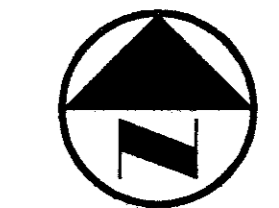


VICINITY MAP



0 20' 40' 80' 120'
GRAPHIC SCALE IN FEET

LEGEND

B	BOLLARD
EM	ELECTRIC METER
PP	POWER POLE
LS	LIGHT STANDARD
WM	WATER METER
WV	WATER VALVE
ICV	IRRIGATION CONTROL VALVE
FD	FIRE HYDRANT
CL	CLEANOUT
MH	MANHOLE
GM	GAS METER
TSC	TRAFFIC SIGNAL CONTROL
TSP	TRAFFIC SIGNAL POLE
TELE	TELEPHONE BOX
TV	TV BOX
FL	FLAG POLE
EM	ELECTRIC METER
TS	TRAFFIC SIGN
—	PROPERTY LINE
—	O.H. POWER LINE
—	U/G TELEPHONE LINE
—	U/G WATER LINE
—	U/G GAS LINE
—	FENCE
B.F.R.	BARRIER FREE RAMP

DALLAS
MELAN
HARRISON
703 McKinney Avenue, Suite 401
Dallas, TX 75202-0062
Fonshille: 214-864-0855
Web Page: www.rofdw.com

RIKE
OGDEN
FIGUEROA
DICKSON
WELLS
PLLC

ADDISON TECH CENTER
OFFICE / FLEX / WAREHOUSE PROJECT
ADDISON, TEXAS
FR DEVELOPMENT SERVICES, INC.

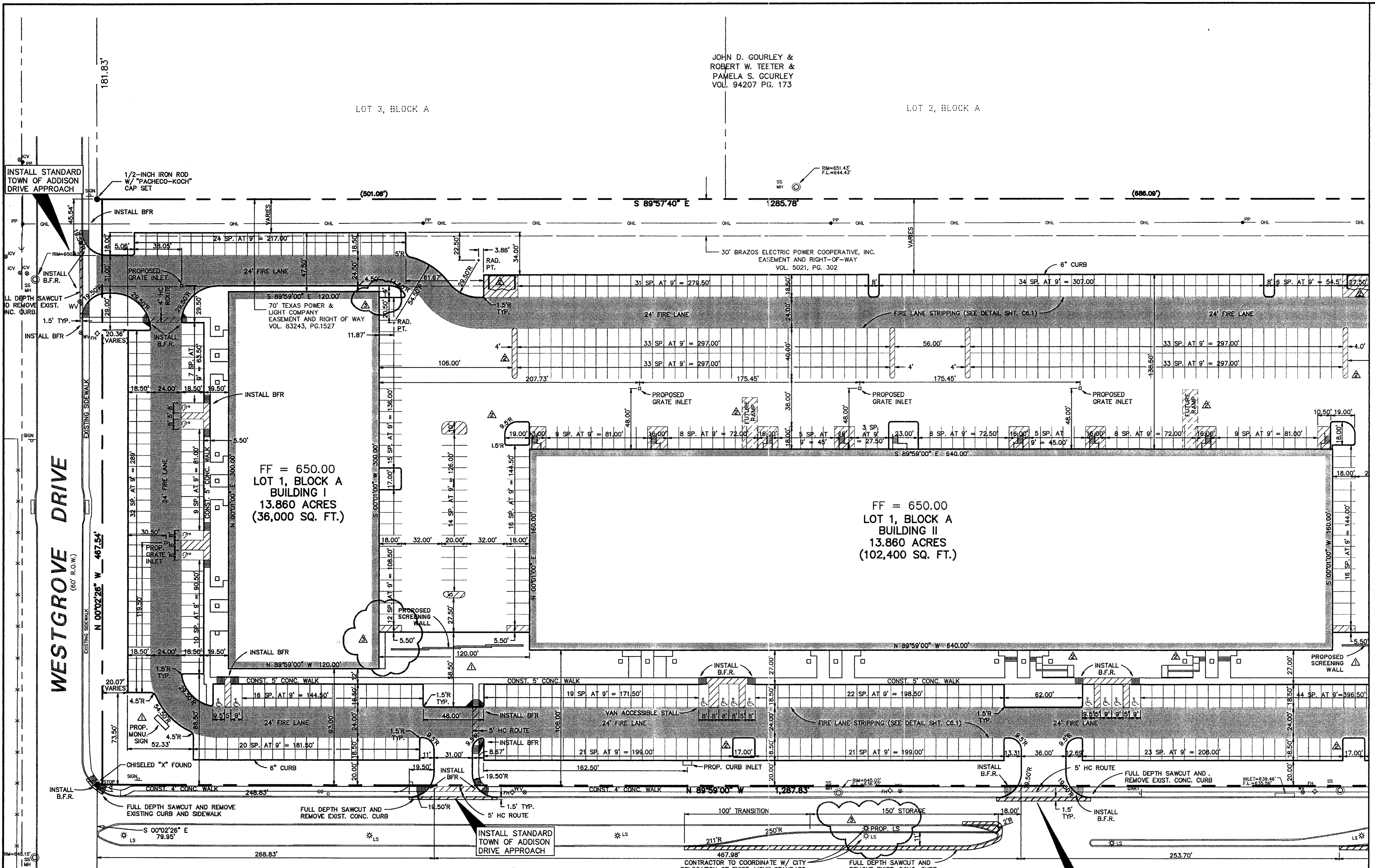
PROJECT NO.: 9856
PREPARED BY: JLM
CHECKED BY: CJE
DATE: 05/04/01
REVISIONS:

SHEET NO. + TITLE:
C2.1
DIMENSIONAL CONTROL PLAN

JOHN D. GOURLEY &
ROBERT W. TEETER &
PAMELA S. GOURLEY
VOL. 94207 PG. 173

LOT 3, BLOCK A

LOT 2, BLOCK A



FF = 650.00
LOT 1, BLOCK A
BUILDING I
13,860 ACRES
(36,000 SQ. FT.)

FF = 650.00
LOT 1, BLOCK A
BUILDING II
13,860 ACRES
(102,400 SQ. FT.)

EXCEL PARKWAY
(80' R.O.W.) (Volume 83220, Page 2655)

GENERAL NOTES

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- 5.1 PROTECT AND MAINTAIN ROADWAY TRAFFIC THROUGHOUT THE PROJECT, PROVIDING A MINIMUM OF ONE (1) LANE OPEN IN EACH DIRECTION;
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- REFER TO ARCHITECTURAL PLANS FOR DETAILED BUILDING ENTRANCE LAYOUTS, RAMPS, LANDSCAPE AND
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THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY STEVEN A. MARKUSSEN, P.E. 70090 ON 07/28/00. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

- REVISD 05/04/01
- REVISD 10/11/00
- REVISD 08/29/00

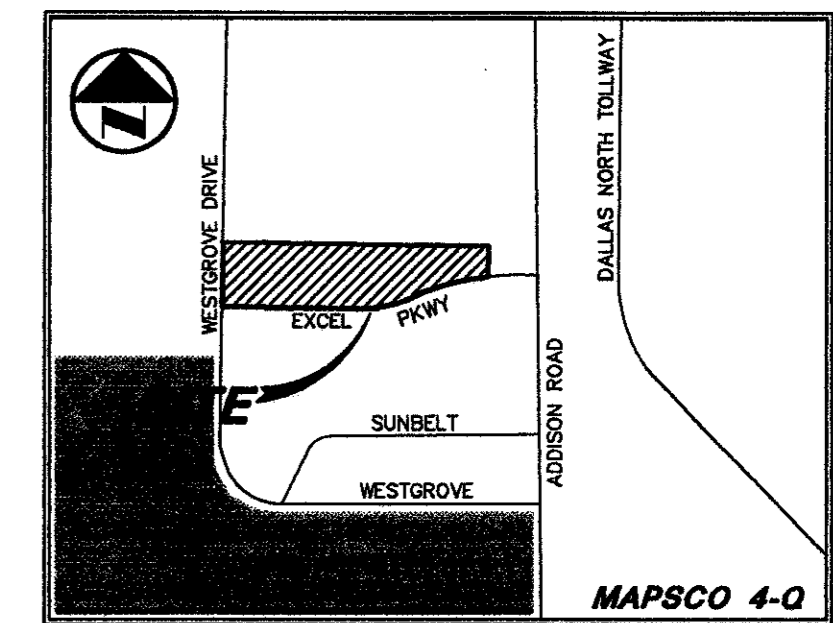
RECORD DRAWING
THIS DRAWING HAS BEEN REVISED TO REFLECT CONSTRUCTION RECORDS MAINTAINED AND PROVIDED BY THE CONTRACTOR FOR THIS PROJECT.
CONTRACTOR: HILL & WILKINSON
DATE REVISED: 05/04/01

Pacheco Koch Consulting Engineers
9401 LBJ FREEWAY SUITE 300 DALLAS, TEXAS 75243 972.235.3031

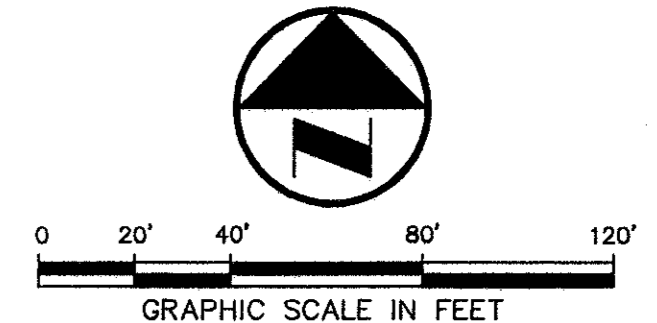
DIMENSIONAL CONTROL PLAN
ADDISON OFFICE / WAREHOUSE COMPLEX
LOTS 1 & 2, BLOCK A

WESTGROVE/BENT TREE PLAZA ADDITION
TOWN OF ADDISON, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
CJE	JLM	JULY 26, 2000	1"=40'			C2.1



VICINITY MAP



LEGEND

- B BOLLARD
- EM ELECTRIC METER
- PP POWER POLE
- LS LIGHT STANDARD
- WM WATER METER
- WV WATER VALVE
- ICV IRRIGATION CONTROL VALVE
- CH CLEANOUT
- FM FIRE HYDRANT
- MA MANHOLE
- GM GAS METER
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- TELE TELEPHONE BOX
- TV TV BOX
- FP FLAG POLE
- EM ELECTRIC METER
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- F FENCE
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ARCHITECT
RIKE
OGDEN
FIGUEROA
DICKSON
WELLS
PLC

PROJECT
ADDISON TECH CENTER
OFFICE / FLEX / WAREHOUSE PROJECT
ADDISON, TEXAS
F DEVELOPMENT SERVICES, INC.

PROJECT NO.: 9958

PREPARED BY: JLM
CHECKED BY: CJE
DATE: 05/04/01
REVISIONS:

SHEET NO. + TITLE:

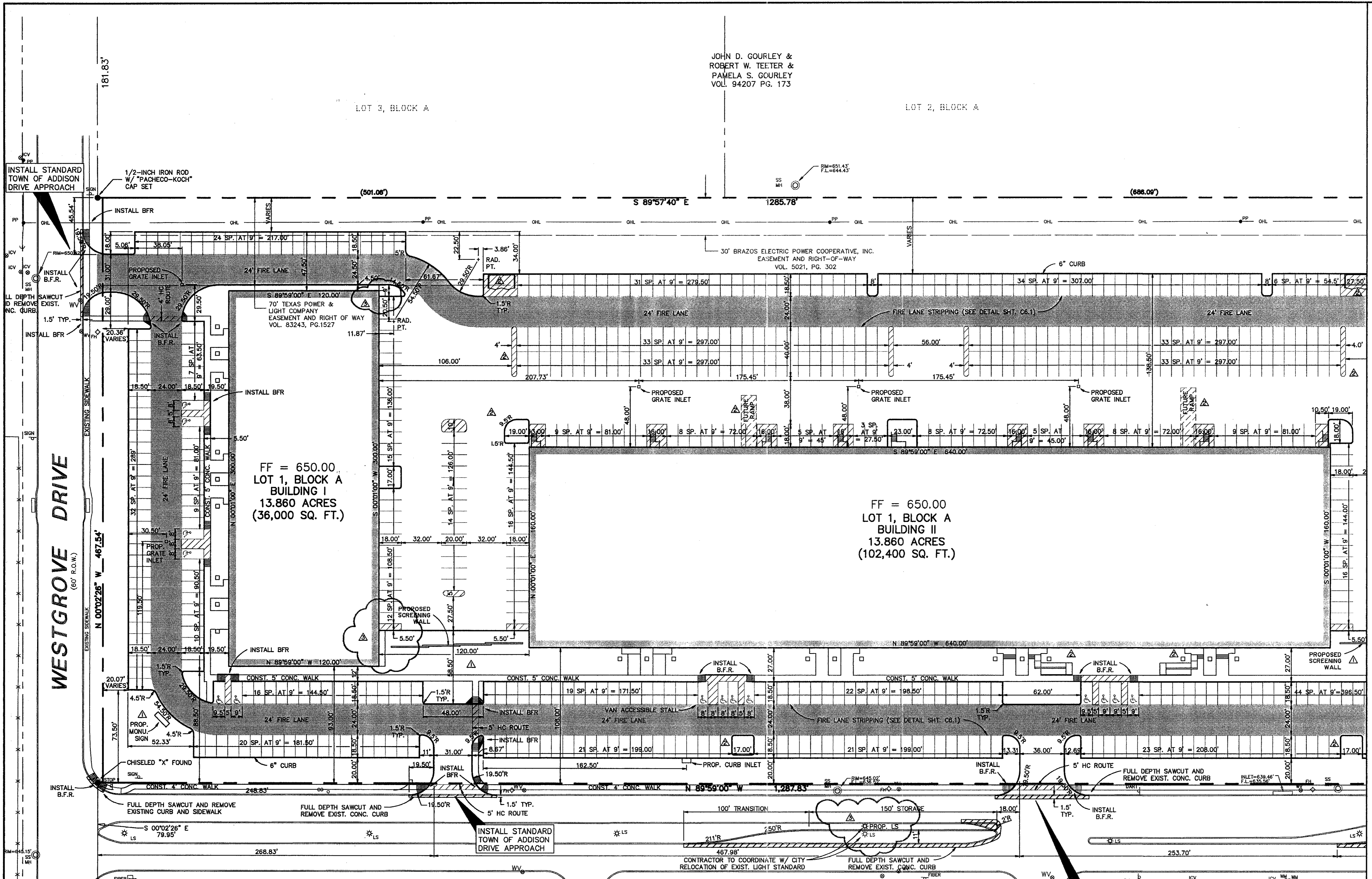
C2.1

DIMENSIONAL
CONTROL PLAN

JOHN D. GOURLEY &
ROBERT W. TEETER &
PAMELA S. GOURLEY
VOL. 94207 PG. 173

LOT 3, BLOCK A

LOT 2, BLOCK A



FF = 650.00
LOT 1, BLOCK A
BUILDING I
13.860 ACRES
(36,000 SQ. FT.)

FF = 650.00
LOT 1, BLOCK A
BUILDING II
13.860 ACRES
(102,400 SQ. FT.)

EXCEL PARKWAY
(80' R.O.W.) (Volume 83220, Page 2655)

LOT 4
PORTION OF TRACT II
VOL. 92115, PG. 4018

LOT 1, BLOCK A
EXCEL-PHASE 2
EXCEL TELECOMMUNICATIONS HOLDINGS, INC.
VOL. 96064, PG. 4820, DRDCT

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- REVISD 05/04/01
- REVISD 10/11/00
- REVISD 08/29/00

RECORD DRAWING
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CONTRACTOR: HILL & WILKINSON
DATE REVISED: 05/04/01

Pacheco Koch Consulting Engineers
9401 LBJ FREEWAY SUITE 300 DALLAS, TEXAS 75243 972.235.3031

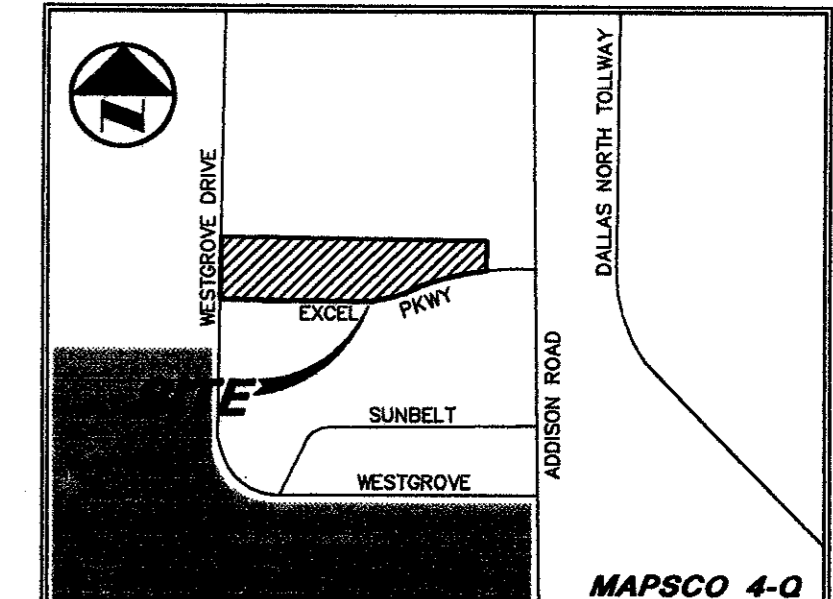
DIMENSIONAL CONTROL PLAN
ADDISON OFFICE / WAREHOUSE COMPLEX
LOTS 1 & 2, BLOCK A
WESTGROVE/BENT TREE PLAZA ADDITION
TOWN OF ADDISON, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
CJE	JLM	JULY 26, 2000	1"=40'			C2.1

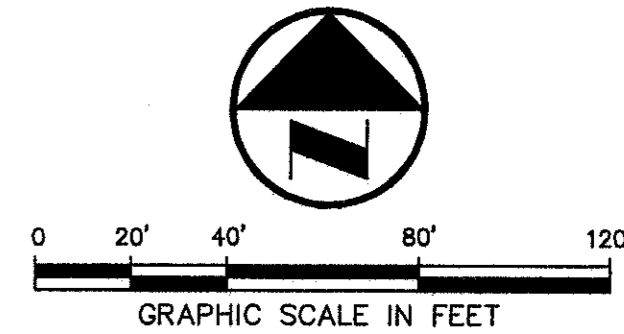
JIM MCBAIN
05/10/2001
RE: URG-2112-05.DWG

GARDEN BENT TREE COURT L.P.
VOL. 92234, PG. 1517

- LEGEND**
- B BOLLARD
 - EM ELECTRIC METER
 - PP POWER POLE
 - LS LIGHT STANDARD
 - WM WATER METER
 - WV WATER VALVE
 - ICV IRRIGATION CONTROL VALVE
 - FH FIRE HYDRANT
 - CO CLEANOUT
 - MH MANHOLE
 - GM GAS METER
 - TSC TRAFFIC SIGNAL CONTROL
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 - TV TV BOX
 - FP FLAG POLE
 - EM ELECTRIC METER
 - TSN TRAFFIC SIGN
 - PL PROPERTY LINE
 - O.H. O.H. POWER LINE
 - TEL U/G TELEPHONE LINE
 - W U/G WATER LINE
 - G U/G GAS LINE
 - F FENCE
 - B.F.R. BARRIER FREE RAMP



VICINITY MAP



DALLAS
LAWREN
HARRISON
703 McKinney Avenue, Suite 401
Dallas, TX 75202-0822
Fonalside: 214-954-0855
Web Page: www.rofdw.com

ARCHITECT
RIKE
OGDEN
FIGUEROA
DICKSON
WELLS
PLC

PROJECT
ADDISON TECH CENTER
OFFICE / FLEX / WAREHOUSE PROJECT
ADDISON, TEXAS
F.R. DEVELOPMENT SERVICES, INC.

PROJECT NO.: 9956
PREPARED BY: JLM
CHECKED BY: CJE
DATE: 05/04/01
REVISIONS:
SHEET NO. + TITLE:
C2.2
DIMENSIONAL CONTROL PLAN

Pacheco Koch Consulting Engineers
9401 LBJ FREEWAY SUITE 300 DALLAS, TEXAS 75243 972.235.3031

DIMENSIONAL CONTROL PLAN
ADDISON OFFICE / WAREHOUSE COMPLEX
LOTS 1 & 2, BLOCK A
WESTGROVE/BENT TREE PLAZA ADDITION
TOWN OF ADDISON, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
CJE	JLM	JULY 26, 2000	1"=40'			C2.2



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CONTRACTOR: HILL & WILKINSON
DATE REVISED: 05/04/01

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EXCEL PARKWAY
(80' R.O.W.) (Volume 83220, Page 2655)

FF = 645.00
LOT 1, BLOCK A
BUILDING III
13.860 ACRES
(34,817.60 SQ. FT.)

FF = 647.00
LOT 2, BLOCK A
BUILDING IV
4.862 ACRES
(56,000 SQ. FT.)

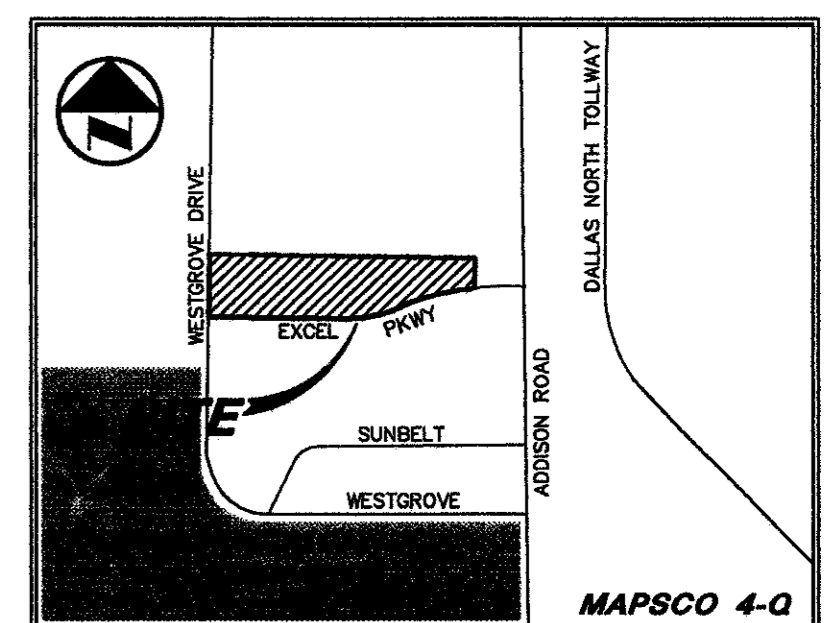
MATCH LINE SEE SHEET

GENERAL NOTES

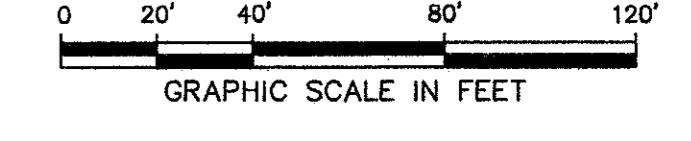
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JULY 10/2001 - 8:37AM
05/10/2001 - 8:37AM
M:\CNC-21\2112-05.DWG

JOHN D. GOURLEY &
ROBERT W. TEETER &
PAMELA S. GOURLEY
VOL. 94207 PG. 173



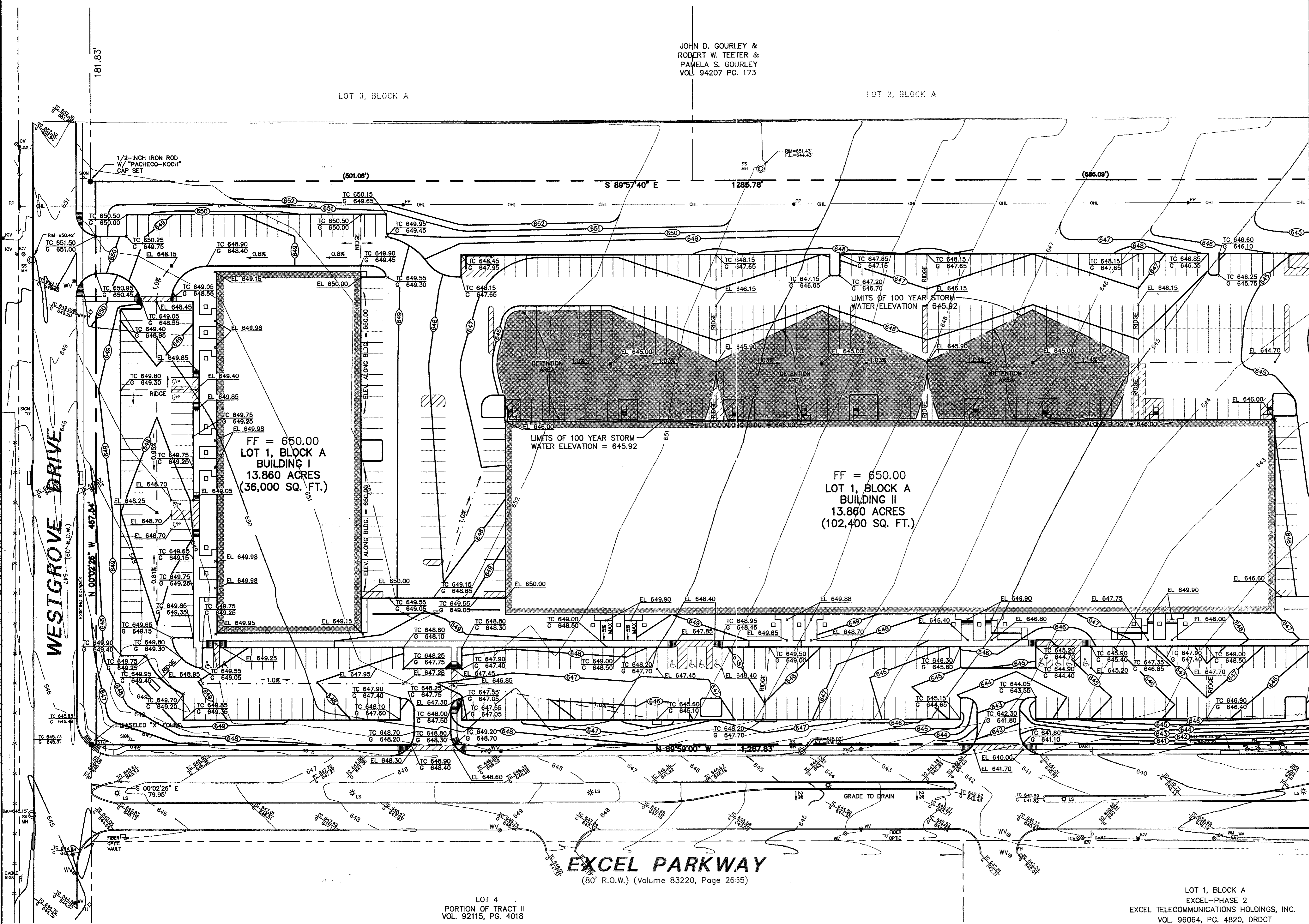
VICINITY MAP



LEGEND

- B. BOLLARD
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MATCH LINE SEE SHEET



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CONTRACTOR: HILL & WILKINSON
DATE REVISED: 05/04/01

GRADING AND DRAINAGE GENERAL NOTES

- REFER TO GEOTECHNICAL REPORT FOR REQUIREMENTS REGARDING FILL COMPACTION AND MOISTURE CONTENT.
- UNLESS NOTED, ALL FILL IS TO BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY WITHIN 3% OF OPTIMUM MOISTURE CONTENT. FILL TO BE PLACED IN A MAXIMUM OF 6" LIFTS.
- ALL WALKS TO HAVE A MAXIMUM CROSS SLOPE OF 2%.
- GRADING OF ALL HANDICAPPED SPACES AND ROUTES TO CONFORM TO STATE, LOCAL AND FEDERAL GUIDELINES.
- UNLESS NOTED, STORM DRAIN LINES MAY BE OF THE FOLLOWING MATERIALS:
 - A. RCP C-76, CLASS III
 - B. ADS N-12
 - C. HANCOCK HI-Q
- AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- UNLESS NOTED, GRATE INLET TO BE "AMERICAN INDUSTRIAL PRE-CAST PRODUCTS, INC." PRECAST CATCH BASIN, SIZED AS SHOWN, OF APPROVED EQUAL.
- FINAL PAVING, CURB AND SIDEWALK ELEVATIONS WILL BE PLACED AT PLUS OR MINUS 0.03 FOOT.
- REFER TO LANDSCAPE SPECIFICATION FOR SEEDING AND SODDING REQUIREMENTS.
- ANY CONCRETE, ROCK OR MATERIAL DEEMED UNSUITABLE FOR SUBGRADE, BY ENGINEER, SHALL BE DISPOSED OF OFFSITE AT CONTRACTOR'S EXPENSE.

- TRENCH BACKFILL MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF NCTCOG ITEM 6.2.10, AND SHALL BE MECHANICALLY COMPACTED IN ACCORDANCE WITH NCTCOG ITEM 6.2.9 TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED IN THE STANDARD CITY SPECIFICATIONS.
- EMBEDMENT SHALL CONFORM TO THE REQUIREMENTS OF NCTCOG ITEM 6.2.9 UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED IN THE STANDARD CITY SPECIFICATIONS.
- A ROUND MANHOLE COVER MEETING CITY SPECIFICATIONS SHALL BE PLACED IN ALL INLET TOPS. THE MANHOLE COVER SHALL BE PLACED NEAR THE OUTLET PIPE.
- ALL CONCRETE FOR INLETS AND DRAINAGE STRUCTURES SHALL CONFORM TO NCTCOG ITEM 7.4.5, CLASS "A" UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED IN STANDARD CITY SPECIFICATIONS.
- CRUSHED STONE BEDDING OR APPROVED EQUAL SHALL BE PROVIDED BY THE CONTRACTOR WHEN ROCK IS ENCOUNTERED IN TRENCHES. THERE SHALL BE NO ADDITIONAL PAY ITEM OF THE CRUSHED STONE BEDDING.
- IF REQUIRED DUE TO CONSTRUCTION, POWER POLES TO BE BRACED OR RELOCATED AT CONTRACTORS EXPENSE.

BENCHMARKS

BM 1	"0" CUT SET ON THE BACK OF CURB ON THE SOUTH SIDE OF EXCEL, ±950' WEST OF ADDISON ROAD.	ELEV.=642.97
BM 2	60 D NAIL SET IN PP 2203 478 7763, ±500' NORTH OF THE CENTERLINE OF EXCEL	ELEV.=648.02
BM 3	"0" CUT SET ON THE EAST SIDEWALK OF WESTGROVE, ±190' SOUTH OF AIRBORN DR.	ELEV.=651.73
BM 4	" " CUT SET ON THE NOSE MEDIAN AT THE INTERSECTION OF EXCEL & WESTGROVE, ±45' EAST OF C OF WESTGROVE	ELEV.=645.69



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY STEVEN A. MARKUSSEN, P.E. 70900 ON 07/26/00. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

Pacheco Koch Consulting Engineers
9401 LBJ FREEWAY SUITE 300 DALLAS, TEXAS 75243 972.235.3031

GRADING PLAN
ADDISON OFFICE / WAREHOUSE COMPLEX
LOTS 1 & 2, BLOCK A
WESTGROVE/BENT TREE PLAZA ADDITION
TOWN OF ADDISON, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
CJE	JLM	JULY 26, 2000	1"=40'			C3.1

PROJECT NO.: 9856
PREPARED BY: JLM
CHECKED BY: CJE
DATE: 07/26/00
REVISIONS:
SHEET NO. + TITLE: **C3.1**
GRADING PLAN

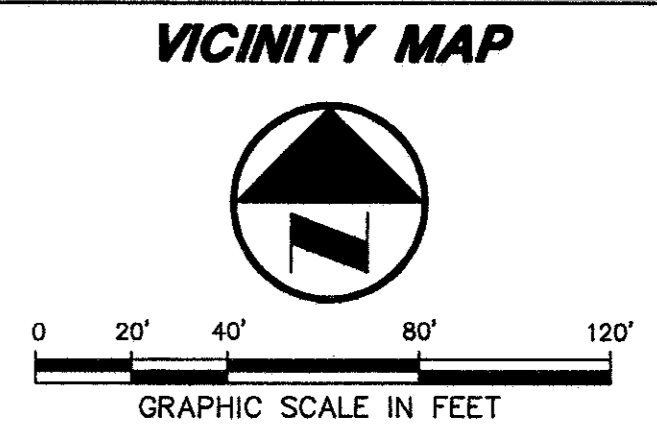
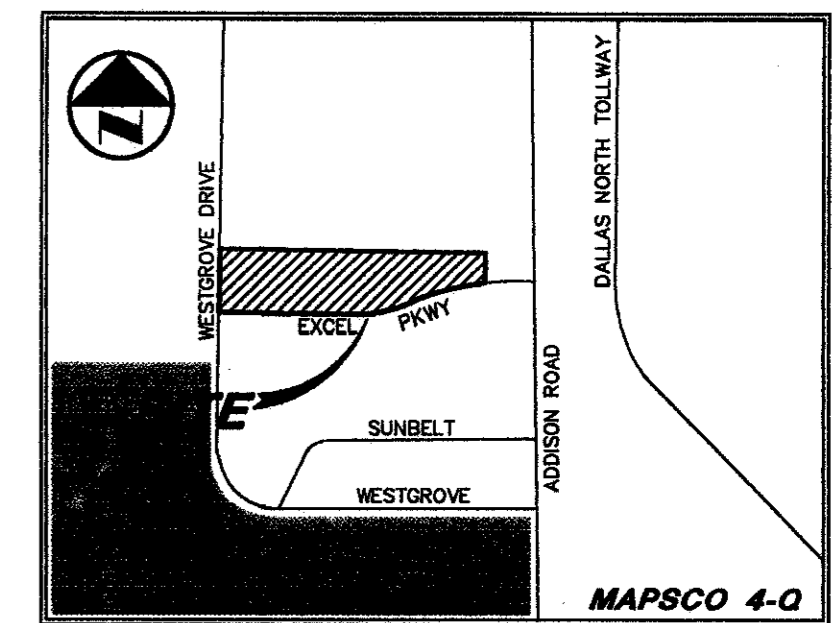
DALLAS
McALLEN
HARLINGEN
703 McKinney Avenue, Suite 407
Dallas, TX 75202-0516
Phone: 214-571-0516
Facsimile: 214-554-0855
Web Page: www.rofdw.com

PROJECT ARCHITECT
RINE
ODDEN
FIGUEROA
DICKSON
WELLS
FLC

CONSULTANT
SEAL
PROJECT ARCHITECT
ADDISON TECH CENTER
OFFICE / FLEX / WAREHOUSE PROJECT
ADDISON, TEXAS
FR DEVELOPMENT SERVICES, INC.

GARDEN BENT TREE COURT L.P.
VOL. 92234, PG. 1517

- LEGEND**
- B. BOLLARD
 - EM. ELECTRIC METER
 - PP. POWER POLE
 - LS. LIGHT STANDARD
 - WM. WATER METER
 - WV. WATER VALVE
 - ICV. IRRIGATION CONTROL VALVE
 - FH. FIRE HYDRANT
 - CO. CLEANOUT
 - MH. MANHOLE
 - GM. GAS METER
 - TSC. TRAFFIC SIGNAL CONTROL
 - TS. TRAFFIC SIGNAL POLE
 - TEL. TELEPHONE BOX
 - TV. TV BOX
 - FP. FLAG POLE
 - EM. ELECTRIC METER
 - TR. TRAFFIC SIGN
 - PL. PROPERTY LINE
 - O.H. O.H. POWER LINE
 - U/G. U/G TELEPHONE LINE
 - U/G. U/G WATER LINE
 - U/G. U/G GAS LINE
 - B.F.R. BARRIER FREE RAMP

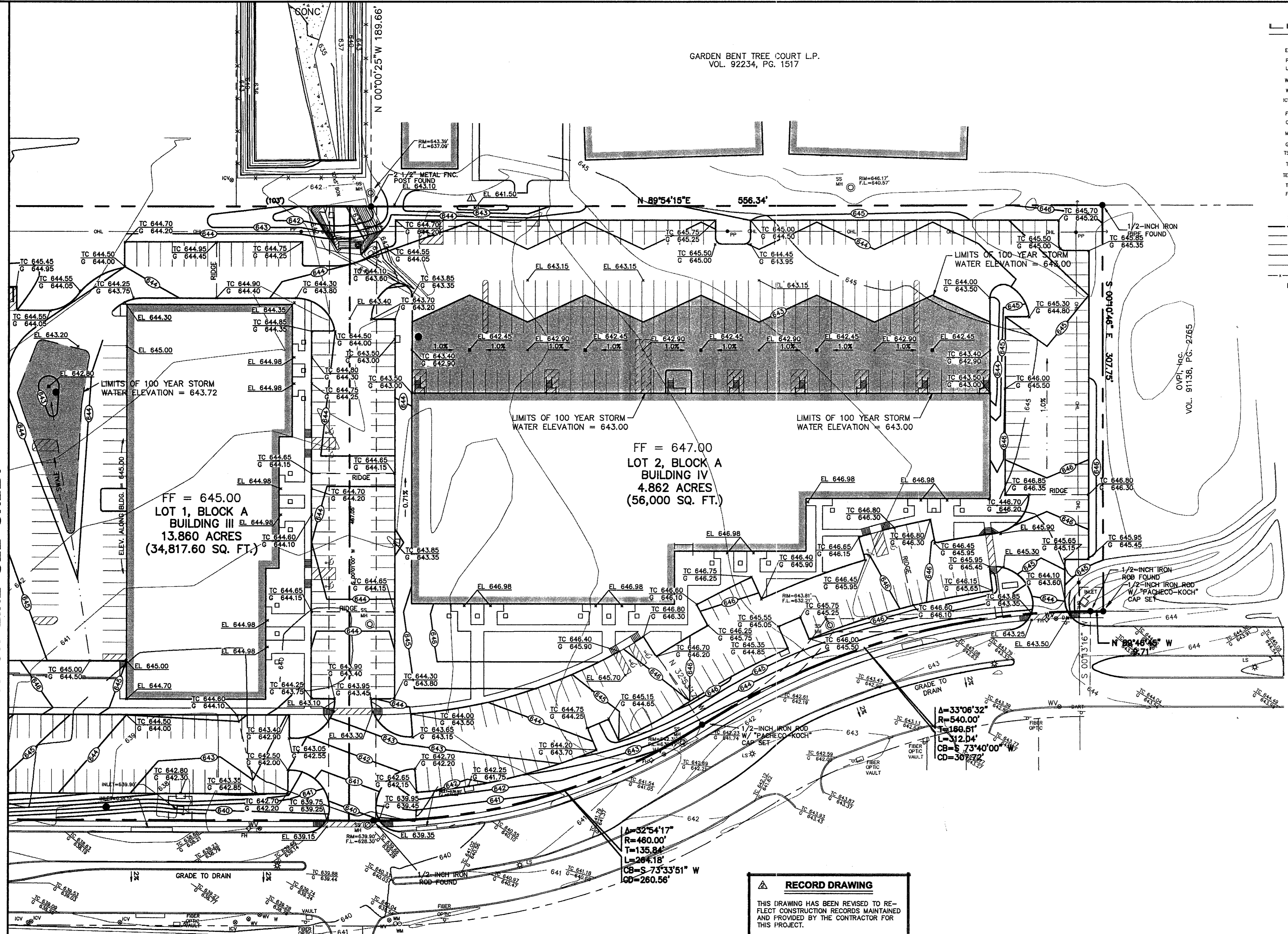


DALLAS
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PROJECT
RIKE
OGDEN
FIGUEROA
DICKSON
WELLS
PLLC

CONSULTANT
ADDISON TECH CENTER
OFFICE / FLEX / WAREHOUSE PROJECT
ADDISON, TEXAS
F DEVELOPMENT SERVICES, INC.

MATCH LINE SEE SHEET



EXCEL PARKWAY
(80' R.O.W.) (Volume 83220, Page 2655)

RECORD DRAWING
THIS DRAWING HAS BEEN REVISED TO REFLECT CONSTRUCTION RECORDS MAINTAINED AND PROVIDED BY THE CONTRACTOR FOR THIS PROJECT.
CONTRACTOR: HILL & WILKINSON
DATE REVISED: 05/04/01

BENCHMARKS

BM 1	"d" CUT SET ON THE BACK OF CURB ON THE SOUTH SIDE OF EXCEL, ±950' WEST OF ADDISON ROAD.	ELEV.=642.97
BM 2	60 D NAIL SET IN PP 2203 478 7763, ±500' NORTH OF THE CENTERLINE OF EXCEL	ELEV.=648.07
BM 3	"d" CUT SET ON THE EAST SIDEWALK OF WESTGROVE, ±190' SOUTH OF AIRBORN DR.	ELEV.=651.73
BM 4	" " CUT SET ON THE NOSE MEDIAN AT THE INTERSECTION OF EXCEL & WESTGROVE, ±45' EAST OF Q OF WESTGROVE	ELEV.=645.69



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY STEVEN A. MARKUSSEN, P.E. 70090 ON 07/28/00. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

△ REVISED 05/04/01
△ REVISED 10/11/00

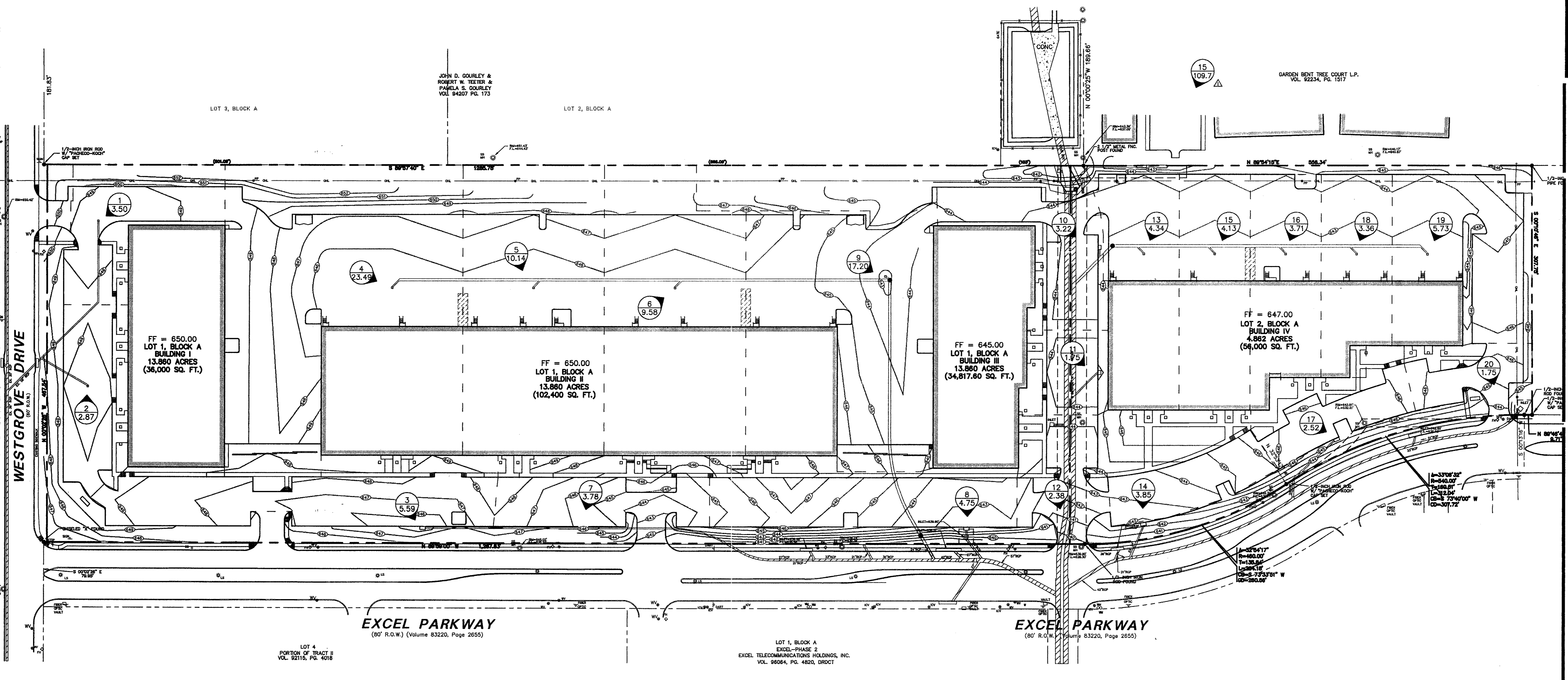
Pacheco Koch Consulting Engineers
9401 LBJ FREEWAY SUITE 300 DALLAS, TEXAS 75243 972.235.3031

GRADING PLAN						
ADDISON OFFICE / WAREHOUSE COMPLEX						
LOTS 1 & 2, BLOCK A						
WESTGROVE/BENT TREE PLAZA ADDITION						
TOWN OF ADDISON, TEXAS						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
CJE	JLM	JULY 26, 2000	1"=40'			C3.2

PROJECT NO.: 9956
PREPARED BY: JUM
CHECKED BY: CJC
DATE: 7/26/00
REVISIONS:

SHEET NO. & TITLE:
C3.2
GRADING PLAN

JLM MCBRAIN - 6-11-AM
MK (DWG-21) 2/12-05.DWG



11/10/2001 9:42AM
M:\DWG-21\2112-05.DWG

JOHN D. COURLEY &
ROBERT W. TRITZER &
PAMELA S. COURLEY
VOL 94207 PG. 173

GARDEN BENT TREE COURT L.P.
VOL 92234, PG. 1517

LOT 3, BLOCK A

LOT 2, BLOCK A

FF = 650.00
LOT 1, BLOCK A
BUILDING I
13.860 ACRES
(36,000 SQ. FT.)

FF = 650.00
LOT 1, BLOCK A
BUILDING II
13.860 ACRES
(102,400 SQ. FT.)

FF = 645.00
LOT 1, BLOCK A
BUILDING III
13.860 ACRES
(34,817.60 SQ. FT.)

FF = 647.00
LOT 2, BLOCK A
BUILDING IV
4.862 ACRES
(56,000 SQ. FT.)

EXCEL PARKWAY
(80' R.O.W.) (Volume 83220, Page 2655)

EXCEL PARKWAY
(80' R.O.W.) (Volume 83220, Page 2655)

LOT 4
PORTION OF TRACT II
VOL. 92115, PG. 4018

LOT 1, BLOCK A
EXCEL-PHASE 2
EXCEL TELECOMMUNICATIONS HOLDINGS, INC.
VOL. 96064, PG. 4620, DRDCT

LEGEND

- PROPOSED DRAINAGE DIVIDE
- ① WATERSHED DESIGNATION NUMBER
- ② EXPECTED QUANTITY
- IN CUBIC FEET PER SECOND

RUNOFF CALCULATIONS									
DRAINAGE AREA	AREA (ACRES)	Tc (Minutes)	C	I ₂₅ (in/hr)	I ₁₀₀ (in/hr)	Q ₂₅ (cfs)	Q ₁₀₀ (cfs)	Q ₁₀₀ (cfs)	Q ₁₀₀ (cfs)
1	0.50	10	0.8	7.29	8.74	2.92	3.50		
2	0.41	10	0.8	7.29	8.74	2.39	2.87		
3	0.80	10	0.8	7.29	8.74	4.67	5.59		
4	3.36	10	0.8	7.29	8.74	19.60	23.49		
5	1.45	10	0.8	7.29	8.74	8.46	10.14		
6	1.37	10	0.8	7.29	8.74	7.99	9.58		
7	0.54	10	0.8	7.29	8.74	3.15	3.78		
8	0.68	10	0.8	7.29	8.74	3.97	4.75		
9	2.46	10	0.8	7.29	8.74	14.35	17.20		
10	0.46	10	0.8	7.29	8.74	2.68	3.22		
11	0.25	10	0.8	7.29	8.74	1.46	1.75		
12	0.34	10	0.8	7.29	8.74	1.98	2.38		
13	0.62	10	0.8	7.29	8.74	3.62	4.34		
14	0.55	10	0.8	7.29	8.74	3.21	3.85		
15	0.59	10	0.8	7.29	8.74	3.44	4.13		
16	0.53	10	0.8	7.29	8.74	3.09	3.71		
17	0.36	10	0.8	7.29	8.74	2.10	2.52		
18	0.48	10	0.8	7.29	8.74	2.80	3.36		
19	0.82	10	0.8	7.29	8.74	4.78	5.73		
20	0.25	10	0.8	7.29	8.74	1.46	1.75		
21	15.7	10	0.8	7.29	8.74	91.56	109.77		

RECORD DRAWING
THIS DRAWING HAS BEEN REVISED TO REFLECT CONSTRUCTION RECORDS MAINTAINED AND PROVIDED BY THE CONTRACTOR FOR THIS PROJECT.
CONTRACTOR: HILL & WILKINSON
DATE REVISED: 05/04/01

REVISD 05/04/01
REVISD 10/11/00

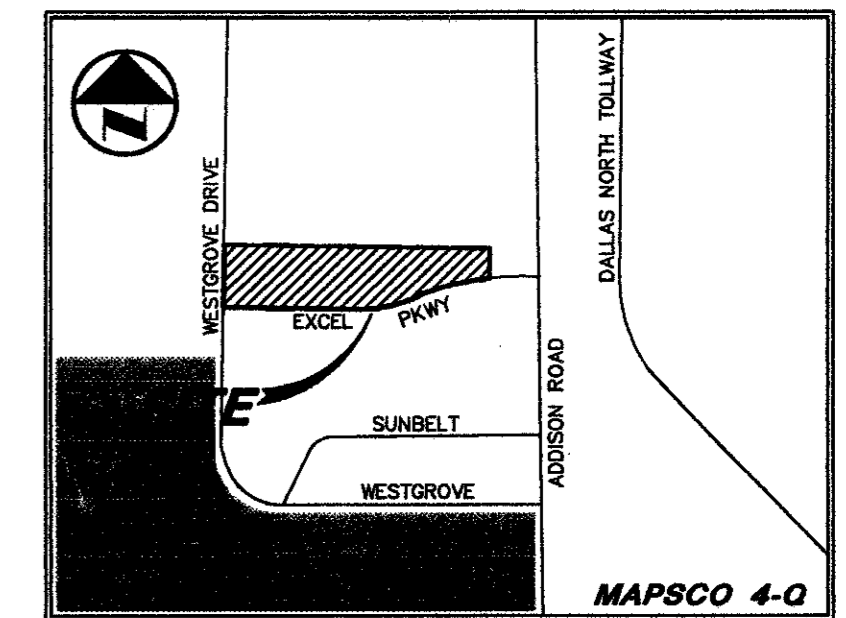


THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY STEVEN A. MARKUSSEN, P.E. 70990 ON 07/26/00. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

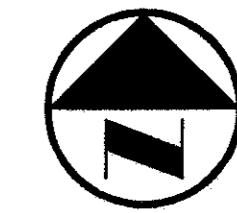
Pacheco Koch Consulting Engineers
9401 LBJ FREEWAY SUITE 300 DALLAS, TEXAS 75243 972.235.3031

DRAINAGE AREA MAP					
ADDISON OFFICE / WAREHOUSE COMPLEX					
LOTS 1 & 2, BLOCK A					
WESTGROVE/BENT TREE PLAZA ADDITION					
TOWN OF ADDISON, TEXAS					
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE NO.
CJE	JLM	JULY 26, 2000	1"=60'		C4.1

PROJECT NO.: 9956
PREPARED BY: JLM
CHECKED BY: CJE
DATE: 7/26/00
REVISIONS:
SHEET NO. & TITLE: **C4.1**
DRAINAGE AREA MAP



VICINITY MAP



LEGEND

- B₁ BOLLARD
- EM₁ ELECTRIC METER
- PP₁ POWER POLE
- LS₁ LIGHT STANDARD
- WM₁ WATER METER
- WV₁ WATER VALVE
- ICV₁ IRRIGATION CONTROL VALVE
- FH₁ FIRE HYDRANT
- CO₁ CLEANOUT
- MH₁ MANHOLE
- GM₁ GAS METER
- TSP₁ TRAFFIC SIGNAL CONTROL
- TSP₂ TRAFFIC SIGNAL POLE
- TELE₁ TELEPHONE BOX
- TV₁ TV BOX
- FP₁ FLAG POLE
- EM₂ ELECTRIC METER
- TRAF₁ TRAFFIC SIGN
- PR₁ PROPERTY LINE
- OHL₁ O.H. POWER LINE
- TEL₁ U/G TELEPHONE LINE
- W₁ U/G WATER LINE
- G₁ U/G GAS LINE
- F₁ FENCE
- B.F.R. BARRIER FREE RAMP
- DR₁ DRAINAGE DIVIDE

DRAINAGE CRITERIA

Q=cfs	Q=0.80
C=0.80	Tc=10
Tc=10	100=8.74

MATCH LINE SEE SHEET

INLET SIZE CALCULATIONS

Q = CA²/g^{0.5}
 C = 0.65 (discharge coefficient)
 A = AREA INLET OPENING (sq ft)
 g = 32.2 ft/sec
 h = 0.25' (depth of water)
 AREA GRATE INLET No.30 = 4.23 sq ft
 MAX Q GRATE INLET No.30 = 16.80 cfs

REQUIRED DETENTION VOLUME:

(USING MODIFIED RATIONAL METHOD TO DETERMINE VOLUMES)
 Q₂₅ (NET ALLOWABLE RELEASE) = 82.23 cfs
 Q₁₀₀ (BYPASS) = 38.17 cfs
 Allowable Q out/Detention = 44.05 cfs
 TOTAL REQUIRED DETENTION VOLUME = 19,191 cubic feet
 VOLUME PROVIDED IN PIPE = 6,579 cubic feet
 TOTAL ON GROUND STORAGE REQUIRED = 12,601 cubic feet
 VOLUME PROVIDED ON GROUND = 12,644 cubic feet

RECORD DRAWING

THIS DRAWING HAS BEEN REVISED TO REFLECT CONSTRUCTION RECORDS MAINTAINED AND PROVIDED BY THE CONTRACTOR FOR THIS PROJECT.

CONTRACTOR: HILL & WILKINSON
 DATE REVISED: 05/04/01

REVISOR: [Symbol] 05/04/01
 REVISOR: [Symbol] 11/27/00

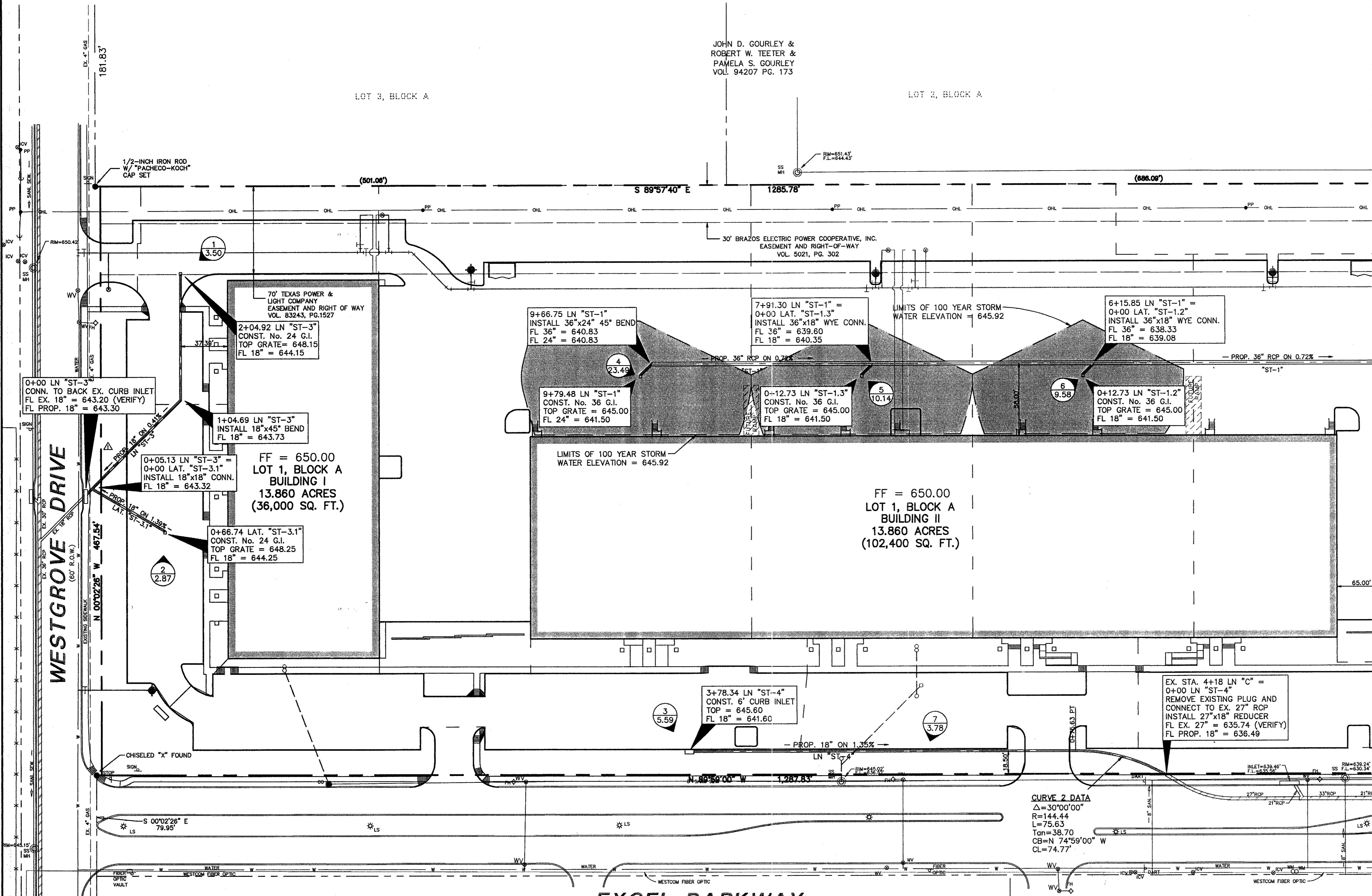
Pacheco Koch Consulting Engineers
 9401 LBJ FREEWAY SUITE 300 DALLAS, TEXAS 75243 972.235.3031

DRAINAGE PLAN
ADDISON OFFICE / WAREHOUSE COMPLEX
LOTS 1 & 2, BLOCK A
WESTGROVE/BENT TREE PLAZA ADDITION
TOWN OF ADDISON, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
CJE	JLM	JULY 26, 2000	1"=40'			C4.2



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JOHN D. GOURLEY &
 ROBERT W. TEETER &
 PAMELA S. GOURLEY
 VOL. 94207 PG. 173

LOT 3, BLOCK A

LOT 2, BLOCK A

70' TEXAS POWER &
 LIGHT COMPANY
 EASEMENT AND RIGHT OF WAY
 VOL. 83243, PG.1527

30' BRAZOS ELECTRIC POWER COOPERATIVE, INC.
 EASEMENT AND RIGHT-OF-WAY
 VOL. 5021, PG. 302

FF = 650.00
 LOT 1, BLOCK A
 BUILDING I
 13.860 ACRES
 (36,000 SQ. FT.)

FF = 650.00
 LOT 1, BLOCK A
 BUILDING II
 13.860 ACRES
 (102,400 SQ. FT.)

EXCEL PARKWAY
 (80' R.O.W.) (Volume 83220, Page 2655)

LOT 4
 PORTION OF TRACT II
 VOL. 92115, PG. 4018

LOT 1, BLOCK A
 EXCEL-PHASE 2
 EXCEL TELECOMMUNICATIONS HOLDINGS, INC.
 VOL. 96064, PG. 4820, DRDCT

RUNOFF CALCULATIONS

DRAINAGE AREA	AREA (ACRES)	Tc (Minutes)	C	I ₃₀ (in/hr)	I ₁₀₀ (in/hr)	Q ₃₀ (cfs)	Q ₁₀₀ (cfs)
1	0.50	10	0.8	7.29	8.74	2.92	3.50
2	0.41	10	0.8	7.29	8.74	2.39	2.87
3	0.80	10	0.8	7.29	8.74	4.67	5.59
4	3.36	10	0.8	7.29	8.74	19.60	23.49
5	1.45	10	0.8	7.29	8.74	8.46	10.14
6	1.37	10	0.8	7.29	8.74	7.99	9.58
7	0.54	10	0.8	7.29	8.74	3.15	3.78
8	0.68	10	0.8	7.29	8.74	3.97	4.75
9	2.46	10	0.8	7.29	8.74	14.35	17.20
10	0.46	10	0.8	7.29	8.74	2.68	3.22
11	0.25	10	0.8	7.29	8.74	1.46	1.75
12	0.34	10	0.8	7.29	8.74	1.98	2.38
13	0.62	10	0.8	7.29	8.74	3.62	4.34
14	0.55	10	0.8	7.29	8.74	3.21	3.85
15	0.59	10	0.8	7.29	8.74	3.44	4.15
16	0.53	10	0.8	7.29	8.74	3.09	3.71
17	0.36	10	0.8	7.29	8.74	2.10	2.52
18	0.48	10	0.8	7.29	8.74	2.80	3.36
19	0.82	10	0.8	7.29	8.74	4.78	5.73
20	0.25	10	0.8	7.29	8.74	1.46	1.75
21	15.7	10	0.8	7.29	8.74	91.56	109.77

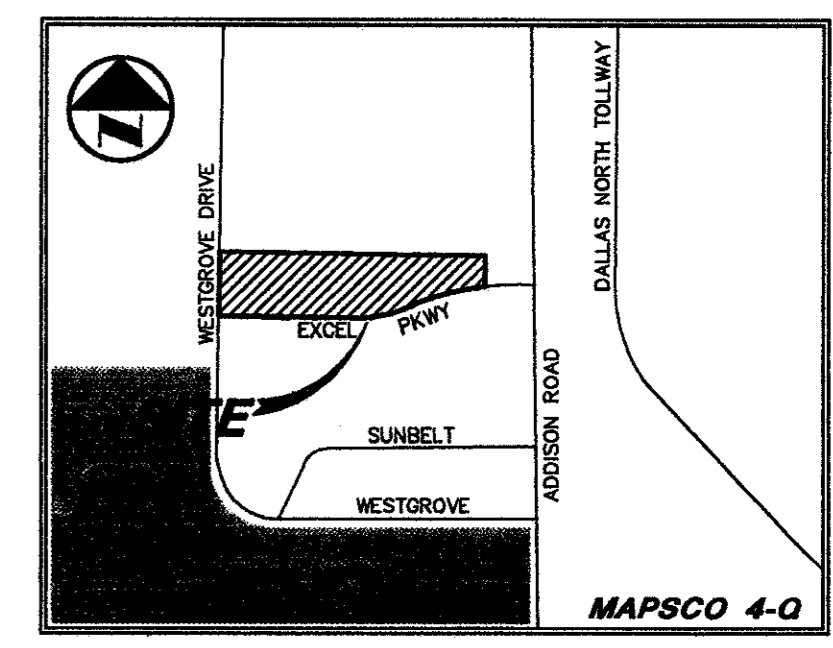
STORM SEWER CALCULATIONS

LINE / STATION	SIZE	Q ₁₀₀ (cfs)	C (cfs)	V (fps)	V ² /2g	S _f
LINE "ST-1" (0+00.00 - 0+34.52)	36"	44.05	56.95	6.23	0.60	0.004362
LINE "ST-1" (0+34.52 - 3+58.48)	36"	44.05	56.95	6.23	0.60	0.004362
LINE "ST-1" (3+58.48 - 6+15.85)	36"	43.21	56.95	6.11	0.58	0.004197
LINE "ST-1" (6+15.85 - 7+91.30)	36"	33.63	56.95	4.76	0.35	0.002543
LINE "ST-1" (7+91.30 - 9+66.75)	36"	23.49	56.95	3.32	0.17	0.001240
LINE "ST-1" (9+66.75 - 9+79.48)	24"	23.49	51.83	7.48	0.87	0.010783
LAT "ST-1.1" (0+00.00 - 0+6.36)	18"	17.20	63.58	9.73	1.47	0.026914
LAT "ST-1.2" (0+00.00 - 0+12.73)	18"	9.58	40.79	5.42	0.46	0.008318
LAT "ST-1.3" (0+00.00 - 0+12.73)	18"	10.14	23.74	5.74	0.51	0.009319
LINE "ST-3" (0+00.00 - 0+5.13)	18"	6.37	17.45	3.60	0.20	0.003678
LINE "ST-3" (0+5.13 - 2+04.92)	18"	3.50	17.45	1.98	0.06	0.001110
LAT "ST-3.1" (0+00.00 - 0+66.74)	18"	2.87	30.46	1.62	0.04	0.000747
LINE "ST-4" (0+00.00 - 3+78.34)	18"	5.59	12.20	3.16	0.16	0.002832

* REFER TO SHEET C4.3 FOR THE PLAN VIEW OF THIS PORTION OF LINE "ST-1"

LEGEND

- B. BOLLARD
- E. ELECTRIC METER
- PP. POWER POLE
- LS. LIGHT STANDARD
- WM. WATER METER
- WV. WATER VALVE
- ICV. IRRIGATION CONTROL VALVE
- FH. FIRE HYDRANT
- CL. CLEANOUT
- WH. MANHOLE
- GM. GAS METER
- TSC. TRAFFIC SIGNAL CONTROL
- TS. TRAFFIC SIGNAL POLE
- TE. TELEPHONE BOX
- TV. TV BOX
- FP. FLAG POLE
- EM. ELECTRIC METER
- TS. TRAFFIC SIGNAL
- P. PROPERTY LINE
- O.H. O.H. POWER LINE
- TEL. U/G TELEPHONE LINE
- W. U/G WATER LINE
- G. U/G GAS LINE
- F. FENCE
- B.F.R. BARRIER FREE RAMP
- D. DRAINAGE DIVIDE



GRADING AND DRAINAGE GENERAL NOTES

1. REFER TO GEOTECHNICAL REPORT FOR REQUIREMENTS REGARDING FILL COMPACTION AND MOISTURE CONTENT.
2. UNLESS NOTED, ALL FILL IS TO BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY WITHIN 3% OF OPTIMUM MOISTURE CONTENT. FILL TO BE PLACED IN A MAXIMUM OF 6" LIFTS.
3. ALL WALKS TO HAVE A MAXIMUM CROSS SLOPE OF 2%.
4. GRADING OF ALL HANDICAPPED SPACES AND ROUTES TO CONFORM TO STATE, LOCAL AND FEDERAL GUIDELINES.
5. UNLESS NOTED, STORM DRAIN LINES MAY BE OF THE FOLLOWING MATERIALS:
 - A. RCP C-76, CLASS III
 - B. ADS N-12
 - C. HANCOCK HI-Q
- AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
6. UNLESS NOTED, GRATE INLET TO BE "AMERICAN INDUSTRIAL PRE-CAST PRODUCTS, INC." PRECAST CATCH BASIN, SIZED AS SHOWN, OF APPROVED EQUAL.
7. FINAL PAVING, CURB AND SIDEWALK ELEVATIONS WILL BE PLACED AT PLUS OR MINUS 0.03 FOOT.
8. REFER TO LANDSCAPE SPECIFICATION FOR SEEDING AND SODDING REQUIREMENTS.
9. ANY CONCRETE, ROCK OR MATERIAL DEEMED UNSUITABLE FOR SUBGRADE, BY ENGINEER, SHALL BE DISPOSED OF OFFSITE AT CONTRACTOR'S EXPENSE.
10. TRENCH BACKFILL MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF NCTCOG ITEM 6.2.10 AND SHALL BE MECHANICALLY COMPACTED IN ACCORDANCE WITH NCTCOG ITEM 6.2.9 TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED IN THE STANDARD CITY SPECIFICATIONS.
11. EMBEDMENT SHALL CONFORM TO THE REQUIREMENTS OF NCTCOG ITEM 6.2.9 UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED IN THE STANDARD CITY SPECIFICATIONS.
12. A ROUND MANHOLE COVER MEETING CITY SPECIFICATIONS SHALL BE PLACED IN ALL INLET TOPS. THE MANHOLE COVER SHALL BE PLACED NEAR THE OUTLET PIPE.
13. ALL CONCRETE FOR INLETS AND DRAINAGE STRUCTURES SHALL CONFORM TO NCTCOG ITEM 7.4.5, CLASS "A" UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED IN STANDARD CITY SPECIFICATIONS.
14. CRUSHED STONE BEDDING OR APPROVED EQUAL SHALL BE PROVIDED BY THE CONTRACTOR WHEN ROCK IS ENCOUNTERED IN TRENCHES. THERE SHALL BE NO ADDITIONAL PAY ITEM OF THE CRUSHED STONE BEDDING.
15. IF REQUIRED DUE TO CONSTRUCTION, POWER POLES TO BE BRACED OR RELOCATED AT CONTRACTORS EXPENSE.
16. EXACT FLOW LINE ELEVATIONS OF STUBOUTS WERE UNABLE TO BE DETERMINED FROM CITY DRAWINGS. CONTRACTOR IS TO VERIFY EXACT ELEVATIONS AND CONTACT THE ENGINEER.

DRAINAGE CRITERIA

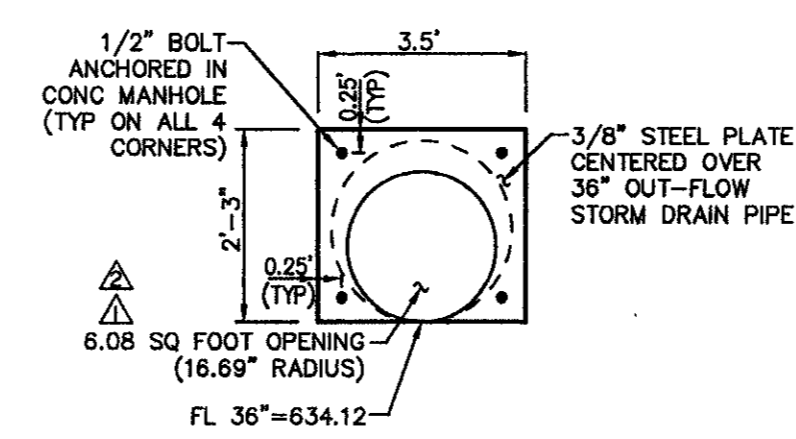
Q = cfs
C = 0.80
Tc = 10
100 = 8.74

INLET SIZE CALCULATIONS

Q = CA²gh
 C = 0.65 (discharge coefficient)
 A = AREA INLET OPENING (sq ft)
 g = 32.2 ft/sec
 h = 0.25' (depth of water)
 AREA GRATE INLET No.30 = 4.23 sq ft
 MAX Q GRATE INLET No.30 = 16.80 cfs

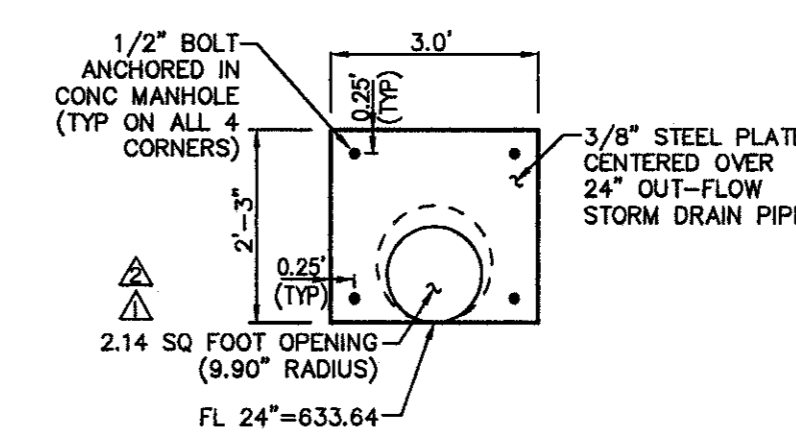
REQUIRED DETENTION VOLUME:

(USING MODIFIED RATIONAL METHOD TO DETERMINE VOLUMES)
 Q₂₅ (NET ALLOWABLE RELEASE) = 27.06 cfs
 Q₁₀₀ (BYPASS) = 11.19 cfs
 Allowable Q out Detention = 15.87 cfs
 TOTAL REQUIRED DETENTION VOLUME = 6,196 cubic feet
 VOLUME PROVIDED IN PIPE = 1,875 cubic feet
 TOTAL ON GROUND STORAGE REQUIRED = 4,321 cubic feet
 VOLUME PROVIDED ON GROUND = 5,196 cubic feet



FLOW REDUCER PLATE DETAIL "A"

ORIFACE PLATE CALCS
 Q = CA²gh = 44.05 cfs
 C = 0.65 (discharge coefficient)
 A = AREA OPENING (sq ft)
 g = 32.2 ft/sec
 h = 1.93' (depth of water)
 A = 6.08 SQUARE FOOT



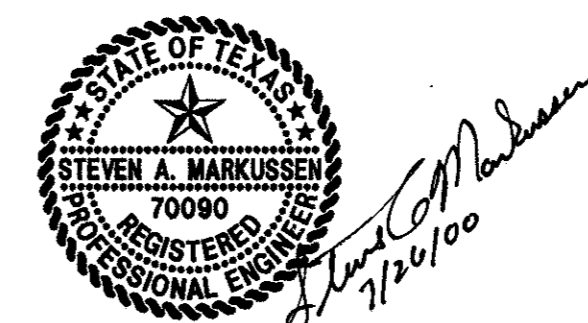
FLOW REDUCER PLATE DETAIL "B"

ORIFACE PLATE CALCS
 Q = CA²gh = 15.87 cfs
 C = 0.65 (discharge coefficient)
 A = AREA OPENING (sq ft)
 g = 32.2 ft/sec
 h = 2.03' (depth of water)
 A = 2.14 SQUARE FOOT

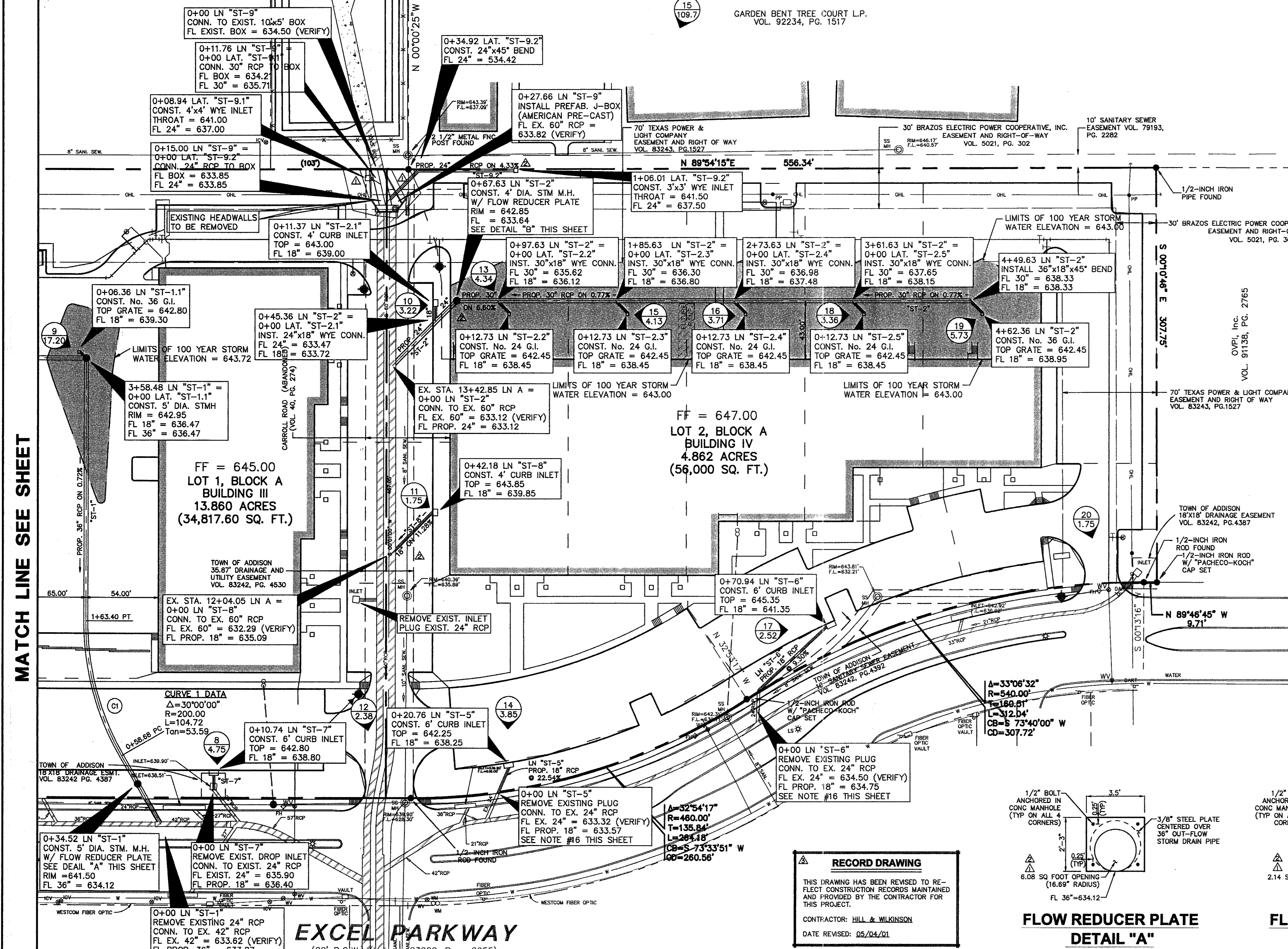
RECORD DRAWING
 THIS DRAWING HAS BEEN REVISED TO REFLECT CONSTRUCTION RECORDS MAINTAINED AND PROVIDED BY THE CONTRACTOR FOR THIS PROJECT.
 CONTRACTOR: HILL & WILKINSON
 DATE REVISED: 05/04/01

BENCHMARKS

BM	DESCRIPTION	ELEV.
BM 1	"m" CUT SET ON THE BACK OF CURB ON THE SOUTH SIDE OF EXCEL, ±950' WEST OF ADDISON ROAD.	ELEV.=642.97
BM 2	60 D NAIL SET IN PP 2203 478 7763, ±500' NORTH OF THE CENTERLINE OF EXCEL.	ELEV.=648.07
BM 3	"m" CUT SET ON THE EAST SIDEWALK OF WESTGROVE, ±190' SOUTH OF AIRBORN DR.	ELEV.=651.73
BM 4	"m" CUT SET ON THE NOSE MEDIAN AT THE INTERSECTION OF EXCEL & WESTGROVE, ±45' EAST OF Q OF WESTGROVE	ELEV.=645.69



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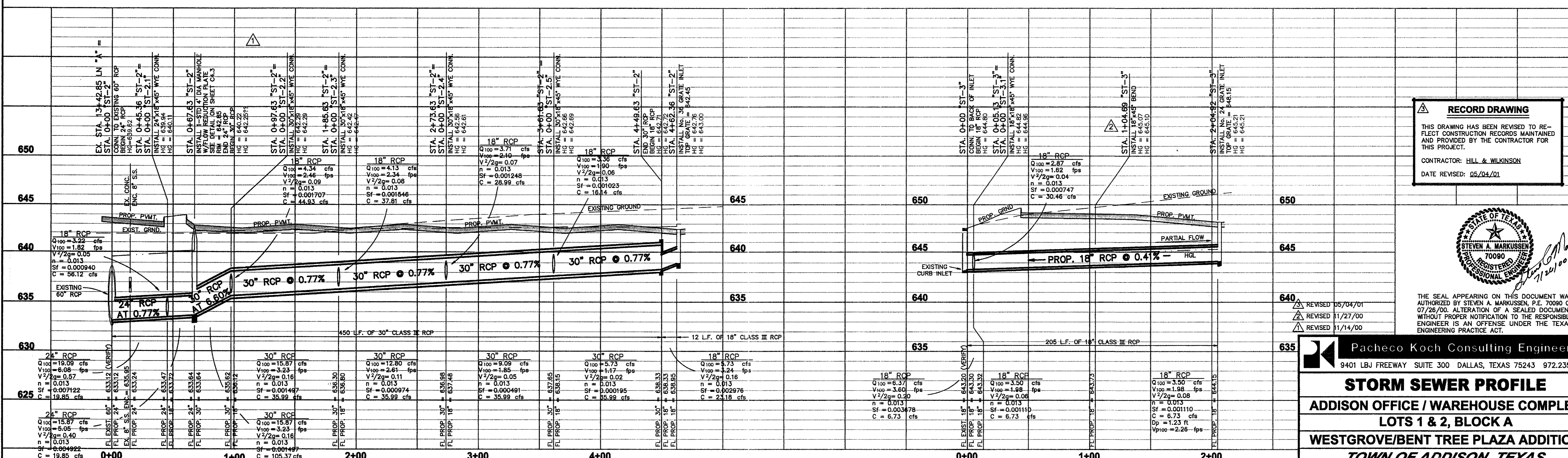
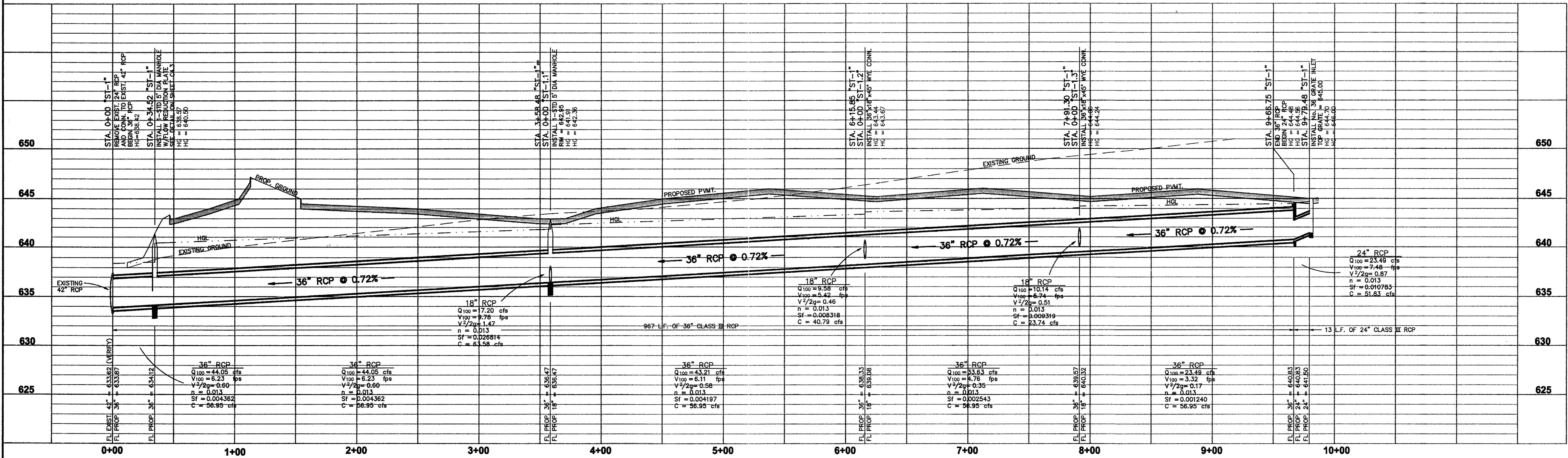


RUNOFF CALCULATIONS

DRAINAGE AREA	AREA (ACRES)	Tc (Minutes)	C	I _{as} (in/hr)	I ₁₀₀ (in/hr)	Q ₂₅ (cfs)	Q ₁₀₀ (cfs)
1	0.50	10	0.8	7.29	8.74	2.92	3.50
2	0.41	10	0.8	7.29	8.74	2.39	2.87
3	0.80	10	0.8	7.29	8.74	4.67	5.59
4	3.36	10	0.8	7.29	8.74	19.60	23.49
5	1.45	10	0.8	7.29	8.74	8.46	10.14
6	1.37	10	0.8	7.29	8.74	7.99	9.58
7	0.54	10	0.8	7.29	8.74	3.15	3.78
8	0.68	10	0.8	7.29	8.74	3.97	4.75
9	2.46	10	0.8	7.29	8.74	14.35	17.20
10	0.48	10	0.8	7.29	8.74	2.68	3.22
11	0.25	10	0.8	7.29	8.74	1.46	1.75
12	0.34	10	0.8	7.29	8.74	1.98	2.38
13	0.62	10	0.8	7.29	8.74	3.62	4.34
14	0.55	10	0.8	7.29	8.74	3.21	3.85
15	0.59	10	0.8	7.29	8.74	3.44	4.13
16	0.53	10	0.8	7.29	8.74	3.09	3.71
17	0.36	10	0.8	7.29	8.74	2.10	2.52
18	0.48	10	0.8	7.29	8.74	2.80	3.36
19	0.82	10	0.8	7.29	8.74	4.78	5.73
20	0.25	10	0.8	7.29	8.74	1.46	1.75
21	15.7	10	0.8	7.29	8.74	91.56	109.77

STORM SEWER CALCULATIONS

LINE / STATION	SIZE	Q ₁₀₀ (cfs)	C (cfs)	V (fps)	V ² /2g	S _f
LINE "ST-2" (0+00 - 0+45.36)	24"	19.09	19.85	6.08	0.57	0.007122
LINE "ST-2" (0+45.36 - 0+67.63)	24"	15.87	19.85	5.05	0.40	0.004922
LINE "ST-2" (0+67.63 - 0+97.63)	30"	15.87	105.37	3.23	0.16	0.001457
LINE "ST-2" (0+97.63 - 1+85.63)	30"	15.87	35.99	3.23	0.16	0.001457
LINE "ST-2" (1+85.63 - 2+73.63)	30"	12.80	35.99	2.61	0.11	0.000974
LINE "ST-2" (2+73.63 - 3+61.63)	30"	9.09	35.99	1.85	0.05	0.000491
LINE "ST-2" (3+61.63 - 4+49.63)	30"	5.73	35.99	1.17	0.02	0.000165
LINE "ST-2" (4+49.63 - 4+62.36)	18"	5.73	23.18	3.74	0.16	0.002978
LAT "ST-2-1" (0+00 - 0+11.73)	18"	3.22	56.12	1.82	0.05	0.000940
LAT "ST-2-2" (0+00.00 - 0+12.73)	18"	4.34	44.93	2.46	0.09	0.001707
LAT "ST-2-3" (0+00.00 - 0+12.73)	18"	4.13	37.81	2.34	0.08	0.001546
LAT "ST-2-4" (0+00.00 - 0+12.73)	18"	3.71	28.99	2.10	0.07	0.001248
LAT "ST-2-5" (0+00.00 - 0+12.73)	18"	3.36	16.14	1.90	0.06	0.001023
LINE "ST-5" (0+00.00 - 0+20.76)	18"	3.85	49.87	2.18	0.07	0.001343
LINE "ST-6" (0+00.00 - 0+70.94)	18"	2.52	32.03	1.43	0.03	0.000576
LINE "ST-7" (0+00.00 - 0+10.74)	18"	4.75	49.66	2.69	0.11	0.002045
LINE "ST-8" (0+00.00 - 0+42.18)	18"	1.75	37.71	0.99	0.02	0.000278



RECORD DRAWING
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CONTRACTOR: HILL & WILKINSON
DATE REVISED: 05/04/01



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- REVISION 05/04/01
- REVISION 11/27/00
- REVISION 11/14/00

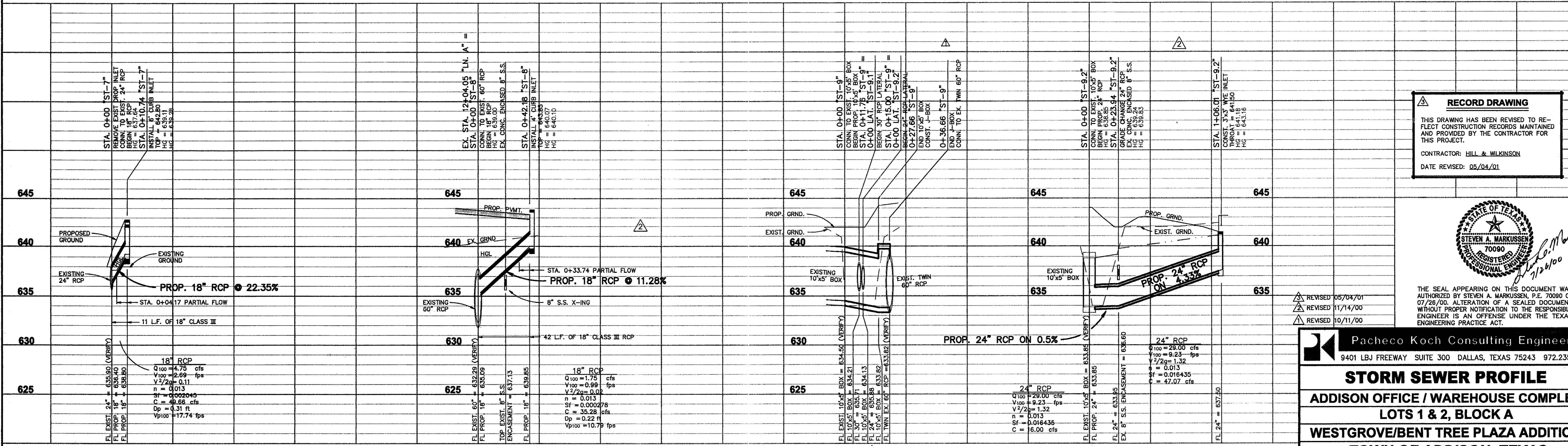
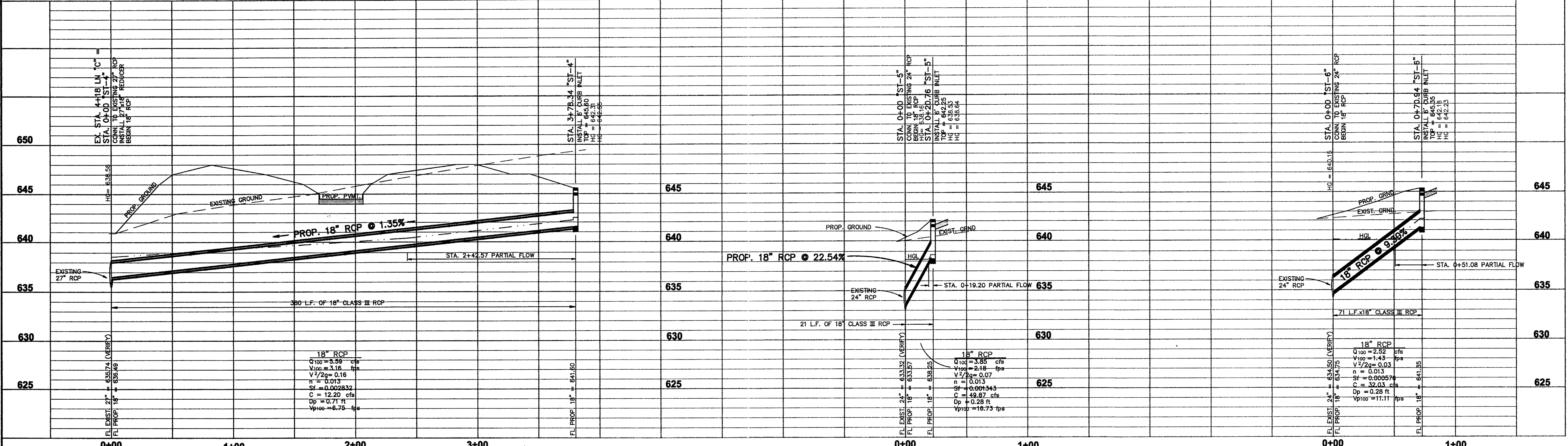
Pacheco Koch Consulting Engineers
9401 LBJ FREEWAY SUITE 300 DALLAS, TEXAS 75243 972.235.3031

STORM SEWER PROFILE
ADDITION OFFICE / WAREHOUSE COMPLEX
LOTS 1 & 2, BLOCK A
WESTGROVE/BENT TREE PLAZA ADDITION
TOWN OF ADDISON, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
CJE	JLM	JULY 26, 2000	1"=40'			C4.4

PROJECT NO.: 9956
PREPARED BY: JLM
CHECKED BY: CJC
DATE: 7/26/00
REVISIONS:

SHEET NO. + TITLE: **C4.4**
STORM SEWER PROFILE



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CONTRACTOR: HILL & WILKINSON
DATE REVISED: 05/04/01



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REVISED 05/04/01
REVISED 11/14/00
REVISED 10/11/00

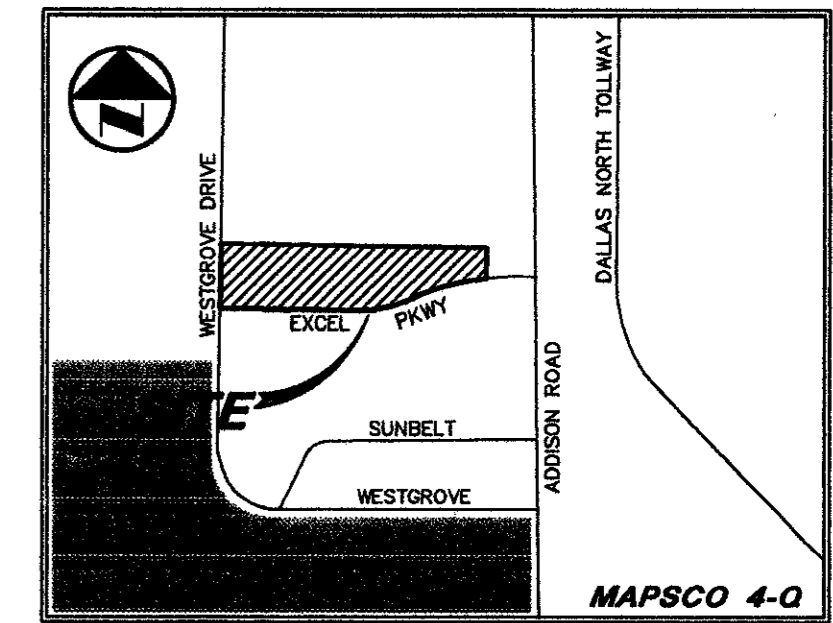
Pacheco Koch Consulting Engineers
9401 LBJ FREEWAY SUITE 300 DALLAS, TEXAS 75243 972.235.3031

STORM SEWER PROFILE
ADDISON OFFICE / WAREHOUSE COMPLEX
LOTS 1 & 2, BLOCK A
WESTGROVE/BENT TREE PLAZA ADDITION
TOWN OF ADDISON, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
CJE	JLM	JULY 26, 2000	1"=40'			C4.5

PROJECT NO.: 9956
PREPARED BY: JLM
CHECKED BY: CJC
DATE: 7/26/00
REVISIONS:

SHEET NO. + TITLE:
C4.5
STORM SEWER PROFILE



VICINITY MAP



0 20' 40' 80' 120'
GRAPHIC SCALE IN FEET

LEGEND

- BOLLARD
- ELECTRIC METER
- POWER POLE
- LIGHT STANDARD
- WATER METER
- WATER VALVE
- IRRIGATION CONTROL VALVE
- FIRE HYDRANT
- CLEANOUT
- MANHOLE
- GAS METER
- TRAFFIC SIGNAL CONTROL
- TRAFFIC SIGNAL POLE
- TELEPHONE BOX
- TV BOX
- FLAG POLE
- ELECTRIC METER
- TRAFFIC SIGN
- PROPERTY LINE
- O.H. POWER LINE
- U/G TELEPHONE LINE
- U/G WATER LINE
- U/G GAS LINE
- FENCE
- B.F.R. BARRIER FREE RAMP

MATCH LINE SEE SHEET

JOHN D. GOURLEY &
ROBERT W. TEETER &
PAMELA S. GURLEY
VOL. 94207 PG. 173

INSTALL:
1-8" TEE
2-8"x8" VALVE
1-8" DOUBLE CHECK VALVE ASSEMBLY
1-8" FIRE LINE
1-8"x2" DOUBLE STRAP BRONZE SADDLE WITH CORP. STOP
1-2" W.M. (IRR.)
1-8"x3" DOUBLE STRAP BRONZE SADDLE WITH CORP. STOP
1-2 1/2" W.M. (DOM.) W/ DOUBLE CHECK VALVE ASSEMBLY

INSTALL:
1-8"x6" TEE
1-6" VALVE
1-6" DOUBLE CHECK VALVE ASSEMBLY
1-8" VALVE
1-8"x3" DOUBLE STRAP BRONZE SADDLE WITH CORP. STOP
1-2" DOUBLE CHECK VALVE ASSEMBLY
1-2" W.M. (DOM.)

CONN. TO EXIST. 8" WTR.
INSTALL:
1-8"x6" T.S. & VALVE
1-8"x6" REDUCER

INSTALL:
1-8"x45" BEND

INSTALL:
1-8"x6" TEE
1-6" VALVE
1-F.H.

INSTALL:
1-8" VALVE
1-8"x6" TEE
1-6" VALVE
1-F.H.

INSTALL:
1-8" VALVE
1-8"x6" TEE
1-6" VALVE
1-F.H.

INSTALL:
1-8"x2" DOUBLE STRAP BRONZE SADDLE W/ CORP. STOP
1-DOUBLE CHECK VALVE ASSEMBLY
1-2" W.M. (IRR.)

INSTALL:
1-8"x45" BEND

INSTALL:
1-DOUBLE CLEANOUT AT A POINT 5' OFF FACE OF BLDG.
640.00'

INSTALL:
1-DOUBLE CLEANOUT
FL 8" = 639.14

INSTALL:
1-CLEANOUT
FL 8" = 637.23

CONN. TO EXIST. SSMH
FL EXIST. 8" = 636.52 (VERIFY)
FL PROP. 8" = 636.69

STA. 10+74.87 LN C
CONST. 4' DIA. SSMH
OVER EXIST. 8" SANITARY SEWER
ABAND. EXIST. SEWER (WEST)
RIM = 647.75
FL EXIST. 8" = 640.80 (VERIFY)

CONN. TO EXIST. 8" WTR.
INSTALL:
1-8"x6" T.S. & VALVE
1-F.H.

INSTALL:
1-DOUBLE CLEANOUT
AT A POINT 5' OFF
FACE OF BLDG.
FL 8" = 641.67

FF = 650.00
LOT 1, BLOCK A
BUILDING I
13.860 ACRES
(36,000 SQ. FT.)

FF = 650.00
LOT 1, BLOCK A
BUILDING II
13.860 ACRES
(102,400 SQ. FT.)

EXCEL PARKWAY
(80' R.O.W.) (Volume 83220, Page 2655)

LOT 4
PORTION OF TRACT II
VOL. 92115, PG. 4018

LOT 1, BLOCK A
EXCEL-PHASE 2
EXCEL TELECOMMUNICATIONS HOLDINGS, INC.
VOL. 96064, PG. 4820, DRDCT

- REVIS 05/04/01
- REVIS 11/02/00
- REVIS 08/29/00

RECORD DRAWING
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CONTRACTOR: HILL & WILKINSON
DATE REVISED: 05/04/01

BENCHMARKS		
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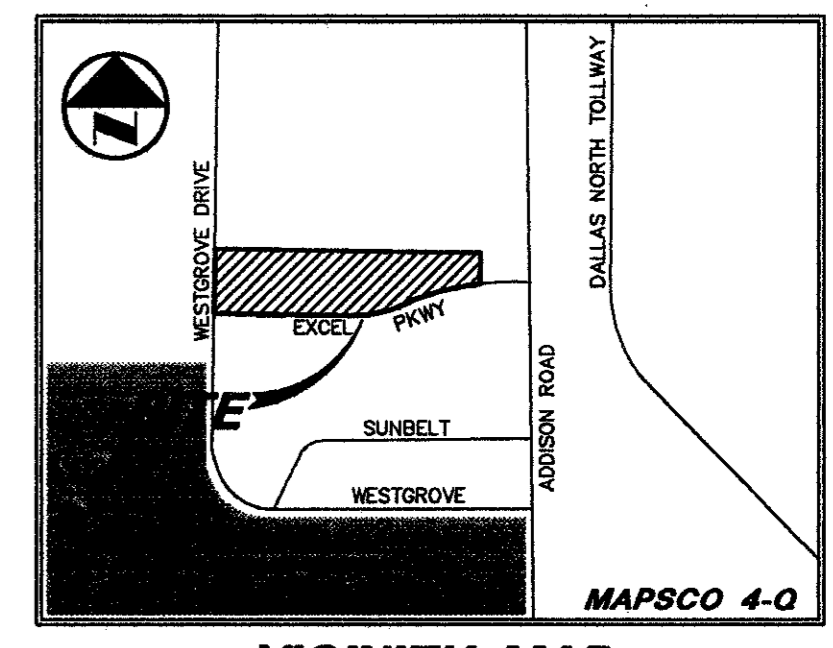
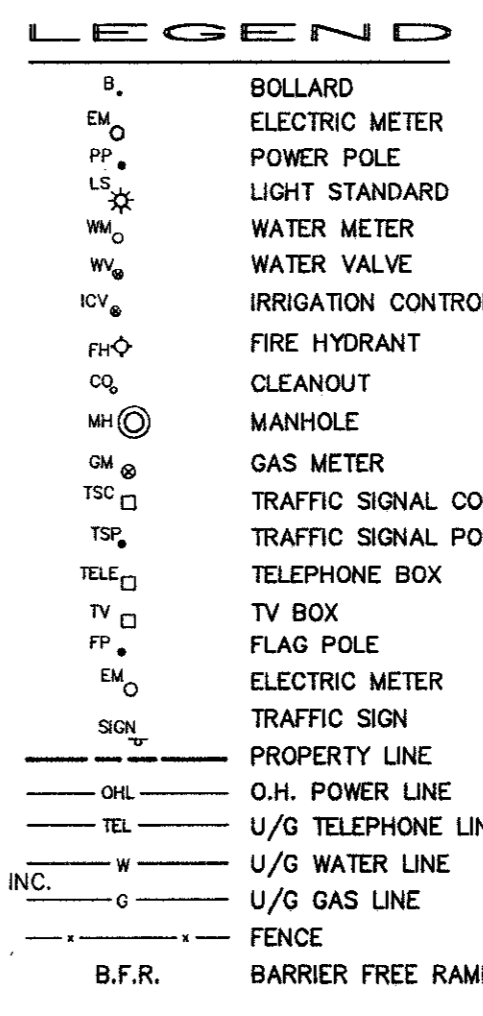
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9401 LBJ FREEWAY SUITE 300 DALLAS, TEXAS 75243 972.235.3031

WATER & SANITARY SEWER PLAN
ADDISON OFFICE / WAREHOUSE COMPLEX
LOTS 1 & 2, BLOCK A
WESTGROVE/BENT TREE PLAZA ADDITION
TOWN OF ADDISON, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
CJE	JLM	JULY 26, 2000	1"=40'			C5.1

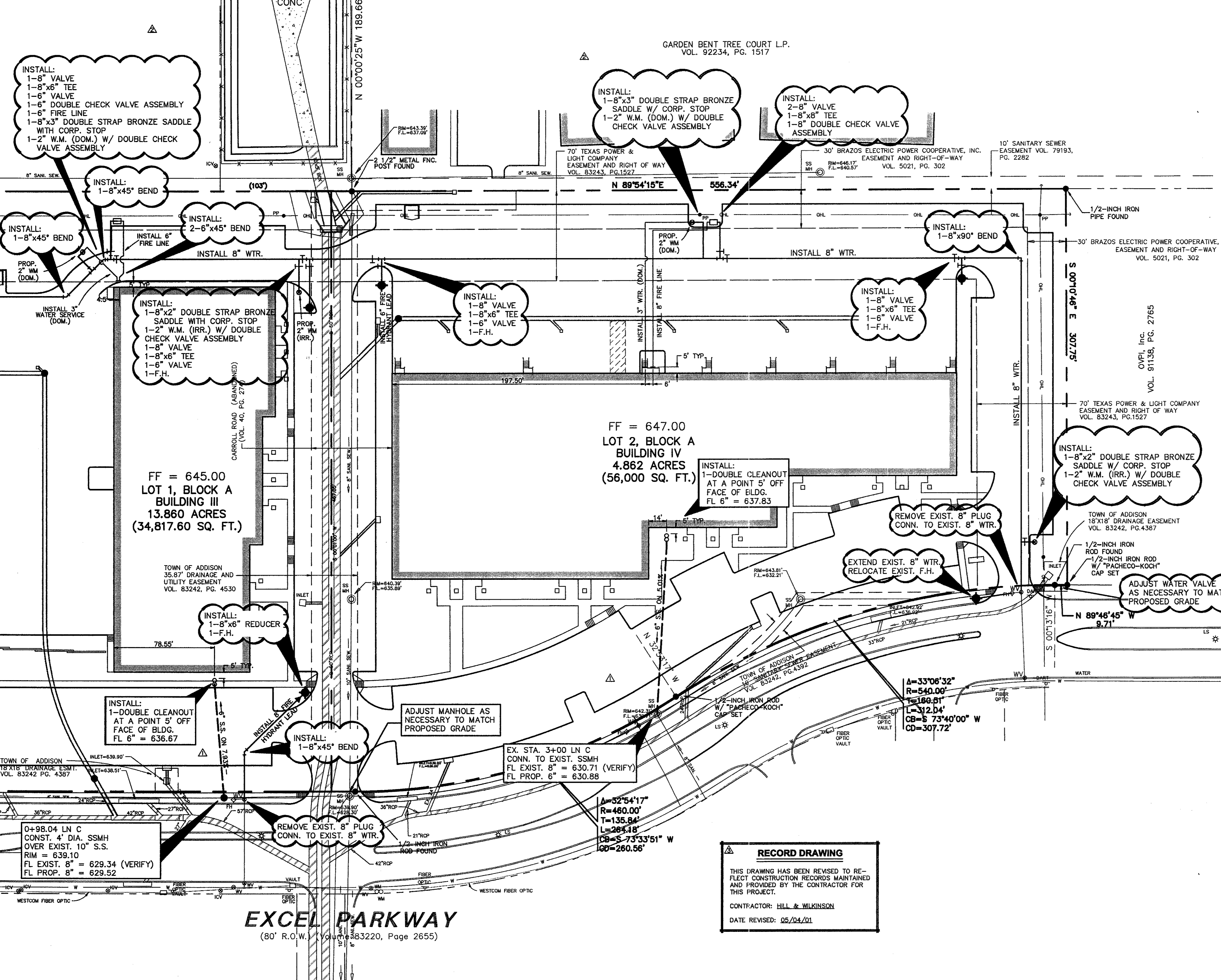
PROJECT NO.: 9956
PREPARED BY: JLM
CHECKED BY: CJM
DATE: 07/26/00
REVISIONS:
SHEET NO. + TITLE: C5.1
WATER & SANITARY SEWER PLAN



WATER AND SANITARY SEWER GENERAL NOTES

- UNLESS OTHERWISE NOTED, ALL CONCRETE SHALL BE CLASS "A", (3000 PSI).
- ALL WATER MAINS SHALL BE PVC C900, DR 18, CLASS 150.
- WATER AND SANITARY SEWER SERVICES SHALL MEET PLUMBING CODE REQUIREMENTS.
- ALL WATER MAINS UNLESS OTHERWISE NOTED SHALL HAVE A MINIMUM COVER OF 48" BELOW FINISHED GRADE.
- SANITARY SEWER PIPE SHALL BE PVC SDR-35.
- WHEN WATER MAINS AND SANITARY SEWERS ARE INSTALLED, THEY SHALL BE INSTALLED NO CLOSER TO EACH OTHER THAN NINE FEET IN ALL DIRECTIONS AND PARALLEL LINES MUST BE INSTALLED IN SEPARATE TRENCHES. WHERE THE NINE FOOT SEPARATION DISTANCE CANNOT BE ACHIEVED, THE FOLLOWING GUIDELINES SHALL APPLY:
 - WHERE A SANITARY SEWER PARALLELS A WATERLINE, THE SEWER SHALL BE CONSTRUCTED OF CAST IRON, DUCTILE IRON OR PVC MEETING ASTM SPECIFICATIONS WITH A PRESSURE RATING FOR BOTH THE PIPE AND JOINTS OF 150 PSI. THE VERTICAL SEPARATION SHALL BE A MINIMUM OF TWO FEET BETWEEN OUTSIDE DIAMETERS AND THE HORIZONTAL SEPARATION SHALL BE A MINIMUM OF FOUR FEET BETWEEN OUTSIDE DIAMETERS. THE SEWER SHALL BE LOCATED BELOW THE WATERLINE.
 - WHERE A SANITARY SEWER CROSSES A WATERLINE AND THE SEWER IS CONSTRUCTED OF CAST IRON, DUCTILE IRON OR PVC WITH A MINIMUM PRESSURE RATING OF 150 PSI, AN ABSOLUTE MINIMUM DISTANCE OF SIX INCHES BETWEEN OUTSIDE DIAMETERS SHALL BE MAINTAINED. IN ADDITION, THE SEWER SHALL BE LOCATED BELOW THE WATERLINE WHERE POSSIBLE AND ONE LENGTH OF THE SEWER PIPE MUST BE CENTERED ON THE WATERLINE.
 - WHERE A SEWER CROSSES UNDER A WATERLINE AND THE SEWER IS CONSTRUCTED OF ABS TRUSS PIPE, SIMILAR SEWER RIGID PLASTIC COMPOSITE PIPE, CLAY PIPE OR CONCRETE PIPE WITH GASKETED JOINTS, A MINIMUM TWO FOOT SEPARATION DISTANCE SHALL BE MAINTAINED. IN ADDITION, THE SEWER SHALL BE LOCATED BELOW THE WATERLINE WHERE POSSIBLE AND ONE LENGTH OF THE SEWER PIPE MUST BE CENTERED ON THE WATERLINE.
 - WHERE A SEWER CROSSES OVER A WATERLINE ALL PORTIONS OF THE SEWER WITHIN NINE FEET OF THE WATERLINE SHALL BE CONSTRUCTED OF CAST IRON, DUCTILE IRON OR PVC PIPE WITH A PRESSURE RATING OF AT LEAST 150 PSI USING APPROPRIATE ADAPTERS. IN LIEU OF THIS PROCEDURE, THE NEW CONVEYANCE MAY BE ENCASED IN A JOINT OF 150 PSI PRESSURE CLASS PIPE AT LEAST 18 FEET LONG AND TWO NOMINAL SIZES LARGER THAN THE NEW CONVEYANCE. THE SPACE AROUND THE CARRIER PIPE SHALL BE SUPPORTED AT FIVE FEET INTERVALS WITH SPACERS OR BE FILLED TO THE SPRING LINE WITH WASHED SAND. THE ENCASEMENT PIPE SHOULD BE CENTERED ON THE CROSSING AND BOTH ENDS SEALED WITH CEMENT GROUT OR MANUFACTURED SEAL.
 - THE SEWER NEED NOT BE DISTURBED WHERE A NEW WATERLINE IS TO BE INSTALLED PARALLEL TO AN EXISTING SEWER THAT SHOWS NO EVIDENCE OF LEAKAGE AND THE WATERLINE IS INSTALLED ABOVE THE SEWER A MINIMUM OF TWO FEET VERTICALLY AND FOUR FEET HORIZONTALLY. SHOULD EXCAVATION FOR THE WATERLINE PRODUCE EVIDENCE THAT THE SEWER IS LEAKING, THE SEWER MUST BE REPAIRED OR REPLACED AS DESCRIBED IN SUBPARAGRAPHS (A) OR (D) OF THIS PARAGRAPH.
 - THE SEWER NEED NOT BE DISTURBED WHERE A NEW WATERLINE IS TO CROSS OVER (BY TWO FEET OR MORE) EXISTING SEWER SHOWING NO EVIDENCE OF LEAKAGE. SHOULD EXCAVATION FOR THE WATERLINE PRODUCE EVIDENCE THAT THE SEWER IS LEAKING, THEN THE SEWER MUST BE REPAIRED OR REPLACED AS DESCRIBED IN SUBSECTIONS (C) OR (D).
- CONTRACTOR TO VERIFY ALL EXISTING SEWER FLOW LINES BEFORE BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL TIE A 1" WIDE PIECE OF RED PLASTIC FLAGGING TO THE END OF SEWER SERVICE AN SHALL LEAVE A MINIMUM OF 36" OF FLAGGING EXPOSED AFTER BACKFILL AFTER CURB AND PAVING IS COMPLETED, CONTRACTOR SHALL MARK THE LOCATION OF THE SEWER SERVICE ON THE CURB OF ALLEY IN ACCORDANCE WITH THE STANDARD CITY SPECIFICATIONS.
- ALL SANITARY SEWER LINES SHALL BE TESTED IN ACCORDANCE WITH THE STANDARD CITY SPECIFICATIONS.
- THE UTILITY CONTRACTOR SHALL INSTALL THE WATER SERVICES TO A POINT TWO (2') FEET BACK OF THE CURB LINE AT A DEPTH OF 12 INCHES. THE METER BOX SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR AFTER THE PAVING CONTRACTOR HAS COMPLETED THE FINE GRADING BEHIND THE BACK OF THE CURB. EACH SERVICE LOCATION WILL BE MARKED ON THE CURB, WITH A BLUE LETTER "W" BY THE UTILITY CONTRACTOR AND TIED TO PROPERTY CORNERS ON THE "RECORD DRAWINGS".
- ALL METER BOXES SHALL BE LOCATED IN NON-TRAFFIC AREAS.
- UTILITY TRENCHES SHALL BE BACKFILLED WITH MATERIAL MEETING NCTCOG ITEM 6.2.10 AND MECHANICALLY COMPACTED IN 8" LIFTS TO THE TOP OF THE SUBGRADE TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY.
- VALVE BOXES SHALL BE FURNISHED AND SET ON EACH GATE VALVE. AFTER THE FINAL CLEAN-UP AND ALIGNMENT HAS BEEN COMPLETED, THE CONTRACTOR (UTILITY) SHALL POUR A CONCRETE BLOCK 24"x24"x6" AROUND ALL VALVE BOXES TOPS SO THE FINISHED GRADE IS LEVEL WITH THE FINISHED GRADE.
- IF REQUIRED DUE TO CONSTRUCTION, POWER POLES TO BE BRACED OR RELOCATED AT CONTRACTORS EXPENSE.
- USE RESTRAINING GLANDS ON ALL M.J. FITTINGS @ 90°, 45°, AND F.H. LEADS (MEGA LUG OR APPROVED EQUAL).
- "GRADE-LOK" ON HYDRANT LEADS IS OPTIONAL.
- ADJUST ALL EXISTING VALVES, MANHOLES, AND FIRE HYDRANTS TO FINISH GRADE.
- WHERE SANITARY SEWER CONNECTS TO EXISTING MANHOLE - CORE AND SEAL MANHOLE WALL.

MATCH LINE SEE SHEET



RECORD DRAWING
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 CONTRACTOR: HILL & WILKINSON
 DATE REVISED: 05/04/01

BENCHMARKS		
BM 1	"d" CUT SET ON THE BACK OF CURB ON THE SOUTH SIDE OF EXCEL, ±950' WEST OF ADDISON ROAD.	ELEV.=642.97
BM 2	60 D NAIL SET IN PP 2203 478 7763, ±500' NORTH OF THE CENTERLINE OF EXCEL	ELEV.=648.07
BM 3	"d" CUT SET ON THE EAST SIDEWALK OF WESTGROVE, ±190' SOUTH OF AIRBORN DR.	ELEV.=651.73
BM 4	" " CUT SET ON THE NOSE MEDIAN AT THE INTERSECTION OF EXCEL & WESTGROVE, ±45' EAST OF Q OF WESTGROVE	ELEV.=645.69



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY STEVEN A. MARKUSSEN, P.E. 70990 ON 07/26/00. ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

Pacheco Koch Consulting Engineers
 9401 LBJ FREEWAY SUITE 300 DALLAS, TEXAS 75243 972.235.3031

WATER & SANITARY SEWER PLAN
ADDISON OFFICE / WAREHOUSE COMPLEX
LOTS 1 & 2, BLOCK A
WESTGROVE/BENT TREE PLAZA ADDITION
TOWN OF ADDISON, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
CJE	JLM	JULY 26, 2000	1"=40'			C5.2

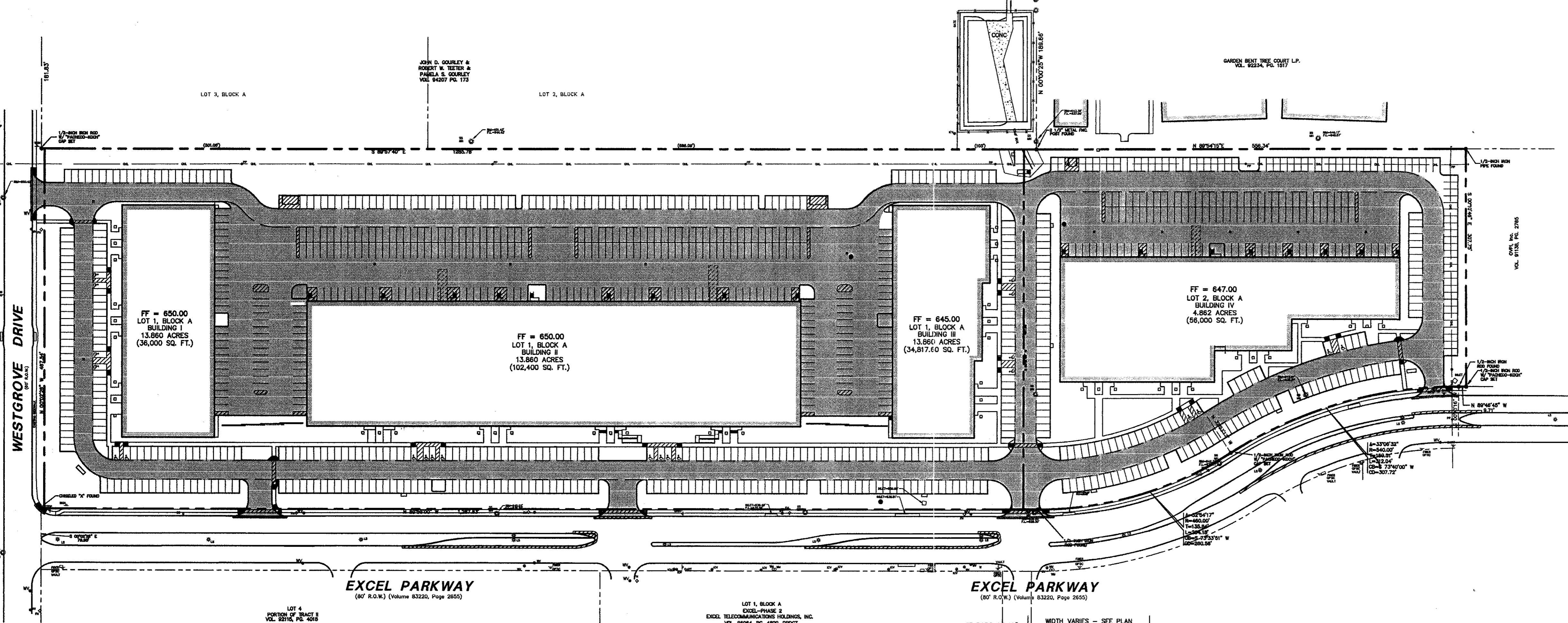
PROJECT NO.: 9956
 PREPARED BY: JUM
 CHECKED BY: CJC
 DATE: 07/26/00
 REVISIONS:
 SHEET NO. & TITLE: **C5.2**
 WATER & SANITARY SEWER PLAN

DALLAS
 HARLINGEN
 RICE
 ODGEN
 FIGUEROA
 DICKSON
 WELLS
 PLLC

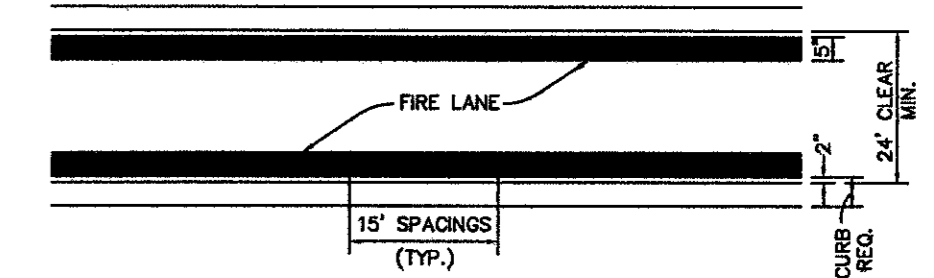
703 McKinney Avenue, Suite 401
 Dallas, TX 75202-0572
 Focalline: 214-854-0855
 Web Page: www.rofdw.com

ADDISON TECH CENTER
 OFFICE / FLEX / WAREHOUSE PROJECT
 ADDISON, TEXAS
 F DEVELOPMENT SERVICES, INC.

JIM MCGRAIN
 05/04/01
 2112-05.DWG

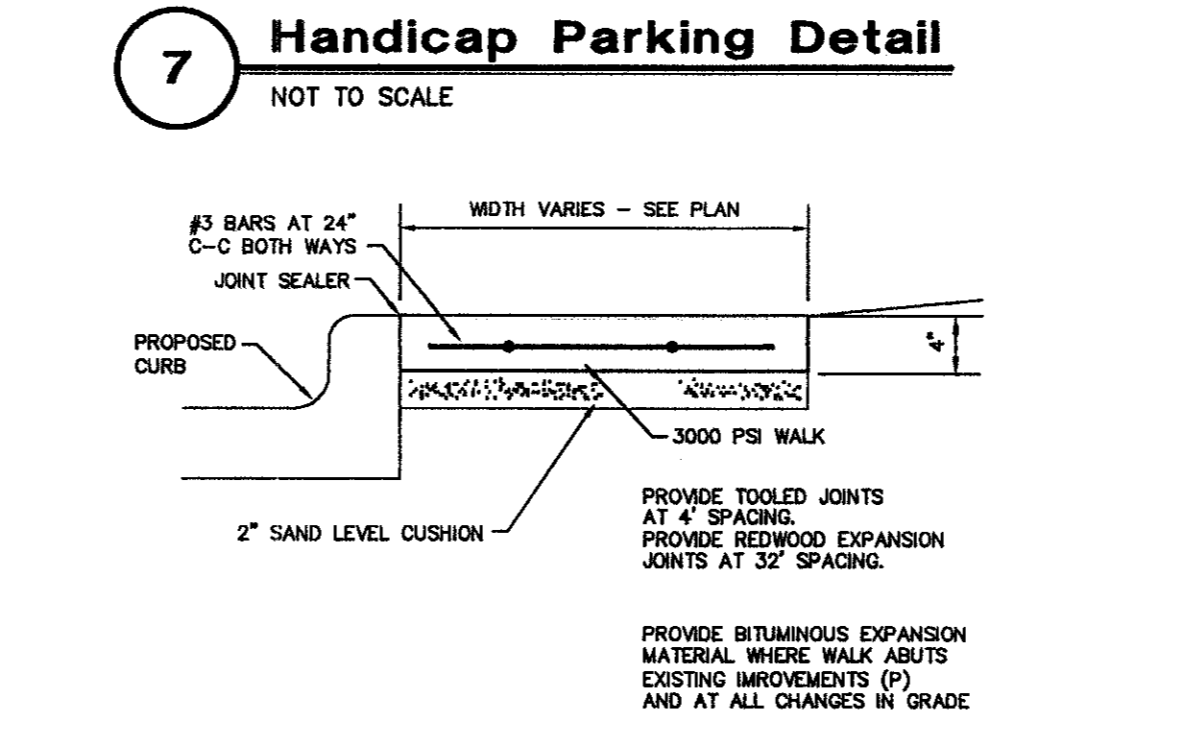
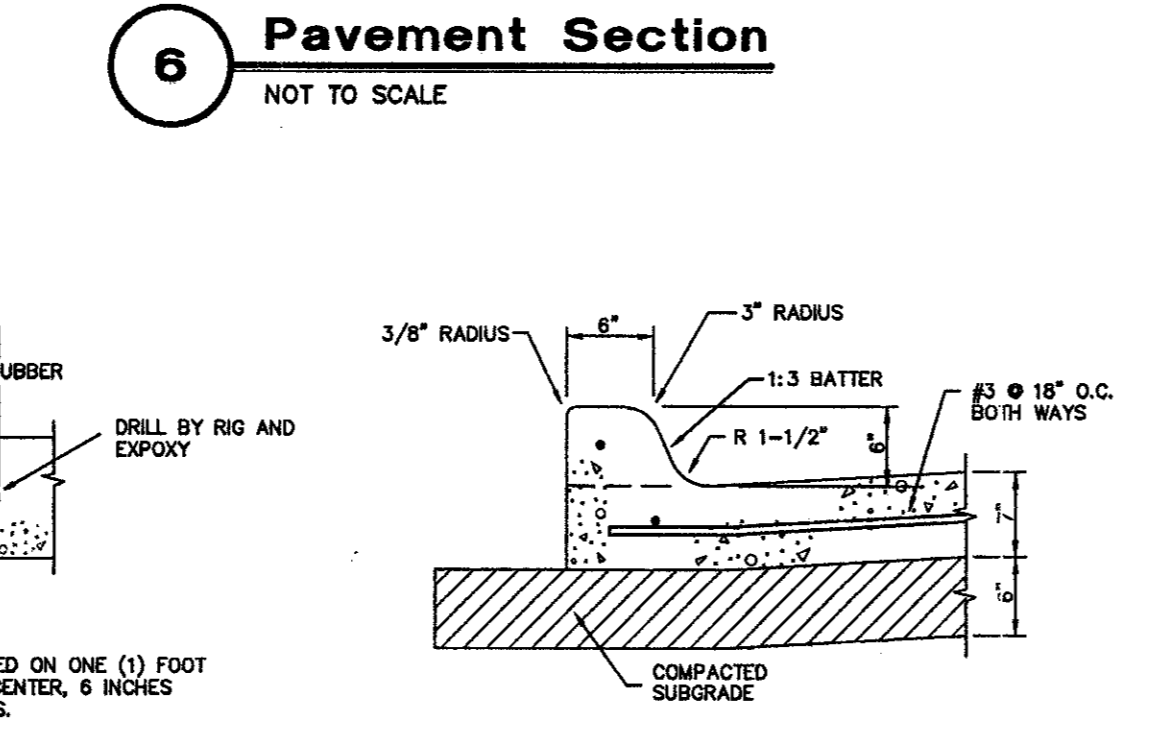
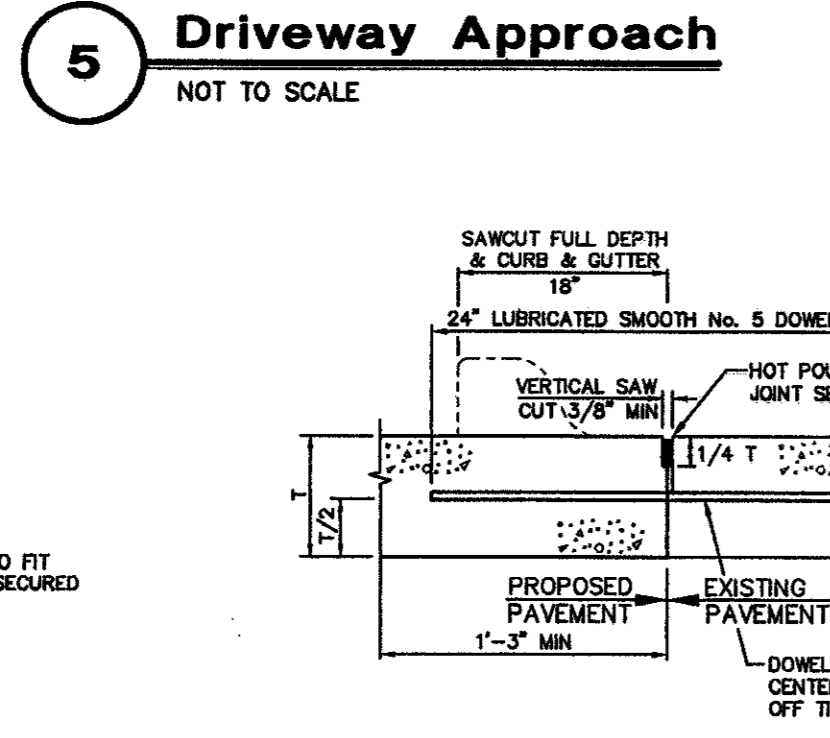
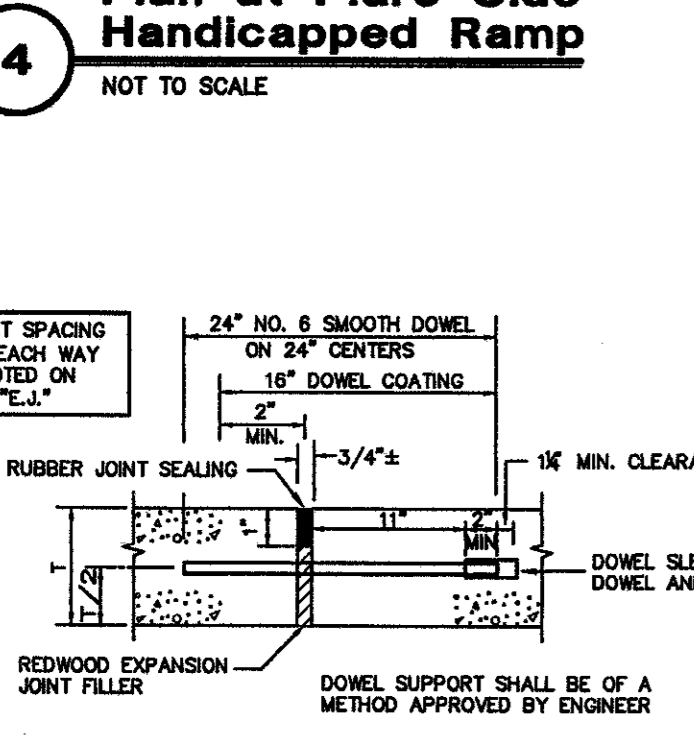
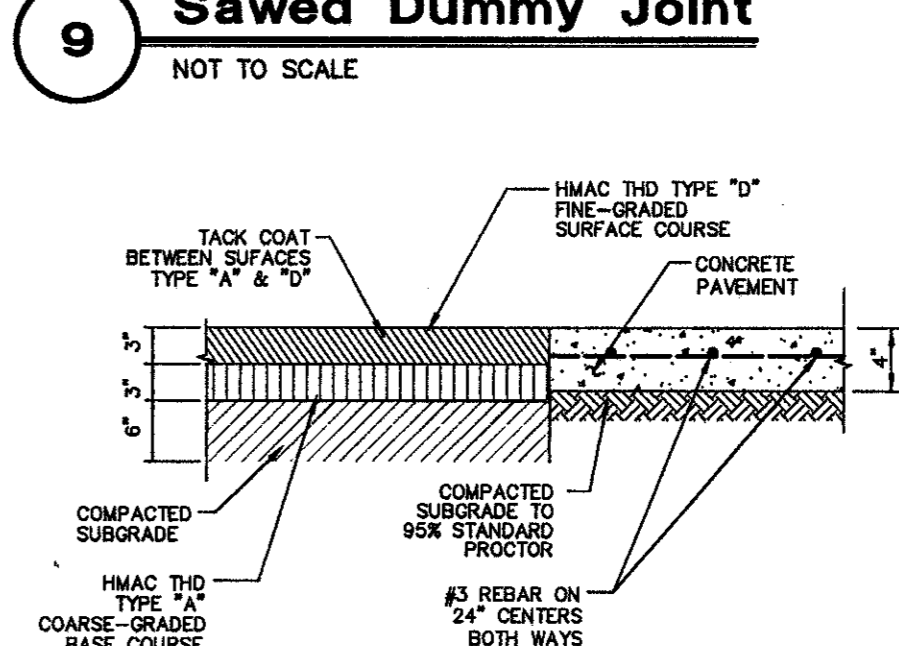
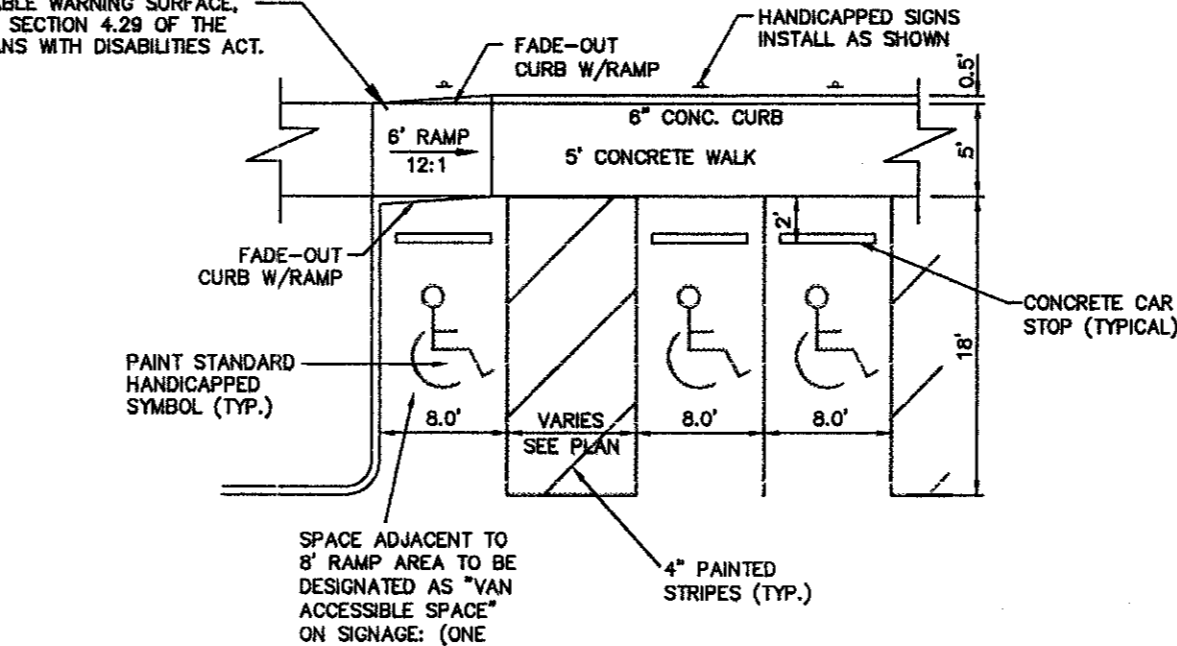
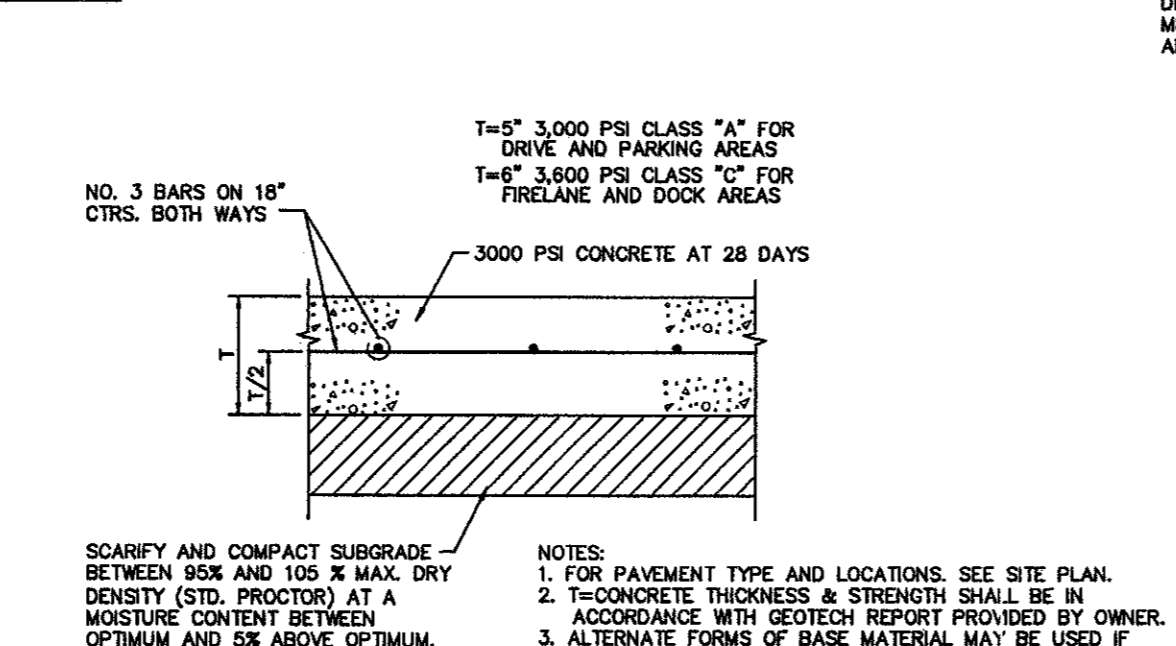
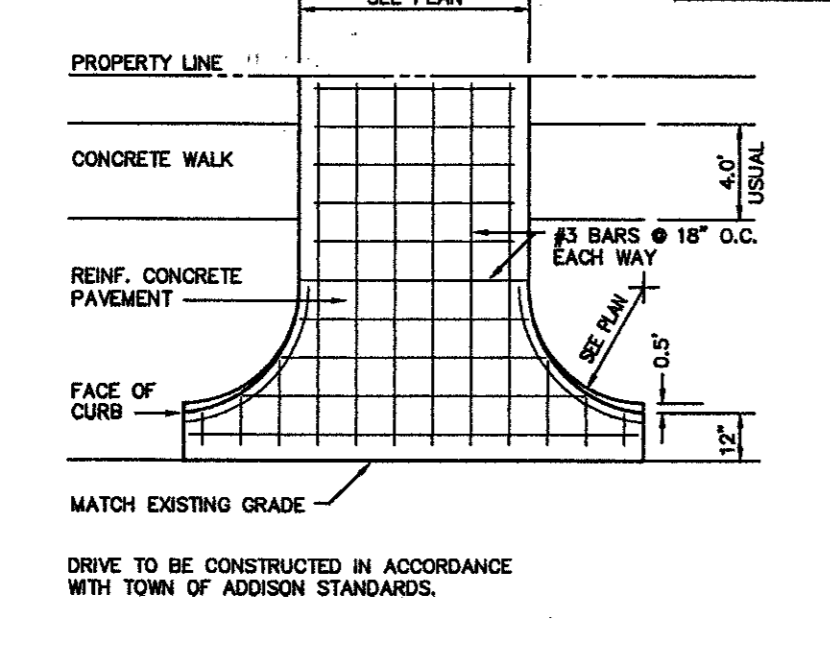
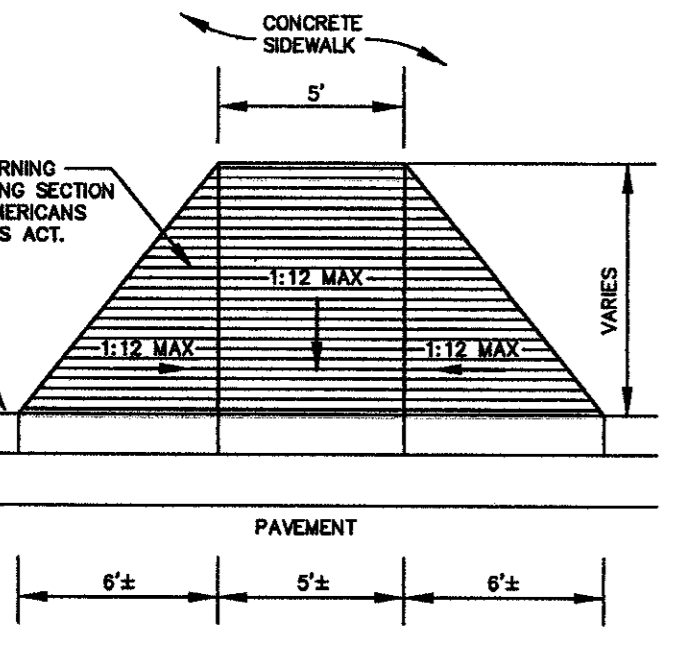
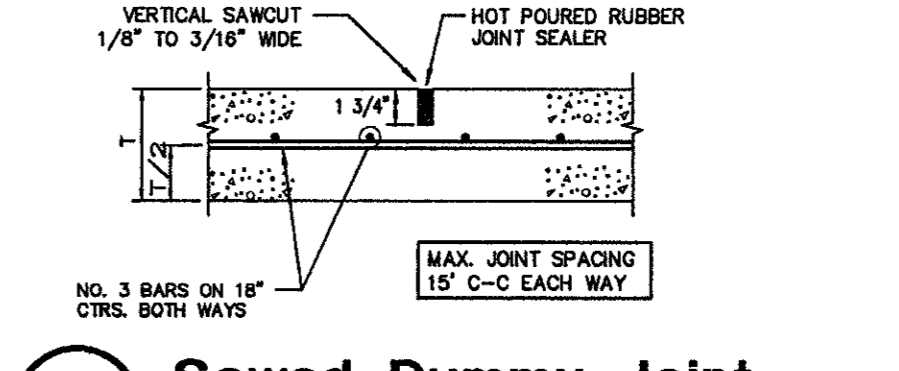
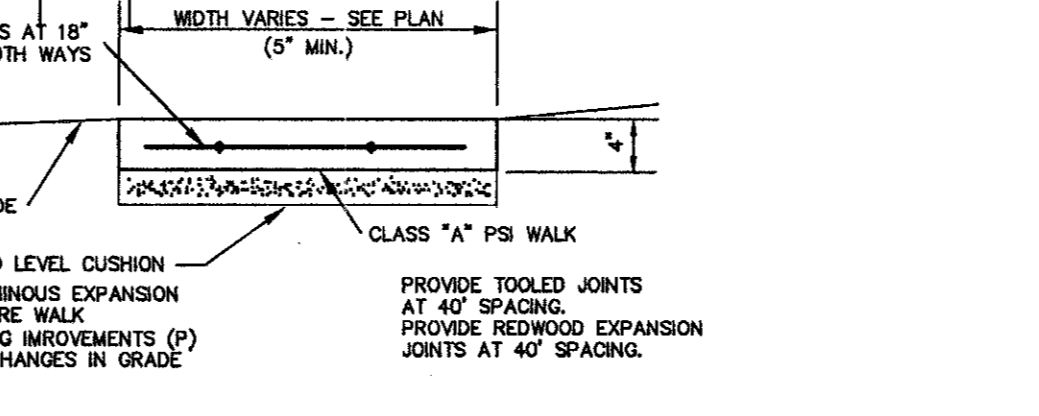
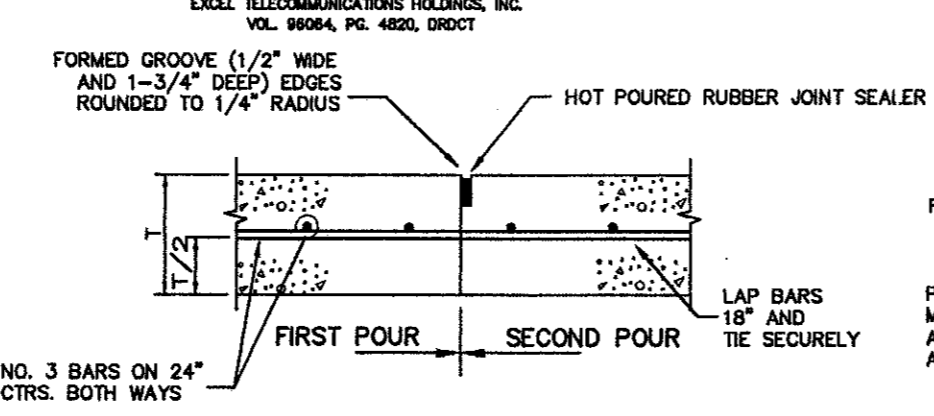


- PAVING NOTES**
- UNLESS OTHERWISE NOTED, ALL CONCRETE SHALL BE CLASS "A", (3000 PSI).
 - UNLESS NOTED, ALL FILL PLACED UNDER PAVING SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY IN 6 INCH LIFTS. REFER TO STRUCTURAL SPECIFICATION FOR FILL PLACED BENEATH BUILDING AREAS. ALL OTHER FILL AREAS TO BE COMPACTED TO 90% STANDARD PROCTOR.
 - THE CONTRACTOR SHALL SUBMIT A JOINT SPACING PLAN TO THE ENGINEER FOR APPROVAL. UNLESS NOTED, EXPANSION JOINT SPACING SHALL BE 90' MAXIMUM EACH WAY WITH NO KEYWAYS AND SAWED DUMMY JOINTS SHALL BE 15' EACH WAY.
 - TRANSVERSE CONSTRUCTION JOINTS SHALL BE USED AT THE END OF EACH DAY'S PAVING AND WHERE INTERRUPTIONS SUSPEND OPERATIONS FOR 30 MINUTES OR MORE.
 - ALL PAVEMENTS TO BE REMOVED SHALL BE FULL DEPTH SAWED TO A NEAT LINE, AND THE PAVEMENT REMOVED IN SUCH A MANNER AS TO PRESERVE THE EXISTING TRANSVERSE REINFORCING STEEL TO THE MAXIMUM EXTENT POSSIBLE.
 - ALL CURB AND GUTTER SHALL BE INTEGRAL WITH THE PAVEMENT AND HAVE THE SAME COMPRESSIVE STRENGTH.
 - PAVEMENT REINFORCEMENT SHALL BE #3 BARS, SPACED AT 18" CENTER TO CENTER EACH WAY EXCEPT WHERE NOTED IN THE PLANS.
 - BAR LAPS SHALL BE 30 DIAMETERS IN LENGTH.
 - ALL STRIPES SHALL BE 4" WIDE, UNLESS OTHERWISE NOTED.
 - INSTALLATION AND PLACEMENT OF IRRIGATION SLEEVES AND UTILITY CONDUITS SHALL BE IN ACCORDANCE WITH LANDSCAPE ARCHITECTS AND MEP PLANS.
 - SIDEWALKS SHALL HAVE A SLOPE NO GREATER THAN 5% AND A CROSS FALL NO GREATER THAN 2% UNLESS NOTED OTHERWISE.
 - DEVELOPER WILL BE REQUIRED TO REHAB OR REPLACE ALL EXISTING CRACKED OR DETERIORATED SIDEWALKS.



- STRIPING DETAIL:**
- A. PAINT:**
- STRIPES SHALL BE FIVE (5) INCHES WIDE PAINTED WITH AN EXTERIOR ACRYLIC LATEX PAINT.
 - A. COLOR SHALL BE "TRAFFIC RED" GILDED NO. 63251 OR EQUAL.
 - B. COLOR SHALL BE "TRAFFIC WHITE" GILDED NO. 563245 OR EQUAL.
 - LETTERS SHALL BE FOUR (4) INCHES HIGH PAINTED WITH AN EXTERIOR ACRYLIC LATEX PAINT.
- B. APPLICATION:**
- STRIPES MAY BE BRUSHED OR SPRAYED, ONE COAT TO FINISH.
 - LETTERS SHALL BE STENCIL FORMED, BRUSH APPLIED AND SPACED AS DETAILED ON THIS SHEET.

- PAVING LEGEND:**
- 5" 3,000 PSI CLASS "A" CONC. PVMT. DRIVE AND PARKING AREAS
 - 6" 3,600 PSI CLASS "C" CONC. PVMT. FIRELANES AND DOCK AREAS



RECORD DRAWING

THIS DRAWING HAS BEEN REVISED TO REFLECT CONSTRUCTION RECORDS MAINTAINED AND PROVIDED BY THE CONTRACTOR FOR THIS PROJECT.

CONTRACTOR: HILL & WILKINSON
DATE REVISED: 05/04/01

REVISD 05/04/01

Pacheco Koch Consulting Engineers
9401 LBJ FREEWAY SUITE 300 DALLAS, TEXAS 75243 972.235.3031

PAVING PLAN
ADDISON OFFICE / WAREHOUSE COMPLEX
LOTS 1 & 2, BLOCK A
WESTGROVE/BENT TREE PLAZA ADDITION
TOWN OF ADDISON, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
CJE	JLM	JULY 26, 2000	1"=80'			C6.1

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STEVEN A. MARKUSSEN
REGISTERED PROFESSIONAL ENGINEER
70090
7/26/00

PROJECT: ADDISON TECH CENTER OFFICE / FLEX / WAREHOUSE PROJECT
ADDISON, TEXAS
F DEVELOPMENT SERVICES, INC.

ARCHITECT: RYAN OGDEN FIGUEROA DICKSON WELLS PLLC
CONSULTANT: ROF DW ARCHITECTS

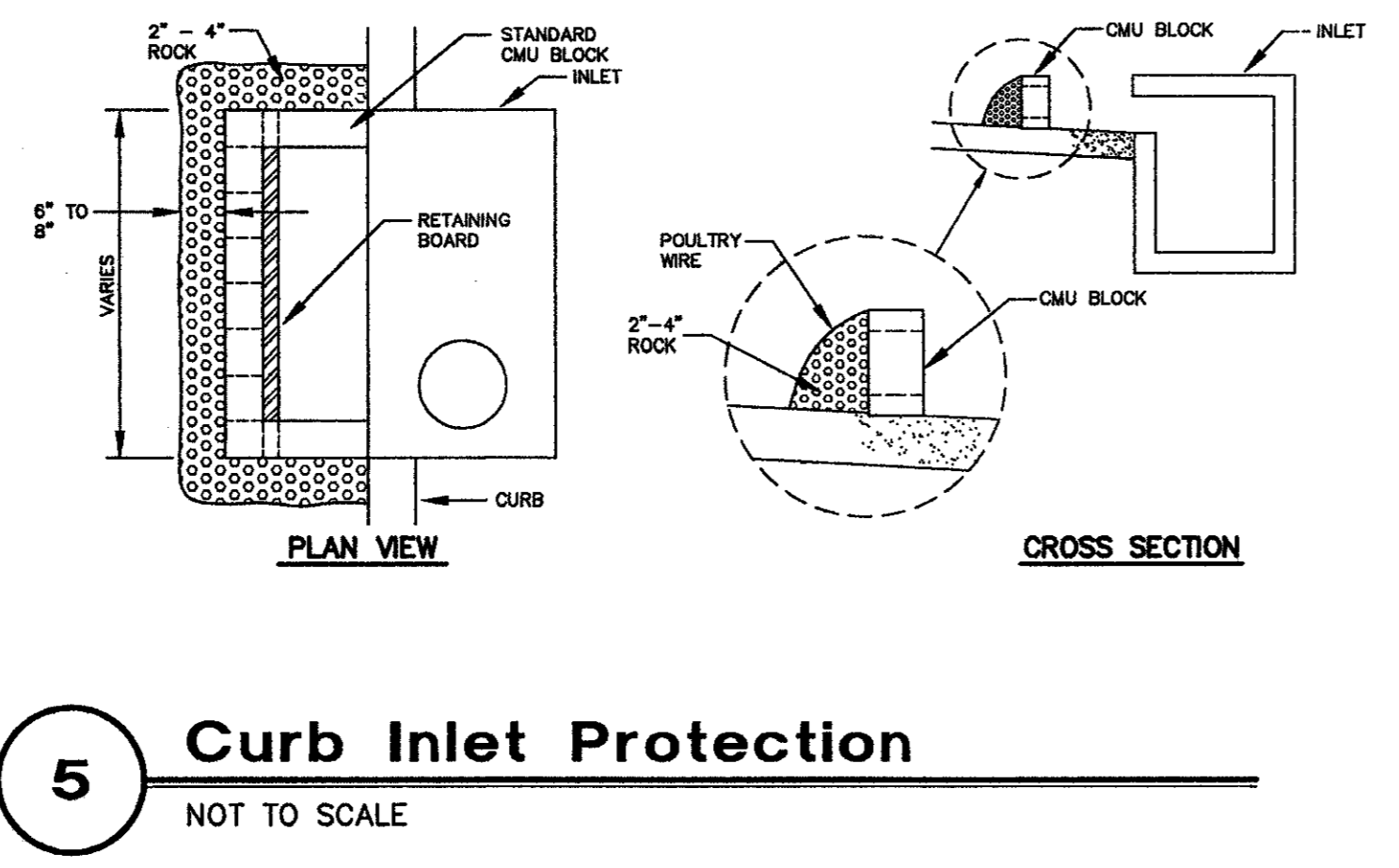
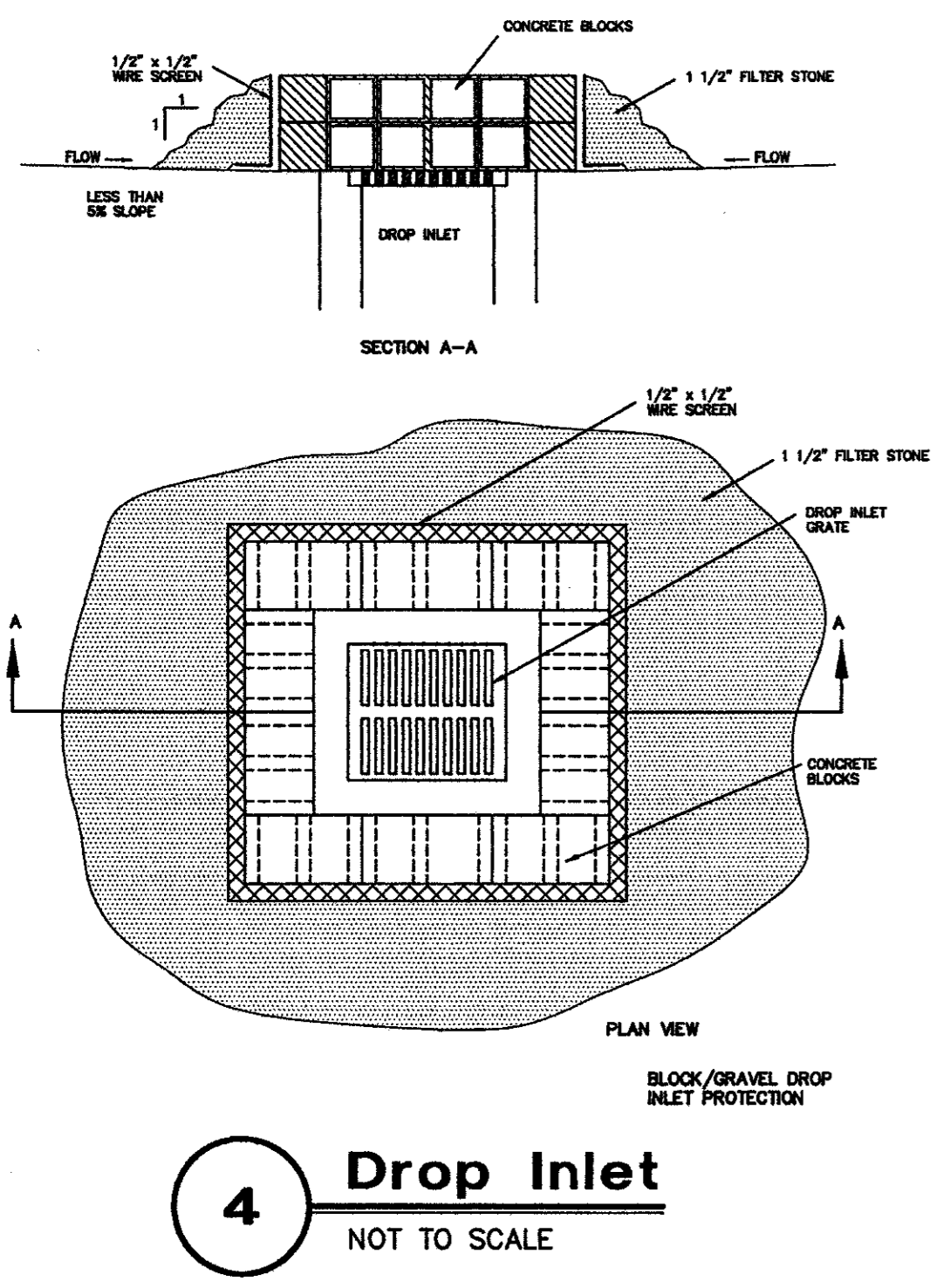
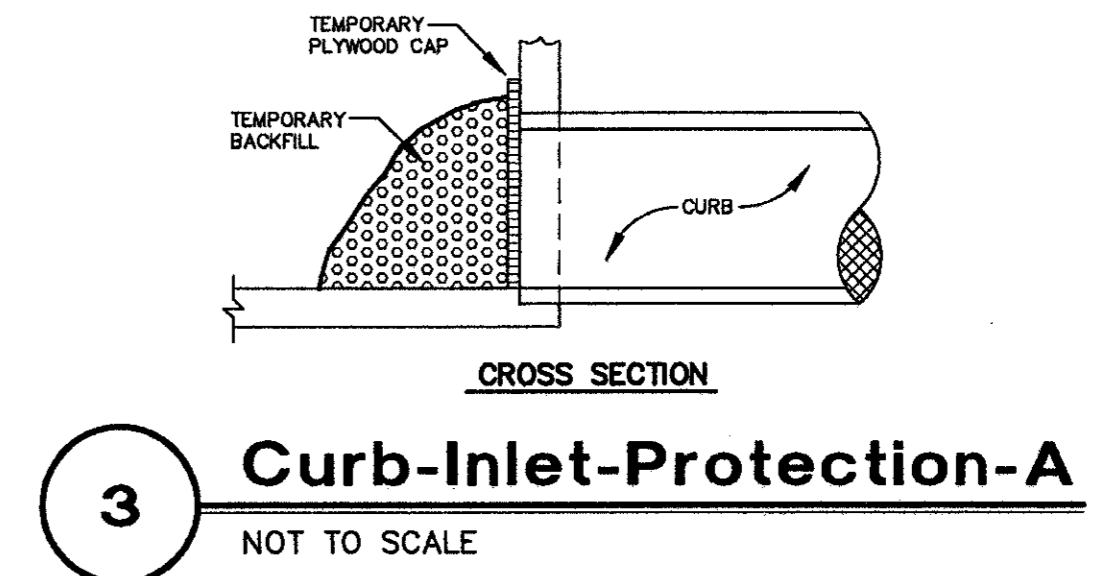
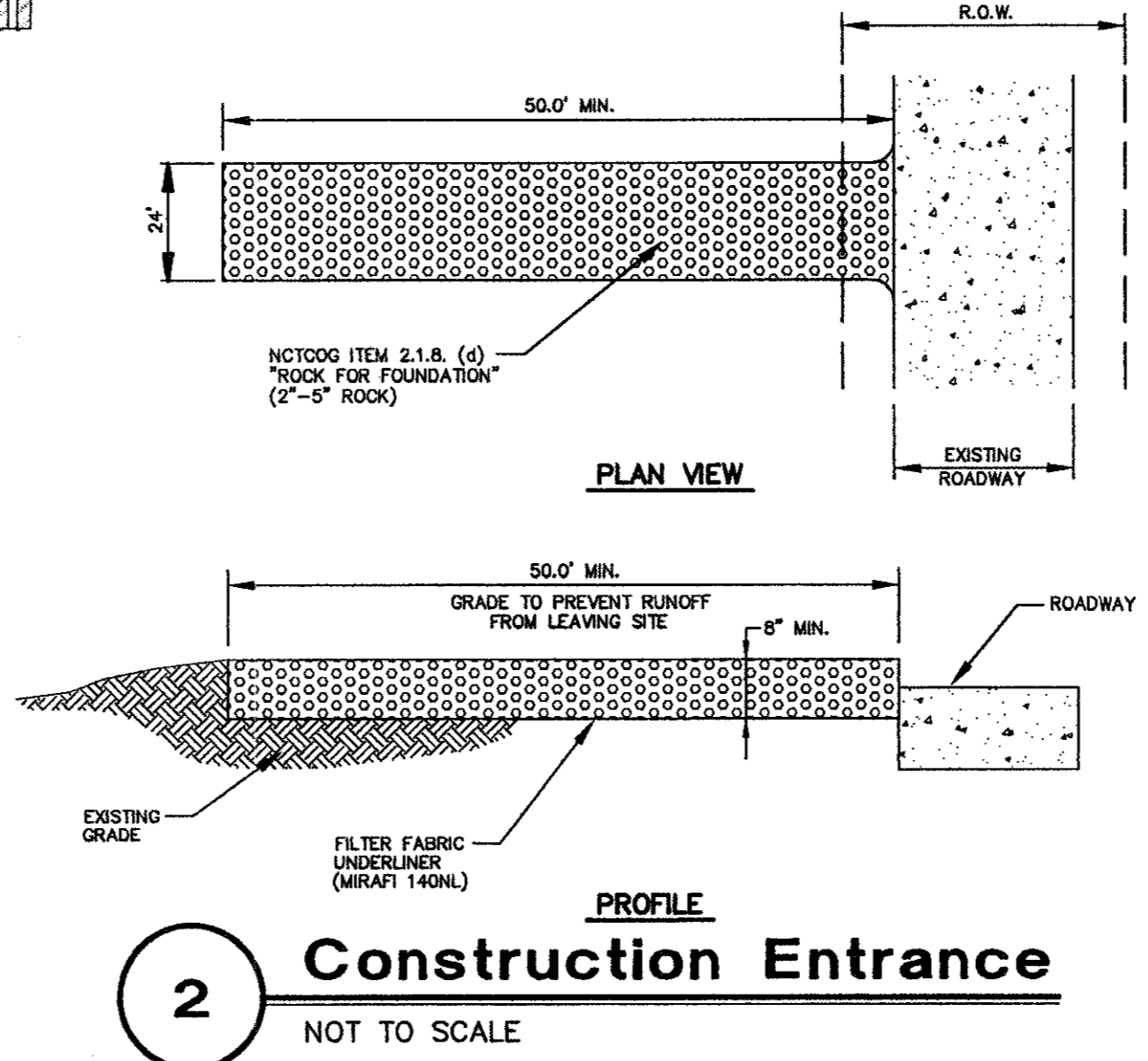
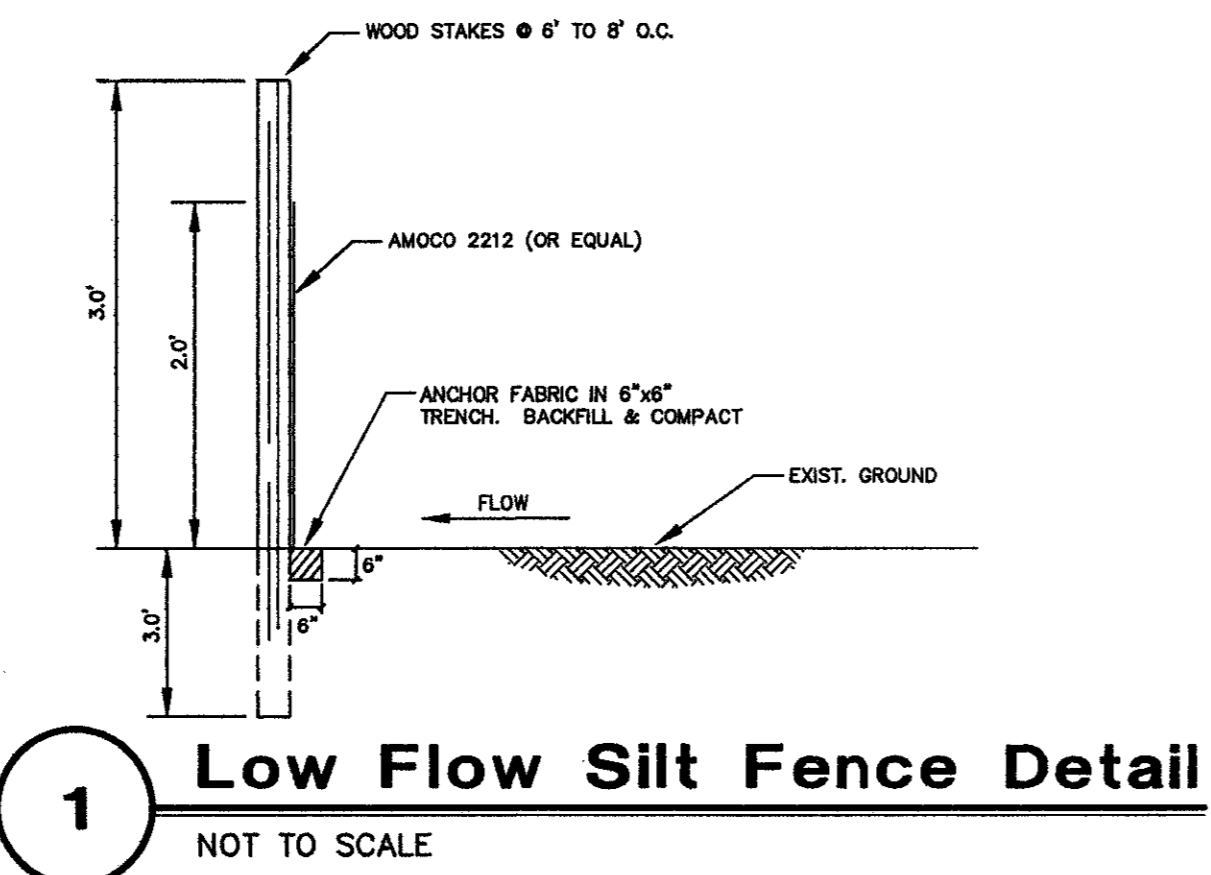
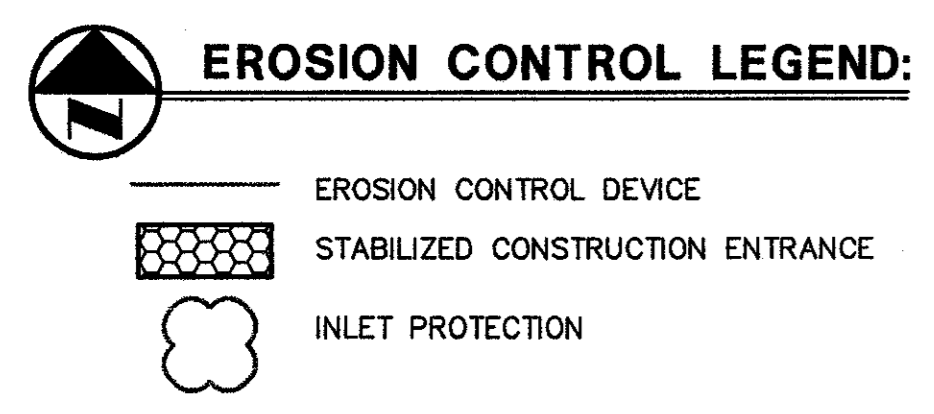
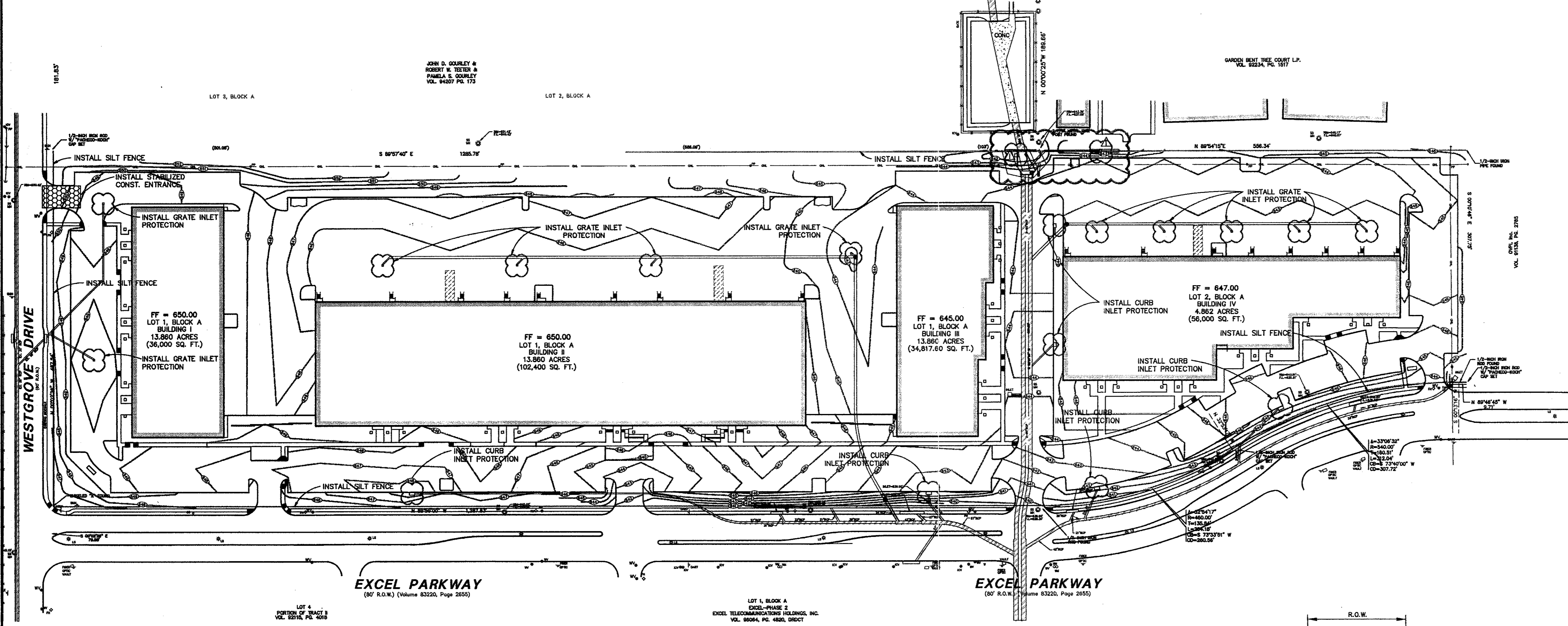
PROJECT NO.: 9956
PREPARED BY: JLM
CHECKED BY: CJC
DATE: 05/04/01
REVISIONS:

SHEET NO. + TITLE: C6.1
PAVING PLAN

DWG FILE: 2112-05.DWG
XREF FILE: 2112-06.DWG
XREF FILE: 2112-04.DWG

POLLUTION CONTROL GENERAL NOTES

1. THIS PLAN HAS BEEN PREPARED TO PROVIDE MEANS TO PREVENT OR MINIMIZE POLLUTION OF STORM
2. THE CONSTRUCTION ACTIVITY INCLUDED IN THIS PLAN WILL INCLUDE:
 - A. CLEARING AND GRUBBING
 - B. ROUGH GRADING
 - C. FINAL GRADING
 - D. UTILITY INSTALLATION
 - E. PAVEMENT INSTALLATION
 - F. BUILDING CONSTRUCTION
3. THE TOTAL ESTIMATED LAND AREA TO BE DISTURBED IS 18,742 ACRES.
4. THE ESTIMATED RUNOFF COEFFICIENT UPON COMPLETION OF THE PROJECT IS 0.80.
5. THE STORM WATER EXTING THE SITE IS COLLECTED IN AN EXISTING DRAINAGE SYSTEM MAINTAINED BY THE TOWN OF ADDISON, TEXAS.
6. THE SOILS ON THE SITE ARE GENERALLY EXPANSIVE CLAYS.
7. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN EROSION PROTECTION AROUND THE WORK AREA PERIMETER AND AT ALL INLET MOUTHS PRIOR TO COMMENCING WORK AND UNTIL THE WORK AREA HAS BEEN STABILIZED.
8. THE CONTRACTOR WILL REMOVE ALL EXCESS SOIL FROM CONSTRUCTION VEHICLES PRIOR TO EXITING THE SITE.
9. ALL DISTURBED AREAS WHICH WILL NOT BE RE-DISTURBED FOR A MINIMUM OF 21 DAYS MUST BE STABILIZED BY THE CONTRACTOR TO CONTROL EROSION.
10. THE CONTRACTOR SHALL UNDERTAKE PROPER METHODS TO REDUCE DUST GENERATION FROM THE SITE.
11. THE CONTRACTOR MUST COMPLY WITH FEDERAL, STATE AND LOCAL REGULATIONS REGARDING SEDIMENT AND EROSION CONTROL.
12. A COPY OF THIS PLAN MUST BE KEPT AT THE CONSTRUCTION FACILITY DURING THE ENTIRE CONSTRUCTION PERIOD.
13. CONSTRUCTION SEQUENCING MUST PROVIDE FOR THE EXCAVATION OF AN ON-SITE BASIN AS A SEDIMENT COLLECTION BASIN PRIOR TO THE DISTURBANCE OF GREATER THAN 10 ACRES OF LAND.
14. ALL FINISHED GRADES ARE TO BE HYDROMULCHED, SPOT SOODED OR SEEDED AND WATERED UNTIL GROWTH IS ESTABLISHED ON AND OFF-SITE.
15. A PIT OR WASH OUT BASIN SHALL BE CONSTRUCTED ON-SITE BY THE CONTRACTOR FOR THE "WASH OUT" OF CONCRETE TRUCKS.
16. A BERM OR OTHER SPILL PROTECTION MEASURE SHALL BE USED FOR ANY TEMPORARY FUEL STORAGE TANK ON SITE.
17. IF "SLIMP" PUMPS ARE USED TO REMOVE WATER FROM EXCAVATED AREAS, FILTER THE DISCHARGE TO REMOVE SEDIMENT AND OTHER POLLUTANTS BEFORE THE WATER LEAVES THE SITE.
18. TO PREVENT DAMAGE TO VEGETATION IN DOWNSTREAM WATER COURSES, LIMIT ANY PROPOSED LIME STABILIZATION OPERATIONS TO THAT WHICH CAN BE MIXED AND COMPACTED BY THE END OF EACH WORK DAY. GEOTEXILE FABRIC IS NOT EFFECTIVE IN FILTERING LIME SINCE THE GRAIN SIZE IS SMALLER THAN THE OPENING IN THE FABRIC.
19. VEHICLE PARKING AREAS, STAGING AREAS, STOCKPILES, SPOILS, ETC. SHALL BE LOCATED SUCH THAT THEY WILL NOT ADVERSELY AFFECT STORM WATER QUALITY. OTHERWISE, COVERING OR ENFORCING THE AREAS WITH PROTECTIVE MEASURES SHALL BE NECESSARY.
20. STORE ALL TRASH AND BUILDING MATERIALS WASTE IN AN ENCLOSURE UNTIL PROPER DISPOSAL AT OFF-SITE FACILITIES.
21. CONTRACTOR IS TO USE DETENTION AREAS AS TEMPORARY SILT BASINS DURING CONSTRUCTION.
22. DETENTION AREAS ARE TO BE UTILIZED AS TEMPORARY SEDIMENTATION BASINS UNTIL LESS THAN 10 ACRES OF DISTURBED AREA IS CONTRIBUTING TO SAID DISCHARGE LOCATION



RECORD DRAWING
THIS DRAWING HAS BEEN REVISED TO REFLECT CONSTRUCTION RECORDS MAINTAINED AND PROVIDED BY THE CONTRACTOR FOR THIS PROJECT.
CONTRACTOR: HILL & WILKINSON
DATE REVISED: 05/04/01

REVISD 05/04/01
REVISD 10/11/00

Pacheco Koch Consulting Engineers
9401 LBJ FREEWAY SUITE 300 DALLAS, TEXAS 75243 972.235.3031

EROSION CONTROL PLAN
ADDISON OFFICE / WAREHOUSE COMPLEX
LOTS 1 & 2, BLOCK A
WESTGROVE/BENT TREE PLAZA ADDITION
TOWN OF ADDISON, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
CJE	JLM	JULY 26, 2000	1"=80'			C7.1



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PROJECT: ADDISON TECH CENTER OFFICE / FLEX / WAREHOUSE PROJECT
ADDISON, TEXAS
PROFESSIONAL SERVICES, INC.

ARCHITECT: RIKEN OGDEN FIGUEROA DICKSON WELLS PLLC
CONSULTING: RIKEN OGDEN FIGUEROA DICKSON WELLS PLLC
SCALE: AS SHOWN

JLM MCDAN
MK DWG=2112-05.DWG
2112-05.DWG

CONSTRUCTION PLANS FOR ADDISON OFFICE / WAREHOUSE COMPLEX LOTS 1 & 2, BLOCK A WESTGROVE / BENT TREE PLAZA ADDITION

18.742 ACRES

WILLIAM LOMAX SURVEY, ABSTRACT No. 792,
TOWN OF ADDISON, DALLAS COUNTY, TEXAS

FOR

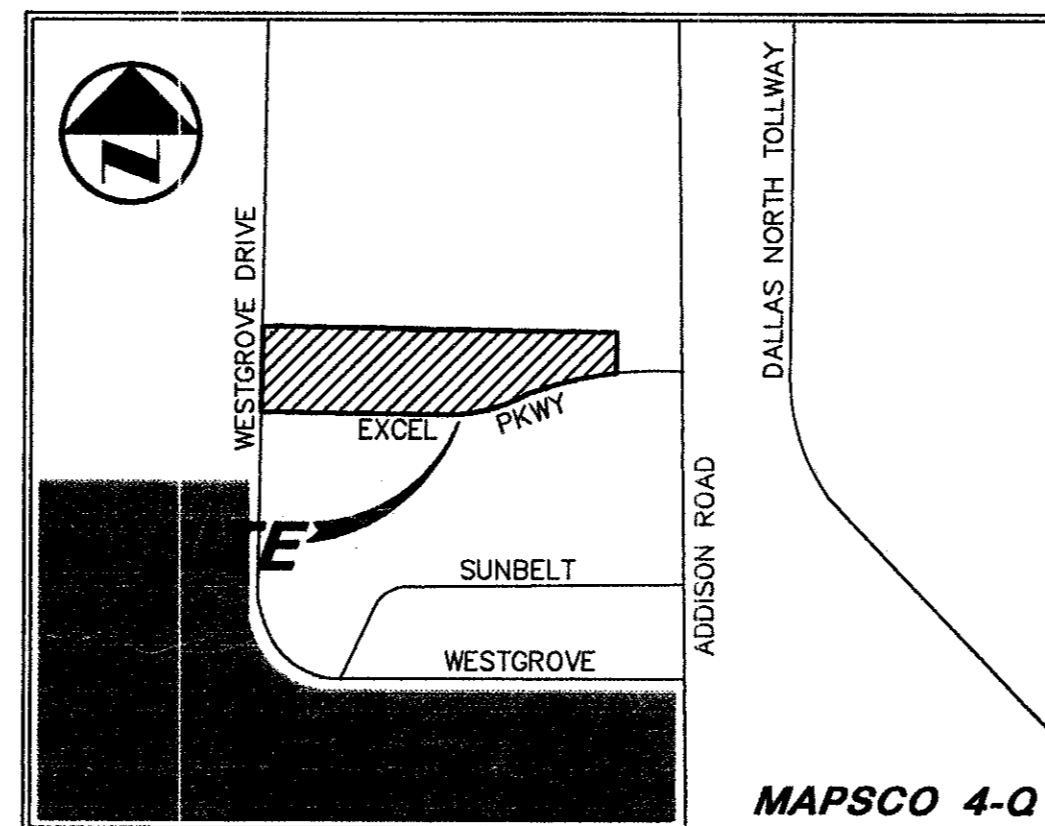
ROFDW ARCHITECTS, INC.
703 MCKINNEY AVE. STE. 401
DALLAS, TEXAS 75202
214-871-0616

OWNER

 FIRST INDUSTRIAL REALTY TRUST
13355 NOEL ROAD, STE. 1815
DALLAS, TEXAS 75240
972-386-4700

PREPARED BY

 Pacheco Koch Consulting Engineers
9401 LBJ FREEWAY SUITE 300 DALLAS, TEXAS 75243 972.235.3031



VICINITY MAP

RECORD DRAWING
THIS DRAWING HAS BEEN REVISED TO REFLECT CONSTRUCTION RECORDS MAINTAINED AND PROVIDED BY THE CONTRACTOR FOR THIS PROJECT.
CONTRACTOR: HILL & WILKINSON
DATE REVISED: 05/04/01

DRAWING SHEET INDEX

SHEET	DESCRIPTION
C1.1	FINAL PLAT (SHEET 1)
C2.1	DIMENSIONAL CONTROL PLAN (SHEET 1)
C2.2	DIMENSIONAL CONTROL PLAN (SHEET 2)
C3.1	GRADING PLAN (SHEET 1)
C3.2	GRADING PLAN (SHEET 2)
C4.1	DRAINAGE AREA MAP
C4.2	DRAINAGE PLAN (SHEET 1)
C4.3	DRAINAGE PLAN (SHEET 2)
C4.4	STORM SEWER PROFILES (SHEET 1)
C4.5	STORM SEWER PROFILES (SHEET 2)
C5.1	WATER & SANITARY SEWER PLAN (SHEET 1)
C5.2	WATER & SANITARY SEWER PLAN (SHEET 2)
C6.1	PAVING PLAN
C7.1	EROSION CONTROL PLAN

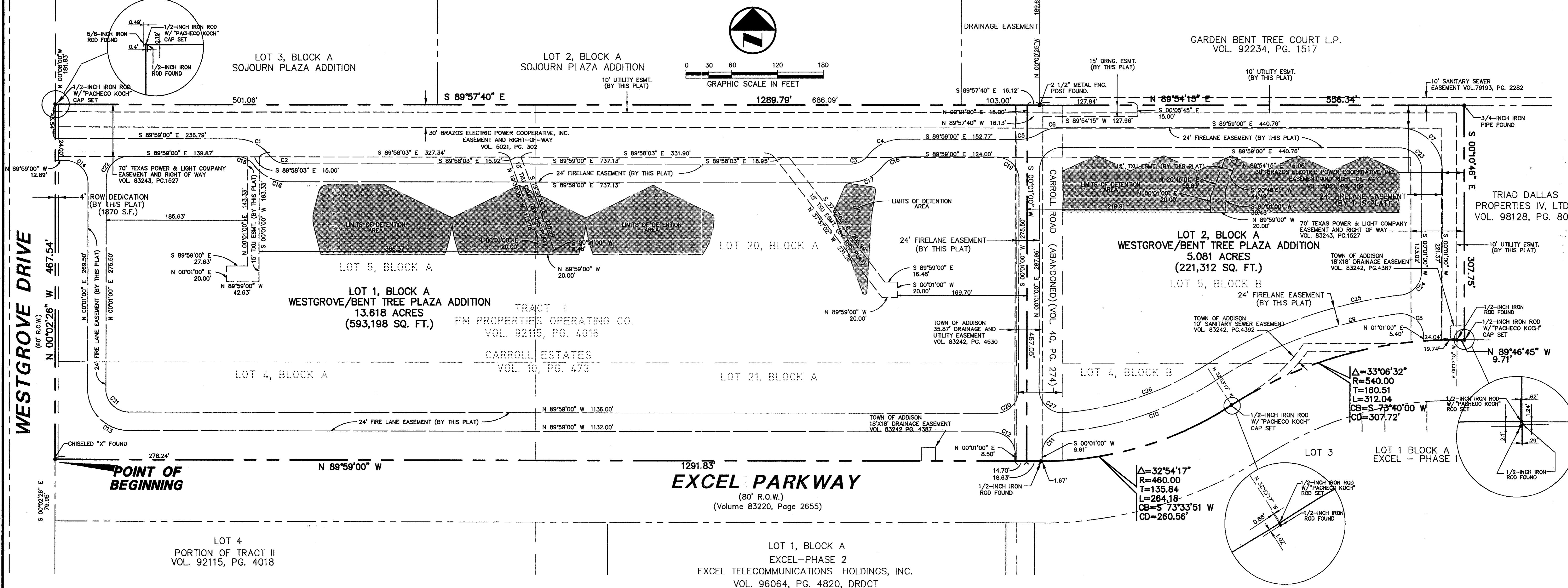


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△ REVISED 05/04/01

B18-14

4201 Excel Pkwy Addison Texas Center As-Built/Record Set 5/4/01



OWNERS CERTIFICATE

WHEREAS, FR Development Services, Inc., a Maryland Corporation is the owner of a 18,742 acre tract of land situated in the William Lomax Survey, Abstract No. 792, Town of Addison, Dallas County, Texas and being all of that same tract of land described in Special Warranty Deed to Excel Management Service, Inc. recorded in Volume 96107, Page 4654 in the Deed Records of Dallas County, Texas; said tract also being all of Lot 5, Lot 20 and a portion of Lot 4 and Lot 21 Block A; said tract also being a portion of Lot 4 and Lot 5 Block B of Carroll Estates, an addition to the Town of Addison as described by plat records in Volume 10, Page 473, in the Plat Records of Dallas County, Texas; said tract also being a portion of Carroll Road now abandoned as described by plat recorded in Volume 40, Page 274 of the Plat Records of Dallas County, Texas; said 18,742 acre tract being more particularly described as follows:

BEGINNING, at a chiseled "X" found for the point of intersection of the north right-of-way line of Bent Tree Plaza Parkway (formerly Bent Tree Plaza Parkway, a 80 foot right-of-way) as described in Volume 83220 Page 2655 of the Deed Records of Dallas County, Texas; said point also being in the east line of Westgrove Drive (a 60 foot right-of-way); said point also being the southwest corner of said FR Development Services tract;

THENCE, North 00 degrees, 02 minutes, 26 seconds West, along said east line of Westgrove Drive a distance of 467.54 feet to a 1/2-inch iron rod with "PACHECO KOCH" cap set for the southwest corner of Lot 3, Block A, Sorjourn Plaza Addition, an addition to the Town of Addison, Dallas County, Texas; said point also being the northwest corner of said FR Development Services tract;

THENCE, South 89 degrees, 57 minutes, 40 seconds East, along the common line of said FR Development Services tract and said Lot 3, Block A, a distance of 1289.79 feet to a 2-1/2-inch metal fence post found for the southeast corner of Lot 2, Block A of said Sorjourn Plaza Addition; said point also being the southwest corner of Bent Tree Gardens, Phase II, an addition to the Town of Addison described by plat records Volume 79193, Page 2282 of the Plat Records of Dallas County, Texas; said point also described by the deed records to Garden Bent Tree L.P., Volume 92234, Page 1517 of the Deed Records of Dallas County, Texas;

THENCE, North 89 degrees, 54 minutes, 15 seconds East, along the common line of said Excel Management Services tract and said Bent Tree Gardens, Phase II, a distance of 556.34 feet to a 3/4-inch iron pipe found for the northwest corner of a tract of land described in Deed to Triad Dallas Properties IV, LTD. recorded in Volume 98128, Page 805 of the Deed Records of Dallas County, Texas;

THENCE, South 00 degrees, 10 minutes, 46 seconds East, along the common line of said FR Development Services tract and said Triad tract, a distance of 307.75 feet to a 1/2-inch iron rod with "PACHECO KOCH" cap set in the north line of said Excel Parkway; said point also being the southwest corner of said Triad tract; said point also being the southeast corner of said FR Development Services tract;

THENCE, along the south line of said FR Development Services tract and the north line of said Excel Parkway the following four courses:

North 89 degrees, 46 minutes, 45 seconds West, a distance of 9.71 feet to a 1/2-inch iron rod found for point of curvature of a curve whose center bears South 00 degrees, 15 minutes, 16 seconds West a distance of 640.00 feet from said point;

Southwesterly through a central angle of 33 degrees, 06 minutes, 32 seconds, for an arc distance of 312.04 feet, on a chord bearing and distance of South 73 degrees, 40 minutes, 00 seconds, 307.72 feet, to a 1/2-inch iron rod with "PACHECO KOCH" cap set for the point of reverse curvature of a curve to the right whose center bears North 32 degrees, 53 minutes, 17 seconds, a distance of 460.00 feet from said point;

Southwesterly through a central angle of 32 degrees, 54 minutes, 17 seconds for an arc distance of 284.18 feet, on a chord bearing and distance of South 73 degrees, 33 minutes, 51 seconds West, 264.18 feet, to a 1/2-inch iron rod found for the point of tangency;

North 89 degrees, 59 minutes, 00 seconds West, a distance of 1291.83 feet to the POINT OF BEGINNING;

CONTAINING 816,380 square feet or 18.742 acres of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT I, JAMES A. KOCH, JR., Registered Professional Land Surveyor, do hereby certify that this plat was prepared from an actual and accurate survey of the land made on the ground and that the corner monuments shown thereon were properly placed under my personal supervision in accordance with the plotting rules and regulations of the City of Addison, Texas.

James A. Koch, Jr.
Registered Professional Land Surveyor
No. 4958

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared _____ and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

STATE OF TEXAS
COUNTY OF DALLAS

GIVEN UNDER MY HAND AND SEAL OF OFFICE this ____ day of _____, 2001.
My commission expires: _____

Notary Public in and for the State of Texas

That FR Development Services, Inc., a Maryland Corporation ("Owner") does hereby adopt this plat designating the hereinabove property as Westgrove/Bent Tree Plaza Addition, an addition to the Town of Addison, Texas, and, subject to the conditions, restrictions and reservations stated hereinafter, owner dedicates to the public use forever the streets and alleys shown hereon. The easements shown on this plat are hereby reserved for the purposes as indicated, including, but not limited to, the installation and maintenance of water, sanitary sewer, storm sewer, drainage, electric, telephone, gas and cable television. Owner shall have the right to use the easements, provided however, that it does not unreasonably interfere or impede with the provision of the services to others. Said utility accommodation of all public utilities using or desiring to use the same. An express easement of ingress and egress is hereby expressly granted on, over and across all such easements for the benefit of the provider of services for which easements are granted.

Any drainage and floodway easement shown hereon is hereby dedicated to the public's use forever, but including the following covenants with regards to maintenance responsibilities. The existing channels or creeks traversing the drainage and floodway easement will remain as an open channel, unless required to be enclosed by ordinance, at all times and shall be maintained by the individual owners of the lot or lots that are traversed by or adjacent to the drainage and floodway easement. The City will not be responsible for the maintenance and operation of said creek or creeks or for any damage or injury of private property or person that results from the flow of water along said creek, or for the control of erosion. No obstruction to the natural flow of water run-off shall be permitted by construction of any type building, fence or any other structure within the drainage and floodway easement. Provided, however, it is understood that in the event it becomes necessary for the City of Channelita or consider erecting any type of drainage structure in order to improve the storm drainage, then in such event, the City shall have the right, but not the obligation, to enter upon the drainage and floodway easement at any point, or points, with all rights of ingress and egress to investigate, survey, erect, construct or maintain any drainage facility deemed necessary by the City for drainage purposes. Each property owner shall keep the natural drainage channels and creeks traversing the drainage and floodway easement adjacent to his property clean and free of debris, silt, growth, vegetation, weeds, rubbish, refuse, matter and any substance which would result in unsanitary conditions or obstruct the flow of water, and the City shall have the right of ingress and egress for the purpose of inspection and supervision and maintenance work by the property owner to alleviate any undesirable conditions which may occur. The natural drainage channels and creeks through the drainage and floodway easement, as in the case of all natural channels, are subject to storm water overflow and natural bank erosion to an extent that cannot be definitely defined. The City shall not be held liable for any damages or injuries of any nature resulting from the occurrence of the so natural phenomena nor resulting from the failure of any structure or structures, within the natural drainage channels, and the owners hereby agree to indemnify and hold harmless the City from any such damages

and injuries. Building areas outside the drainage and floodway easement line shall be filled to a minimum elevation as shown on the plat. The minimum floor of elevation of each lot shall be shown on the plat. The maintenance or paving of the utility and fire lane easements is the responsibility of the property owner. All public utilities shall at all times have upon the said utility easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective system without the necessity of procuring the permission of anyone. Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and any maintenance and service required or ordinarily performed by the utility. Buildings, fences, trees shrubs or other improvements or growth may be constructed, reconstructed or placed upon, over or across the utility easement as shown; provided, however, that owner shall at its sole cost and expense be responsible under any and all circumstances for the maintenance and repair of such improvements or growth, and any public utility shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growth which in any way endanger or interfere with the construction, maintenance or efficiency of its respective system or service.

Water main and sanitary sewer easements shall also include additional area of working space for construction and maintenance of the systems. Additional easement area is also conveyed for installation and maintenance of manholes, cleanouts, fire hydrants, water service and sewer services from the main to curb or pavement line, and the descriptions of such additional easements herein granted shall be determined by their locations as installed.

This plat is approved subject to all plotting ordinances, rules, regulations and resolutions of the Town of Addison, Texas.

WITNESS my hand at Dallas, Texas, this the ____ day of _____, 2001.

FR Development Services, Inc., a Maryland Corporation

Robert H. Muir
Executive Vice President

STATE OF ILLINOIS
COUNTY OF COOK

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Illinois, on this day personally appeared Robert H. Muir, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this ____ day of _____, 2001.
My commission expires: _____

Notary Public in and for the State of Illinois

NOTES:

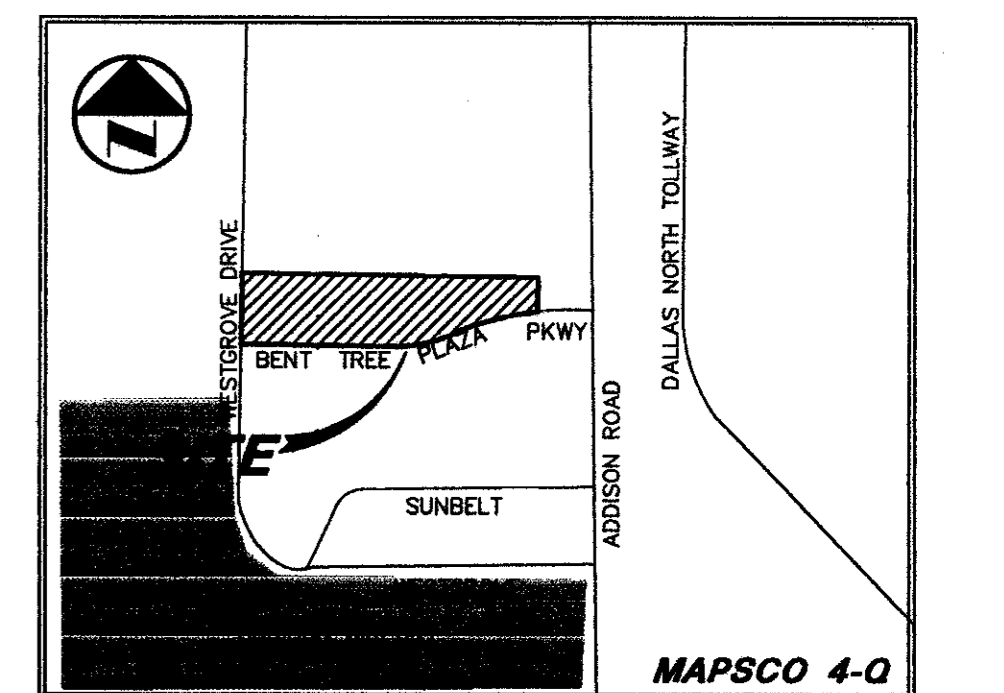
- Bearing system for this plat is based on a bearing of North 00 degrees, 02 minutes, 26 seconds West for the East right-of-way line of Westgrove Drive according to the Land Title Survey performed by David J. De Weirdt R.P.L.S. No. 5066 on January 26, 2000.
- This Amended Plat replaces and supersedes the Final Plat of Lot 1, Lot 2, Block A of the Westgrove/Bent Tree Plaza Addition as recorded in Volume 200310, Page 0102 of the Deed Records of Dallas County, Texas.

AREA SUMMARY TABLE

AREA	S.F.	AC.
LOT 1	593,198	13.618
LOT 2	221,312	5.081
WESTGROVE ROW	1870	0.043
TOTAL	816,380	18.742

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BEARING
C1	50.39	54.00	32.88	27.20	S 63°14'53" E 48.39
C2	28.00	30.00	36.87	15.11	S 84°14'35" E 26.39
C3	124.00	130.00	39.88	19.70	S 89°16'35" E 48.39
C4	50.39	54.00	32.88	27.20	S 63°14'53" E 48.39
C5	31.48	37.00	31.38	16.19	N 72°11'42" E 31.08
C6	89.54	97.00	37.00	37.00	S 44°39'00" E 80.61
C7	31.04	34.00	37.11	24.00	S 49°44'14" E 43.18
C8	256.27	278.50	282.54	130.27	S 89°48'10" W 284.18
C9	12.42	13.00	12.42	12.42	N 00°01'00" W 12.42
C10	14.70	16.63	14.70	14.70	N 00°01'00" W 14.70
C11	14.70	16.63	14.70	14.70	N 00°01'00" W 14.70
C12	14.70	16.63	14.70	14.70	N 00°01'00" W 14.70
C13	14.70	16.63	14.70	14.70	N 00°01'00" W 14.70
C14	14.70	16.63	14.70	14.70	N 00°01'00" W 14.70
C15	14.70	16.63	14.70	14.70	N 00°01'00" W 14.70
C16	50.39	54.00	32.88	27.20	S 63°14'53" E 48.39
C17	28.00	30.00	36.87	15.11	S 84°14'35" E 26.39
C18	124.00	130.00	39.88	19.70	S 89°16'35" E 48.39
C19	50.39	54.00	32.88	27.20	S 63°14'53" E 48.39
C20	28.00	30.00	36.87	15.11	S 84°14'35" E 26.39
C21	124.00	130.00	39.88	19.70	S 89°16'35" E 48.39
C22	50.39	54.00	32.88	27.20	S 63°14'53" E 48.39
C23	28.00	30.00	36.87	15.11	S 84°14'35" E 26.39
C24	124.00	130.00	39.88	19.70	S 89°16'35" E 48.39
C25	50.39	54.00	32.88	27.20	S 63°14'53" E 48.39
C26	28.00	30.00	36.87	15.11	S 84°14'35" E 26.39
C27	124.00	130.00	39.88	19.70	S 89°16'35" E 48.39



AMENDED PLAT
OF
LOT 1, LOT 2, BLOCK A
WESTGROVE/BENT TREE
PLAZA ADDITION

LOCATED IN TOWN OF ADDISON, TEXAS
AND BEING OUT OF THE
WILLIAM LOMAX SURVEY, ABSTRACT NO. 792,
DALLAS COUNTY, TEXAS

Pacheco Koch Consulting Engineers
9401 LBJ FREEWAY SUITE 300 DALLAS, TEXAS 75243 972.236.3031

DRAWN BY CJE	CHECKED BY JAK	SCALE 1"=60'	DATE 01/10/01	JOB NUMBER 2112-00.031
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