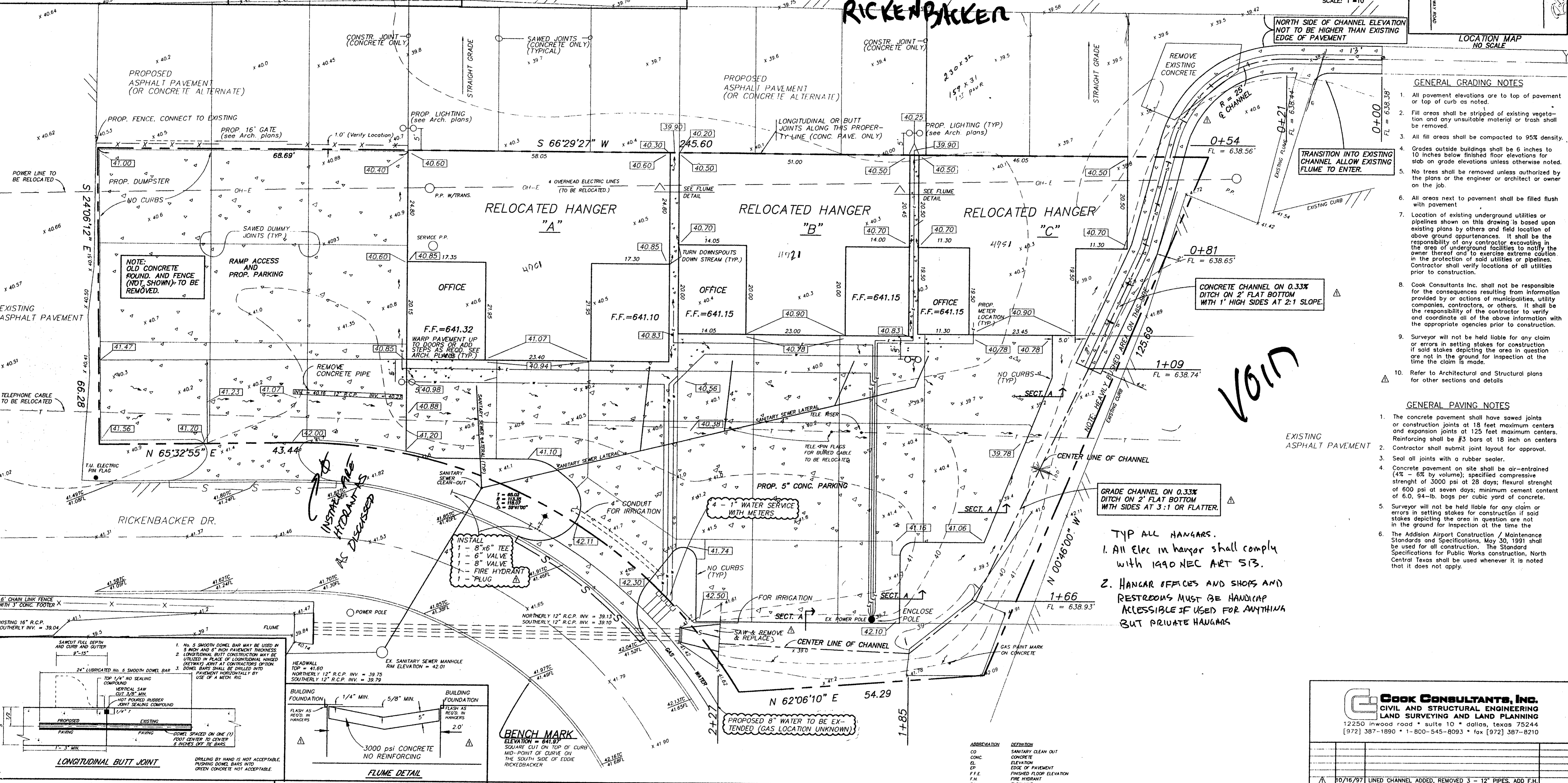
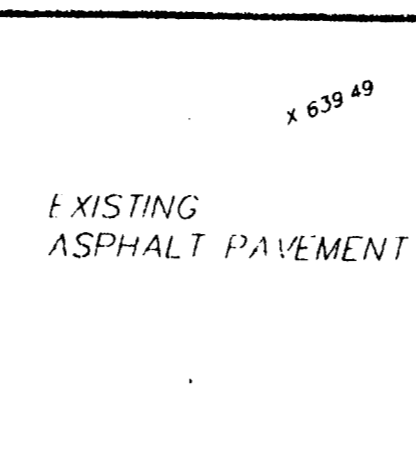
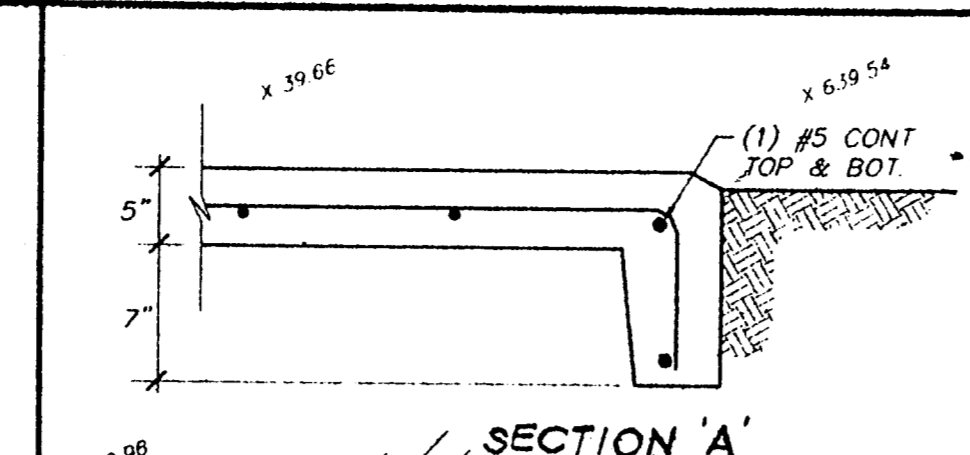
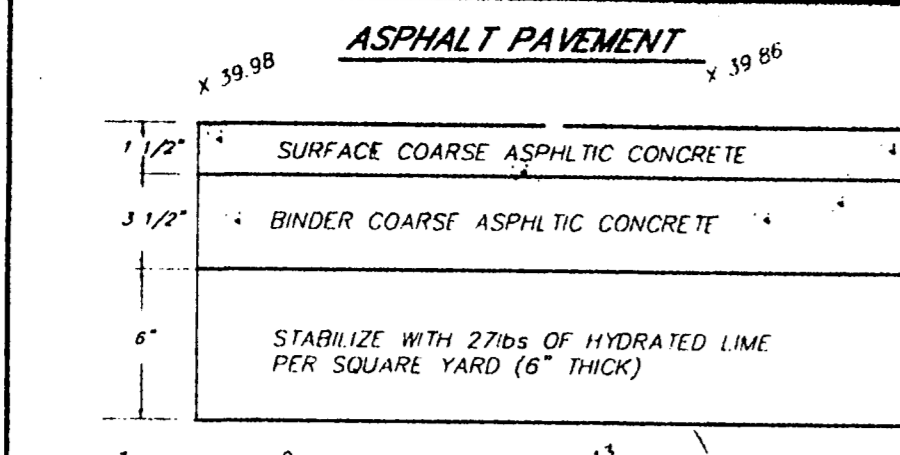
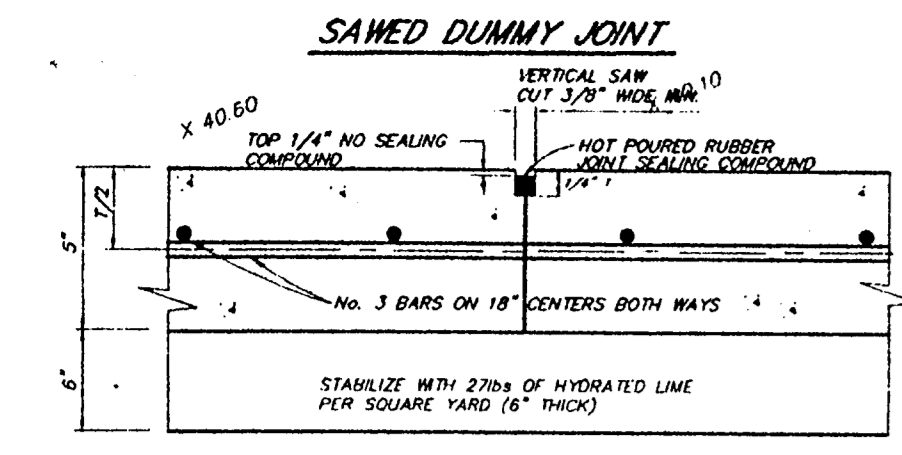
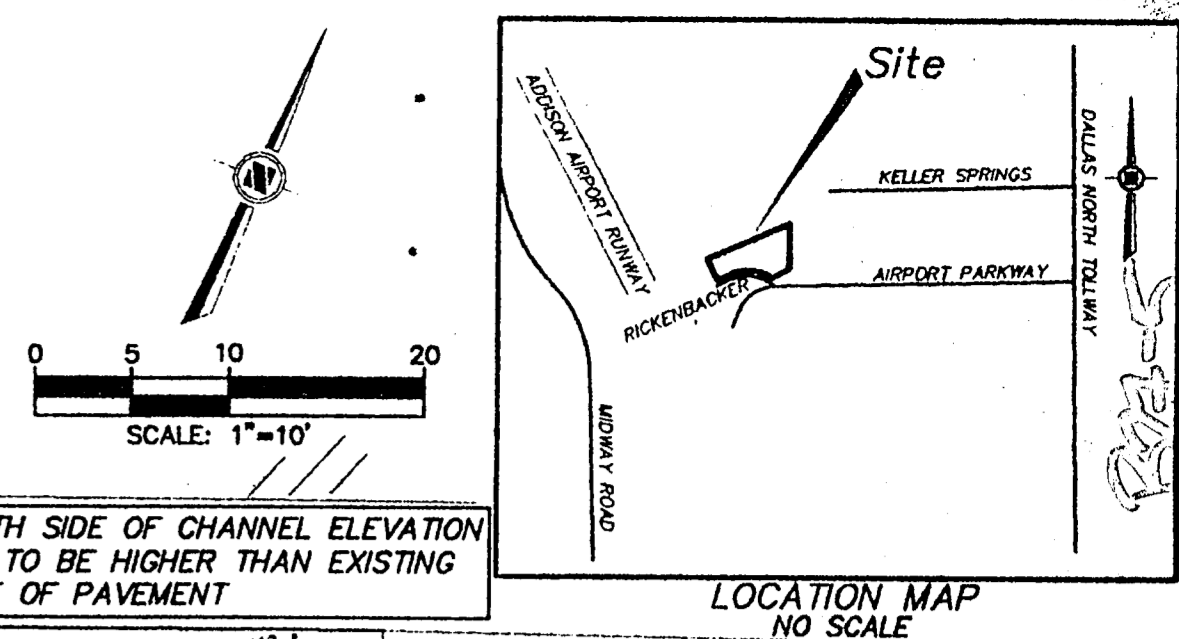


Build Copy
4701-4721-4751
EDDIE RICKENBACKER

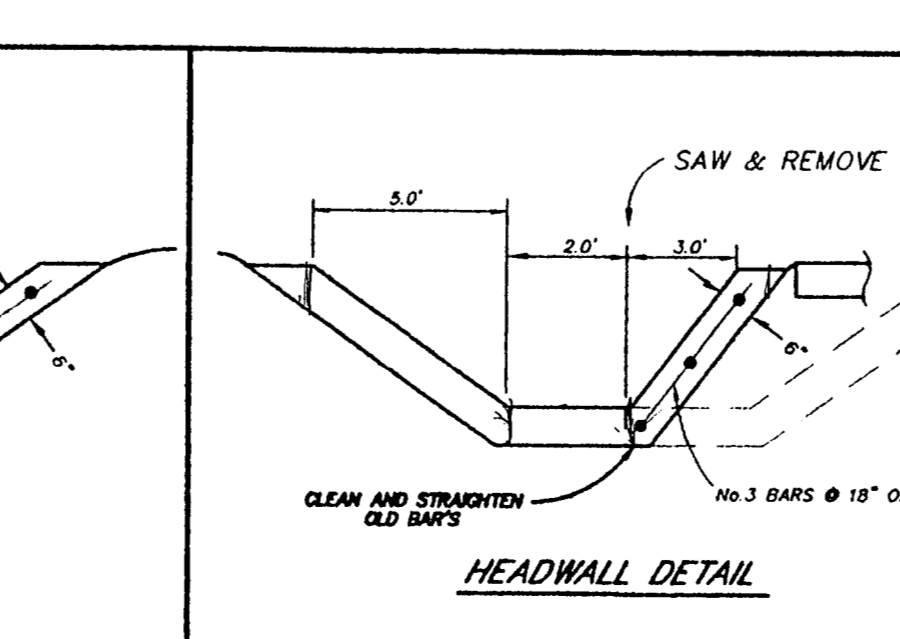
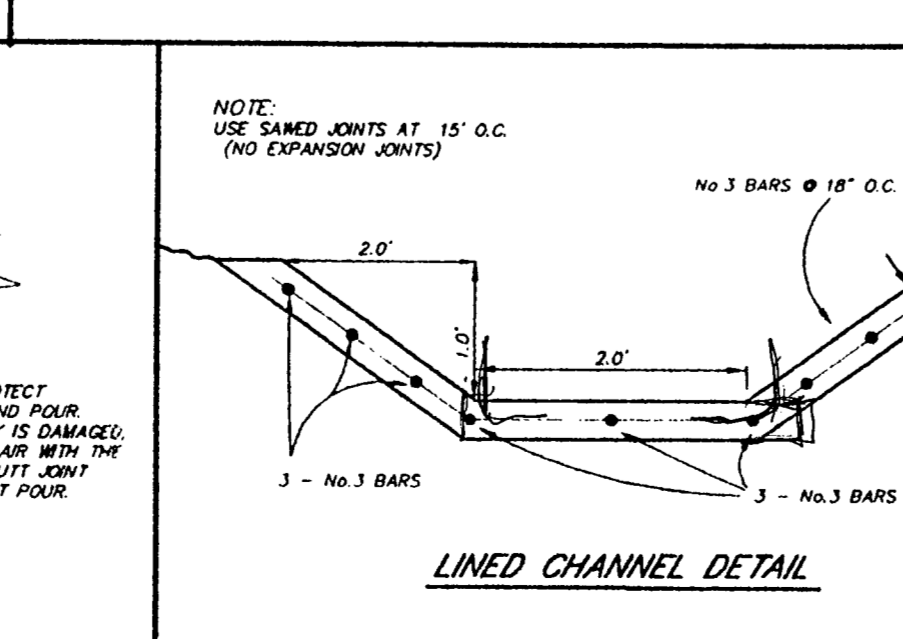
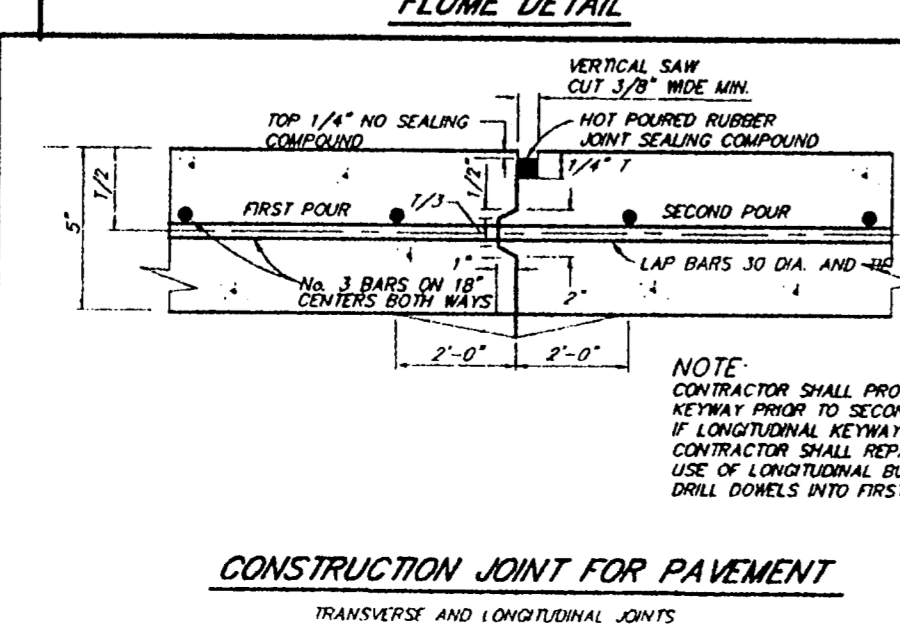
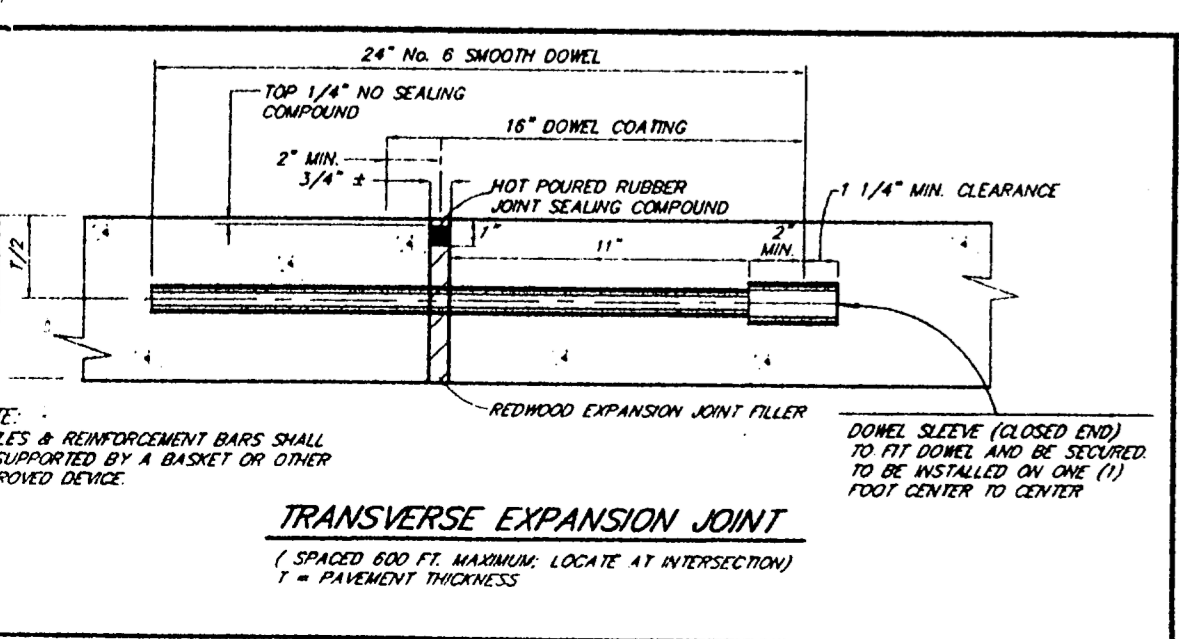
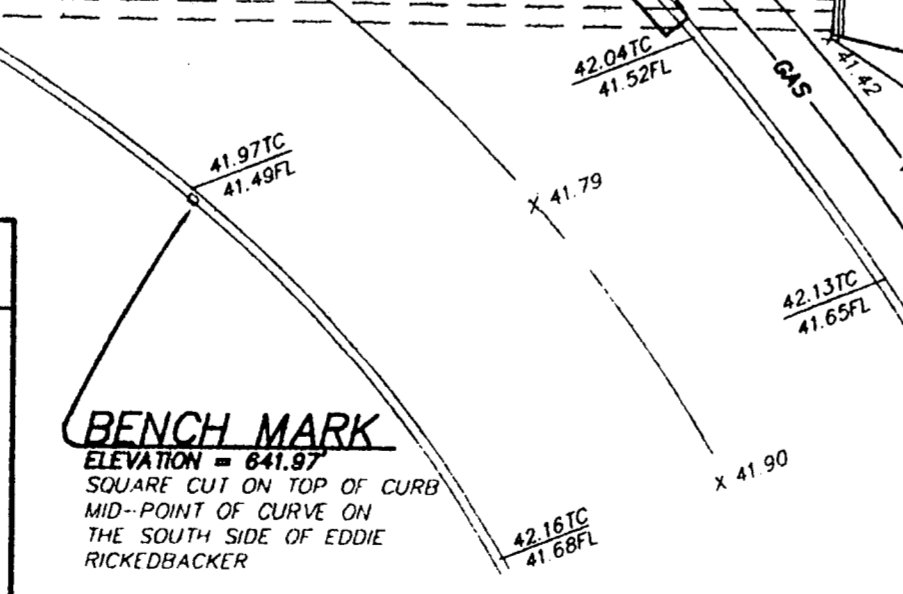
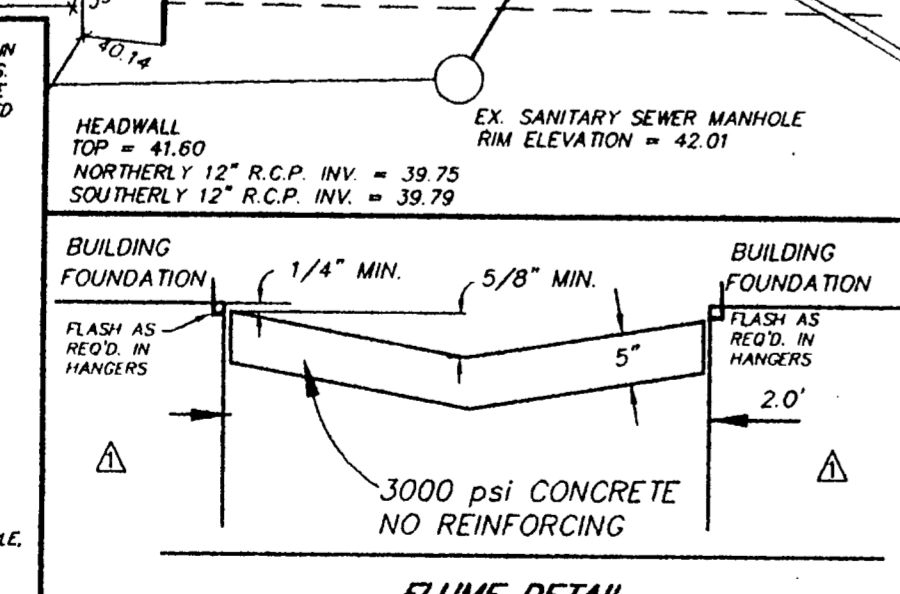
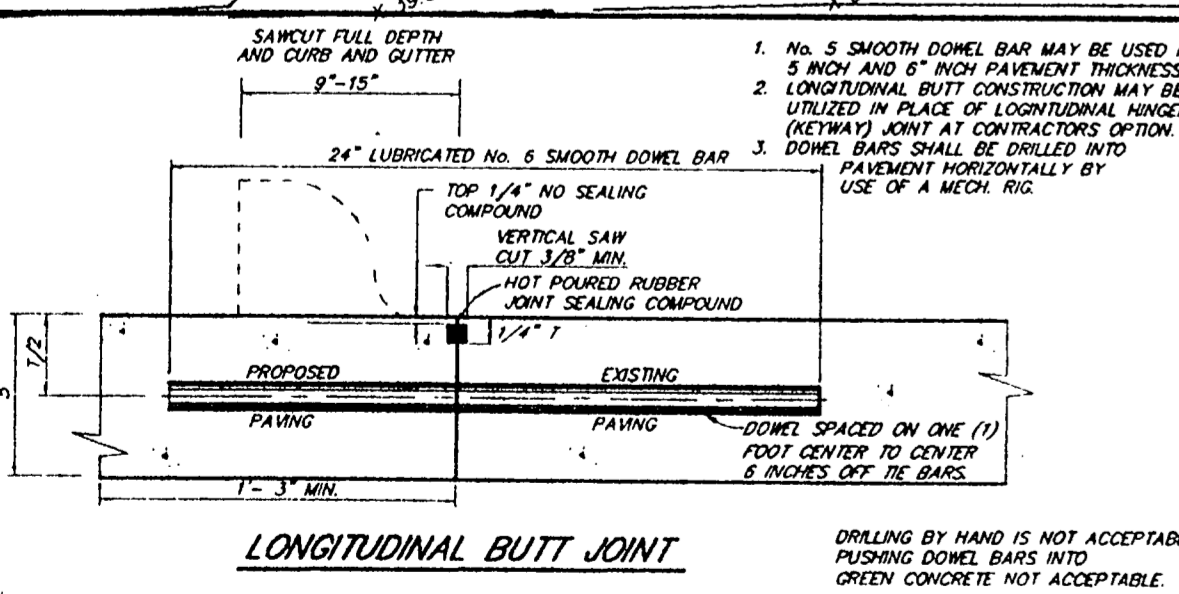


- GENERAL GRADING NOTES**
- All pavement elevations are to top of pavement or top of curb as noted.
 - Fill areas shall be stripped of existing vegetation and any unsuitable material or trash shall be removed.
 - All fill areas shall be compacted to 95% density.
 - Grades outside buildings shall be 6 inches to 10 inches below finished floor elevations for slab on grade elevations unless otherwise noted.
 - No trees shall be removed unless authorized by the plans or the engineer or architect or owner on the job.
 - All areas next to pavement shall be filled flush with pavement.
 - Location of existing underground utilities or pipelines shown on this drawing is based upon existing plans by others and field location of above ground appurtenances. It shall be the responsibility of any contractor excavating in the area of underground facilities to notify the owner thereof and to exercise extreme caution in the protection of said utilities or pipelines. Contractor shall verify locations of all utilities prior to construction.
 - Cook Consultants Inc. shall not be responsible for the consequences resulting from information provided by or actions of municipalities, utility companies, contractors, or others. It shall be the responsibility of the contractor to verify and coordinate all of the above information with the appropriate agencies prior to construction.
 - Surveyor will not be held liable for any claim or errors in setting stakes for construction if said stakes depicting the area in question are not in the ground for inspection at the time the claim is made.
 - Refer to Architectural and Structural plans for other sections and details.

- GENERAL PAVING NOTES**
- The concrete pavement shall have sawed joints or construction joints at 18 feet maximum centers and expansion joints at 125 feet maximum centers. Reinforcing shall be #3 bars at 18 inch centers. Contractor shall submit joint layout for approval.
 - Seal all joints with a rubber sealer.
 - Concrete pavement on site shall be air-entrained (4% - 6% by volume), specified compressive strength of 3000 psi at 28 days; flexural strength of 600 psi at seven days; minimum cement content of 6.0, 94-lb. bags per cubic yard of concrete.
 - Surveyor will not be held liable for any claim or errors in setting stakes for construction if said stakes depicting the area in question are not in the ground for inspection at the time the claim is made.
 - The Addition Airport Construction / Maintenance Standards and Specifications, May 30, 1991 shall be used for all construction. The Standard Specifications for Public Works construction, North Central Texas shall be used whenever it is noted that it does not apply.

TYP ALL HANGARS.

- All Elec in hangar shall comply with 1990 NEC ART 513.
- HANGAR OFFICES AND SHOPS AND RESTROOMS MUST BE HANDICAP ACCESSIBLE IF USED FOR ANYTHING BUT PRIVATE HANGARS.

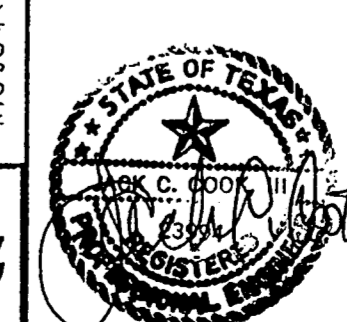


ABBREVIATION	DEFINITION
CC	CONCRETE
EL	ELEVATION
EP	EDGE OF PAVEMENT
F.F.E	FINISHED FLOOR ELEVATION
F.H	FIRE HYDRANT
FL	FLOW LINE
GA	GAUGE ANCHOR
IRV	IRON ROD FOUND
M.H	MANHOLE
P.P	POWER POLE
SS	SANITARY SEWER
SD	STORM DRAIN
SW	SIDEWALK
TR	TRANSFORMER
TELE	TELEPHONE
DA	DRAINAGE ARROW
PRO	PROPOSED ELEVATION

NOTE:
 THESE DOCUMENTS &/OR SPECIFICATIONS MAY BE USED FOR PURPOSES AS INDICATED BELOW

COORDINATION & OR PRELIMINARY
 BIDDING ONLY
 PERMITTING
 CONSTRUCTION

UNDER THE AUTHORITY OF JACK C. COOK III
 PROFESSIONAL ENGINEER



DATE: 10/29/97
 PROJECT: 97048

Cook Consultants, Inc.
 CIVIL AND STRUCTURAL ENGINEERING
 LAND SURVEYING AND LAND PLANNING
 12250 Inwood road suite 10 Dallas, Texas 75244
 [972] 387-1890 • 1-800-545-8093 • fax [972] 387-8210

REV. NO.	DATE	DESCRIPTION
10/16/97		LINED CHANNEL ADDED, REMOVED 3 - 12" PIPES, ADD F.H.
9/11/97		FOR REVIEW
8/19/97		FOR BIDDING

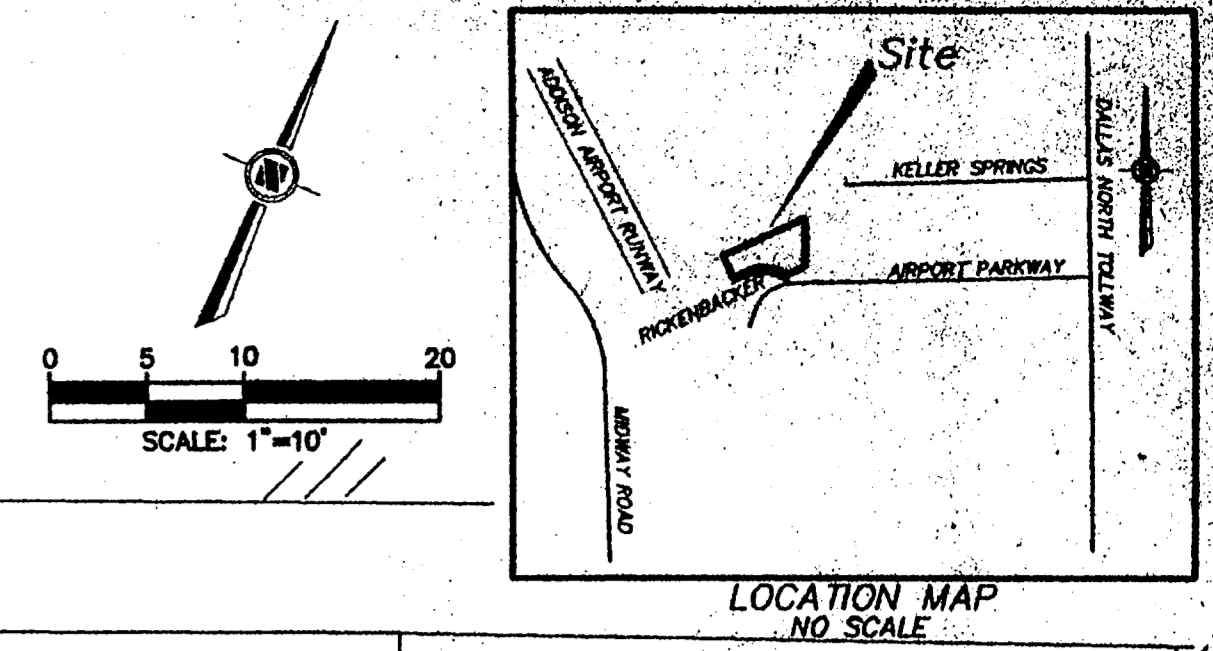
SITE PLAN

326 NEW RICKENBACKER DRIVE
ADDISON AIRPORT
ADDISON, DALLAS COUNTY, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
WF	JEM	10/20/97	1" = 10'	CCI	97048	97048-0

EXISTING ASPHALT PAVEMENT

NOTE: PAVEMENT TO PAVEMENT CONNECTION AND/OR REPAIRS NOT A PAY ITEM.



GENERAL GRADING NOTES

- 1. All pavement elevations are to top of pavement or top of curb as noted.
2. Fill areas shall be stripped of existing vegetation and any unsuitable material or trash shall be removed.
3. All fill areas shall be compacted to 95% density.
4. Grades outside buildings shall be 6 inches to 10 inches below finished floor elevations for slab on grade elevations unless otherwise noted.
5. No trees shall be removed unless authorized by the plans or the engineer or architect or owner on the job.
6. All areas next to pavement shall be filled flush with pavement.
7. Location of existing underground utilities or pipelines shown on this drawing is based upon existing plans by others and field location of above ground appurtenances. It shall be the responsibility of any contractor excavating in the area of underground facilities to notify the owner thereof and to exercise extreme caution in the protection of said utilities or pipelines. Contractor shall verify locations of all utilities prior to construction.
8. Cook Consultants Inc. shall not be responsible for the consequences resulting from information provided by or actions of municipalities, utility companies, contractors, or others. It shall be the responsibility of the contractor to verify and coordinate all of the above information with the appropriate agencies prior to construction.
9. Surveyor will not be held liable for any claim or errors in setting stakes for construction if said stakes depicting the area in question are not in the ground for inspection at the time the claim is made.
10. Refer to Architectural and Structural plans for other sections and details.

* WATER MAIN MAY BE REQUIRED TO BE EXTENDED TO THE WEST AND CONNECTED TO EXISTING MAIN. Called B. Ellis - 11.13.97 4:00 pm. He said that this is not necessary. B. Ellis - 450-2847

- TYP. ALL HANGARS.
1. All Elec shall comply with 1996 NEC ART 513
2. HANGAR OFFICES, SHOPS AND RESTROOMS MUST BE HANDICAP ACCESSIBLE IF USED FOR ANYTHING BUT PRIVATE HANGARS
3. LANDSCAPE IRRIGATION REQ'D PER ORDINANCE
4. BACKFLOW PREVENTERS REQ'D - HAS TO BE APPROVED CALL BRUCE ELLIS AT 450 2847 FOR PER.

ABBREVIATION DEFINITION table with columns for symbols and their corresponding terms like SANITARY CLEAN OUT, CONCRETE, ELEVATION, etc.

GENERAL PAVING NOTES

- 1. The concrete pavement shall have sawed joints or construction joints at 18 feet maximum centers and expansion joints at 125 feet maximum centers. Reinforcing shall be #3 bars at 18 inch on centers. Contractor shall submit joint layout for approval.
2. Seal all joints with a rubber sealer.
3. Concrete pavement on site shall be air-entrained (4% - 6% by volume), specified compressive strength of 3000 psi at 28 days; flexural strength of 600 psi at seven days; minimum cement content of 6.0, 94-lb. bags per cubic yard of concrete.
4. Surveyor will not be held liable for any claim or errors in setting stakes for construction if said stakes depicting the area in question are not in the ground for inspection at the time the claim is made.
5. The Standard Specifications for Public Works Construction, North Central Texas shall be used whenever it is noted that it does not apply.

ENG STAMP REQ'D 1/5/98

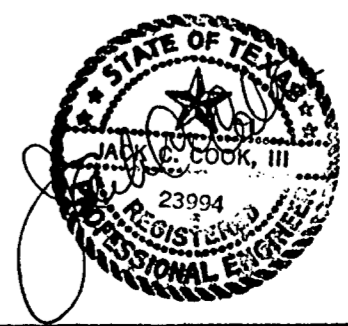
COOK CONSULTANTS, INC. CIVIL AND STRUCTURAL ENGINEERING LAND SURVEYING AND LAND PLANNING 12250 Inwood Road, Suite 10, Dallas, Texas 75244

Revision table with columns for REV. NO., DATE, and DESCRIPTION.

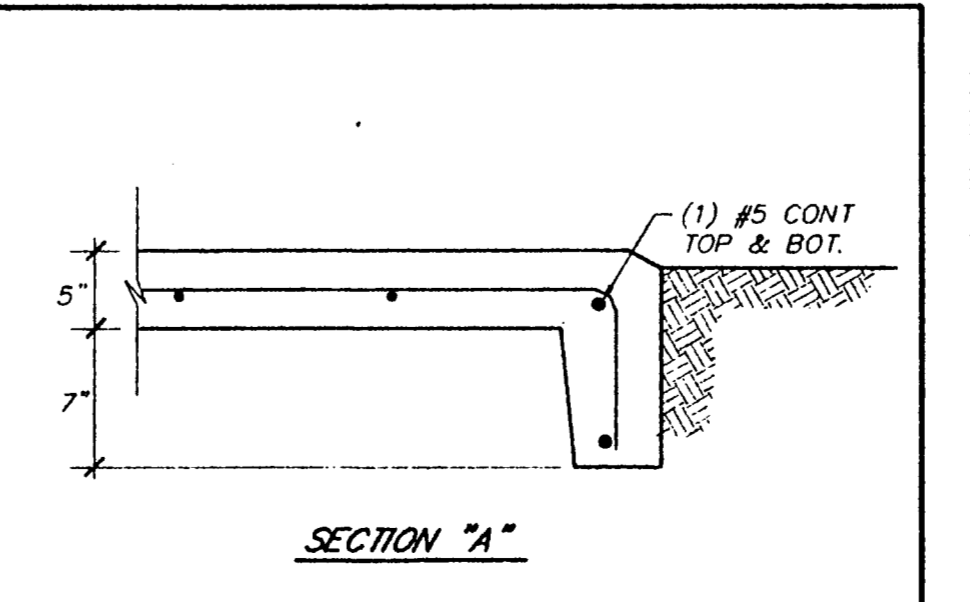
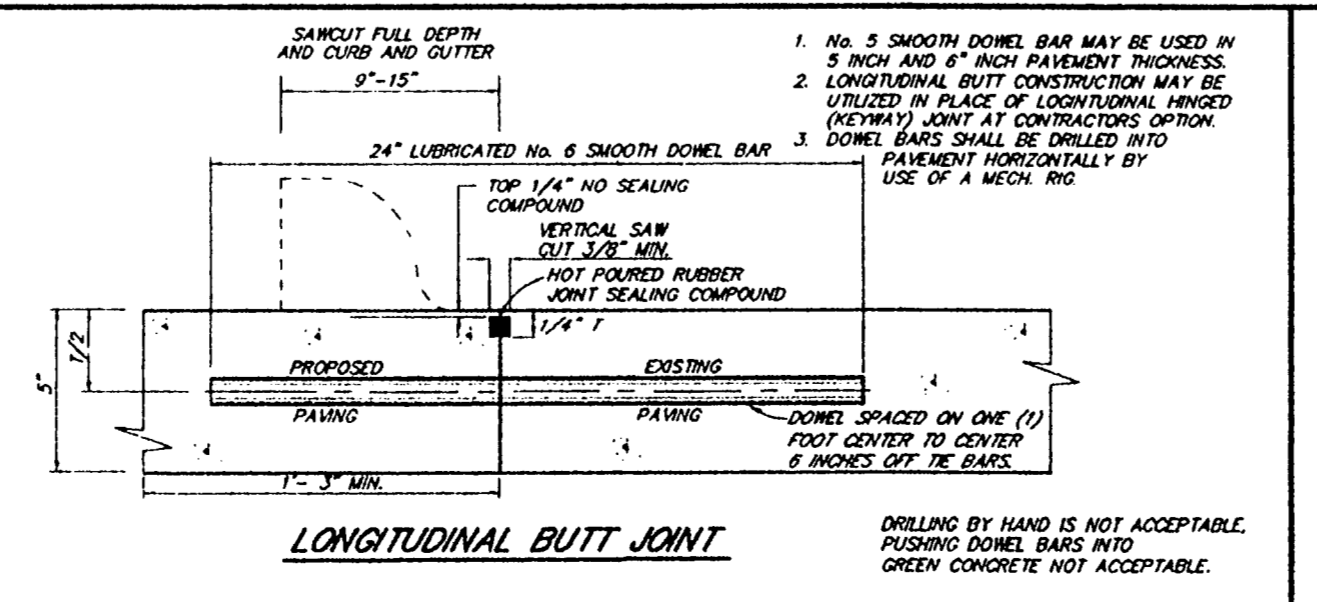
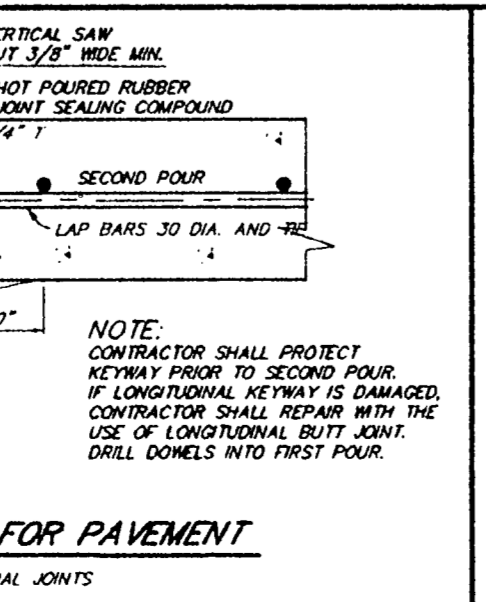
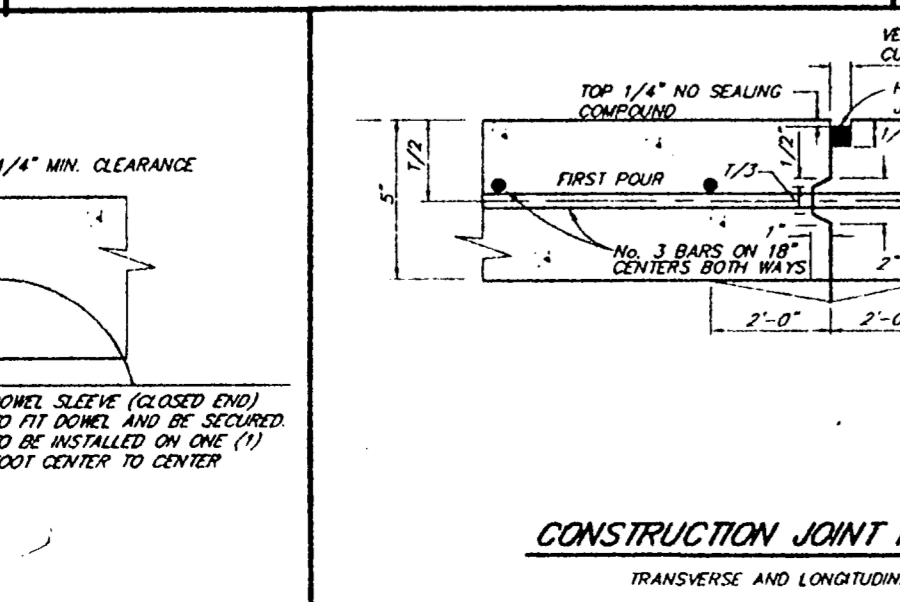
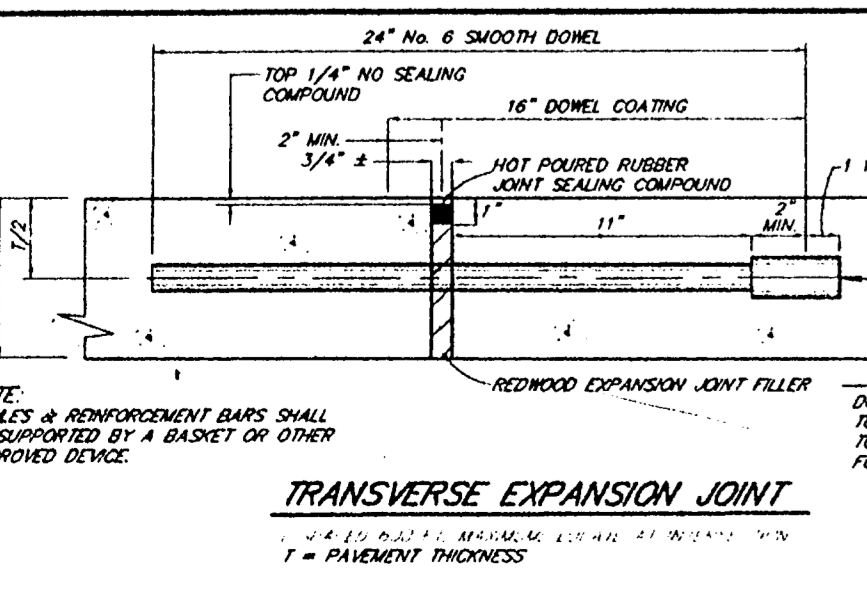
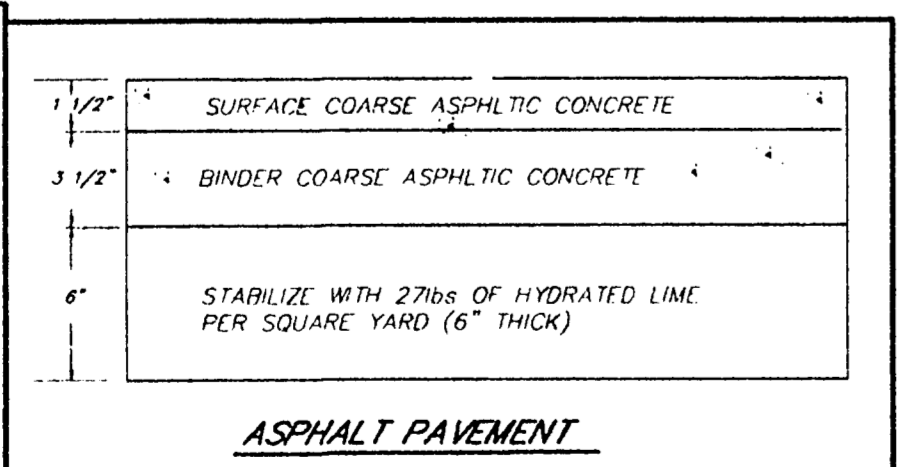
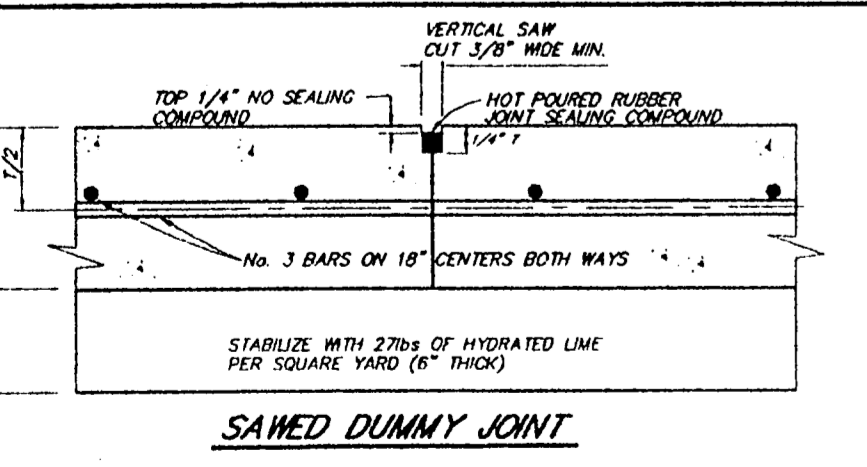
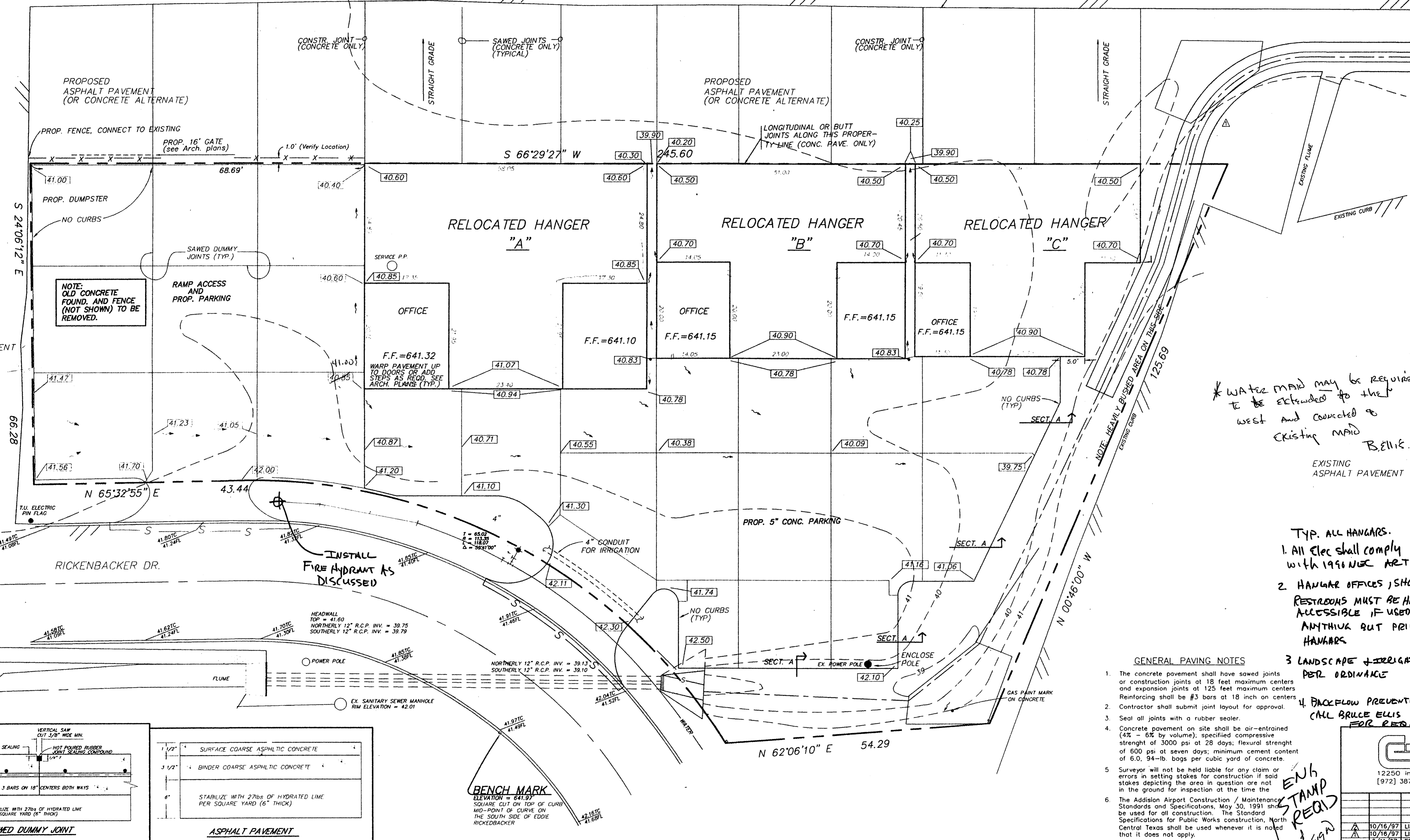
SITE PLAN, PAVING & GRADING 326 NEW RICKENBACKER DRIVE ADDISON AIRPORT ADDISON, DALLAS COUNTY, TEXAS

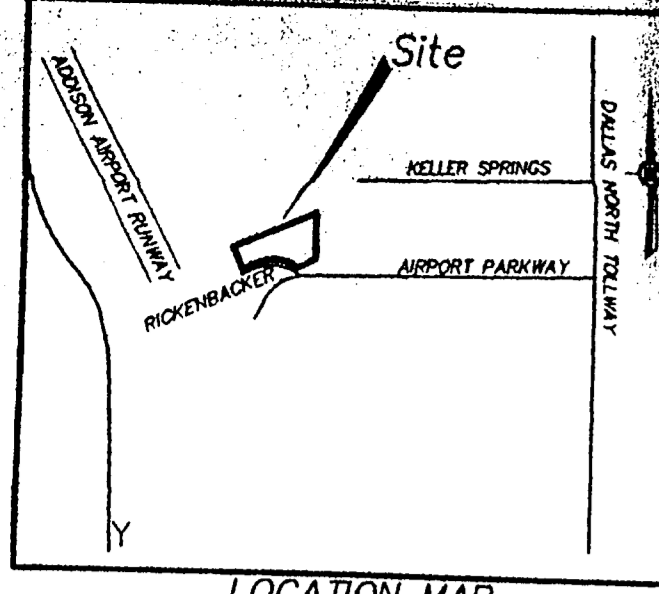
Design table with columns for DESIGN, DRAWN, DATE, SCALE, NOTES, FILE, NO.

NOTE: THESE DOCUMENTS &/OR SPECIFICATIONS MAY BE USED FOR PURPOSES AS INDICATED BELOW. COORDINATION & OR PRELIMINARY, BIDDING ONLY, PERMITTING, CONSTRUCTION. UNDER THE AUTHORITY OF JACK C. COOK III PROFESSIONAL ENGINEER

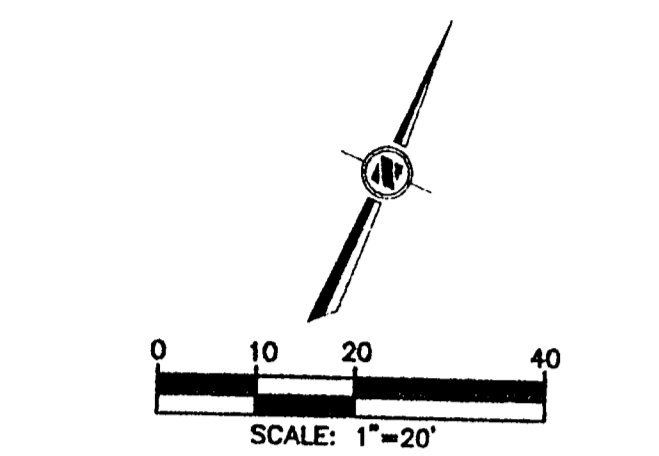


DATE: 11/14/97 PROJECT: 97048





LOCATION MAP NO SCALE

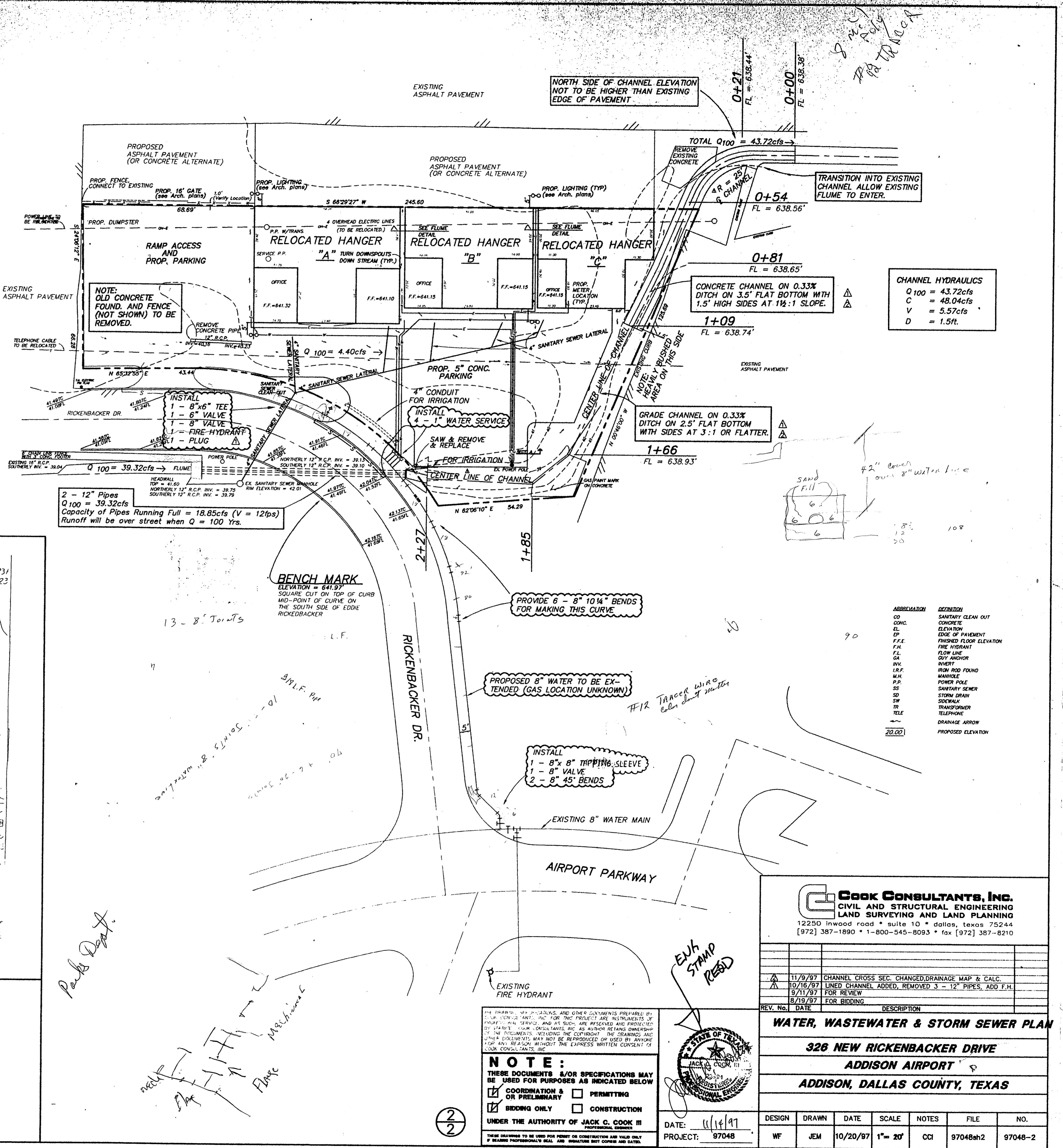
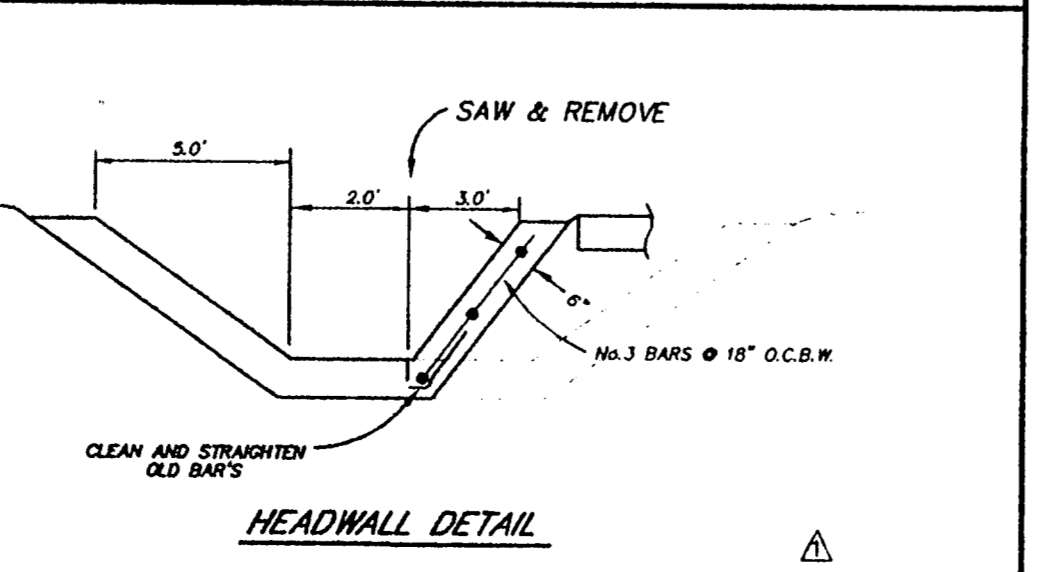
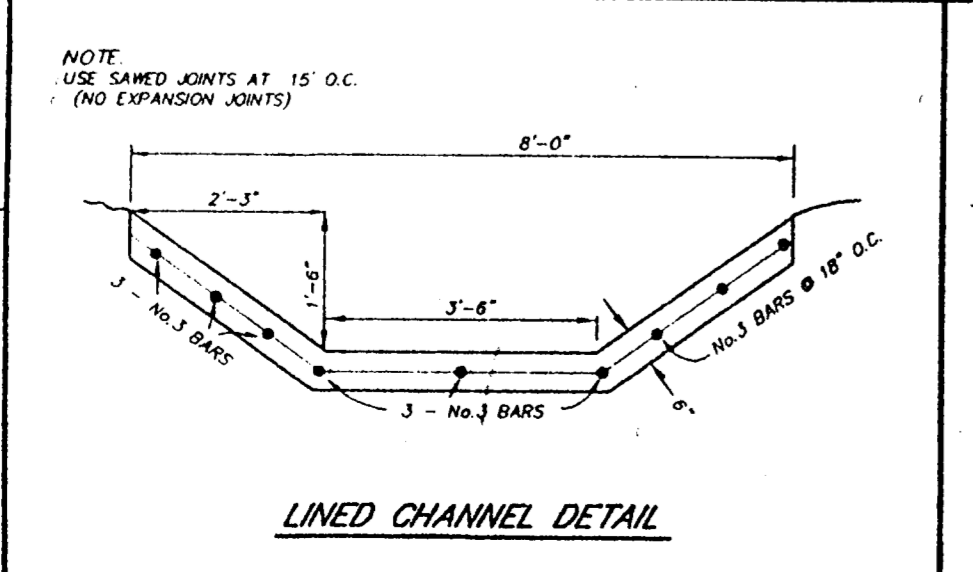
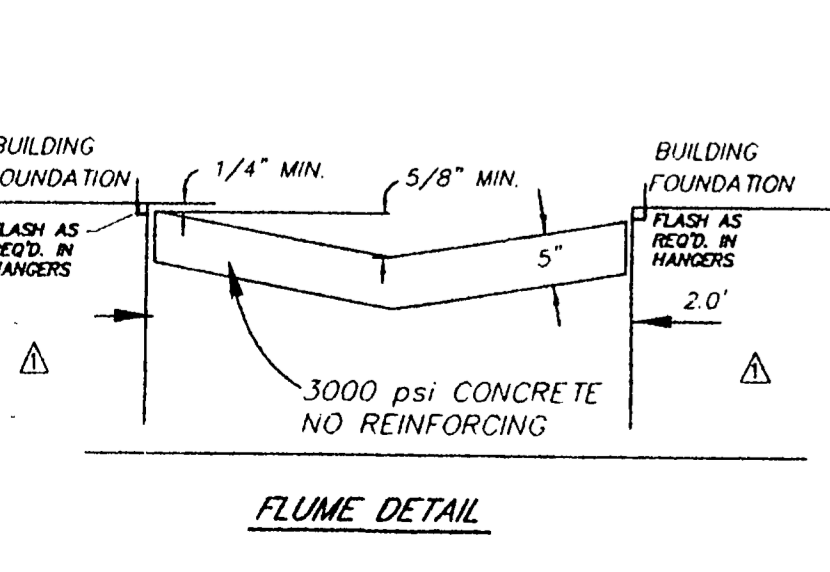
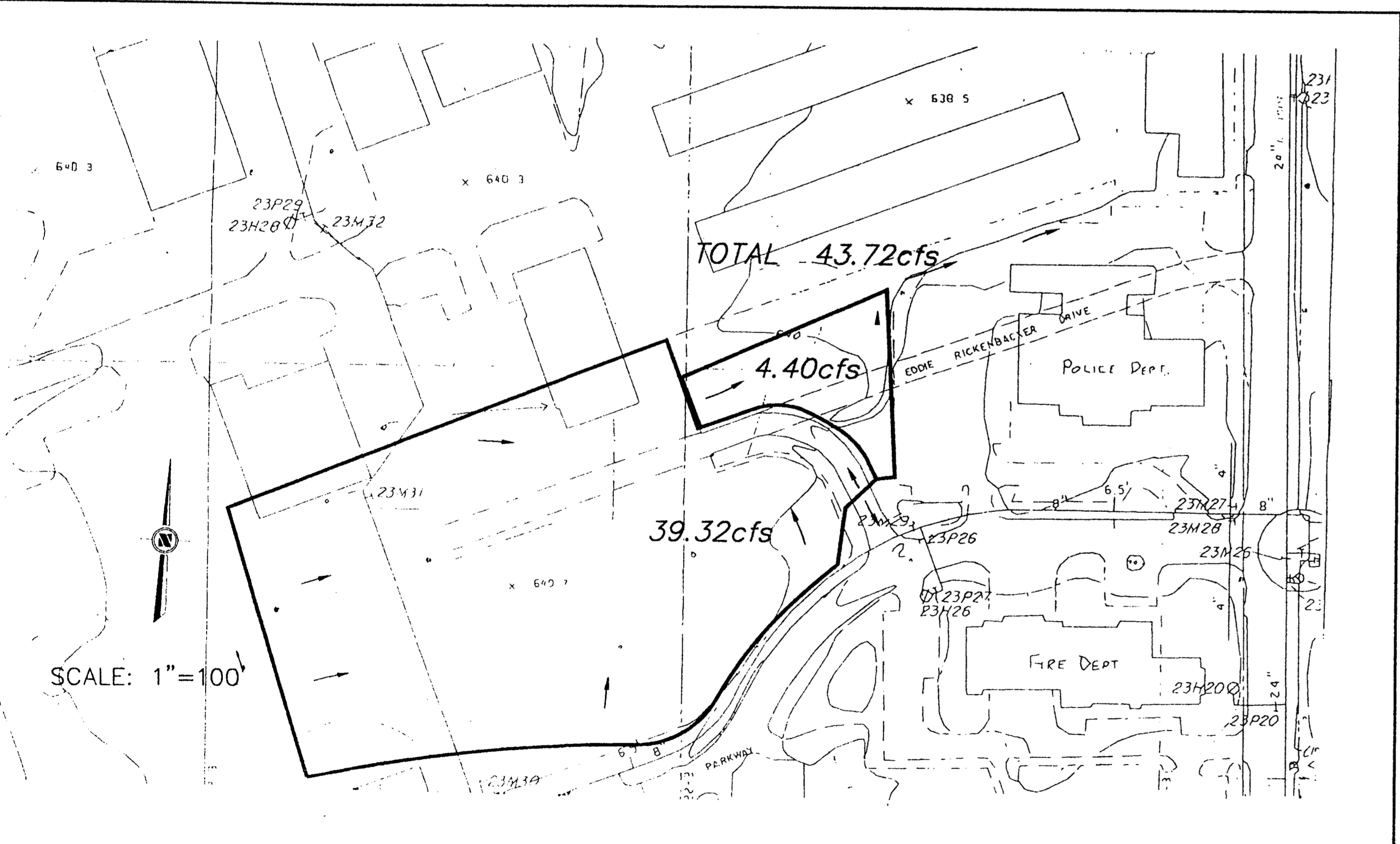


SCALE: 1"=20'

GENERAL NOTES

- ALL WATER MAINS SHALL BE PVC CLASS 200 WATER PIPE.
- ALL WATER MAINS SHALL HAVE A MINIMUM COVER BELOW FINISHED GRADE AS FOLLOWS: 6" & 8"- 48", OR AS REQUIRED TO CLEAR OTHER UTILITIES.
- THE LOCATION OF ALL UTILITIES ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION MUST BE DETERMINED BY THE CONTRACTOR. IT IS THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY OTHER FACILITIES (ADDITIONAL), OTHER THAN THOSE ON THE PLANS, MAY BE PRESENT.
- ALL UTILITY TRENCHES UNDER PROPOSED PAVING SHALL BE BACKFILLED AND COMPACTED TO 95% STANDARD PROCTOR DENSITY.
- ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, ETC. MUST BE ADJUSTED TO PROPER LINE AND GRADE BY THE CONTRACTOR AFTER PLACING OF PERMANENT PAVING.
- ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE TOWN OF ADDISON STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING "AS-BUILT" PLANS TO THE ENGINEER SHOWING THE LOCATION OF SEWER SERVICE BY DISTANCE TO THE LOT LINES.
- ALL WATER SERVICES SHALL BE 1" COPPER AND LOCATED AS SHOWN. (EXCEPT AS NOTED).
- BACKFLOW PREVENTION ASSEMBLIES ARE TO BE INSTALLED BY THE PLUMBER AFTER THE WATER METER INSTALLATION. ALL BACKFLOW PREVENTION ASSEMBLIES SHALL BE IN COMPLIANCE WITH THE TOWN OF ADDISON STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL STAMP A 2-INCH "S" AND A 2-INCH "W" IN THE CURB AT THE LOCATION OF THE SEWER SERVICE AND WATER SERVICE LINES, RESPECTIVELY.
- PRIOR TO BEGINNING CONSTRUCTION, THE OWNER OR HIS AUTHORIZED REPRESENTATIVE SHALL CONVEY A PRE-CONSTRUCTION CONFERENCE BETWEEN THE TOWN OF ADDISON, CONSULTING ENGINEER CONTRACTOR(S), UTILITY COMPANIES AND ANY OTHER AFFECTED PARTIES. NOTIFY BRUCE ELIS 450-2847 AT LEAST 48-HOURS PRIOR TO BEGINNING OF CONSTRUCTION.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE UTILITY COMPANIES TO LOCATE EXISTING FACILITIES. THESE INCLUDE BUT MAY NOT BE LIMITED TO THE FOLLOWING:

1.) THE TOWN OF ADDISON	6.) TU ELECTRIC
2.) LONE STAR GAS	7.) MCI
3.) SOUTHWESTERN BELL	8.) MFS
4.) TC	9.) SPRINT
5.) HERRON	10.) TGC
- THE CONTRACTOR SHALL SUBMIT MATERIAL SHEETS TO THE TOWN OF ADDISON FOR APPROVAL PRIOR TO INCORPORATING MATERIALS INTO THE JOB.



CHANNEL HYDRAULICS

Q ₁₀₀	= 43.72cfs
C	= 48.04cfs
V	= 5.57cfs
D	= 1.5ft.

ABBREVIATION DEFINITION

CO	CONCRETE	SANITARY CLEAN OUT
EL	ELEVATION	EDGE OF PAVEMENT
DF	FINISHED FLOOR ELEVATION	
F.H.	FIRE HYDRANT	
FL	FLOW LINE	
GA	GUY ANCHOR	
INV.	INVERT	
I.R.F.	IRON ROD FOUND	
M.H.	MANHOLE	
P.P.	POWER POLE	
S.S.	SANITARY SEWER	
SD	STORM DRAIN	
SW	SIDEWALK	
TR	TRANSFORMER	
TELE	TELEPHONE	
DR	DRAINAGE ARROW	
PROP. ELEVATION		

Cook Consultants, Inc.
 CIVIL AND STRUCTURAL ENGINEERING
 LAND SURVEYING AND LAND PLANNING
 12250 Inwood road suite 10 • Dallas, Texas 75244
 [972] 387-1890 • 1-800-545-8093 • fax [972] 387-8210

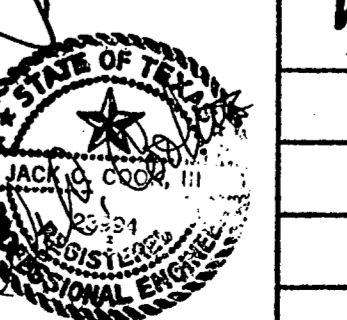
REV. NO.	DATE	DESCRIPTION
11/9/97		CHANNEL CROSS SEC. CHANGED, DRAINAGE MAP & CALC.
10/16/97		LINED CHANNEL ADDED, REMOVED 3 - 12" PIPES, ADD F.H.
9/11/97		FOR REVIEW
8/19/97		FOR BIDDING

WATER, WASTEWATER & STORM SEWER PLAN						
326 NEW RICKENBACKER DRIVE						
ADDISON AIRPORT						
ADDISON, DALLAS COUNTY, TEXAS						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
WF	JEM	10/20/97	1"= 20'	CCI	97048sh2	97048-2

NOTE:
 THESE DOCUMENTS &/OR SPECIFICATIONS MAY BE USED FOR PURPOSES AS INDICATED BELOW

<input checked="" type="checkbox"/> COORDINATION & OR PRELIMINARY	<input type="checkbox"/> PERMITTING
<input checked="" type="checkbox"/> BEDDING ONLY	<input type="checkbox"/> CONSTRUCTION

UNDER THE AUTHORITY OF JACK C. COOK III
 DATE: 11/14/97
 PROJECT: 97048

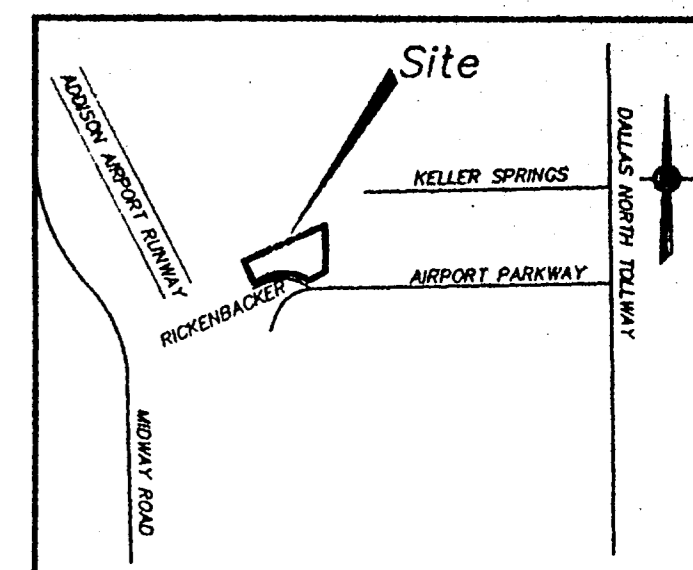


Police Dept.

Flange
Mechanical

2/2

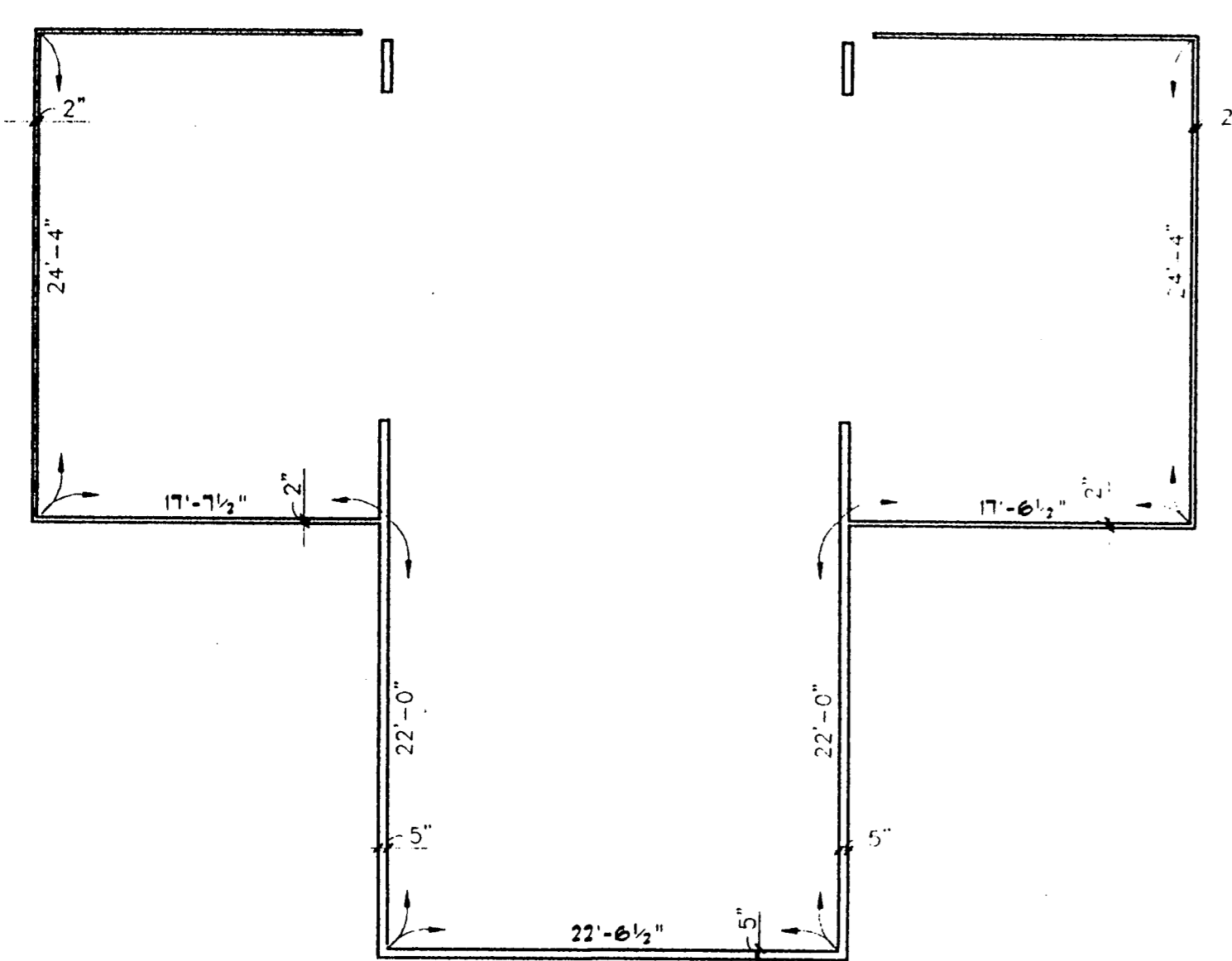
EVA STAMP READ



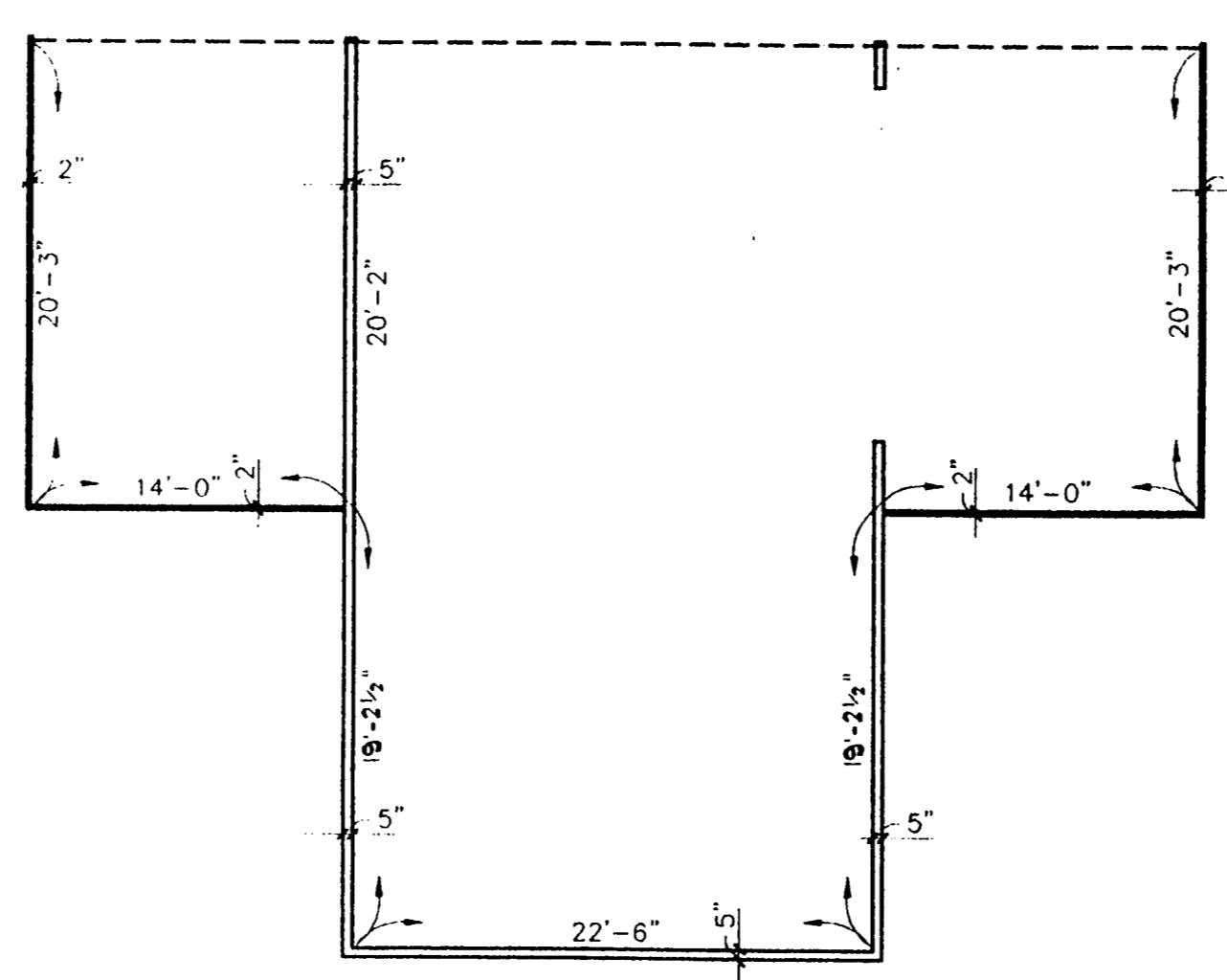
LOCATION MAP
NO SCALE

D. Bruce Ellis
450-2888

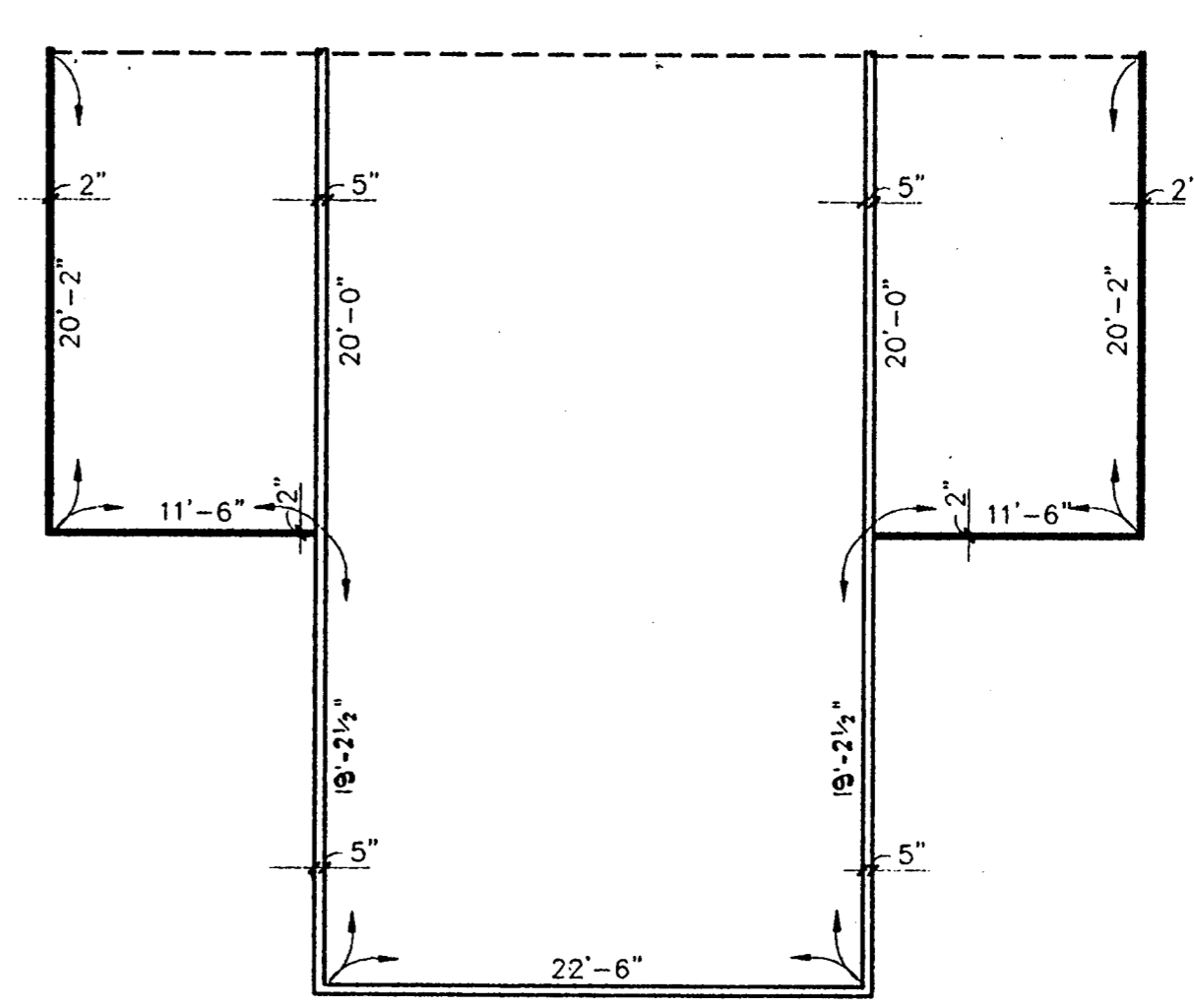
1. SPECIAL INSPECTOR READ FOR ALL STRUCTURAL ELEMENTS.
2. UPON COMPLETION OF PROJECT THE ENGINEER MUST SUBMIT LETTER STATING QCS WERE CONSTRUCTED PER PLAN.



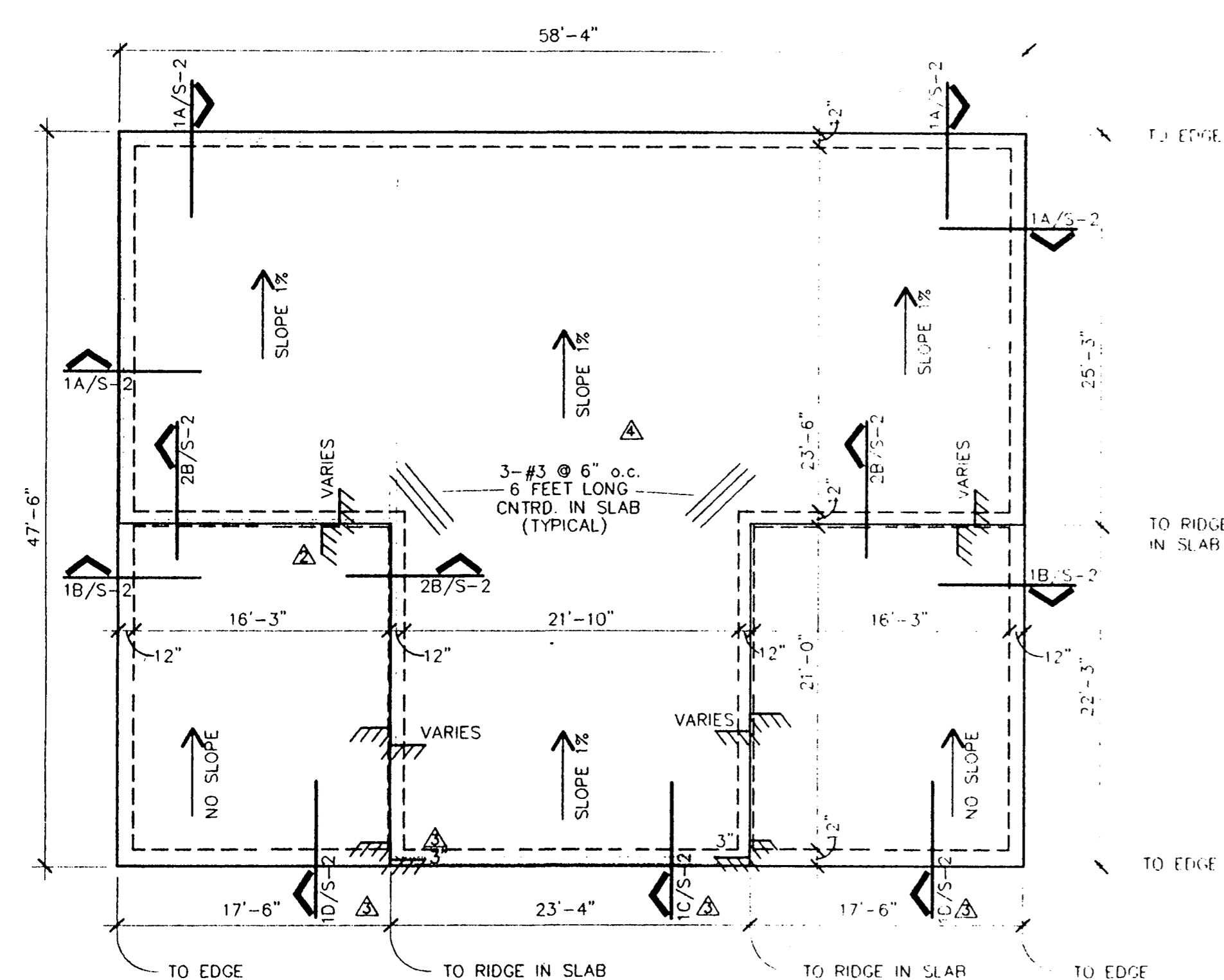
1A HANGER "A" DIMENSIONS



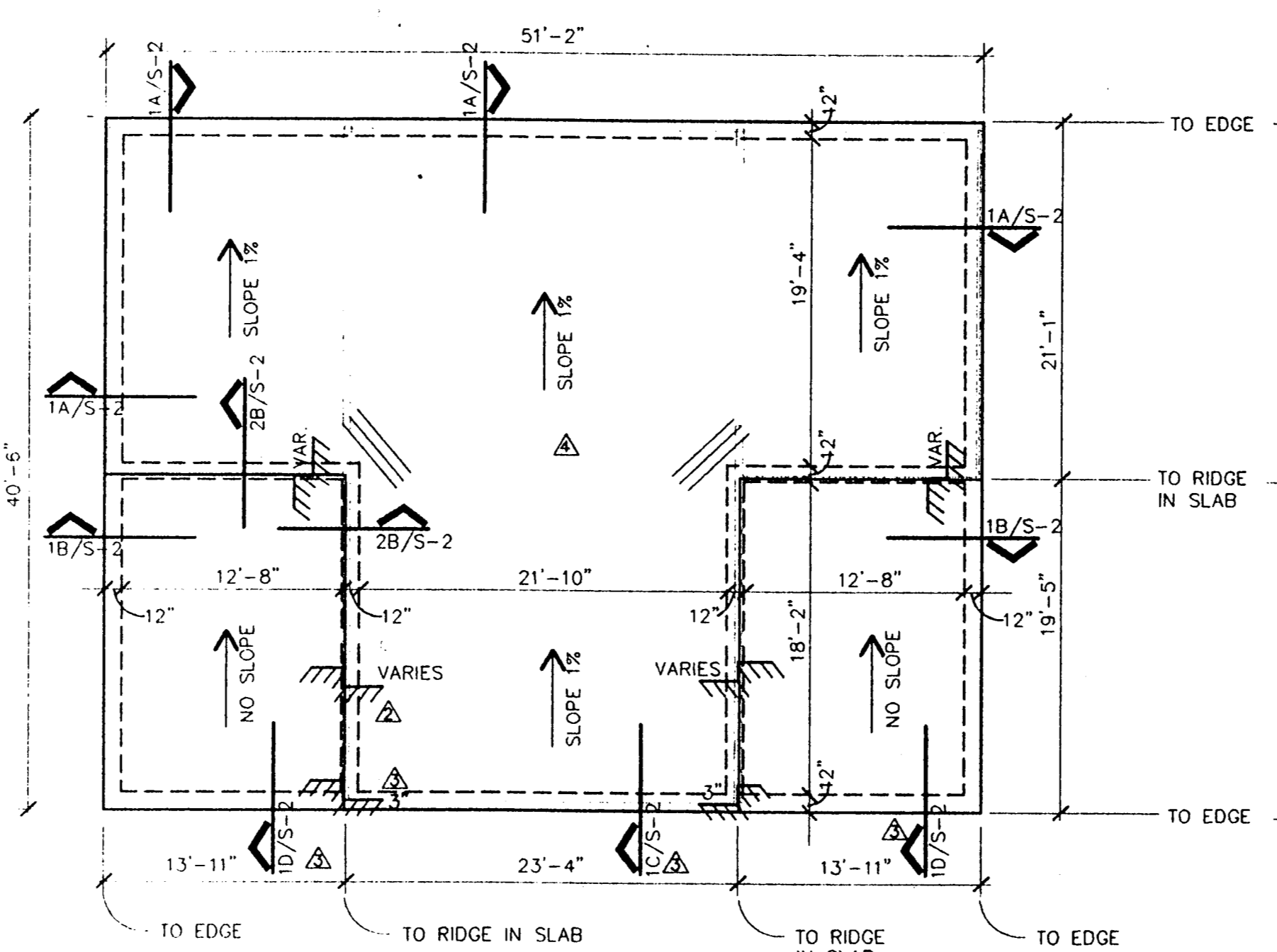
1B HANGER "B" DIMENSIONS



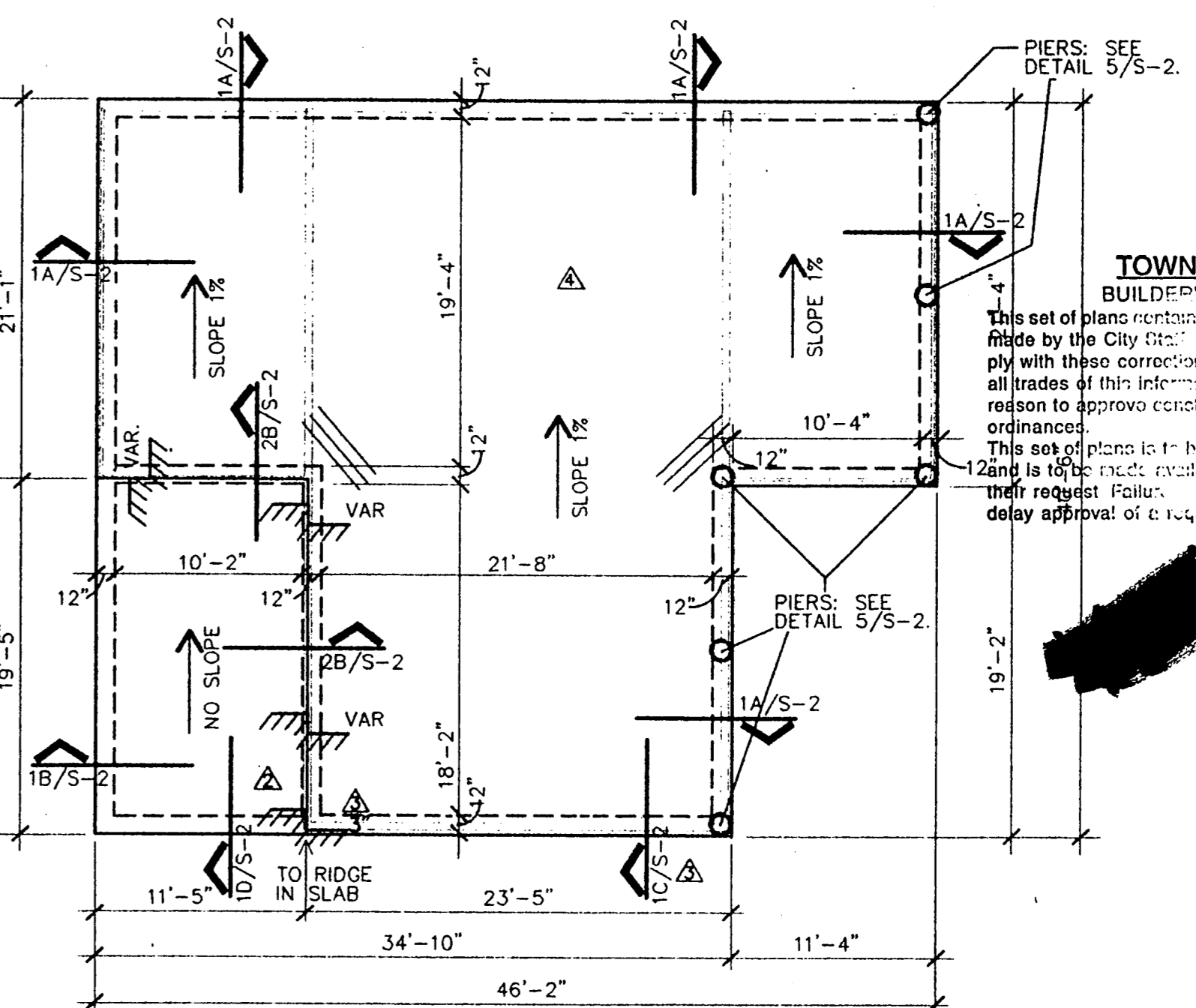
1C HANGER "C" DIMENSIONS



2A HANGER "A" FOUNDATION PLAN



2B HANGER "B" FOUNDATION PLAN



2C HANGER "C" FOUNDATION PLAN

TOWN OF ADDISON
BUILDER'S COPY OF PLANS
This set of plans contains various corrections and comments made by the City of Addison. All trades will be required to comply with these corrections and comments. Failure to inform all trades of this information will not be accepted as a reason to approve construction which is in violation of local ordinances.
This set of plans is to be kept on the job site at all times and is to be made available for review by inspectors at their request. Failure to have these plans available may delay approval of requested inspection.

- GENERAL NOTES:
1. FOR FINISHED FLOOR ELEVATIONS REFER TO CIVIL GRADING PLAN AND ARCHITECTURAL PLAN BY OTHERS.
 2. OFFICE AREAS TO HAVE NO SLOPE. HANGER AREAS TO HAVE 1% SLOPE RELATIVE TO HANGER SLAB AREAS, OFFICE SLAB AREAS TO HAVE 3" RISE AT SOUTH ENDS AND OVER 5" RISE AT NORTH ENDS. REFER TO PLANS THIS SHEET
 3. REFER TO SHEET 5-2 FOR GENERAL NOTES SPECIFICATIONS.

Cook Consultants, Inc.
CIVIL AND STRUCTURAL ENGINEERING
LAND SURVEYING AND LAND PLANNING
12250 Inwood Road • Suite 10 • Dallas, Texas 75244
[972] 387-1890 • 1-800-545-8093 • fax [972] 387-8210

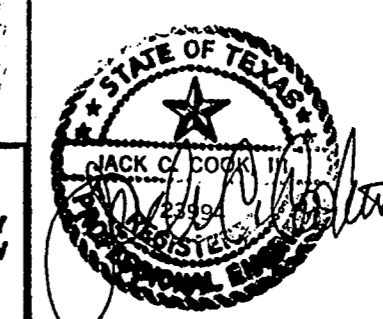
REV. No.	DATE	DESCRIPTION
1	10/6/97	AS REQUESTED BY OWNER FOR REVIEW
2	9/11/97	FOR ARCHITECT
3	8/28/97	FOR BIDDING AND PERMITTING
4	8/18/97	FOR BIDDING AND PERMITTING

NOTE:
THESE DOCUMENTS &/OR SPECIFICATIONS MAY BE USED FOR PURPOSES AS INDICATED BELOW

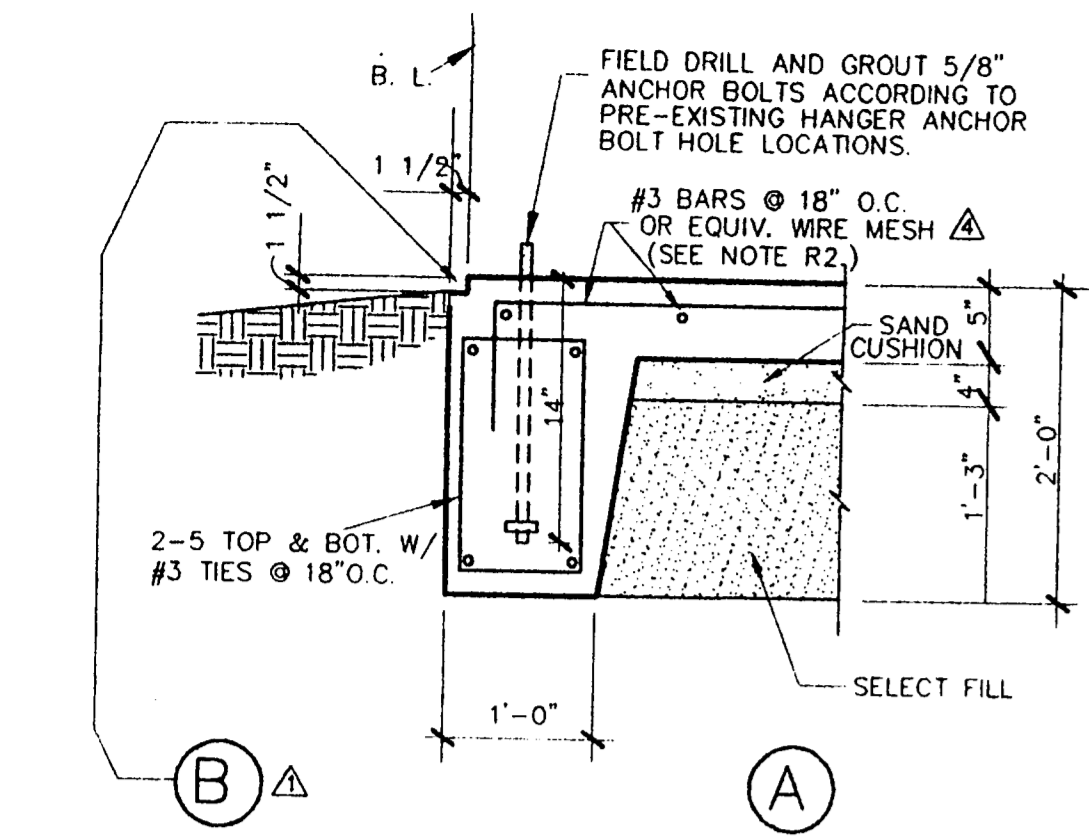
<input checked="" type="checkbox"/> COORDINATION & OR PRELIMINARY	<input checked="" type="checkbox"/> PERMITTING
<input checked="" type="checkbox"/> BIDDING ONLY	<input checked="" type="checkbox"/> CONSTRUCTION

UNDER THE AUTHORITY OF JACK C. COOK III
PROFESSIONAL ENGINEER

DATE: 10/6/97
PROJECT: 97048

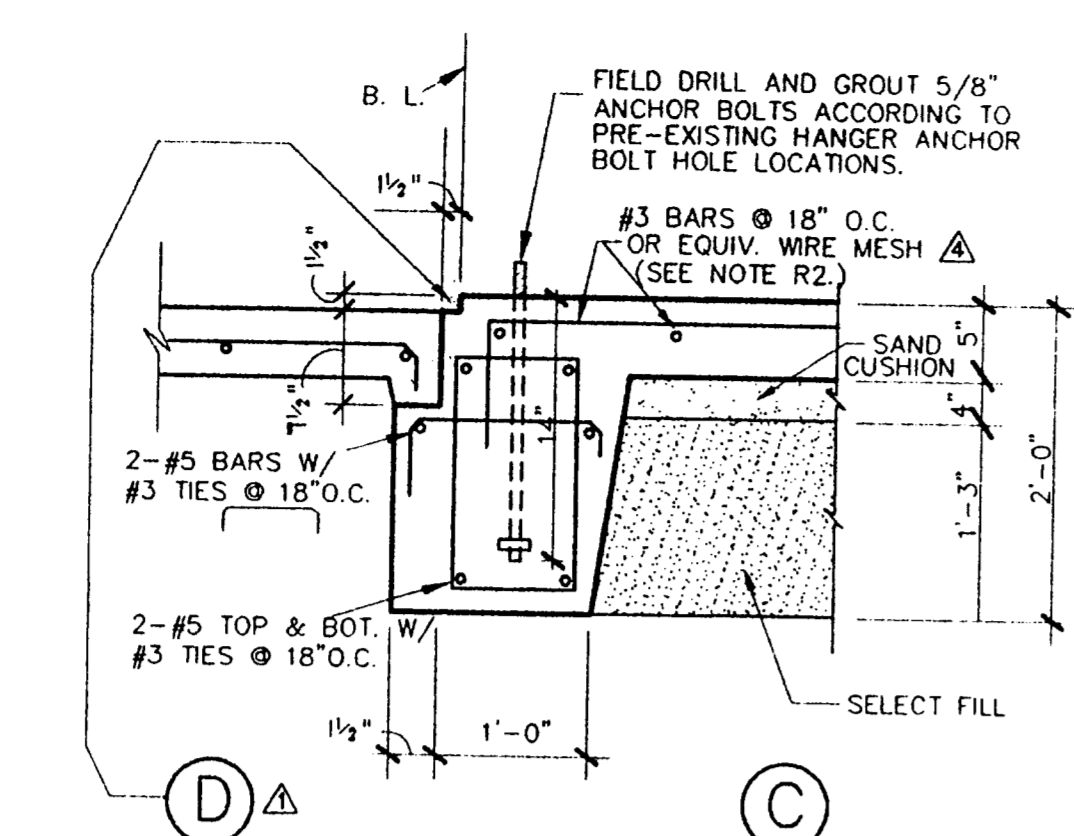


FOUNDATION PLAN						
326 NEW RICKENBACKER DRIVE						
ADDISON AIRPORT						
ADDISON, DALLAS COUNTY, TEXAS						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	SHEET
JCC	KWS	10/6/97	1" = 8'	CCI	97048B	S-1 OF 2



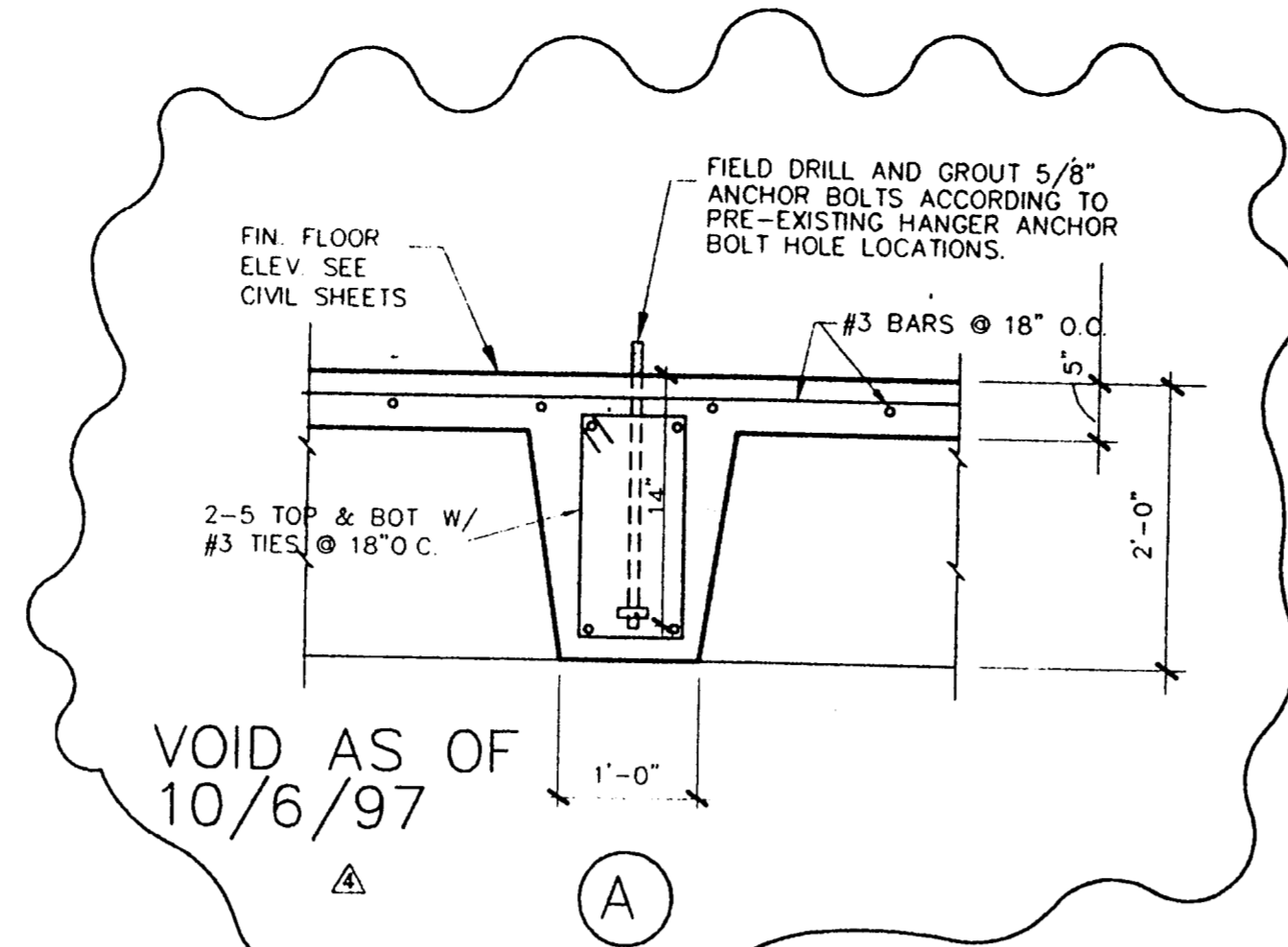
NOTE: SECTIONS MARKED "10/5-2" HAVE NO 1-1/2" x 1-1/2" EDGE BLOCKOUTS.

SECTION 1
3/4" = 1'-0"

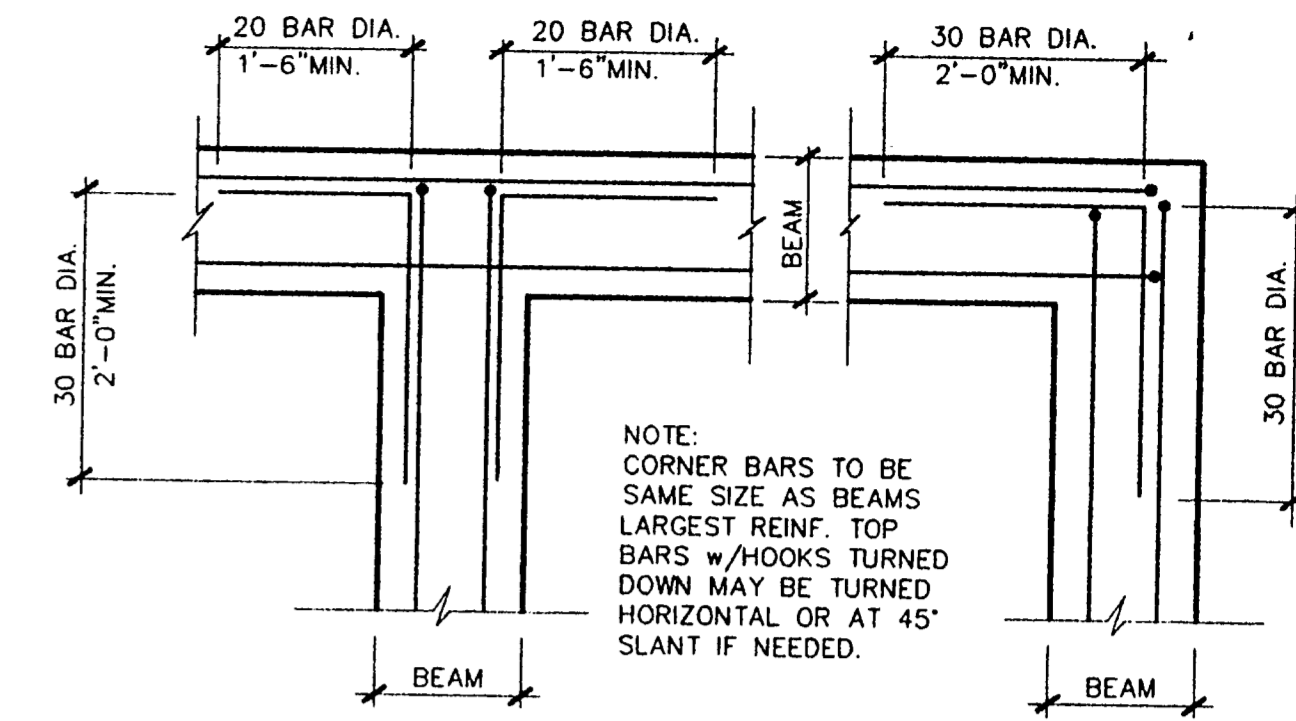
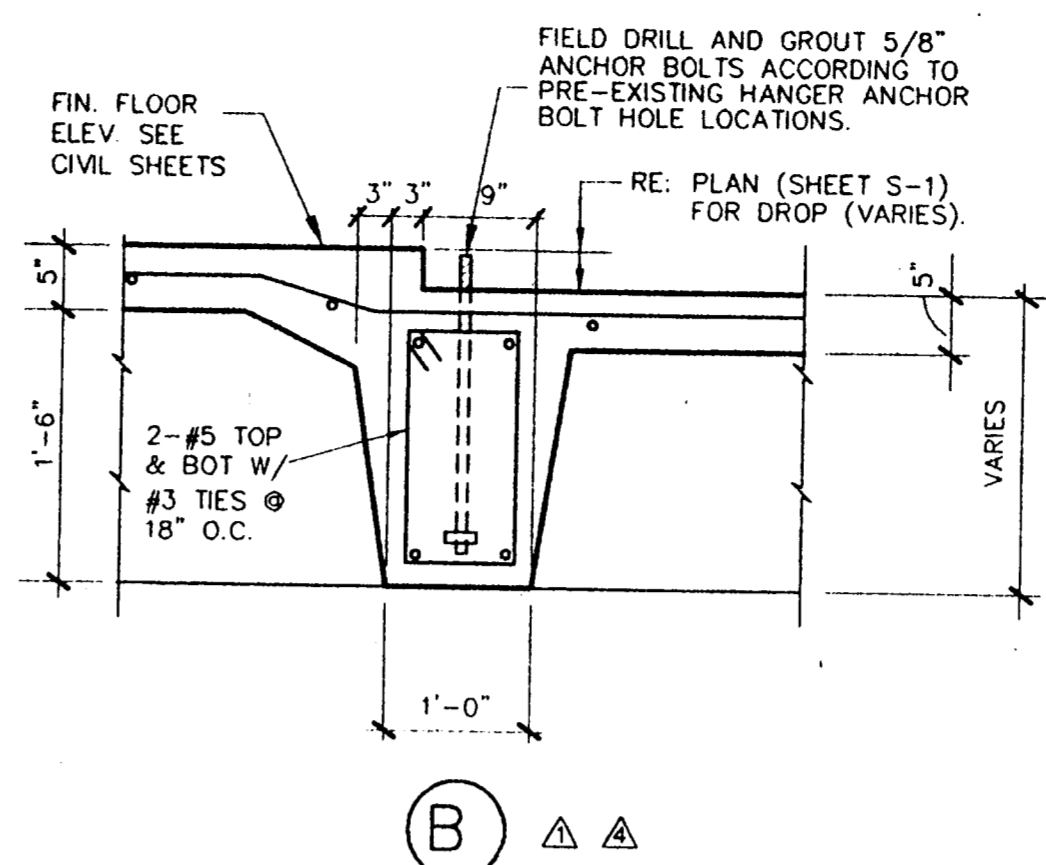


NOTE: SECTIONS MARKED "10/5-2" HAVE NO 1-1/2" x 1-1/2" EDGE BLOCKOUTS.

SECTION 1 @ SOUTH END
3/4" = 1'-0"



SECT. @ INTERIOR BMS.
3/4" = 1'-0"



TYPICAL CORNER BAR DETAIL
NO SCALE

GENERAL NOTES

Addison Airport Hanger Relocation
326 New Rickenbacker Drive
Addison, Dallas County, Texas
CCI Project No. 97048-00-3431

DESIGN LOADS: *** based on UBC Model Code ***

The structural components of this project have been designed in accordance with the provisions of the Uniform Building Code, 1994 edition. The design loads are as follows:

1. Typical Floor:	
Offices	50 psf
Partitions	20 psf
Shops	100 psf
Airplane Service Area	12500 pound airplanes
2. Roof	
	20 psf

The wind loads used for the design of the structural components by others have been based upon the provisions of UBC-91, Section 2311 as follows:

Basic Wind Speed	90 mph
Exposure	"C"
Pressure Coefficients	Method 1
Importance Factor	1.0

FOUNDATIONS:

- F1. No geotechnical report was made available for the above mentioned site. The foundation has been designed based upon only a visual inspection of the soil, knowledge of typical soils in the area, and past experiences designing similar foundations.
- F2. Prior to the start of construction, remove all vegetation, large rocks, debris, etc. from the building areas.
- F3. The shallow footing foundation system has been designed using an allowable bearing pressure of 3000 psf for footings founded in the bearing stratum of existing soil and select fill.
- F4. Foundation excavations shall be concreted within eight hours of completion of trenching. Excavations left open for more than eight hours shall be cleaned of all water and/or loose material prior to placement of reinforcement and concrete.
- F5. An authorized representative of the structural engineer or a qualified geotechnical engineer shall be present during the start of foundation excavation operations to inspect and verify that the proper bearing stratum is reached, the required penetration is achieved, and that any groundwater seepage is correctly handled.
- F6. Grade beam and foundation dimensions and/or locations may not be altered without written approval by the structural engineer and the owner.
- F7. All fill material used to bring the building pod to the desired elevation of the civil grading plans shall be properly compacted select fill.
- F8. All select fill shall be sandy clay or clayey sand with a Liquid Limit less than thirty (30) and a Plasticity Index (PI) between four (4) and twelve (12). Select fill shall be placed in eight (8) inch loose lifts and uniformly compacted to a minimum of ninety-five (95) percent of optimum during and after compaction or as prescribed in the geotechnical report.
- F9. Each lift of fill shall be tested for in-place density and moisture content at a frequency of one test per 5000 square feet to assure that the fill is properly placed.
- F10. Finish grade elevations shall provide positive drainage away from the building area.
- F11. The building slab shall be placed directly on properly compacted select fill of depth as suggested on the civil grading plans. A 10-mil polyethylene vapor barrier shall be provided beneath those slab areas which are to be covered, carpeted, or sealed.
- F12. For concrete slabs-on-grade constructed in accordance with the above recommendations (and additional recommendations outlined in the geotechnical report), a Potential Vertical Rise (PVR) of one (1) inch should be anticipated over the life cycle of the project due to climatological extremes.
- F13. Adequate provisions for floor slab movements of this magnitude shall be provided for all partitions, floor-mounted equipment, floor coverings, etc. The Owner shall notify Cook Consultants, Inc. at least two weeks prior to the onset of construction if such potential movements cannot be tolerated.
- F14. All interior partitions shall extend above suspended ceilings at least eight (8) inches. Suspended ceilings shall not be rigidly attached to the structure above, interior partitions nor to the exterior walls or foundations. (If applicable.)

CONCRETE:

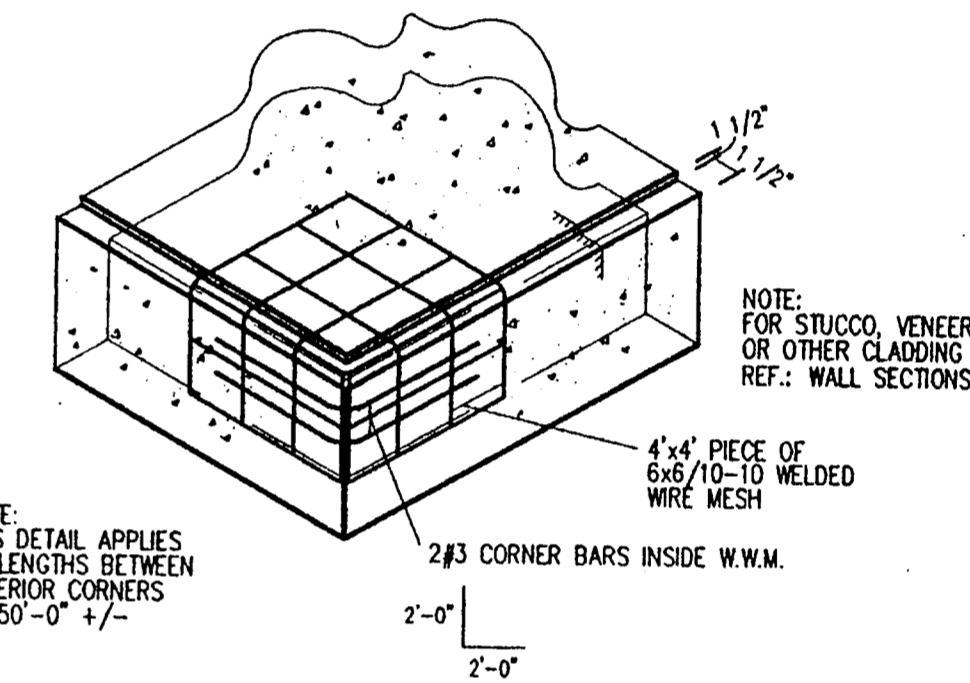
- C1. Concrete work shall be executed in strict accordance with the latest American Concrete Institute Building Code (ACI 318-93). Summer concreting and curing conditions shall be applied in accordance with this code.
- C2. Concrete specifications shall be as follows:
28-Day Strength Sack Content Aggregate H.R. Slump
3000 psi 5.0/cy H.R. 2"-6"
Portland cement shall conform to A.S.T.M. C-150. Aggregate shall conform to A.S.T.M. C-33 (H.R.).
- C3. See structural plans for verification of all depressions, openings, cast-in-place accessories, etc.
- C4. Job site conditions shall be verified by the contractor prior to the fabrication of materials.
- C5. One-inch deep sawed or formed control joints shall be provided where shown on the drawings and so that the total area enclosed by such joints does not exceed 1200 S.F. (If owner/contract approves. If not, the total slab area may be placed at the time subject to utilization of shrinkage compensation concrete or additives, or cooler ambient temperature conditions.)
- C6. All concrete exposed to the weather shall have 5 to 6 percent air entrainment.
- C7. Construction joints in beams when necessary, shall occur near the one-third point of the span unless a beam intersects at that point, in which case the joint shall be offset a distance equal to twice the width of the beam containing the joint (U.N.O.). The Engineer shall be notified of proposed construction joint locations at least 48 hours prior to concrete placement in order to review provisions for transfer of shear and other forces through the joints.
- C8. The Contractor shall submit copies of each proposed concrete mix design and construction joints (if different than plans) to the engineer at least one week prior to the start of construction.

REINFORCEMENT:

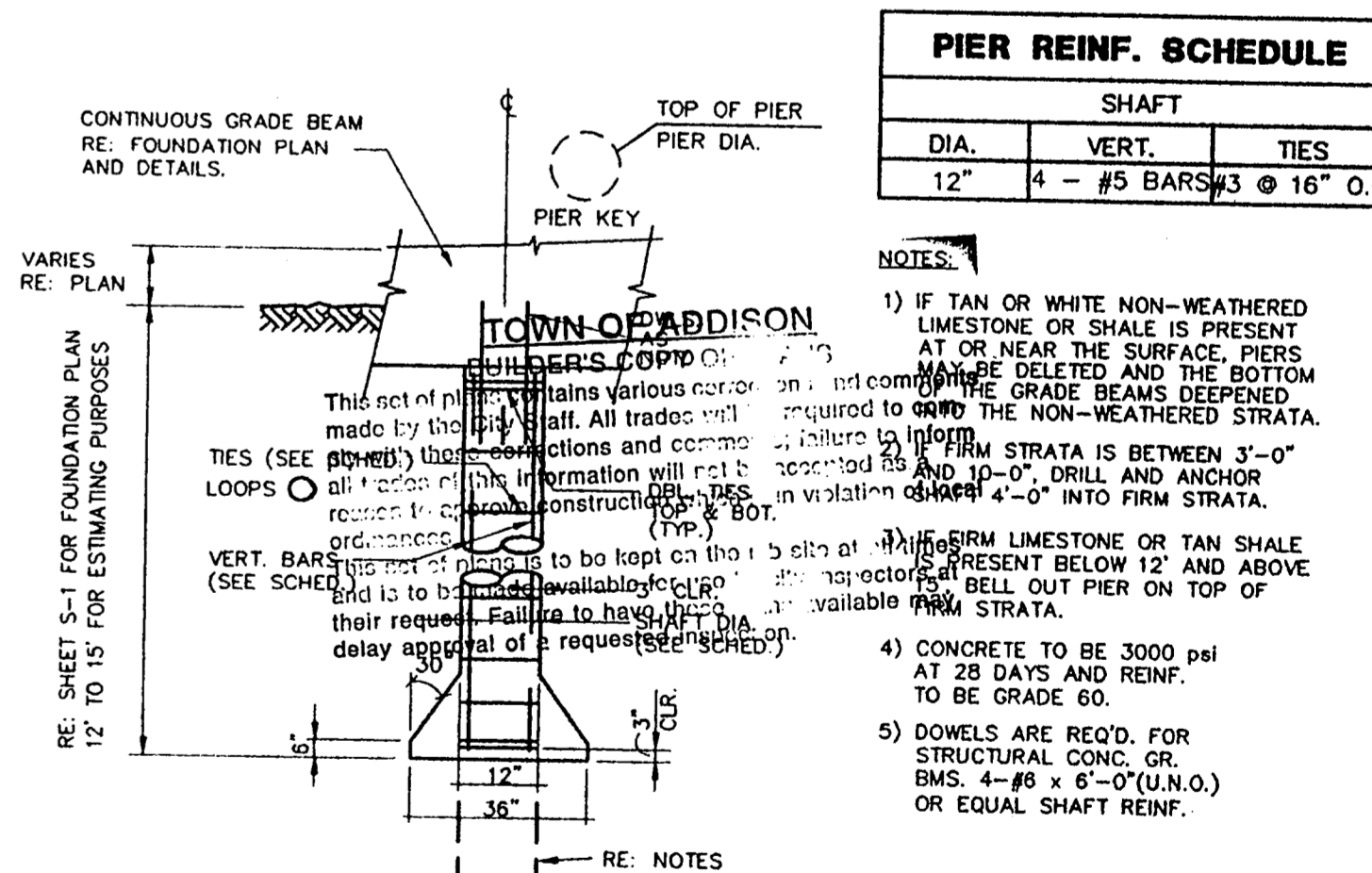
- R1. All reinforcing shall conform to A.S.T.M. A-615, Grade 60.
- R2. All welded wire fabric shall conform to the latest A.S.T.M. A-185 (if utilized). Roll W.W.F. not allowed, only sheets of W.W.F. allowed. Quantity of wire mesh used (if utilized) shall be equivalent in strength to that of grade 50, #3 bars at 18" o.c. each direction.
- R3. Reinforcing steel shall be designed, detailed, fabricated, and placed in accordance with the latest ACI "Manual of Standard Practice for Detailing Reinforced Concrete Structures (ACI-315)," and the CRSI "Recommended Practice for Placing Reinforcing Bars," latest edition.
- R4. Reinforcement shall be placed in order to provide a minimum concrete cover in accordance with the following:
Footings and Grade Beams 3" from bottom and sides
Slabs 1-1/2" from top
- R5. Provide 1-#4 bar each side of all slab openings. Extend bars 1'-0" past openings in each direction.
- R6. Corner reinforcing bars of the same size and spacing as larger reinforcement shall be used at all corners and intersections of walls and beams. (See typical details.)
- R7. Splices in reinforcement shall occur at points of minimum stress and lap 30 bar diameters minimum unless noted otherwise.
- R8. Shop drawings showing placement of reinforcing steel in the building areas shall be submitted to the Engineer for review prior to fabrication of materials (if owner and contractor so agree). Engineer can be present to check reinforcement placement in lieu of providing shop drawings.

MISCELLANEOUS:

- M1. Wherever the existing building conditions or plans are found to be different from the proposed plans, the Owner and Engineer shall be notified immediately so any adjustments can be made.
- M2. Work shall be done in accordance with plans, specifications and applicable reports and shall meet codes, rules and regulations of all governing agencies having jurisdiction (City, State, National and Utility Companies). Refer to specifications and drawings for materials, conditions and workmanship.
- M3. If plans and specifications differ from required minimum standards set forth in ordinances of the governing agencies, ordinances shall govern.
- M4. Any disagreement between the plans, specifications and the ordinances of the governing agencies, attention must be called to some before signing of the contract. After the contract has been signed, the contractor is responsible for having all work meet with the requirements of the governing ordinances. No extra to the contract will be granted to correct any discrepancy existing between the work and the ordinances.
- M5. Contractor shall notify the Owner and Engineer at least 24 hours in advance (of concrete placement) for observation of reinforcement placement.
- M6. Reinforcement shop drawings shall be submitted to the Engineer for review with at least 5 (five) working days lead time before beginning fabrication of same unless the engineer observes the reinforcement placement.
- M7. Cook Consultants, Inc. provides these plans to represent the structural engineered foundation. Any floor plan or architectural information that has been shown needs to be verified and is shown as a service to the Owner and the Contractor to clarify the relationship of the structural elements to the other portions of the building. The owner and contractor shall be made solely responsible for the integrity of the building envelope, the compatibility of the finish materials, and strict compliance with the minimum standards set by building codes, ordinances, regulatory agencies, and utility companies.



TYPICAL CORNER
NOT TO SCALE



PIER REINFORC. SCHEDULE		
SHAFT		
DIA.	VERT.	TIES
12"	4'	#5 BARS @ 16" O.C.

- NOTES:
- 1) IF TAN OR WHITE NON-WEATHERED LIMESTONE OR SHALE IS PRESENT AT OR NEAR THE SURFACE, PIERS SHALL BE DRILLED AND THE BOTTOM OF THE GRADE BEAMS DEEPENED TO THE NON-WEATHERED STRATA.
 - 2) IF FIRM STRATA IS BETWEEN 3'-0" AND 4'-0" DRILL AND ANCHOR INTO THE STRATA.
 - 3) IF FIRM LIMESTONE OR TAN SHALE IS PRESENT BELOW 12' AND ABOVE BELL OUT PIER ON TOP OF FIRM STRATA.
 - 4) CONCRETE TO BE 3000 psi AT 28 DAYS AND REINF. TO BE GRADE 60.
 - 5) DOWELS ARE REQ'D. FOR STRUCTURAL CONC. GR. BMS: 4-#8 x 8'-0" (U.N.O.) OR EQUAL SHAFT REINF.

TYP. DETAIL OF DRILLED SHAFT PIER & BELL
NOT TO SCALE

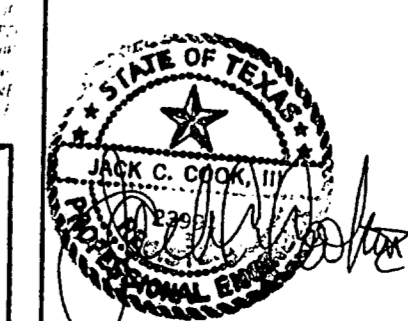
Cook Consultants, Inc.
CIVIL AND STRUCTURAL ENGINEERING
LAND SURVEYING AND LAND PLANNING
12250 Inwood road • suite 10 • Dallas, Texas 75244
(972) 387-1890 • 1-800-545-8093 • fax (972) 387-8210

REV. No.	DATE	DESCRIPTION
	10/6/97	AS REQUESTED BY OWNER
	9/11/97	FOR REVIEW
	8/18/97	FOR BIDDING AND PERMITTING

NOTE:
THESE DOCUMENTS &/OR SPECIFICATIONS MAY BE USED FOR PURPOSES AS INDICATED BELOW

<input checked="" type="checkbox"/> COORDINATION & OR PRELIMINARY	<input checked="" type="checkbox"/> PERMITTING
<input checked="" type="checkbox"/> BIDDING ONLY	<input checked="" type="checkbox"/> CONSTRUCTION

UNDER THE AUTHORITY OF JACK C. COOK III
PROFESSIONAL ENGINEER

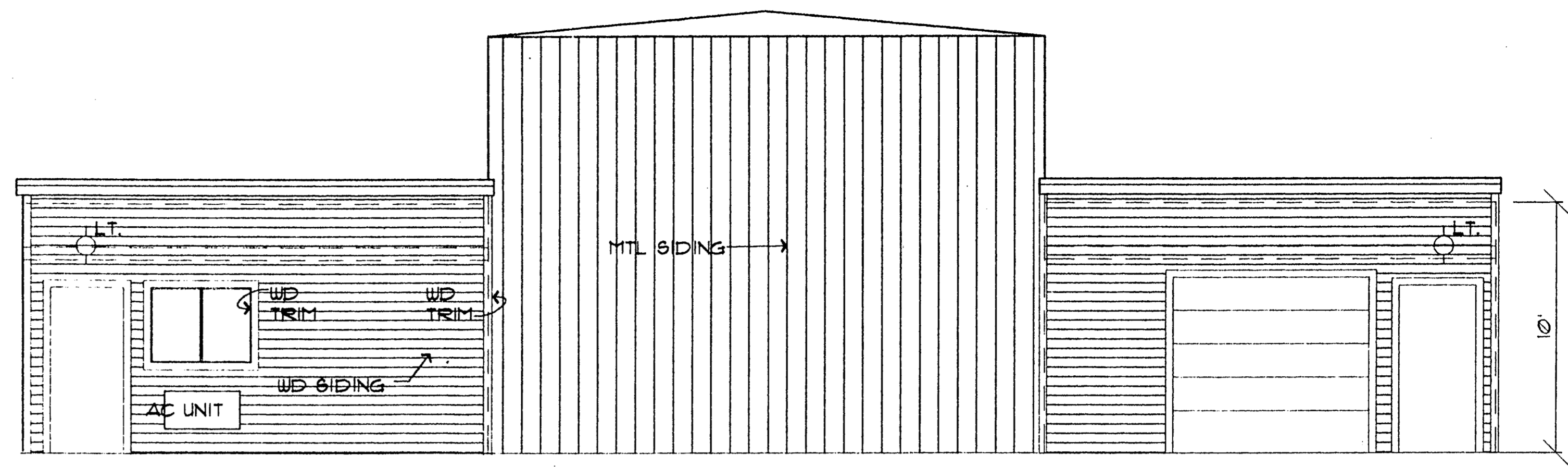
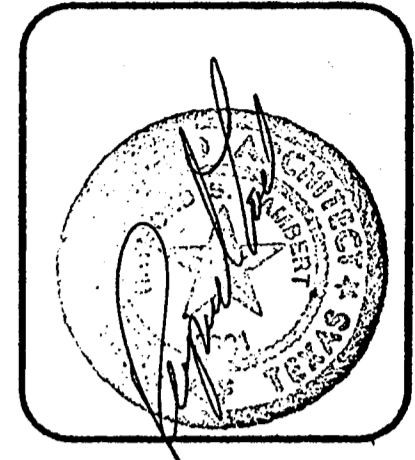


STRUCTURAL DETAILS						
326 NEW RICKENBACKER DRIVE						
ADDISON AIRPORT						
ADDISON, DALLAS COUNTY, TEXAS						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	SHEET
JCC	KWS	10/6/97	VARIES	CCI	DETAILS	8-2 OF 2

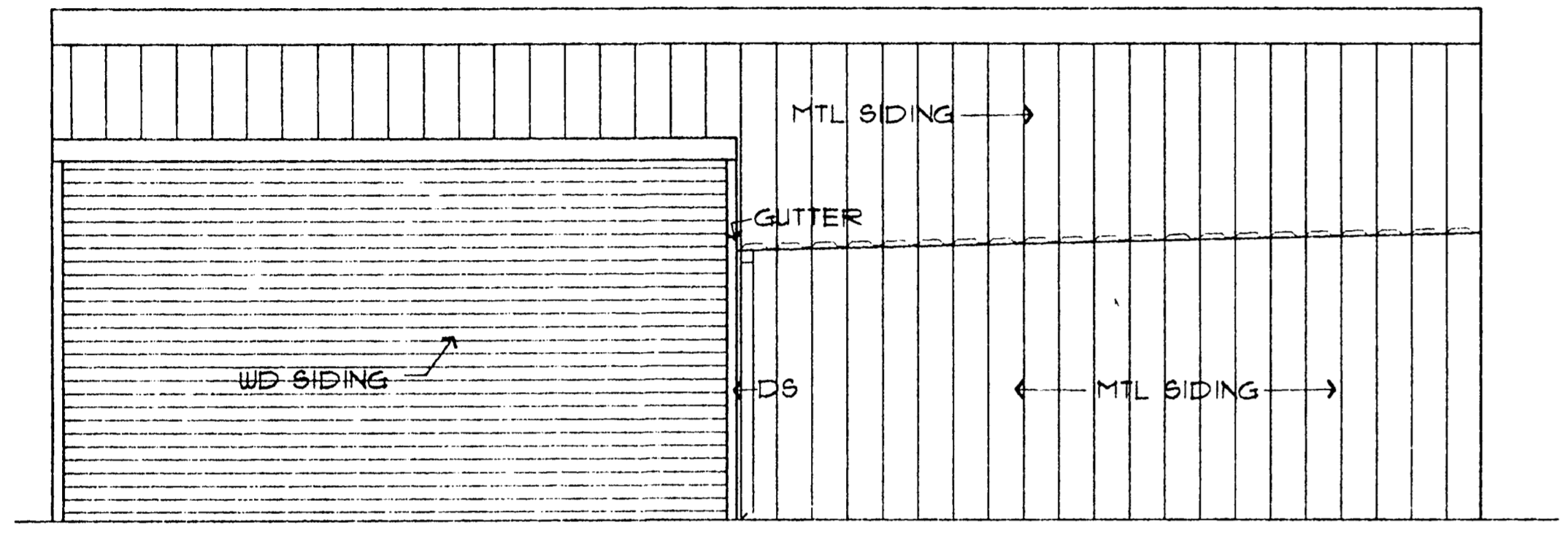
FIXTURE SCHEDULE	
A	2x4 440 SURFACE MTD LITHONIA 440A, WRAPAROUND W/ ACRYLIC LENS, 120 VOLT ENERGY SAVING BALLAST, W/ FOUR (4) #140GU LAMPS, TOTAL 200 WATTS
B	JJNO # F8332 (2 LAMP) CHAIN SUSPENDED 8' ECONOMY INDUSTRIAL
C	PROGRESS P8788 WALL BRACKET, BLACK, 75 WATT 75 WATT FLOOD LAMP
D	PROGRESS P3608, 2 - 60 WATT BULB, WALL MT
V	BROAN B36 EXHAUST FAN VENT 1 SWITCH
F	POLE LITE EXCELNCE 8X8X63-14, 1000 WATT METAL HALIDE ON 20' POLE

drawn by	RSL	8/25/91
checked by		date
issued		date
		9/11/91

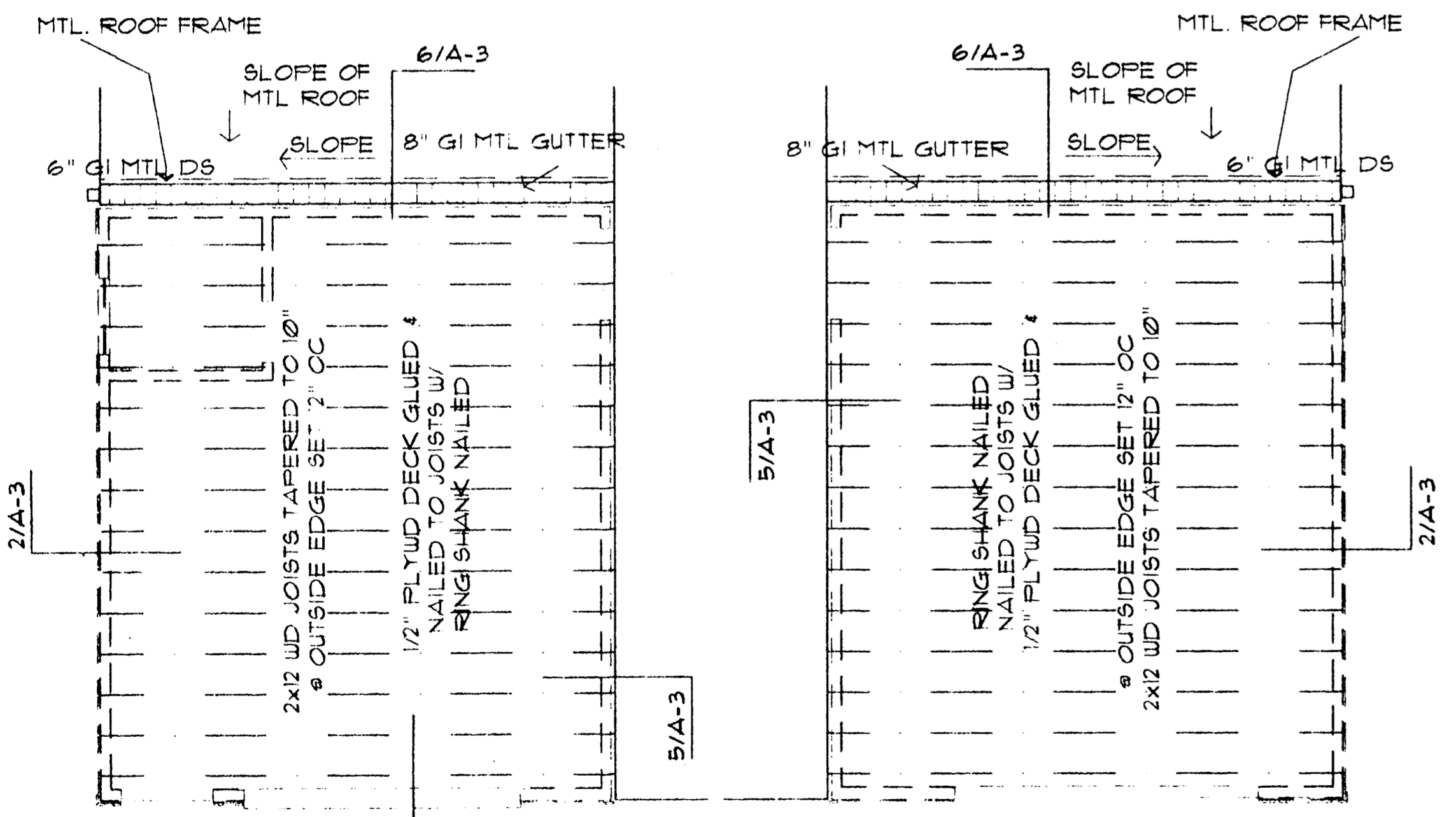
revisions	date



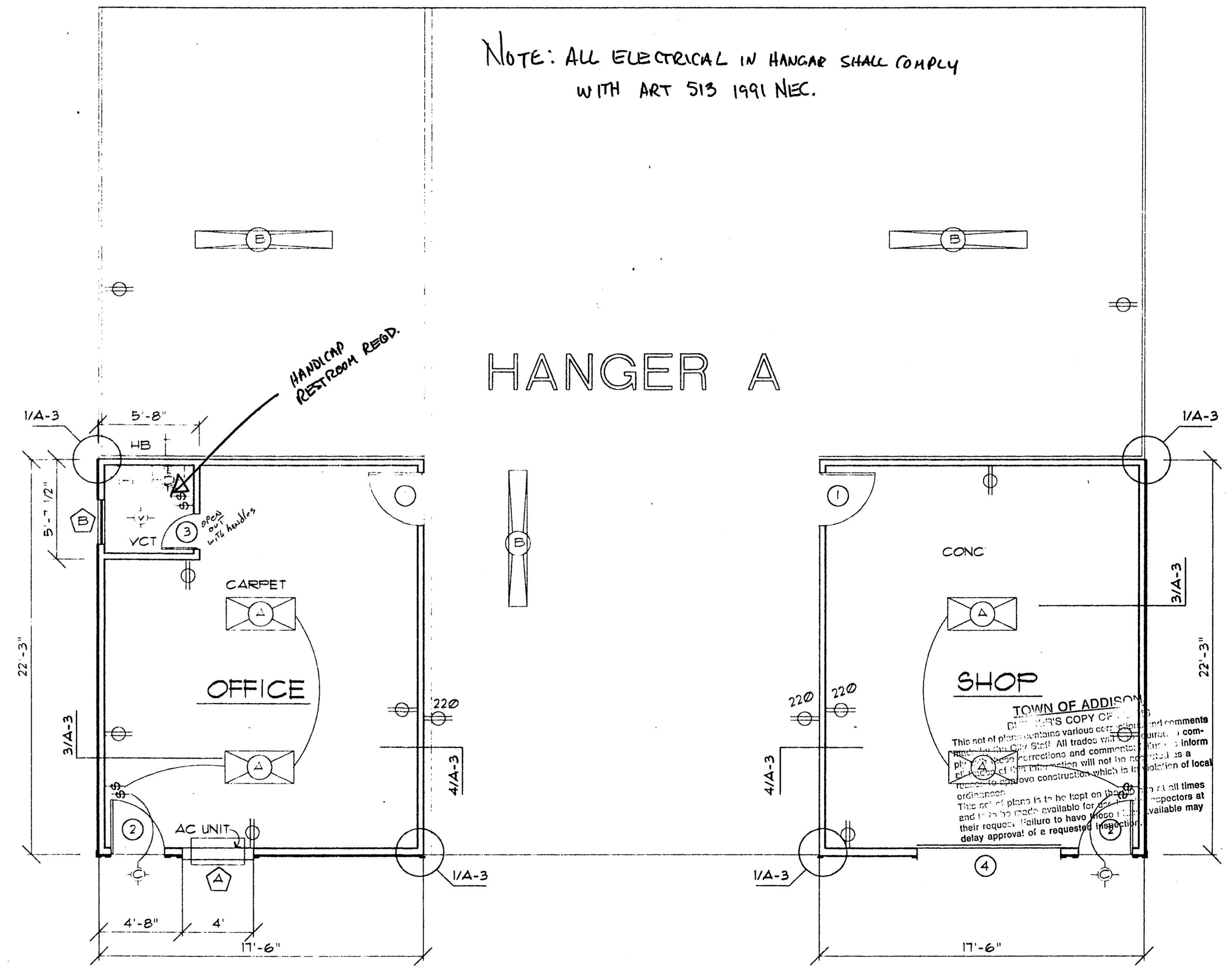
(B) FRONT ELEVATION
SCALE 1/4" = 1' - 0"



(A) SHOP SIDE ELEVATION OPPOSITE SIDE SIM/W WINDOW
SCALE 1/4" = 1' - 0"



ROOF FRAMING PLAN
SCALE 1/4" = 1' - 0"



NOTE: ALL ELECTRICAL IN HANGAR SHALL COMPLY WITH ART 513 1991 NEC.

HANGER A

FLOOR PLAN
SCALE 1/4" = 1' - 0"

HANGER MODIFICATIONS
326 NEW RICKENBACKER DRIVE
ADDISON AIRPORT
ADDISON, DALLAS COUNTY, TEXAS

raymond s. lambert & associates
architect-planners
12240 inwood road
suite 201
dallas, texas 75244
972 387-4286

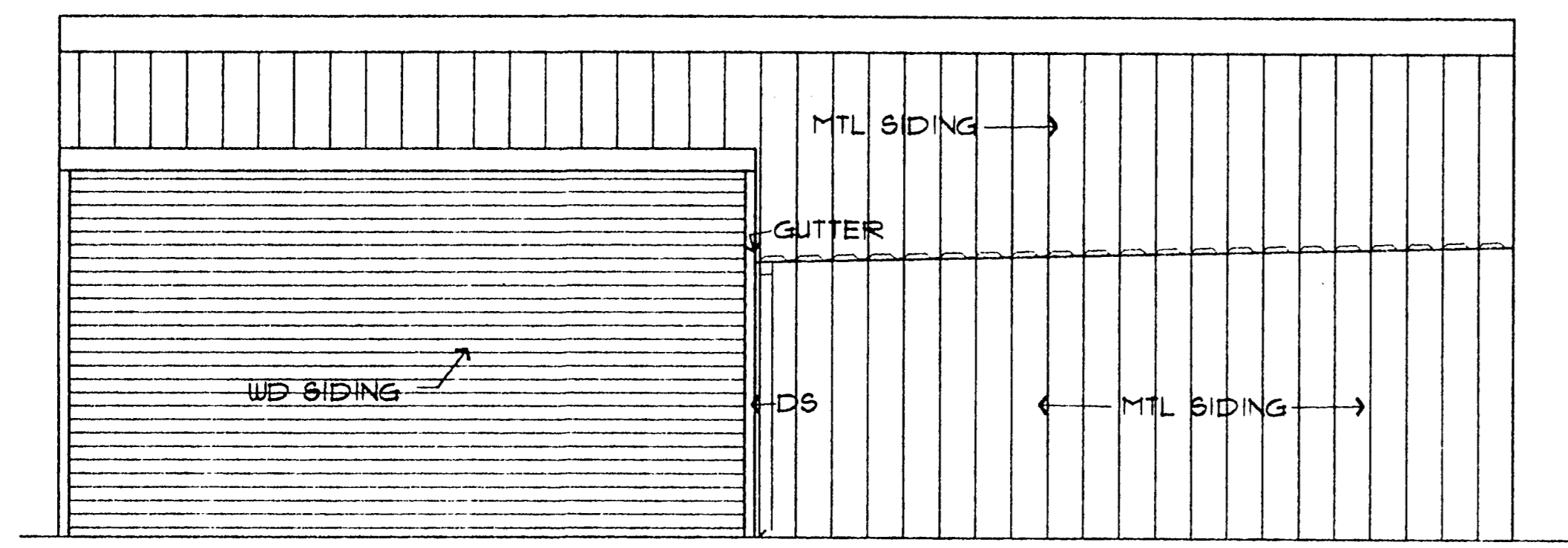
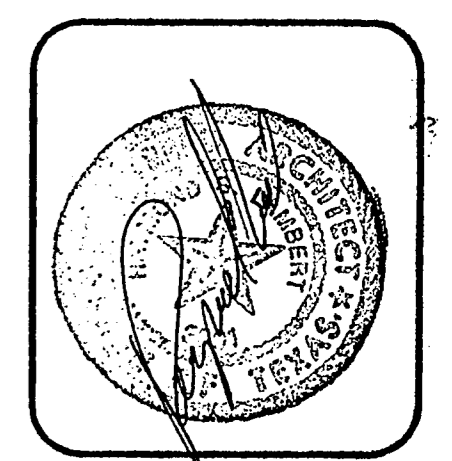
title

sheet no.
A-1

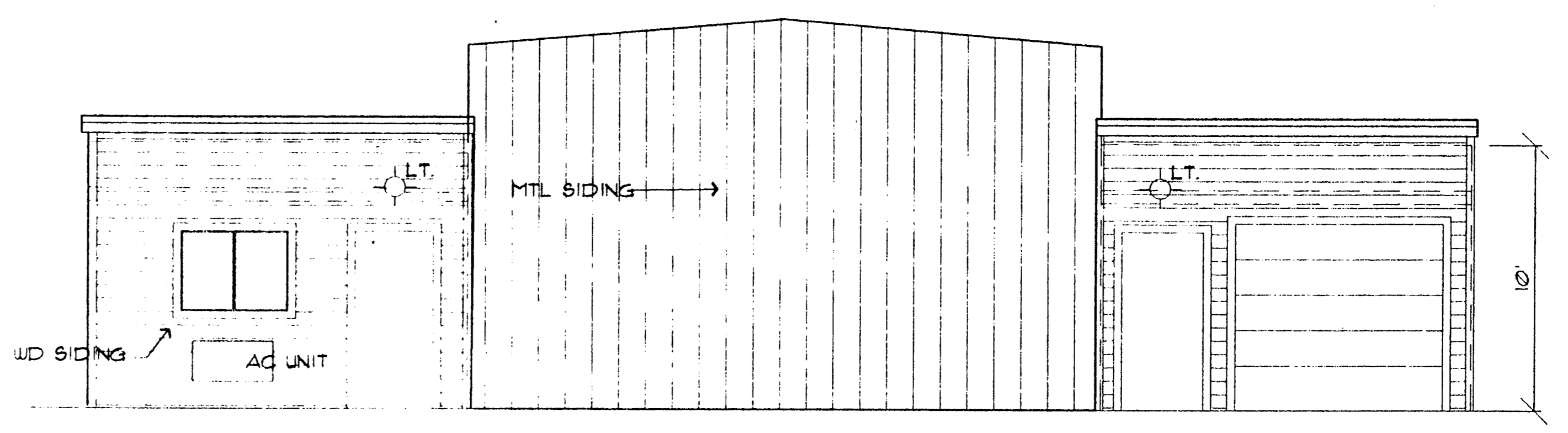
HANGER A

drawn by	RSL	9/1/91
checked by		date
issued		date
		9/1/91

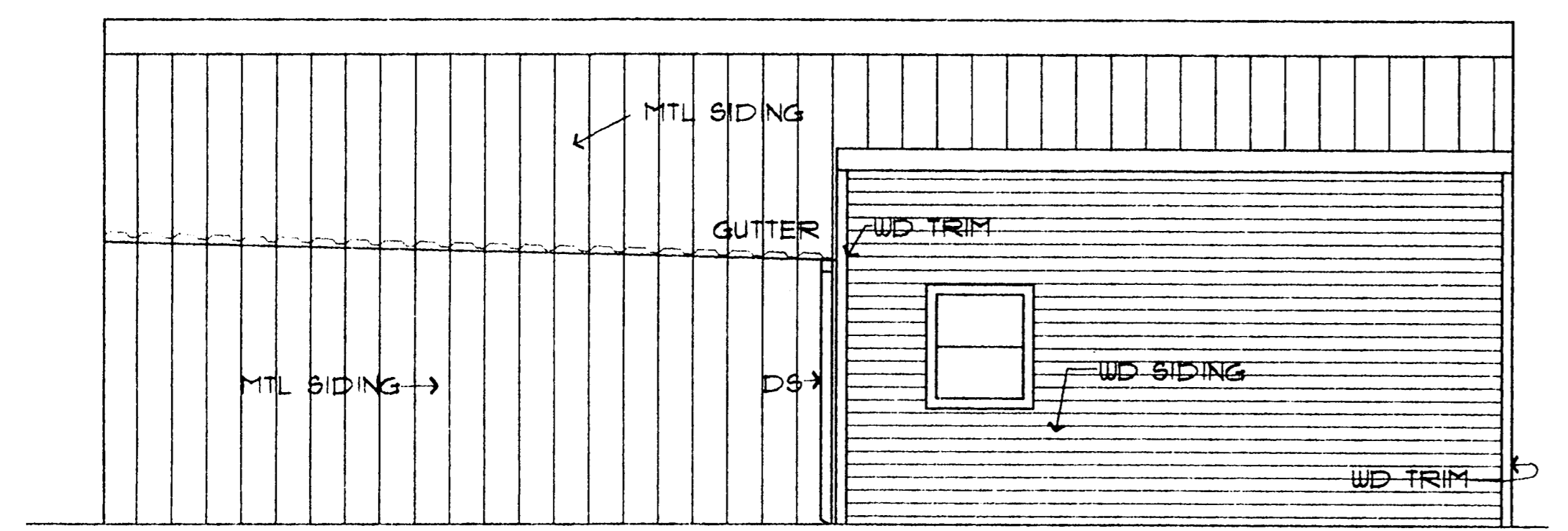
revisions	date



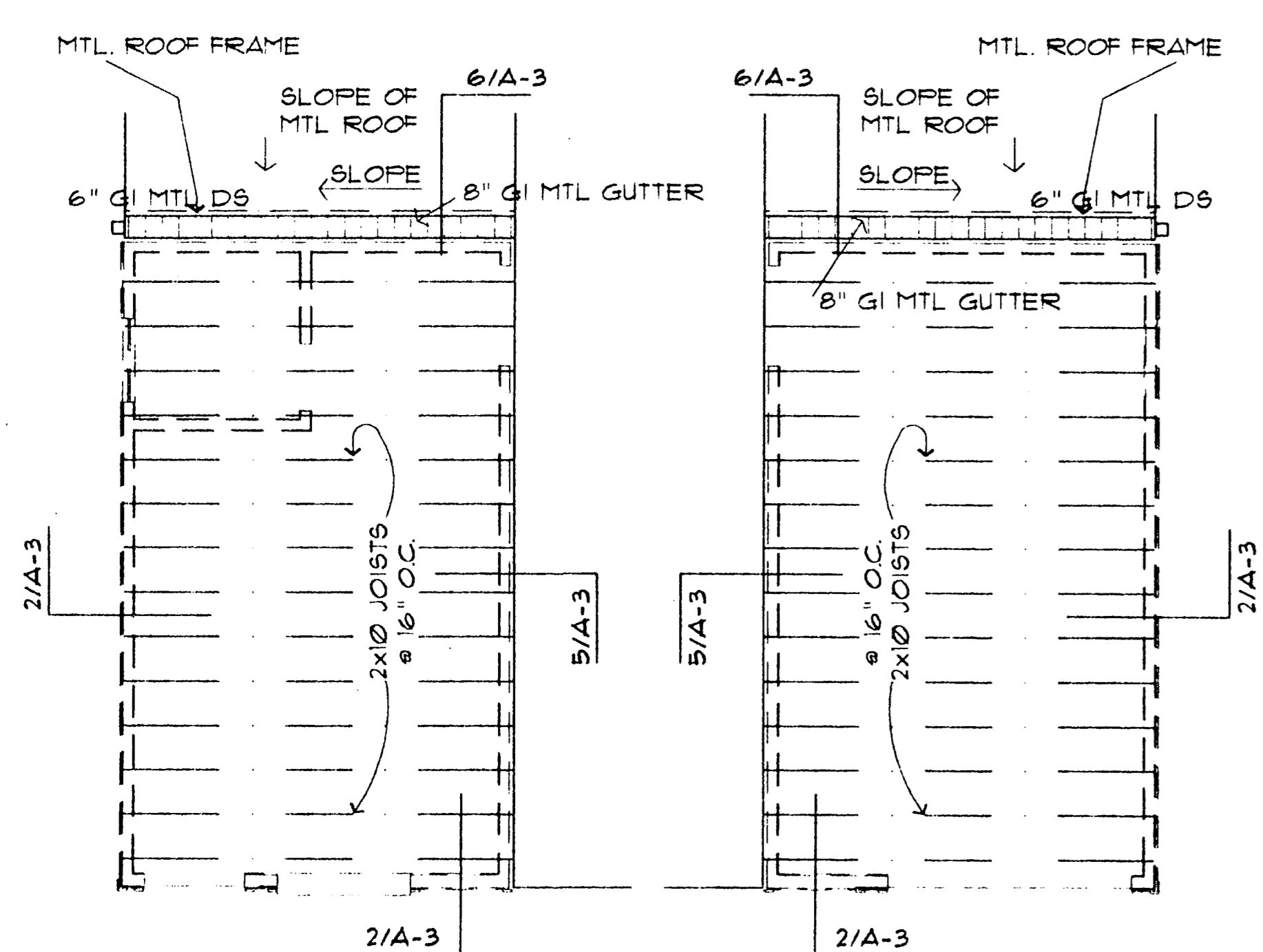
A SHOP SIDE ELEVATION
SCALE 1/4" = 1'-0"



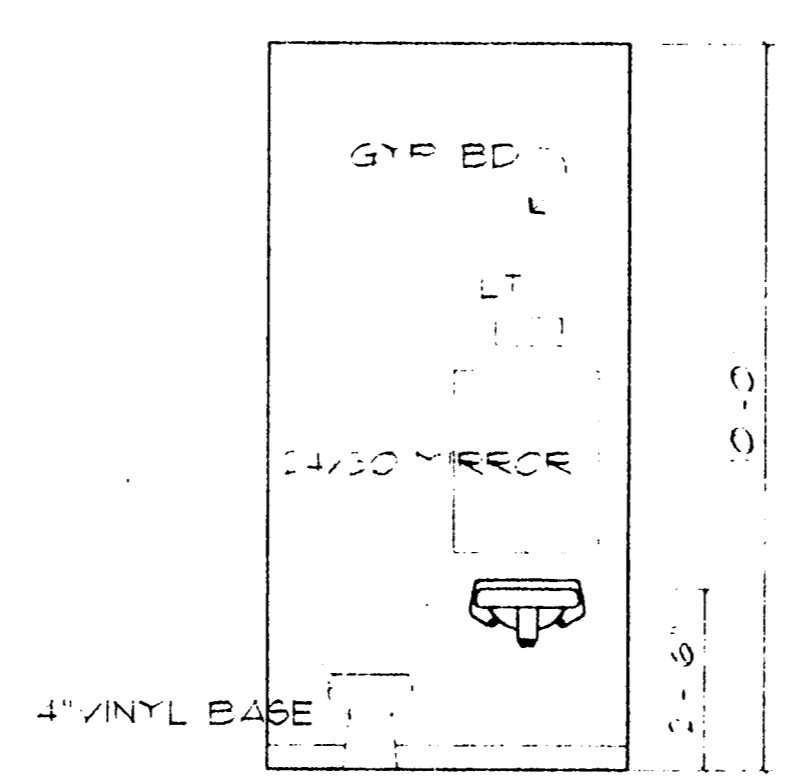
C FRONT ELEVATION
SCALE 1/4" = 1'-0"



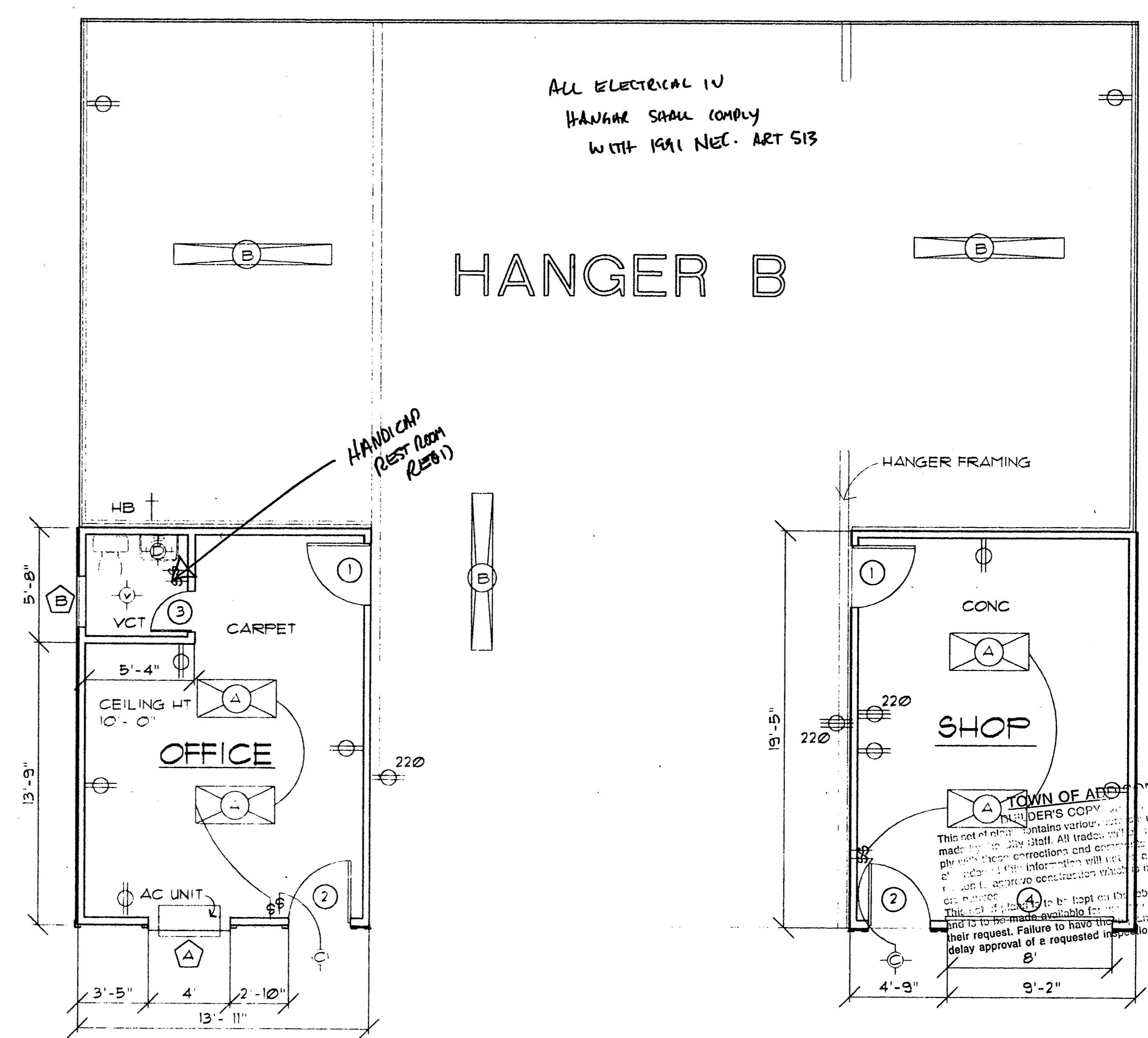
B OFFICE SIDE ELEVATION
SCALE 1/4" = 1'-0"



ROOF FRAMING PLAN
SCALE 1/4" = 1'-0"



TOILET ELEV
SCALE 3/8" = 1'-0"



FLOOR PLAN
SCALE 1/4" = 1'-0"

HANGER B

HANGER MODIFICATIONS
326 NEW RICKENBACKER DRIVE
ADDISON AIRPORT
ADDISON, DALLAS COUNTY, TEXAS

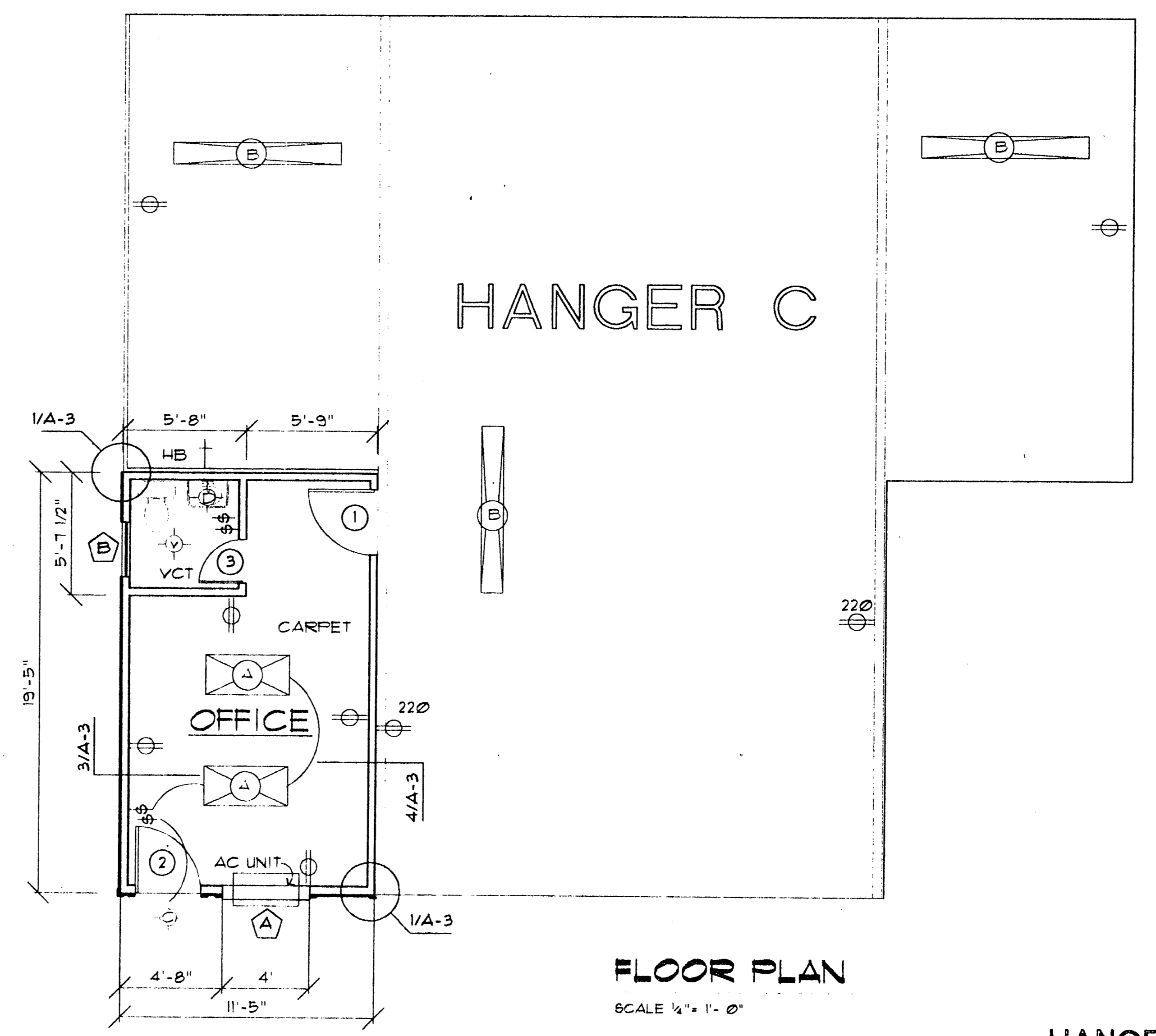
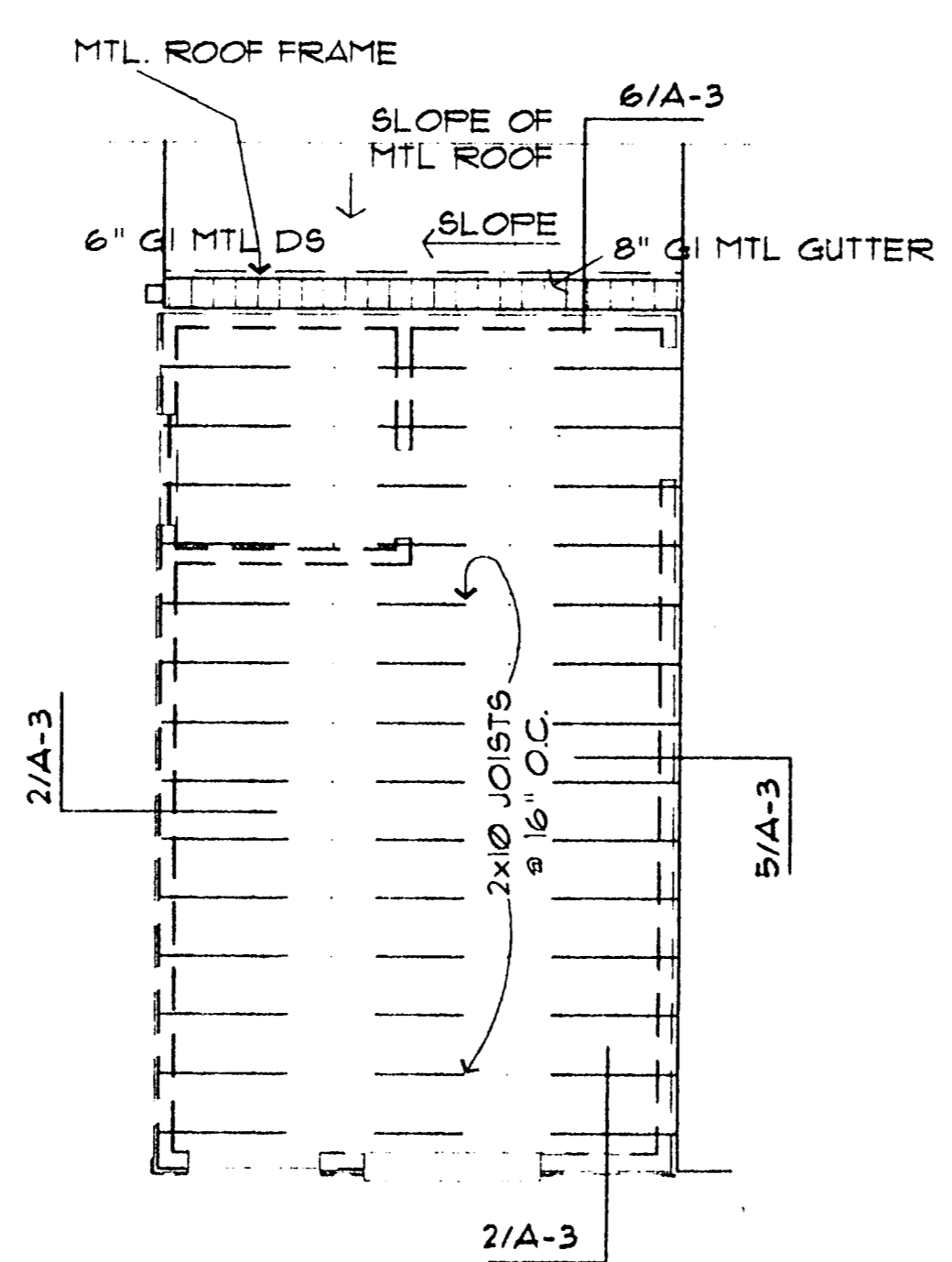
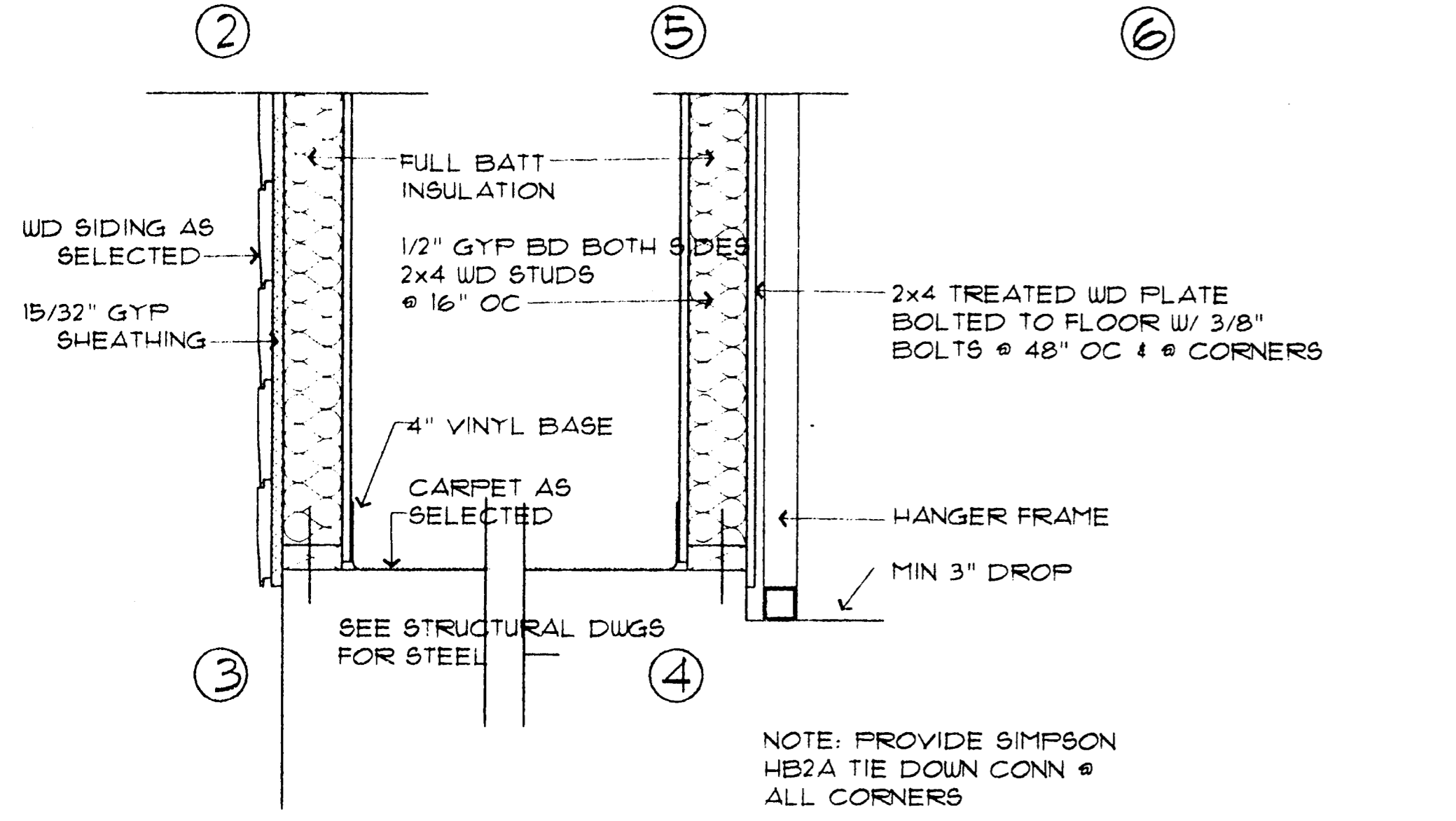
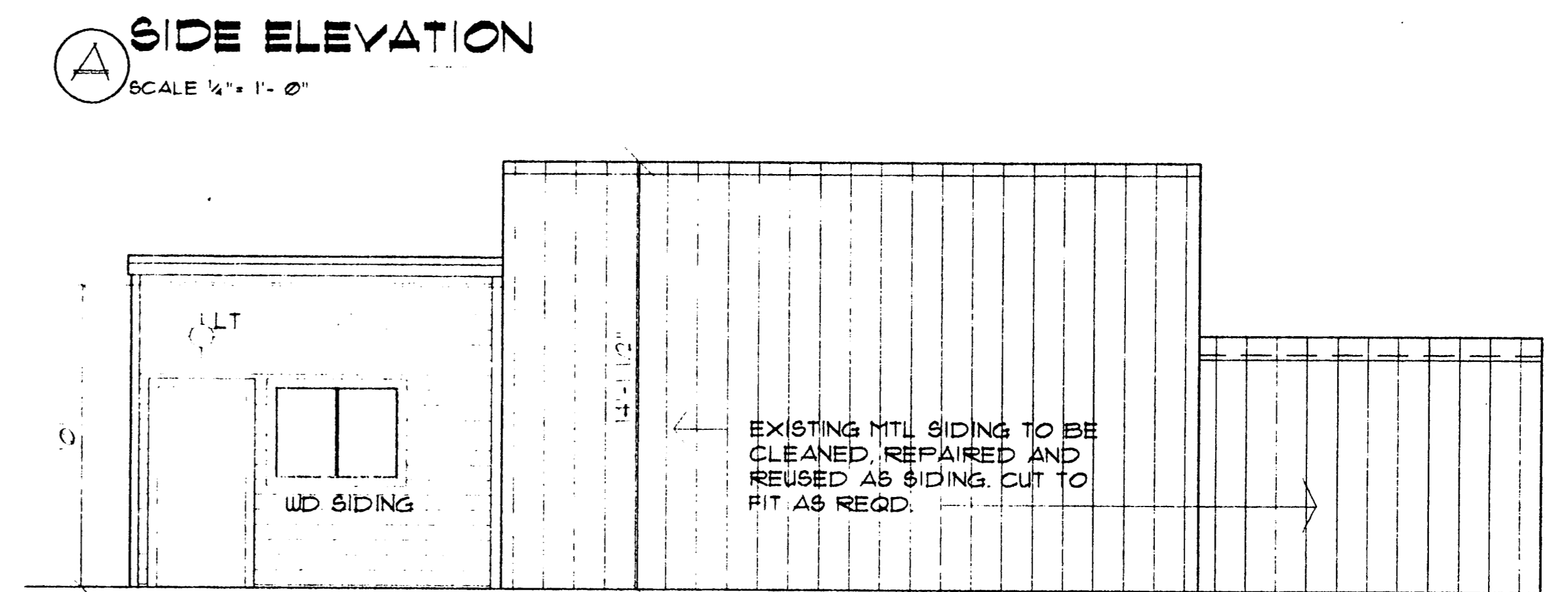
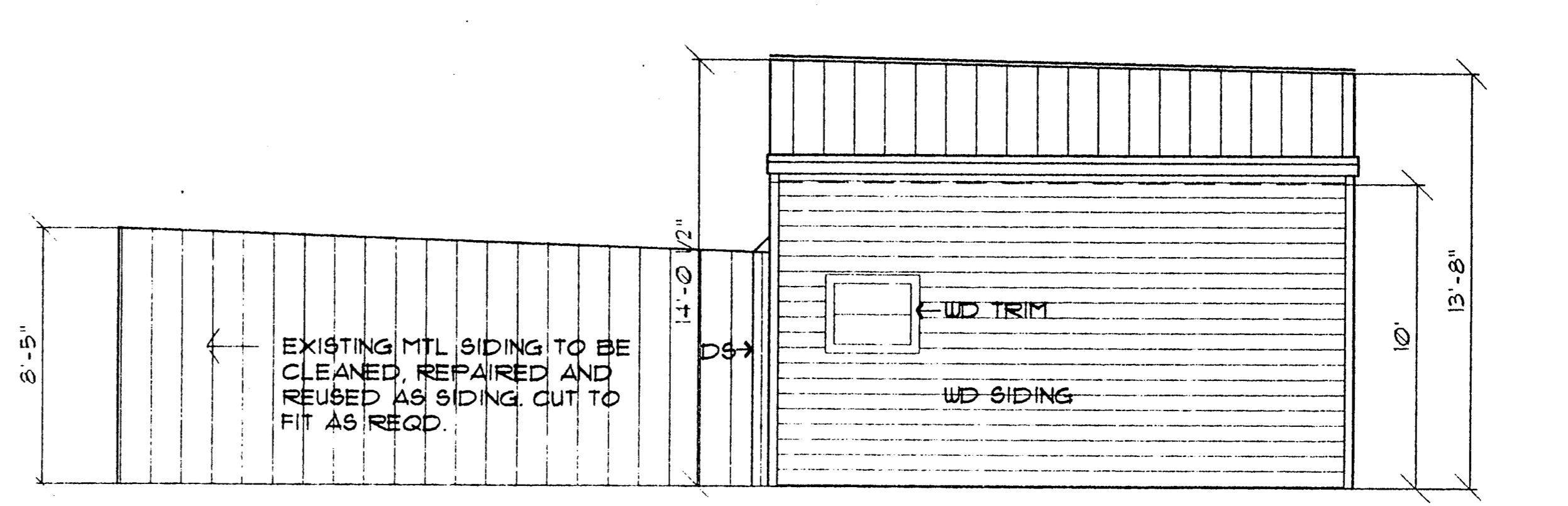
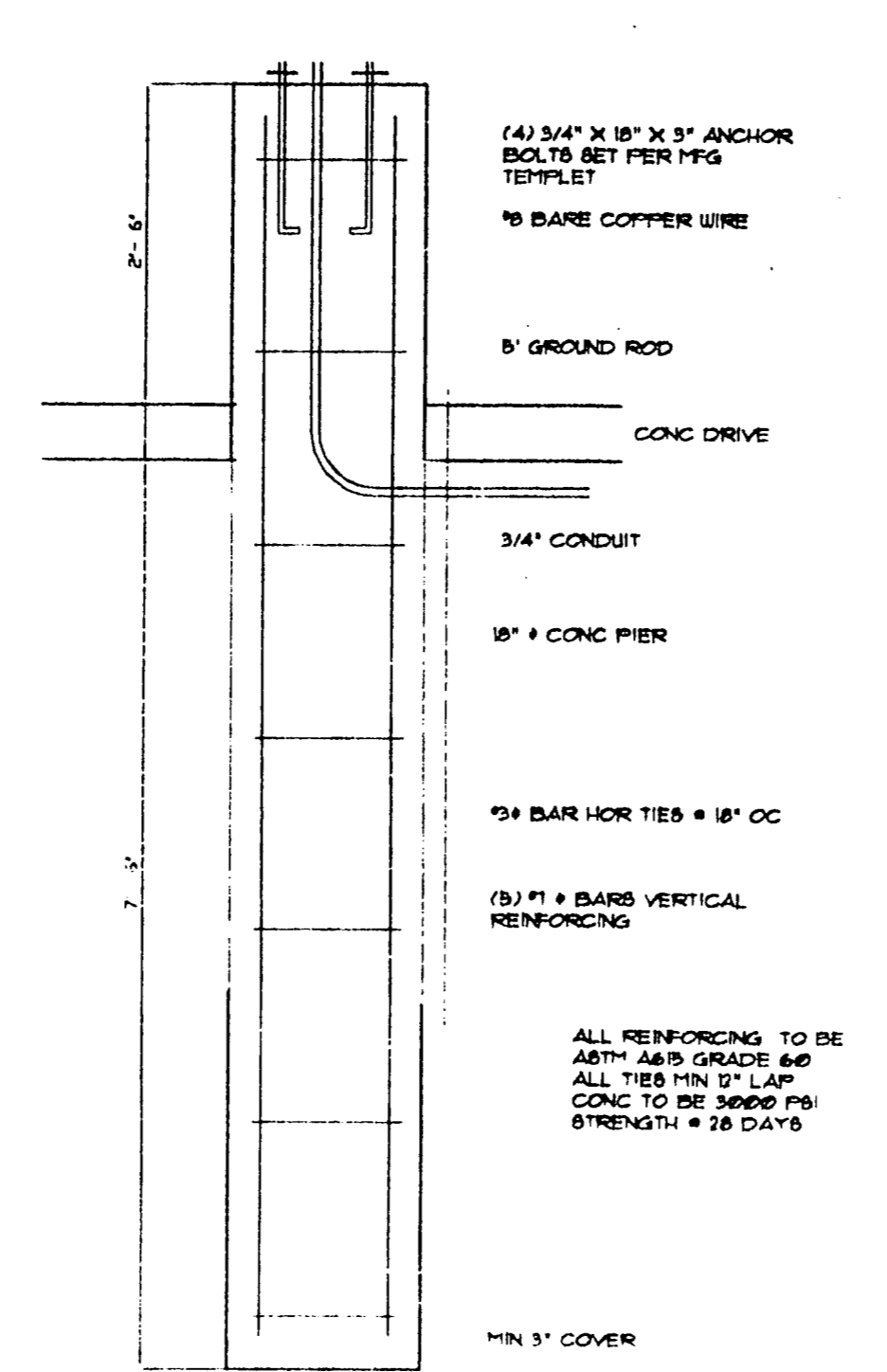
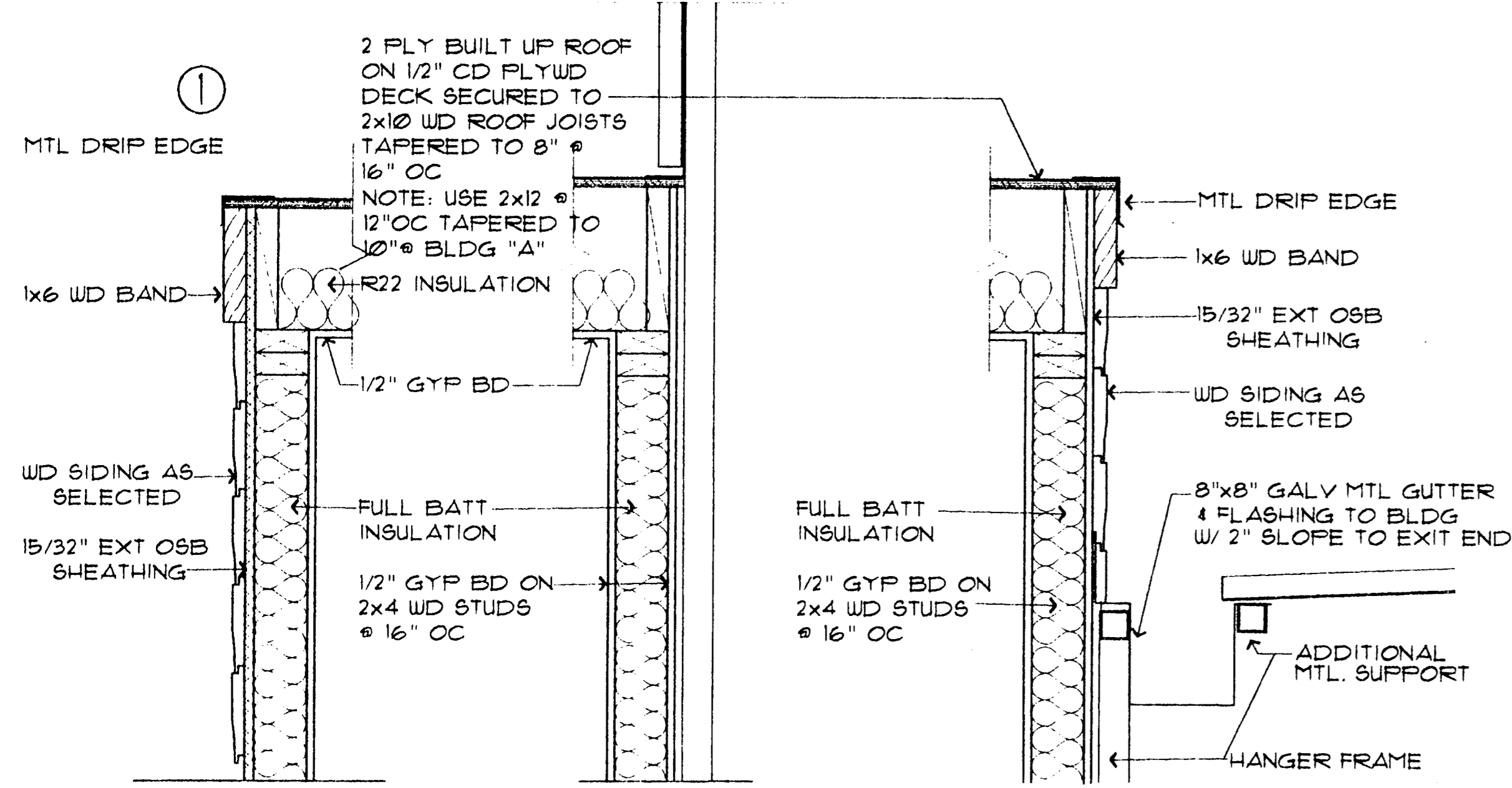
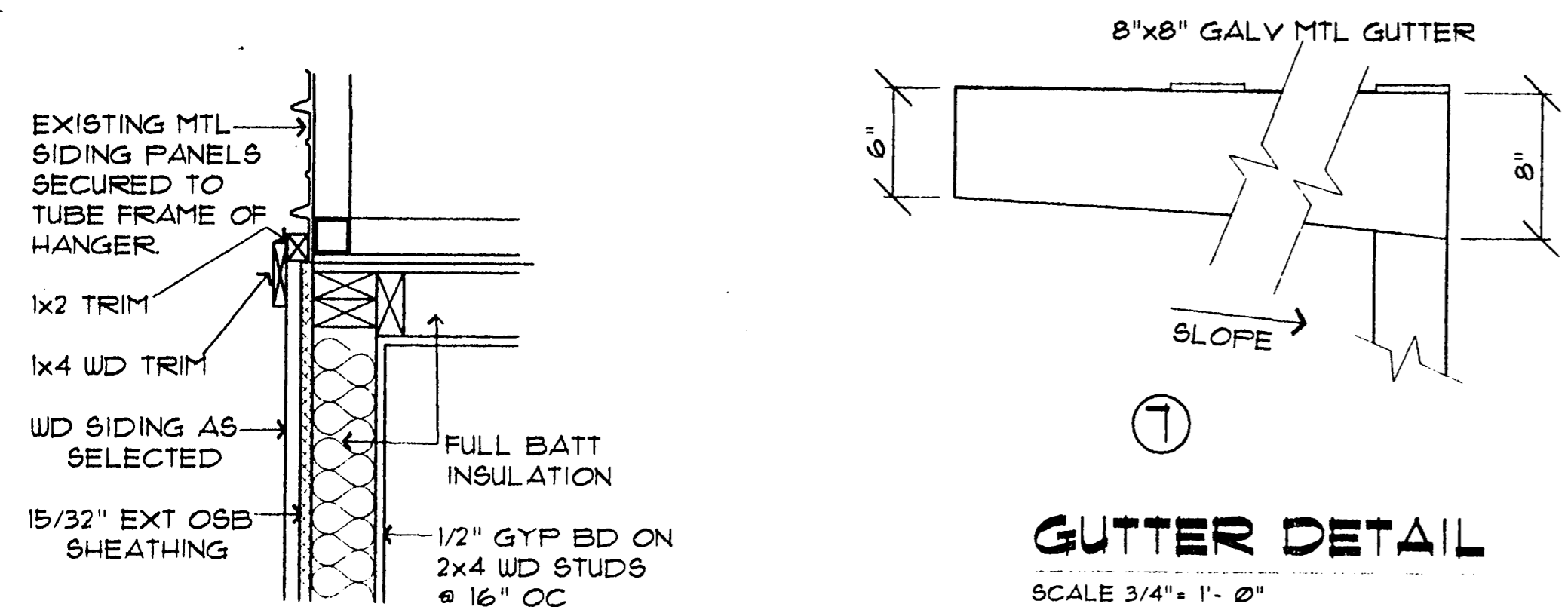
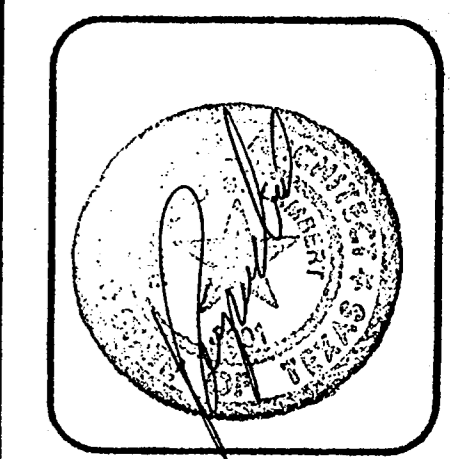
raymond s. lambert & associates
architect-planners
12240 Inwood road
suite 201
dallas, texas 75244
972 387-4286

title

sheet no.
A-2

drawn by
RSL 8/25/91
checked by
date
issued
date
9/1/91

revisions
date



WINDOW SCHEDULE

MK	SIZE	DESCRIPTION
A	4'-0" X 3'-0"	ALUM. SINGLE HUNG
B	2'-6" X 2'-0"	ALUM. SINGLE HUNG

DOOR SCHEDULE

MK	SIZE	THK	TYPE	FINISH	HARDWARE	FRAME TYPE	FINISH	REMARKS
1	3'-0" X 6'-8"	1 3/4"	SC	WD	LOCK SET, DOOR STOP	WD	PAINT	MASTER KEY
2	3'-0" X 6'-8"	1 3/4"	SC	HMTL	LOCK SET, DOOR STOP	WD	PAINT	MASTER KEY
3	3'-0" X 6'-8"	1 3/8"	HC	MASONITE	PRIV. SET	WD	PAINT	
4	3'-0" X 6'-8"	1 3/4"	OH	MTL			PAINT	5 PANEL (MANUAL)
G	16' X 16'			ROLLING MTL FRAME	CHAIN LINK		PAINT	SEE SITE PLAN FOR LOCATION

HANGER MODIFICATIONS
326 NEW RICKENBACKER DRIVE
ADDISON AIRPORT
ADDISON, DALLAS COUNTY, TEXAS

raymond s. lambert & associates
architect-planners
12240 inwood road
suite 201
dallas, texas 75244
972 387-4286

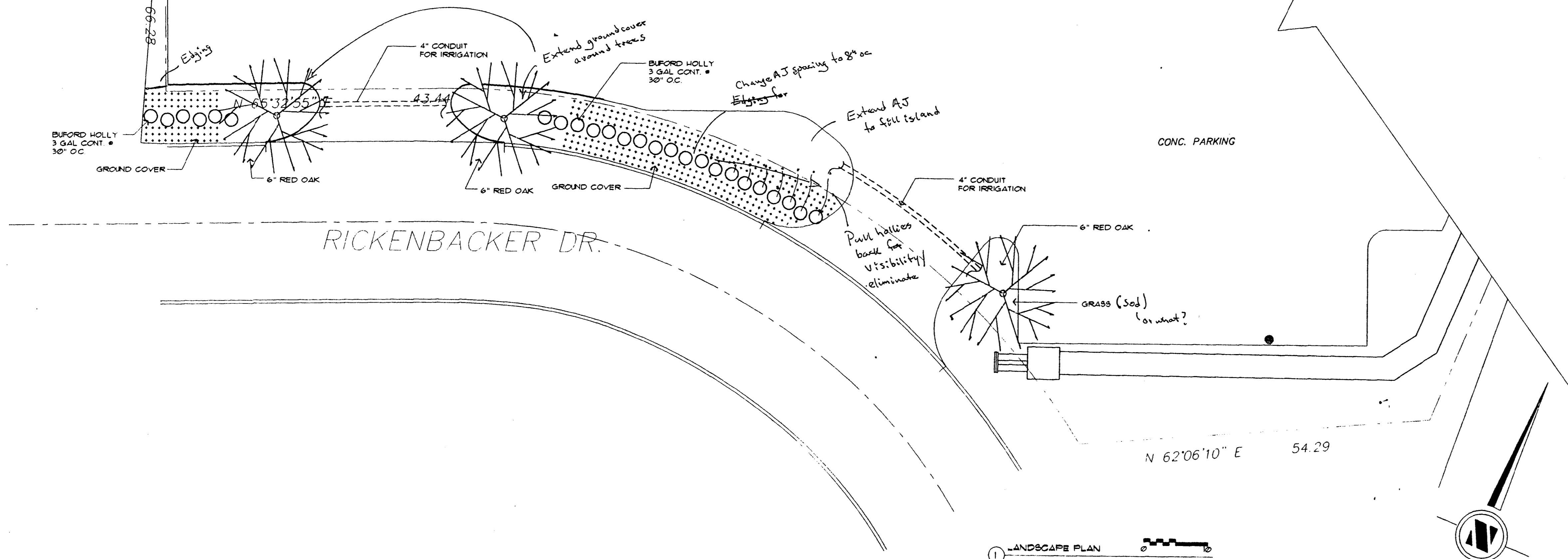
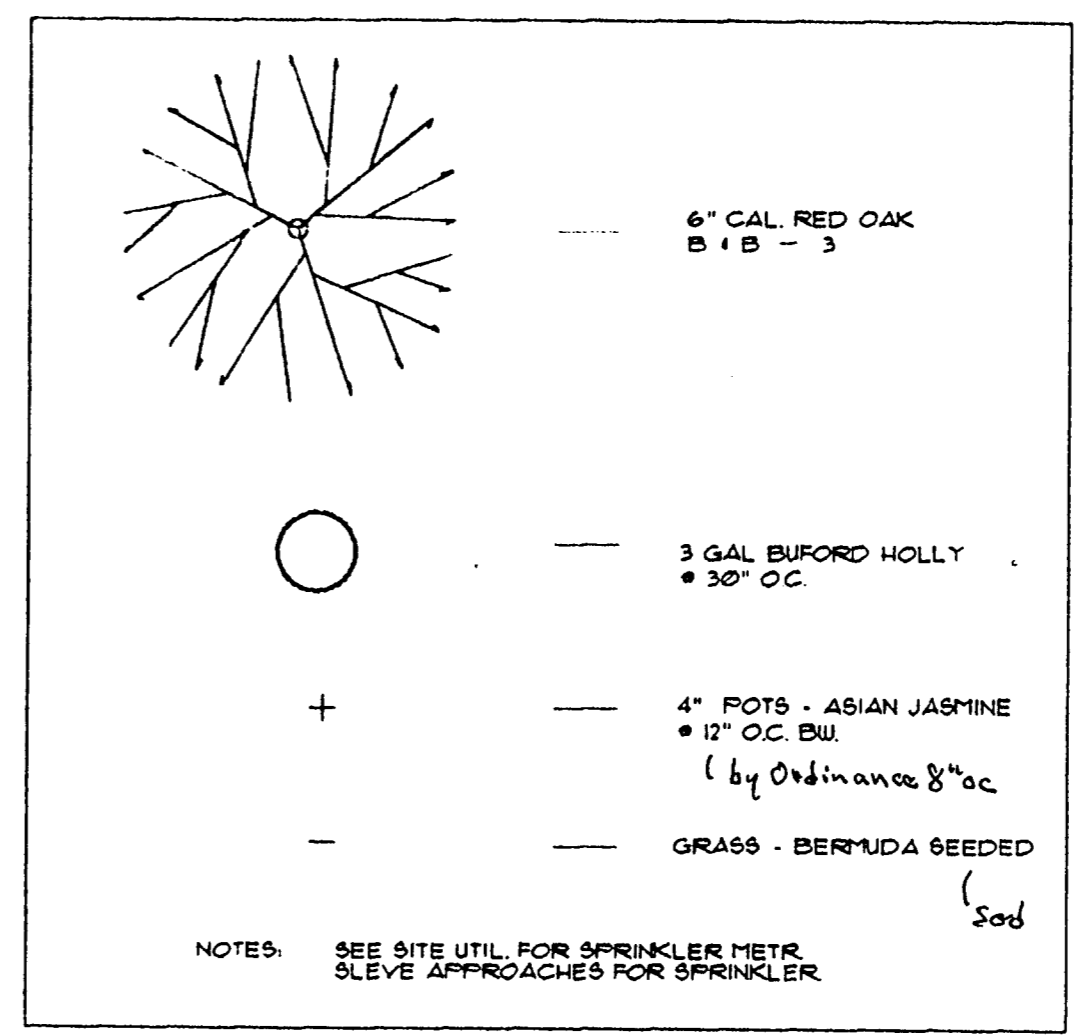
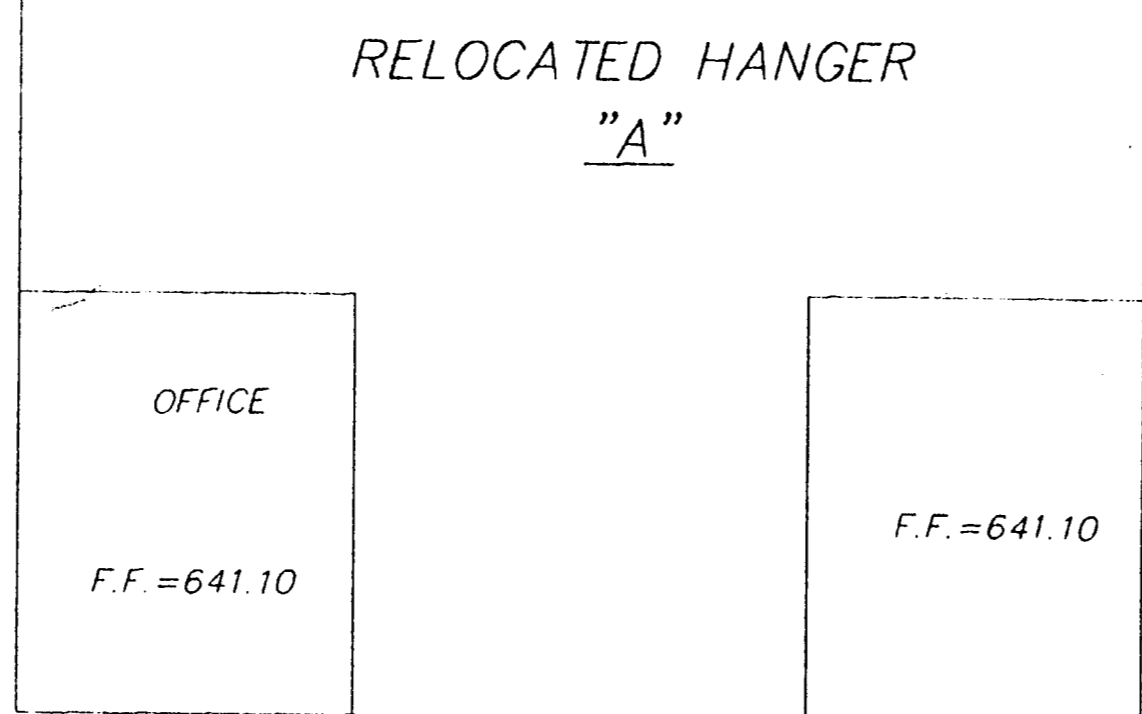
title

sheet no.
A-3

HANGER C

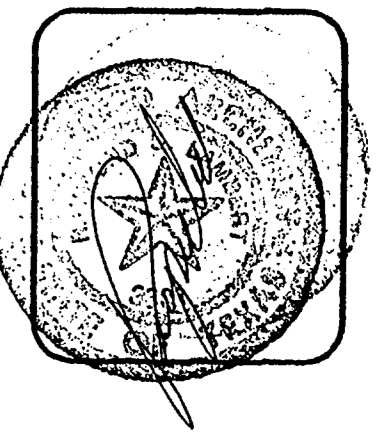
PROP. FENCE, CONNECT TO EXISTING
PROP. GATE
S 66°29'27" W
245.60

PROP. DUMPSTER
NO CURBS
S 24°06'12" E
66.28



Called Mt. Lambert
11/5/97 to correct
plans & send
revised set to TOA
for review
Rlac 11/5/97

DATE	10/29/97
EXISTING	



AIRPORT HANGAR RELOCATION
ADDISON AIRPORT OF TEXAS, INC.
4505 CLAIRE CHENNAULT
DALLAS, TEXAS 75248
PH: (972) 248-1133, EXT. 103
FRES. - SAM STUART

raymond s. lambert & associates
architect-planners
1224A Inwood road
suite 201
Dallas, Texas 75244
214 387-4286

TOWN OF ADDISON
This is to certify that the above described project was prepared by the undersigned and is a true and correct copy of the original plans as shown to the undersigned and is in accordance with the requirements of the City of Addison, Texas.
DATE: 11/5/97
BY: Raymond S. Lambert
Professional Engineer No. 12345
City of Addison, Texas

LANDSCAPE

sheet no. 101

LS 01