISE CENTERLINE
- ③ 3-28-86 REVISED MEDIAN WIDTH, EXPANSION JOINTS AND ADD CONC. QUANTITY.

IM No. 1
Square cut on top of curb at the radius return of an island located near the northeast corner of Liberty Plaza I, approximately 639 feet north of the southeast property corner. Elevation 622.14

SM No. 2
Chisled square on the end of the curb radius located on the driveway on the north side of Keller Springs Road, approximately 500 feet west of Dallas Parkway. Elevation 626.24

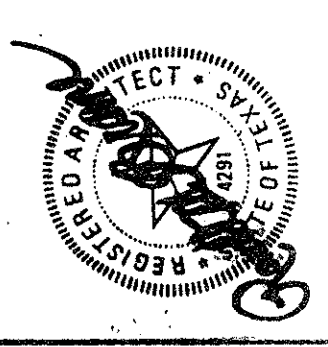
BOUNDARY INFORMATION IS FROM A SURVEY BY GEORAM CORP. DATED FEB, 1984



**LIBERTY BOULEVARD
LIBERTY PLAZA**

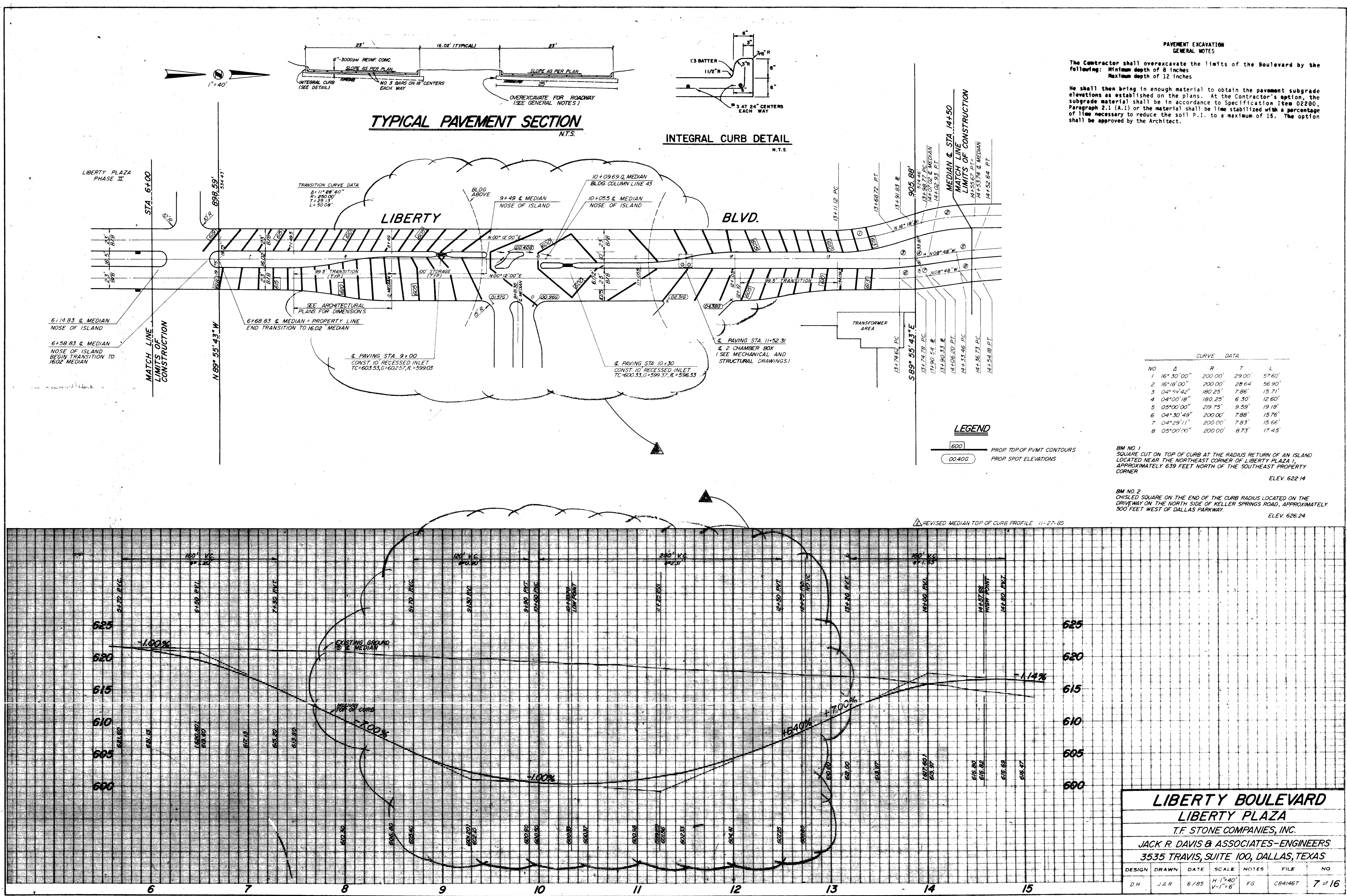
T.F. STONE COMPANIES, INC.
JACK R. DAVIS & ASSOCIATES-ENGINEERS
3535 TRAVIS SUITE 100, DALLAS, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
JRD	REH	3/1/85	H 1"=40' V 1"=6'	JRD	C-4-16	6 16



ISSUED FOR
 CONSTRUCTION
 PC#18/9/85
 Job No: **1619**
 Revision
 PC 09 05/15/85

Sheet Title
BOULEVARD
 PAVING PLAN
 Date 6/03/85
 Drawn
 Sheet No
C3
 of sheets



PAVEMENT EXCAVATION GENERAL NOTES

The Contractor shall overexcavate the limits of the Boulevard by the following: Minimum depth of 8 inches
 Maximum depth of 12 inches

He shall then bring in enough material to obtain the pavement subgrade elevations as established on the plans. At the Contractor's option, the subgrade material shall be in accordance to Specification Item 02200, Paragraph 2.1 (A.1) or the material shall be lime stabilized with a percentage of lime necessary to reduce the soft P.I. to a maximum of 15. The option shall be approved by the Architect.

CURVE DATA

NO	Δ	R	T	L
1	16°30'00"	200.00'	29.00'	57.60'
2	16°18'00"	200.00'	28.64'	56.90'
3	04°54'42"	180.25'	7.86'	15.71'
4	04°00'18"	180.25'	6.30'	12.60'
5	05°00'00"	219.75'	9.59'	19.18'
6	04°30'49"	200.00'	7.88'	15.76'
7	04°29'11"	200.00'	7.83'	15.66'
8	05°00'00"	200.00'	8.73'	17.45'

LEGEND

600 PROP. TOP OF PAVT CONTOURS
 00400 PROP. SPOT ELEVATIONS

BM NO. 1
 SQUARE CUT ON TOP OF CURB AT THE RADIUS RETURN OF AN ISLAND LOCATED NEAR THE NORTHEAST CORNER OF LIBERTY PLAZA I, APPROXIMATELY 639 FEET NORTH OF THE SOUTHEAST PROPERTY CORNER.
 ELEV. 622.14

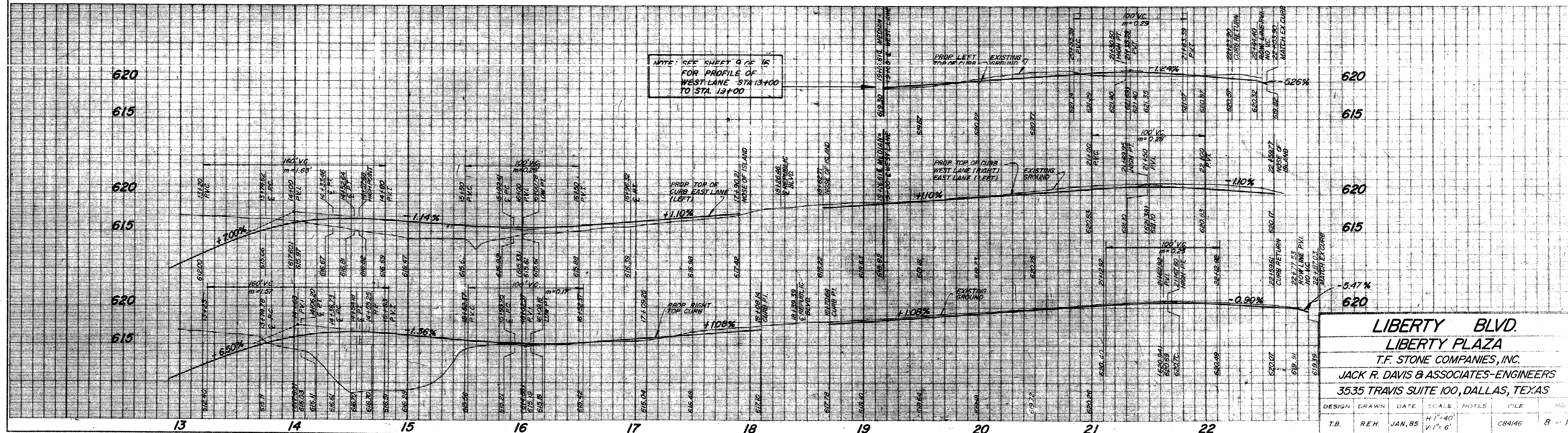
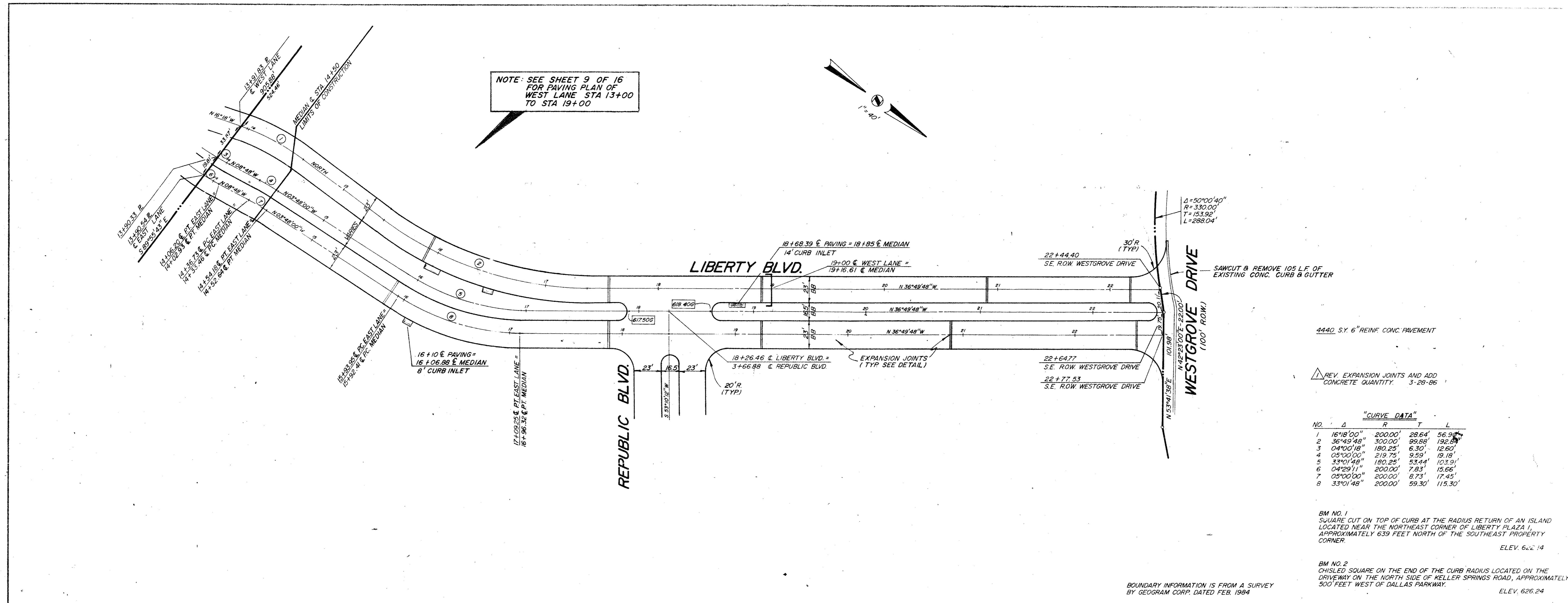
BM NO. 2
 CHISEL SQUARE ON THE END OF THE CURB RADIUS LOCATED ON THE DRIVEWAY ON THE NORTH SIDE OF KELLER SPRINGS ROAD, APPROXIMATELY 300 FEET WEST OF DALLAS PARKWAY.
 ELEV. 626.24

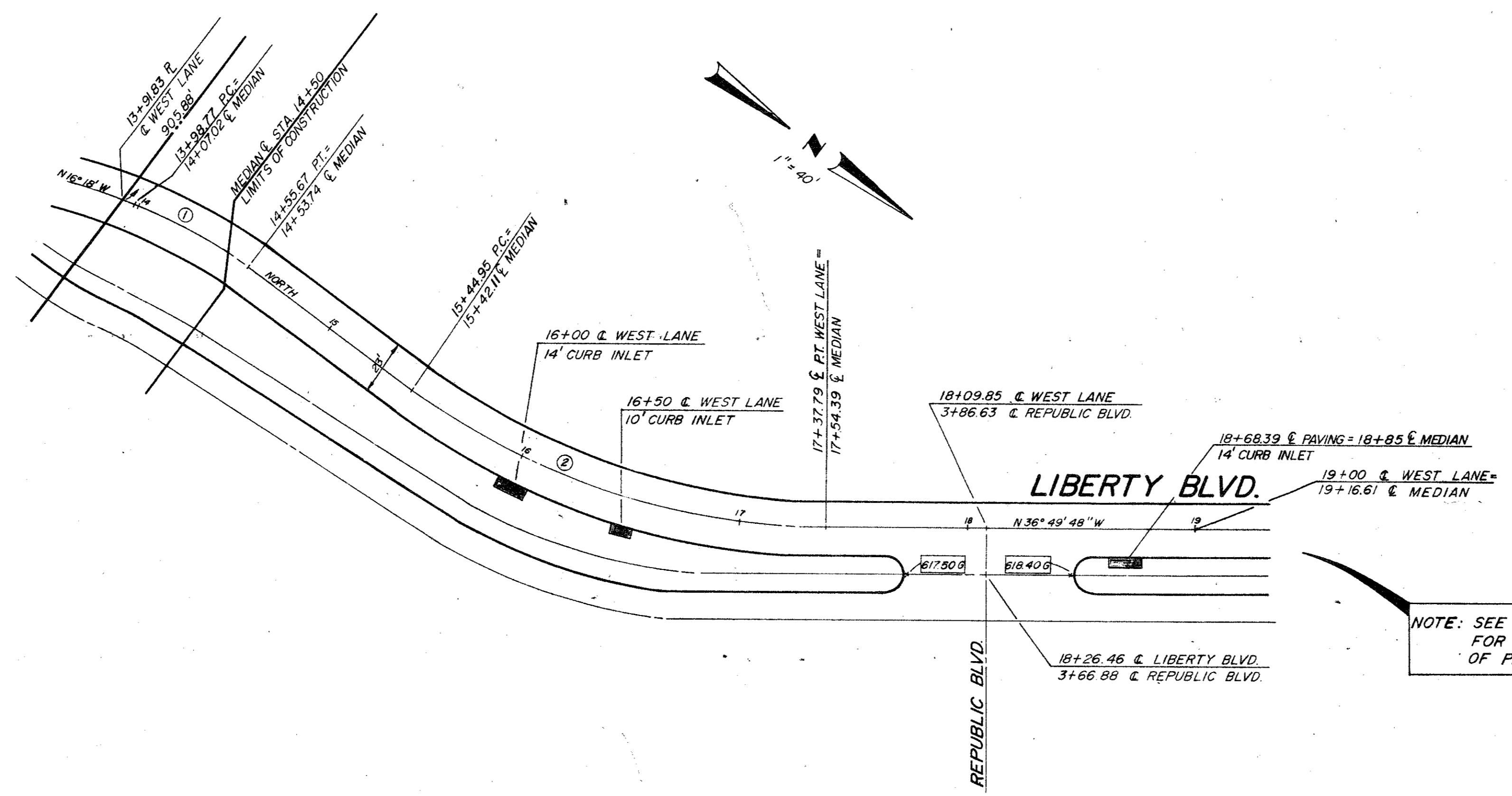
▲ REVISED MEDIAN TOP OF CURB PROFILE 11-27-85

**LIBERTY BOULEVARD
 LIBERTY PLAZA**
 T.F. STONE COMPANIES, INC.
 JACK R. DAVIS & ASSOCIATES-ENGINEERS
 3535 TRAVIS, SUITE 100, DALLAS, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO
D.H.	J.A.R.	6/85	1/4"=40' 1/2"=8'	FG	CB4146T	7 of 16

JACK R. DAVIS & ASSOCIATES, INC.
 consulting civil engineers & surveyors
 3535 Travis Street, Suite 100
 Dallas, Texas 75204 (214) 522-9140



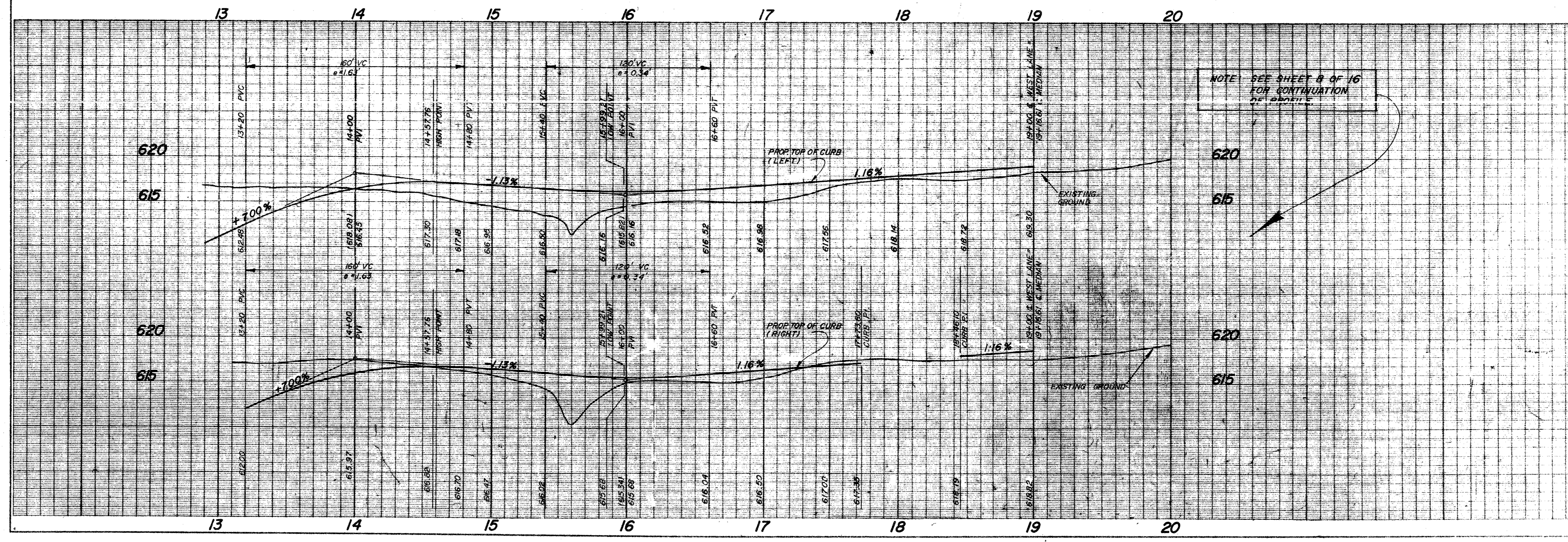


NOTE: SEE SHEET 8 OF 16 FOR CONTINUATION OF PAVING PLAN

NO	CURVE DATA	R	T	L
1	16°18'00"	200.00'	28.64'	56.30'
2	36°49'48"	300.00'	59.69'	192.94'

BM NO. 1
 SQUARE CUT ON TOP OF CURB AT THE RADIUS RETURN OF AN ISLAND LOCATED NEAR THE NORTHEAST CORNER OF LIBERTY PLAZA 1, APPROXIMATELY 639 FEET NORTH OF THE SOUTHEAST PROPERTY CORNER.
 ELEV. 622.14

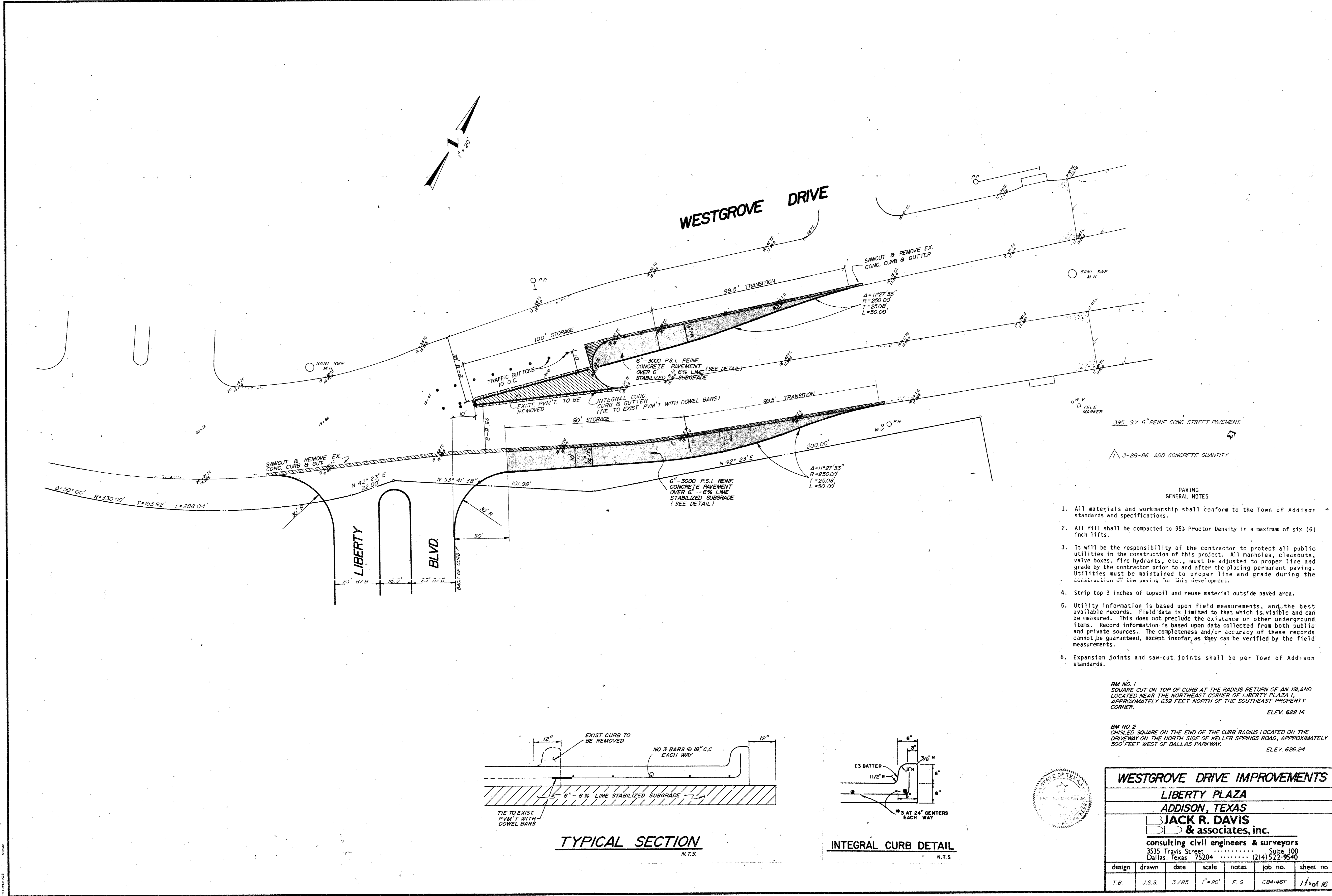
BM NO. 2
 CHISLED SQUARE ON THE END OF THE CURB RADIUS LOCATED ON THE DRIVEWAY ON THE NORTH SIDE OF KELLER SPRINGS ROAD, APPROXIMATELY 500 FEET WEST OF DALLAS PARKWAY.
 ELEV. 626.24



NOTE: SEE SHEET 8 OF 16 FOR CONTINUATION OF PROFILE

LIBERTY BLVD.
LIBERTY PLAZA
 T.F. STONE COMPANIES, INC.
 JACK R. DAVIS & ASSOCIATES-ENGINEERS
 3535 TRAVIS, SUITE 100, DALLAS, TEXAS

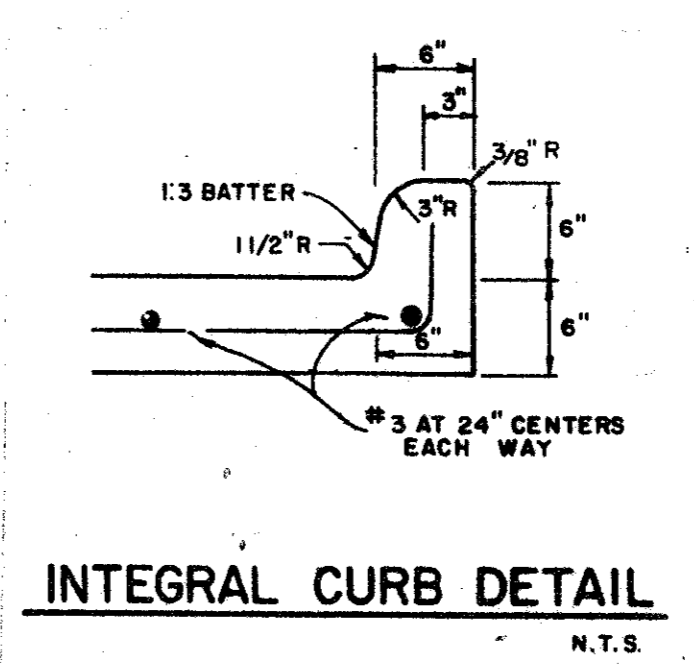
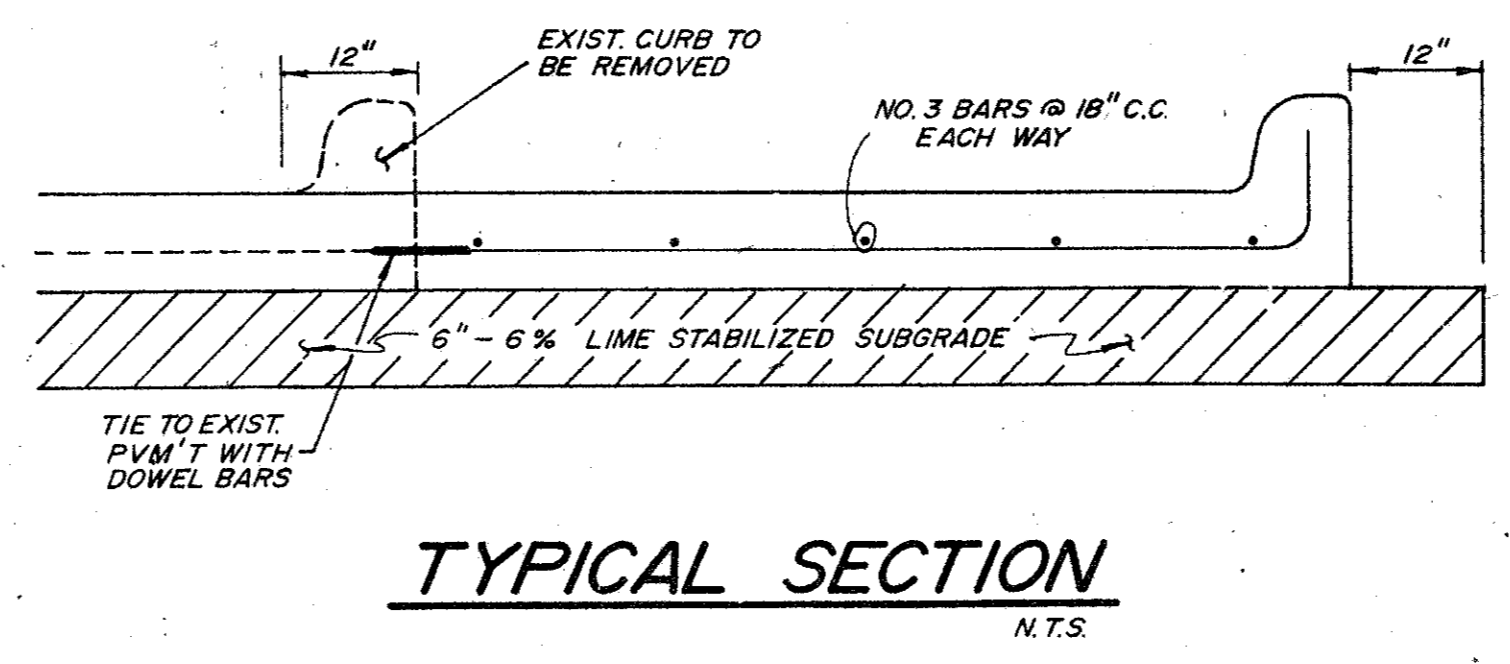
DESIGN	DRAWN	DATE	SCALE	SHEETS	FILE
J.S.S.		FEB. 85	11"=40' 1"=6'	084146T	9 of 16



- PAVING GENERAL NOTES
- All materials and workmanship shall conform to the Town of Addison standards and specifications.
 - All fill shall be compacted to 95% Proctor Density in a maximum of six (6) inch lifts.
 - It will be the responsibility of the contractor to protect all public utilities in the construction of this project. All manholes, cleanouts, valve boxes, fire hydrants, etc., must be adjusted to proper line and grade by the contractor prior to and after the placing permanent paving. Utilities must be maintained to proper line and grade during the construction of the paving for this development.
 - Strip top 3 inches of topsoil and reuse material outside paved area.
 - Utility information is based upon field measurements, and the best available records. Field data is limited to that which is visible and can be measured. This does not preclude the existence of other underground items. Record information is based upon data collected from both public and private sources. The completeness and/or accuracy of these records cannot be guaranteed, except insofar as they can be verified by the field measurements.
 - Expansion joints and saw-cut joints shall be per Town of Addison standards.

BM NO. 1
SQUARE CUT ON TOP OF CURB AT THE RADIUS RETURN OF AN ISLAND LOCATED NEAR THE NORTHEAST CORNER OF LIBERTY PLAZA 1, APPROXIMATELY 639 FEET NORTH OF THE SOUTHEAST PROPERTY CORNER.
ELEV. 622.14

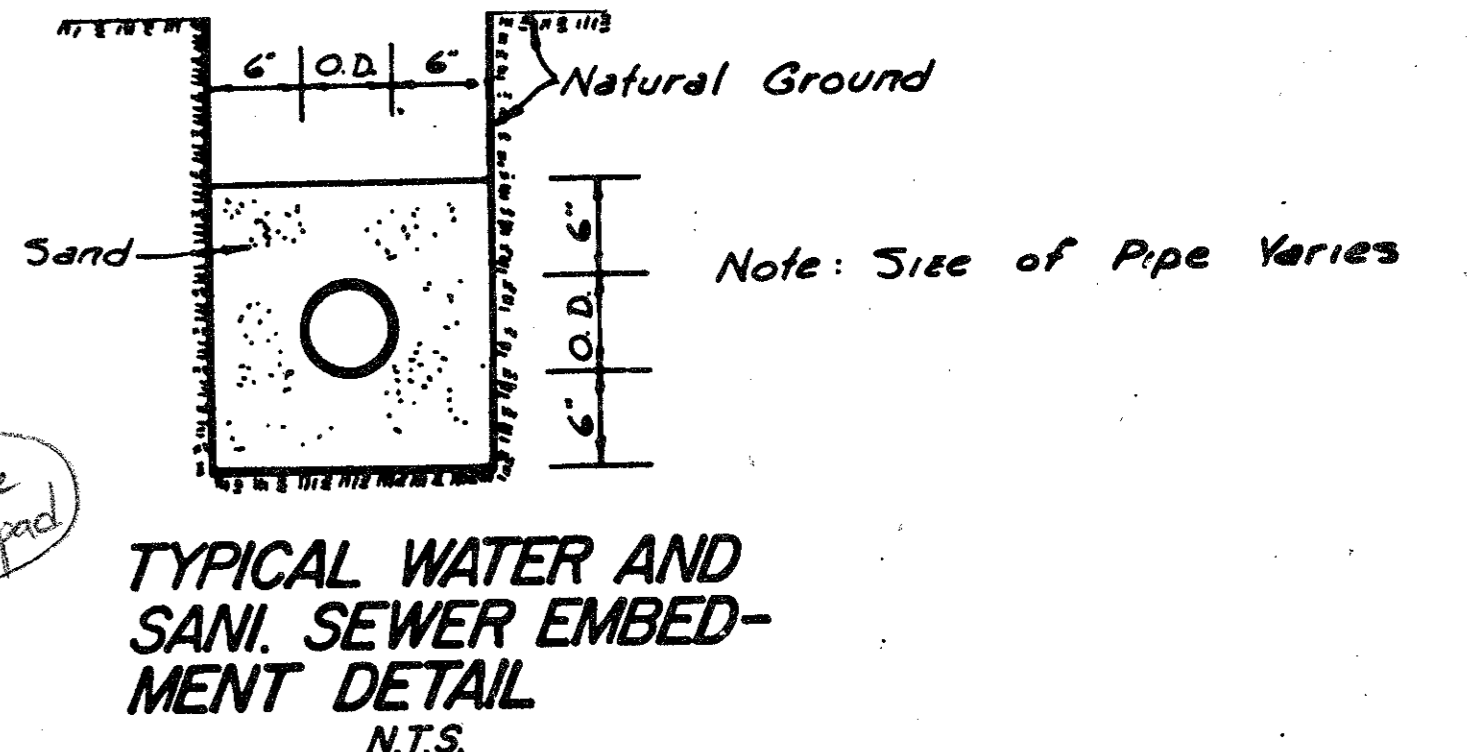
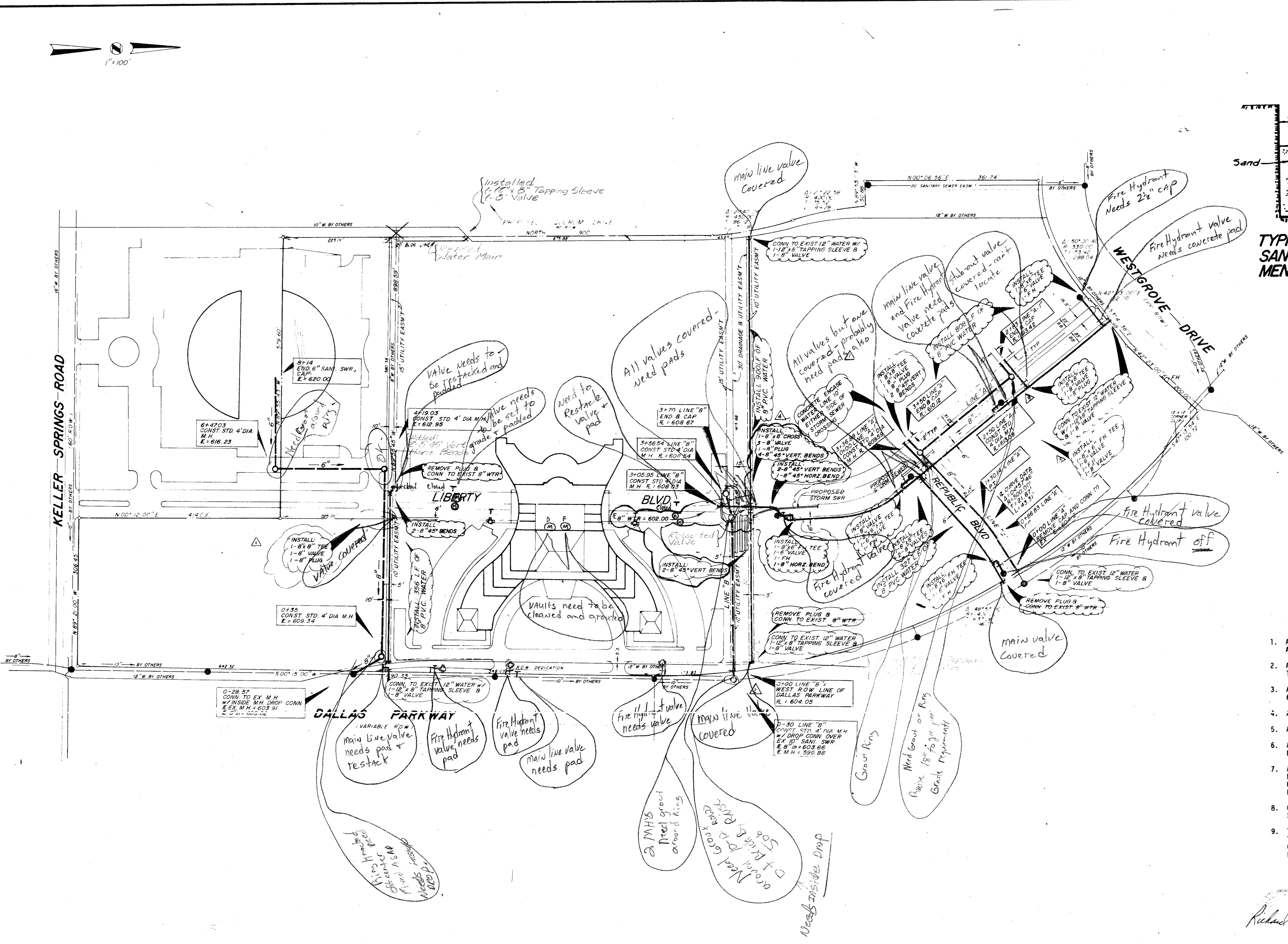
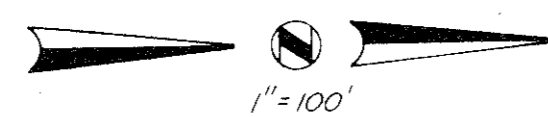
BM NO. 2
CHISEL SQUARE ON THE END OF THE CURB RADIUS LOCATED ON THE DRIVEWAY ON THE NORTH SIDE OF KELLER SPRINGS ROAD, APPROXIMATELY 300 FEET WEST OF DALLAS PARKWAY.
ELEV. 626.24



WESTGROVE DRIVE IMPROVEMENTS
ADDISON, TEXAS

JACK R. DAVIS & associates, inc.
consulting civil engineers & surveyors
3535 Travis Street Suite 100
Dallas, Texas 75204 (214) 522-9540

design	drawn	date	scale	notes	job no.	sheet no.
T.B.	J.S.S.	3/85	1"=20'	F.G.	CB41467	11 of 16



- WATER AND SANITARY SEWER GENERAL NOTES
1. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CITY OF ADDISON STANDARDS AND SPECIFICATIONS.
 2. ALL WATER MAINS SHALL BE PVC SDR-18 WATER PIPE (BLUE BRUTE WITH WIRE TRACERS). TRACER TO BE #12 INSULATED COPPER.
 3. ALL WATER MAINS SHALL HAVE MINIMUM COVER BELOW FINISHED GRADES AS FOLLOWS: 6" & 8" - 48" OR AS REQUIRED TO CLEAR OTHER UTILITIES.
 4. ALL SEWER MAINS SHALL BE PVC CON 35 SANITARY SEWER PIPE.
 5. ALL PIPE EMBEDMENT SHALL BE AS DETAILED ON THIS SHEET.
 6. ALL TEES, CONNECTIONS, BENDS, DEAD-ENDS, FIRE HYDRANTS, ETC., SHALL BE SECURELY BLOCKED AGAINST TRENCH WALLS USING 2000 PSI CONCRETE.
 7. ALL TRENCH BACKFILL FOR THESE UTILITIES SHALL BE COMPACTED AS REQUIRED BY CITY, BUT IN NO CASE SHALL THE TOP 12" BE COMPACTED TO LESS THAN 90% AASHO DENSITY WITH THE REMAINDER OF THE DITCH BEING COMPACTED TO THAT OF ADJOINING SOIL CONDITIONS.
 8. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO BEGINNING WORK AND SHALL PROTECT EXISTING IMPROVEMENTS DURING CONSTRUCTION.
 9. THE CONTRACTOR SHALL INCLUDE IN HIS BID PRICE ALL COSTS OF UTILITY CONNECTIONS, TAP FEES AND THE TESTING OF NEW MAINS REQUIRED BY THE CITY OF ADDISON TO COMPLETE THE WORK WHETHER THESE SERVICES ARE PERFORMED BY THE CONTRACTOR OR BY OTHERS.

Richard Lewis
3/12/85

NOTE: BOUNDARY INFORMATION IS FROM A BOUNDARY SURVEY BY GEORAM CORP. DATED FEBRUARY, 1984.

AS-BUILT DATE: 12-15-86

WATER & SANI. SWR. PLAN

LIBERTY PLAZA

BROCKETTE-DAVIS-DRAKE, inc.
consulting engineers

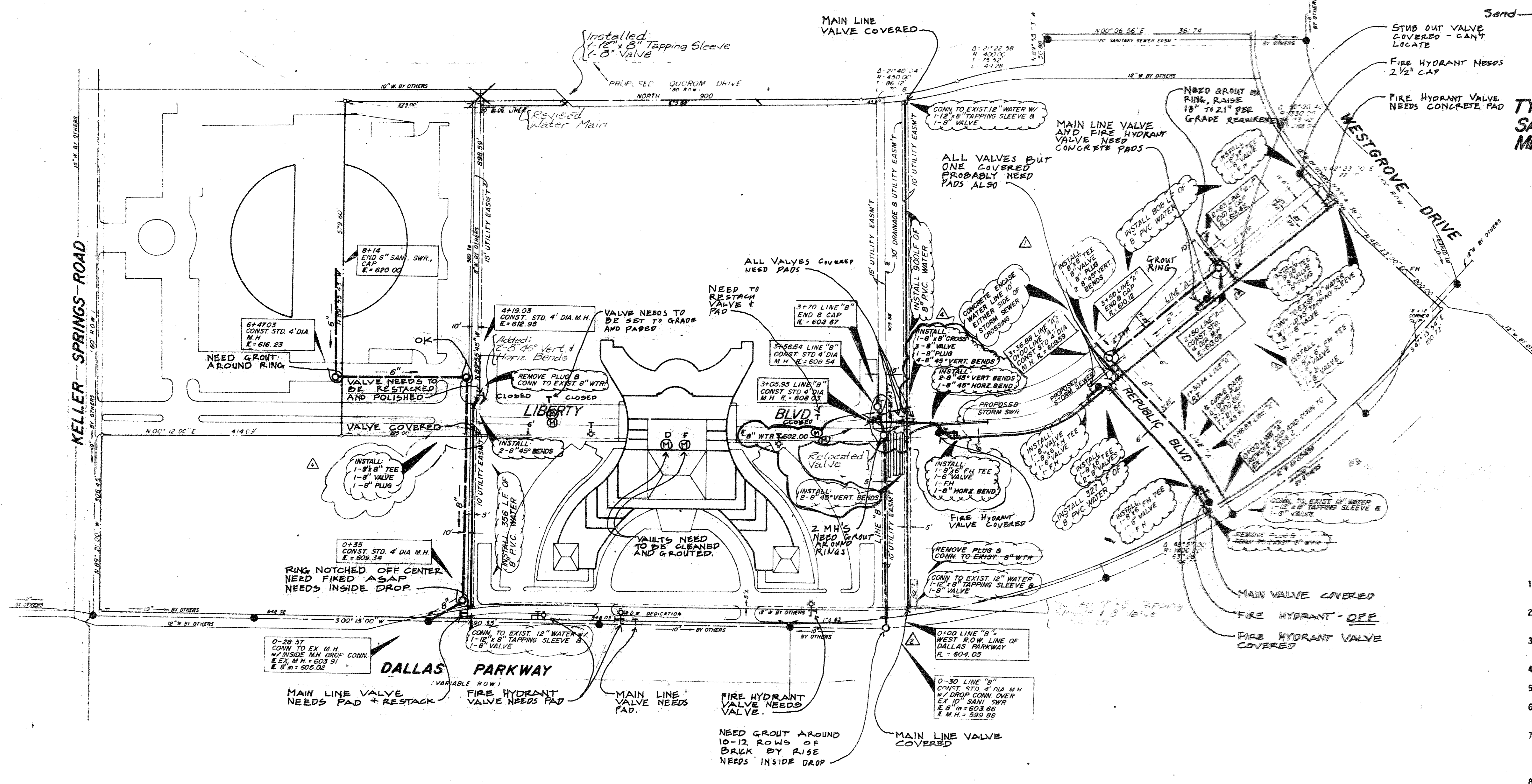
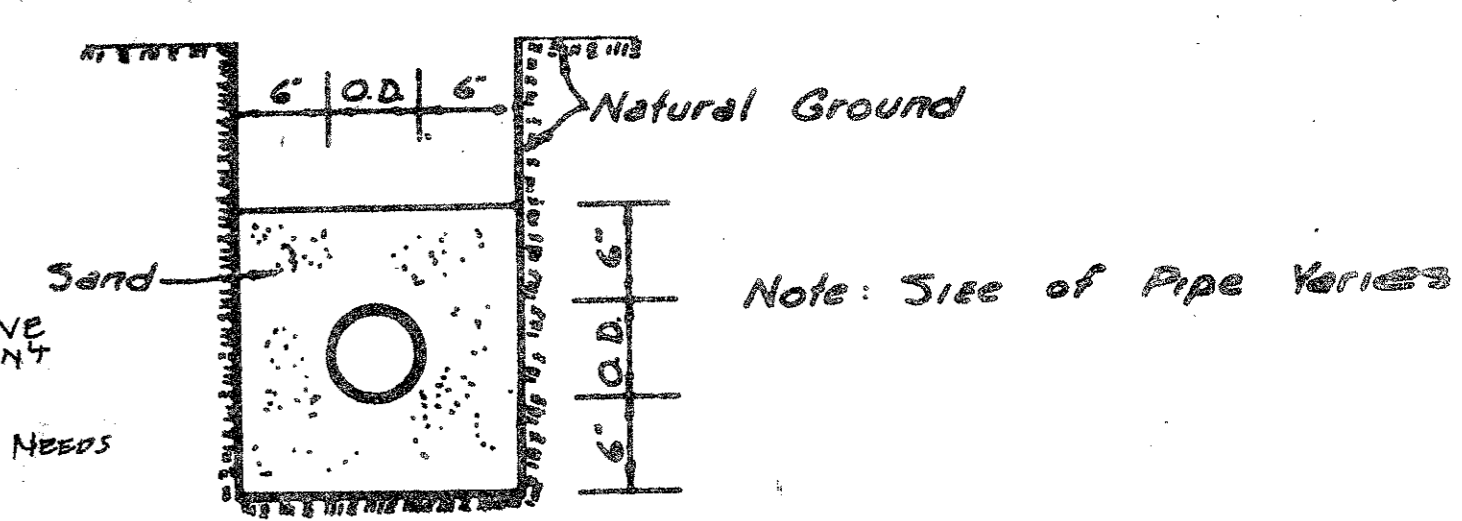
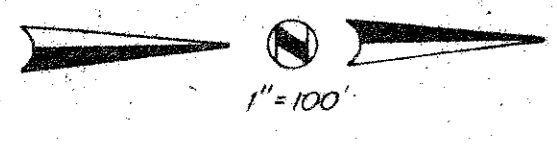
Civil & Structural Engineering • Surveying
3535 Travis, Suite 100 • Dallas, Texas 75204 • (214) 522-9540

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO
JRD	JRD	6/84	1"=100'	JRD	CB4146T	12 of 16

- ▲ REVISED WATER LINE 4-09-85
- ▲ ADD T.H. 3-13-85
- ▲ REVISED LINE "B" 3-11-85
- ▲ ROUTE WATERLINE UNDER STORM SEWER 1-30-85

BM No. 1
Square cut on top of curb at the radius return of an island located near the northeast corner of Liberty Plaza 1, approximately 639 feet north of the southeast property corner. Elevation 622.14

BM No. 2
Chisled square on the end of the curb radius located on the driveway on the north side of Keller Springs Road, approximately 500 feet west of Dallas Parkway. Elevation 626.24



TYPICAL WATER AND SANI. SEWER EMBEDMENT DETAIL
N.T.S.

WATER AND SANITARY SEWER GENERAL NOTES

1. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CITY OF ADDISON STANDARDS AND SPECIFICATIONS.
2. ALL WATER MAINS SHALL BE PVC SDR-18 WATER PIPE (BLUE BRUTE WITH WIRE TRACERS). TRACER TO BE #12 INSULATED COPPER.
3. ALL WATER MAINS SHALL HAVE MINIMUM COVER BELOW FINISHED GRADES AS FOLLOWS: 6" & 8" - 48" OR AS REQUIRED TO CLEAR OTHER UTILITIES.
4. ALL SEWER MAINS SHALL BE PVC SDR-35 SANITARY SEWER PIPE.
5. ALL PIPE EMBEDMENT SHALL BE AS DETAILED ON THIS SHEET.
6. ALL TEES, CONNECTIONS, BENDS, DEAD-ENDS, FIRE HYDRANTS, ETC., SHALL BE SECURELY BLOCKED AGAINST TRENCH WALLS USING 2000 PSI CONCRETE.
7. ALL TRENCH BACKFILL FOR THESE UTILITIES SHALL BE COMPACTED AS REQUIRED BY CITY, BUT IN NO CASE SHALL THE TOP 12" BE COMPACTED TO LESS THAN 90% SAND DENSITY WITH THE REMAINDER OF THE DITCH BEING COMPACTED TO THAT OF ADJOINING SOIL CONDITIONS.
8. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO BEGINNING WORK AND SHALL PROTECT EXISTING IMPROVEMENTS DURING CONSTRUCTION.
9. THE CONTRACTOR SHALL INCLUDE IN HIS BID PRICE ALL COSTS OF UTILITY CONNECTIONS, TAP FEES AND THE TESTING OF NEW MAINS REQUIRED BY THE CITY OF ADDISON TO COMPLETE THE WORK WHETHER THESE SERVICES ARE PERFORMED BY THE CONTRACTOR OR BY OTHERS.

NOTE: BOUNDARY INFORMATION IS FROM A BOUNDARY SURVEY BY GEORIAN CORP. DATED FEBRUARY, 1984.

Richard C. ...
3/12/85

AS-BUILT DATE: 12-15-86

WATER & SANI. SWR. PLAN

LIBERTY PL 17A

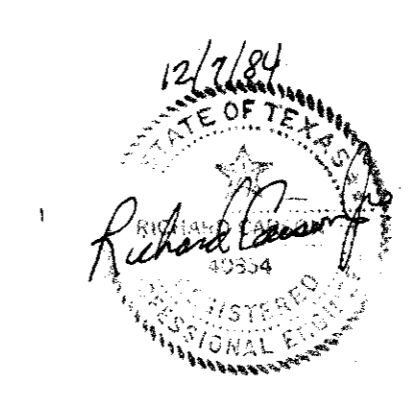
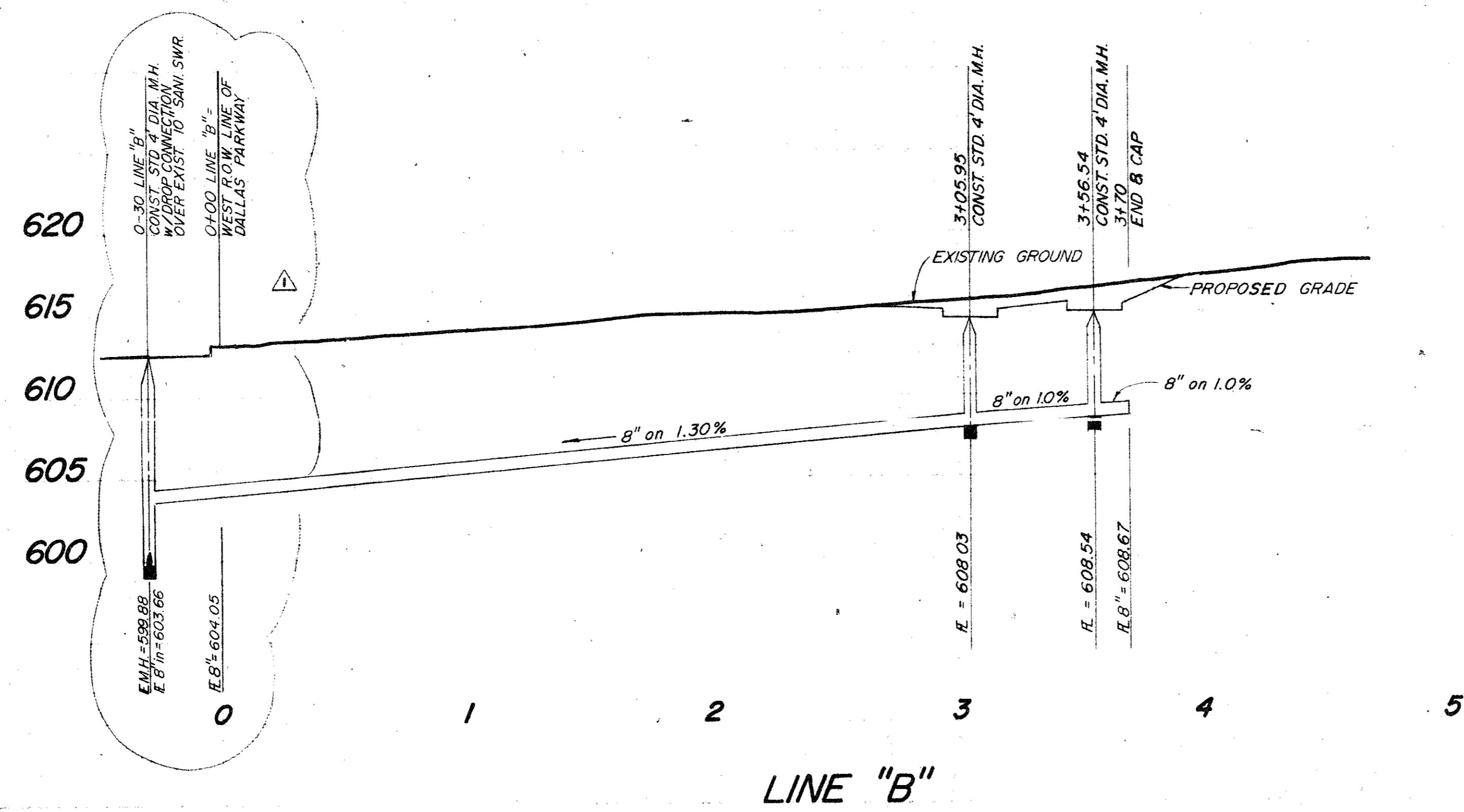
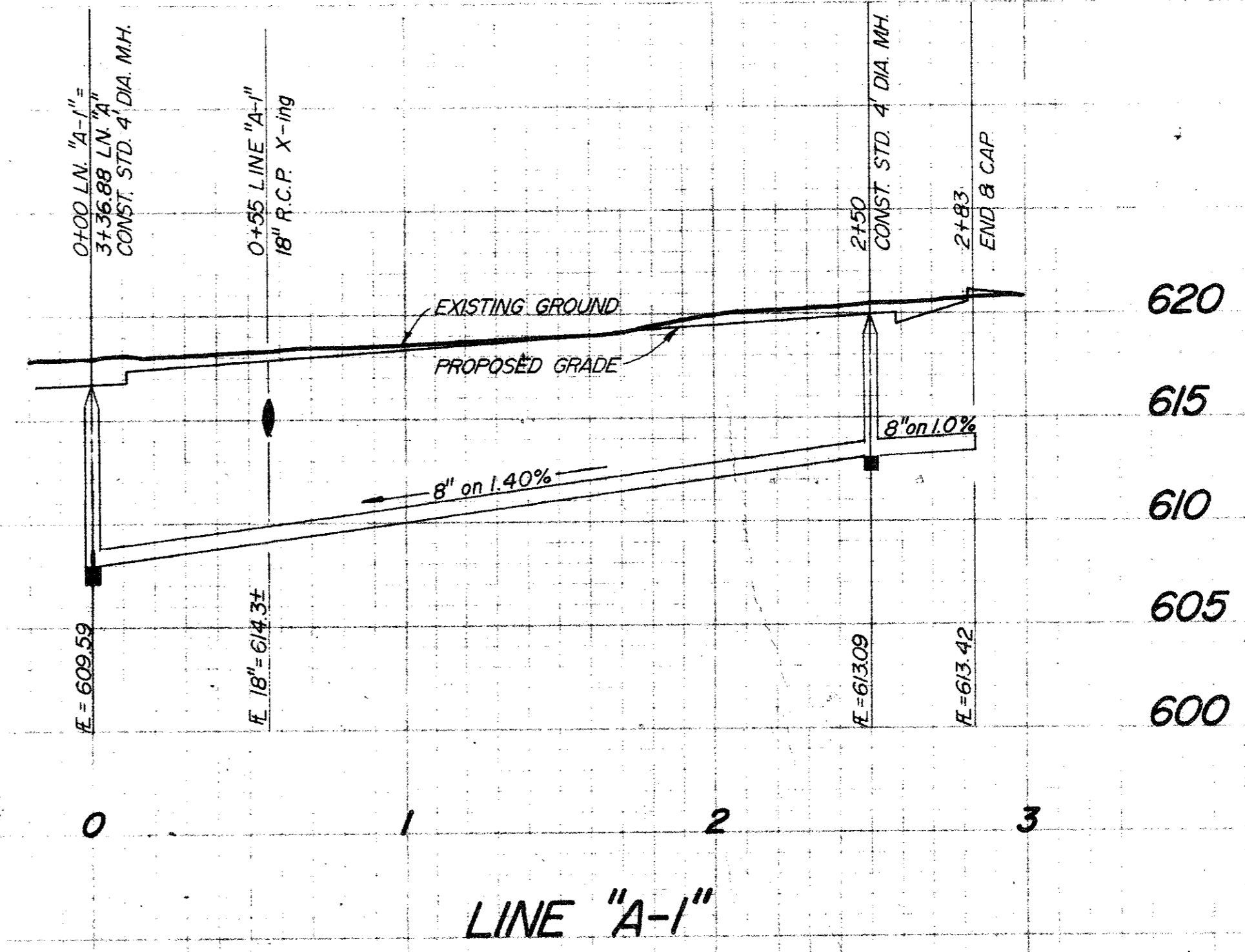
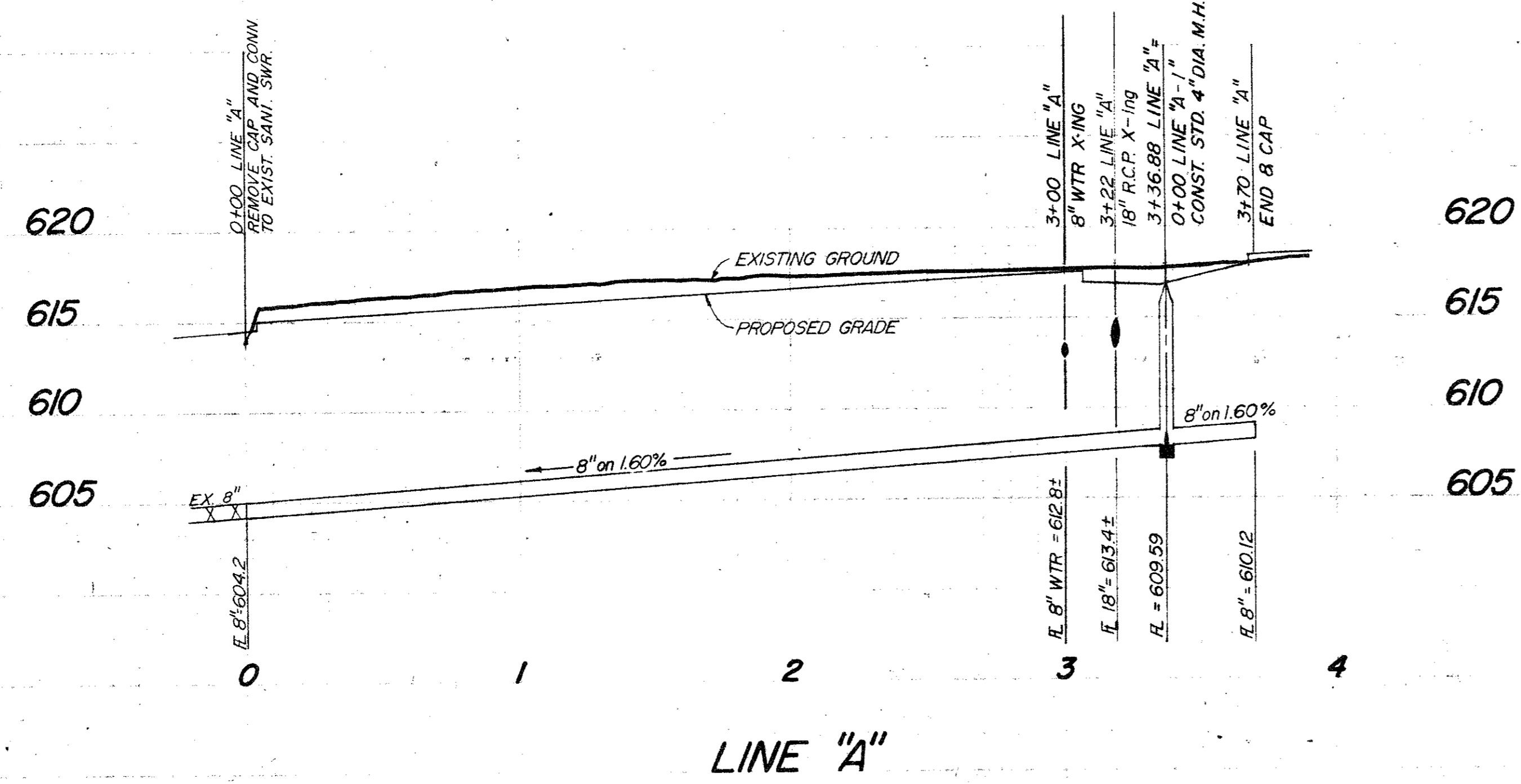
BROCKETTE DAVIS DRAKE, inc.
consulting engineers
Civil & Structural Engineering • Surveying
3535 Travis, Suite 100 • Dallas, Texas 75204 • (214) 522-9540

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO
JRD	JRD	6/84	1"=100'	JRD	C841467	12 of 16

- ▲ REVISED WATER LINE
4-09-85
- ▲ ADD FH
3-13-85
- ▲ REVISED LINE "B"
3-11-85
- ▲ ROUTE WATERLINE UNDER STORM SEWER 1-30-85

SM No. 1
Square cut on top of curb at the radius return of an island located near the northeast corner of Liberty Plaza I, approximately 639 feet north of the southeast property corner. Elevation 622.14

SM No. 2
Circled square on the end of the curb radius located on the driveway on the north side of Keller Springs Road, approximately 500 feet west of Dallas Parkway. Elevation 626.24

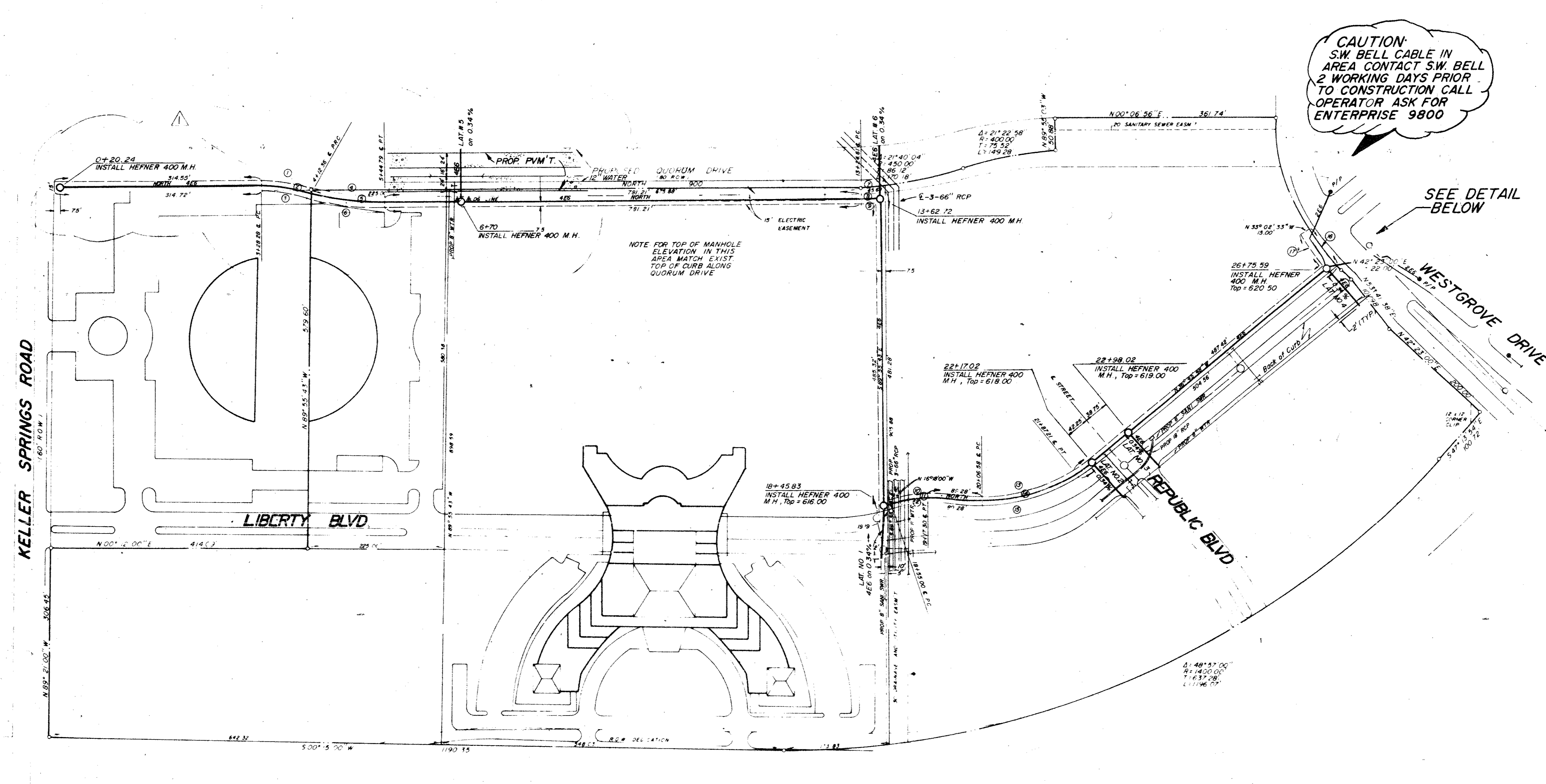
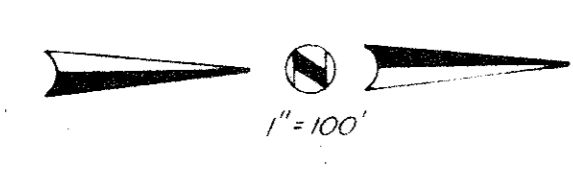


BM No. 1
 Square cut on top of curb at the radius return
 of an island located near the northeast corner of
 Liberty Plaza 1, approximately 639 feet north of
 the southeast property corner.
 Elevation 622.14

BM No. 2
 Chisled square on the end of the curb radius
 located on the driveway on the north side of
 Keller Springs Road, approximately 500 feet west
 of Dallas Parkway.
 Elevation 626.24

SANITARY SEWER PROFILES
LIBERTY PLAZA
 JACK R. DAVIS & ASSOCIATES - ENGINEERS
 3535 TRAVIS SUITE 100, DALLAS, TEXAS

REVISION LINE "B"
 3-11-86



CURVE DATA

Curve No.	R	T	L	
1	16°01'16"	307.50'	43.27'	85.98'
2	16°03'31"	300.00'	42.32'	84.08'
3	16°01'16"	292.50'	41.16'	81.79'
4	16°01'16"	465.00'	65.44'	130.02'
5	16°03'31"	472.50'	66.65'	132.43'
6	16°01'16"	480.00'	67.55'	134.22'
7	04°23'54"	594.46'	22.83'	45.64'
8	03°37'37"	601.96'	19.06'	38.11'
9	02°52'31"	609.46'	15.30'	30.58'
10	16°05'08"	226.50'	32.01'	63.59'
11	16°18'00"	219.00'	31.26'	62.30'
12	16°18'00"	211.50'	30.29'	60.17'
13	36°49'48"	273.50'	91.06'	175.91'
14	36°49'48"	281.00'	93.56'	180.63'
15	36°49'48"	288.50'	96.06'	185.45'
16	12°52'30"	330.00'	37.23'	74.16'
17	09°57'52"	345.00'	30.08'	60.00'

CAUTION: S.W. BELL CABLE IN AREA CONTACT S.W. BELL 2 WORKING DAYS PRIOR TO CONSTRUCTION CALL OPERATOR ASK FOR ENTERPRISE 9800

SEE DETAIL BELOW

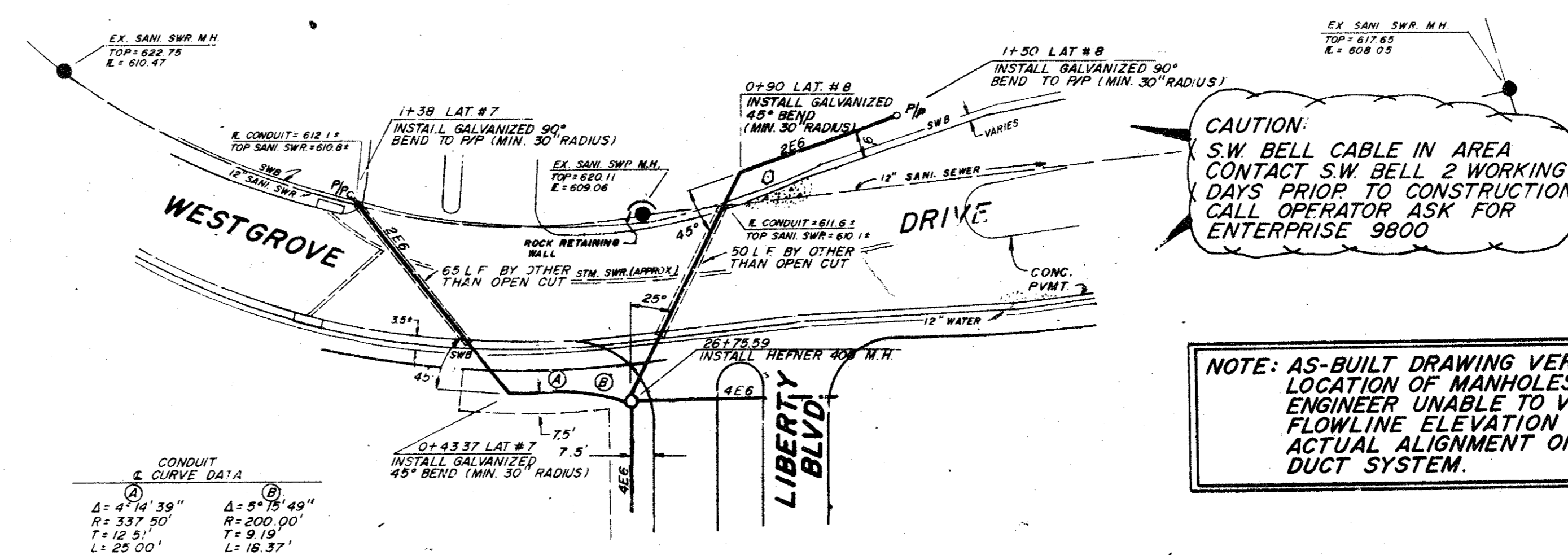
DALLAS PARKWAY
VARIABLE R.O.W.

- GENERAL NOTES
- All manholes shall be Hefner 400 with 666 terminators all four ways unless noted otherwise.
 - The minimum amount of cover between finished grade and the top of the manhole roof is 2.5 feet.
 - The entrance into each manhole will require a ladder to be installed.
 - All construction shall meet Texas Power & Light Company Standard Specifications for Duct System Installation.
 - Any duct system which end shall be stair-stepped when no manhole is installed.
 - Contractor shall field verify location of all existing utilities and location of power pole where conduit ends.

BM NO. 1
SQUARE CUT ON TOP OF CURB AT THE POINT OF RETURN OF AN ISLAND LOCATED NEAR THE NORTHEAST CORNER OF LIBERTY PLAZA, APPROXIMATELY 639 FEET NORTH OF THE SOUTHEAST PROPERTY CORNER.
ELEV. 622.14

BM NO. 2
SQUARE CUT ON THE END OF THE CURB RADIUS LOCATED ON THE DRIVEWAY ON THE NORTH SIDE OF KELLER SPRINGS ROAD, APPROXIMATELY 900 FEET WEST OF DALLAS PARKWAY.
ELEV. 626.24

NOTE: BOUNDARY INFORMATION IS FROM A BOUNDARY SURVEY BY GEORAM CORP DATED FEBRUARY, 1984



CAUTION: S.W. BELL CABLE IN AREA CONTACT S.W. BELL 2 WORKING DAYS PRIOR TO CONSTRUCTION CALL OPERATOR ASK FOR ENTERPRISE 9800

NOTE: AS-BUILT DRAWING VERIFIES LOCATION OF MANHOLES ONLY. ENGINEER UNABLE TO VERIFY FLOWLINE ELEVATION OR ACTUAL ALIGNMENT OF DUCT SYSTEM.

WESTGROVE DRIVE CROSSING DETAIL
SCALE - 1" = 40'

AS-BUILT DATE: 8-15-86

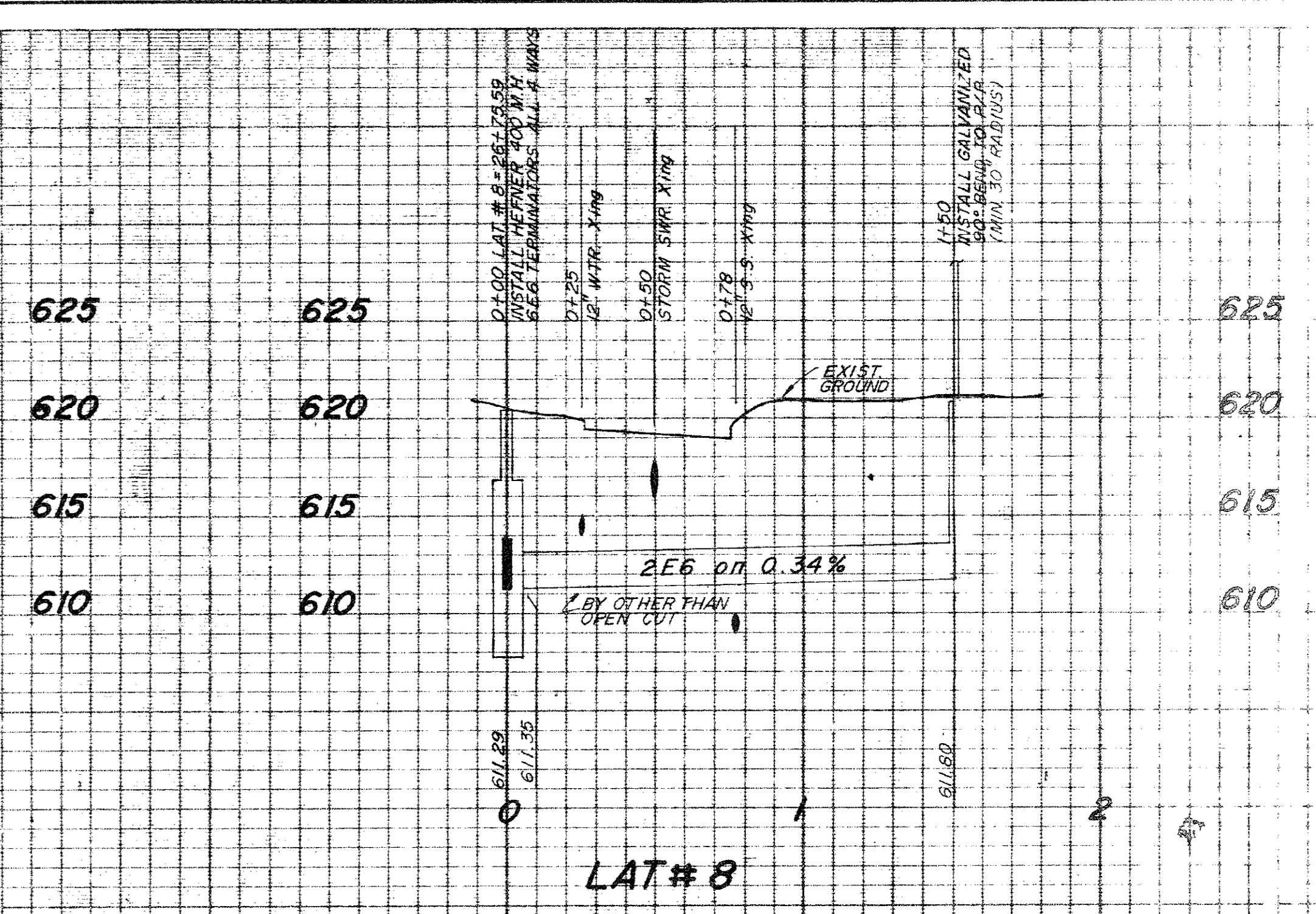
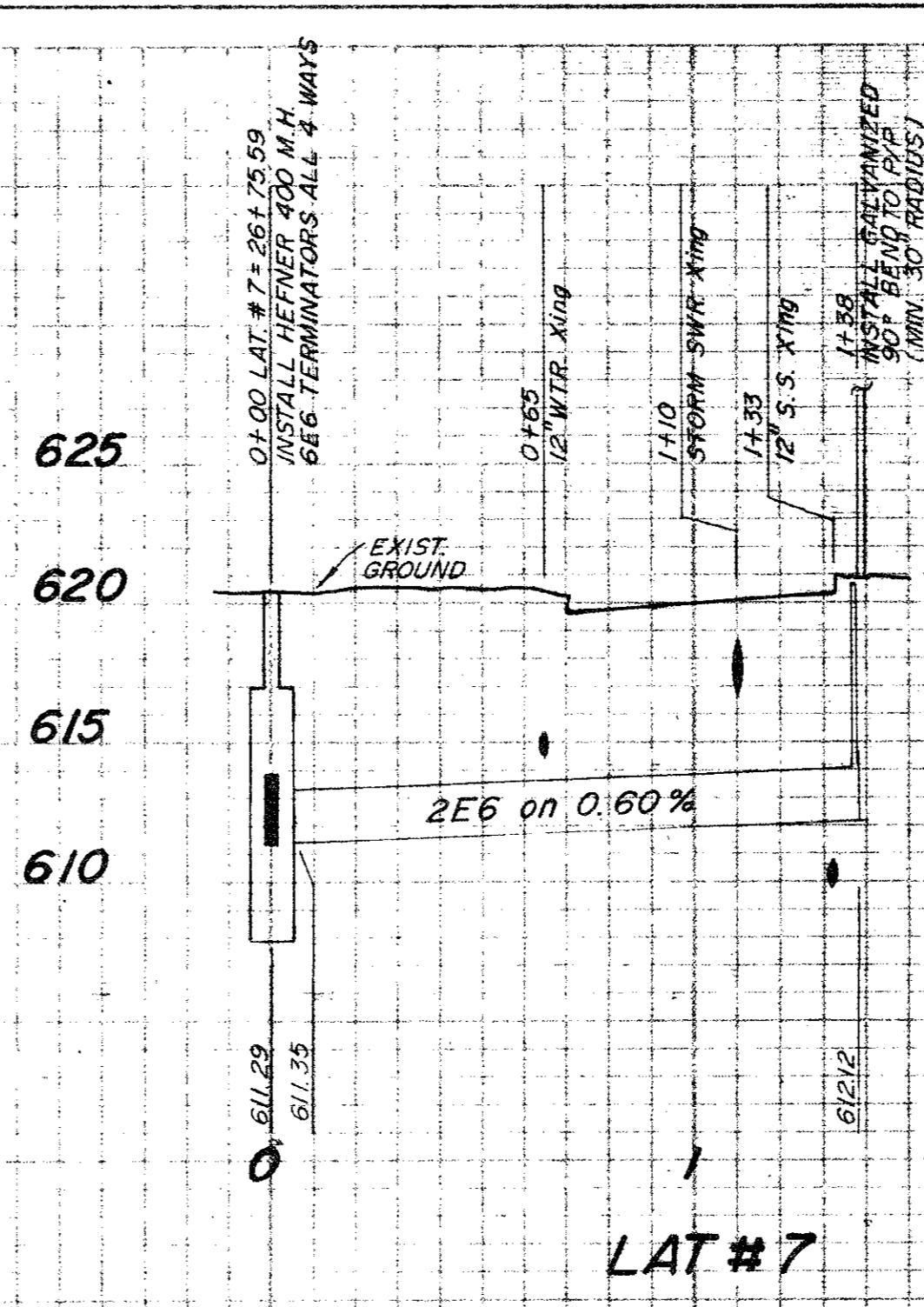
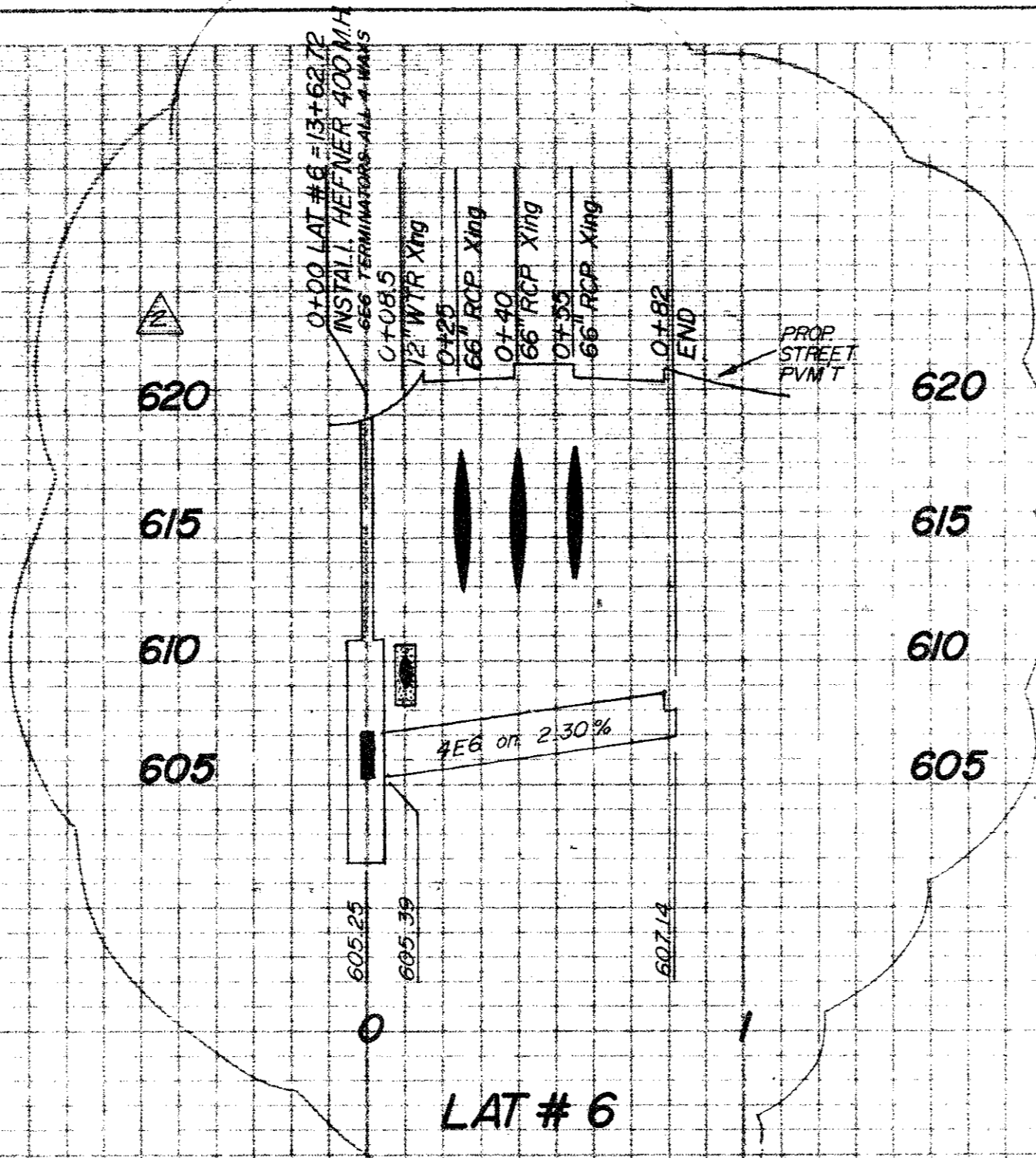
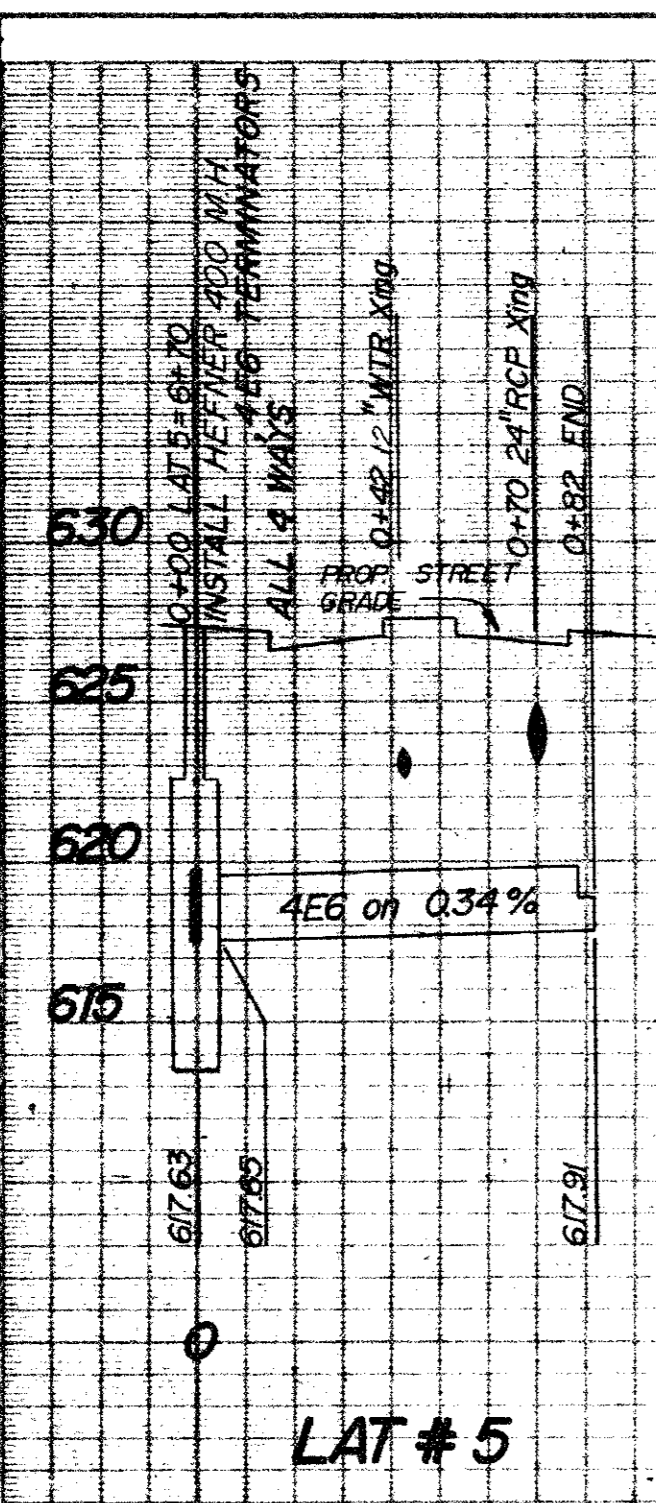
ELECTRIC CONDUIT

LIBERTY PLAZA

JACK R. DAVIS & associates, inc.
consulting civil engineers & surveyors
2902 Carlisle Street Dallas, Texas 75204

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
JRD	JRD	6/84	1"=100'	JRD	CB4146T	14-110

8-22-85 REVISE CONDUIT
REVISED 8-3-85



NOTE: AS-BUILT DRAWING VERIFIES LOCATION OF MANHOLES ONLY. ENGINEER UNABLE TO VERIFY FLOWLINE ELEVATION OR ACTUAL ALIGNMENT OF DUCT SYSTEM.

11-13-85 REVISE LAT #6
 8-22-85 REVISE CONDUIT
 REVISED 8-3-85

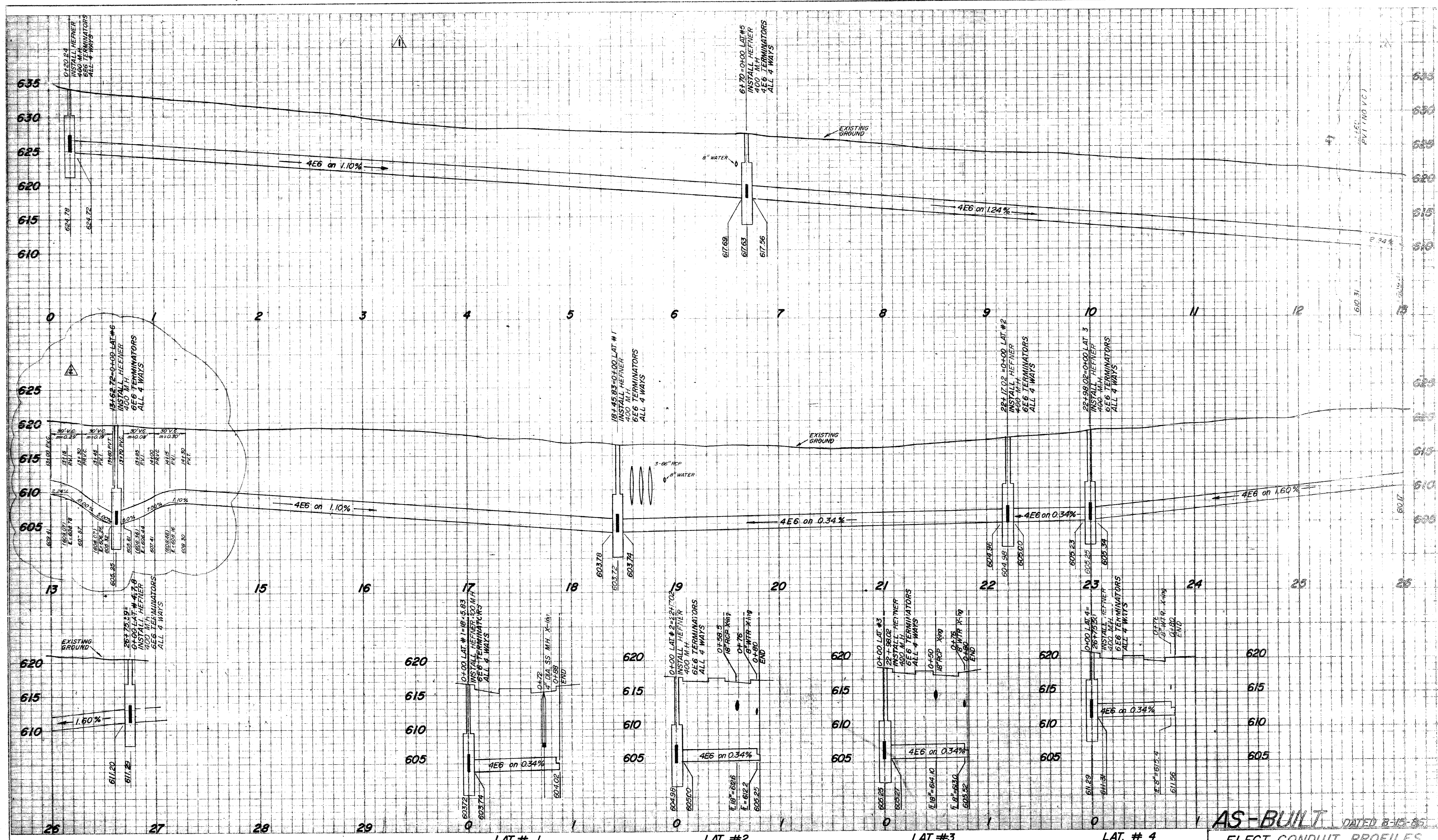
BM NO. 1
 SQUARE CUT ON TOP OF CURB AT THE RADIUS RETURN OF AN ISLAND SQUARE LOCATED NEAR THE NORTHEAST CORNER OF LIBERTY PLAZA APPROXIMATELY 639 FEET NORTH OF THE SOUTHWEST PROPERTY CORNER. ELEV. 622.14

BM NO. 2
 CHSLED SQUARE ON THE END OF THE CURB RADIUS LOCATED ON THE DRIVEWAY ON THE NORTH SIDE OF KELLER SPRINGS ROAD, APPROXIMATELY 300 FEET WEST OF DALLAS PARKWAY. ELEV. 626.24

AS-BUILT DATED 8-13-85

ELECT. CONDUIT PROFILES
LIBERTY PLAZA
ADDISON, TEXAS
JACK R. DAVIS & ASSOC.
3535 TRAVIS, SUITE 100, DALLAS, TEXAS

DESIGN	DRAWN	DATE	SHEET
JR	JSS	3/85	1



NOTE: AS-BUILT DRAWING VERIFIES LOCATION OF MANHOLES ONLY. ENGINEER UNABLE TO VERIFY FLOWLINE ELEVATION OR ACTUAL ALIGNMENT OF DUCT SYSTEM.

11-13-85 REVISE CONDUIT
8-22-85 REVISE CONDUIT

REVISED 8-3-85

BM NO. 1
SQUARE CUT ON TOP OF CURB AT THE RADIUS RETURN OF AN ISLAND LOCATED NEAR THE NORTHEAST CORNER OF LIBERTY PLAZA I, APPROXIMATELY 639 FEET NORTH OF THE SOUTHEAST PROPERTY CORNER.
ELEV. 622.14

BM NO. 2
CHISELED SQUARE ON THE END OF THE CURB RADIUS LOCATED ON THE DRIVEWAY ON THE NORTH SIDE OF KELLER SPRINGS ROAD, APPROXIMATELY 300 FEET WEST OF DALLAS PARKWAY.
ELEV. 626.24

AS-BUILT DATED 8-15-85

ELECT. CONDUIT PROFILES

LIBERTY PLAZA
ADDISON, TEXAS
JACK R. DAVIS & ASSOC
3535 TRAVIS, SUITE 100, DALLAS, TX

DESIGN	DRAWN	DATE	BY
JR	JR		

