



STATE OF TEXAS ( )  
COUNTY OF DALLAS ( )

BEFORE ME, the undersigned authority, a Notary Public in and for said County and State on this day personally appeared John R. Piburn, Jr., known to me to be the person and person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed.

GIVEN under my hand and seal of office, this the \_\_\_ day of \_\_\_\_\_, 1984.

Notary Public in and for the State of Texas

SURVEYOR'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS; THAT, I, John R. Piburn, Jr., do hereby certify that I prepared this plat from an actual and accurate survey of land and that the corner monuments shown thereon were properly placed under my personal supervision in accordance with the platting rules and regulations of the City of Addison, Texas.

John R. Piburn, Jr., R.P.S.  
Registration No. 3689

OWNER'S CERTIFICATE

WHEREAS, Corporate I, L.T.D., a Texas Limited Partnership, is the Owner of a tract of land situated in the City of Addison, Dallas County, Texas and out of the William Lomax Survey, Abstract No. 792, and being part of the tracts of land conveyed to T.F. Stone Liberty Land Associates by deeds recorded in Volume 80140, Page 1720 and Volume 83132, Page 072, and part of the tract of land conveyed to T.F. Stone Companies, Inc., by deed recorded in Volume 8215, Page 0474 of the Deed Records of Dallas County, Texas, and being more particularly described as follows:

COMMENCING at a point, said point being the intersection of the North line of Keller Springs Road (60' R.O.W.) with the West line of Dallas Parkway (a variable R.O.W.); THENCE N 01°15'00" E, along the West line of Dallas Parkway, a distance of 642.32 feet to the POINT OF BEGINNING;

THENCE N 89°55'43" W, leaving the West line of Dallas Parkway, a distance of 344.41 feet to an iron rod for corner;

THENCE N 00°12'00" E, a distance of 221.01 feet to an iron rod for corner;

THENCE N 89°48'00" W, a distance of 113.35 feet to an iron rod for corner;

THENCE N 00°12'00" E, a distance of 276.13 feet to an iron rod for corner;

THENCE S 89°48'00" E, a distance of 113.35 feet to an iron rod for corner;

THENCE N 00°12'00" E, a distance of 224.05 feet to an iron rod for corner;

THENCE S 89°55'43" E, a distance of 346.87 feet to an iron rod for corner, said point being in the West line of Dallas Parkway and in a curve to the right having a central angle of 07°06'51" and a radius of 1400.00 feet and a radial bearing S 84°08'09" W;

THENCE SOUTHERLY, along the West line of Dallas Parkway and along said curve to the right, an arc distance of 173.83 feet to an iron rod for corner;

THENCE S 01°15'00" W, along the West line of Dallas Parkway, a distance of 548.03 feet to the POINT OF BEGINNING and containing 283,935 square feet or 6.5183 acres of land, more or less. Less 22,177 square feet or 0.5091 acres of land for The Dallas Parkway Take Area.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS; THAT, CORPORATE I, L.T.D., a Texas Limited Partnership, do hereby adopt this plat designating the hereinabove described property as SUNBELT CENTER, an addition to the City of Addison, Texas, and do hereby dedicate to the public use forever the streets and alleys shown thereon. The easements shown thereon are hereby reserved for the purposes as indicated. The utility, access and fire lane easements shall be open to the public and private utilities for each particular use. The maintenance and paving on the utility, access and fire lane easements is the responsibility of the property owner. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed, reconstructed or placed upon, over or across the utility easements as shown. Said easements being hereby reserved for mutual use and accommodation of all public utilities using or desiring to use same. All and any public utility shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which in any way endanger or interfere with the construction, maintenance or efficiency of its respective system on the easements and all public utilities shall at all times have the full right of ingress and egress to and from and upon the said utility easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective system without the necessity at any time of procuring the permission of anyone. Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and any maintenance and service required or ordinarily performed by that utility.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Addison, Texas.

CORPORATE I, L.T.D.,  
A Texas Limited Partnership

STATE OF TEXAS ( )  
COUNTY OF DALLAS ( )

BEFORE ME, the undersigned authority, a Notary Public in and for said County and State on this day personally appeared \_\_\_\_\_, know to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN under my hand and seal of office, this the \_\_\_ day of \_\_\_\_\_, 1984.

Notary Public in and for the State of Texas

FINAL PLAT  
OF

SUNBELT CENTER

OUT OF THE WILLIAM LOMAX SURVEY, ABSTRACT NO. 792  
CITY OF ADDISON, DALLAS COUNTY, TEXAS

OWNER:  
CORPORATE I, L.T.D.,  
A TEXAS LIMITED PARTNERSHIP  
6820 L.B.J. FREEWAY  
SUITE 100  
DALLAS, TX 75240  
386-5999

ENGINEER:  
JACK R. DAVIS & ASSOCIATES  
3535 TRAVIS  
SUITE 100  
DALLAS, TX 75204  
522-9540

GINN, INC.  
CONSULTING ENGINEERS  
DALLAS, TEXAS

DATE RECEIVED 7-3-81

DATE REVIEWED

NO OBJECTIONS  
NEWISE & RESUBMIT

DATE: 8/6/81 BY: GFA

BID ISSUE

JACK R. DAVIS & ASSOCIATES, INC.  
consulting civil engineers & surveyors  
3535 Travis Street Suite 100  
Dallas, Texas 75204 (214) 522-9540

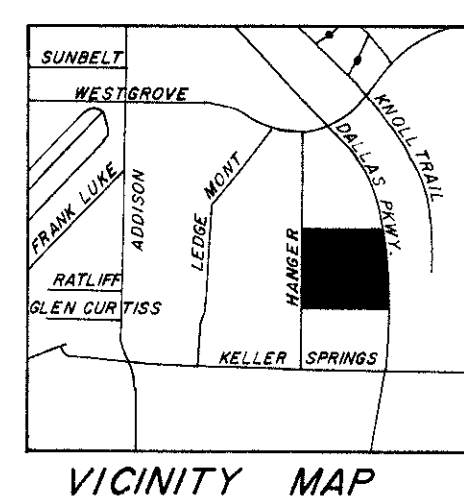
QUORUM DRIVE  
(HANGER RD.)

T.F. STONE CO.

6.5183 TOTAL ACRES  
-0.5091 DALLAS PKWY.  
6.0092 NET ACRES

DALLAS PKWY.

KELLER SPRINGS RD.

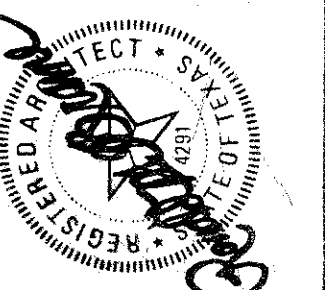


CITY SECRETARY \_\_\_\_\_

MAYOR \_\_\_\_\_

HARWOOD K SMITH & PARTNERS  
Architects/Engineers/Planners  
1111 Plaza of the Americas North, LB 307  
Dallas, Texas 75201 214/748-5261

HKS



SUNBELT CORPORATE HEADQUARTERS  
TEXAS  
ADDISON

Job No: C 84137

Revision:

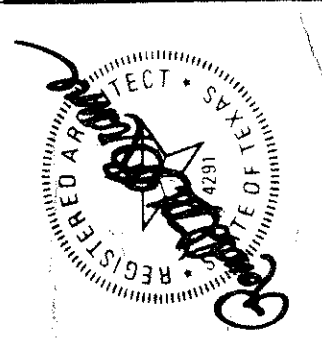
Sheet Title: FINAL PLAT

Date: 06-03-85

Drawn: \_\_\_\_\_

Sheet No: C1

of sheets



**WATER AND SANITARY SEWER GENERAL NOTES**

ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CITY OF ADDISON STANDARDS AND SPECIFICATIONS.

ALL WATER MAINS SHALL BE PVC 50R-18 WATER PIPE (BLUE BRUTE WITH WIRE TRACERS), TRACER TO BE #12 INSULATED COPPER.

ALL WATER MAINS SHALL HAVE MINIMUM COVER BELOW FINISHED GRADES AS FOLLOWS: 6" & 8" - 48" OR AS REQUIRED TO CLEAR OTHER UTILITIES.

ALL SEWER MAINS SHALL BE PVC 50R-35 SANITARY SEWER PIPE.

ALL PIPE EMBELEMMENT SHALL BE AS DETAILED ON THIS SHEET.

ALL TEES, CONNECTIONS, BENDS, DEAD-ENDS, FIRE HYDRANTS, ETC., SHALL BE SECURELY BLOCKED AGAINST TRENCH WALLS USING 3000 PSI CONCRETE.

ALL FIRE HYDRANTS SHALL BE MUELLER CENTURION MODEL AND SHALL CONFORM TO THE CITY OF ADDISON STANDARDS AND SPECIFICATIONS.

ALL TRENCH BACKFILL FOR THESE UTILITIES SHALL BE COMPACTED AS REQUIRED BY CITY, BUT IN NO CASE SHALL THE TOP 12" BE COMPACTED TO LESS THAN 90% STANDARD DENSITY WITH THE REMAINDER OF THE DITCH BEING COMPACTED TO THAT OF ADJOINING SOIL CONDITIONS.

CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO BEGINNING WORK AND SHALL PROTECT EXISTING IMPROVEMENTS DURING CONSTRUCTION.

THE 8" FIRE LINE METER SHALL BE HERSEY MODEL D.C. DETECTOR CHECK WITH 2" BYPASS TAPPING METER. THE DETECTOR CHECK SHALL BE INSTALLED IN A PRECAST OR CAST-IN-PLACE CONCRETE PIT WITH A CONCRETE FLOOR, WITH THE METER NO LOWER THAN 18" BELOW FINISHED GRADE. THE PIT SHALL BE OF ADEQUATE SIZE TO REMOVE METER WITHOUT HAVING TO DISASSEMBLE METER. THE GOODS TO THE PIT SHALL BE OF THE "BILCO" TYPE, BUT NOT NECESSARILY OF THAT BRAND.

THE 2" DOMESTIC WATER METER SHALL BE HERSEY 6" FORWARD METER WORK MIT WITH 6" BYPASS. THE METER SHALL BE INSTALLED IN A PRECAST OR CAST-IN-PLACE CONCRETE PIT WITH A CONCRETE FLOOR, WITH THE METER NO LOWER THAN 18" BELOW FINISHED GRADE. THE PIT SHALL BE OF ADEQUATE SIZE TO REMOVE METER WITHOUT HAVING TO DISASSEMBLE METER. THE GOODS TO THE PIT SHALL BE OF THE "BILCO" TYPE, BUT NOT NECESSARILY OF THAT BRAND.

THE CONTRACTOR SHALL INCLUDE IN HIS BID PRICE ALL COSTS OF UTILITY CONNECTIONS, TAP FEES AND THE TESTING OF NEW WORK REQUIRED BY THE CITY OF ADDISON TO COMPLETE THE WORK WHETHER THESE SERVICES ARE PERFORMED BY THE CONTRACTOR OR BY OTHERS.

**STORM DRAINAGE GENERAL NOTES**

1. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CITY OF ADDISON STANDARDS AND SPECIFICATIONS.
2. ALL REINFORCED CONCRETE PIPE SHALL BE MINIMUM CLASS III PIPE WITH TONGUE AND GROOVE JOINTS. RAM NECK SEALER OR APPROVED EQUAL SHALL BE USED IN ALL PIPE JOINTS.
3. STORM DRAINAGE PIPE LESS THAN 15" DIAMETER SHALL BE EXTRA STRENGTH NON-REINFORCED CONCRETE PIPE, VITRIFIED CLAY PIPE OR PVC PIPE AT THE CONTRACTOR'S OPTION WITH THE ENGINEER'S APPROVAL.
4. WHENEVER A SMALLER PIPE IS JOINTED END-TO-END TO A LARGER PIPE, A CONCRETE COLLAR SHALL BE PLACED AROUND THE PIPES OVER THE JOINT.
5. THE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO BEGINNING WORK AND SHALL PROTECT EXISTING IMPROVEMENTS DURING CONSTRUCTION.
6. ALL TRENCH BACKFILL FOR STORM SEWER SHALL BE COMPACTED AS REQUIRED BY CITY, BUT IN NO CASE SHALL THE TOP 12" BE COMPACTED TO LESS THAN 90% STANDARD PROCTOR WITH THE REMAINDER BEING COMPACTED TO THAT OF ADJOINING SOIL CONDITIONS.
7. CRUSHED STONE BEDDING OR APPROVED EQUAL WILL BE PROVIDED WHEN ROCK IS ENCOUNTERED IN STORM SEWER TRENCHES.
8. ALL DRAINAGE STRUCTURES SHALL BE 3000 PSI CONCRETE AT 28 DAYS UNLESS OTHERWISE NOTED ON PLANS.

**LEGEND**

- 16.93 Exst. Spot Elevation
- 593.00 Prop. Spot Elevation
- Exst. Contour
- Prop. Contour

UTILITY INFORMATION IS BASED UPON FIELD MEASUREMENTS AND THE BEST AVAILABLE RECORDS. FIELD DATA IS LIMITED TO THAT WHICH IS VISIBLE AND CAN BE MEASURED. THIS DOES NOT PRECLUDE THE EXISTENCE OF OTHER UNDERGROUND ITEMS. RECORD INFORMATION IS BASED UPON DATA COLLECTED FROM BOTH PUBLIC AND PRIVATE SOURCES. THE COMPLETENESS AND/OR ACCURACY OF THESE RECORDS CANNOT BE GUARANTEED EXCEPT INsofar AS THEY CAN BE VERIFIED BY THE FIELD MEASUREMENT.

BENCHMARK  
 SQUARE CUT ON TOP OF CURB OF ISLAND NE CORNER OF LIBERTY PLAZA  
 ELEV. = 622.15

**WATER & SANITARY SEWER PLAN**

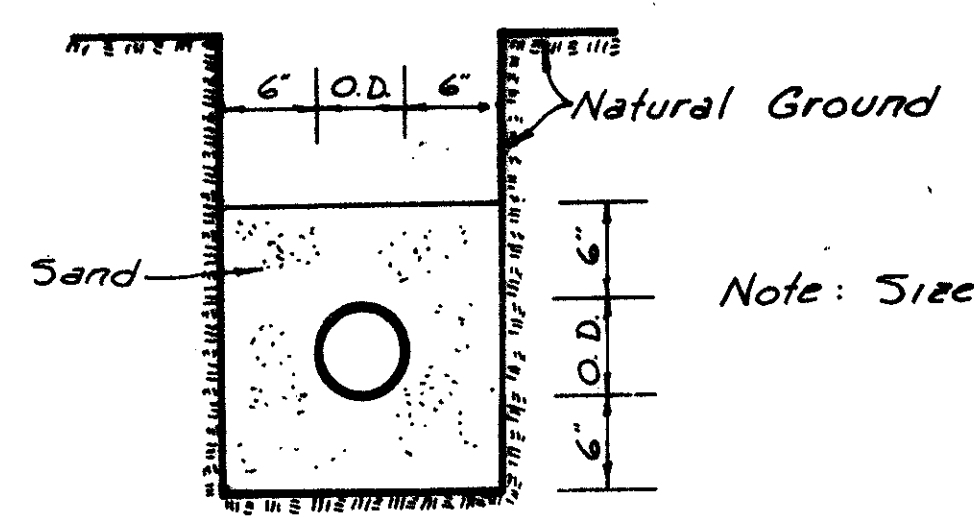
**SUNBELT CORPORATE HEADQUARTERS**  
 SUN DEVELOPMENT COMPANY

**JACK R. DAVIS & associates, inc.**  
 consulting civil engineers & surveyors  
 3535 Travis Street, Suite 100  
 Dallas, Texas 75204 (214) 522-9540

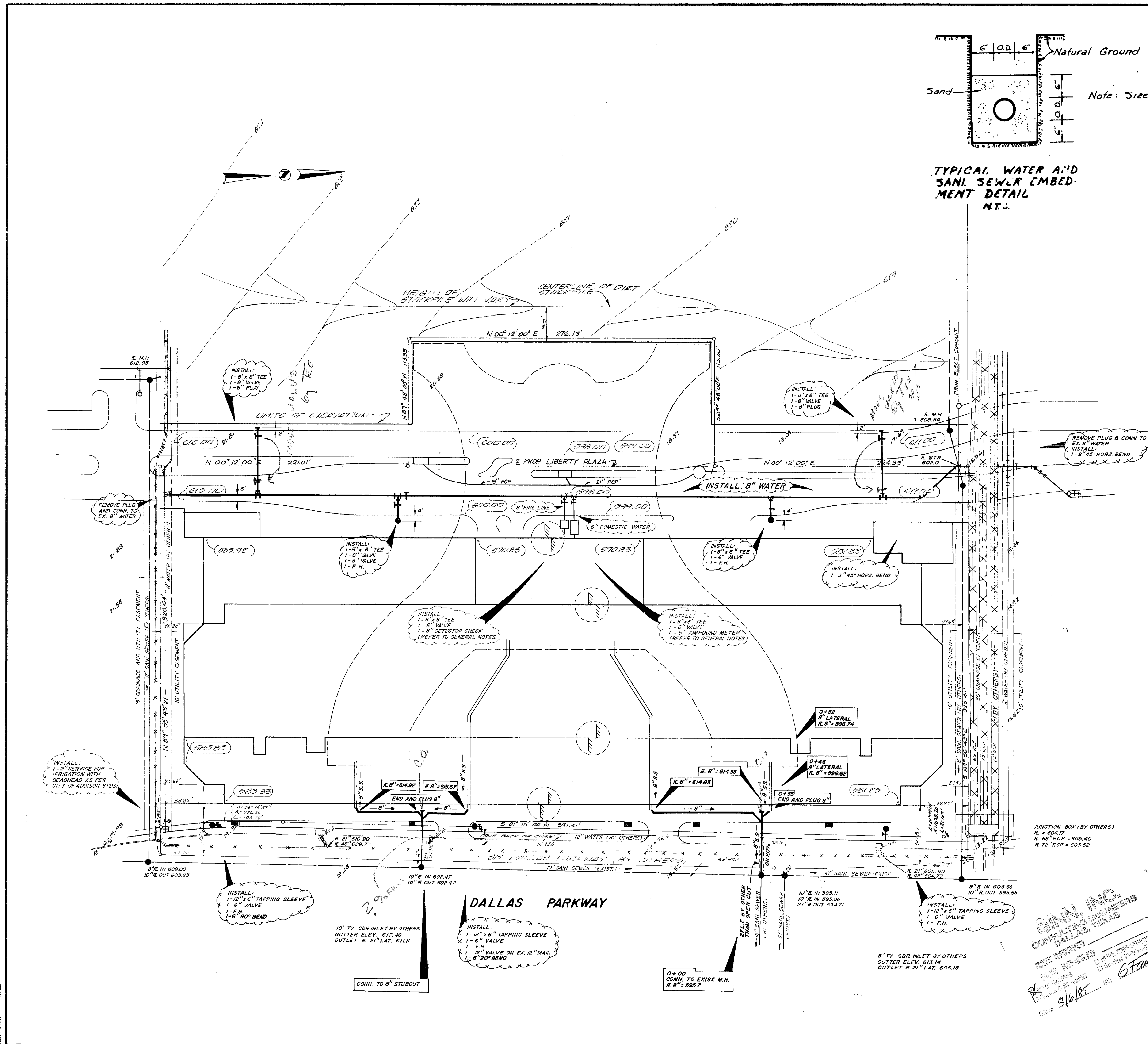
design	drawn	date	scale	notes	job no.	sheet no.
JRD	RT	6/85	1"=40'	JRD	C 84187	of

**GINN, INC.**  
 CONSULTING ENGINEERS  
 DALLAS, TEXAS

DATE RECEIVED: 9/6/85  
 DATE FORWARDED: 9/6/85  
 BY: [Signature]



**TYPICAL WATER AND SANI SEWER EMBEDMENT DETAIL**  
 N.T.S.



**BID ISSUE**

**JACK R. DAVIS & associates, inc.**  
 consulting civil engineers & surveyors  
 3535 Travis Street, Suite 100  
 Dallas, Texas 75204 (214) 522-9540