

- WATER METER FOR LANDSCAPING IRRIGATION SYSTEM
- SCREENED UTILITY YARD, REF. SHT. 3.5
- PORTLAND CEMENT CONCRETE PAVING TYP., REF. CIVIL
- 84'-0" WIDE OFFICE BUILDING SETBACK
- RETAINING WALL
- VAN ACCESSIBLE PARKING SPACE, REF. SHT. 1.1
- WATER METERS FOR DOMESTIC WATER, COOLING TOWER MAKEUP, & FIRE PROTECTION
- POLISHED CHROME FIRE DEPT. CONNECTION FOR OFFICE BUILDING
- BROKEN LINE INDICATES MIN. 24'-0" WIDE DESIGNATED FIRE LANE MARKINGS, REF. SHT. 1.1
- DISCONTINUE FIRE LANE STRIPING ON SPECIAL PAVING
- SPECIAL PAVING, REF. LANDSCAPING
- POLISHED CHROME FIRE DEPT. CONNECTIONS FOR PARKING GARAGE
- 4" WIDE TRAFFIC WHITE PAINTED STRIPE, TYP. REF. SHT. 1.1
- WATER METER FOR FIRE PROTECTION
- REF. SHT. 1.1 FOR PAINTED GRAPHICS ON PAVEMENT

**PHASE 1**  
 APPROX. 5.50 ACRES  
 8 STORY OFFICE BUILDING  
 3 LEVEL OPEN PARKING GARAGE

**01 SITE PLAN**  
 SCALE: 1" = 50'-0"

- GENERAL NOTES:
1. LINE SEPARATING IMMEDIATE PROJECT SITE FROM THE FUTURE SITE DEVELOPMENT AREAS SHOULD NOT BE CONSIDERED TO BE ANY KIND OF LEGAL PROPERTY LINE DESCRIPTION, BUT ONLY SERVES TO DISTINGUISH THE AREA OF WORK OF THIS CONTRACT FROM FUTURE DEVELOPMENT AREAS.
  2. ♦ FH = FIRE HYDRANT
  3. ARCHITECTURAL SITE PLAN IS ILLUSTRATIVE IN NATURE. REF. CIVIL DRAWINGS FOR DIMENSIONAL CONTROL INFORMATION.

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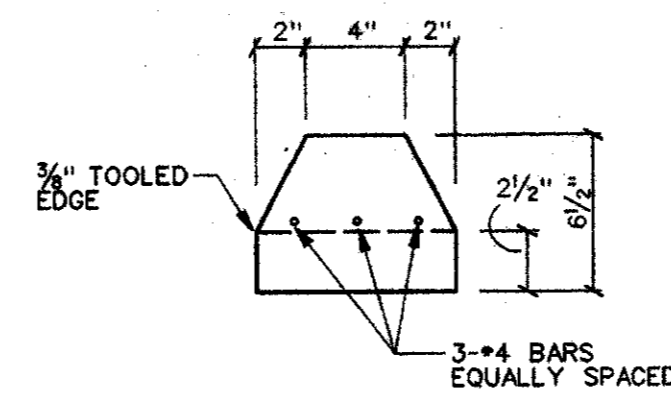


*Paul H. Wilcox*  
 ONE HANOVER PARK  
 OFFICE BUILDING  
 ADDISON, TEXAS  
 INTERVEST COMPANIES  
 DEVELOPER  
 WILCOX DEVELOPMENT  
 SERVICES, INC.  
 PROJECT MANAGER

SITE PLAN  
 9716.00

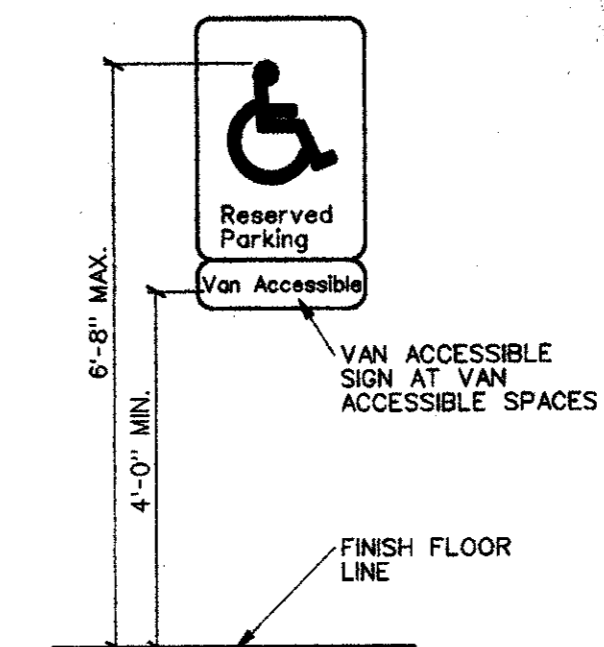
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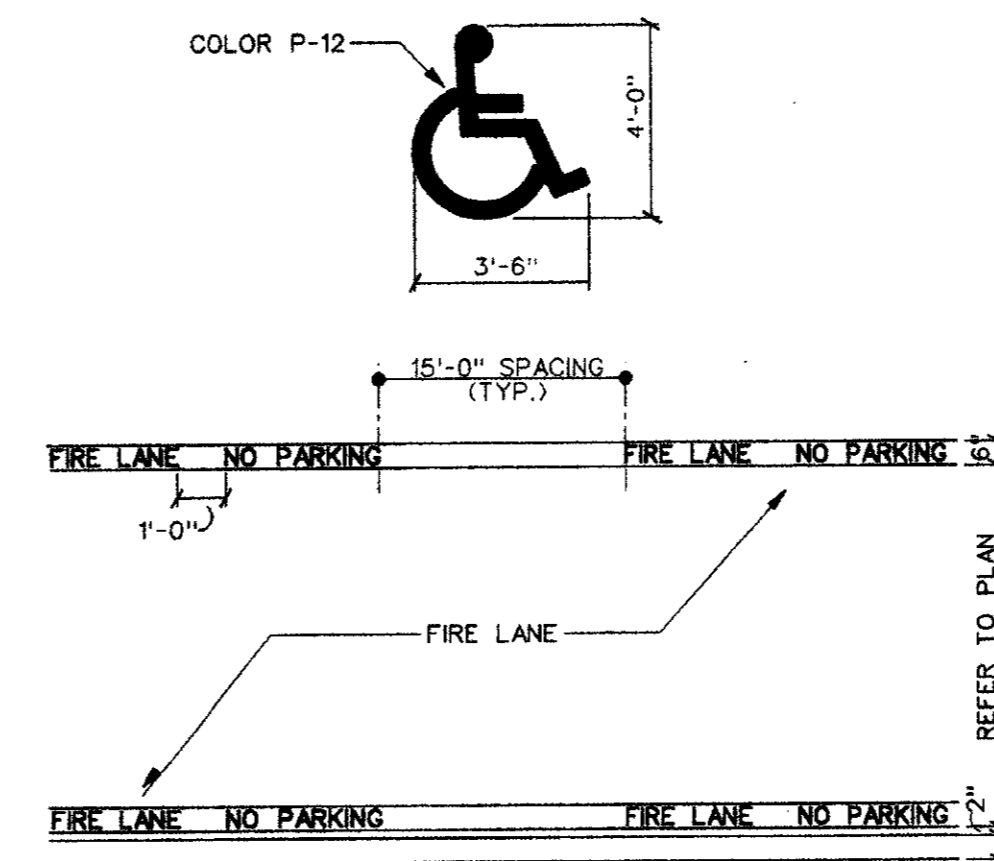


NOTES: 1. PRECAST CONCRETE SHALL BE NORMAL WEIGHT WITH MIN. 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI  
2. APPROVED STANDARD MANUFACTURED WHEEL STOP MAY BE USED

08 PRECAST CONCRETE WHEELSTOP SECTION  
SCALE: 1/2" = 1'-0"



05 HANDICAP SIGNAGE  
NO SCALE



GENERAL NOTE:  
A. STRIPING TO BE DONE IN ACCORDANCE WITH TOWN STANDARDS

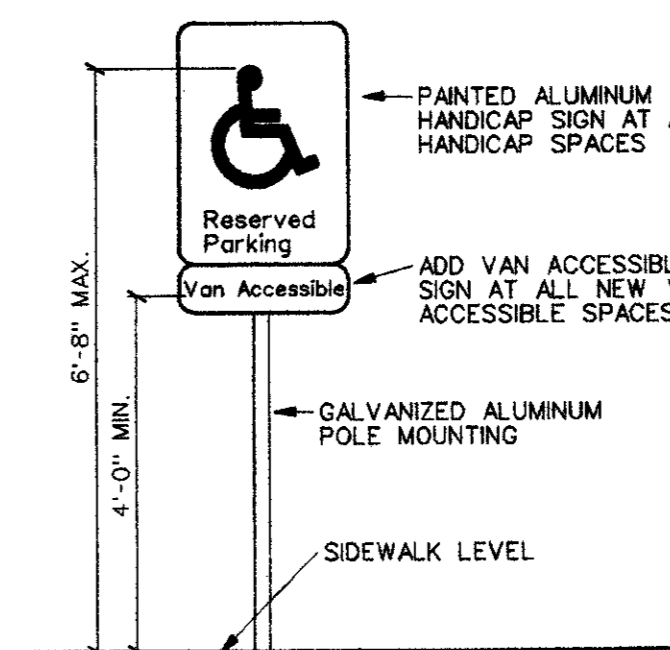
STRIPING DETAIL:  
A. PAINT

1. STRIPE SHALL BE SIX (6) INCHES WIDE PAINTED WITH AN EXTERIOR ACRYLIC LATEX PAINT
2. LETTERS SHALL BE FOUR (4) INCHES HIGH PAINTED WITH AN EXTERIOR LATEX PAINT

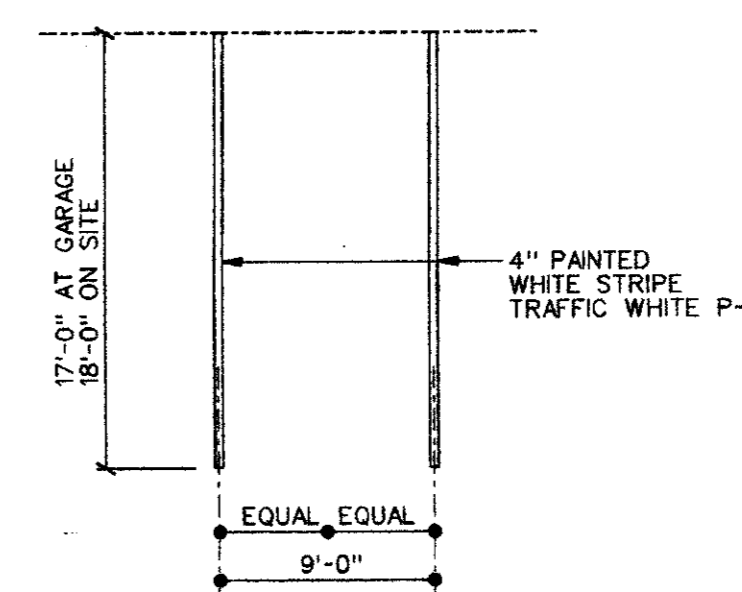
- A. COLOR SHALL BE TRAFFIC RED P-2
- B. COLOR SHALL BE TRAFFIC WHITE P-1

APPLICATION:  
1. STRIPE MAY BRUSHED OR SPRAYED, ONE COAT TO FINISH.  
2. LETTERS SHALL BE STENCIL FORMED, BRUSH APPLIED AND SPACED AS DETAILED ON THIS SHEET.

07 FIRE LANE PAVEMENT MARKINGS  
SCALE: NOT TO SCALE

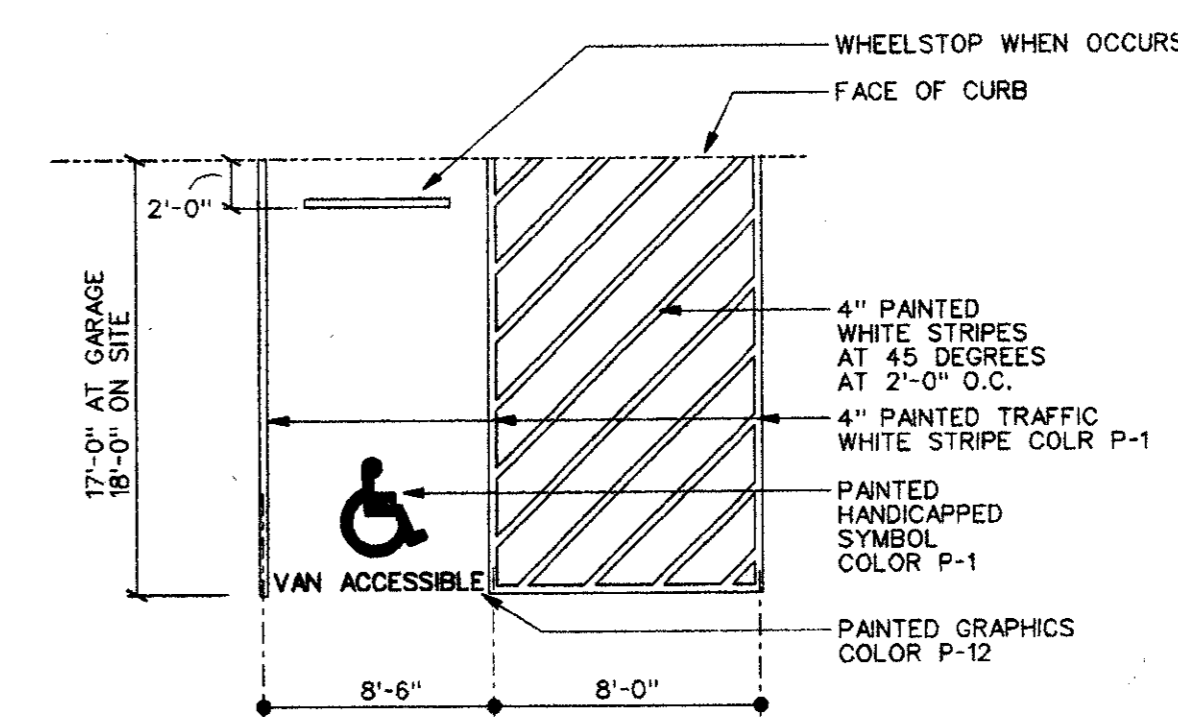


04 HANDICAP SIGNAGE  
NO SCALE



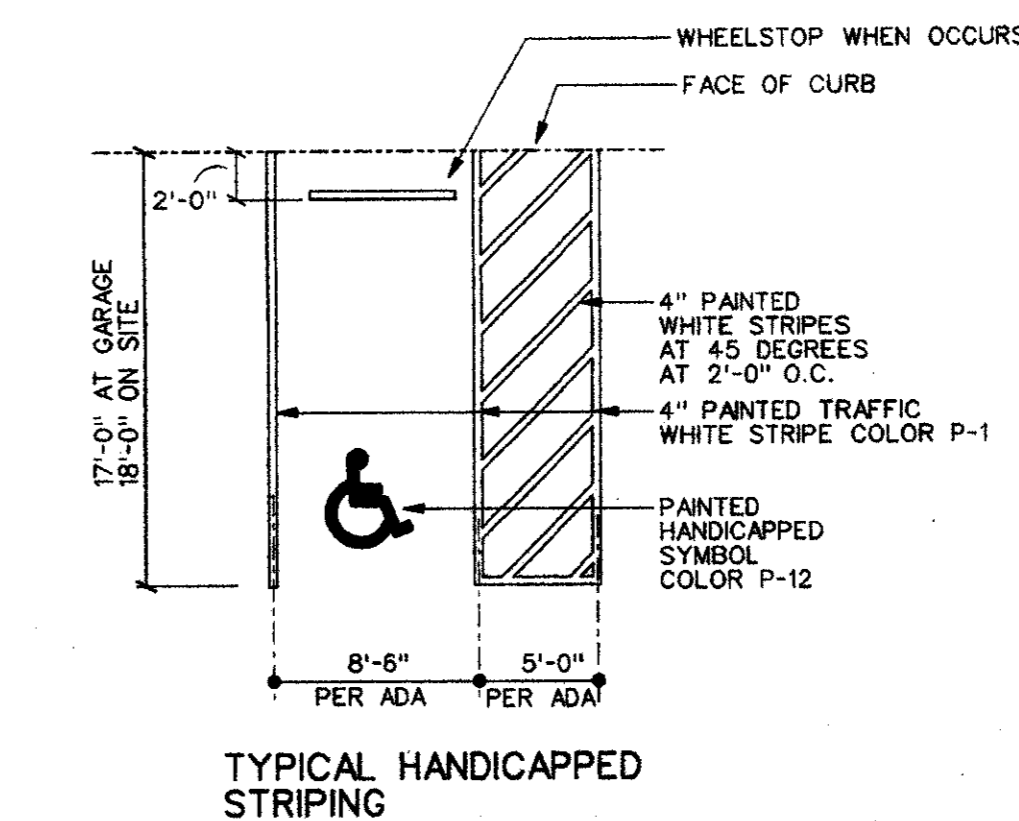
TYPICAL STRIPING

03 PARKING STRIPING  
SCALE: NOT TO SCALE



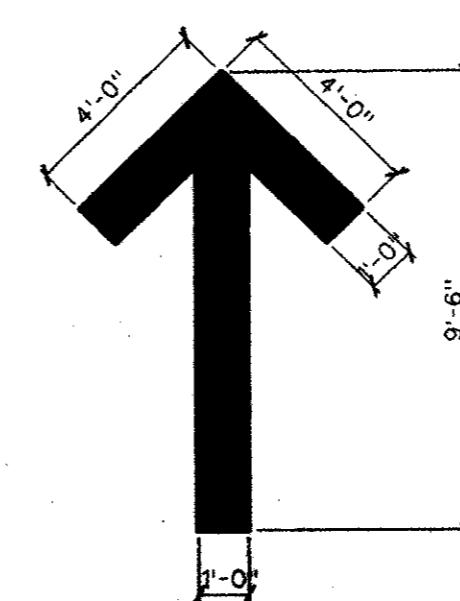
TYPICAL HANDICAPPED VAN STRIPING

02 PARKING LOT STRIPING  
SCALE: NOT TO SCALE



TYPICAL HANDICAPPED STRIPING

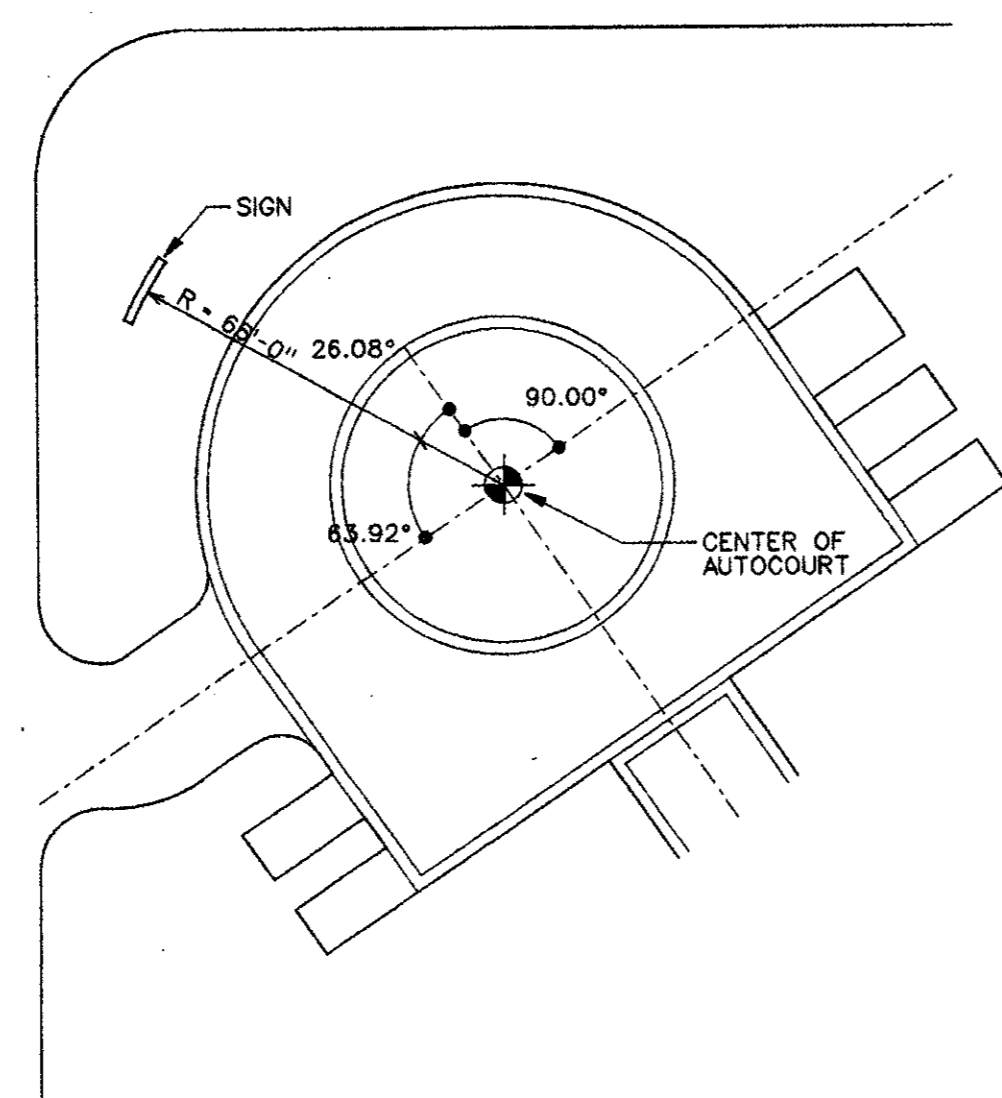
01 PARKING LOT STRIPING  
SCALE: NOT TO SCALE



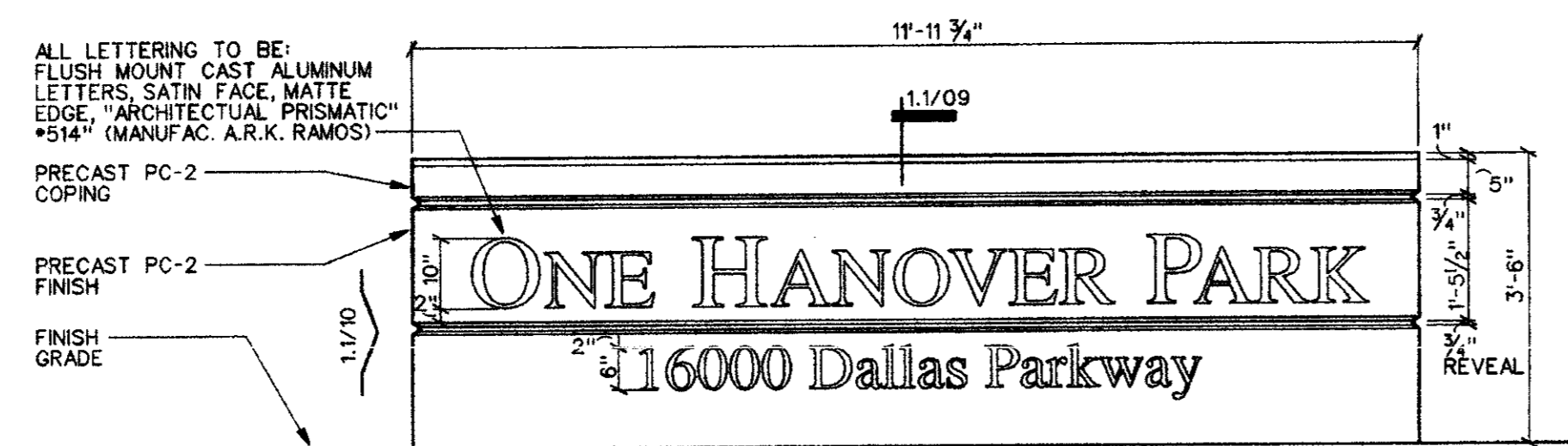
06 PAVEMENT MARKINGS  
SCALE: NOT TO SCALE

NOTE: PAVEMENT MARKINGS SHALL BE TRAFFIC WHITE PAINT COLOR P-1

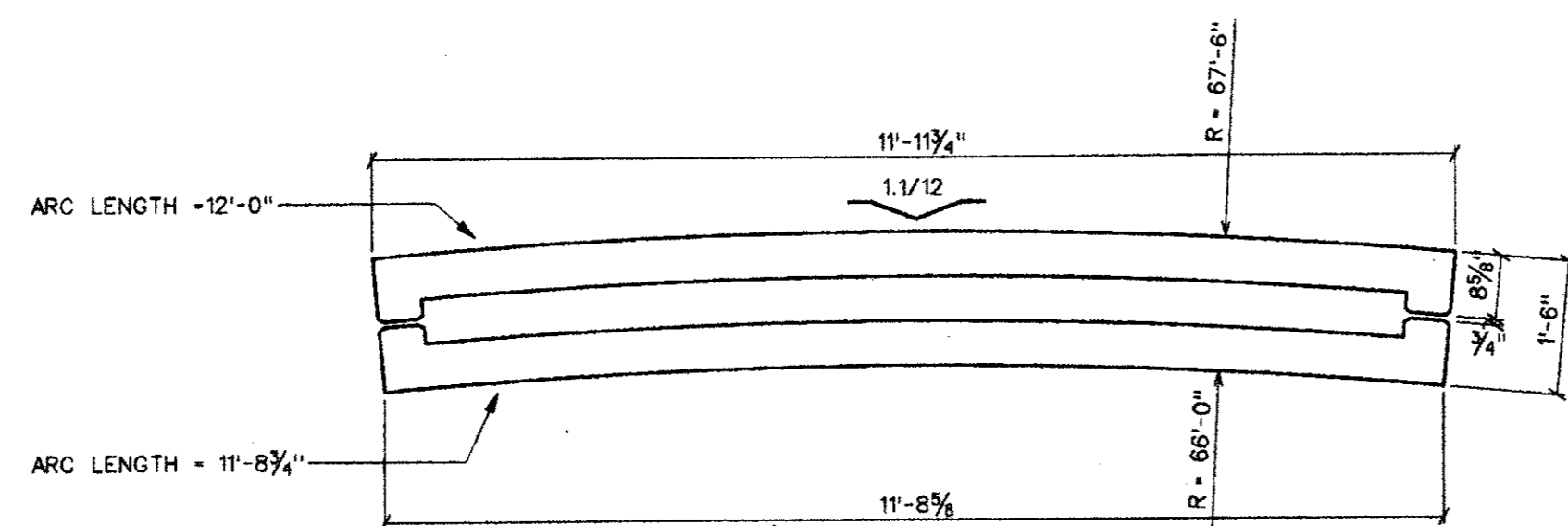
NOTE: REFER TO SPEC SECTION 0900 FOR ALL TRAFFIC AND PARKING COLORS



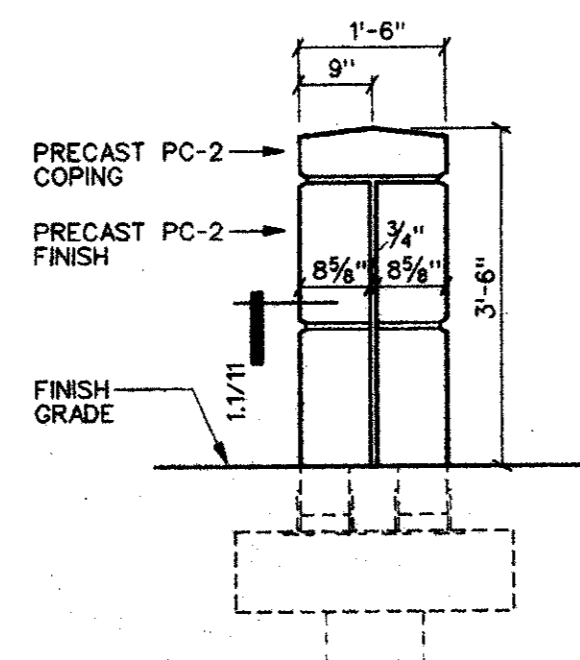
13 SIGN LOCATION  
SCALE: NO SCALE



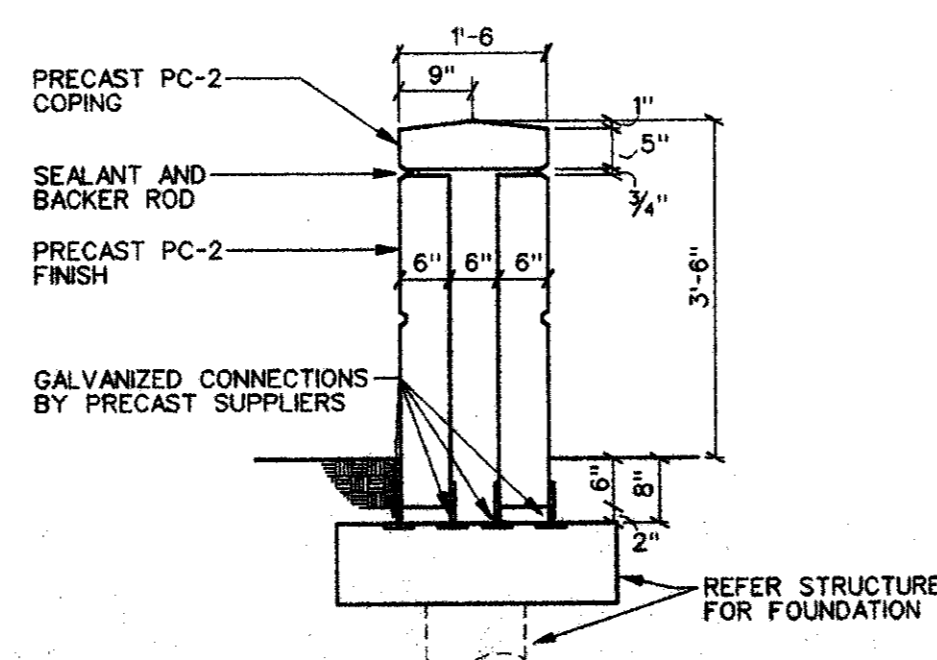
12 SIGN FRONT ELEVATION  
SCALE: 1/2" = 1'-0"



11 SIGN PLAN  
SCALE: 1/2" = 1'-0"



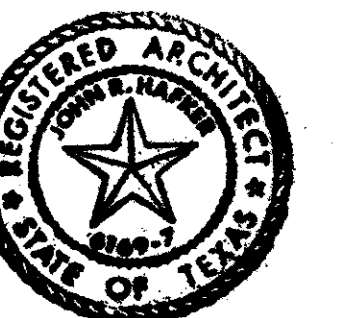
10 SIGN END ELEVATION  
SCALE: 1/2" = 1'-0"



09 SIGN SECTION  
SCALE: 1/2" = 1'-0"

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ONE HANOVER PARK  
OFFICE BUILDING  
ADDISON, TEXAS

INTERVEST COMPANIES  
DEVELOPER  
WILCOX DEVELOPMENT  
SERVICES, INC.  
PROJECT MANAGER

PARKING AND  
SITE DETAILS  
9716.00

10/14/97

**GENERAL NOTES**

A. Prior to final acceptance by the Town of Addison.

1. A Texas Registered Professional Engineer shall certify that the project was constructed in accordance with the plans and specifications approved by the Town of Addison.
2. The owner shall provide 1 reproducible set of as-built (sewed and certified by a Texas Registered Engineer) and 2 blue line sets.
3. A five foot sidewalk shall be installed along the public street. See attached detail.
4. A one year 10R maintenance bond is required for the public infrastructure.
5. Contractor shall demonstrate that the water and sanitary sewer systems meet the property pressure, bacteria, and manure tests. In addition, the owner shall provide a VHS format video tape of the sanitary sewer.

B. Prior to starting construction, the contractor shall contact the utility companies to locate existing facilities. These include but may not be limited to the following:

1. Town of Addison
1. Lone Star Gas
3. Southwestern Bell Telephone
4. Storer Cable
5. Planned Cable Systems
6. T.U. Electric

C. Prior to beginning construction, the owner or his authorized representative shall convene a preconstruction conference among the Town of Addison, Consulting Engineers, Contractor(s), Utility companies and any other affected parties. Notify Bruce Ellis at 450-2847 at least 48 hours prior to beginning construction.

D. Any existing pavement, curbs, and/or sidewalks damaged or removed will be repaired by the contract of their expense.

E. Lot pins shall be installed after construction and prior to final acceptance. Concrete monuments shall be placed as shown on the final plot and iron pins shall be placed at block corners, curve points and angle points in public right-of-way. Concrete monuments shall be six (6) inches in diameter and twenty-four (24) inches long. An iron rod one-half inch in diameter embedded at least three (3) inches in the monument at the exact intersection point of the monument. The monument shall be set at such an elevation that after construction, the top of the monument will be not less than twelve (12) inches below the ground surface.

F. The contractor shall stamp a 2-inch "S" and a 2-inch "W" in the curb at the location of the sewer service and water service lines respectively.

G. At intersections that have valley drainage, the crown of the intersecting streets will culminate in a distance of 40 feet from the intersection curve line unless otherwise noted.

H. Temporary or permanent street barricades shall remain at all points of ingress and egress to prevent public use until such street received final acceptance.

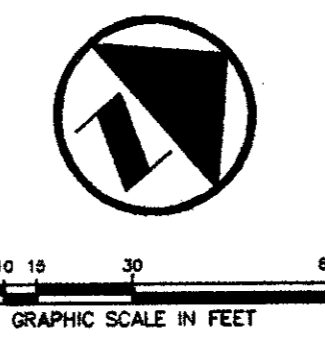
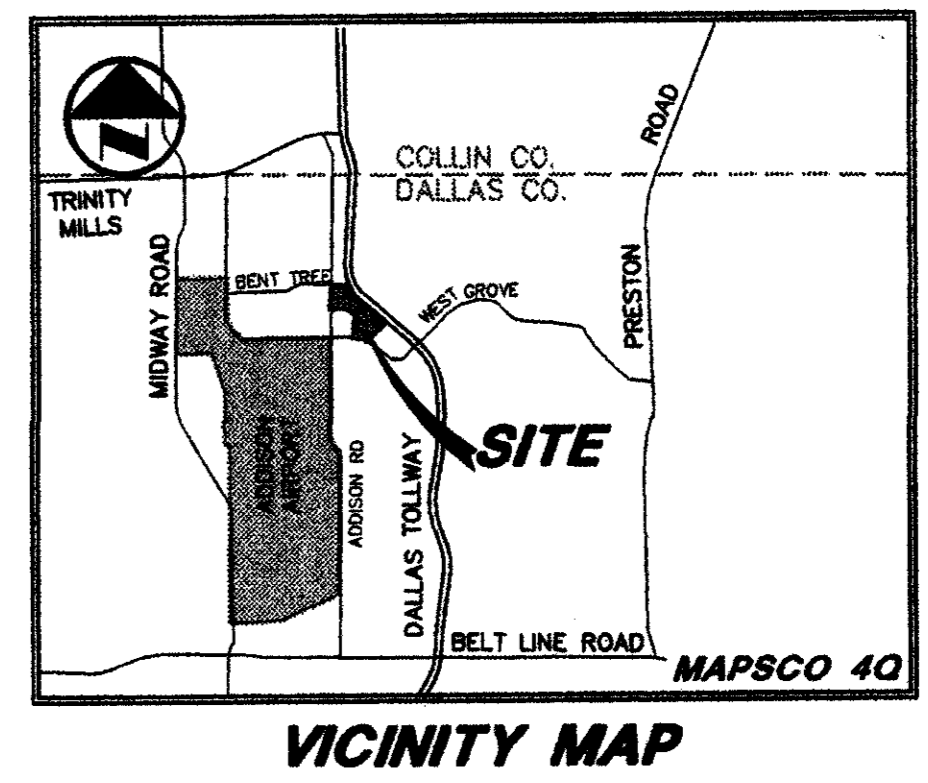
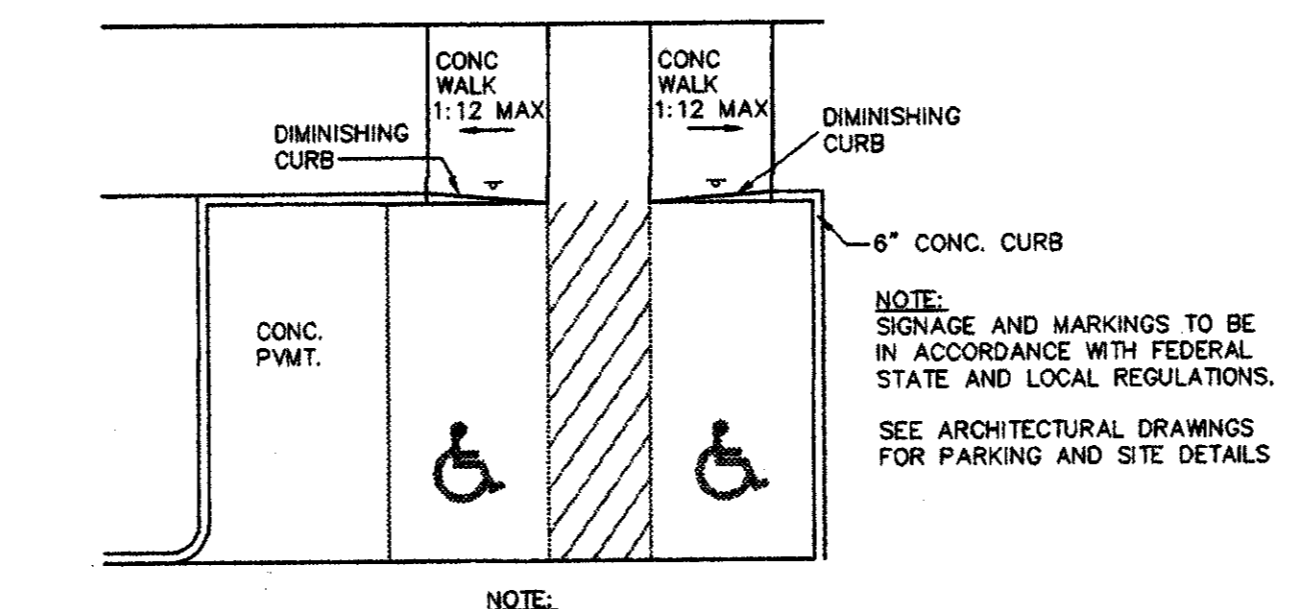
I. Contractor shall obtain right-of-way permit by the Town of Addison for working within the public right-of-way.

J. During construction, the owner shall provide a qualified geotechnical lab to perform materials testing during the construction at the request of the Town of Addison.

K. The contractor shall submit material sheets to the Town of Addison for approval prior to incorporating materials into the job.

L. The utility contractor shall submit to the Town of Addison for approval a trench safety plan sealed by a registered professional engineer for the installation of utilities greater than five (5) feet in depth.

M. All existing and proposed improvements (valves, manholes, fire hydrants, water meters, etc.) shall be adjusted to finished grade by the contractor.

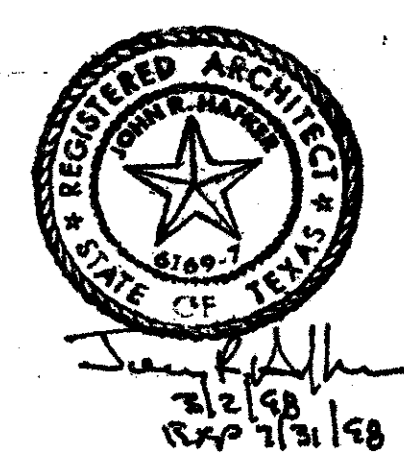


**LEGEND**

PH	FIRE HYDRANT
PP	POWER POLE
LS	LIGHT STANDARD
WM	WATER METER
WS	WATER VALVE
CS	CLEANOUT
WH	MANHOLE
GM	GAS METER
(Symbol)	SPECIAL LANDSCAPE PAVING SEE LANDSCAPE DRAWINGS FOR DETAILS

- GENERAL NOTES:**
1. SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES HAVE BEEN REPRODUCED FROM PLANS ON FILE WITH THE TOWN OF ADDISON, CITY OF DALLAS, TEXAS TURNPIKE AUTHORITY AND PUBLIC UTILITY COMPANIES. CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
  2. REFER TO STANDARD DETAILS AND GENERAL NOTES SHEET FOR PAVING, DRAINAGE AND UTILITY STANDARD DETAILS.
  3. REFER TO ARCHITECTURAL/M.E.P. PLANS FOR LOCATIONS AND REQUIREMENTS OF SIGHT LIGHTING.
  4. REFER TO ARCHITECTURAL PLANS FOR DETAILS AND DIMENSIONS OF THE BUILDING, GARAGE, DUMPSTER AREA, UTILITY YARD, DOCK AREA, OVERHANGS AND CANOPY.
  5. ALL DIMENSIONS ARE BACK OF CURB TO BACK OF CURB UNLESS OTHERWISE INDICATED.
  6. CONTRACTOR TO PROVIDE EROSION CONTROL MEASURES ALONG BORDER OF SUBJECT TRACT IN ACCORDANCE WITH STORM WATER POLLUTION PREVENTION PLAN PRIOR TO COMMENCING WORK.
  7. BARRICADING AND PROJECT SIGNS SHALL CONFORM TO "STATE OF TEXAS DEPARTMENT OF HIGHWAYS AND PUBLIC TRANSPORTATION BARRICADING AND CONSTRUCTION STANDARDS"
  8. CONTRACTOR TO VERIFY BUILDING DIMENSIONS AND LOCATIONS WITH ARCHITECTURAL AND STRUCTURAL FOUNDATION PLANS PRIOR TO CONSTRUCTION.
  9. REFER TO ARCHITECTURAL AND LANDSCAPE DRAWINGS FOR ALL DESIGN AND DETAILS OF ALL HARDSCAPE, SIDEWALKS, COURTYARDS, AND ARCHITECTURAL CONCRETE PAVEMENT.
  10. REFER TO ARCHITECTURAL DRAWINGS FOR STRIPING AND SIGNAGE DETAILS AND LOCATIONS.

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ONE HANOVER PARK OFFICE BUILDING  
 ADDISON, TEXAS

INTEREST COMPANIES DEVELOPER  
 WILCOX DEVELOPMENT SERVICES, INC. PROJECT MANAGER

DIMENSIONAL CONTROL PLAN 9716.00

EARLY ISSUE 9.5.97

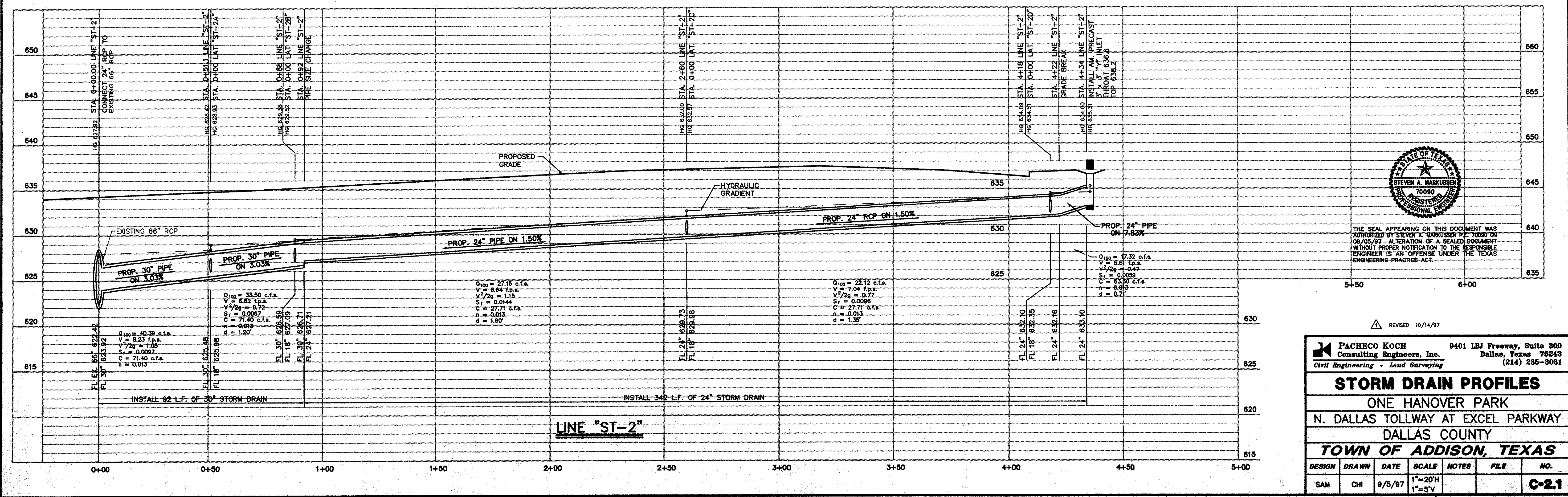
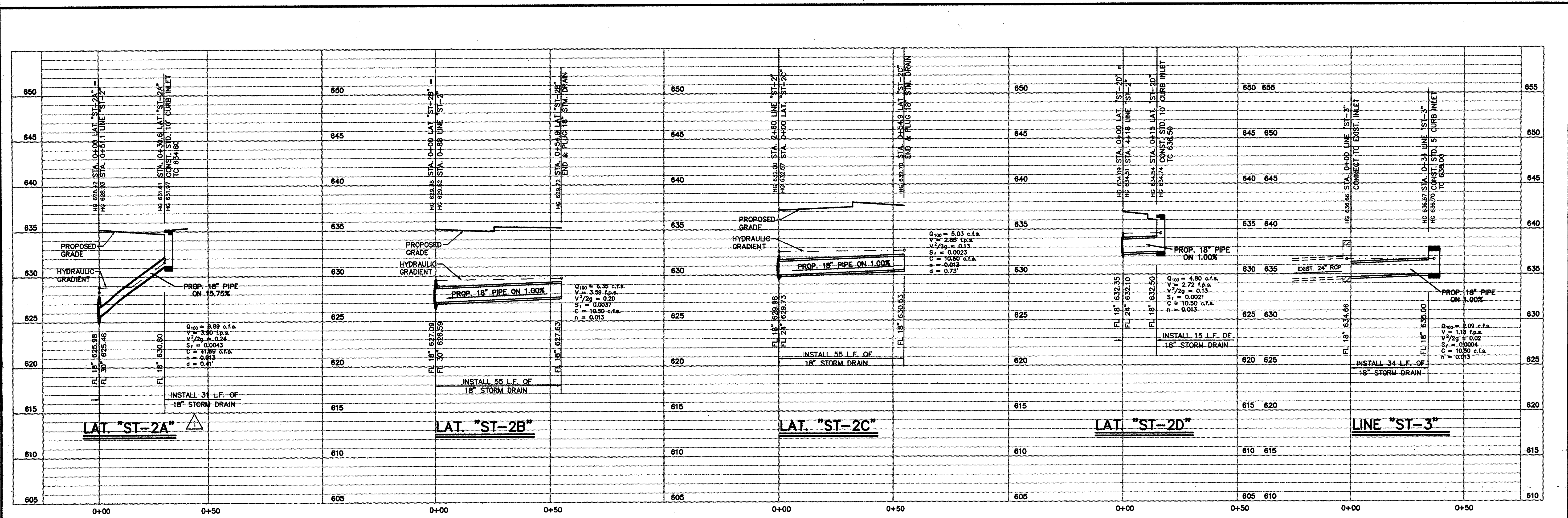
**PACHCO KOCH** 9401 LBJ Freeway, Suite 900  
 Consulting Engineers, Inc. Dallas, Texas 75243  
 Civil Engineering • Land Surveying (972) 295-3031

**DIMENSIONAL CONTROL PLAN**  
**ONE HANOVER PARK**  
**N. DALLAS TOLLWAY AT EXCEL PKWY.**  
**DALLAS COUNTY**  
**CITY OF ADDISON, TEXAS**

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
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PK NO: 1787-97.178 DWG NO: 1787-11

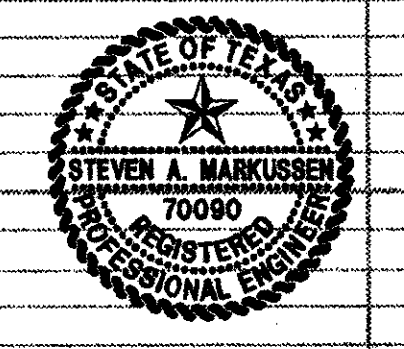
C1.0



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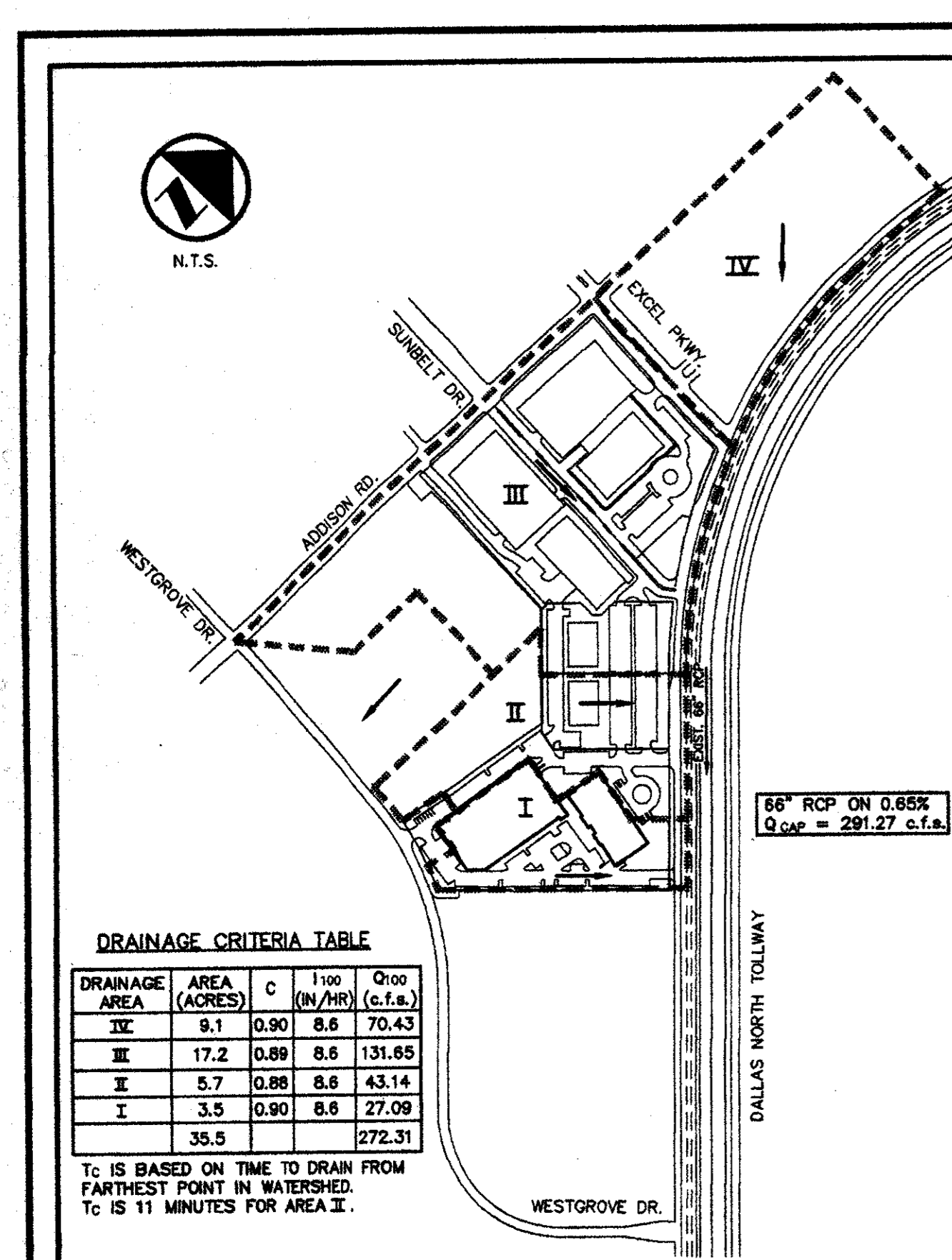
ONE HANOVER PARK OFFICE BUILDING ADDISON, TEXAS

INTERVEST COMPANIES DEVELOPER  
 WILCOX DEVELOPMENT SERVICES, INC. PROJECT MANAGER

STORM DRAIN PROFILES 9716.00

EARLY ISSUE 9.5.97

<b>PACHECO KOCH Consulting Engineers, Inc.</b>		9401 LBJ Freeway, Suite 300 Dallas, Texas 75243 (214) 236-3031	
<b>STORM DRAIN PROFILES</b>			
ONE HANOVER PARK N. DALLAS TOLLWAY AT EXCEL PARKWAY DALLAS COUNTY TOWN OF ADDISON, TEXAS			
DESIGN	DRAWN	DATE	SCALE
SAM	CHI	9/5/97	1"=20'H 1"=5'V
NOTES	FILE	NO.	
		<b>C-21</b>	



**LEGEND**

- 613 — EXIST CONTOUR
- 612.38 — EXIST SPOT ELEVATION
- 611.22 — EXIST TOP OF CURB ELEVATION
- 611.22 — EXIST GUTTER ELEVATION
- 613 — PROPOSED CONTOUR
- TC 638.00 — PROP TOP OF CURB ELEVATION
- G 637.50 — PROP GUTTER ELEVATION
- S 636.37 — PROP SPOT ELEVATION
- — — — PROP DRAINAGE DIVIDE

CITY B.M. #9  
 1" CUT ON CONC BASE OF LIGHT BASE, CENTERLINE OF EXCEL ROAD, 50' WEST OF ADDISON ROAD. ELEV. 463.82

B.M. #1  
 4" CUT ON CONC SW WEST SIDE OF ADDISON ROAD, 40' NORTH OF SOUTHWEST CORNER ON ADDISON RD. ELEV. 643.02

B.M. #2  
 1" CUT BY FH ON TOP OF RETAINING WALL, 5' LEFT SIDE OF CURB AT FIRST PI OF CURB. ELEV. 639.38

B.M. #3  
 1" CUT BY FH ON TOP OF RETAINING WALL, 5' LEFT SIDE OF WESTROVE. ELEV. 638.82

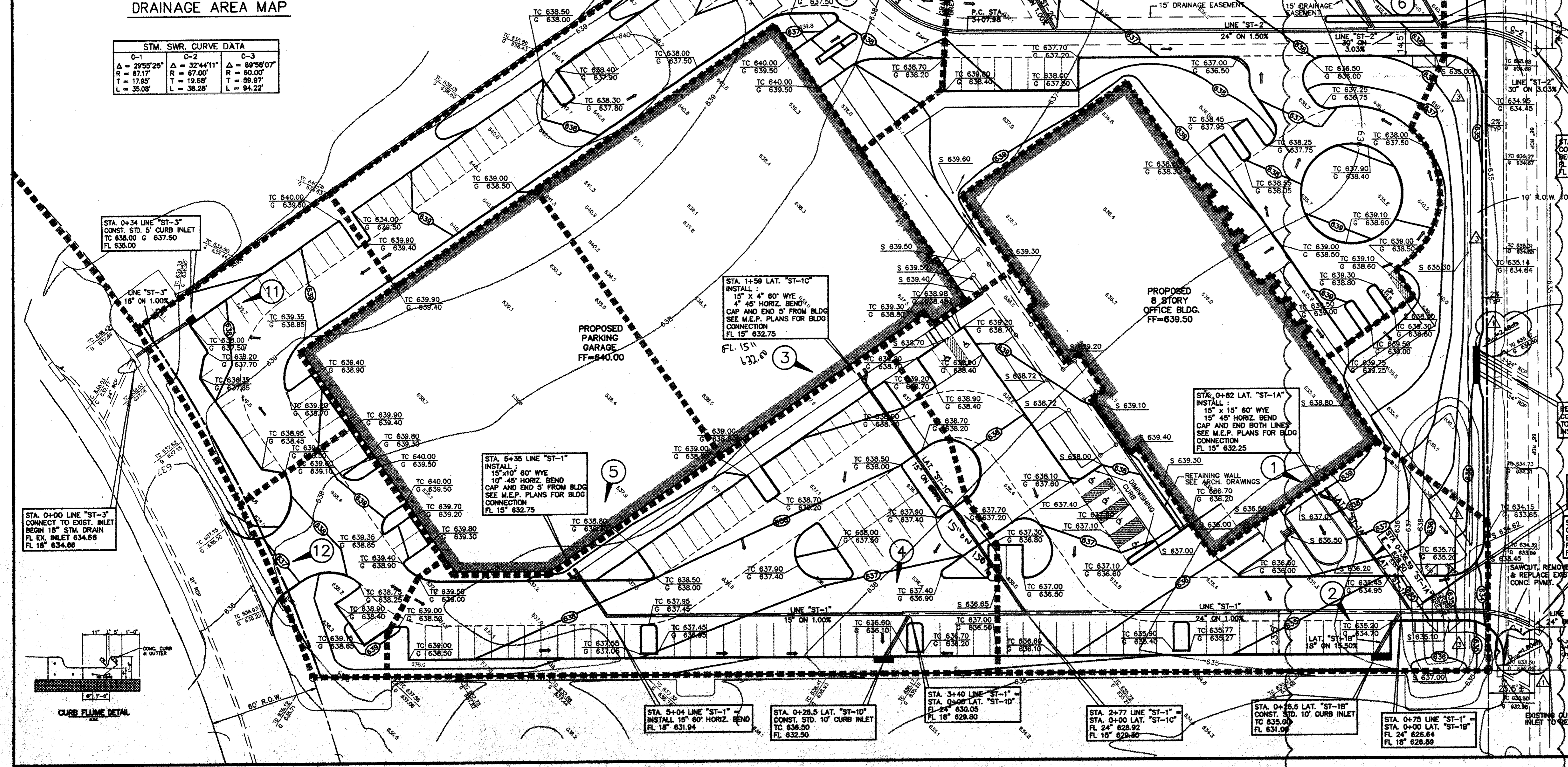
B.M. #4  
 1" CUT ON CONC BASE OF LS ON NORTH SIDE OF DRIVEWAY AT NORTH ENTRY #16479 AT DALLAS PKWY, OFF SOUTHWEST SIDE OF TOLLWAY. ELEV. 638.92

B.M. #5  
 1" CUT TO NOSE MEDIAN AT CENTERLINE OF WEST SIDE EXCEL, SOUTH BOUND SERVICE ROAD OF TOLLWAY. ELEV. 637.44

DRAINAGE AREA MAP

STM. SWR. CURVE DATA

C-1	C-2	C-3
A = 295°28'	A = 32°44'11"	A = 89°58'07"
R = 6712'	R = 87.00'	R = 60.00'
T = 17.95'	T = 19.68'	T = 58.97'
L = 35.08'	L = 38.28'	L = 94.22'



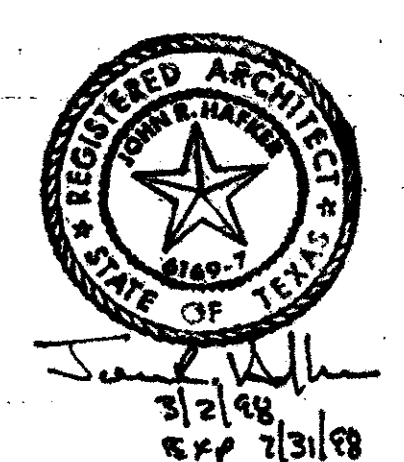
**PAVING AND DRAINAGE GENERAL NOTES**

- ALL WORK, UNLESS OTHERWISE NOTED, SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, ISSUED BY THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS, TOWN OF ADDISON, AND THE CITY OF DALLAS STANDARD CONSTRUCTION SPECIFICATIONS.
- UNLESS OTHERWISE NOTED, ALL CONCRETE SHALL BE CLASS "A" (3000 PSI). NO FLY ASH WILL BE ALLOWED IN ON-SITE CONCRETE PAVEMENT.
- THE HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING SUBSURFACE UTILITIES HAVE BEEN DETERMINED FROM DATA RECORDED BY OTHERS. CONTRACTOR SHALL VERIFY THAT NECESSARY CROSSING CLEARANCES BETWEEN EXISTING AND PROPOSED UTILITIES EXIST PRIOR TO CONSTRUCTION OF ANY SUCH CROSSING. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT.
- CONTRACTOR SHALL MAINTAIN ONE SET OF "RECORD DRAWINGS" ON SITE WHICH WILL BE SUBMITTED TO OWNER OR ENGINEER UPON COMPLETION OF THE PROJECT. RECORD DRAWINGS SHALL INDICATE THE LOCATION OF ALL SUBTERRANEAN UTILITY IMPROVEMENTS, AND INDICATE TIES TO ALL MANHOLES, CULVERTS, INLETS, JUNCTION BOXES, ETC.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS REGARDING TRENCH SAFETY.
- STORM DRAIN LINES MAY BE OF THE FOLLOWING MATERIALS:
  - a. RCP C-76, CLASS III
  - b. ADS N-12
  - c. HANCOCK H-0
 INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- BARRICADEING AND PROJECT SIGNS SHALL CONFORM TO "STATE DEPARTMENT OF HIGHWAYS AND PUBLIC TRANSPORTATION BARRICADEING AND CONSTRUCTION STANDARDS."
- PRIOR TO COMMENCEMENT OF CONSTRUCTION, BONDS AND THREE-WAY CONTRACTS SHALL BE SUBMITTED TO THE CITY AS REQUIRED.
- USE OF FLY ASH OR ANY CHEMICAL AD MIXTURE IN CONCRETE WILL REQUIRE PRIOR APPROVAL FROM THE DIRECTOR OF PUBLIC WORKS AND WILL BE SUBJECT TO SPECIAL MONITORING AND INSPECTION OF THE WORK AS PROVIDED IN SPECIAL PROVISION TO THE STANDARD SPECIFICATIONS ENTITLED ELY ASH AD MIXTURE TO CONCRETE.
- DURING THE CONSTRUCTION OF THESE IMPROVEMENTS, ANY INTERPRETATION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND ANY MATTER WHICH REQUIRES THE APPROVAL OF THE OWNER, MUST BE APPROVED BY THE DIRECTOR OF PUBLIC WORKS OR HIS DESIGNEE BEFORE ANY CONSTRUCTION COMMENCES. ASSUMPTIONS ABOUT WHAT THESE DECISIONS MIGHT BE WHICH ARE MADE DURING THE BIDDING PHASE WILL HAVE NO BEARING ON THE DECISION.
- CONSTRUCTION OF STREETS, ALLEYS, SIDEWALKS, DRIVEWAYS AND STORM DRAINAGE FACILITIES IN THE PUBLIC RIGHT-OF-WAY MUST BE CONSTRUCTED IN CONFORMANCE WITH THE TOWN OF ADDISON AND THE CITY OF DALLAS CONSTRUCTION DETAILS, FILE 251D-1.
- ALL CONCRETE FOR PAVEMENT, WITHIN THE PUBLIC RIGHT-OF-WAY, SHOULD BE 4000 PSI, IF MACHINE FINISH AND 4500 PSI IF HAND FINISH. CONCRETE PAVEMENT THICKNESS SHALL BE 10" (8" IF SUBGRADE IS TREATED WITH LIME).
- CONTRACTOR TO INSTALL ALL IRRIGATION SLEEVES AND LANDSCAPE DRAINS PRIOR TO PLACEMENT OF CONCRETE PAVEMENT. IRRIGATION DRAINS ARE TO BE CONNECTED TO THE SITE STORM DRAIN SYSTEM IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. SEE LANDSCAPE ARCHITECT DRAWINGS FOR LOCATION AND SIZE OF IRRIGATION SLEEVES AND LANDSCAPE DRAINS.

DRAINAGE CRITERIA TABLE

DRAINAGE AREA	AREA (ACRES)	C	I <sub>100</sub> (IN/HR)	O <sub>100</sub> (C.F.S.)	COMMENTS
1	0.64	0.90	8.6	4.95	BLDG ROOF DRAINS
2	0.80	0.90	8.6	4.84	10' CURB INLET
3	0.82	0.90	8.6	4.80	GARAGE ROOF DRAINS
4	0.88	0.90	8.6	5.81	10' CURB INLET
5	0.82	0.90	8.6	4.80	GARAGE ROOF DRAINS
6	0.89	0.90	8.6	6.89	10' CURB INLET
7	0.82	0.90	8.6	6.35	LATERAL TO AREA I
8	0.85	0.90	8.6	5.03	LATERAL TO AREA II
9	0.82	0.90	8.6	4.80	10' CURB INLET
10	2.37	0.85	8.6	17.32	10' CURB INLET
11	0.27	0.90	8.6	2.09	5' CURB INLET
12	0.20	0.90	8.6	1.55	TO WESTROVE DR.

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ONE HANOVER PARK  
 OFFICE BUILDING  
 ADDISON, TEXAS

INTERVEST COMPANIES  
 DEVELOPER

WILCOX SERVICES, INC.  
 PROJECT MANAGER

REVISÉ 3/02/98 - ADDED SIDEWALK  
 REVISÉ 10/24/97  
 REVISÉ 10/14/97

**PACHECO KOCH**  
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 9401 LBJ Freeway, Suite 300  
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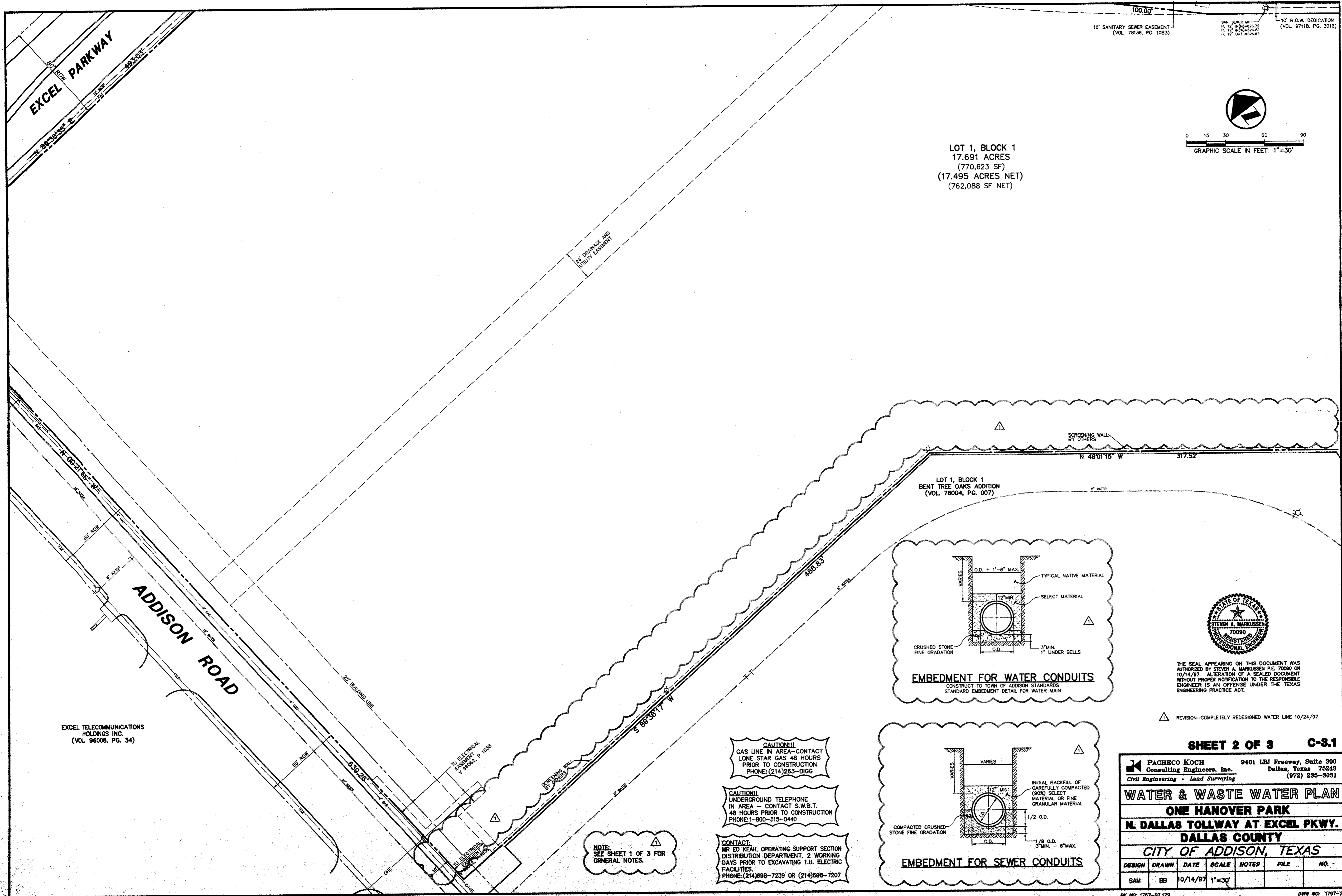
**GRADING & DRAINAGE PLAN**  
**ONE HANOVER PARK**  
**N. DALLAS TOLLWAY AT EXCEL PARKWAY**  
**DALLAS COUNTY**  
**TOWN OF ADDISON, TEXAS**

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
SAM	TDH	8/26/97	1"=30'		311T	6213

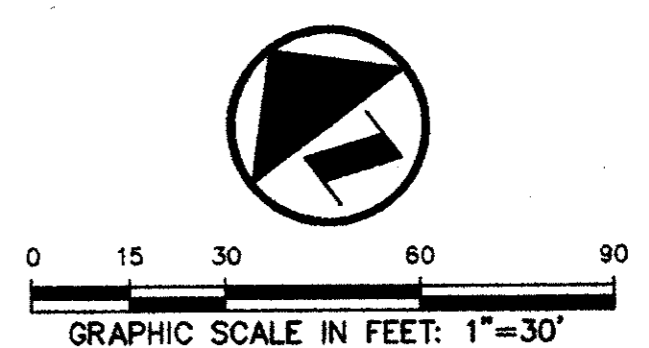
PK NO: 1767-87.178 DWG NO: 1767-18

GRADING & DRAINAGE PLAN  
 9716.00  
 EARLY ISSUE 9.5.97

C2.0

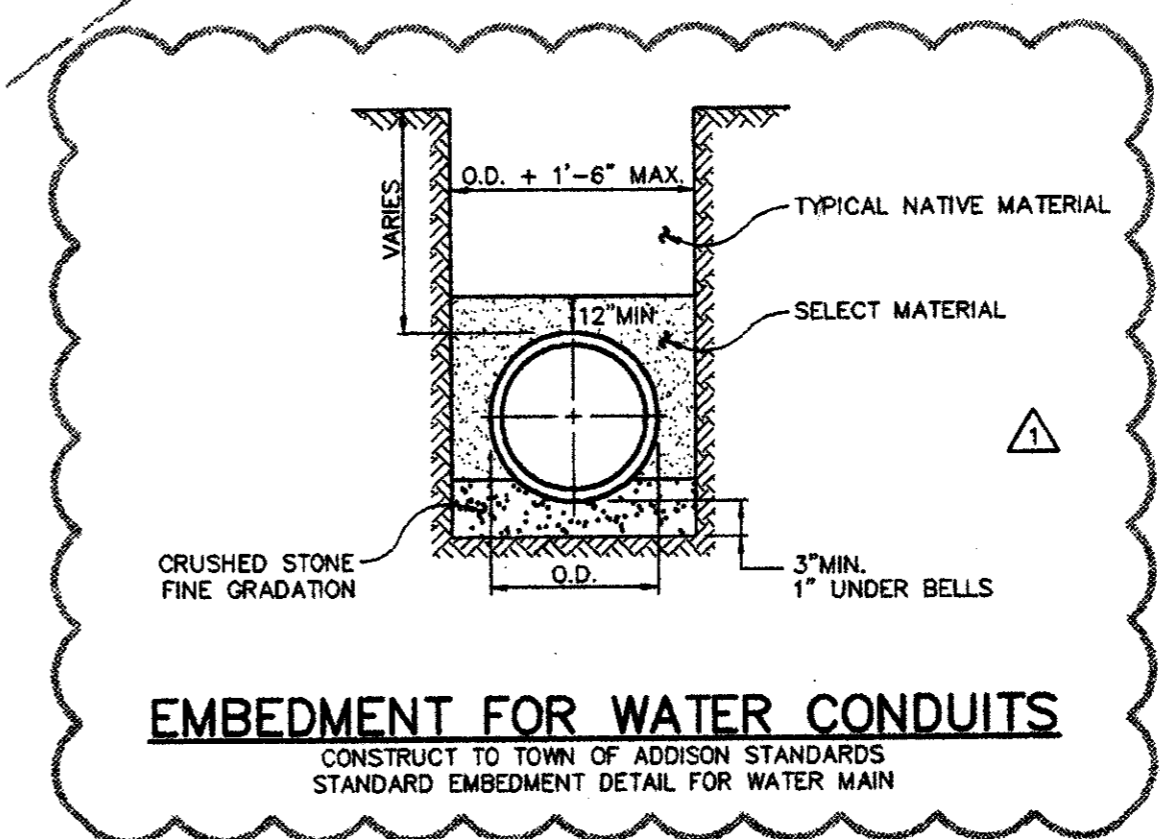


10' SANITARY SEWER EASEMENT (VOL. 78136, PG. 1083)  
 SANI SEWER 14" P. 12" IN. - 234.72  
 P. 12" IN. - 234.82  
 P. 12" OUT - 234.82  
 10' R.O.W. DEDICATION (VOL. 97118, PG. 3016)



LOT 1, BLOCK 1  
 17.691 ACRES  
 (770,623 SF)  
 (17.495 ACRES NET)  
 (762,088 SF NET)

LOT 1, BLOCK 1  
 BENT TREE OAKS ADDITION  
 (VOL. 78004, PG. 007)



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REVISION - COMPLETELY REDESIGNED WATER LINE 10/24/97

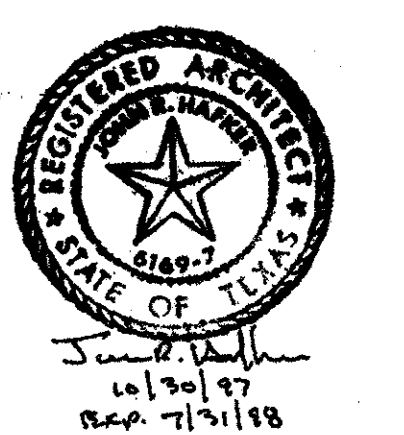
**SHEET 2 OF 3 C-3.1**

**PACHECO KOECH** 9401 LBJ Freeway, Suite 300  
 Consulting Engineers, Inc. Dallas, Texas 75243  
 Civil Engineering • Land Surveying (972) 236-3031

**WATER & WASTE WATER PLAN**  
**ONE HANOVER PARK**  
**N. DALLAS TOLLWAY AT EXCEL PKWY.**  
**DALLAS COUNTY**  
**CITY OF ADDISON, TEXAS**

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
SAM	BB	10/14/97	1"=30'			

This seal indicates only that I have reviewed the consultant's work and coordinated it with the overall project.



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ONE HANOVER PARK  
 OFFICE BUILDING  
 ADDISON, TEXAS

INTERVEST COMPANIES  
 DEVELOPER  
 WILCOX DEVELOPMENT  
 SERVICES, INC.  
 PROJECT MANAGER

WATER & WASTEWATER PLAN

9716.00

10.14.97

C

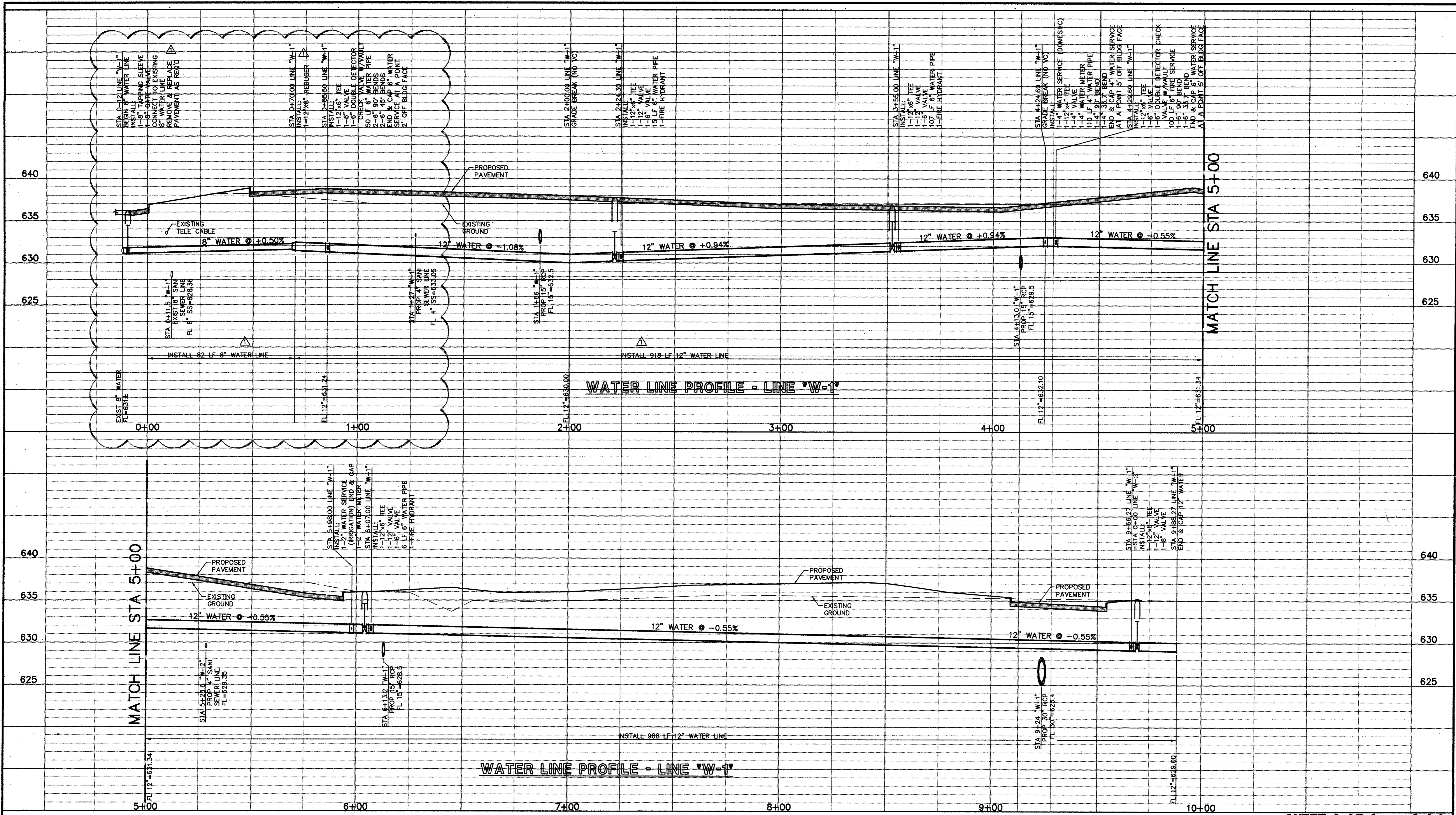
EXCEL TELECOMMUNICATIONS  
 HOLDINGS INC.  
 (VOL. 96008, PG. 34)

**CAUTION!!!**  
 GAS LINE IN AREA - CONTACT  
 LONE STAR GAS 48 HOURS  
 PRIOR TO CONSTRUCTION  
 PHONE: (214) 263-5111

**CAUTION!!!**  
 UNDERGROUND TELEPHONE  
 IN AREA - CONTACT S.W.B.T.  
 48 HOURS PRIOR TO CONSTRUCTION  
 PHONE: 1-800-315-0440

**CONTACT:**  
 MR ED KEAH, OPERATING SUPPORT SECTION  
 DISTRIBUTION DEPARTMENT, 2 WORKING  
 DAYS PRIOR TO EXCAVATING T.U. ELECTRIC  
 FACILITIES.  
 PHONE: (214) 698-7239 OR (214) 698-7207

**NOTE:**  
 SEE SHEET 1 OF 3 FOR  
 GENERAL NOTES.



6/20/98  
 8/12/98  
 JHARRIS

NOTE:  
 CONTRACTOR TO PROVIDE 1' MINIMUM  
 CLEARANCE BETWEEN ALL WATER AND  
 STORM DRAIN LINES.



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REVISION - WATER LINE 03/26/98

**SHEET 3 OF 3 C-3.2**

**PACHECO KOCH** Consulting Engineers, Inc. 9401 LBJ Freeway, Suite 500  
 Dallas, Texas 75243  
 Civil Engineering • Land Surveying (972) 235-3031

**WATER LINE PROFILE**

**ONE HANOVER PARK**

**N. DALLAS TOLLWAY AT EXCEL PKWY.**

**DALLAS COUNTY**

**CITY OF ADDISON, TEXAS**

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
SAM	BB	10/22/97	1"=20'-H 1"=5'-V			

PK No: 1767-97.179 DWG No: 1767-23

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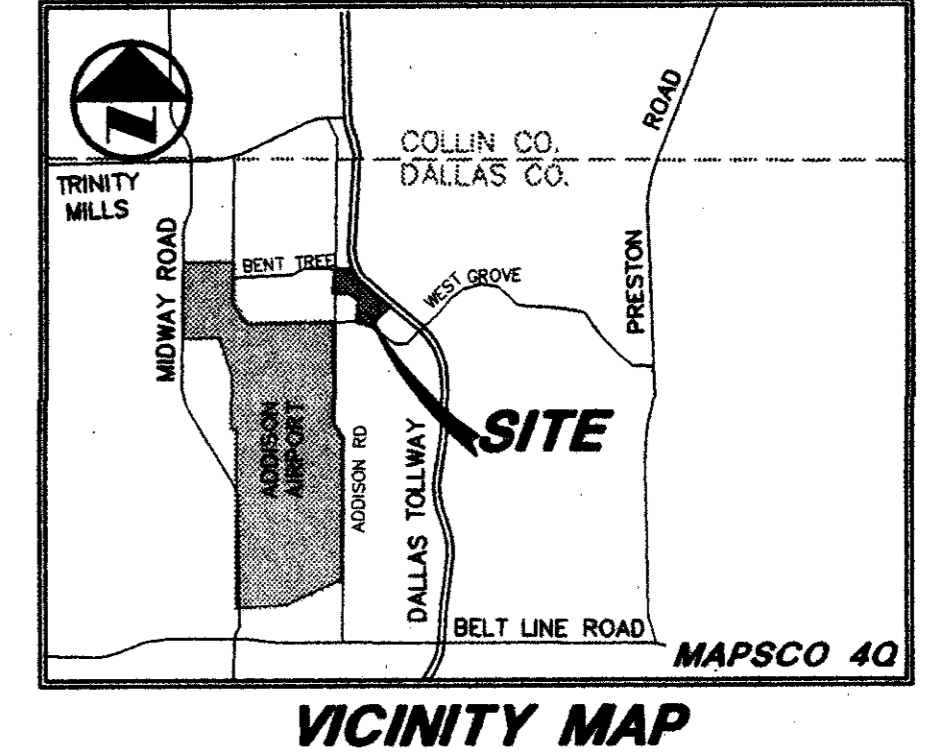
ONE HANOVER PARK  
 OFFICE BUILDING  
 ADDISON, TEXAS

INTERVEST COMPANIES  
 DEVELOPER  
 WILCOX DEVELOPMENT  
 SERVICES, INC.  
 PROJECT MANAGER

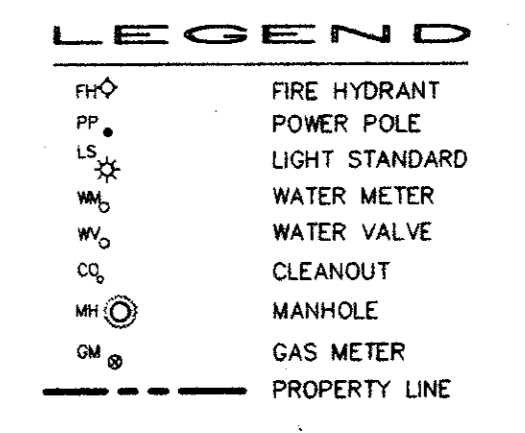
12" WATER LINE PROFILE  
 9716.00

10.22.97

- TOWN OF ADDISON  
WATER AND SANITARY SEWER GENERAL NOTES**
- ALL WORK, UNLESS OTHERWISE NOTED, SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, ISSUED BY THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS, AND TOWN OF ADDISON STANDARD CONSTRUCTION SPECIFICATIONS.
  - UNLESS OTHERWISE NOTED, ALL CONCRETE SHALL BE CLASS "A", (3000 PSI).
  - THE HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING SUBSURFACE UTILITIES HAVE BEEN DETERMINED FROM DATA RECORDED BY OTHERS. CONTRACTOR SHALL VERIFY THAT NECESSARY CROSSING CLEARANCES BETWEEN EXISTING AND PROPOSED UTILITIES EXIST PRIOR TO CONSTRUCTION OF ANY SUCH CROSSING. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL PUBLIC UTILITIES IN THE CONSTRUCTION OF THIS PROJECT.
  - CONTRACTOR SHALL MAINTAIN ONE SET OF "RECORD DRAWINGS" ON SITE WHICH WILL BE SUBMITTED TO OWNER OR ENGINEER UPON COMPLETION OF THE PROJECT. RECORD DRAWINGS SHALL INDICATE THE LOCATION OF ALL SUBTERRANEAN UTILITY IMPROVEMENTS, AND INDICATE TIES TO ALL MANHOLES, CULVERTS, INLETS, JUNCTION BOXES, ETC.
  - ALL WATER MAINS SHALL BE PVC C900, DR 18, CLASS 150.
  - ALL WATER MAINS UNLESS OTHERWISE NOTED SHALL HAVE A MINIMUM COVER OF 48" BELOW FINISHED GRADE.
  - SANITARY SEWER PIPE SHALL BE PVC SDR-35.
  - THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS REGARDING TRENCH SAFETY.
  - BARRICADING AND PROJECT SIGNS SHALL CONFORM TO "STATE DEPARTMENT OF HIGHWAYS AND PUBLIC TRANSPORTATION BARRICADING AND CONSTRUCTION STANDARDS."
  - PRIOR TO COMMENCEMENT OF CONSTRUCTION, BONDS AND SHALL BE SUBMITTED TO THE TOWN AS REQUIRED.
  - WHERE A SANITARY SEWER PARALLELS A WATERLINE, THE SEWER SHALL BE CONSTRUCTED OF PVC MEETING ASTM SPECIFICATIONS WITH A PRESSURE RATING FOR BOTH THE PIPE AND JOINTS OF 150 PSI. THE VERTICAL SEPARATION SHALL BE MINIMUM OF TWO FEET BETWEEN OUTSIDE DIAMETERS AND THE HORIZONTAL SEPARATION SHALL BE A MINIMUM OF FOUR FEET BETWEEN OUTSIDE DIAMETERS. THE SEWER SHALL BE LOCATED BELOW THE WATERLINE.
  - ALL METERS GREATER THAN 18" DEEP SHALL BE EQUIPPED WITH HERSEY ER-1 REGISTERS AND PITCAP FOR CONNECTION TO TOUCHLESS AMR SYSTEM OR AS SPECIFIED BY THE TOWN OF ADDISON.



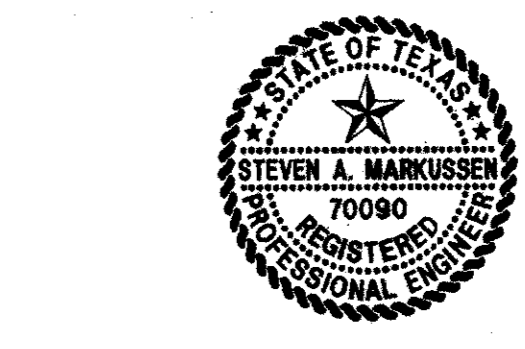
NOTE:  
PROPOSED WATER LINES SHALL BE CONCRETE  
ENCASED 10' L.F. EACH WAY AT SEWER  
CROSSINGS.



CONTACT:  
MR ED KEAH, OPERATING SUPPORT SECTION  
DISTRIBUTION DEPARTMENT, 2 WORKING  
DAYS PRIOR TO EXCAVATING T.U. ELECTRIC  
FACILITIES. PHONE: (214)698-7239 OR (214)698-7207

CAUTION!!!  
UNDERGROUND TELEPHONE  
IN AREA - CONTACT S.W.B.T.  
48 HOURS PRIOR TO CONSTRUCTION  
PHONE: 1-800-315-0440

CAUTION!!!  
GAS LINE IN AREA-CONTACT  
LONE STAR GAS 48 HOURS  
PRIOR TO CONSTRUCTION  
PHONE: (214)263-DIGG



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ENGINEER IS AN OFFENSE UNDER THE TEXAS  
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REVISION - WATER LINE 03/26/98  
REVISION-ENTIRE WATER LINE 10/24/97

SHEET 1 OF 3 C-3

**PACHECO KOCH**  
Consulting Engineers, Inc.  
Civil Engineering • Land Surveying

9401 LBJ Freeway, Suite 300  
Dallas, Texas 75243  
(972) 236-9031

**WATER & WASTE WATER PLAN**  
**ONE HANOVER PARK**  
**N. DALLAS TOLLWAY AT EXCEL PKWY.**  
**DALLAS COUNTY**  
**CITY OF ADDISON, TEXAS**

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
SAM	BB	10/22/97	1"=30'			

PK NO: 1767-97.170 DWG NO: 1767-23A

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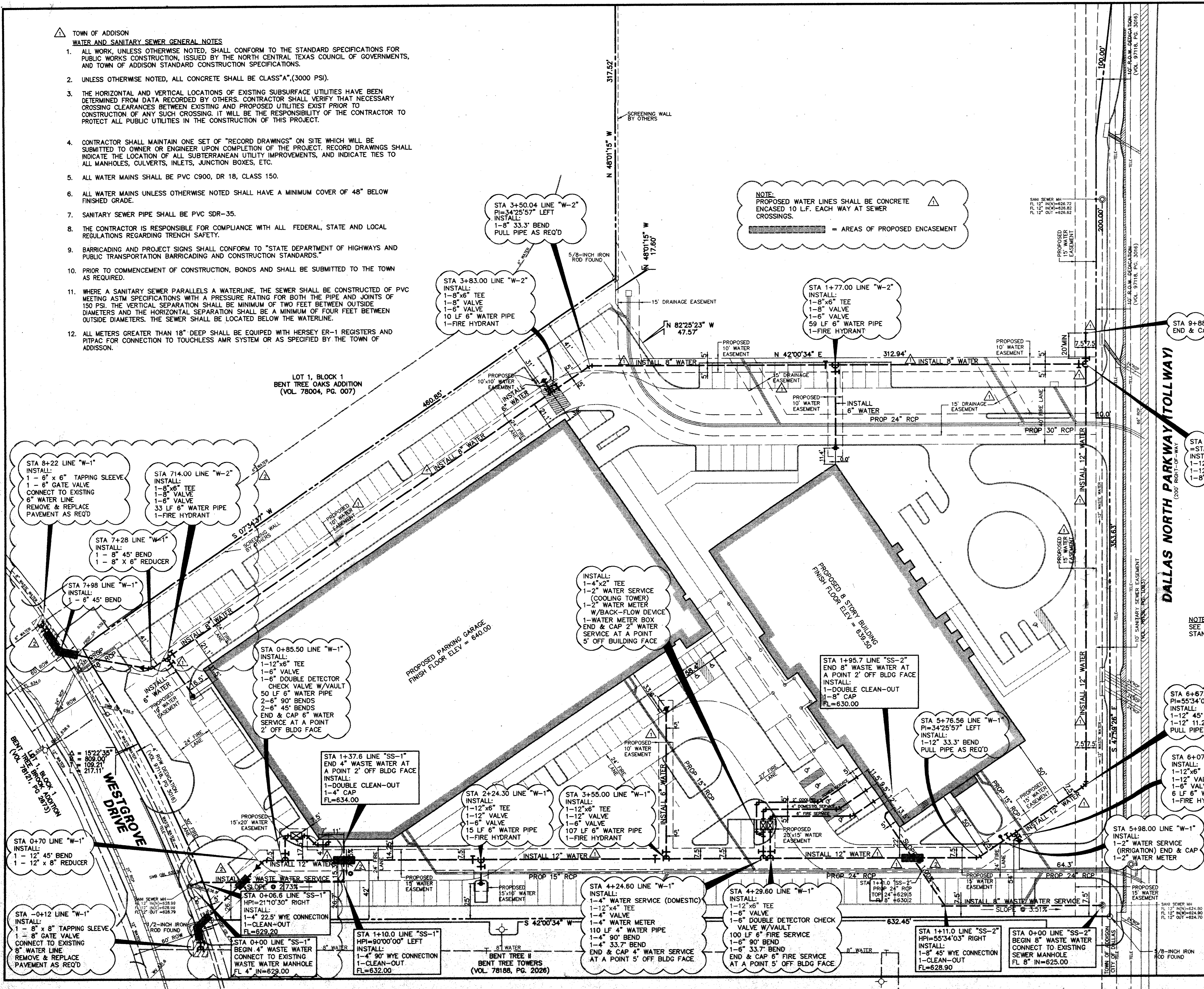
ONE HANOVER PARK  
OFFICE BUILDING  
ADDISON, TEXAS

INTERVEST COMPANIES  
DEVELOPER  
WILCOX DEVELOPMENT  
SERVICES, INC.  
PROJECT MANAGER

WATER & WASTE WATER PLAN  
9718.00

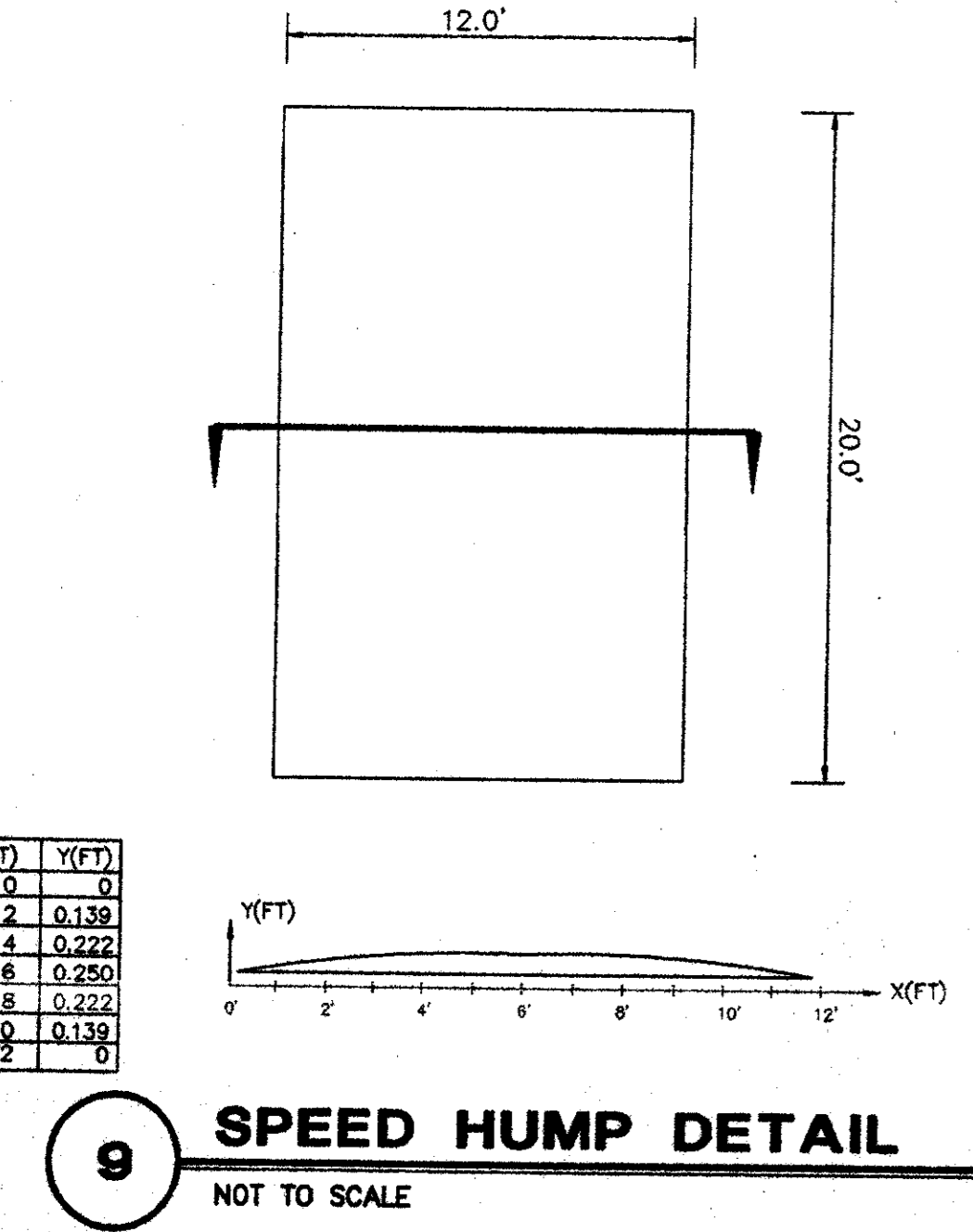
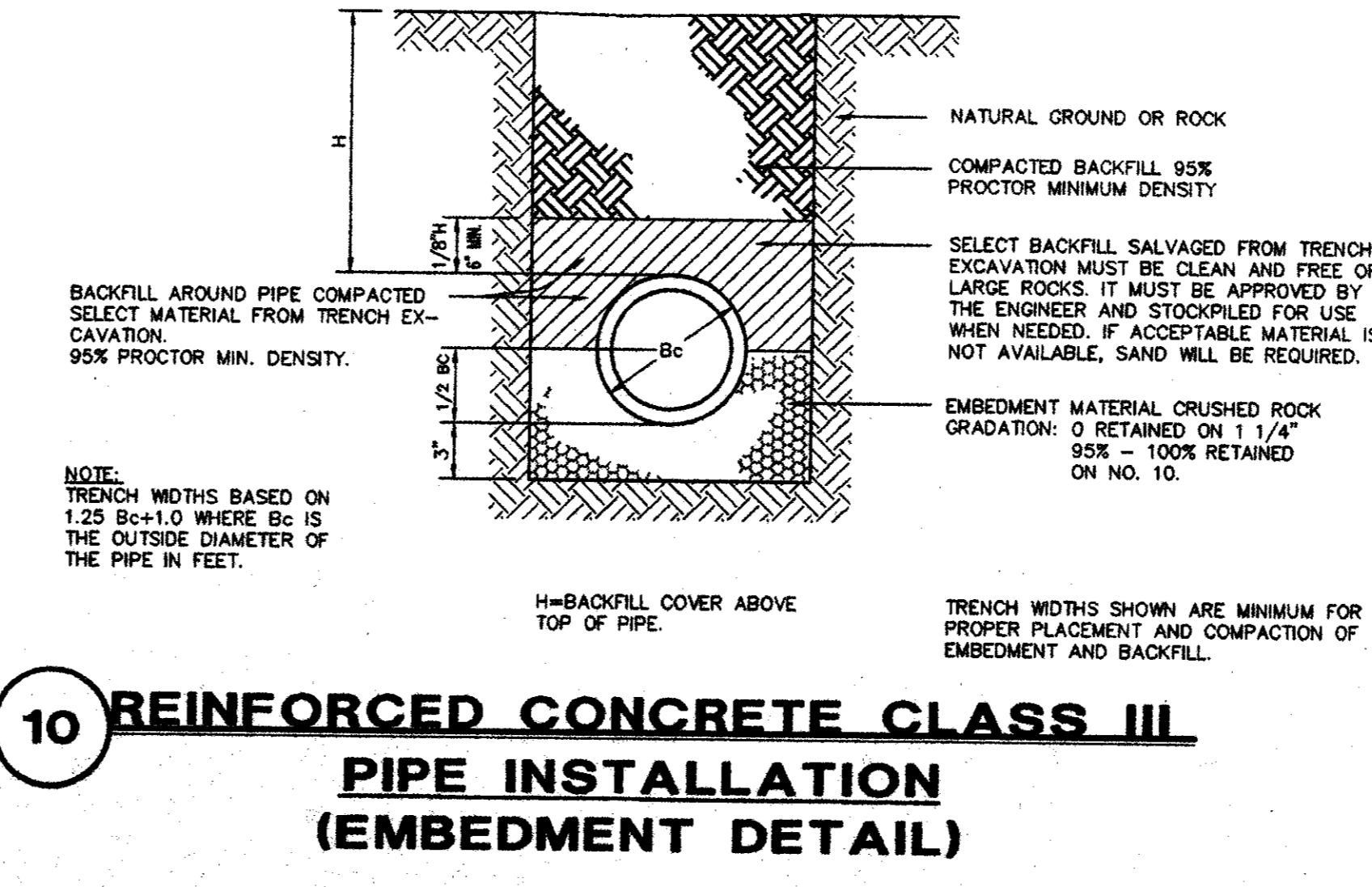
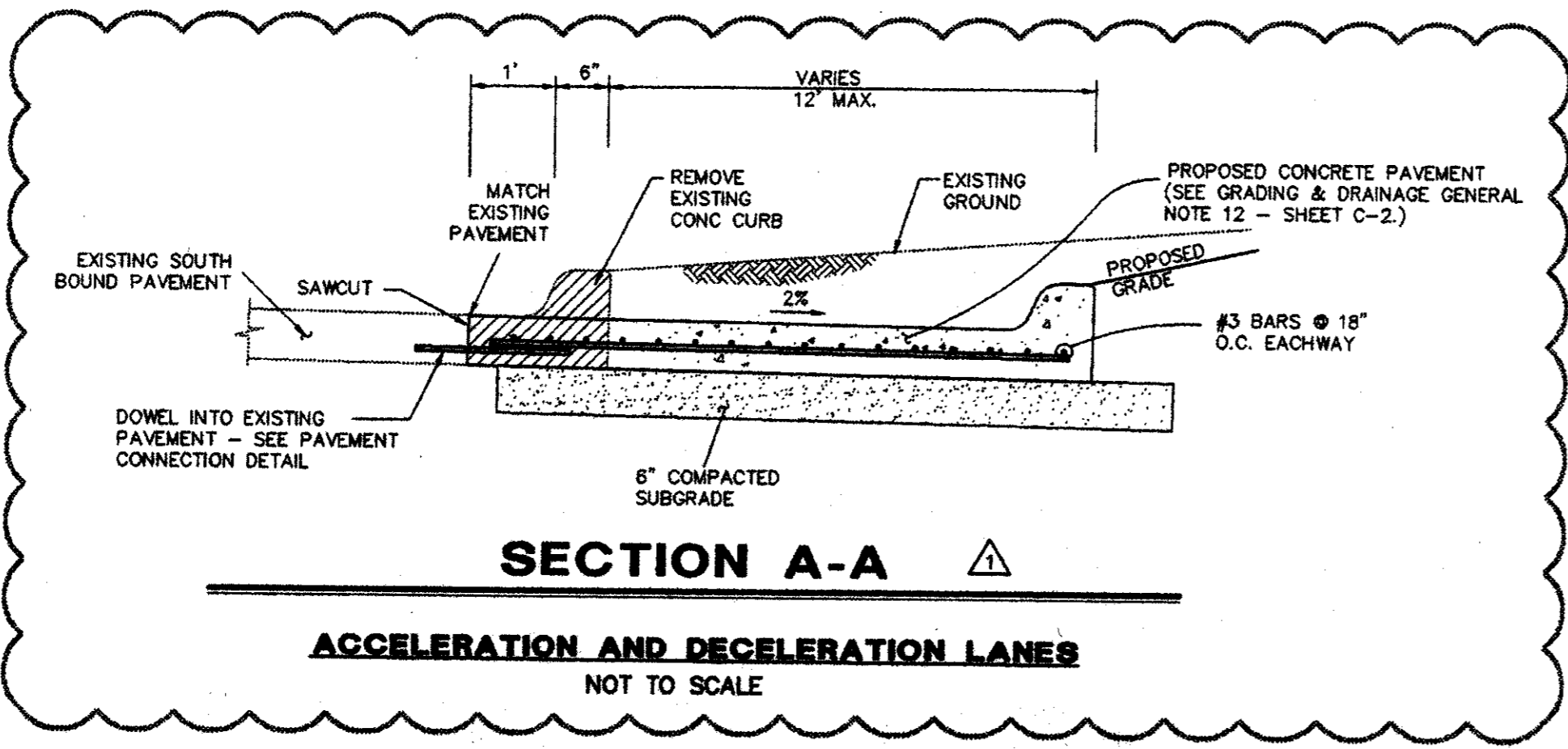
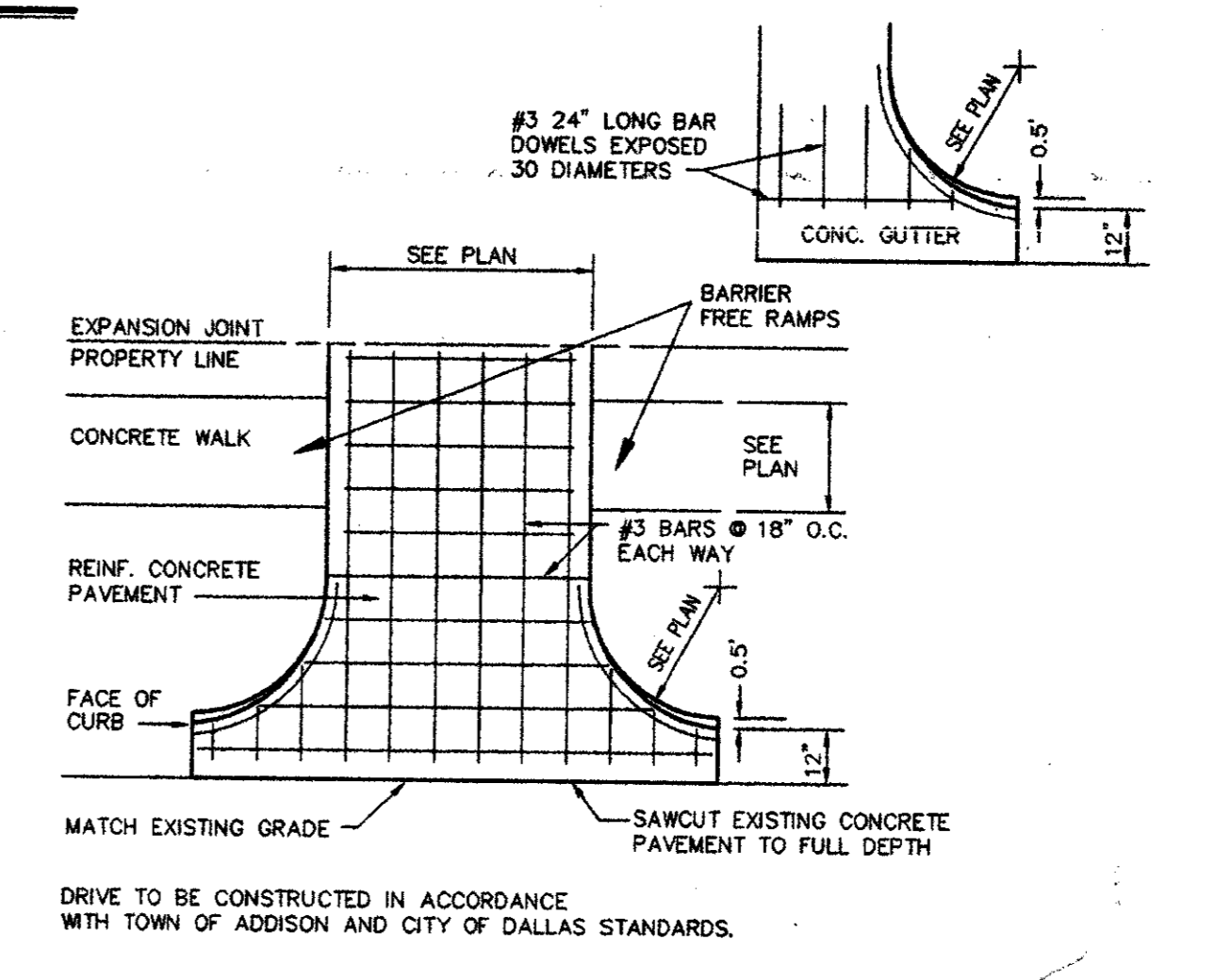
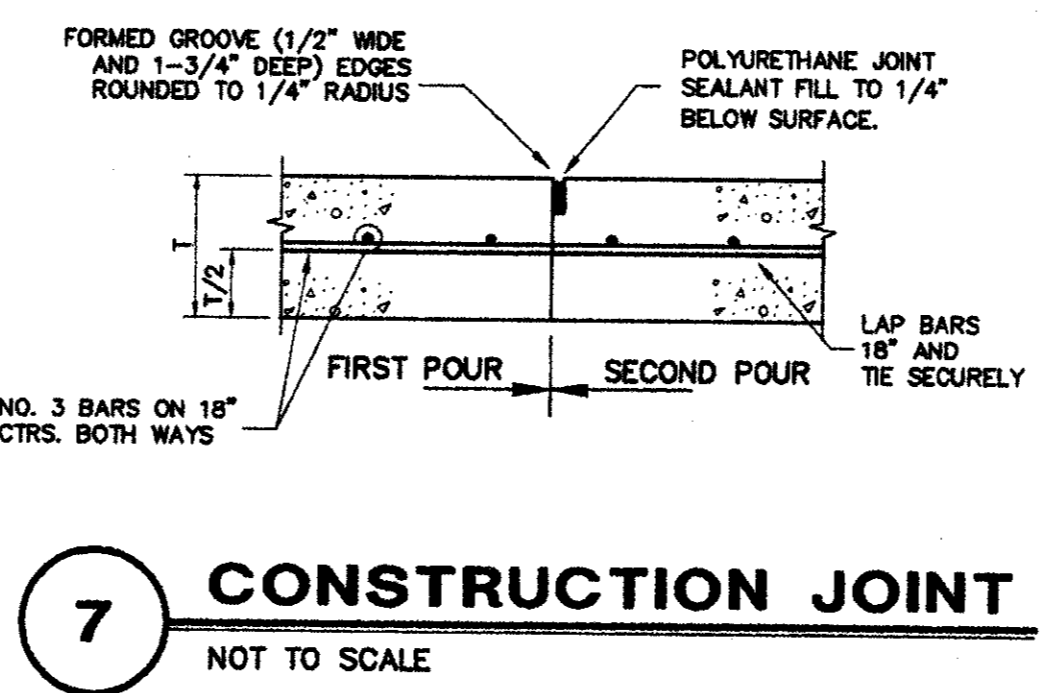
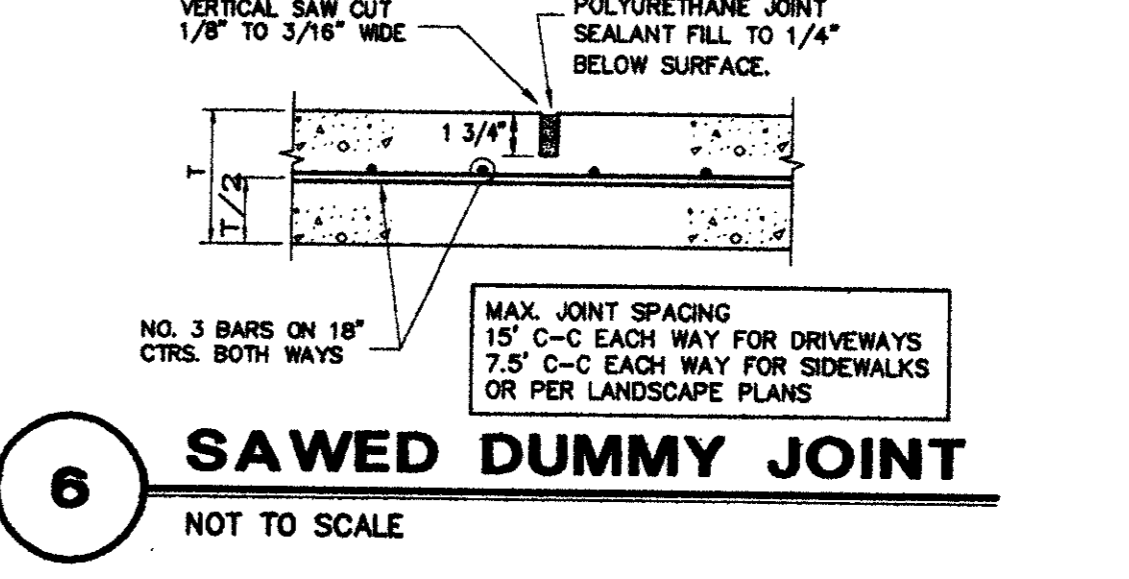
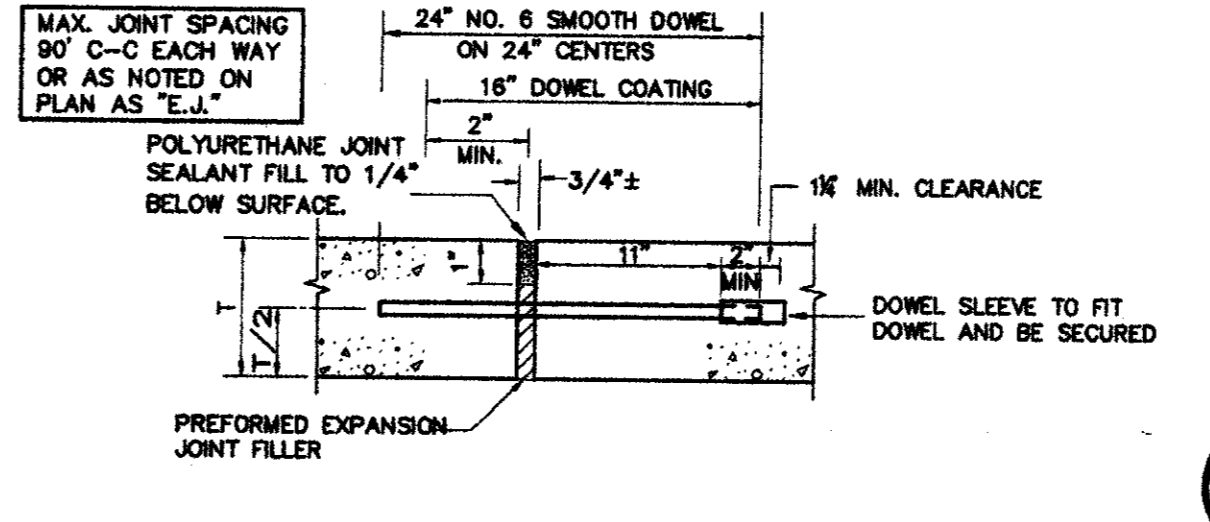
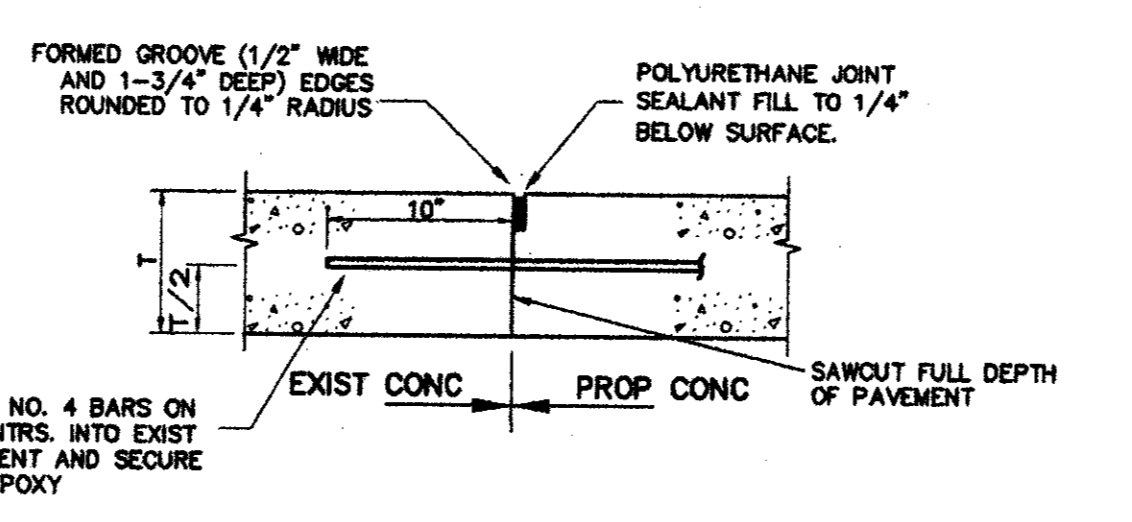
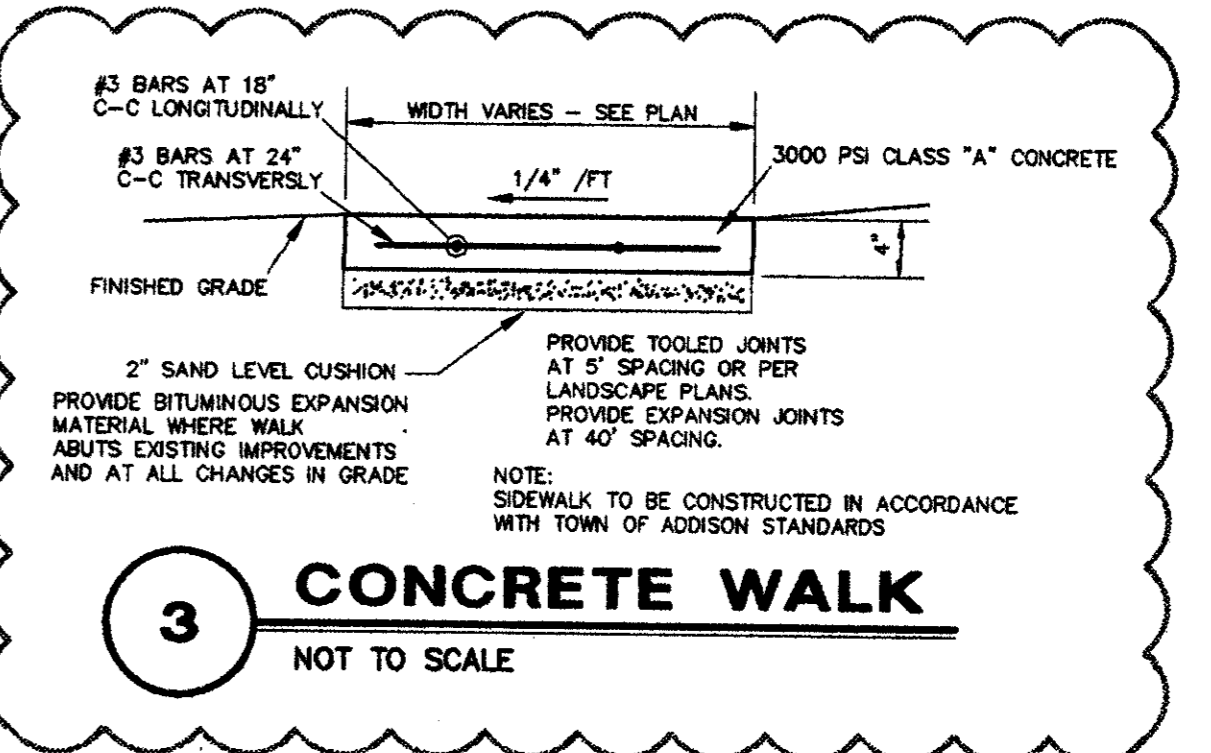
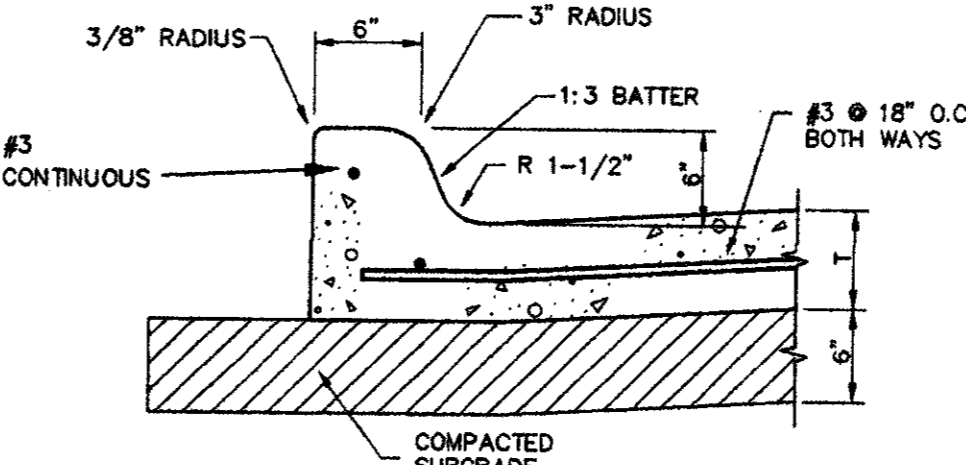
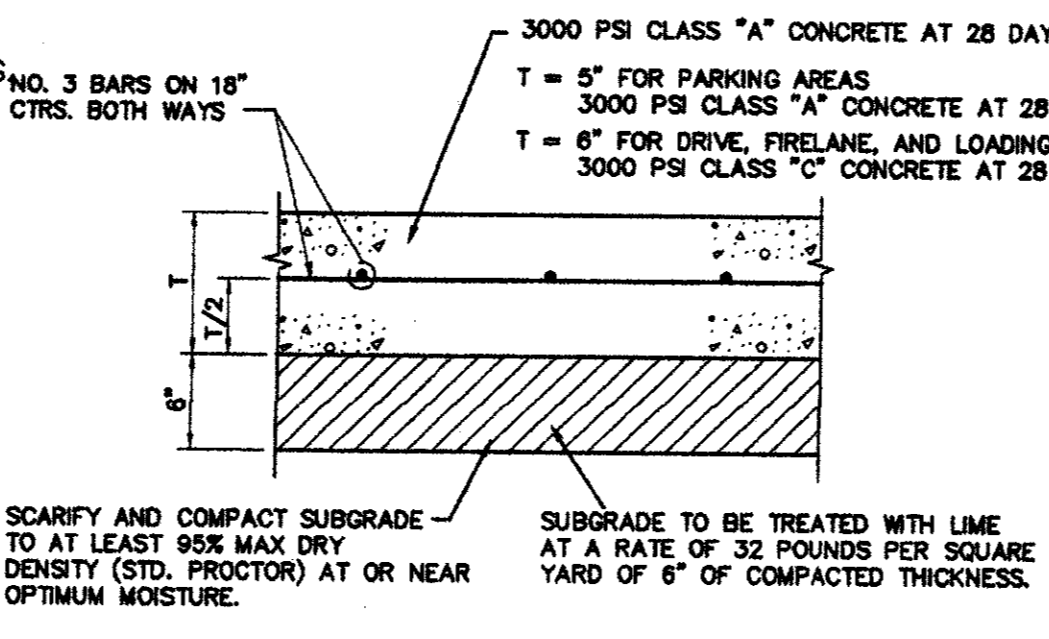
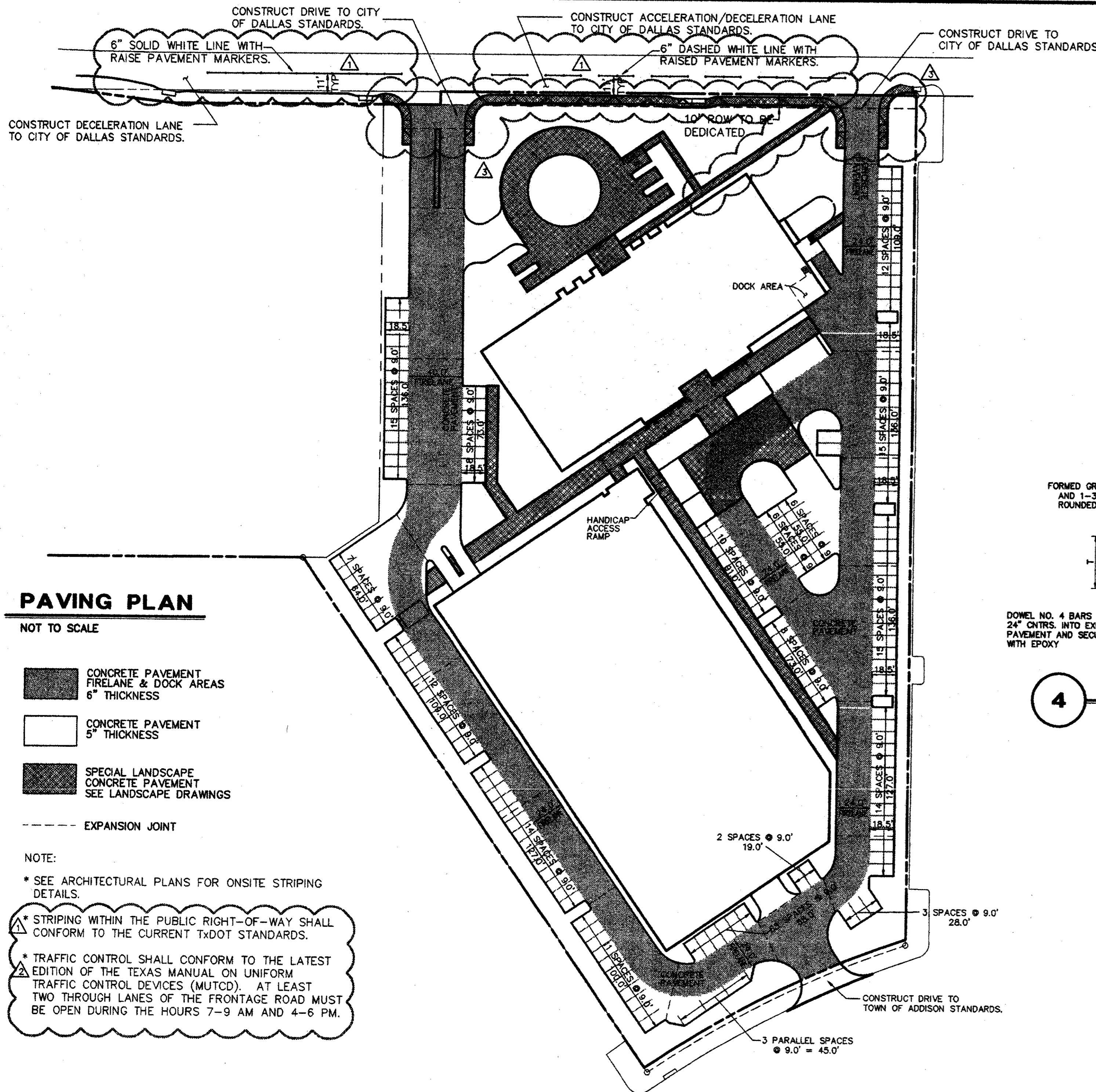
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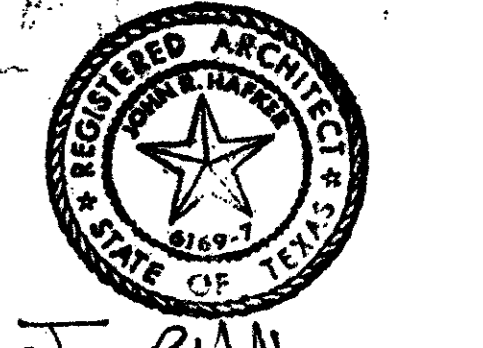




REVISION-10/22/97  
 REVISION-11/4/97  
 REVISION 3/02/98 - PR-17



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ONE HANOVER PARK OFFICE BUILDING  
 ADDISON, TEXAS

INTERVEST COMPANIES DEVELOPER  
 WILCOX DEVELOPMENT SERVICES, INC. PROJECT MANAGER

PAVING PLAN & DETAILS 9716.00

10.14.97

STATE OF TEXAS  
 STEVEN A. MARKUSSEN  
 70090  
 PROFESSIONAL ENGINEER

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REVISION-ADDED SIDEWALK 3/02/98  
 REVISION-TRAFFIC CONTROL NOTE 11/4/97  
 REVISION-STRIPING & TYPICAL SECTION 10/22/97

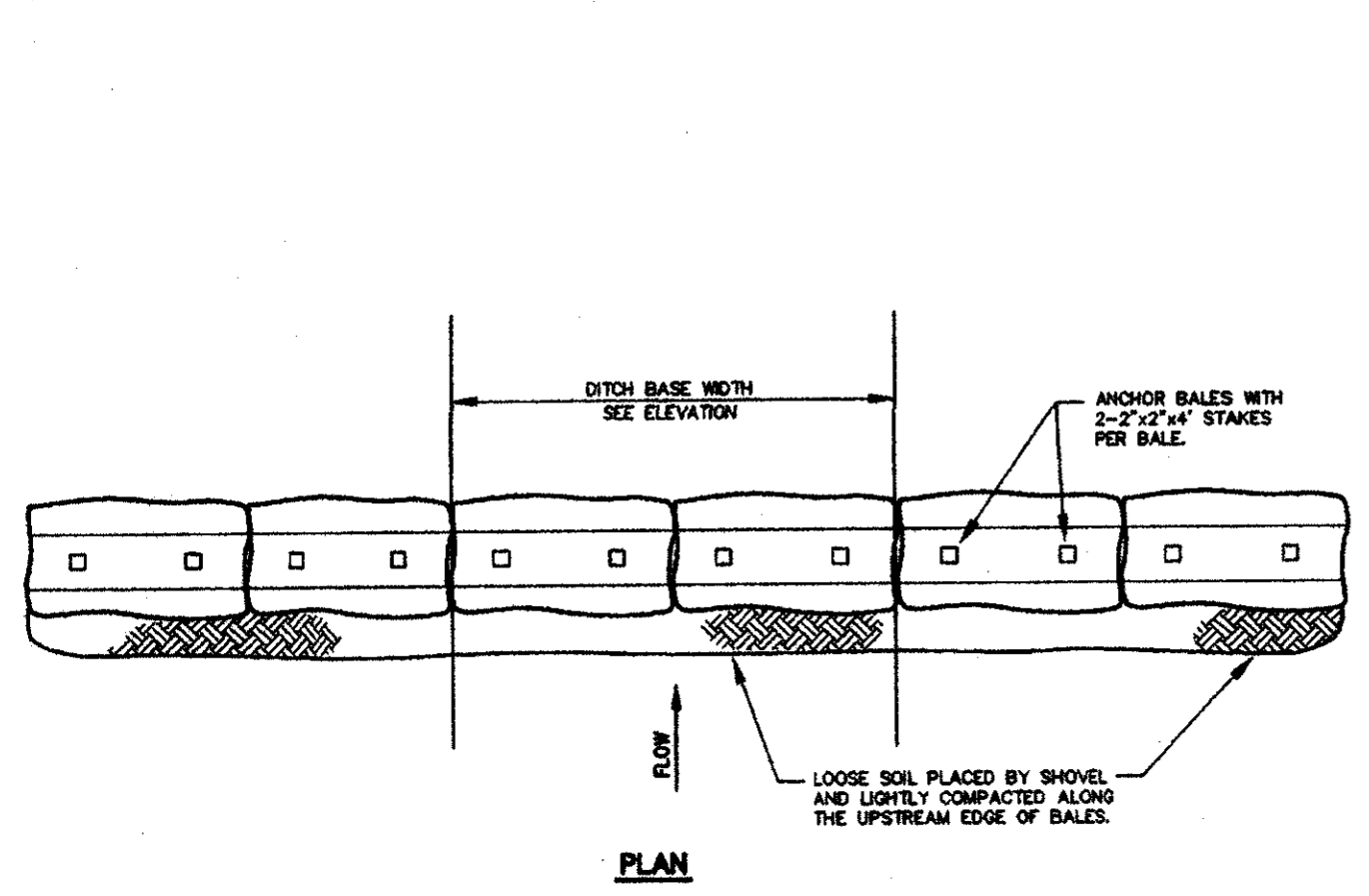
**PACHICO KOCH Consulting Engineers, Inc.** 9401 LBJ Freeway, Suite 300 Dallas, Texas 75243 (972) 236-3031  
 Civil Engineering • Land Surveying

**PAVING PLAN & DETAILS**  
**ONE HANOVER PARK**  
**N. DALLAS TOLLWAY AT EXCEL PARKWAY**  
**DALLAS COUNTY**  
**TOWN OF ADDISON, TEXAS**

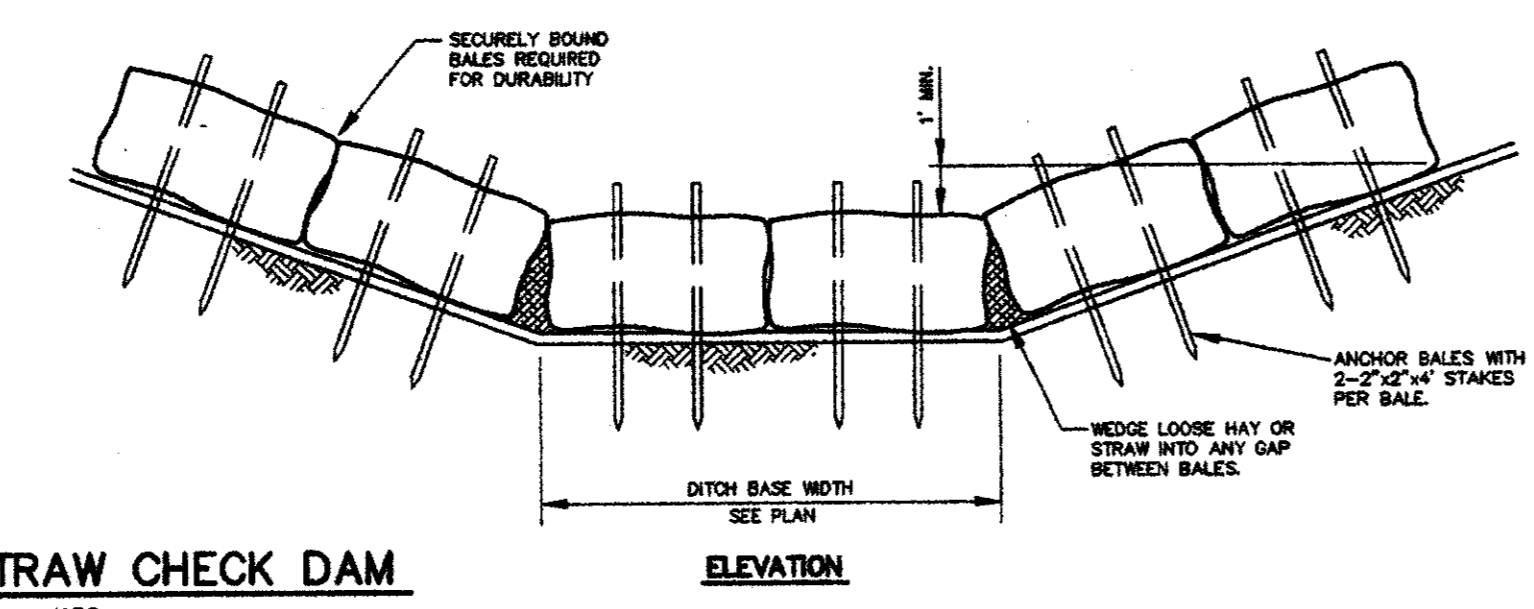
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PK NO: 1767-97.179 DWG NO: 1767-14

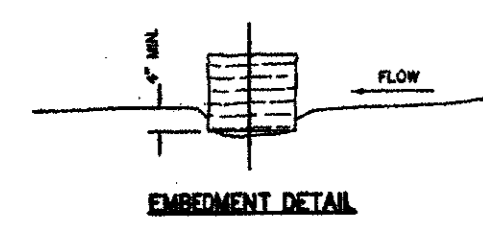
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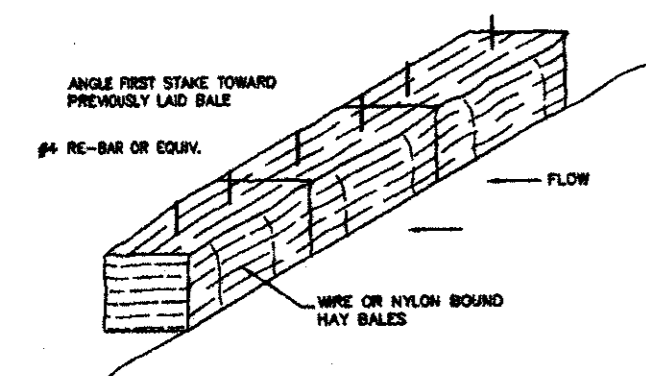
HAY OR STRAW CHECK DAM  
N.T.S.



ELEVATION

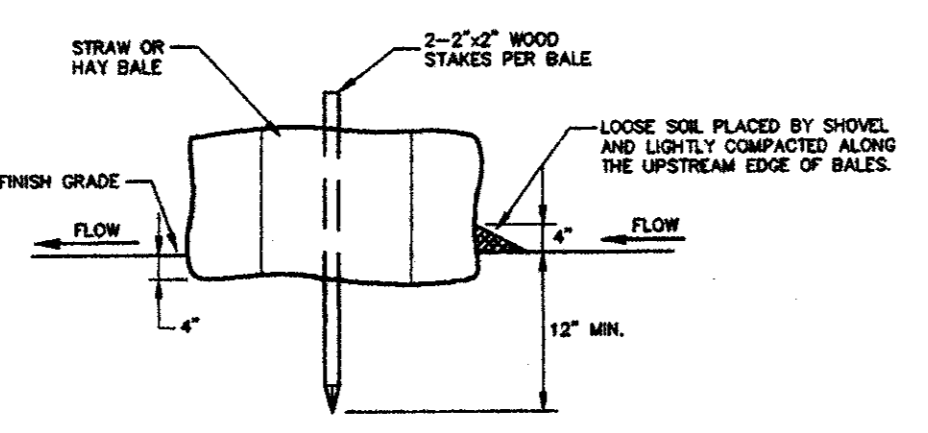


EMBANKMENT DETAIL

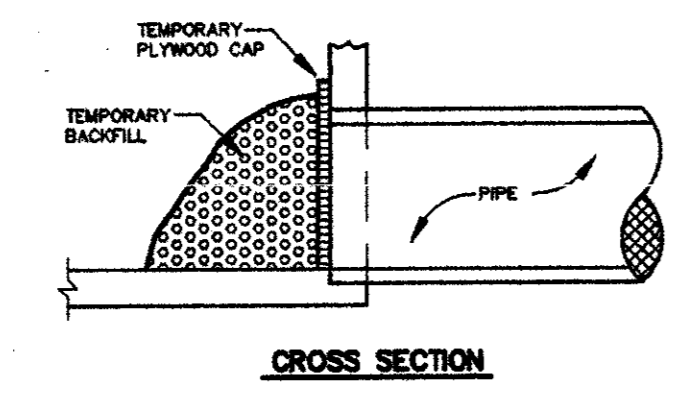


ANCHORING DETAIL

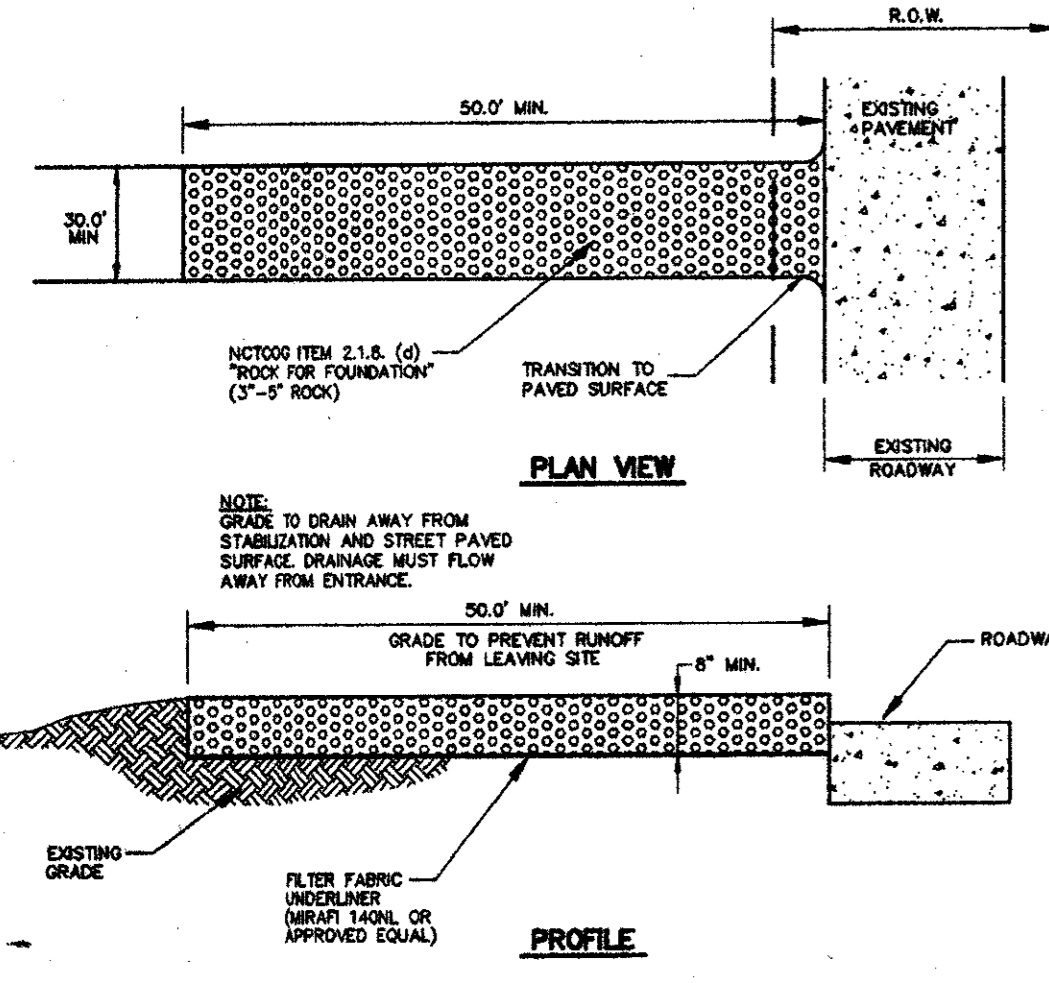
NOTE: CONTRACTOR TO PROVIDE EROSION CONTROL MEASURES ALONG THE BORDERS OF THE SUBJECT TRACT OF LAND. THE CONTRACTOR MAY USE EITHER THE HAY BALE, AS SHOWN, OR SILT FENCE ALONG THE PROPERTY LINES, UNLESS OTHERWISE SPECIFIED.



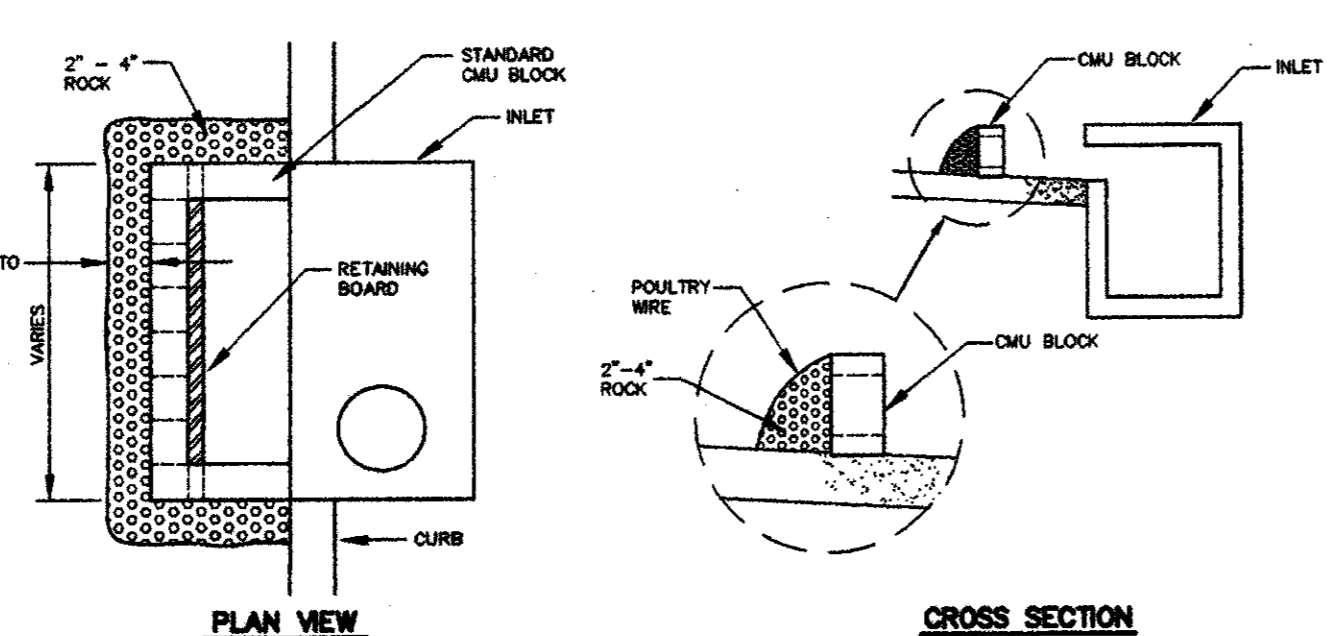
TYPICAL ENTRENCHED BALE PLACEMENT  
N.T.S.



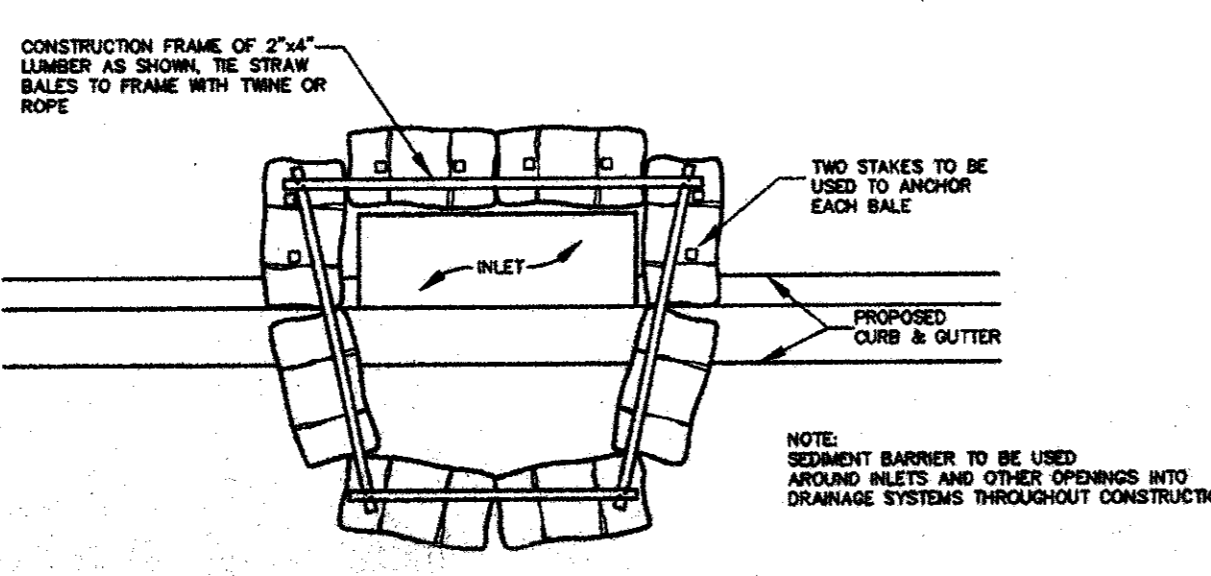
CURB INLET PROTECTION "A"  
N.T.S.



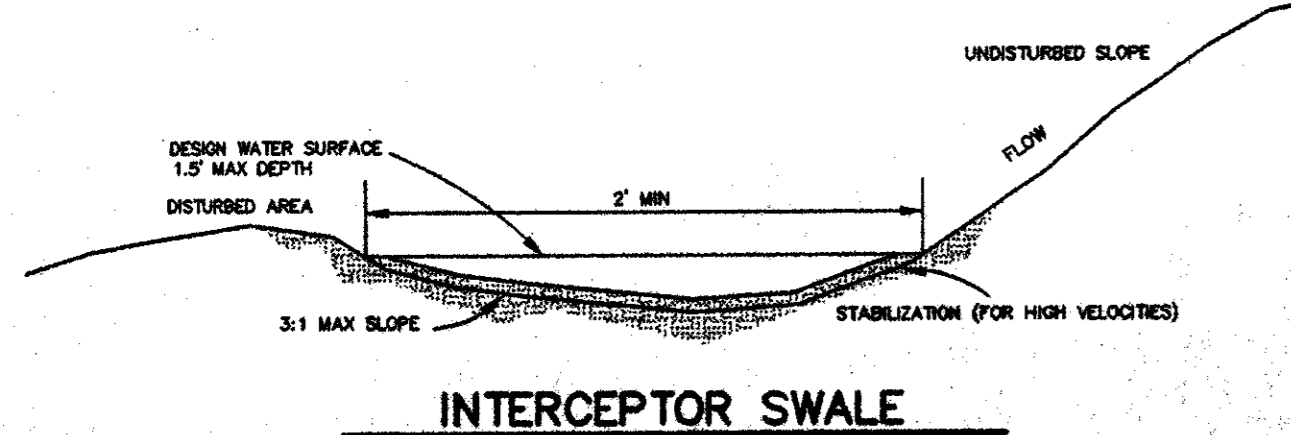
CONSTRUCTION ENTRANCE  
N.T.S.



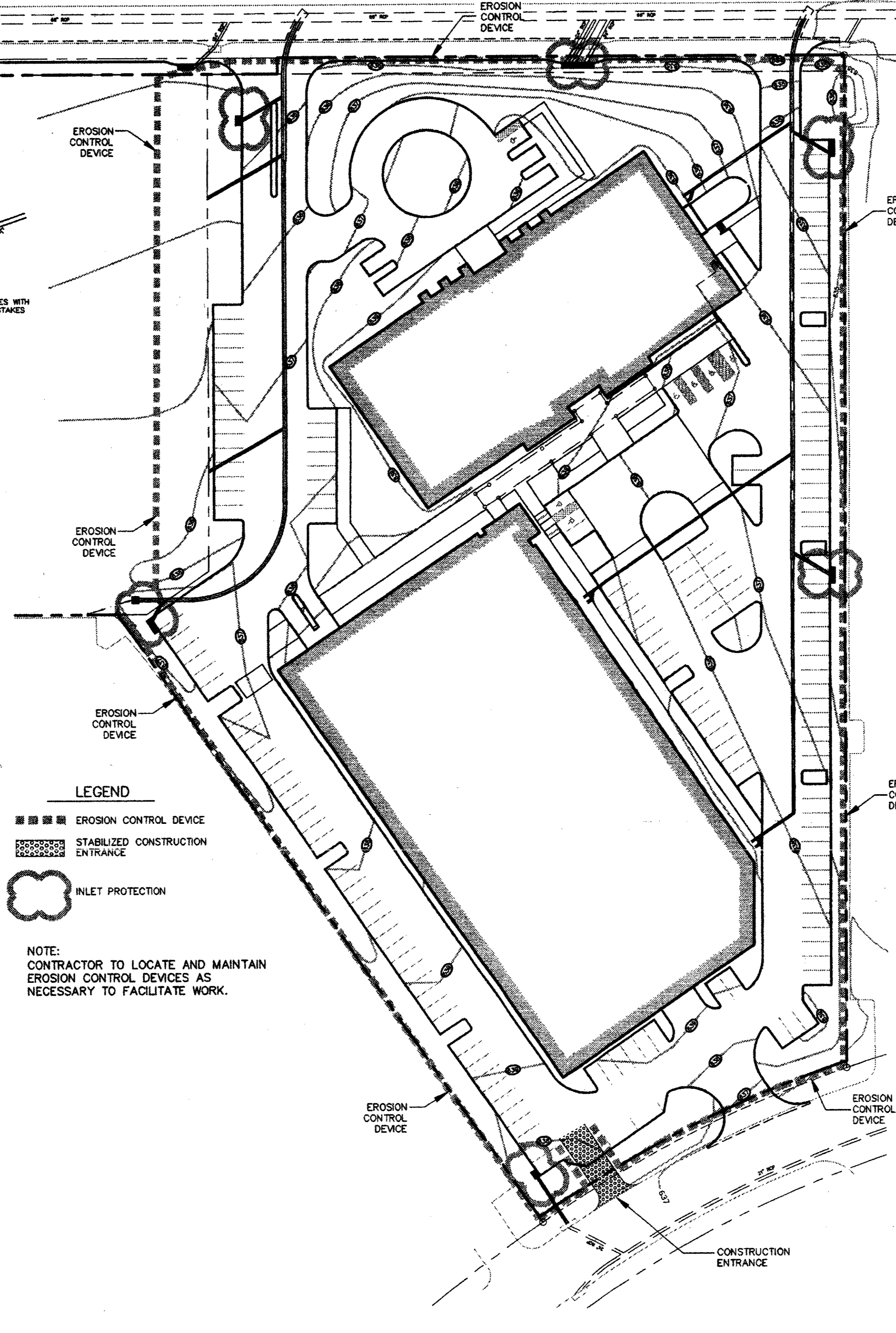
CURB INLET PROTECTION "B"  
N.T.S.



CURB INLET PROTECTION "B"  
N.T.S.

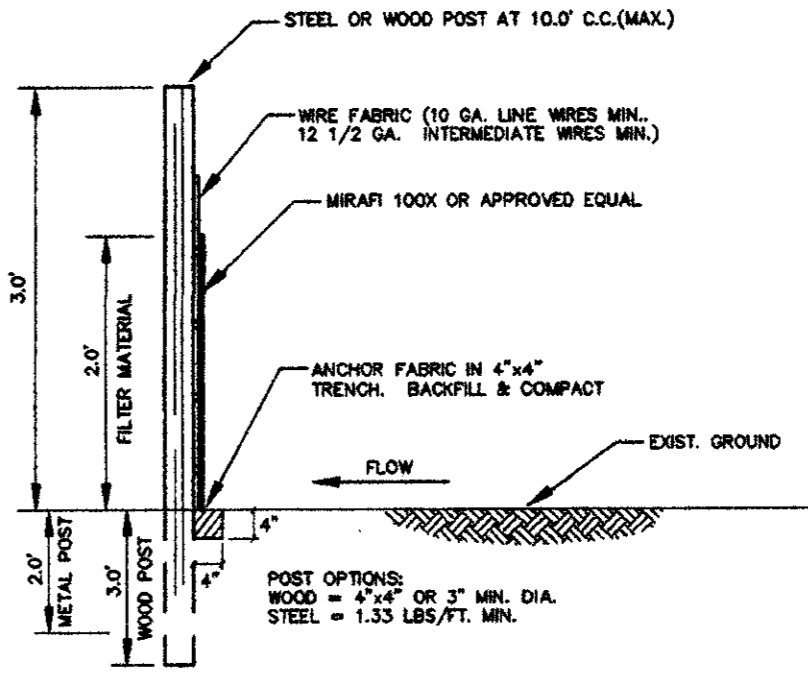


INTERCEPTOR SWALE  
N.T.S.

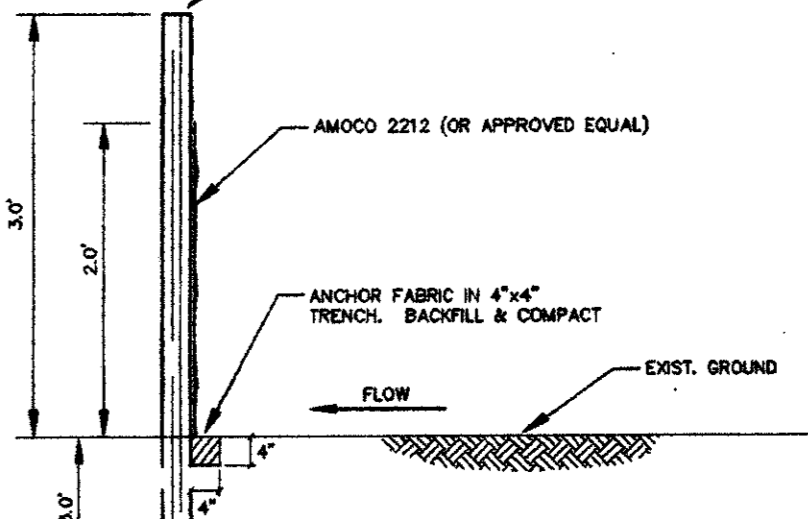


EROSION CONTROL PLAN  
N.T.S.

LEGEND  
EROSION CONTROL DEVICE  
STABILIZED CONSTRUCTION ENTRANCE  
INLET PROTECTION  
NOTE: CONTRACTOR TO LOCATE AND MAINTAIN EROSION CONTROL DEVICES AS NECESSARY TO FACILITATE WORK.



HIGH FLOW SILT FENCE DETAIL:  
TYPICAL TEMPORARY FILTER WITH WIRE FABRIC  
N.T.S.



LOW FLOW SILT FENCE DETAIL:  
TYPICAL TEMPORARY FILTER WITHOUT WIRE FABRIC  
N.T.S.

POLLUTION CONTROL GENERAL NOTES

1. The Erosion Control Plan details and other details provided in the Construction Best Management Practices (CBMP) Manual published by the North Central Texas Council of Governments (NCTCOG) are to be used in conjunction with the Storm Water Pollution Prevention Plan (SWPPP) to provide means to prevent or minimize pollution of storm water.
2. The construction activity included in this plan will include:
  - A. Clearing and Grubbing
  - B. Rough Grading
  - C. Final Grading
  - D. Utility Installation
  - E. Pavement Installation
  - F. Building Construction
3. The total estimated land area to be disturbed is 5.5 acres.
4. The estimated runoff coefficient upon completion of the project is 0.90.
5. The storm water exiting the site is collected by a storm sewer system and a drainage course maintained by the City of Dallas, Texas.
6. The soils on the site are generally expansive clays.
7. The Contractor shall provide erosion protection along the perimeter of the site, at the construction entrance, and at all inlet mouths prior to soil disturbing activities and until the site has been stabilized. These sediment control devices shall be in place at the end of each workday.
8. The Contractor will remove all excess soil from construction vehicles prior to exiting the site.
9. All disturbed areas which will not be re-disturbed for a minimum of 21 days must be stabilized by the Contractor to control erosion.
10. The Contractor shall undertake proper methods to reduce dust generation from the site.
11. The Contractor must comply with Federal, State and local regulations regarding sediment and erosion control.
12. A copy of the Storm Water Pollution Prevention Plan (SWPPP) must be kept at the construction facility during the entire construction period.
13. Construction sequencing must provide for the excavation of an on-site basin as a sediment collection basin to the disturbance of greater than 10 acres of land.
14. All finished grades are to be spot sodded, spot seeded or watered until growth is established on all soils.
15. All pits or wash out basins constructed on-site by the contractor for the wash out of concrete trucks.
16. A berm or other soil protection measure shall be used for any temporary fuel storage tank on site.
17. If "sump" pumps are used to remove water from excavated areas, filter the discharge to remove sediment and other pollutants before the water leaves the site.
18. To prevent damage to downstream water courses, limit any proposed line stabilization operations to that which can be mixed and compacted by the end of each work day. Geotextile fabric is not effective in filtering line since the grain size is smaller than the opening in the fabric.
19. Vehicle parking areas, staging areas, stockpiles, spoils, etc. shall be located such that they will not adversely affect storm water quality. Otherwise, covering or enclosing the areas with protective measures shall be necessary.
20. Store all trash and building materials waste in an enclosure until proper disposal at off-site facilities.

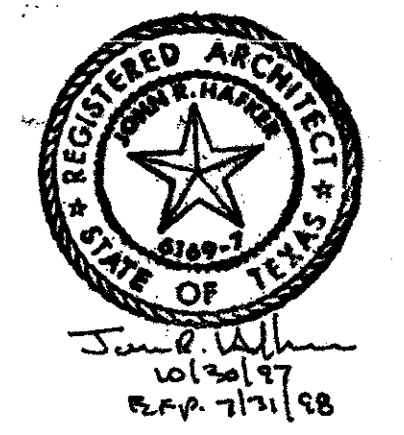
EROSION CONTROL DEVICE LIMITS WERE REVISED PER TOWN OF ADDISON COMMENTS 10/20/97.

REVISD 10/14/97  
REVISD PLAN 10/24/97

C-5

PACHECO KOCH Consulting Engineers, Inc.		9401 LBJ Freeway, Suite 300 Dallas, Texas 75243 (972) 236-3031				
Civil Engineering • Land Surveying						
STEVEN A. MARKUSSEN 70090 PROFESSIONAL ENGINEER						
STORM WATER POLLUTION CONTROL DETAILS						
ONE HANOVER PARK						
N. DALLAS TOLLWAY AT EXCEL PARKWAY						
TOWN OF ADDISON, TEXAS						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
SAM	TDH	9/30/97	AS NOTED			

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ONE HANOVER PARK OFFICE BUILDING ADDISON, TEXAS

INTERVEST COMPANIES DEVELOPER  
WILCOX DEVELOPMENT SERVICES, INC. PROJECT MANAGER

STORM WATER POLLUTION CONTROL DET.

EARLY ISSUE 9.5.97

Handwritten marks and symbols at the top right of the page.

B5-4  
16633 DALLAS PKWY  
ONE HANOVER PARK  
9/24/98 AS-BUILT



100% CONTRACT DOCUMENTS

ONE HANOVER PARK  
OFFICE BUILDING AND OPEN PARKING GARAGE

ADDISON, TEXAS

OMNIPLAN PROJECT NO. 9716.00

INTERVEST COMPANIES  
DEVELOPER

WILCOX DEVELOPMENT  
SERVICES, INC.  
PROJECT MANAGER

ISSUED 14 OCT. 1997

**OMNIPLAN**

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SCHMIDT & STACY  
MECHANICAL ENGINEERS DALLAS

TT/ET  
STRUCTURAL ENGINEERS DALLAS

SWA GROUP  
LANDSCAPE CONSULTANTS DALLAS

PACHECO KOCH  
CIVIL ENGINEERS DALLAS

PMK  
ACCOUSTICAL ENGINEERS DALLAS

DESHAZO, TANG & ASSOC  
TRAFFIC ENGINEERS DALLAS

DELIVER TO:

**MATERIAL INDICATIONS**

**SECTION**

	BRICK		SPRAYED MATERIAL		STEEL LARGE SCALE
	GRANULAR FILL		GYPSUM BOARD		ALUMINUM LARGE SCALE
	EARTH		LATH AND PLASTER		METAL SMALL SCALE
	CONCRETE		SEALANT BACKER ROD		GLASS
	CMU		PLYWOOD LARGE SCALE		CERAMIC TILE LARGE SCALE
	BLANKET INSULATION		MILLWORK LARGE SCALE		STONE
	RIGID INSULATION		ROUGH CUT WOOD		MARBLE
	ACOUSTICAL BOARD				

**PLAN AND ELEVATION**

	CEMENT PLASTER		GLASS		PANELING
	METAL		BRICK CMU		

**NOTATIONS**

**09** DETAIL NUMBER

- 3.112A ROOM NUMBER
- 3.112A DOOR NUMBER
- 2 WINDOW NUMBER
- BL1 BORROWED LITE
- 14 COLUMN TAG
- L LOUVER
- E ELEVATION
- △ CONTROL JOINT
- ▲ EXPANSION JOINT
- △ REVISION NUMBER
- A ACCESSORY
- L SIGN TYPE - REFERENCE PROJECT MANUAL AND SHEET 7.0

**REFERENCE SYMBOLS**

SECTION/DETAIL NUMBER

SHEET NUMBER

WALL SECTION

BUILDING SECTION

ELEVATION

DETAIL SECTION

ENLARGED DETAIL

PARTITION TYPE

ENLARGED PLAN/SECTION

DETAIL TITLE

SCALE: 1/4" = 1'-0"

(4.1) ← INDICATES SHEET WHERE DETAIL IS REFERENCED FROM (WHEN NOTED)

**Regulatory Requirement Highlights**

The Town of Addison Texas is the Primary Local Regulatory Review and Permit Entity. The City of Dallas is the Secondary Local Regulatory Review and Permit Entity for certain Utility Taps, Curb Cuts, and other minor work along Dallas Parkway.

1991 UBC (Uniform Building Code)

Town of Addison local amendments including but not necessarily limited to window markings, corridor doors, exterior door hardware, waste disposal, construction times adjacent to apartments, building identification, as well as Plumbing, Mechanical, and Electrical requirements.

1991 UMC (Uniform Mechanical Code).

1991 UPC (Uniform Plumbing Code).

1990 NEC (National Electrical Code).

1991 UFC (Uniform Fire Code) with local amendments.

TAS (Texas Accessibility Standards) - current edition in effect.

Americans with Disabilities Act (ADA), 28 CFR Part 35 Nondiscrimination on the Basis of Disability in State and Local Government Services, Final Rule, as published in the Federal Register - Friday, July 26, 1991.

ACI 318-89, Building Code Requirements for Reinforced Concrete, The American Concrete Institute.

AISC, Specification for the Design, Fabrication and Erection of Structural Steel for Buildings, The American Institute of Steel Construction, current edition in effect.

NPDES (National Pollution Discharge Elimination System) requirements governing Storm Water runoff for projects 5.0 acres or more. NOI (Notice of intent) and permit shall be jointly filed by Owner and Contractor.

FAA No Hazard to Air Navigation Application and Certificate required.

**Building Code Analysis Highlights**

**Building Construction Type**  
8 Story Office Building is Type 1 Construction  
3 Level Open Parking Garage is Type II-N Construction

**Occupancy Type**  
8 Story Office Building is B-2 Occupancy.  
3 Level Open Parking Garage is B-3 Occupancy.  
Office Building and Parking Garage are separated by 30 feet, therefore no fire rated separation is required.

**Fire Protection and Life Safety**  
8 Story Office Building is fully sprinklered.  
3 Level Open Parking Garage is Drypipe Sprinklered on Levels 1 & 2 (not sprinklered on top Level 3, regardless of whether Level 3 Canopy roof occurs or not). Standpipes also required at each stairway and midpoint horizontal distance between stairways.  
24 foot wide Fire Lane is provided where indicated on Site Plan Sheet 1.0. Turning radii are 50' ft outside, 26' ft inside.  
6 Fire Hydrants are located on the site per Site Plan Sheet 1.0.  
Fire Department Connections are located remote from both the Office Building and the Parking Garage at locations previously agreed upon by the Town of Addison. See Site Plan Sheet 1.0.  
Electromagnetic Hold Open Elevator Lobby Doors in Office Building on Levels 3-8 will be of the "Traffic Door" (each leaf swings in each direction) type, solid core, non fire rated, with smoke and draft seals.  
Other doors in Z-corridors on typical floors (with the exception of the 2 hour doors to stairways) also do not have to be fire rated, but simply be solid core, with smoke and draft seals.  
Office Building Stair Pressurization will be via Barometric Damper Relief method described in 1991 UBC Code section 3310(b) Exception 1 for Fully Sprinklered Buildings.  
Office Building Smoke Evacuation will be via labeled breakout windows (i.e. NOT a mechanical system).  
Area of Rescue Assistance and Areas of Refuge not required in Fully Sprinklered Buildings.  
Fire Alarm System will be as specified in Specification Section 16721 (14 Oct 97 Package).

10/14/97 MISCELLANEOUS REVISIONS

**NON-LOAD BEARING CMU LINTEL SCHEDULE**

WALL THICKNESS	CLEAR SPAN	LINTEL DEPTH	BOTTOM REINF.	TOP REINF.
6"	UP TO 4'-0"	8"	1 - #5	
6"	6'-0"	8"	1 - #5	
8"	UP TO 4'-0"	8"	2 - #3	
8"	6'-0"	8"	2 - #4	
8"	8'-0"	16"	2 - #4	2 - #4
8"	10'-0"	16"	2 - #4	2 - #4
12"	UP TO 4'-0"	8"	2 - #4	
12"	6'-0"	8"	2 - #5	
12"	8'-0"	16"	2 - #5	2 - #4
12"	10'-0"	16"	2 - #5	2 - #4

- Notes:**
- Grouted lintel (trough) blocks shall extend 8" beyond face of opening each side.
  - Openings wider than 6'-0" shall have the first vertical cell each side filled with grout up to the lintel bearing level.
  - Top bars shall be held in place with #2 closed stirrups spaced @ 16" o.c.
  - Precast Concrete lintels of the same size and length may be substituted except that top bars shall be provided equal to scheduled bottom bars.

**Description of Bid Alternates**

NONE

**General Notes**

- The General Contractor shall be aware that the front property line is coincident with the boundary line between the Town of Addison and the City of Dallas. Some work, such as utility taps, landscaping, landscaping irrigation, and curb cuts may require permits and inspections from both the Town of Addison and the City of Dallas.
- The General Contractor shall be responsible for all permits and fees required by the Town of Addison and the City of Dallas (the latter for work along Dallas Parkway).
- The Contractor shall be responsible to submit an application to the FAA for a No Hazard to Air Navigation Certificate for the height of his construction crane which is limited to an envelope of 170 feet above datum elevation 645.00. The Owner will already have submitted an application for the office building.
- The Architect will submit Contract Documents to appropriate authorities for Handicap accessibility and ADA review and approval.
- The General Contractor and the Owner shall together submit a NOI (Notice of Intent) to satisfy NPDES (Storm Water Requirements) since this project is more than 5.0 acres.
- The General Contractor shall obtain Noise Control regulations from the Town of Addison prior to construction which stipulates the time of day construction activities are allowed on sites that are adjacent to apartment complexes. Construction activity is not allowed between the hours of 7 pm and 7 am Monday through Friday, and between the hours of 7pm and 8 am Saturday and Sunday.
- The Contractor shall dispose of waste in the proper manner as required by the Town of Addison. Refuse containers are required. The site is to remain clean and free of rubbish and debris.
- The Contractor shall maintain an approved all weather temporary fire lane during construction (not required for Early Issue Package) capable of supporting a 50,000 lb vehicle.
- The Contractor's temporary construction fence shall meet Town of Addison requirements for emergency vehicle access.
- Refer to Cover Letter in the Project Manual as well as Project Manual "Special Conditions" for other pertinent issues such as Geotechnical Report status, Phase I Environmental Report, Zoning, Final Plat, and Addison Road Future Drainage Issue.
- Whenever specifications require pre-engineered systems, or require engineering of other systems, or require engineering of certain components of systems, then the design calculations that are to be submitted for the record will require a seal of a Professional Engineer registered in the State of Texas.
- The Architect's seal on Consultant Documents only indicates that the Architect has reviewed the consultant's work and has coordinated it with the overall project.

**General Overall Project Description**

- New 8 Story High Rise Office Building (Fully Sprinklered)**  
Partially Post Tension Concrete Frame, Precast Concrete Facade with Curtainwall Infill and Modified Bitumen Roof System.
- New 3 Level Open Parking Garage (Levels 1 & 2 Sprinklered)**  
Post Tensioned CIP Concrete Structure with Cast in Place Facade
- Site Work**  
Civil (Grading, Utilities), Landscape, and Landscape Irrigation
- Work of Owner's Separate Contracts**  
Masonry Screen Wall at Adjacent Apartment Complex

**Separate Contract Document Packages**

- Apartment Screen Wall**  
Owner's Separate Contract to construct a Masonry Screen Wall around the Apartment Complex.

**Multiple Contract Document Packages to be Issued for Permit and Construction**

- Package dated 5 Sep 97**  
Early Issue Package for Site Grading, Office Building Pad Prep, Office Building Piers, and Site Storm Drainage (the new Accel/Decel Lanes and associated relocation of existing storm drainage inlets along Dallas Parkway will be part of the work of the 14 Oct 97 package).
- Package dated 14 Oct 97**  
Final Package for Balance of the Work.

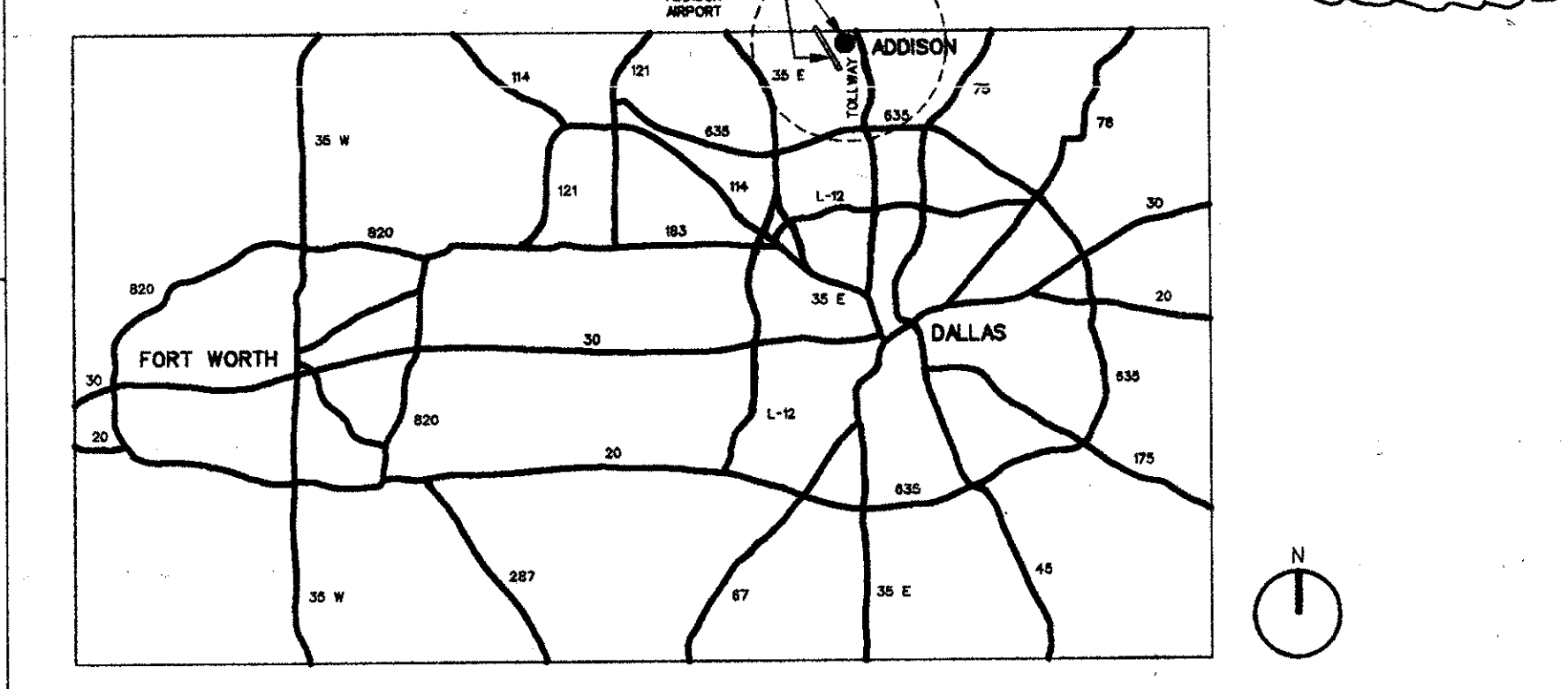
Fire Department Key (Knox) Box will be wall mounted outside the rear Office Building entry to house card key enabling Fire Department access to the building and to house key enabling Fire Department access to the Level 1 Fire Control Room 114.

Office Building Fire Control Room 114 requirements will be as follows:

- Voice Alarm and public address system panels.
- Fire Department communications panel.
- Fire Detection and alarm system, annunciator panels.
- Annunciator visually indicating the location of the elevators and whether they are operational.
- Status indicators and controls for oil handling system.
- Controls for unlocking all stairway doors simultaneously (including doors 118 and 118A).
- Sprinkler valve and water level detector display panels.
- Emergency and standby power controls and status indicators.
- Telephone for fire department use with controlled access to the public telephone system.
- Fire pump status indicators.
- As Built Building plans (NIC).
- Work table (NIC).

Appropriate signage indicating room's function.  
Be equipped with controls and gauges for the stairwell pressurization and elevator ventilation systems.  
Have a Key Box containing the following:  
Two sets of keys required to access all areas in the building, including "card keys".  
Two elevator stop keys or tools for manually opening elevator doors.  
Two elevator fire service keys per elevator cab.  
Keys to any locked fire sprinkler valves.  
Other keys as directed by Fire Department.

**Area Location Plan**



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**Project Statistical Summary**

**Office Building**

Floor	GBA in SF	Net Useable Area in SF (GBA less Core Area)
Level 1	24,599	21,644
Level 2	25,724	21,124
Level 3	25,916	23,287
Level 4	25,916	23,287
Level 5	25,916	23,287
Level 6	25,916	23,287
Level 7	25,916	23,287
Penthouse	1,669	0
Total	205,036	182,038

**Open Parking Garage**

Floor	GBA in SF	Parking Spaces
Level 1	54,744	170
Level 2	54,744	177
Level 3	54,744	180
Total	164,232	527

**Site**  
Site Area approximately 5.5 Acres.  
Parking Space Size - 9 ft x 17 ft for Parking Garage; 9ft x 18 ft for Site.  
Parking Spaces on Grade is 180. Total Parking Spaces in Garage is 527.  
Total Parking Spaces provided is 707.  
Parking Spaces required by Code is 607 (1 per 300 SF net useable).  
Landscape Coverage calculations to meet PD Zoning Documents will be included with 14 Oct 97 Package.

**OMNIPLAN**

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ONE HANOVER PARK  
OFFICE BUILDING  
ADDISON, TEXAS

INTERVEST COMPANIES  
DEVELOPER

WILCOX DEVELOPMENT  
SERVICES, INC.  
PROJECT MANAGER

GENERAL INFORMATION  
9716.00

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