

GENERAL NOTES

- ALL UTILITY WORK WITHIN THE RIGHT OF WAY OF THE TOLLWAY WILL BE GOVERNED BY THE CITY OF DALLAS. CONTRACTOR WILL KEEP A COPY OF THE UTILITY PERMIT ISSUED BY THE CITY OF DALLAS ON SITE AT ALL TIMES.
- 48 HOURS PRIOR TO BEGINNING WORK WITHIN THE RIGHT OF WAY OF THE TOLLWAY, CONTRACTOR MUST INFORM THE CITY OF DALLAS TRANSPORTATION DEPARTMENT. CONTRACTOR WILL CONTACT:
RUSSELL FINELY
214.957.1036 (MOBILE PHONE)
214.670.5896 (OFFICE)
ALL TRAFFIC CONTROL WILL BE SUBJECT TO THE INSPECTION AND APPROVAL OF THE CITY OF DALLAS.
- ALL UTILITY WORK WITHIN THE RIGHT OF WAY OF ADDISON ROAD WILL BE GOVERNED BY THE TOWN OF ADDISON. CONTRACTOR WILL KEEP A COPY OF THE ROW/EXCAVATION PERMIT ISSUED BY THE TOWN OF ADDISON ON SITE AT ALL TIMES.
- ALL UTILITY, STREET AND DRAINAGE WORK NOT WITHIN THE RIGHT OF WAY OF THE TOLLWAY WILL COMPLY WITH THE TOWN OF ADDISON STANDARDS AND SPECIFICATIONS. ALL WORK WILL BE INSPECTED AND APPROVED BY THE TOWN OF ADDISON PUBLIC WORKS DEPARTMENT.
- TRAFFIC CONTROL ON ADDISON ROAD WILL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

KEYED NOTES

- MODULAR BLOCK PAVERS (SIDEWALK), SEE SHEET C3.3 AND C3.4.
- MODULAR BLOCK PAVERS (PAVEMENT), SEE SHEET C3.3 AND C3.4.
- MODULAR BLOCK PAVERS (ADA COMPLIANT), SEE SHEET C3.3 AND C3.4.
- FORMED CONCRETE CURB, SEE DETAIL C2.1-08.
- HEAVY-DUTY CONCRETE PAVING AND TURN DOWN EDGE, SEE DETAIL C2.1-02 AND C2.1-04.
- SERVICE RAMP, SEE DETAIL C2.1-09.
- 4" CONTRASTING COLORED MODULAR BLOCK PAVERS, SEE SHEET C3.3 AND C3.4.
- CONCRETE TRANSFORMER PAD AND POSTS PER LOCAL UTILITY SPECIFICATIONS.
- SITE LIGHT, SEE SHEET C4 AND DETAIL C4.1-05.
- SITE SIGN (POLE), ALL SIGNAGE SHALL COMPLY WITH THE TOWN OF ADDISON REQUIREMENTS. VERIFY SIZE AND EXACT LOCATION WITH SIGN COMPANY REPRESENTATIVE.
- SITE SIGN (MONUMENT), ALL SIGNAGE SHALL COMPLY WITH THE TOWN OF ADDISON REQUIREMENTS. VERIFY SIZE AND EXACT LOCATION WITH SIGN COMPANY REPRESENTATIVE.
- TRASH ENCLOSURE, SEE SHEET A4.2 AND S1.0.
- LANDSCAPING OR LAWN AREA, SEE LANDSCAPE PLANS.
- AREA TO MEET ADA AND LOCAL ACCESSIBILITY CODES AND REQUIREMENTS. PAVEMENT AT HANDICAP SPACES SHALL SLOPE UP TO SIDEWALK ELEVATION. SEE DETAIL C2.1-05. SEE SHEET C3 FOR TOP AND BOTTOM CURB ELEVATIONS. PROVIDE 6" LONG CONCRETE BUMPER BLOCKS AT HANDICAP PARKING SPACES AND OTHER NOTED PARKING SPACES, SECURE WITH 2 #4 RODS, 4' LONG.
- GENERAL CONTRACTOR TO PROVIDE AND INSTALL (5) POSTS FOR HANDICAP PARKING SIGNS. SIGNS PROVIDED BY GENERAL CONTRACTOR TO MEET ALL LOCAL REQUIREMENTS, SEE DETAIL C2.1-07.
- TAPER LAST 10' OF 6" CONCRETE CURB FROM TYPICAL CURB DETAIL TO MEET AND MATCH CONFIGURATION AND ELEVATION OF EXISTING ADJOINING CURB OR PAVEMENT.
- DRIVEWAY TIE-IN (CONCRETE ROAD), SAWCUT EDGE OF EXISTING PAVING 2'0" FROM BACK OF CURB. APPROACH IS TO MEET AND MATCH EXISTING ROAD PAVING. ALL WORK IS TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING REGULATIONS.
- DRIVEWAY TIE-IN (ASPHALT ROAD), SEE DETAIL C2.1-04. SAW CUT A CLEAN EDGE AND REPAIR EXISTING ASPHALT AS NECESSARY. APPROACH IS TO MEET AND MATCH EXISTING ROAD PAVING. ALL WORK IS TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING REGULATIONS.
- 12' WIDE CONCRETE TURNLANE, SEE HEAVY-DUTY DETAIL C2.1-02 FOR PAVEMENT DETAIL AND C2.1-11 FOR TURNLANE SECTION.
- 5' WIDE CONCRETE SIDEWALK, SEE DETAIL C2.1-01.
- MODULAR BLOCK PAVERS (FIRE LANE), SEE SHEET C3.3 AND C3.4.
- CONCRETE DRIVE APPROACH, SEE DETAIL C2.1-02.
- 24 FOOT ACCESS EASEMENT TO BE FILED UNDER SEPARATE INSTRUMENT BY OTHERS.
- 20 FOOT DRAINAGE EASEMENT.
- DRAINAGE EASEMENT.
- MONOLITHIC CONCRETE CURB (CONCRETE PAVING ONLY), SEE DETAIL C2.1-10.
- MODULAR BLOCK PAVERS (PAVEMENT), SEE SHEET C3.3 AND C3.4. COLOR TO MATCH ADA COMPLIANT RAMPS. LAYING PATTERN TO BE DIFFERENT THAN ADJACENT PAVEMENT.

PARKING TABULATION

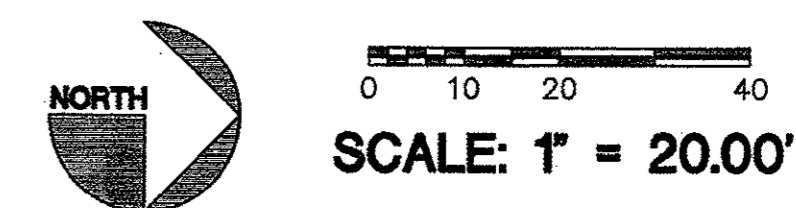
REQUIRED PARKING	1 PARKING SPACES PER 70 SF 10,120 SF / 70 = 144.6 = 145 REQUIRED
PARKING PROVIDED	140 SPACES + 5 H.C. SPACES 145 PARKING SPACES TOTAL

STAKING NOTES

- THE BUILDING AND PARKING ARE PARALLEL AND PERPENDICULAR TO EAST/WEST AND SOUTH PROPERTY LINES.
- ALL EXISTING CONDITIONS, TOPOGRAPHY, UTILITIES, EASEMENTS & LEGAL DESCRIPTION IS AS TAKEN FROM A SURVEY OF LAND SITUATED IN CITY OF ADDISON, DALLAS COUNTY, TEXAS AS PREPARED BY:
VESELKA, MYCOSKIE & ASSOCIATES
200 E. ABRAM STREET
ARLINGTON, TEXAS 76010
817.467.1671
- NOTIFY OWNER OF ANY DISCREPANCIES FOUND.
- ALL RADII ARE 3.0' UNLESS NOTED.
- ALL DIMENSIONS ARE TO FACE OF CURBS UNLESS OTHERWISE NOTED.
- REGULAR PARKING STALLS ARE 8.5' x 17.0'.
- HANDICAP PARKING STALLS ARE 8.0' x 17.0'.

SITE DATA

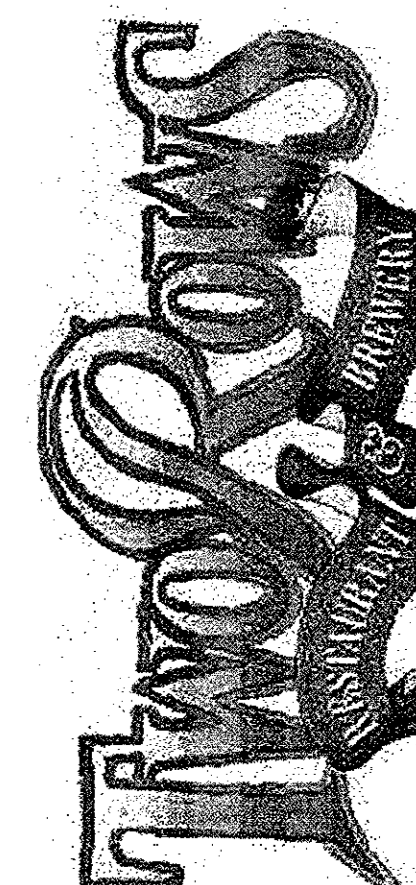
PROPERTY OWNER: TWO ROWS ADDISON, L.P.
PROPOSED USE: RESTAURANT
ZONING DISTRICT: LR
ADJACENT ZONING CLASSIFICATION:
NORTH: LR
SOUTH: LR
EAST: -
WEST: R-1 / PD
BUILDING SETBACK:
FRONT YARD..... 25 FEET
REAR YARD..... 25 FEET
SIDE YARD..... 15 FEET
PARCEL SIZE: 73,984 SF (1.70 ACRES)
BUILDING AREA: 10,120 SF
GREEN AREA: 16,405 SF (22% COVERAGE)
IMPERVIOUS AREA: 47,459 SF
BUILDING HEIGHT: 25'-0"
NO. OF STORIES: 1



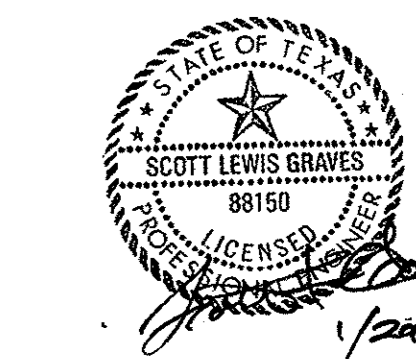
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Miami

expesite.com



17225 Dallas Parkway
Addison, TX



REVISIONS
1 12/19/02 (City)
2 01/24/03 (City)

PROTOTYPE

STORE NUMBER

WD PROJECT NUMBER
0000.659-00

C2.0

SITE PLAN