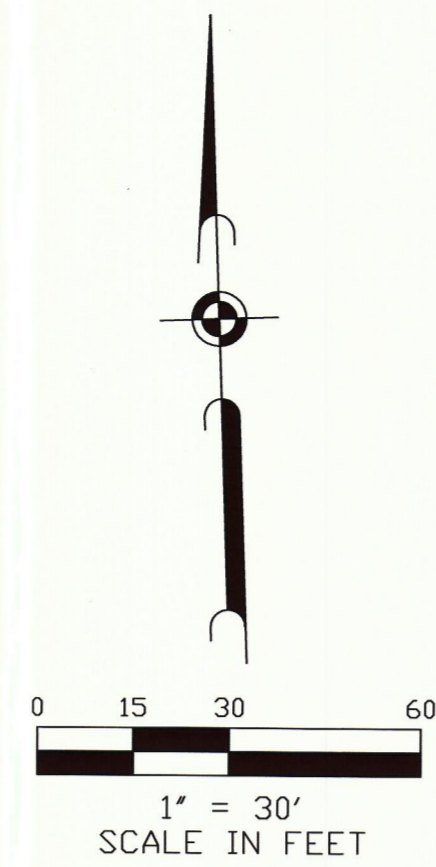


VICINITY MAP  
(NOT TO SCALE)



**ABBREVIATIONS**

- VOL. - DEED VOLUME
- PG. - DEED PAGE
- I.R.F. - IRON ROD FOUND
- C.I.R.F. - CAPPED IRON ROD FOUND
- C.I.R.S. - CAPPED IRON ROD SET "VMA"
- P.O.B. - POINT OF BEGINNING
- D.R.D.C.T. - DEED RECORDS OF DALLAS COUNTY, TEXAS
- P.R.D.C.T. - PLAT RECORDS OF DALLAS COUNTY, TEXAS

**OWNERS CERTIFICATE**

STATE OF TEXAS )  
COUNTY OF DALLAS )

WHEREAS TWO ROWS ADDISON, L.P., A TEXAS LIMITED PARTNERSHIP, IS THE OWNER OF A 1.824 ACRE TRACT OF LAND SITUATED IN THE ELI SHEPHERD SURVEY, ABSTRACT NUMBER 1361, CITY OF ADDISON, DALLAS COUNTY, TEXAS, AND BEING ALL OF THAT CERTAIN TRACT OF LAND DESCRIBED IN THE SPECIAL WARRANTY DEED WITH VENDORS LIEN TO TWO ROWS ADDISON, L.P., A TEXAS LIMITED PARTNERSHIP RECORDED IN VOLUME 2003052, PAGE 110, DEED RECORDS, DALLAS COUNTY TEXAS; SAID 1.824 ACRE TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2 INCH IRON ROD FOUND IN THE EAST RIGHT-OF-WAY LINE OF ADDISON ROAD, A 60 FOOT RIGHT-OF-WAY, AND OCCUPYING THE SOUTHWEST CORNER OF LOT 1, PARK TREE NORTH ADDITION, AN ADDITION TO THE CITY OF ADDISON AS RECORDED IN VOLUME 78190, PAGE 948, DEED RECORDS, DALLAS COUNTY, TEXAS;

THENCE SOUTH 89 DEGREES 56 MINUTES 59 SECONDS EAST (BEARING BASIS), WITH THE SOUTH LINE OF SAID PARK TREE NORTH ADDITION, PASSING A 1/2 INCH IRON ROD FOUND AT A DISTANCE OF 345.48 FEET, AND CONTINUING IN ALL A TOTAL DISTANCE OF 350.29 FEET TO A 5/8 INCH CAPPED IRON ROD FOUND STAMPED "RPLS 4838"; SAID POINT BEING IN THE WEST RIGHT-OF-WAY LINE OF DALLAS PARKWAY, A 200 FOOT RIGHT-OF-WAY AT THIS POINT;

THENCE SOUTH 02 DEGREES 03 MINUTES 40 SECONDS WEST, WITH SAID WEST RIGHT-OF-WAY LINE, AND WITH THE EAST LINE OF THE HEREIN DESCRIBED TRACT, A DISTANCE OF 232.99 FEET TO A 5/8 INCH CAPPED IRON ROD FOUND STAMPED "RPLS 4838";

THENCE NORTH 87 DEGREES 58 MINUTES 16 SECONDS WEST, DEPARTING SAID WEST RIGHT-OF-WAY LINE, AND WITH THE SOUTH LINE OF THE HEREIN DESCRIBED TRACT, A DISTANCE OF 349.99 FEET TO A 5/8 INCH CAPPED IRON ROD FOUND STAMPED "RPLS 4838" IN THE EXISTING EAST RIGHT-OF-WAY LINE OF SAID ADDISON ROAD;

THENCE NORTH 02 DEGREES 02 MINUTES 23 SECONDS EAST, WITH SAID EAST RIGHT-OF-WAY LINE, A DISTANCE OF 220.90 TO THE POINT OF BEGINNING AND CONTAINING 79,438 SQUARE FEET OR 1.824 ACRES OF LAND.

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT, TWO ROWS ADDISON, L.P., a Texas Limited Partnership, does hereby adopt this plat designating the herein above described property as Two Rows Restaurant, an addition to the City of Addison, Dallas County, Texas, and does hereby dedicate to the public's use the streets and easements shown hereon.

TWO ROWS ADDISON, L.P., a Texas Limited Partnership

By: *Michael J. Bryson*

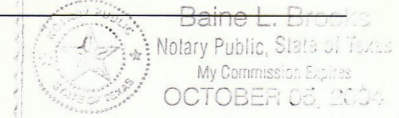
STATE OF TEXAS:  
COUNTY OF Collin :

BEFORE ME, the undersigned authority, on this day personally appeared Michael J. Bryson, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purposes and consideration therein expressed, in the capacity therein stated, and as the act and deed of said partnership.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on the 27<sup>th</sup> day of March, 2003.

Notary Public in and for the State of Texas

My Commission Expires: Oct 5, 2004



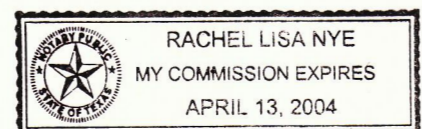
STATE OF TEXAS:  
COUNTY OF TARRANT

BEFORE ME, the undersigned authority, on this day personally appeared Murel W. Miller, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purposes and consideration therein expressed, in the capacity therein stated, and as the act and deed of said partnership.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on the 25 day of March, 2003.

Notary Public in and for the State of Texas

My Commission Expires: 4/13/04



**SURVEYOR'S CERTIFICATE**

This is to certify that I, Murel W. Miller, a Registered Professional Land Surveyor of the State of Texas, have plotted the above subdivision from an actual on the ground survey, and that all lot corners, angle points, and points of curve shall be properly marked on the ground, and that this plot correctly represents the property as determined by a survey made by me or under my direct supervision.

Murel W. Miller  
March 25, 2003  
Registered Professional Land Surveyor No. 5438  
State of Texas

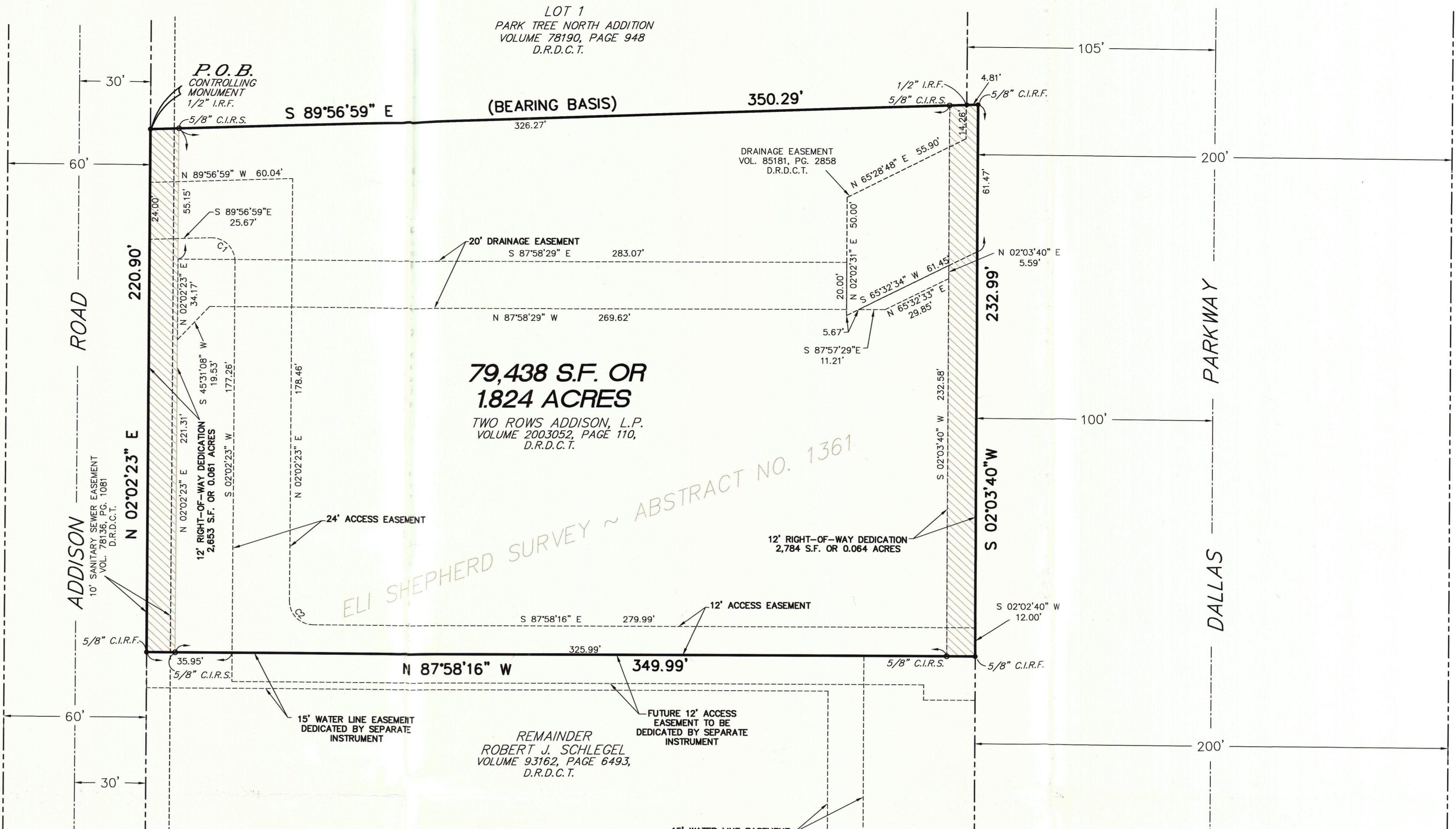


CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD LENGTH	CHORD BEARING
C1	16.06	10.00	91°59'21"	14.39	N43°57'18"W
C2	15.71	10.00	90°00'38"	14.14	S42°57'56"E

**BENCHMARKS:**

CITY OF ADDISON BENCHMARK NO. 10, SQUARE CUT ATOP STANDARD CURB INLET AT THE SOUTHWEST CORNER OF SOJOURN AND ADDISON ROAD - ELEV. 641.95

SQUARE CUT ON TOP CENTERLINE OF HEADWALL ABOVE THE SOUTHERNMOST 60" RCP AT THE NORTHWEST CORNER OF THE PROPOSED RESTAURANT TRACT - ELEV. 637.60



The easements shown on this plat are hereby reserved for the purposes as indicated, including, but not limited to, the installation and maintenance of water, sanitary sewer, storm sewer, drainage, electric, telephone, gas and cable television. Owner shall have the right to use these easements, provided, however, that it does not unreasonably interfere or impede with the provision of the services to others. Said utility easements are hereby being reserved by mutual use and accommodation of all public utilities using or desiring to use the same. An express easement of ingress and egress is hereby expressly granted on, over and across all such easements for the benefit of the provider of services for which easements are granted.

Any drainage and floodway easement shown hereon is hereby dedicated to the public's use forever, but including the following covenants with regards to maintenance responsibilities. The existing channels or creeks traversing the drainage and floodway easement will remain as an open channel, unless required to be enclosed by ordinance, at all times and shall be maintained by the individual owners of the lot or lots that are traversed by or adjacent to the drainage and floodway easement. The town will not be responsible for the maintenance and operation of said creek or creeks or for any damage or injury of private property of person the results from the flow of water along said creek, or for the control of erosion. No obstruction to the natural flow of water runoff shall be permitted by construction of any type building, fence or any other structure within the drainage and floodway easement. Provided, however, it is understood that in the event it becomes necessary for the town to channelize or consider erection any type of drainage structure in the order to improve the storm drainage, then in such event, the town shall have the right, by not the obligation, to enter upon the drainage and floodway easement at any point, or points, with all rights of ingress and egress to investigate, survey, erect, construct or maintain any drainage facility deemed necessary by the town for maintenance or efficiency of its receptive system of service.

Water main and sanitary sewer easements shall also include additional area of working space for construction and maintenance of the systems. Additional easement area is also conveyed for installation and maintenance of manholes, cleanouts, fire hydrants, water service and sewer services from the main to curb or pavement line, and the descriptions of such additional easements herein granted shall be determined by their locations as installed.

This plat is approved subject to all platting ordinances, rules regulation and resolutions of the Town of Addison, Texas.

Approved by The Addison City Council on the 11<sup>th</sup> February 2003

Mayor  
*C. Moran*  
City Secretary

STATE OF TEXAS:  
COUNTY OF \_\_\_\_\_:

BEFORE ME, the undersigned authority, on this day personally appeared \_\_\_\_\_, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purposes and consideration therein expressed, in the capacity therein stated, and as the act and deed of said partnership.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on the \_\_\_\_\_ day of \_\_\_\_\_, 2003.

Notary Public in and for the State of Texas

My Commission Expires: \_\_\_\_\_

STATE OF TEXAS:  
COUNTY OF \_\_\_\_\_:

BEFORE ME, the undersigned authority, on this day personally appeared \_\_\_\_\_, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he/she executed the same for the purposes and consideration therein expressed, in the capacity therein stated, and as the act and deed of said partnership.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on the \_\_\_\_\_ day of \_\_\_\_\_, 2003.

Notary Public in and for the State of Texas

My Commission Expires: \_\_\_\_\_

THIS PLAT FILED IN  
Cabinet: \_\_\_\_\_  
Slide #: \_\_\_\_\_  
Date: \_\_\_\_\_

**FINAL PLAT  
TWO ROWS  
RESTAURANT**

AN ADDITION TO THE CITY OF ADDISON,  
DALLAS COUNTY, TEXAS  
BEING SITUATED IN THE ELI SHEPHERD  
SURVEY, ABSTRACT 1361

OWNER  
**TWO ROWS ADDISON, L.P.**  
7108 HALPRIN COURT  
DALLAS, TEXAS 75248



veselka+mycoskie+associates  
civil engineering-planning landscape architecture-surveying

200 east abram  
arlington, texas 76010

817-469-1671

fax 817-274-8757

e-mail vma@vma-inc.com

MARCH 2003

FILED AND RECORDED  
2003 APR 27 AM 2:14  
DALLAS COUNTY, TEXAS