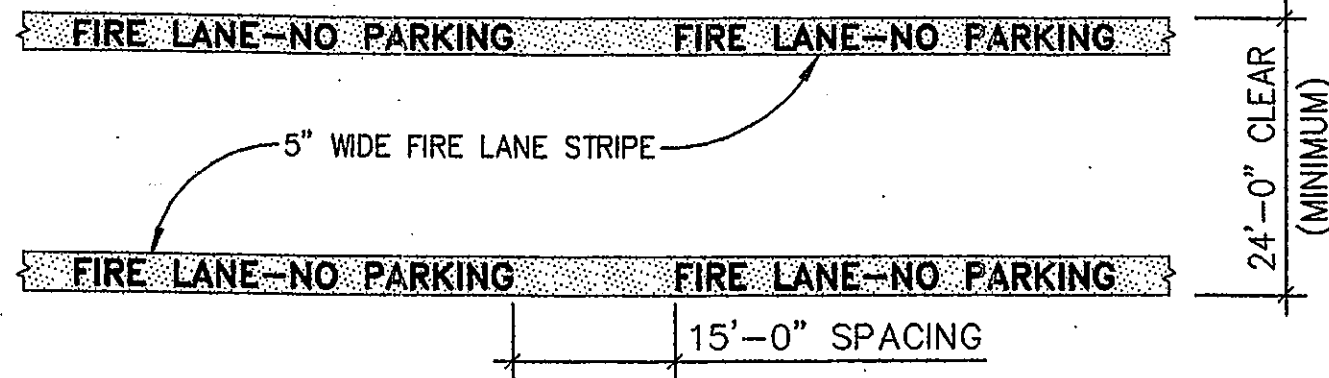


STRIPING NOTES:

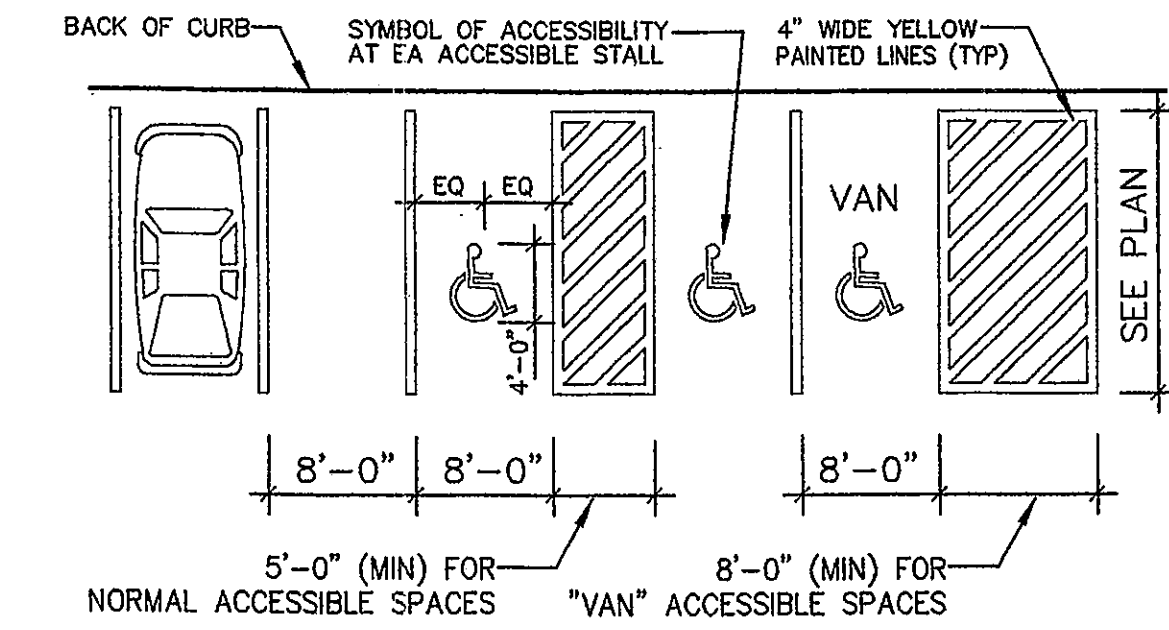
- A. PAINT:
 1. STRIPE SHALL BE FIVE (5) INCHES WIDE PAINTED WITH AN EXTERIOR ACRYLIC LATEX PAINT.
 2. STRIPE COLOR SHALL BE "TRAFFIC RED" GLIDDEN #63251 OR EQUAL.
 3. LETTERS SHALL BE FOUR (4) INCHES HIGH PAINTED WITH AN EXTERIOR ACRYLIC LATEX PAINT.
 4. LETTER COLOR SHALL "TRAFFIC WHITE" GLIDDEN #563245 OR EQUAL.
- B. APPLICATION:
 1. STRIPE MAY BE BRUSHED OR SPRAYED, ONE COAT TO FINISH.
 2. LETTERS SHALL BE STENCIL FORMED BRUSHED APPLIED AND SPACED AS DETAILED THIS SHEET.



A TYP FIRE LANE STRIPING DETAIL

not to scale

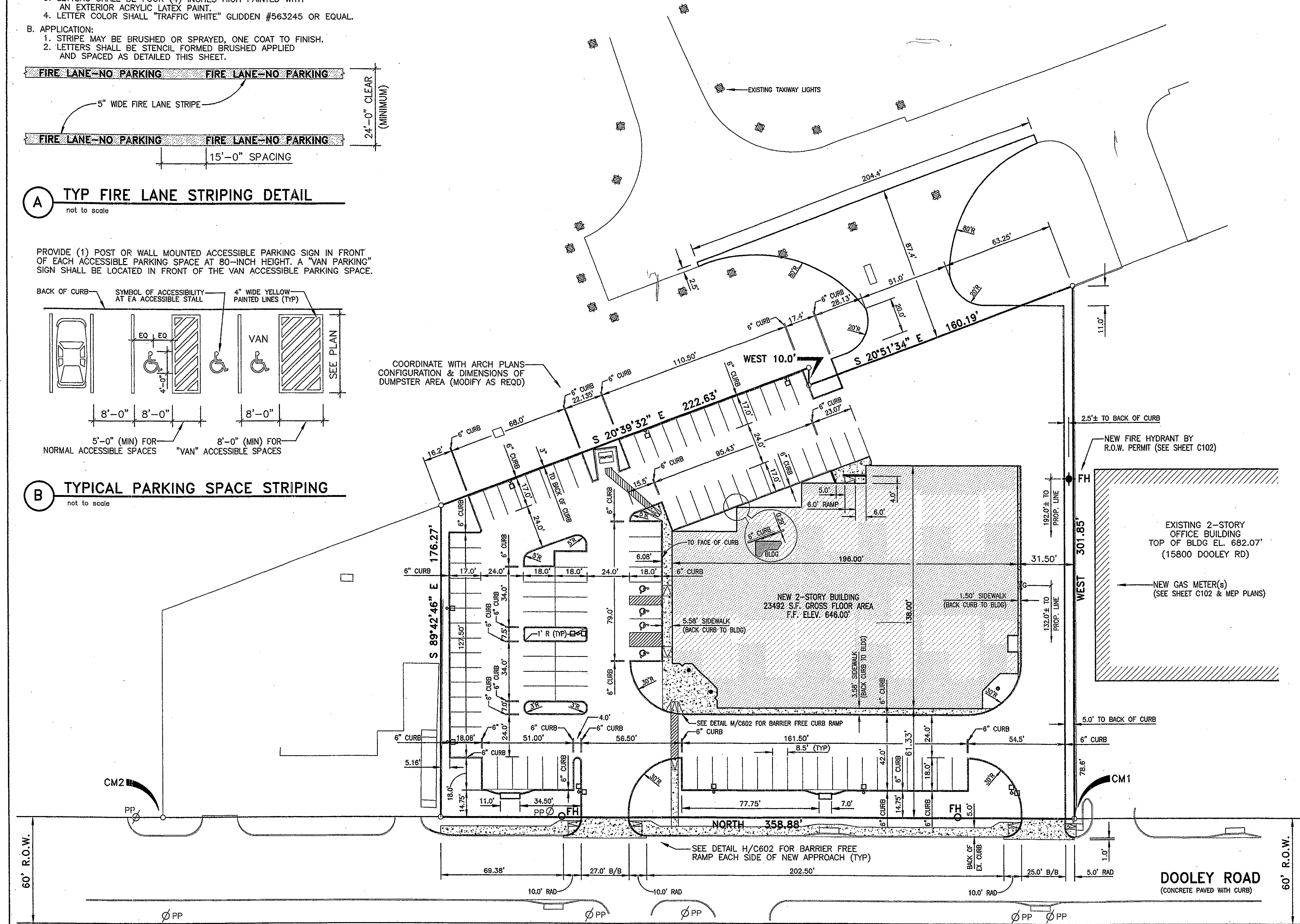
PROVIDE (1) POST OR WALL MOUNTED ACCESSIBLE PARKING SIGN IN FRONT OF EACH ACCESSIBLE PARKING SPACE AT 80-INCH HEIGHT. A "VAN PARKING" SIGN SHALL BE LOCATED IN FRONT OF THE VAN ACCESSIBLE PARKING SPACE.



B TYPICAL PARKING SPACE STRIPING

not to scale

COORDINATE WITH ARCH PLANS CONFIGURATION & DIMENSIONS OF DUMPSTER AREA (MODIFY AS REQ'D)

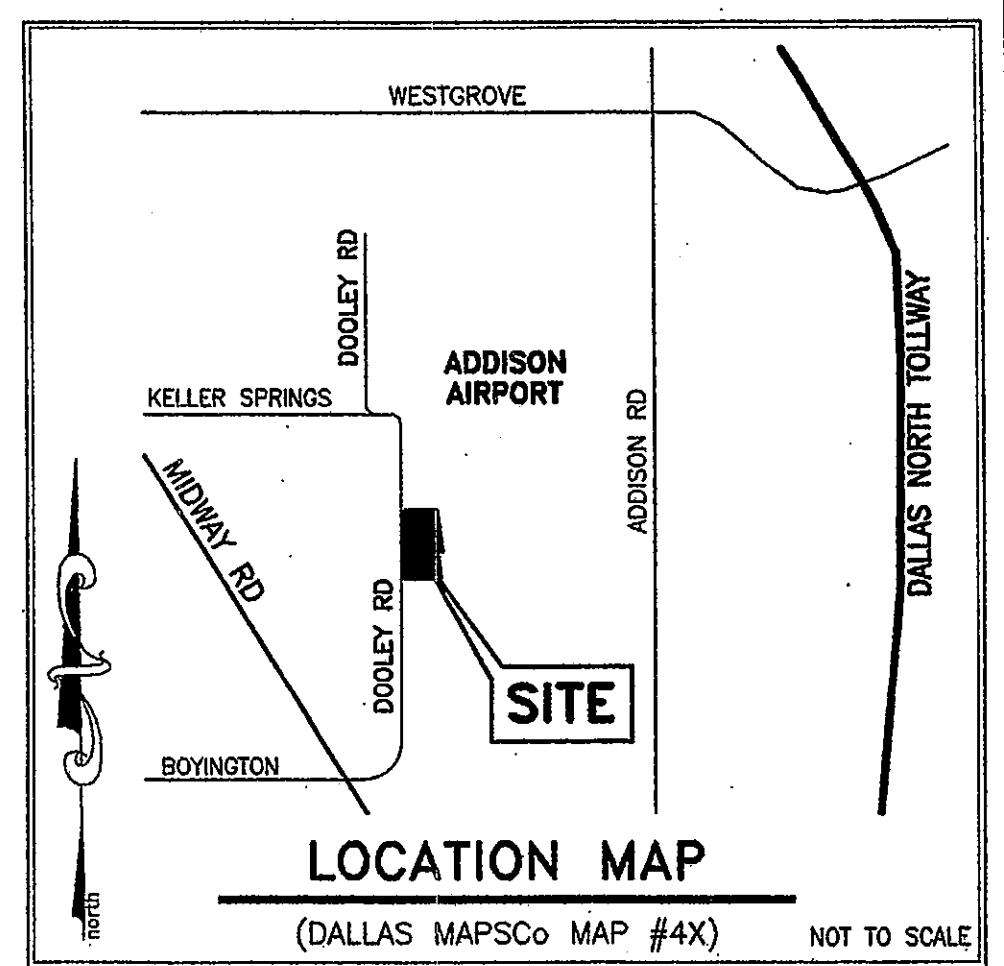
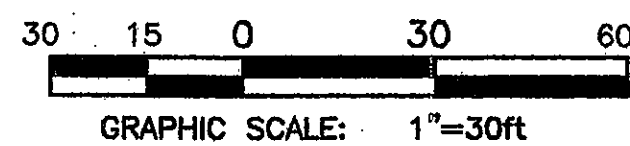


NOTE:
 ALL PUBLIC UTILITIES (WATER, SEWER, ELECTRIC, ETC.) SERVING THE EXISTING BUILDING TO BE REMOVED SHALL BE ABANDONED AT THE SERVICE POINT IN ACCORDANCE WITH CITY OF ADDISON STANDARDS

NOTE:
 SEE SHEET C600 FOR GENERAL CIVIL NOTES

NOTE:
 SEE SHEET C602 FOR SITINGWORK & PAVING DETAILS

01 DIMENSION CONTROL PLAN



BENCHMARKS

MARK	DESCRIPTION	ELEV.	N	E
BM1	SQUARE CUT OF THE SOUTHWEST TOP OF CURB CORNER THE BACK SIDE PARKING LOT AT 15950 MIDWAY ROAD	637.75'		
CM1	"X" CUT ON CONCRETE, ALSO BEING THE SOUTHWEST PROPERTY CORNER OF LOT 1, BLOCK A	647.37'	1000.0000	1000.0000
CM2	NORTHWEST PROPERTY CORNER OF THE 0.528 ACRE TRACT, BEING A DISTANCE OF 515.80' NORTH OF THE SOUTHWEST PROPERTY CORNER OF LOT 1, BLK A		1515.8000	1000.0000

NOTE:
 1. ALL TOPOGRAPHIC ELEVATIONS ARE BASED ON BENCHMARK "BM1".
 2. NORTHERLY AND EASTERLY BEARINGS NOTED ABOVE ARE FOR HORIZONTAL CONTROL.

PLAN LEGEND

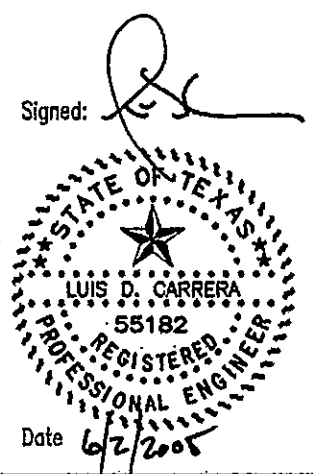
	= EX. DRAINAGE FLOW		= EXISTING FIRE HYDRANT
	= NEW DRAINAGE FLOW		= EX. WASTEWATER MANHOLE
	= EXISTING CONTOUR		= NEW FIRE HYDRANT
	= NEW GRADING CONTOUR		= NEW WW MANHOLE
	= NEW PAVING CONTOUR		= NEW WASTEWATER MAIN
	= EX. SPOT ELEVATION		= NEW WATER MAIN
	= NEW SPOT ELEVATION		= EXISTING WATER VALVE
	= EXISTING FENCE		= NEW WATER VALVE
	= DRAINAGE DIVIDE		= NEW STORM SEWER PIPE
	= EROSION CONTROL BARRIER		= NEW STORM SEWER MH
	= EXISTING TREE(S)		= EX. CURB INLET
			= NEW STORM DRAIN INLET

FF = FINISH FLOOR B/B = BACK TO BACK (CURB) CM = CONTROL MONUMENT CO = CLEANOUT
 FG = FINISH GRADE PV = TOP OF PAVEMENT (EL) IRF = IRON ROD FOUND FH = FIRE HYDRANT
 HP = HIGH POINT TC = TOP OF CURB (EL) IRS = IRON ROD SET LS = LIGHT STANDARD
 LP = LOW POINT TW = TOP OF WALL (EL) TBM = TEMP. BENCHMARK PP = POWER POLE
 ME = MATCH EXISTING (EL) SD = STORM DRAIN CSP = CORRUGATED STL. PIPE MH = MANHOLE
 EL = ELEVATION FL = FLOWLINE RCP = REINF. CONC. PIPE WW = WASTEWATER

- GENERAL PLAN NOTES**
- SEE SHEET C600 FOR GENERAL CIVIL NOTES AND ONSITE UTILITY EASEMENT(S).
 - SEE SHEET C602 FOR SITINGWORK AND PAVING DETAILS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY AND MARK THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITY.
 - ALL WORK SHALL BE DONE TO THE LINES, GRADES, AND ELEVATIONS SHOWN ON THESE DRAWINGS. BASIC HORIZONTAL AND VERTICAL CONTROL POINTS, ESTABLISHED BY THE ENGINEER ARE SHOWN ON THESE PLANS. THESE POINTS SHALL BE USED AS DATUM FOR WORK UNDER THIS PROJECT. ALL ADDITIONAL SURVEY, LAYOUT, OR MEASUREMENT WORK SHALL BE PERFORMED BY THE CONTRACTOR AS A PART OF THE WORK UNDER THIS CONTRACT.
 - CONSTRUCTION ACTIVITY SHALL CONFORM TO ALL CITY OF ADDISON REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL APPLICABLE PERMITS FOR THIS PROJECT, UNLESS OTHERWISE AGREED.

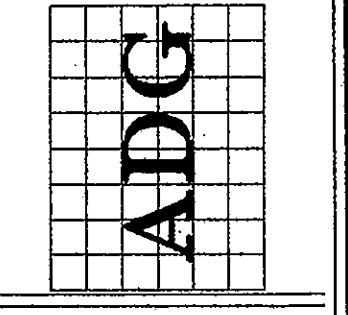
CARRERA consulting engineers, inc.
 Structural, Civil, & Construction Engineering

3930 Meredith Avenue Dallas, Texas 75211 Tel: (214) 330-4771 Fax: (214) 330-2167



EXPIRATION DATE:
 AFFIXATION DATE:

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 Tel: (972) 437-4611 Fax: (972) 671-9191



AIRCORP DOOLEY ROAD
 ADDISON, TEXAS

Job No. **00018**

Plan No.

Date **31 JAN 2005**

Drawn By **Ccel**

Revisions
 19 MAY 2005
 02 JUN 2005

Sheet Title **DIMENSION CONTROL PLAN**

Sheet No.

C200

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