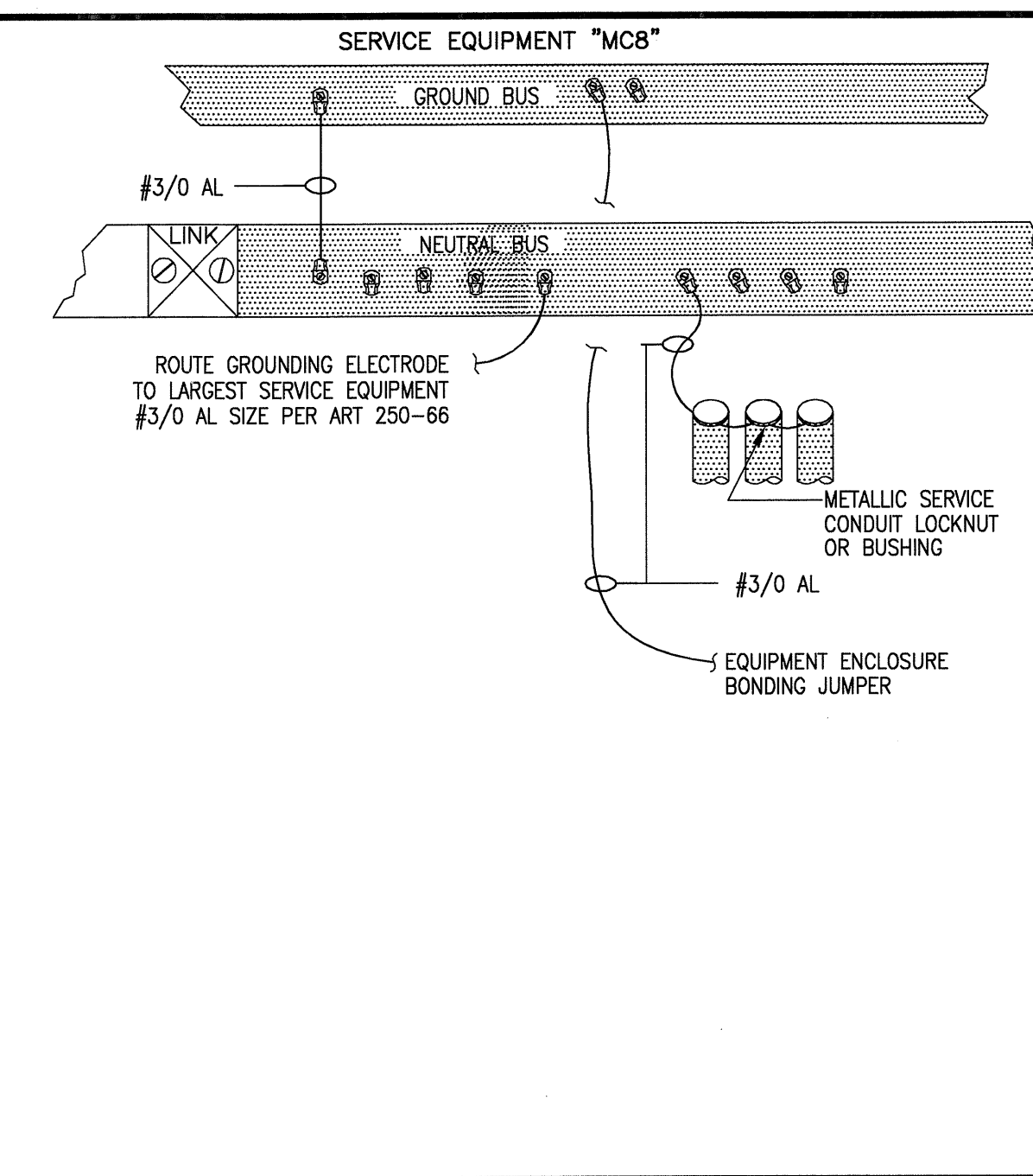
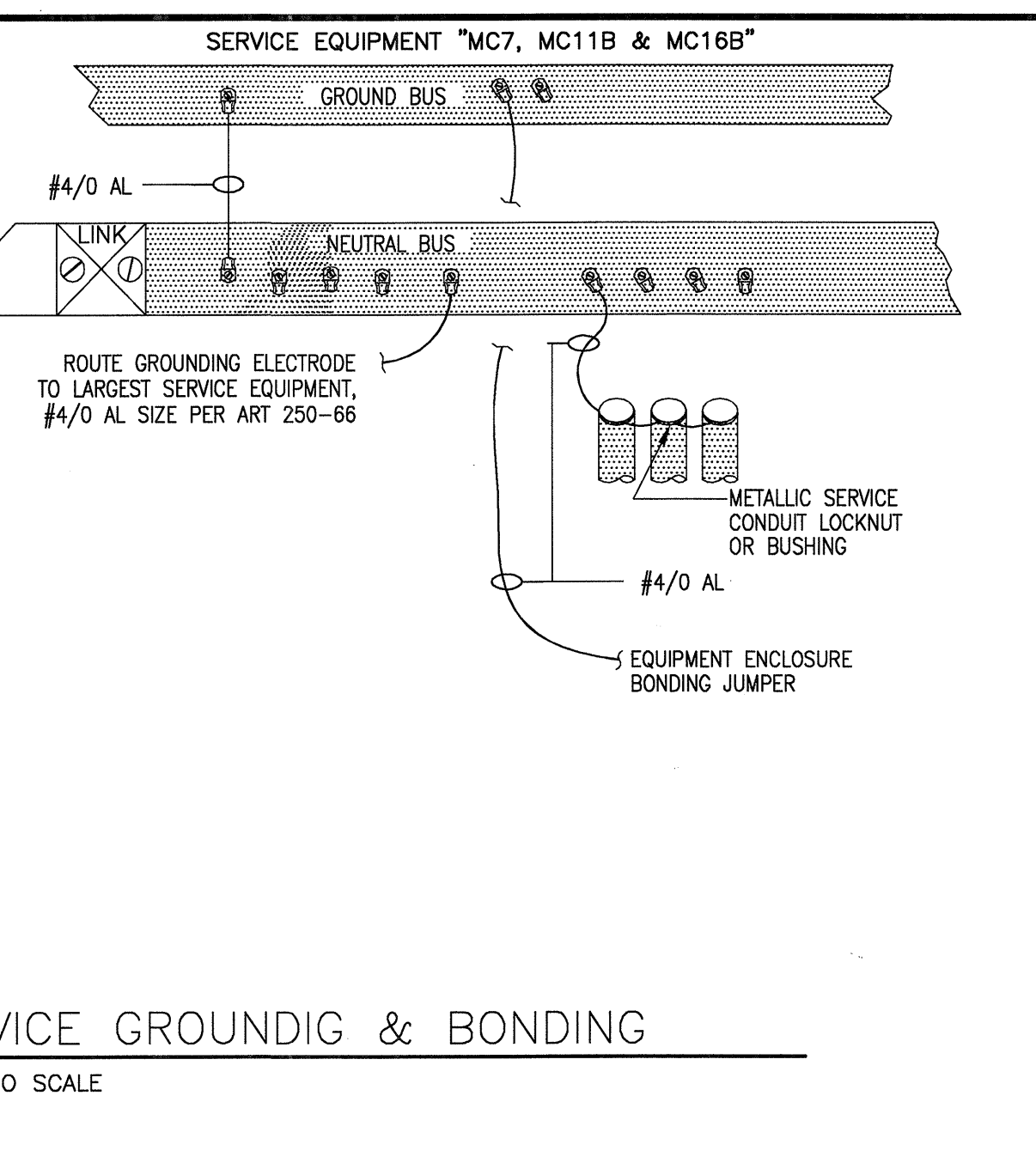
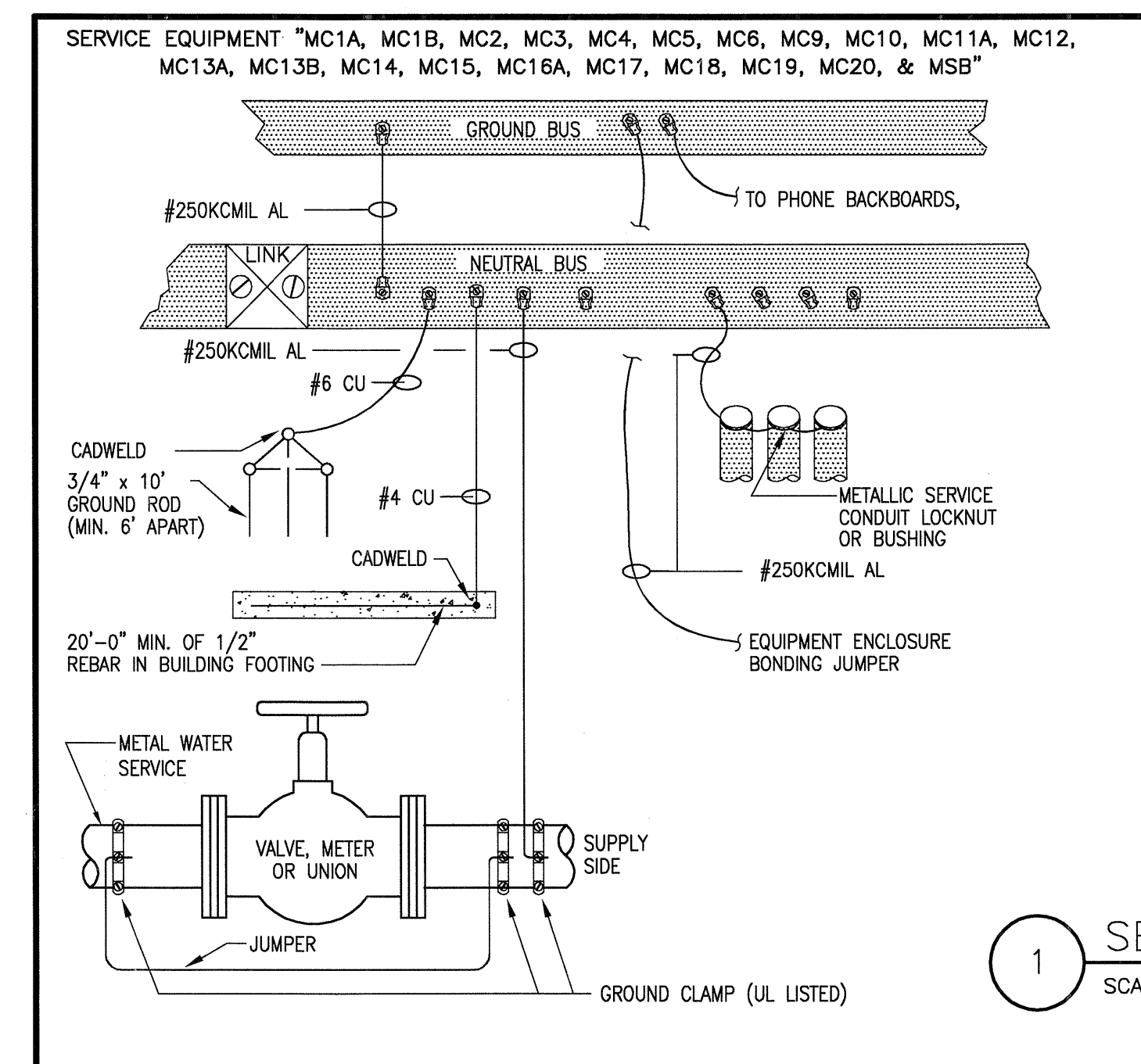
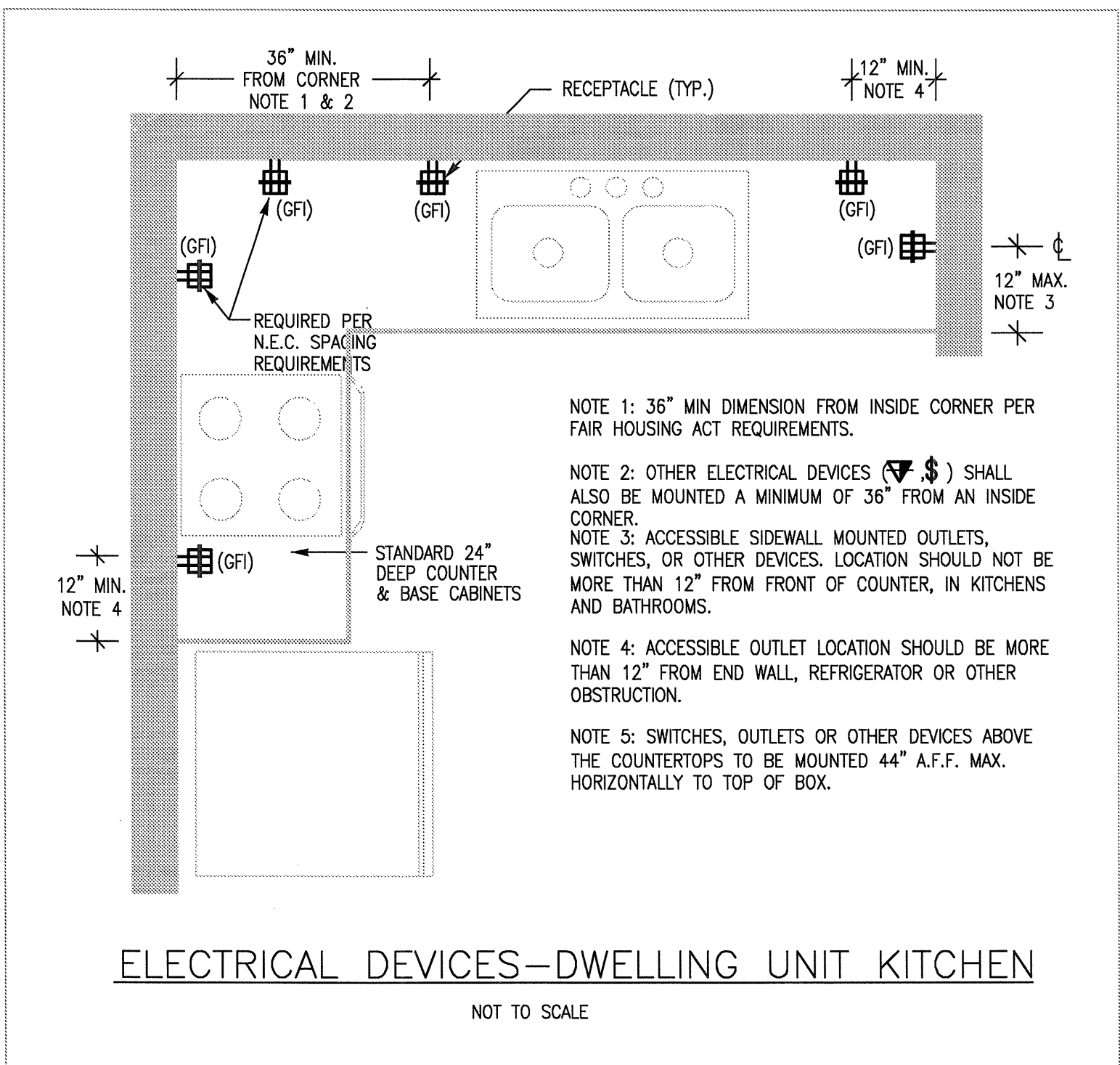


ELECTRICAL ABBREVIATIONS	
A	..... AMPERE
ABV	..... ABOVE
AC	..... ALTERNATING CURRENT
AFF	..... ABOVE FINISHED FLOOR
AIC	..... AMPERE INTERRUPTING CAPACITY
AL	..... ALUMINUM
AWG	..... AMERICAN WIRE GAUGE
BKR	..... BREAKER
C	..... CONDUIT
CB	..... CIRCUIT BREAKER
CCTV	..... CIRCUIT TELEVISION
CLG	..... CLOSED CIRCUIT TELEVISION
CT	..... CEILING
CT	..... CURRENT TRANSFORMER
CU	..... COPPER
DC	..... DIRECT CURRENT
DN	..... DOWN
E	..... EMERGENCY
EC	..... ELECTRICAL CONTRACTOR
EP	..... EXPLOSIONPROOF
FA	..... FIRE ALARM
FACP	..... FIRE ALARM CONTROL PANEL
FDR	..... FEEDER
FL	..... FLOOR
F	..... FUSE OR FUSED
FVNR	..... FULL VOLTAGE NON REVERSING
GC	..... GENERAL CONTRACTOR
GF1/GFCI	..... GROUND FAULT CIRCUIT INTERRUPTER
GRD	..... GALVANIZED RIGID STEEL CONDUIT
G/GND	..... GROUND
HT	..... HEIGHT
HID	..... HIGH INTENSITY DISCHARGE
HP	..... HORSEPOWER
HDA	..... HAND-OFF-AUTOMATIC
HZ	..... HERTZ
IG	..... ISOLATED GROUND
ISO	..... ISOLATED
JB	..... JUNCTION BOX
K	..... KILO, THOUSAND
KMIL	..... THOUSAND CIRCULAR MILS
KVA	..... KILOVOLT-AMPERE
KW	..... KILOWATT
LED	..... LIGHT EMITTING DIODE
M	..... MOTOR
MCB	..... MAIN CIRCUIT BREAKER
MCC	..... MOTOR CONTROL CENTER
MH	..... METAL HALIDE
MLO	..... MAIN LUGS ONLY
MT	..... MOUNT
MTG	..... MOUNTING
NC	..... NORMALLY CLOSED
NEC	..... NATIONAL ELECTRICAL CODE
NF	..... NON-FUSED
NFPA	..... NATIONAL FIRE PROTECTION ASSOCIATION
NIC	..... NOT IN CONTRACT
NL	..... NIGHT LIGHT
NO	..... NORMALLY OPEN
NTS	..... NOT TO SCALE
P	..... POLE
PBL	..... PANELBOARD
PVC	..... POLYVINYL CHLORIDE
RC	..... REMOTE CONTROL
RCP	..... RECEPTACLE
REF	..... REFERENCE
RMS	..... ROOT MEAN SQUARE
ST	..... SHUNT-TRIP
SW	..... SWITCH
SWBD	..... SWITCHBOARD
SYM	..... SYMMETRICAL
TB	..... TERMINAL BOX
TEL	..... TELEPHONE
TV	..... TELEVISION
TY	..... TYPICAL
UG	..... UNDERGROUND
UL	..... UNDERWRITERS LABORATORIES
UN	..... UNLESS NOTED OTHERWISE
V	..... VOLTS
V/A	..... VOLT-AMPERE
W	..... WATTS
WP	..... WEATHERPROOF
XFMR	..... TRANSFORMER
Y	..... WYE
Z	..... IMPEDANCE

ELECTRICAL GENERAL NOTES	
G-1	ALL EMERGENCY CIRCUITS SERVING NIGHT/EMERGENCY LIGHTING SHALL BE MINIMUM #10 AWG CONDUCTORS FOR THE ENTIRE CIRCUIT FOR 120 VOLT CIRCUITS OVER 100 FEET.
G-2	WHEN CONDUCTOR OR CONDUIT SIZE IS INDICATED FOR BRANCH CIRCUIT HOMERUN, THE CONDUCTOR AND CONDUIT SIZE INDICATED SHALL BE USED FOR THE COMPLETE CIRCUIT.
G-3	REFER TO THE APPROPRIATE DRAWINGS FOR THE EXACT LOCATION OF EQUIPMENT INSTALLED UNDER OTHER DIVISIONS OF THE DOCUMENTS WHICH REQUIRE ELECTRICAL SERVICE.
G-4	CAPITAL LETTER BESIDE LIGHTING SYMBOL INDICATES FIXTURE TYPE. REFER TO LIGHTING FIXTURE SCHEDULE FOR FIXTURE SELECTION.
G-5	EQUIPMENT GROUNDING CONDUCTORS ARE TO BE INCLUDED IN ALL RACEWAYS (WHERE APPLICABLE).
G-6	FIRE ALARM SYSTEM SHALL CONFORM TO NFPA 72 AND LOCAL REQUIREMENTS. FIRE ALARM SYSTEM SHALL BE PREPARED, DESIGNED AND PERMITTED BY THIRD PARTY.
G-7	REFER TO SPRINKLER FIRE PROTECTION SHOP DRAWINGS FOR ALL FLOW AND TAMPER SWITCH LOCATIONS AND CONNECTIONS FOR THE FIRE ALARM SYSTEM.
G-8	PROVIDE PHOTOCCELL, TIMELOCK AND CONTROL RELAYS TO CONTROL CORRIDOR LIGHTING IN EACH BUILDING. LOCATE TIMELOCK AND CONTACTORS ADJACENT TO HOUSE PANEL.
G-9	PROVIDE ELECTRICAL DEVICES IN ALL APARTMENT UNITS AS SHOWN ON ELECTRICAL FLOOR PLANS. CIRCUIT THESE DEVICES PER THE PANEL SCHEDULE AND THE N.E.C.
G-10	FEEDERS RUN BETWEEN BUILDINGS/STRUCTURES SHALL COMPLY WITH NEC ARTICLE 225.
G-11	COORDINATE LOCATION OF TELEPHONE JUNCTION BOXES AND CATV SPLITTER BOXES WITH THE RESPECTIVE UTILITIES PRIOR TO BID/ROUGH-IN.
G-12	BOND BUILDING ELECTRODE SYSTEM TOGETHER FOR MULTIPLE SERVICES AS PER NEC ARTICLE 250-54.
G-13	IN UNITS WITH MULTIPLE STATION SMOKE DETECTORS, PROVIDE AUXILIARY CONTACTS IN ALL SMOKE DETECTORS REQUIRED FOR SYNCHRONOUS OPERATION WHEN ANY DETECTOR IS ACTIVATED. SMOKE DETECTORS TO BE (120V) WITH BATTERY BACK-UP. HARDWIRE SMOKE DETECTORS TO NEAREST UNSWITCHED RECEPTACLE CIRCUIT.
G-14	CONTRACTOR SHALL NOT INSTALL ELECTRICAL OUTLET BOXES BACK-TO-BACK (IN SAME STUD SPACE) IN ONE HOUR RATED WALLS. MAINTAIN A MINIMUM OF 24" BETWEEN DEVICES.
G-15	METERING SHALL COMPLY WITH LOCAL UTILITY REQUIREMENTS.
G-16	BRANCH CIRCUITS FOR LIVING UNITS, BUILDING LIGHTS, ETC. SHALL BE COPPER. ALL FEEDERS SHALL BE ALUMINUM, U.N.O. (SERVICE ENTRANCES).
G-17	PANELBOARD & LOAD CENTER BUSSING SHALL BE ALUMINUM.
G-18	TYPE NM/SER CABLE SHALL BE PERMITTED UNLESS OTHERWISE PROHIBITED.
G-19	ALL WIRE TERMINATIONS AND EQUIPMENT IS RATED FOR 75°C MINIMUM.
G-20	ALL BRANCH CIRCUITS ARE #12 AWG UNLESS NOTED OTHERWISE. IT IS ACCEPTABLE TO USE #14 AWG FOR 15 AMP BRANCH CIRCUITS. PROVIDE #10 AWG FOR 25A AND 30A BRANCH CIRCUITS U.N.O. PROVIDE #8 AWG FOR 40A BRANCH CIRCUITS U.N.O. PROVIDE #6 AWG FOR 50A BRANCH CIRCUITS U.N.O. COORDINATE ALL WIRING WITH LOCAL REQUIREMENTS AND/OR A.H.I.
G-21	CONTRACTOR SHALL PROVIDE LIGHTING IN ATTIC SPACE AS REQUIRED IN NEC 210-70(c)(3).
G-22	CONTRACTOR SHALL FURNISH AND INSTALL RECEPTACLES FOR SERVICING MECHANICAL EQUIPMENT AS REQUIRED IN NEC ARTICLE 210-63.
G-23	CONTRACTOR SHALL FURNISH AND INSTALL A JUNCTION BOX NEAR WATER HEATER FOR REMOTE MONITORING OF THE WATER METER.
G-24	PROVIDE AN AUDIBLE/VISUAL FIRE ALARM DEVICE IN EACH HANDICAP LIVING UNIT.
G-25	ELECTRICAL CONTRACTOR SHALL PROVIDE POWER TO ALL DETECTION DEVICES FOR HVAC EQUIPMENT INCLUDING SMOKE DETECTORS, FIRE STATS, MOTORIZED DAMPERS, ETC. AS REQUIRED. COORDINATE EXACT REQUIREMENTS WITH MECHANICAL CONTRACTOR.
G-26	WHERE CIRCUIT BREAKERS OR FUSES ARE SERIES CONNECTED RATED, THE ENCLOSURE FOR THE OVERCURRENT DEVICES SHALL BE CLEARLY AND LEGIBLY MARKED IN THE FIELD TO INDICATE THE EQUIPMENT HAS BEEN APPLIED WITH A SERIES COMBINATION RATING. THE MARKING SHALL BE READILY VISIBLE AND STATE THE FOLLOWING: "CAUTION - SERIES COMBINATION SYSTEM RATED _____ AMPERES. IDENTIFIED REPLACEMENT COMPONENTS REQUIRED".
G-27	ALL ELECTRICAL PENETRATIONS THROUGH FIRE-RATED ASSEMBLIES (WALLS, FLOORS, ROOFS, ETC.) SHALL BE ADEQUATELY FIRE-STOPPED USING UL LISTED MATERIALS AND METHODS.
G-28	PROVIDE 120 VOLT POWER FOR MOTORIZED FIRE AND/OR FIRE/SMOKE DAMPERS AS REQUIRED, PER THE MECHANICAL DRAWINGS. CONNECT MAXIMUM OF FOUR (4) FIRE AND/OR FIRE/SMOKE DAMPERS ON A GIVEN 120 VOLT, 20 AMP BRANCH CIRCUIT. PROVIDE LOCK-ON CIRCUIT BREAKER(S) IN CORRESPONDING PANELBOARD(S) AS REQUIRED. COORDINATE QUANTITY, LOCATION, AND OTHER REQUIREMENTS WITH MECHANICAL CONTRACTOR AND PROVIDE AS NECESSARY FOR A COMPLETE AND OPERATIONAL FIRE AND/OR FIRE/SMOKE DAMPER SYSTEM THROUGHOUT THE PROJECT.
G-29	PROVIDE AN EXTRA "HOT", UNSWITCHED CONDUCTOR IN EACH BRANCH CIRCUIT SERVING EXIT AND EMERGENCY/EGRESS LIGHTING SO THAT FIXTURES REMAIN ON/ACTIVE AT ALL TIMES.
G-30	ELECTRICAL INSTALLATION SHALL COMPLY WITH THE 2009 IBC, 2009 IECC, AND 2008 NEC AND CITY OF ADDISON ELECTRICAL AMENDMENTS.

ELECTRICAL SYMBOL LEGEND					
SYMBOL	DESCRIPTION	HEIGHT	SYMBOL	DESCRIPTION	HEIGHT
\$	SINGLE POLE SINGLE THROW TOGGLE SWITCH (NOTE L-1)	48"	○	POST TOP OR BOLLARD LIGHT FIXTURE	
\$/3/4	THREE-WAY TOGGLE SWITCH/FOUR-WAY TOGGLE SWITCH (NOTE L-1)	48"	✱	CEILING/PENDANT MOUNTED PADDLE FAN	
\$u	MOTOR RATED SWITCH		⊕/⊖	EXIT SIGN, CEILING/WALL MOUNTED. PROVIDE ARROWS AS INDICATED ON DRAWINGS	
\$k	KEYED SWITCH	48"	⊕	EMERGENCY LIGHTING FIXTURE	
\$7	TIMER SWITCH	48"	—	PANELBOARD - WALL MOUNTED (RECESSED)	
D	DIMMER SWITCH (NOTE L-1)	48"	—	PANELBOARD - WALL MOUNTED (SURFACE)	
D3	THREE-WAY DIMMER SWITCH (NOTE L-1)	48"	○	MOTOR	
⊕/⊖	DUPLEX / QUAD RECEPTACLE OUTLET (NOTE L-1)	18"	⊕/⊖	NONFUSIBLE DISCONNECT SWITCH, RATING/POLES/NEMA ENCLOSURE	
⊕/⊖	(*WP*=WEATHERPROOF, *GFI*=GROUND FAULT INTERRUPTER)		⊕/⊖	FUSIBLE DISCONNECT SWITCH, RATING/POLES/NEMA ENCLOSURE/FUSE RATING	
⊕/⊖	G.F.C.I. DUPLEX RECEPTACLE OUTLET WALL/ABOVE COUNTER MOUNTED (NOTE L-1)	18"/43"	⊕/⊖	MAGNETIC MOTOR STARTER. NEMA SIZE RATING/ENCLOSURE (NEMA 1 IF NOT SHOWN)	
⊕	ISOLATED GROUND DUPLEX RECEPTACLE OUTLET	18"	⊕/⊖	COMBINATION MAGNETIC MOTOR STARTER AND DISCONNECT MEANS, NEMA SIZE RATING/ENCLOSURE (NEMA 1 IF NOT SHOWN)	
⊕	SPECIAL PURPOSE RECEPTACLE OUTLET, NEMA CONFIGURATION TO MATCH PLUG. (NOTE L-1)	18"	⊕	CURRENT TRANSFORMER CABINET	48"
⊕	SPLIT WIRE DUPLEX RECEPTACLE. ONE RECEPTACLE SHALL BE SWITCHED AS SHOWN ON PLANS (NOTE L-1)	18"	⊕	POWER METER AND SOCKET	
⊕/⊖	DUPLEX RECEPTACLE OUTLET, CEILING MOUNTED/FLOOR MOUNTED		⊕	FIRE ALARM MANUAL STATION	48"
⊕	MULTI-OUTLET ASSEMBLY WITH OUTLETS ON CENTERS AS INDICATED IN NOTES OR SPECIFICATIONS MOUNT 6" ABOVE COUNTER OR AS INDICATED		⊕	FIRE ALARM HORN/SPEAKER WITH VISUAL DEVICE (NOTE L-3), NUMERAL INDICATES CANDELA RATING	
⊕	FIRE-RATED POKE-THRU DEVICE		⊕	FIRE ALARM HORN/SPEAKER (NOTE L-3)	
⊕/⊖	JUNCTION BOX, CEILING/WALL/FLOOR MOUNTED		⊕	FIRE ALARM VISUAL DEVICE (NOTE L-3), NUMERAL INDICATES CANDELA RATING	
X-1,3,5	ARROWHEAD INDICATES HOMERUN. X-1,3,5 ADJACENT TO HOMERUN ARROWHEADS INDICATES HOMERUN TO PANEL X CIRCUIT NUMBERS 1,3, AND 5.		⊕	FIREMAN PHONE JACK	
3.5	INDICATES CIRCUIT CONTINUATION OF CIRCUITS 3 AND 5 OF PANEL X.		⊕	FIRE PHONE	
⊕	MARKS ACROSS RACEWAY SYMBOLS INDICATE THE NUMBER OF #12 CONDUCTORS (2 PHASE, 1 NEUTRAL) UNLESS OTHERWISE NOTED. NO MARKS INDICATES TWO #12 CONDUCTORS. EQUIPMENT GROUNDING CONDUCTORS ARE NOT INDICATED BY MARKS.		⊕	SMOKE DETECTOR (CEILING/WALL MOUNTED 4" MIN. AND 12" MAX. FROM CEILING)	
⊕	RACEWAY/CABLE CONCEALED IN WALL AND/OR ABOVE CEILING		⊕	THERMAL DETECTOR, CEILING MOUNTED	
⊕	RACEWAY/CABLE CONCEALED BELOW GRADE OR IN-SLAB		⊕	CONNECTION TO FIRE PROTECTION SYSTEM FLOW SWITCH	
⊕	RACEWAY/CABLE CONCEALED IN WALL AND/OR ABOVE CEILING - EMERGENCY CIRCUIT		⊕	CONNECTION TO FIRE PROTECTION SYSTEM TAMPER SWITCH	
⊕	RACEWAY INSTALLED EXPOSED		⊕	FIRE ALARM CONNECTION TO SMOKE/FIRE DOOR HOLD-OPEN DEVICE	
⊕	GROUNDING CONNECTION (SYSTEM AND/OR EQUIPMENT)		⊕	DUCT MOUNTED SMOKE DETECTOR	
⊕	CONDUIT TURNING UP/DOWN		⊕	REMOTE STATION FOR DUCT MOUNTED SMOKE DETECTOR	
⊕	CONDUIT STUB. TERMINATE IN INSULATED BUSHING OR CAP IF UNDERGROUND		⊕	FIRE ALARM CONTROL PANEL, SURFACE/RECESSED	
⊕	FLUORESCENT LIGHTING FIXTURE, 2X4, 1X4, 2X2		⊕	FIRE ALARM ANNUNCIATOR PANEL, RECESSED	
⊕	FLUORESCENT LIGHTING FIXTURE, 2X4, 1X4, 2X2 - PROVIDING EMERGENCY ILLUMINATION		⊕	TELEPHONE OUTLET, WALL MOUNTED/ABOVE COUNTER (NOTES L-1, L-2)/FLOOR MOUNTED	18"/43"
⊕	LIGHTING FIXTURE - OVERHEAD/WALL MOUNTED		⊕	COMBINATION TELEPHONE/DATA OUTLET, WALL MOUNTED/ABOVE COUNTER (NOTE L-1, L-2)/FLOOR MOUNTED	18"/43"
⊕	EMERGENCY LIGHTING FIXTURE - OVERHEAD/WALL MOUNTED		⊕	DATA OUTLET, WALL MOUNTED/ABOVE COUNTER (NOTE L-1, L-2)/FLOOR MOUNTED	18"/43"
⊕	FLUORESCENT STRIP FIXTURE - OVERHEAD/WALLMOUNTED		⊕	TELEVISION OUTLET WALL MOUNTED (NOTE L-1)/CEILING MOUNTED/FLOOR MOUNTED	18"
⊕	DIRECTIONAL OR WALL WASH LIGHTING FIXTURE		LEGEND NOTES		
⊕	LIGHT TRACK AND LIGHT TRACK FIXTURES		L-1 MOUNTING HEIGHTS NOTED ARE TO THE CENTER OF DEVICE ABOVE FINISHED FLOOR, UNLESS NOTED OTHERWISE.		
⊕	POLE MOUNTED LIGHT FIXTURE WITH ARM. SEE PLANS FOR NUMBER OF LUMINAIRES.		L-2 STUB 3/4" CONDUIT 6" ABOVE ACCESSIBLE CEILING AND TERMINATE WITH NYLON GROMMET.		
			L-3 FIRE ALARM VISUAL DEVICES SHALL BE WALL-MOUNTED 80" AFF OR 6" BELOW CEILING, WHICHEVER IS LOWER. AUDIBLE ONLY DEVICES SHALL BE WALL-MOUNTED AT NOT LESS THAN 90" AFF AND NOT LESS THAN 6" BELOW CEILING.		

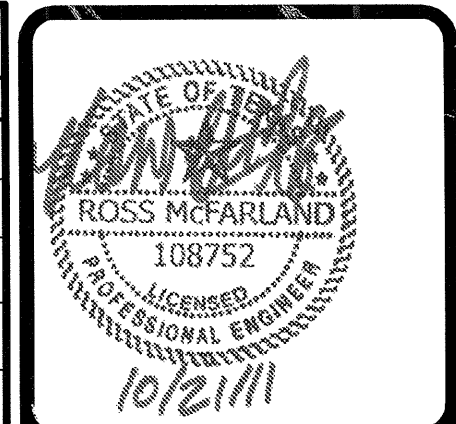


UNIT LIGHTING FIXTURE SCHEDULE							
KEY	TYPE	MANUFACTURER	CONTACT	STYLE	NUMBER	LAMPING	LOCATION
L-U1	TRACK	ROYAL PACIFIC	KIM DUDLEY / DESIGN PARTNERS 817.808.1944	7936 TRACK PACK	7936BA	(3) PAR 30	KITCHEN/DINING
L-U2	CEILING MOUNT	EPIPHANY	KIM DUDLEY / DESIGN PARTNERS 817.808.1944	DECORATIVE CEILING DOME	104364BN	(1) 60W A19	GALLERY/ENTRY/HALLWAY
L-U3	FAN	ROYAL PACIFIC	KIM DUDLEY / DESIGN PARTNERS 817.808.1944	1059 ROYAL PACK	1059BP/LIGHT KIT LK1RP8BP	(2) 60W A19	LIVING ROOM/ BEDROOM
L-U4	CEILING MOUNT	EPIPHANY	KIM DUDLEY / DESIGN PARTNERS 817.808.1944	DECORATIVE BALL LIGHT	104000BN	(1) 60W	CLOSETS
L-U6	CEILING MOUNT	EPIPHANY	KIM DUDLEY / DESIGN PARTNERS 817.808.1944	MUSHROOM CEILING LITE	104210BN	60W A19 CL	BATHROOM CEILING
L-U7	RECESSED	CONTRACTOR'S CHOICE	KIM DUDLEY / DESIGN PARTNERS 817.808.1944	CONTRACTOR'S CHOICE	CONTRACTOR'S CHOICE	(1) 40W A19 CL	SHOWER/TUB
L-U8	PATIO SCENCE	EPIPHANY	KIM DUDLEY / DESIGN PARTNERS 817.808.1944	CAST ALUMINUM OUTDOOR	104790BK	(1) 60W	PATIO

NOTES:

- FINAL FIXTURE SELECTIONS TO BE SUBMITTED TO AND APPROVED BY OWNER.
- ALL LIGHTING FIXTURES MAY NOT NECESSARILY BE USED.
- PROVIDE ALL NECESSARY HARDWARE AND ACCESSORIES REQUIRED TO MAINTAIN THE FIRE RATING AND/OR FIREPROOF INTEGRITY OF CEILINGS, WALLS, SURFACES, ETC. TO/ON/IN WHICH FIXTURES ARE INSTALLED.
- ALL OUTDOOR FIXTURES SHALL BE DAMP AND/OR WET LOCATION LISTED (AS APPLICABLE TO INSTALLATION) AND SHALL BE PROVIDED WITH OF, COLD WEATHER BALLASTS (FLUORESCENT AND HID FIXTURES).
- UNDERCABINET AND COVE FIXTURE LENGTHS TO BE PROVIDED TO RUN THE LENGTH OF REQUIRED SPACE WITH MINIMUM NUMBER OF FIXTURES.
- ANY DISCREPANCIES ON FIXTURES BETWEEN THESE PLANS AND THE OWNER'S SUBMITTED SPECIFICATIONS, THE OWNER'S SPECIFICATIONS SHALL TAKE PRIORITY.

1 SERVICE GROUNDING & BONDING
SCALE: NO SCALE



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KELLER SPRINGS LOFTS
LOFT APARTMENTS IN ADDISON, TEXAS

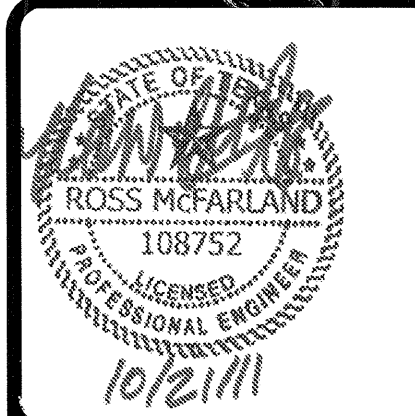
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DATE
08-05-11

PROJECT
11129

SHEET NUMBER
E-1.0

NOTES & LEGENDS



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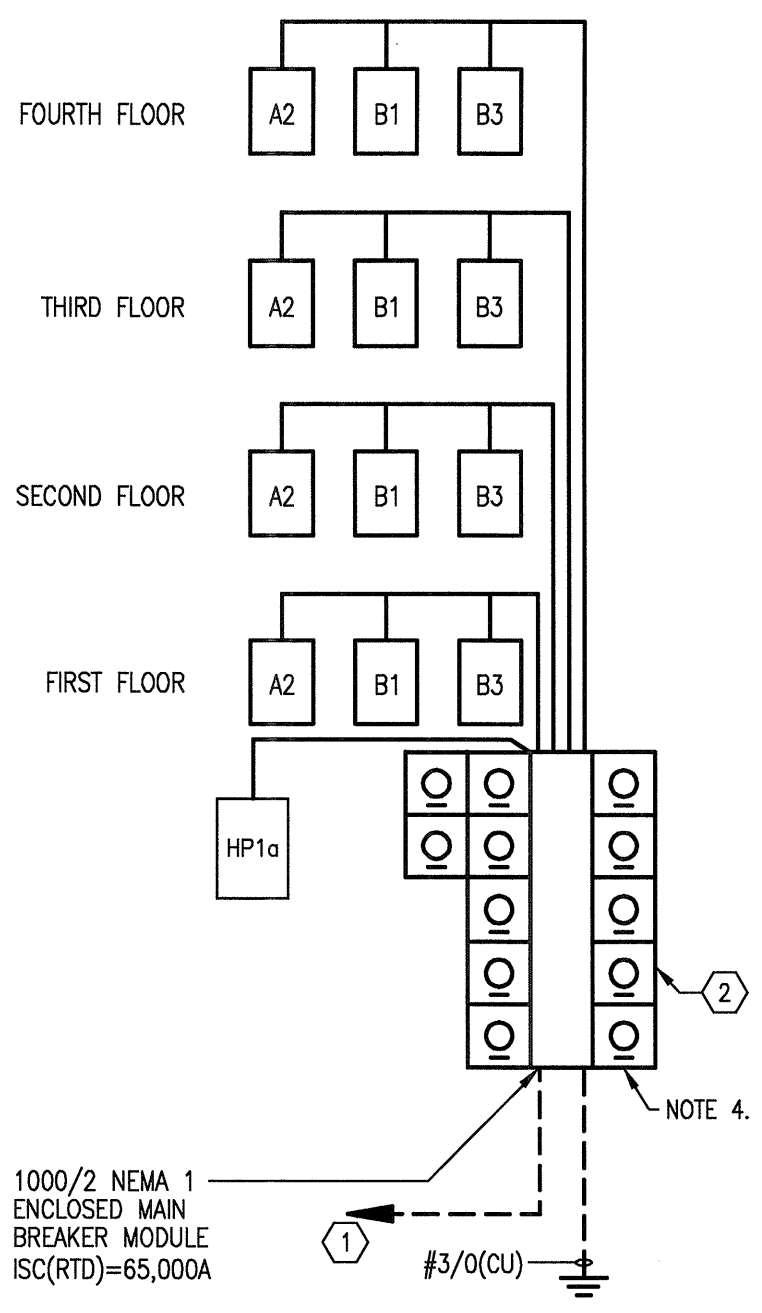
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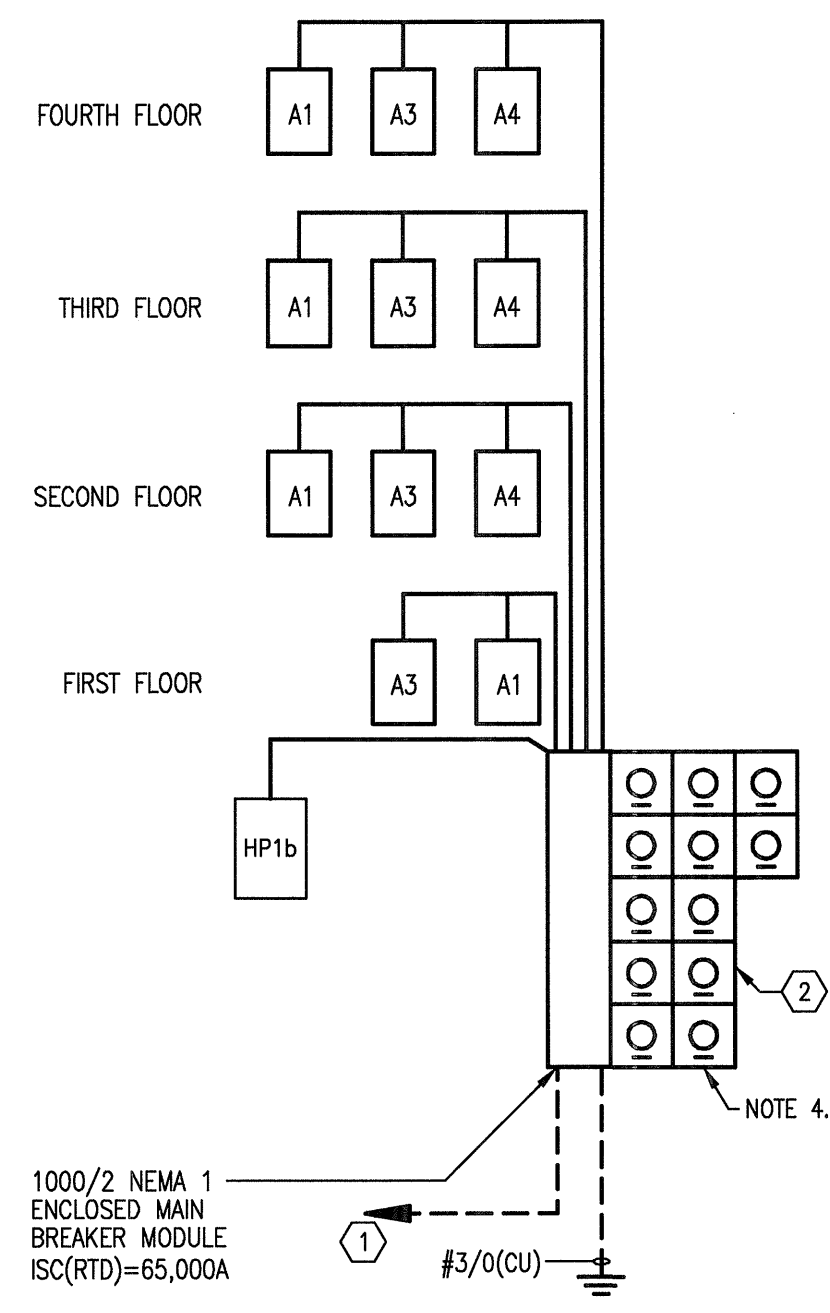
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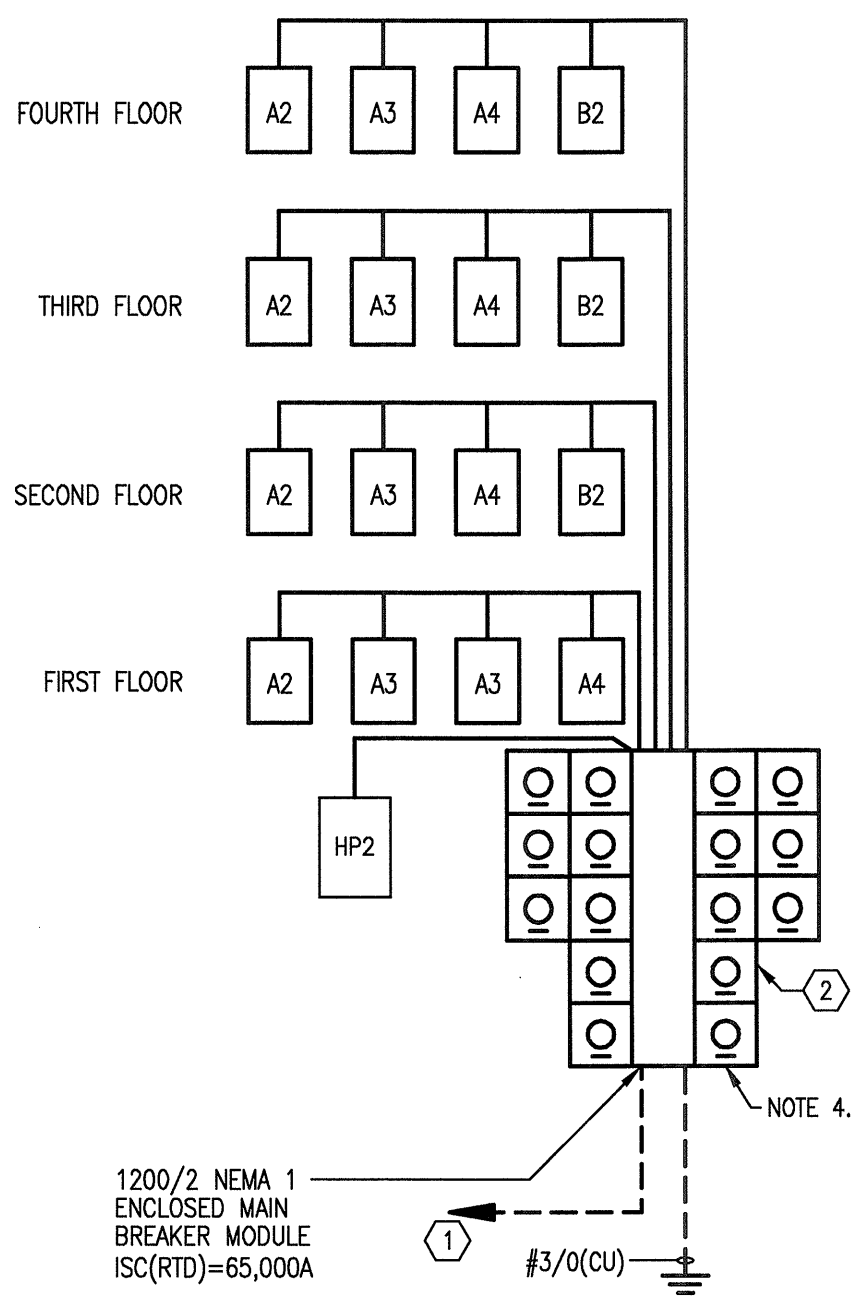
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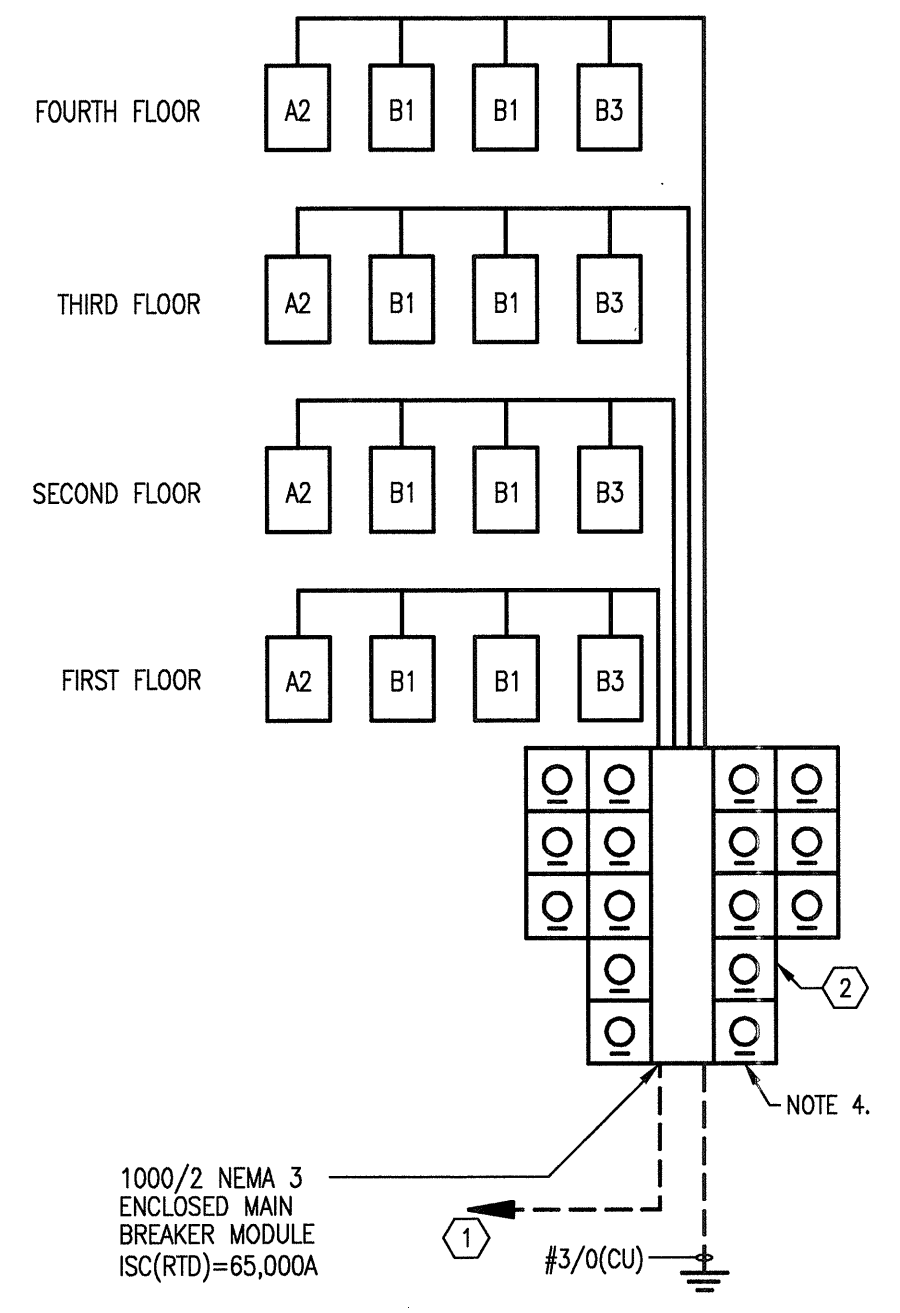
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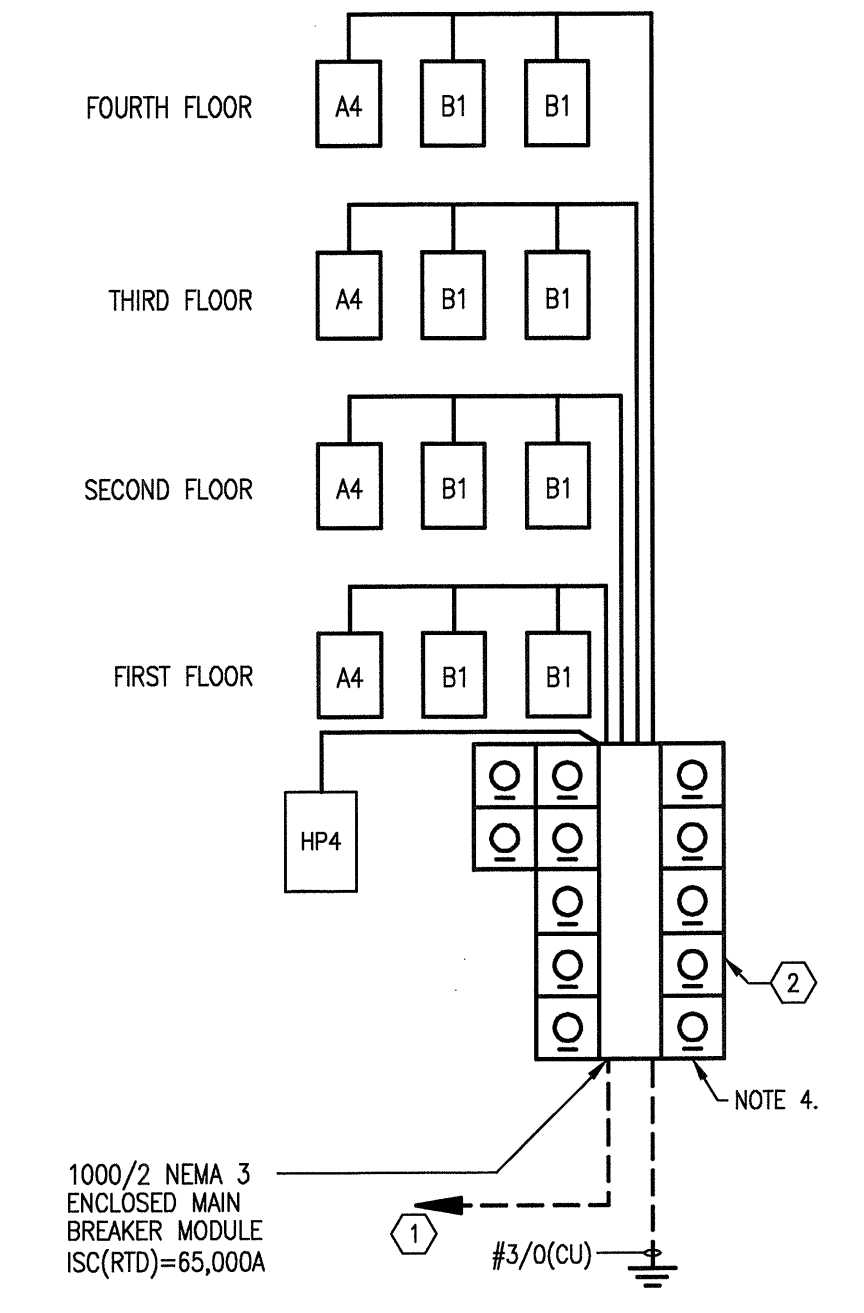
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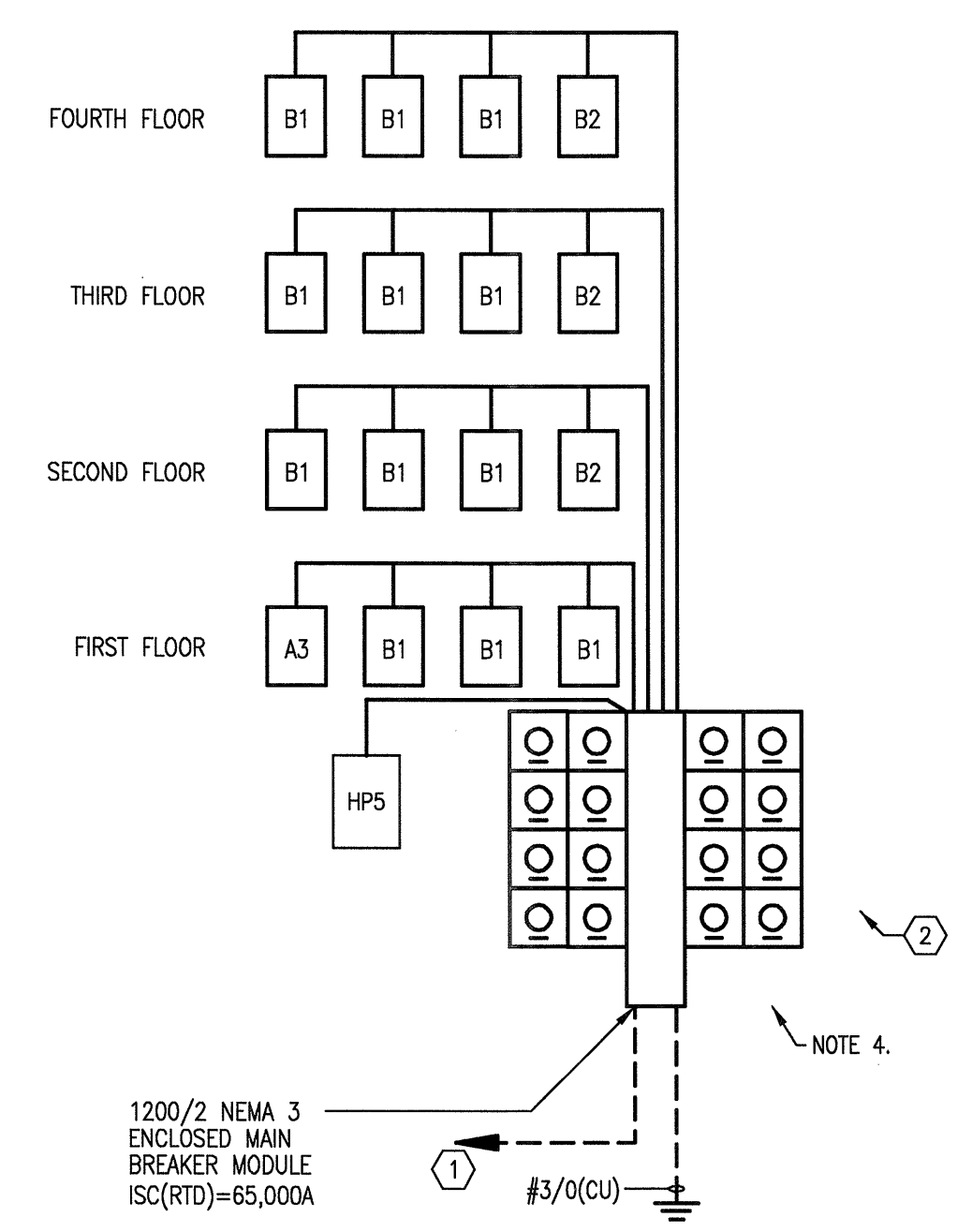
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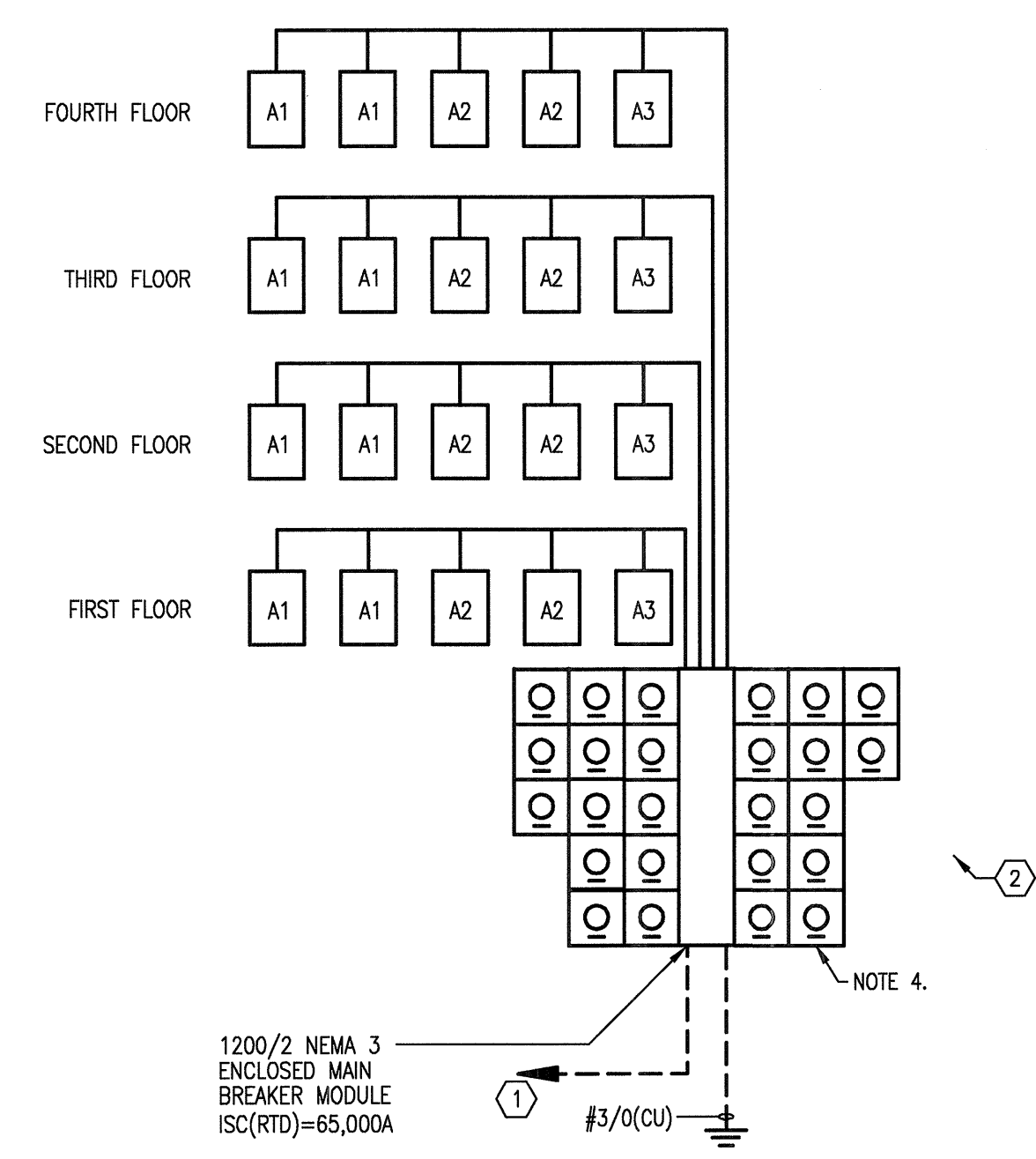
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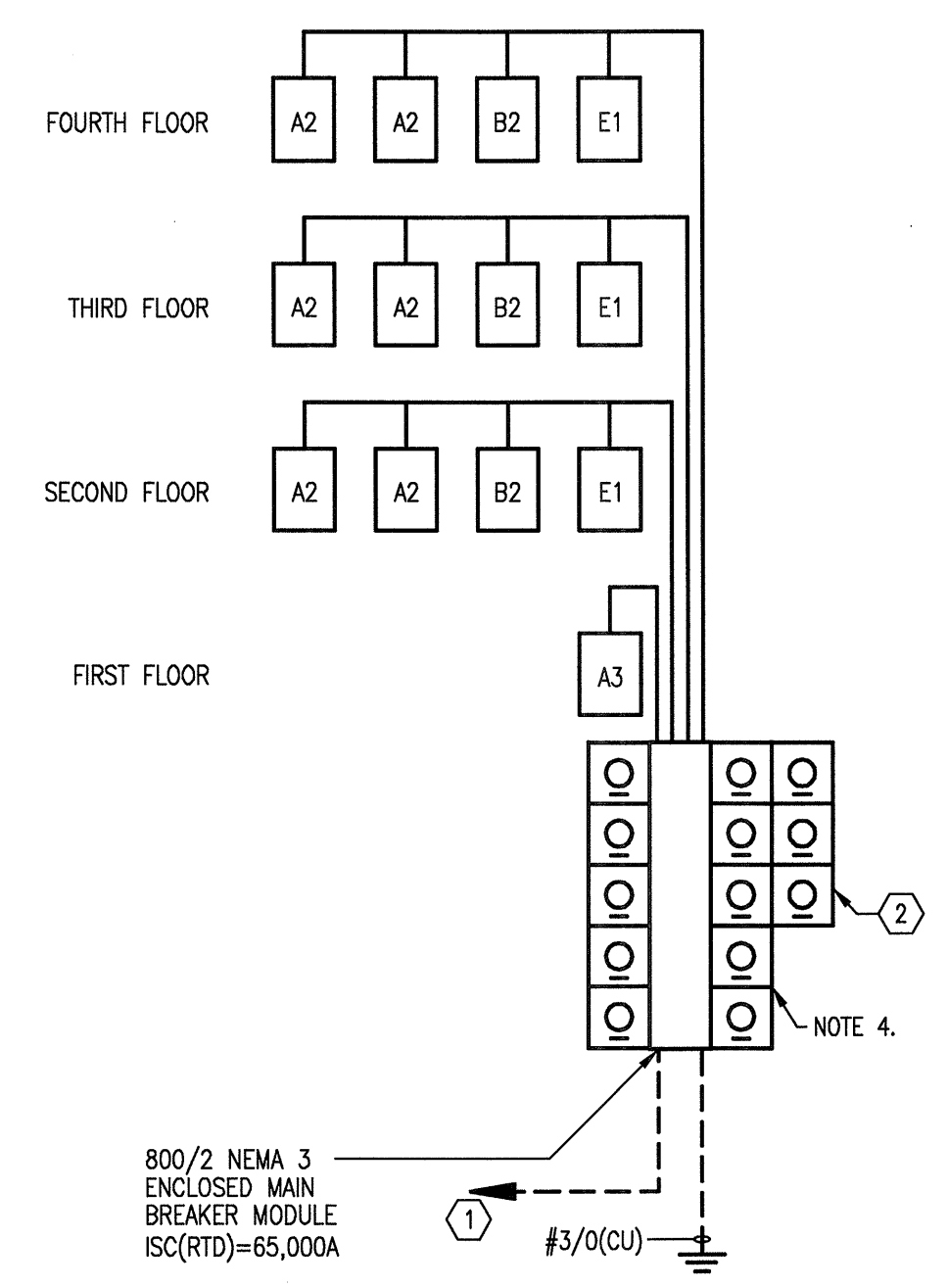
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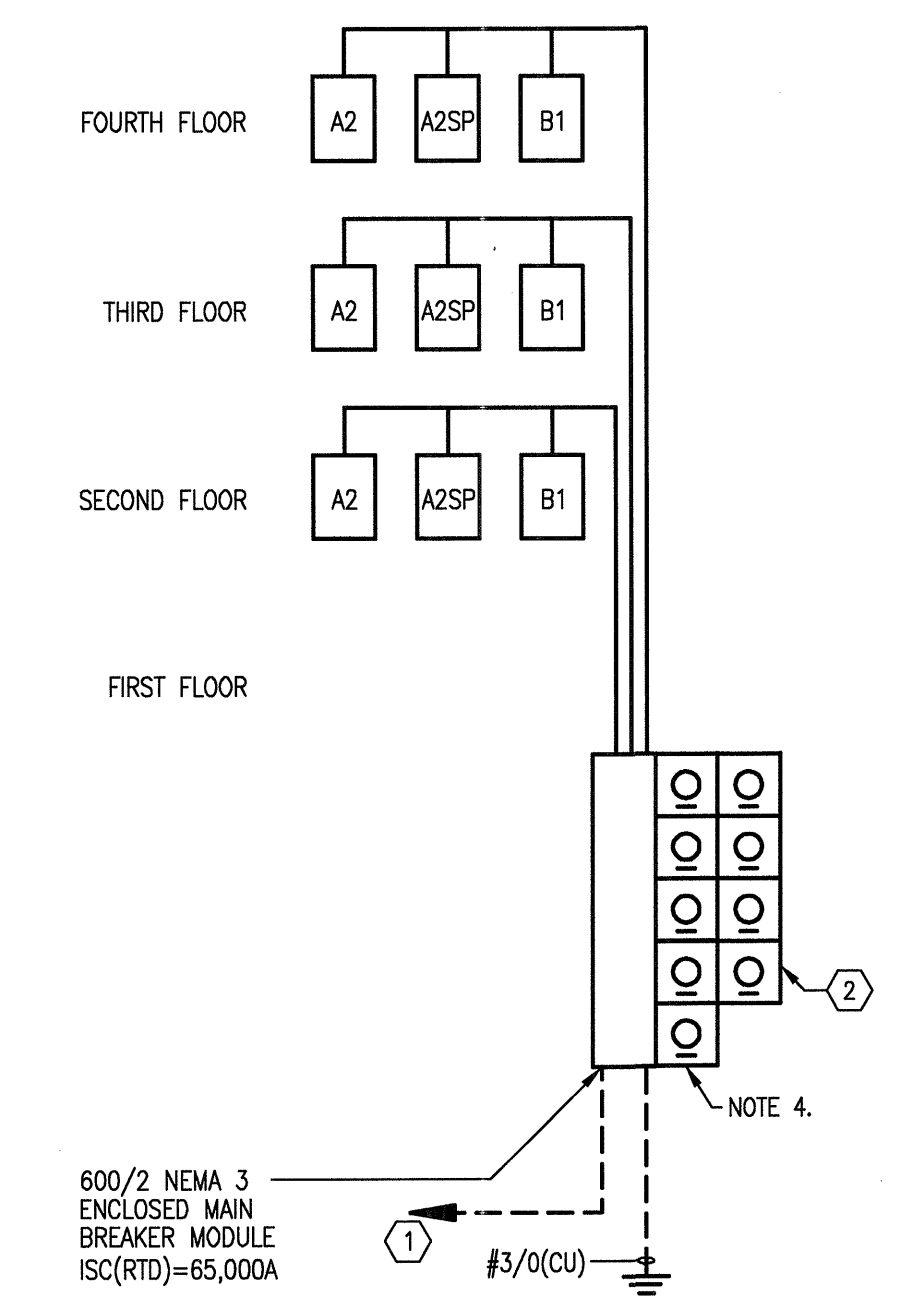
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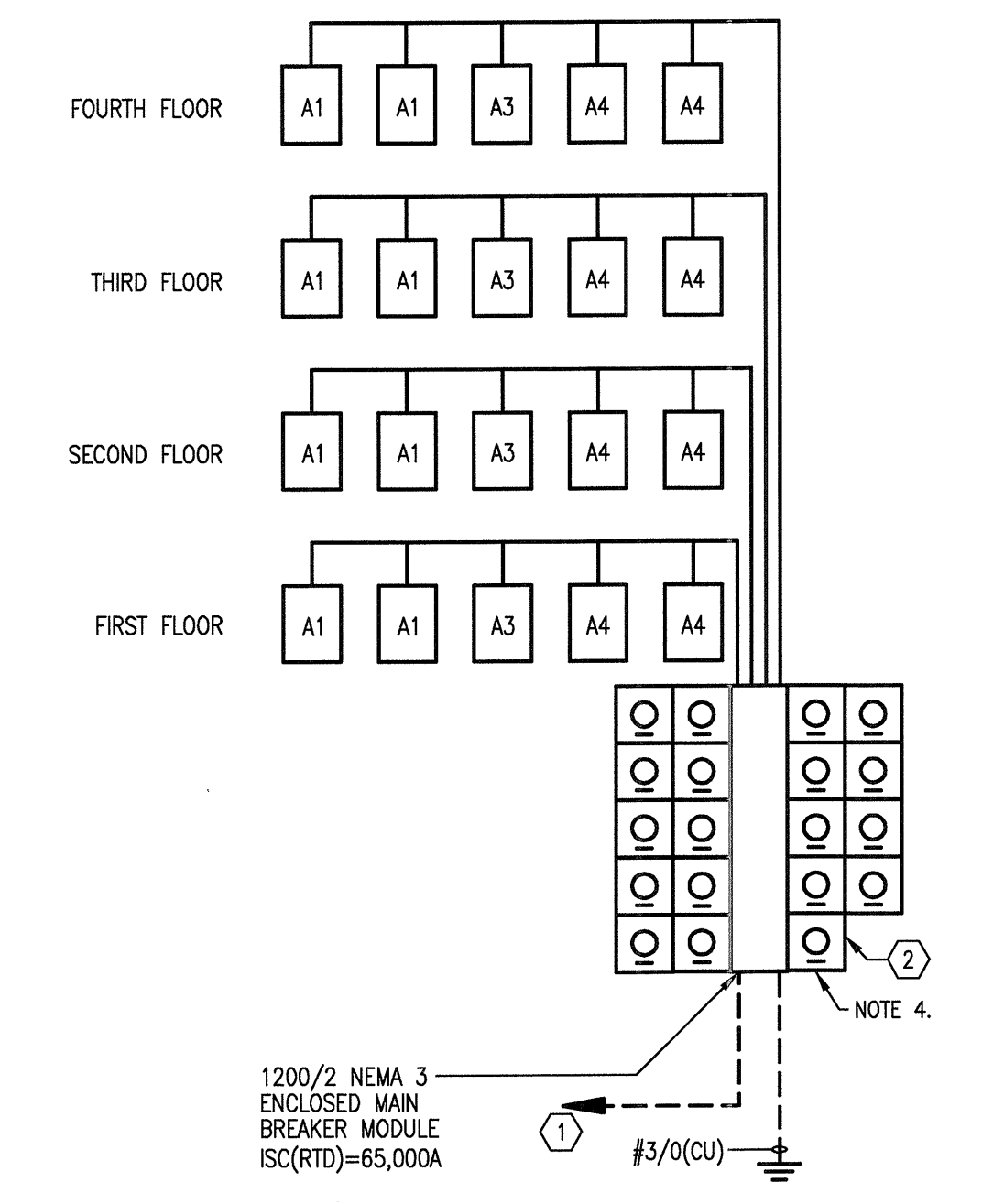
7 METER CENTER 6
SCALE, NOT TO SCALE



8 METER CENTER 7
SCALE, NOT TO SCALE



9 METER CENTER 8
SCALE, NOT TO SCALE



10 METER CENTER 9
SCALE, NOT TO SCALE

GENERAL NOTES:

- THE 10 KAIC BREAKERS IN THE LOAD CENTERS AND THE 22 KAIC BREAKERS AT THE METERS SHALL BE SERIES RATED WITH THE 65 KAIC MAIN SERVICE BREAKERS FOR 65 KAIC PROTECTION AT THE LOAD CENTER AND METER. METER CENTERS AND LOAD CENTERS SHALL BE U.L. LISTED AND LABELED FOR THIS PURPOSE.
- CONTRACTOR SHALL PROVIDE A PLAQUE AT EACH SERVICE LOCATION DENOTING LOCATION FOR ALL OTHER SERVICES AT EACH BUILDING.

KEY NOTES:

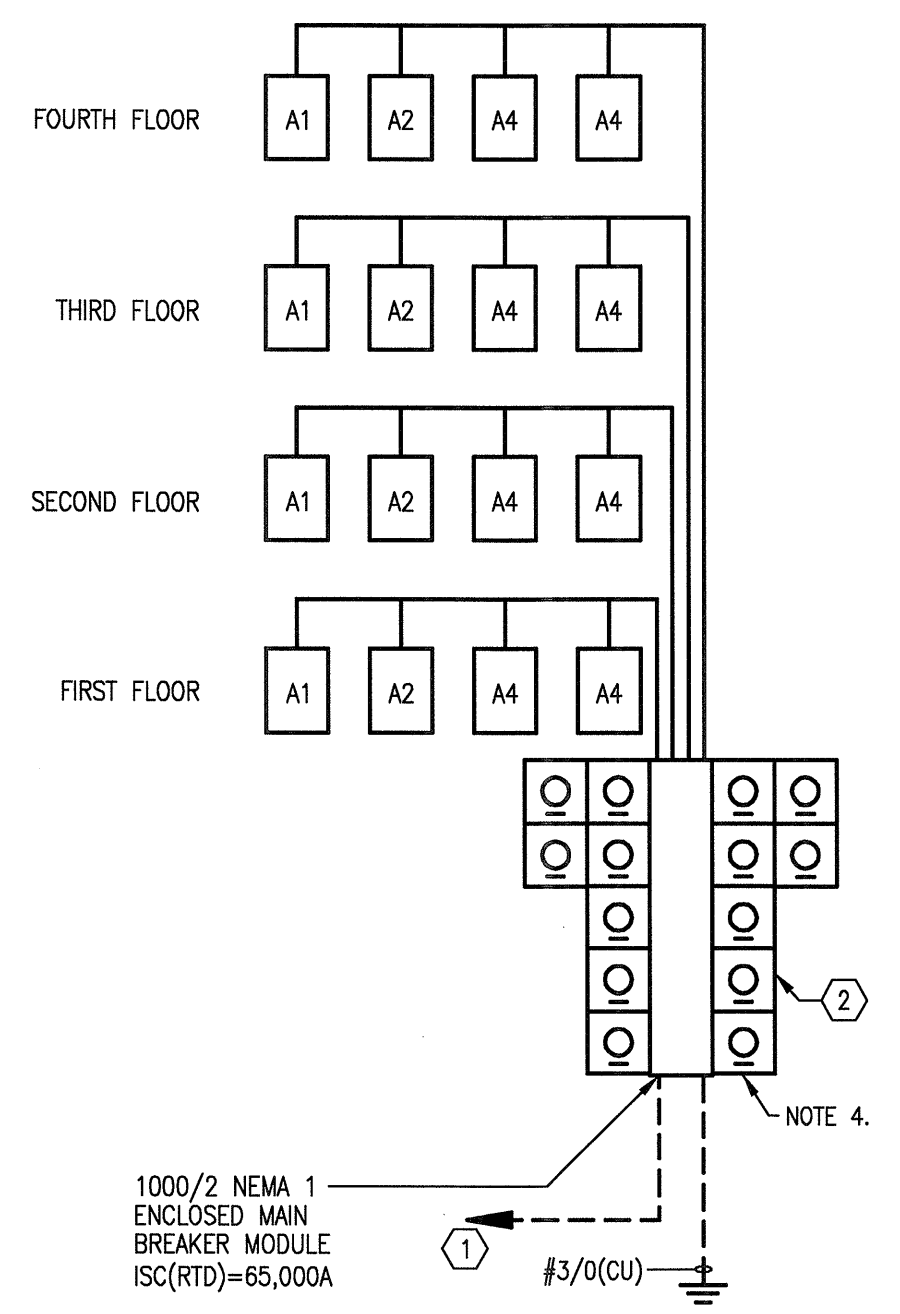
- NOTE THAT POWER COMPANY PAD-MOUNTED TRANSFORMERS CAN ACCEPT A LIMITED NUMBER OF SECONDARY CONDUITS, THEREFORE, PROVIDE SERVICE ENTRANCE LATERALS AS FOLLOWS:
600A METER CENTER: (2 SETS) 3 #500MCM (AL, S.E.R.); 600A MAIN BREAKER.
800A METER CENTER: (3 SETS) 3 #400MCM (AL, S.E.R.); 800A MAIN BREAKER.
1000A METER CENTER: (3 SETS) 3 #600MCM (AL, S.E.R.); 1000A MAIN BREAKER.
1200A METER CENTER: (4 SETS) 3 #500MCM (AL, S.E.R.); 1200A MAIN BREAKER.
1600A METER CENTER: (4 SETS) 3 #600MCM (AL, S.E.R.); 1600A MAIN BREAKER.
- CONTRACTOR SHALL FURNISH AND INSTALL U.L. LISTED, SERIES CONNECTED RATED, CURRENT LIMITING CIRCUIT BREAKERS WITH AMPERE RATINGS INDICATED. BREAKER SHALL BE TESTED TO PROTECT DOWNSTREAM EQUIPMENT AT RATINGS INDICATED.
- PROVIDE 240 VOLT, 1-PHASE MAINS AND HOUSE PANELS, WITH SINGLE-PHASE, 240 VOLT SERVICE TO INDIVIDUAL UNITS. USE TO COORDINATE ENTIRE SERVICE ENTRANCE INSTALLATION WITH POWER COMPANY, BUILDING OFFICIAL(S), AND/OR LOCAL (ELECTRICAL) AHJ.

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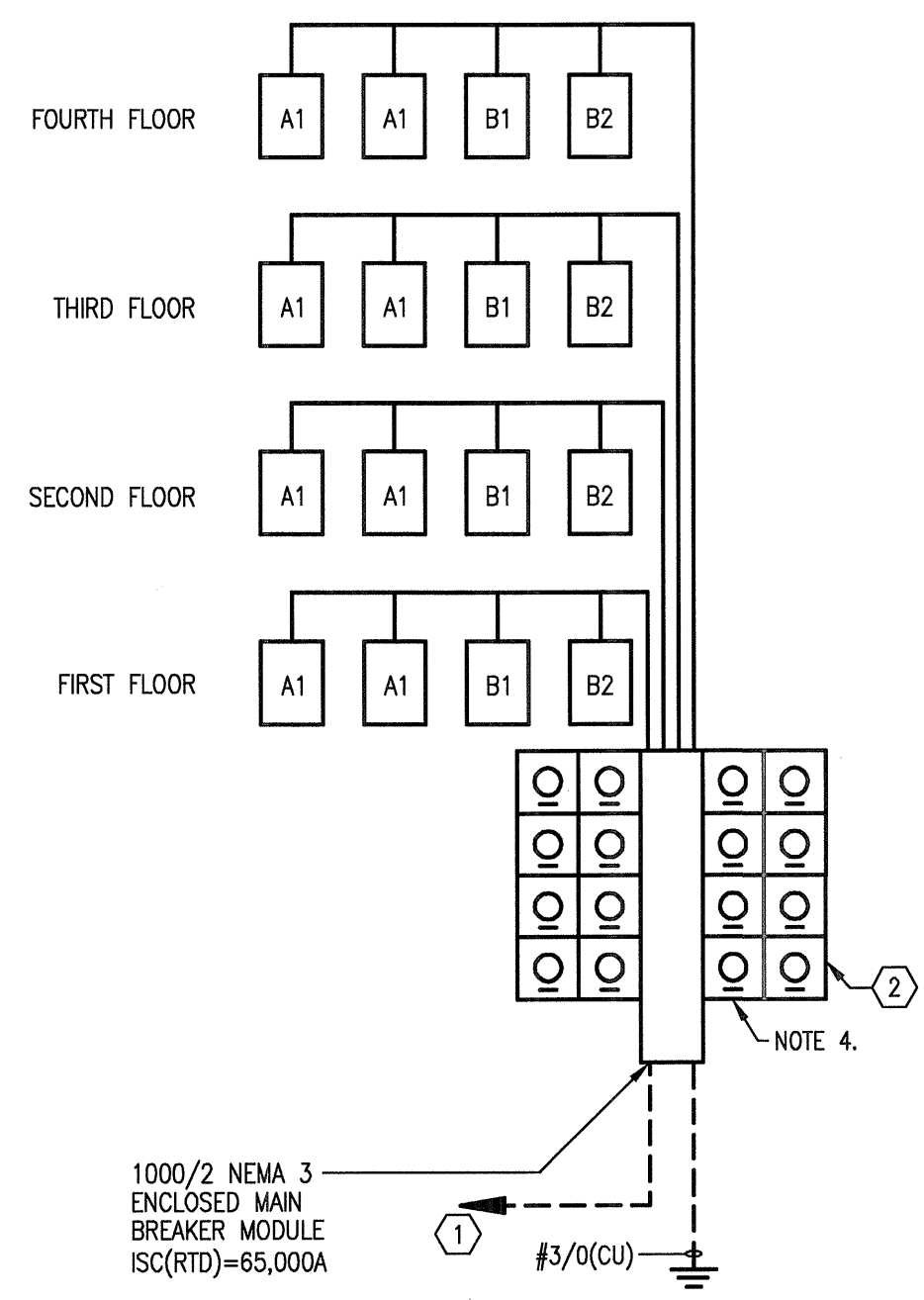


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4	10-17-2011 CONSTRUCTION ISSUE

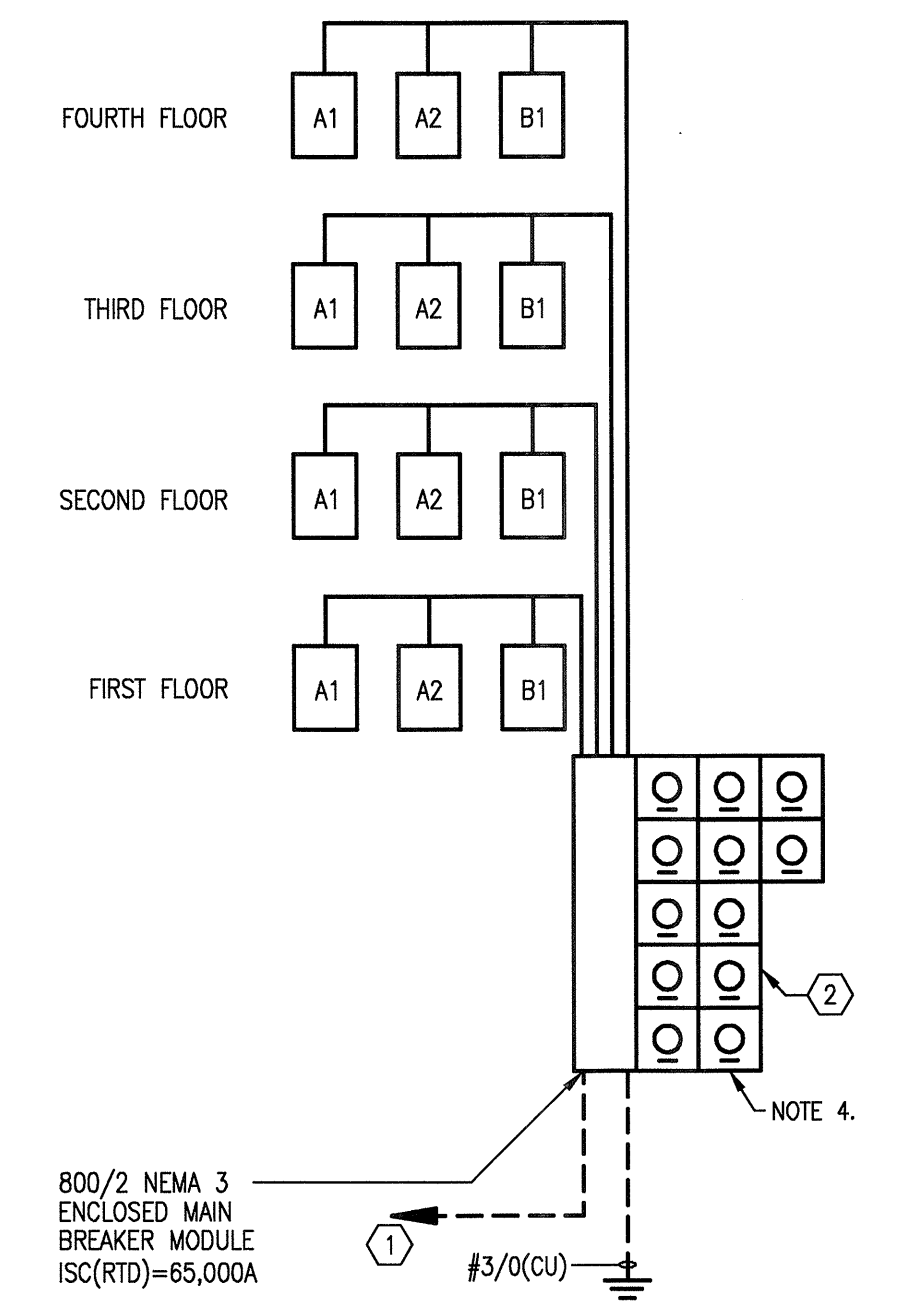
KELLER SPRINGS LOFTS
LOFT APARTMENTS IN ADDISON, TEXAS



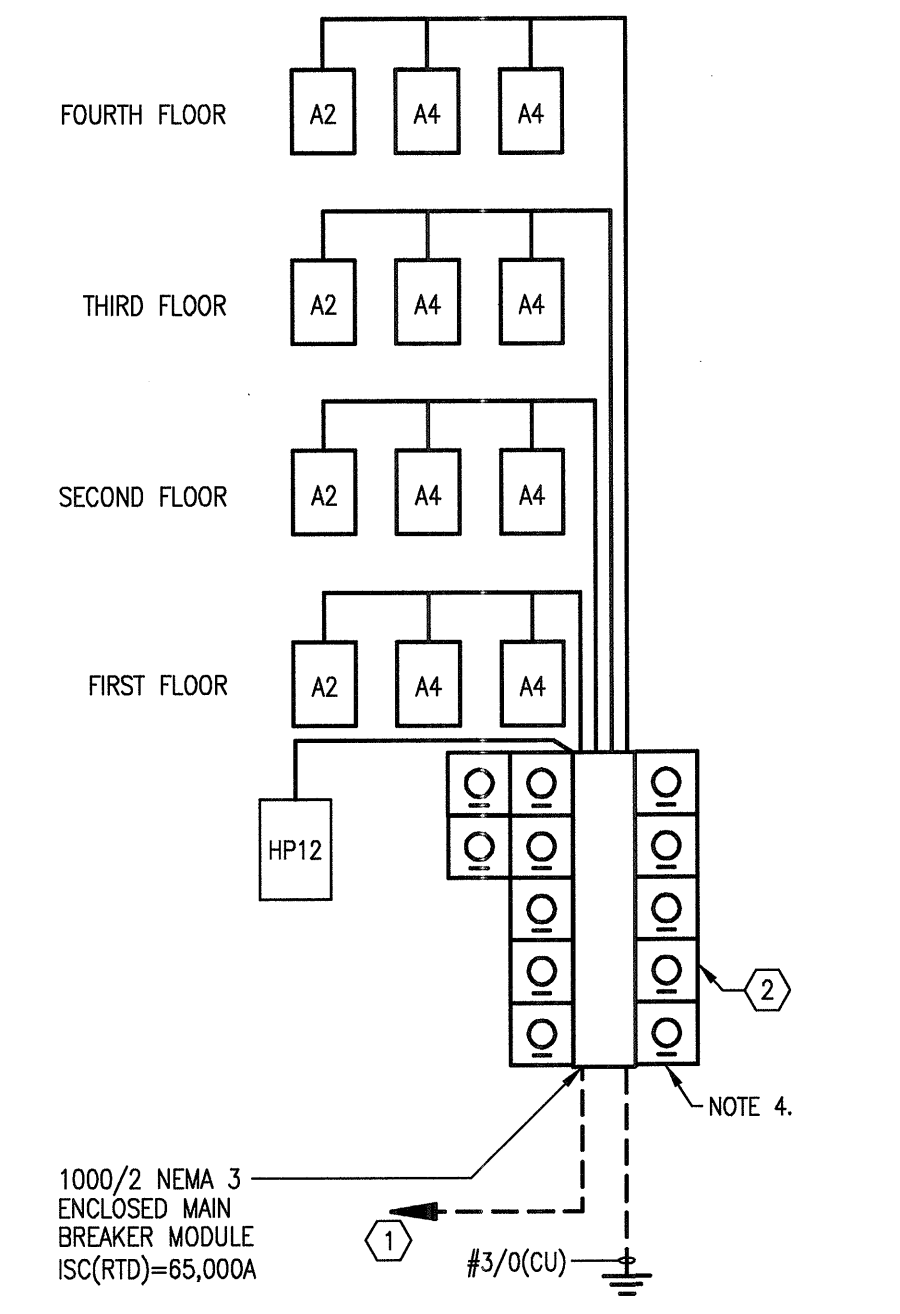
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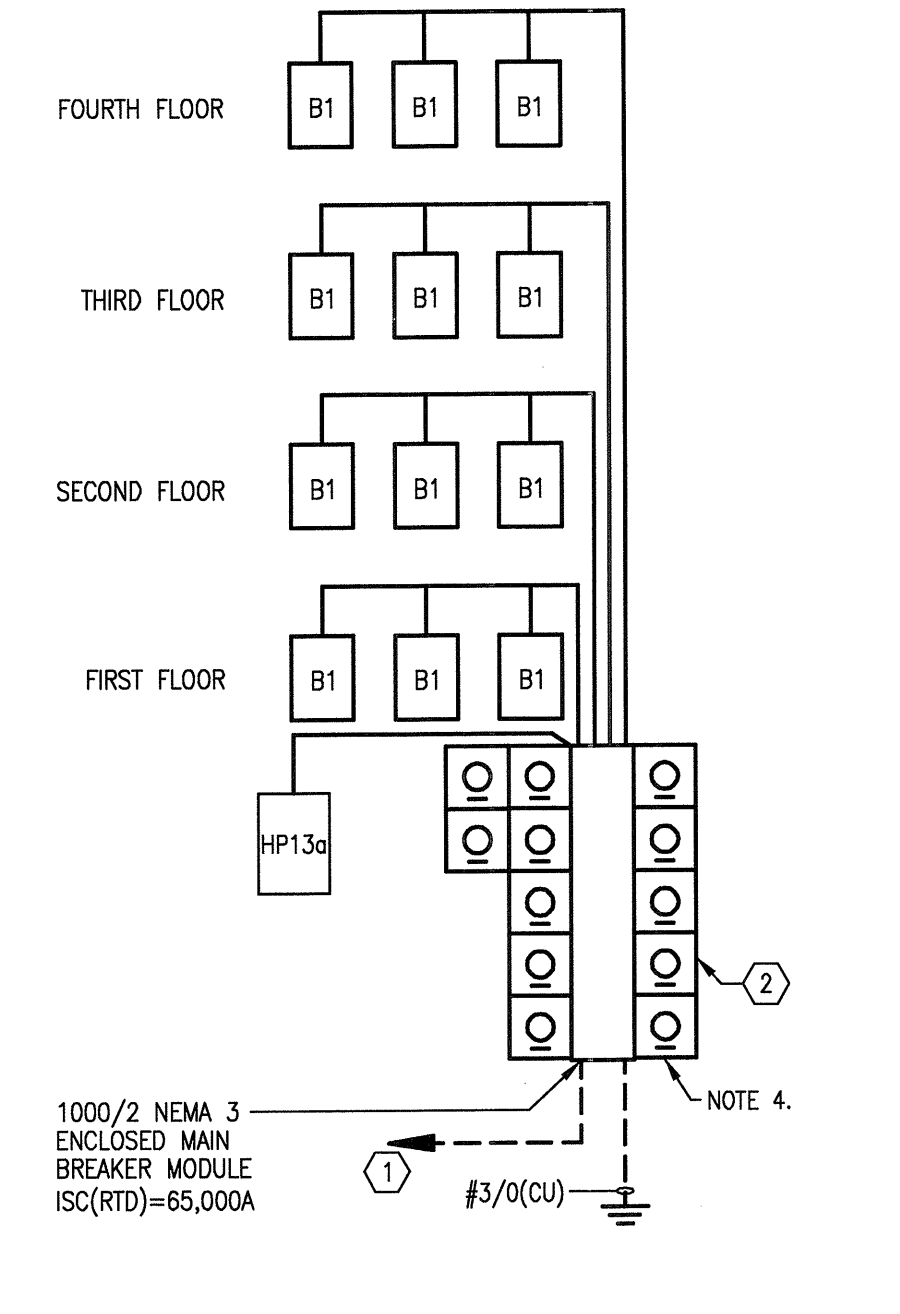
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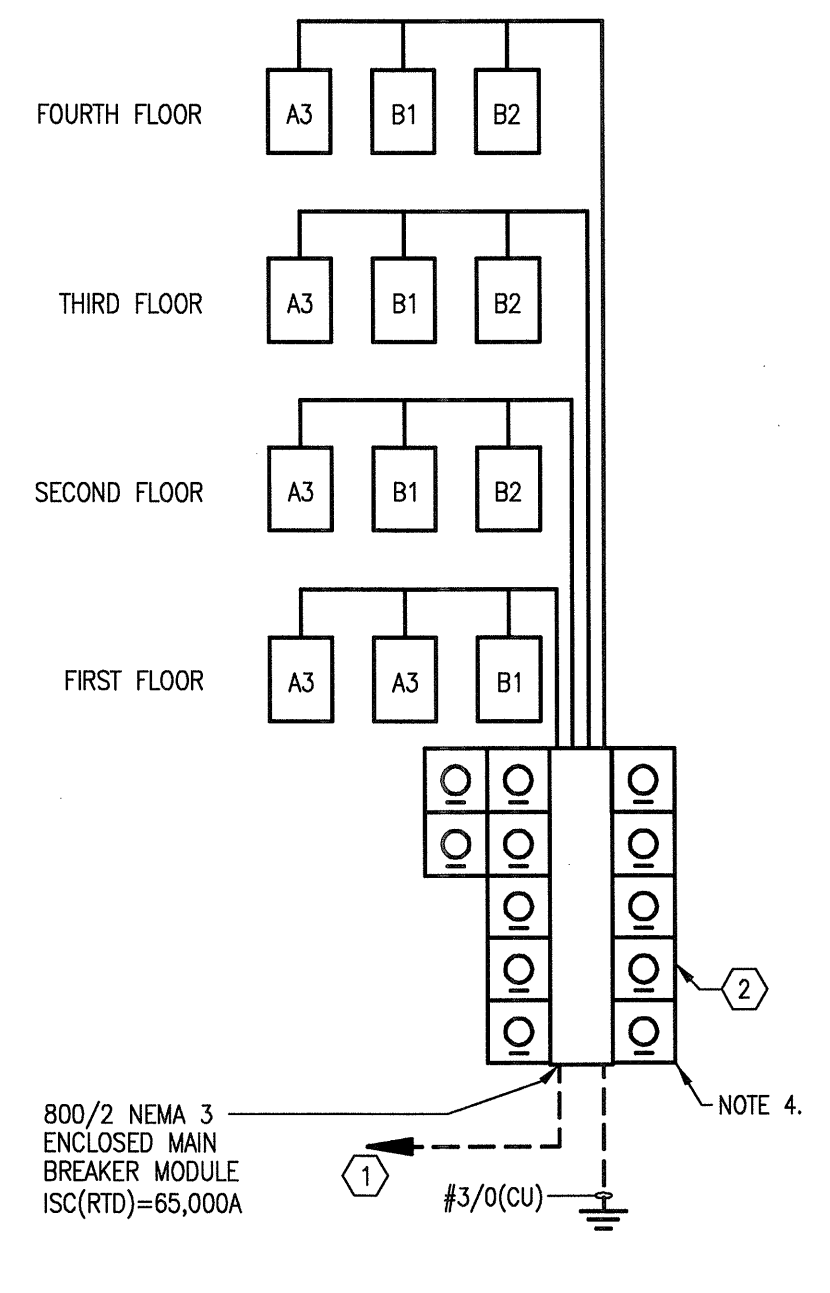
3 METER CENTER 11b
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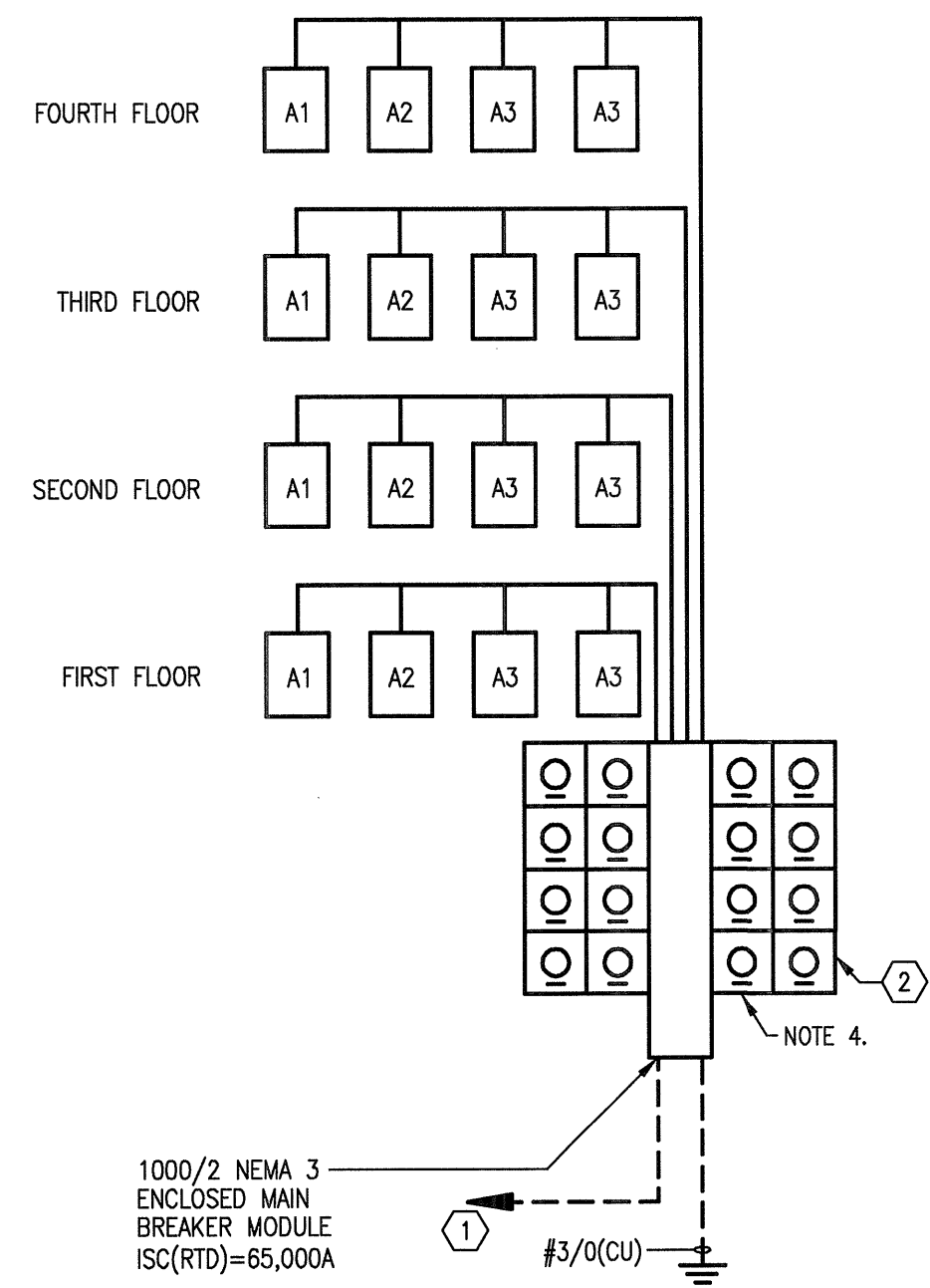
4 METER CENTER 12
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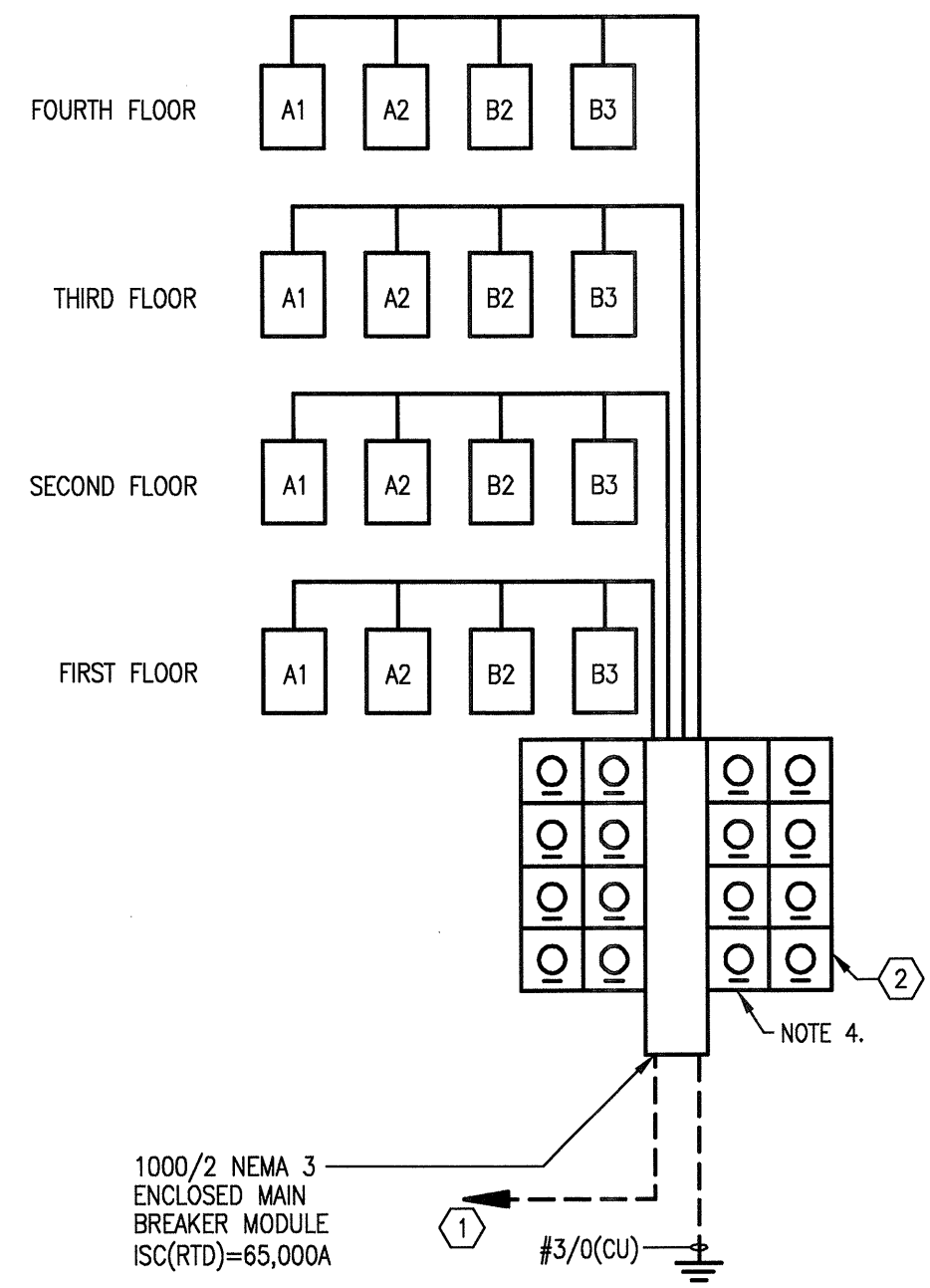
5 METER CENTER 13a
SCALE: NOT TO SCALE



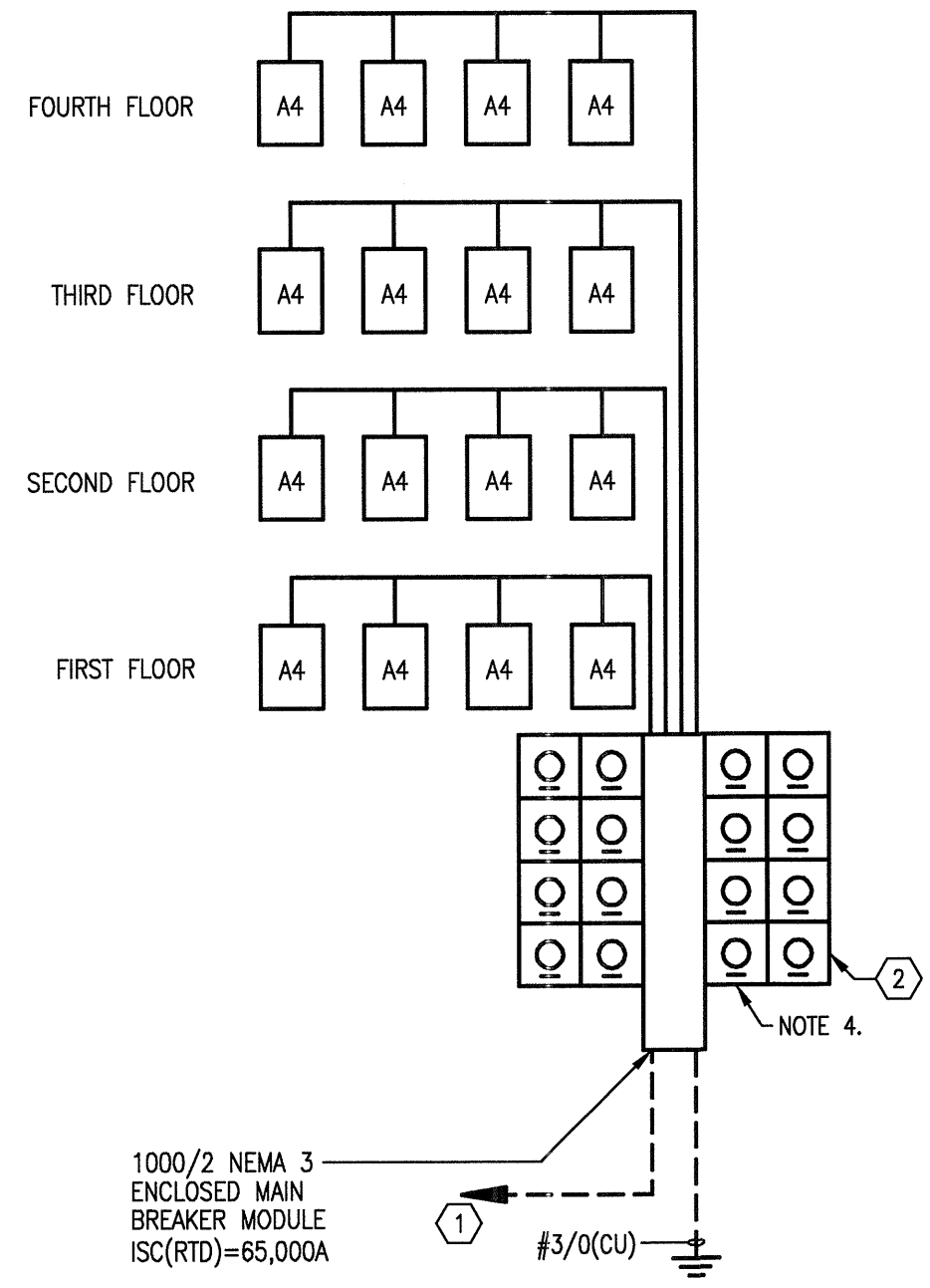
6 METER CENTER 13b
SCALE: NOT TO SCALE



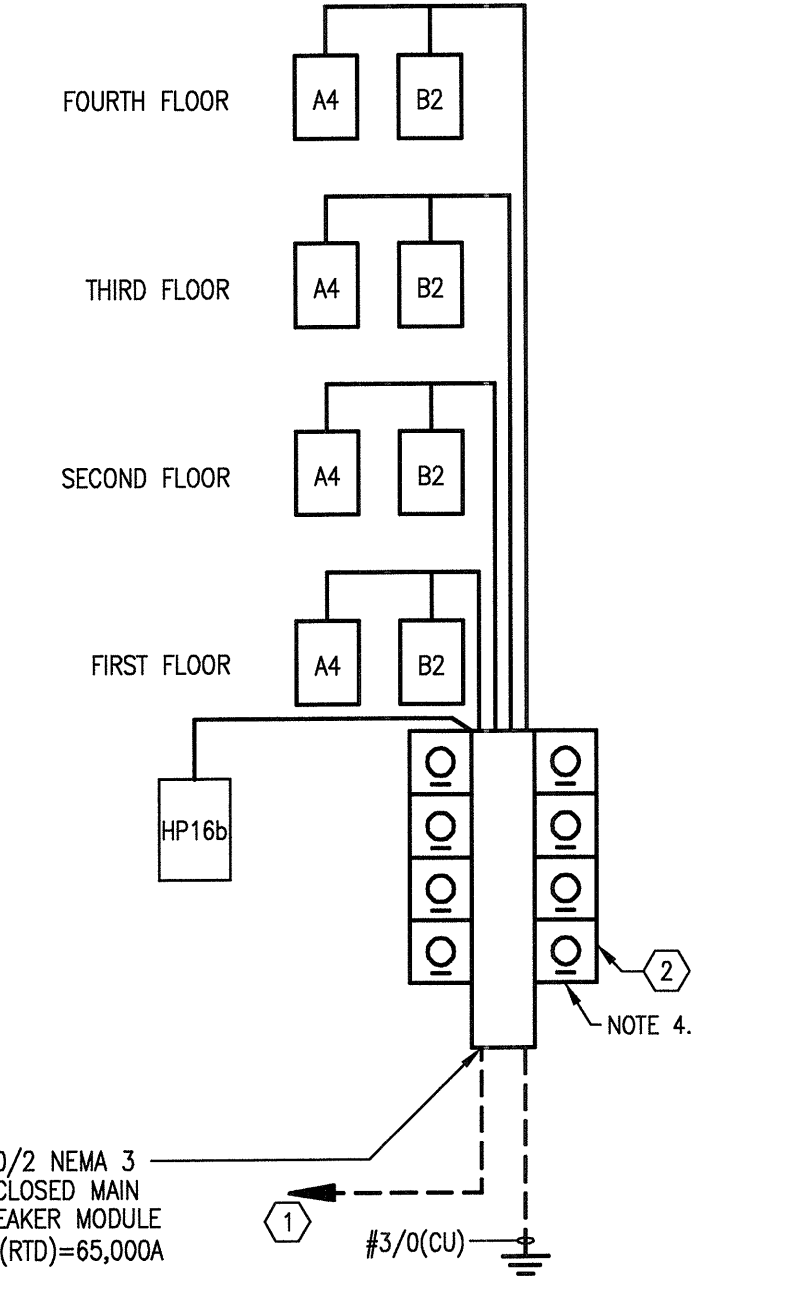
7 METER CENTER 14
SCALE: NOT TO SCALE



8 METER CENTER 15
SCALE: NOT TO SCALE



9 METER CENTER 16a
SCALE: NOT TO SCALE



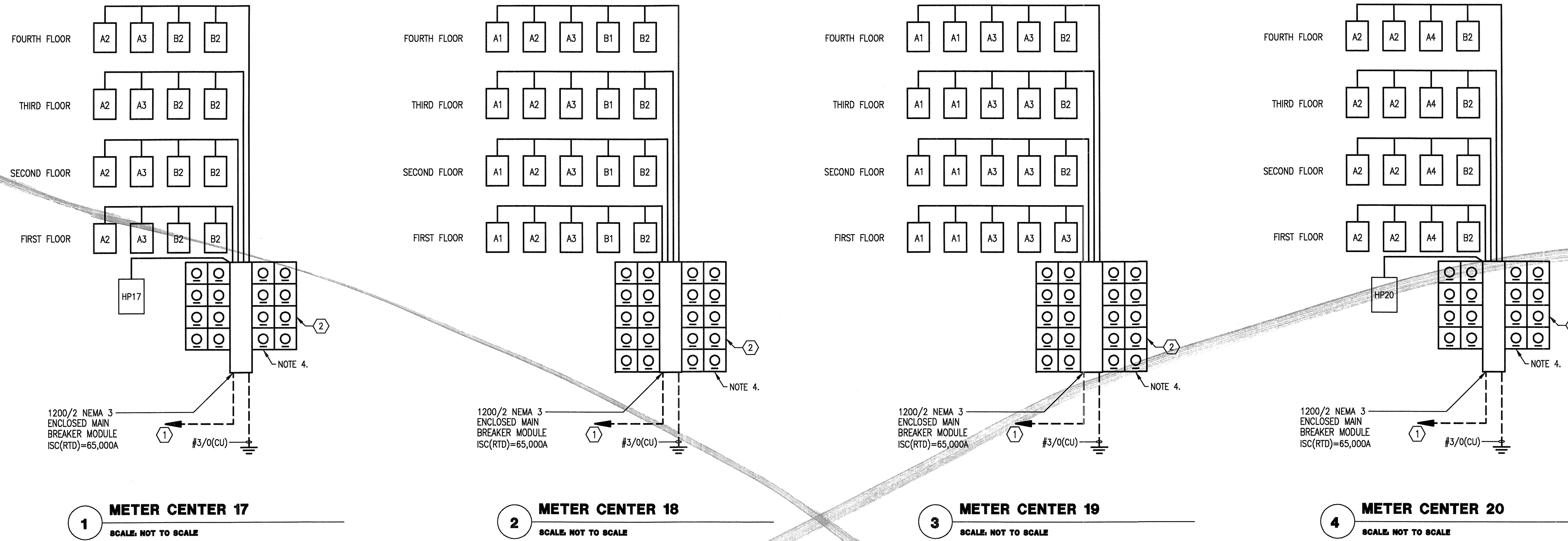
10 METER CENTER 16b
SCALE: NOT TO SCALE

GENERAL NOTES:

- THE 10 KAIC BREAKERS IN THE LOAD CENTERS AND THE 22 KAIC BREAKERS AT THE METERS SHALL BE SERIES RATED WITH THE 65 KAIC MAIN SERVICE BREAKERS FOR 65 KAIC PROTECTION AT THE LOAD CENTER AND METER. METER CENTERS AND LOAD CENTERS SHALL BE U.L. LISTED AND LABELED FOR THIS PURPOSE.
- CONTRACTOR SHALL PROVIDE A PLAQUE AT EACH SERVICE LOCATION DENOTING LOCATION FOR ALL OTHER SERVICES AT EACH BUILDING.

KEY NOTES:

- NOTE THAT POWER COMPANY PAD-MOUNTED TRANSFORMERS CAN ACCEPT A LIMITED NUMBER OF SECONDARY CONDUITS, THEREFORE, PROVIDE SERVICE ENTRANCE LATERALS AS FOLLOWS:
600A METER CENTER: (2 SETS) 3 #500MCM (AL. S.E.R.); 600A MAIN BREAKER.
800A METER CENTER: (3 SETS) 3 #400MCM (AL. S.E.R.); 800A MAIN BREAKER.
1000A METER CENTER: (3 SETS) 3 #600MCM (AL. S.E.R.); 1000A MAIN BREAKER.
1200A METER CENTER: (4 SETS) 3 #500MCM (AL. S.E.R.); 1200A MAIN BREAKER.
1600A METER CENTER: (4 SETS) 3 #600MCM (AL. S.E.R.); 1600A MAIN BREAKER.
- CONTRACTOR SHALL FURNISH AND INSTALL U.L. LISTED, SERIES CONNECTED RATED, CURRENT LIMITING CIRCUIT BREAKERS WITH AMPERE RATINGS INDICATED. BREAKER SHALL BE TESTED TO PROTECT DOWNSTREAM EQUIPMENT AT RATINGS INDICATED.
- PROVIDE 240 VOLT, 1-PHASE MAINS AND HOUSE PANELS, WITH SINGLE-PHASE, 240 VOLT SERVICE TO INDIVIDUAL UNITS. USE TO COORDINATE ENTIRE SERVICE ENTRANCE INSTALLATION WITH POWER COMPANY, BUILDING OFFICIAL(S), AND/OR LOCAL (ELECTRICAL) AHI.



HOUSE PANEL	FEEDER (S.E.R. AL)	OVERCURRENT PROTECTION
HP1a	3#3/0, 1#4G	125/2
HP1b	3#1/0, 1#6G	100/2
HP2	3#1/0, 1#6G	100/2
HP4	3#1/0, 1#6G	100/2
HP5	3#3/0, 1#4G	125/2
HP12	3#3/0, 1#4G	125/2
HP13a	3#1/0, 1#6G	100/2
HP18b	3#3/0, 1#4G	125/2
HP17	3#3/0, 1#4G	125/2
HP20	3-300KCMIL, 1#2G	225/2

UNIT PANEL	FEEDER (S.E.R. AL)	OVERCURRENT PROTECTION
A1	3#1/0, 1#6G	100/2
A1R	3#1/0, 1#6G	100/2
A2	3#1/0, 1#6G	100/2
A3	3#1/0, 1#6G	100/2
A4	3#1/0, 1#6G	100/2
B1	3#2/0, 1#6G	110/2
B2	3#2/0, 1#6G	110/2
B3	3#3/0, 1#4G	125/2
E1	3#1/0, 1#6G	100/2
E1R	3#1/0, 1#6G	100/2

DESCRIPTION	CONDUCTORS	STARTER/DISCONNECT	NOTES
AH/CU-A1, A2, B1A, B1B, B2A, B2B, E1	AH 2#8, 1#10G, 3/4"C.	BY DV. 15	.
	CU 2#12, 1#12G, 3/4"C.	20/2/3R	.
AH/CU-A1R, A2SP, A3 A4, B3A, B3B, E1R	AH 2#6, 1#10G, 1"C.	BY DV. 15	.
	CU 2#10, 1#10G, 3/4"C.	30/2/3R	.
AH/CU-1, 2, 3, 4	AH 2#4, 1#8G, 1-1/4"C.	BY DV. 15	.
	CU 2#4, 1#8G, 1-1/4"C.	60/2/3R	.
AH-T, AH-S, AH-T2 AH-PP, AH-L	AH 2#10, 1#10G, 1"C.	INTEGRAL	.
	CU 2#10, 1#10G, 1"C.	INTEGRAL	.
RTU-1 THRU 8	3#6, 1#10G, 1"C.	BY DV. 15	.
EF-1, 2, 3, T	3#12, 1#12G, 3/4"C.	\$	.
EH-A	3#10, 1#10G, 3/4"C.	30/2/1	.
EH-B	3#12, 1#12G, 3/4"C.	30/2/1	.
F-CR	3#12, 1#12G, 3/4"C.	20/1/20	.
EF-A	3#6, 1#10G, 1"C.	60/3/3R/50	.
EF-B	2#12, 1#12G, 3/4"C.	\$	WEATHER PROOF
EF-C THRU F	2#12, 1#12G, 3/4"C.	\$	WEATHER PROOF
BP-1	3#11, 1#6G, 1-1/2"C.	100/3/3R	.

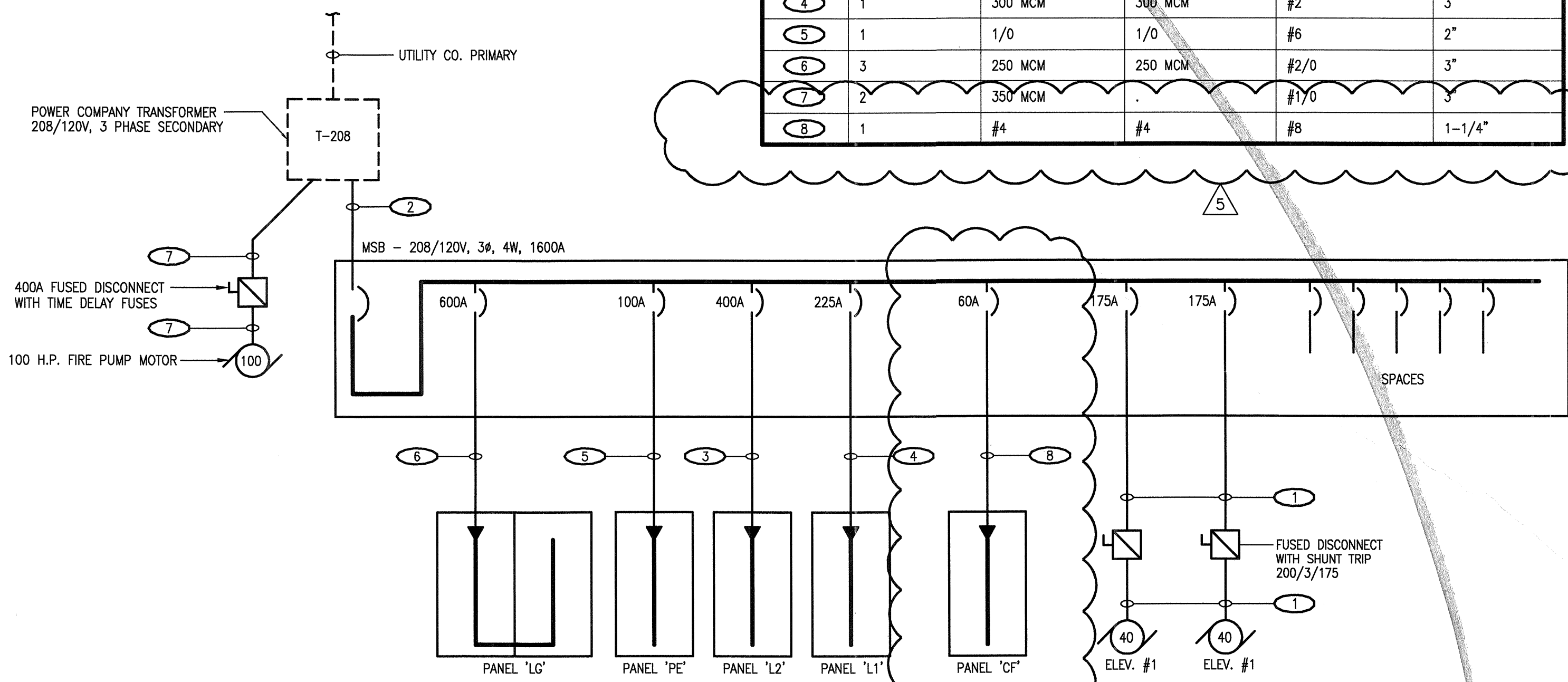
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KEY NOTES:

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FEEDER NUMBER	NUMBER OF SETS	PHASE CONDUCTOR SIZE	NEUTRAL CONDUCTOR SIZE	GROUNDING EQUIPMENT CONDUCTOR SIZE	CONDUIT SIZE
1	1	250 MCM	.	#4	2-1/2"
2	6	400 MCM	400 MCM	#350	4"
3	2	250 MCM	250 MCM	#1	3"
4	1	300 MCM	300 MCM	#2	3"
5	1	1/0	1/0	#6	2"
6	3	250 MCM	250 MCM	#2/0	3"
7	2	350 MCM	.	#1/0	3"
8	1	#4	#4	#8	1-1/4"



5 208/120V SINGLE LINE DIAGRAM
SCALE: NOT TO SCALE

REVISIONS	DATE	DESCRIPTION
1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE
5	12-21-2011	DESIGN REVISIONS

KELLER SPRINGS LOFTS
LOFT APARTMENTS IN ADDISON, TEXAS



BGO architects
4144 N. Central Expy.
Suite 855
Dallas, TX 75204
214.520.8878
bgoarchitects.com

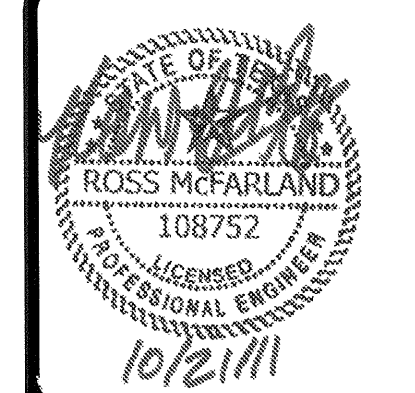
DATE
08-05-11

PROJECT
11129

SHEET NUMBER
E-1.3

RISERS

JSE Jordan & Skala Engineers
14220 Alsbury Road, Suite 350
Dallas, TX 75244-5138
P: (469) 305-1616 F: (469) 305-1615
Texas Firm Registration # F-4990
Drawn By: MJ Checked By: RAD



REVISIONS

1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE

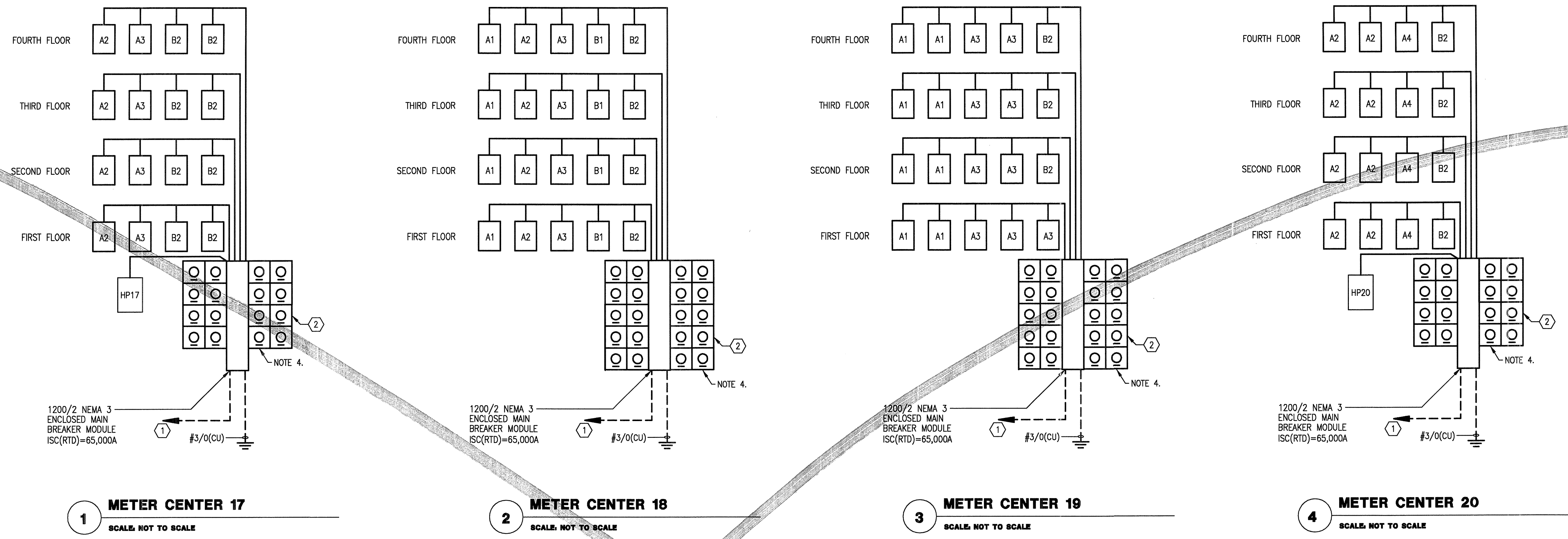
KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS

BGO architects
 4144 N. Central Expy. Suite 855
 Dallas, TX 75204
 214.520.8878
 bgoarchitects.com

DATE: 08-05-11
 PROJECT: 11129
 SHEET NUMBER: **E-1.3**
 RISERS

JSE Jordan & Skala Engineers
 14240 Skyway Road, Suite 330
 Dallas, TX 75244-2138
 V: 946.981-1616, F: 946.981-1615
 Project Number - 113-0355
 Drawn By: NJ
 Texas Firm Registration # F-4990
 Checked By: RAD



1 METER CENTER 17 SCALE, NOT TO SCALE
2 METER CENTER 18 SCALE, NOT TO SCALE
3 METER CENTER 19 SCALE, NOT TO SCALE
4 METER CENTER 20 SCALE, NOT TO SCALE

HOUSE PANEL FEEDER SCHEDULE

HOUSE PANEL	FEEDER (S.E.R. AL)	OVERCURRENT PROTECTION
HP11	3#3/0, 1#4G	125/2
HP16	3#1/0, 1#6G	100/2
HP2	3#1/0, 1#6G	100/2
HP4	3#1/0, 1#6G	100/2
HP5	3#3/0, 1#4G	125/2
HP12	3#3/0, 1#4G	125/2
HP16a	3#1/0, 1#6G	100/2
HP16b	3#3/0, 1#4G	125/2
HP17	3#3/0, 1#4G	125/2
HP20	3-300KCMIL, 1#2G	225/2

UNIT FEEDER SCHEDULE

UNIT PANEL	FEEDER (S.E.R. AL)	OVERCURRENT PROTECTION
A1	3#1/0, 1#6G	100/2
A1R	3#1/0, 1#6G	100/2
A2	3#1/0, 1#6G	100/2
A3	3#1/0, 1#6G	100/2
A4	3#1/0, 1#6G	100/2
B1	3#2/0, 1#6G	110/2
B2	3#2/0, 1#6G	110/2
B3	3#3/0, 1#4G	125/2
E1	3#1/0, 1#6G	100/2
E1R	3#1/0, 1#6G	100/2

MECHANICAL EQUIPMENT CONNECTION SCHEDULE

DESCRIPTION	CONDUCTORS	STARTER/DISCONNECT	NOTES
AH/CU-A1, A2, B1A, B1B, B2A, B2B, E1	AH 2#8, 1#10G, 3/4". CU 2#12, 1#12G, 3/4".	BY DIV. 15	.
AH/CU-A1R, A2SP, A3, A4, B3A, B3B, E1R	AH 2#6, 1#10G, 1". CU 2#10, 1#10G, 3/4".	BY DIV. 15	.
AH/CU-1, 2, 3, 4	AH 2#4, 1#8G, 1-1/4". CU 2#4, 1#8G, 1-1/4".	BY DIV. 15	.
AH-T, AH-S, AH-T2, AH-FP, AH-L	AH 2#10, 1#10G, 1". CU 2#10, 1#10G, 1".	INTEGRAL	.
RTU-1 THRU 8	3#6, 1#10G, 1".	BY DIV. 15	.
EF-1, 2, 3, T	3#12, 1#12G, 3/4".	\$	.
EH-A	3#10, 1#10G, 3/4".	30/2/1	.
EH-B	3#12, 1#12G, 3/4".	30/2/1	.
F-CR	3#12, 1#12G, 3/4".	20/1/20	.
EF-A	3#6, 1#10G, 1".	60/3/3R/50	.
EF-B	2#12, 1#12G, 3/4".	\$	WEATHER PROOF
EF-C THRU F	2#12, 1#12G, 3/4".	\$	WEATHER PROOF
BP-1	3#1, 1#6G, 1-1/2".	100/3/3R	.

GENERAL NOTES:

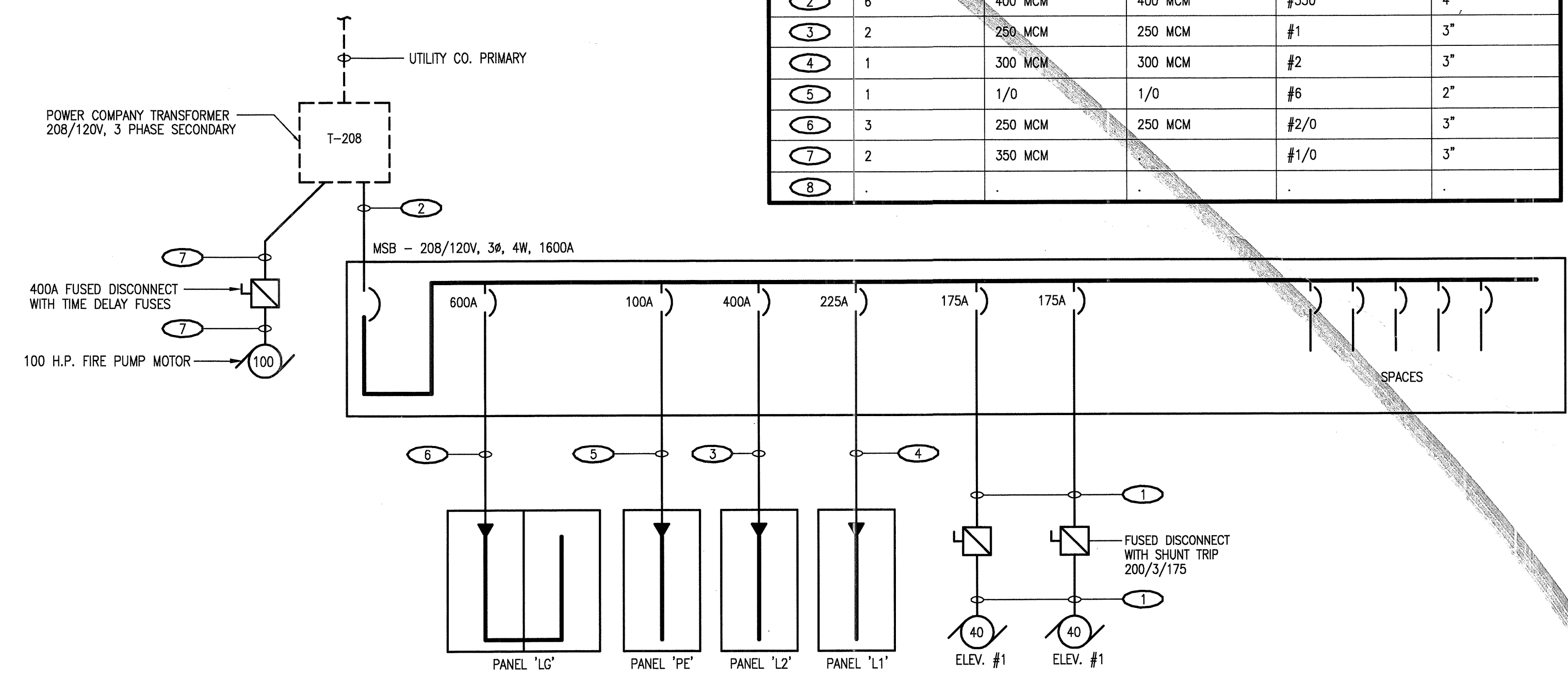
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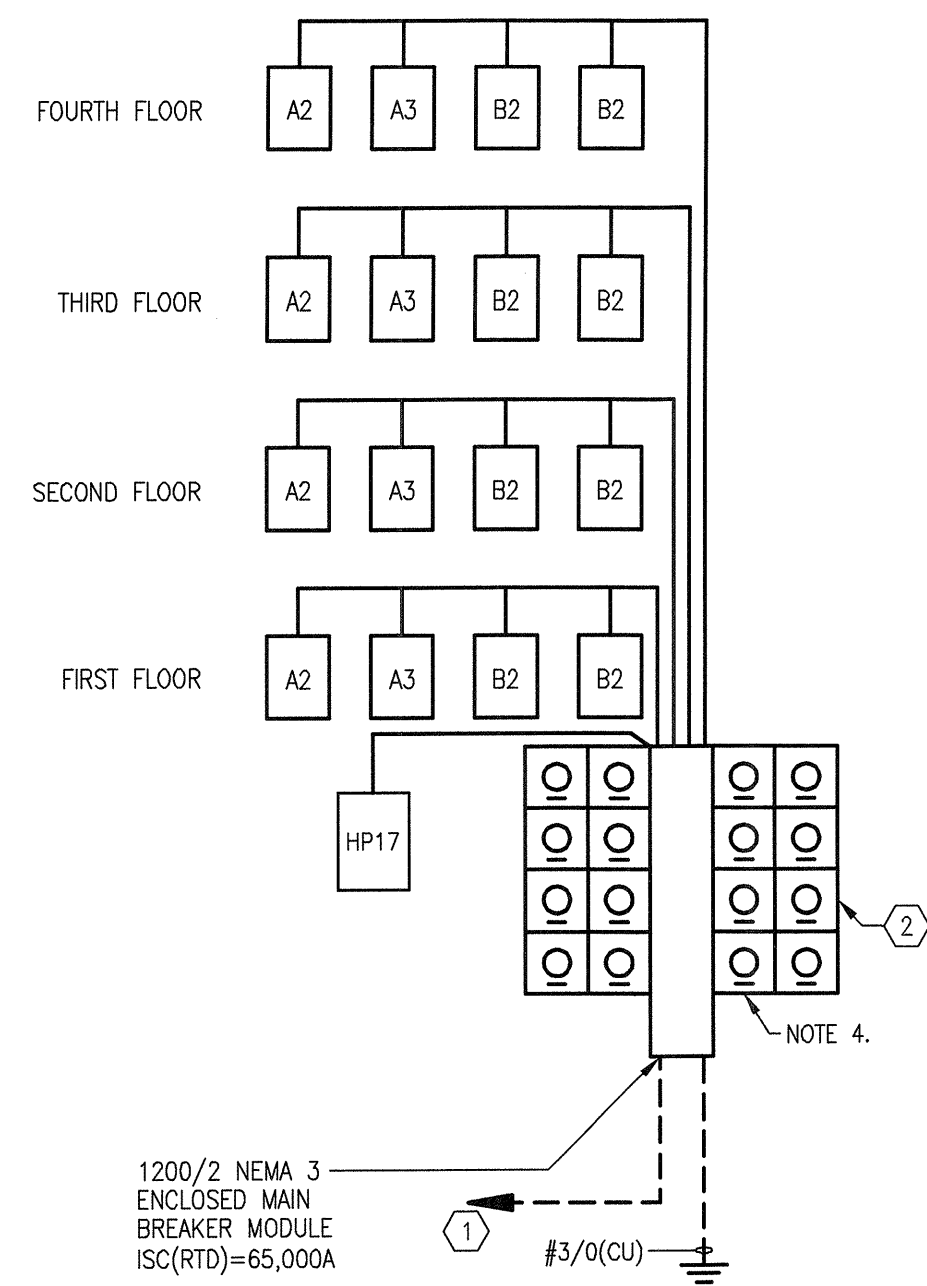
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SCHEDULE OF FEEDERS (AL, U.N.O.)

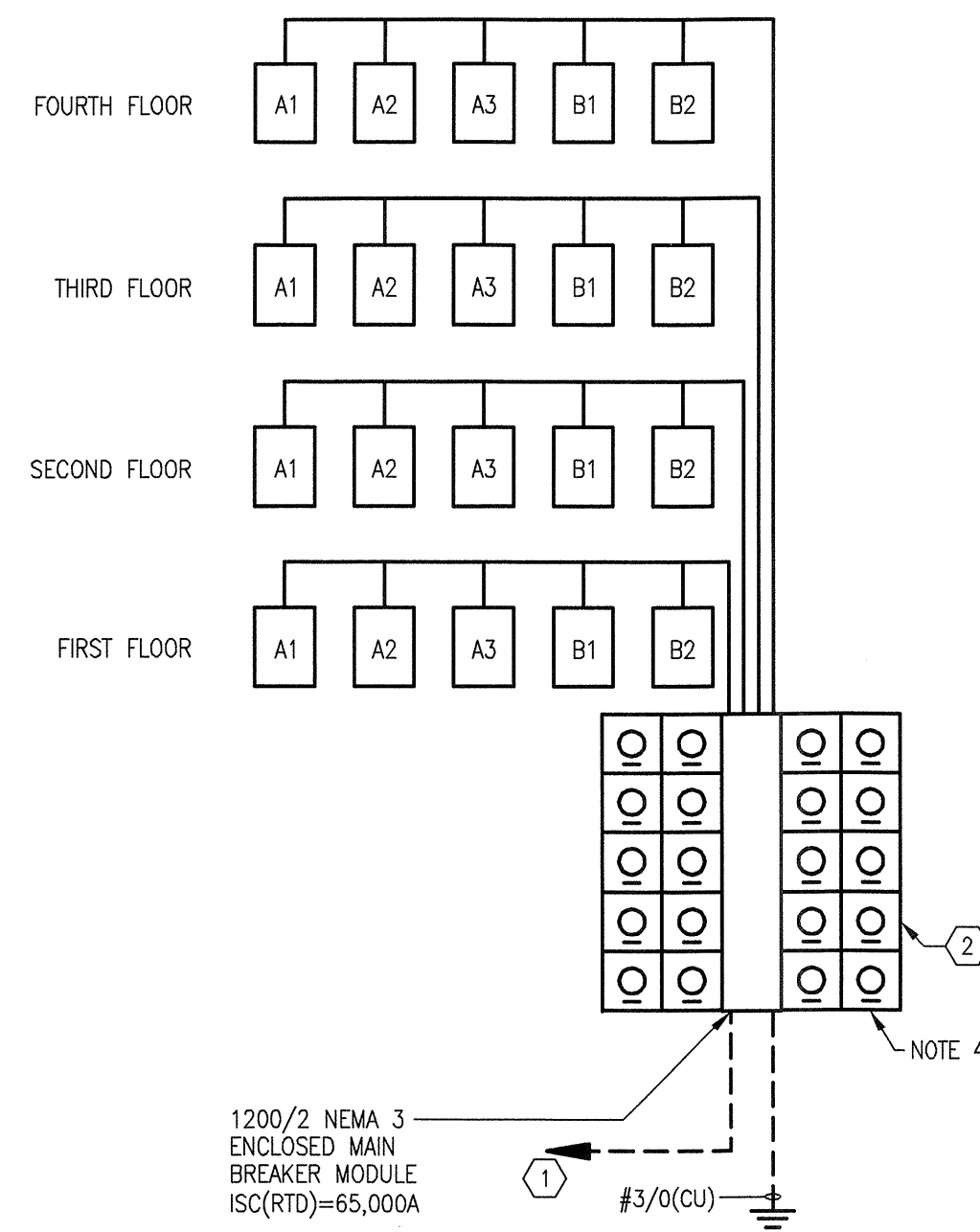
FEEDER NUMBER	NUMBER OF SETS	PHASE CONDUCTOR SIZE	NEUTRAL CONDUCTOR SIZE	GROUNDING EQUIPMENT CONDUCTOR SIZE	CONDUIT SIZE
1	1	250 MCM	.	#4	2-1/2"
2	6	400 MCM	400 MCM	#350	4"
3	2	250 MCM	250 MCM	#1	3"
4	1	300 MCM	300 MCM	#2	3"
5	1	1/0	1/0	#6	2"
6	3	250 MCM	250 MCM	#2/0	3"
7	2	350 MCM	.	#1/0	3"
8	.	.	.	.	.



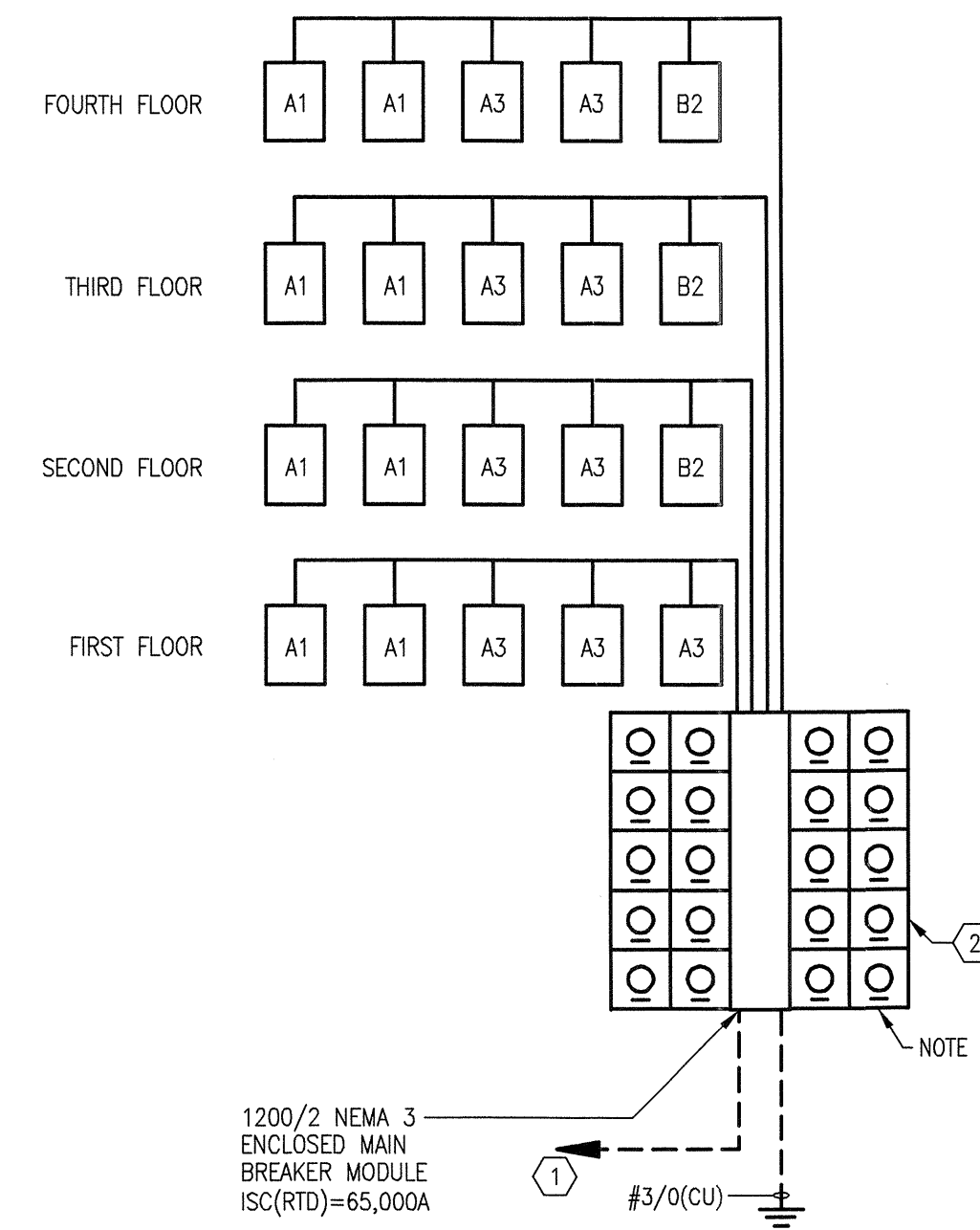
5 208/120V SINGLE LINE DIAGRAM SCALE, NOT TO SCALE



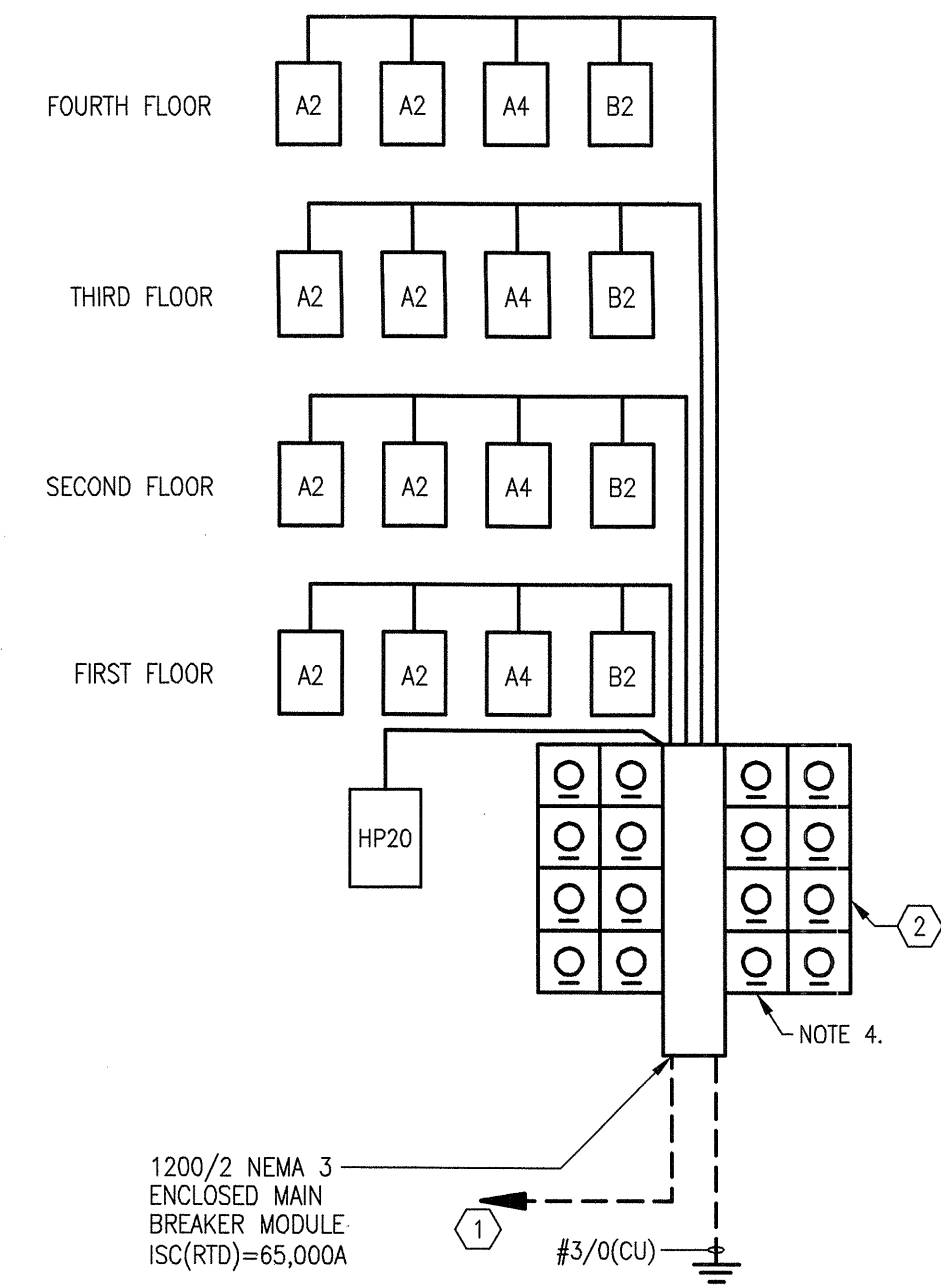
1 METER CENTER 17
SCALE: NOT TO SCALE



2 METER CENTER 18
SCALE: NOT TO SCALE



3 METER CENTER 19
SCALE: NOT TO SCALE



4 METER CENTER 20
SCALE: NOT TO SCALE

HOUSE PANEL	FEEDER (S.E.R. AL)	OVERCURRENT PROTECTION
HP1a	3#3/0, 1#4G	125/2
HP1b	3#1/0, 1#6G	100/2
HP2	3#1/0, 1#6G	100/2
HP4	3#1/0, 1#6G	100/2
HP5	3#3/0, 1#4G	125/2
HP12	3#3/0, 1#4G	125/2
HP13a	3#1/0, 1#6G	100/2
HP16b	3#3/0, 1#4G	125/2
HP17	3#3/0, 1#4G	125/2
HP20	3-300KCMIL, 1#2G	225/2

UNIT PANEL	FEEDER (S.E.R. AL)	OVERCURRENT PROTECTION
A1R	3#1/0, 1#6G	100/2
A2	3#1/0, 1#6G	100/2
A3	3#1/0, 1#6G	100/2
A4	3#1/0, 1#6G	100/2
B1	3#2/0, 1#6G	110/2
B2	3#2/0, 1#6G	110/2
B3	3#3/0, 1#4G	125/2
E1R	3#1/0, 1#6G	100/2
E1R	3#1/0, 1#6G	100/2

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DESCRIPTION	CONDUCTORS	STARTER/DISCONNECT	NOTES
AH/CU-A1, A2, B1A, B1B, B2A, B2B, E1	AH 2#8, 1#10G, 3/4"	BY DIV. 15	.
	CU 2#12, 1#12G, 3/4"	20/2/3R	.
AH/CU-A1R, A2SP, A3 A4, B3A, B3B, E1R	AH 2#6, 1#10G, 1"	BY DIV. 15	.
	CU 2#10, 1#10G, 3/4"	30/2/3R	.
AH/CU-1, 2, 3, 4	AH 2#4, 1#8G, 1-1/4"	BY DIV. 15	.
	CU 2#4, 1#8G, 1-1/4"	60/2/3R	.
AH-T, AH-S, AH-T2 AH-FP, AH-L	AH 2#10, 1#10G, 1"		
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EF-1, 2, 3, T	3#12, 1#12G, 3/4"	\$.
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EF-C THRU F	2#12, 1#12G, 3/4"	\$	WEATHER PROOF
BP-1	3#1, 1#6G, 1-1/2"	100/3/3R	.

GENERAL NOTES:

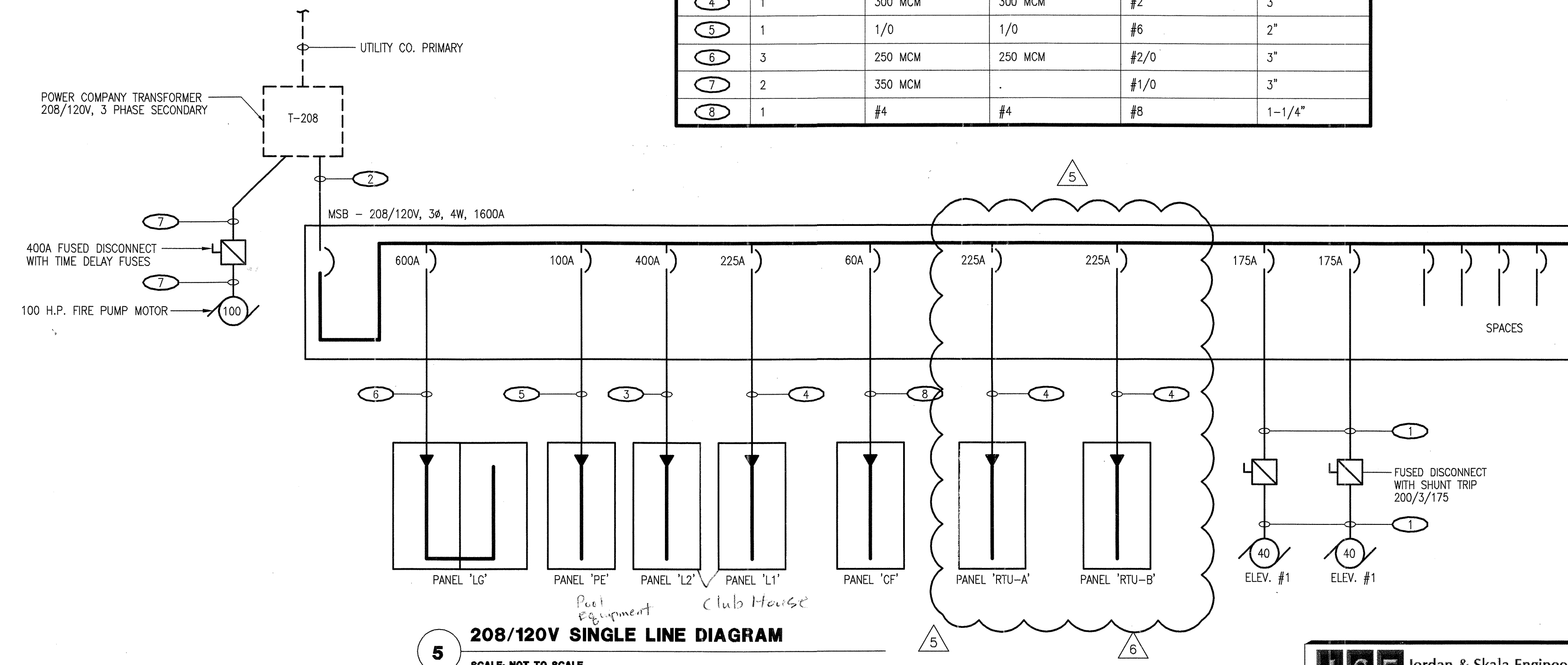
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600A METER CENTER: (2 SETS) 3 #500MCM (AL, S.E.R.); 600A MAIN BREAKER.
800A METER CENTER: (3 SETS) 3 #400MCM (AL, S.E.R.); 800A MAIN BREAKER.
1000A METER CENTER: (3 SETS) 3 #600MCM (AL, S.E.R.); 1000A MAIN BREAKER.
1200A METER CENTER: (4 SETS) 3 #500MCM (AL, S.E.R.); 1200A MAIN BREAKER.
1600A METER CENTER: (4 SETS) 3 #600MCM (AL, S.E.R.); 1600A MAIN BREAKER.
- CONTRACTOR SHALL FURNISH AND INSTALL U.L. LISTED, SERIES CONNECTED RATED, CURRENT LIMITING CIRCUIT BREAKERS WITH AMPERE RATINGS INDICATED. BREAKER SHALL BE TESTED TO PROTECT DOWNSTREAM EQUIPMENT AT RATINGS INDICATED.
- PROVIDE 240 VOLT, 1-PHASE MAINS AND HOUSE PANELS, WITH SINGLE-PHASE, 240 VOLT SERVICE TO INDIVIDUAL UNITS. USE TO COORDINATE ENTIRE SERVICE ENTRANCE INSTALLATION WITH POWER COMPANY, BUILDING OFFICIAL(S), AND/OR LOCAL (ELECTRICAL) AHJ.

SCHEDULE OF FEEDERS (AL, U.N.O.)

FEEDER NUMBER	NUMBER OF SETS	PHASE CONDUCTOR SIZE	NEUTRAL CONDUCTOR SIZE	GROUNDING EQUIPMENT CONDUCTOR SIZE	CONDUIT SIZE
1	1	250 MCM	.	#4	2-1/2"
2	6	400 MCM	400 MCM	#350	4"
3	2	250 MCM	250 MCM	#1	3"
4	1	300 MCM	300 MCM	#2	3"
5	1	1/0	1/0	#6	2"
6	3	250 MCM	250 MCM	#2/0	3"
7	2	350 MCM	.	#1/0	3"
8	1	#4	#4	#8	1-1/4"



5 208/120V SINGLE LINE DIAGRAM
SCALE: NOT TO SCALE

REVISIONS

1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE
5	12-21-2011	DESIGN REVISIONS

KELLER SPRINGS LOFTS
LOFT APARTMENTS IN ADDISON, TEXAS

BGO architects
4144 N. Central Expy.
Suite 855
Dallas, TX 75204
214.520.8878
bgoarchitects.com

DATE
08-05-11

PROJECT
11129

SHEET NUMBER
E-1.3

RISERS

JSE Jordan & Skala Engineers
14740 Meadow Road, Suite 350
Dallas, TX 75244-5138
V: (469) 385-1616 F: (469) 385-1615
Project Number: 113-0355
Drawn By: MJ
Texas Firm Registration # F-4990
Checked By: RAD

EMBREY BUILDERS, LLC.
1020 N. E. Loop 410, Suite 700
San Antonio, TX 78209
Ph: (210) 824-6044 Fax: (210) 824-7659

RFI

To: Jordan & Skala Engineers, Inc. RFI #: 16
14240 Midway Road, Suite 350 Date: 12/28/2011
Dallas, TX 75244 Job: EB-02 Keller Springs Lofts
Ph: 469/385-1616 Fax: 469/385-1615 Phone: 877-777-5115

CC: David Gallagher (Embrey Build (Embrey Construction LLC))

Subject: RTU 1,3,4,5,6,7,8

Drawing: E1.6 Spec Section:
Cost Impact: None Schedule Impact: None

Request: Date Required: 12/2012
sheet E1.6 show RTU 1,3,4,5,6,7,8 being fed out of the house panel with 3 pole breakers house panels are 120/240V single phase according to TDI the HVAC subcontractor and attached cut sheets RTU must be 120/208V three phase we cannot feed 3-phase equipment from a single phase panel!

MSF proposes the following solution
1) the RTU be deleted from the house panels
2) RTU-2 be deleted from switchboard MSB
3) add (2) 3 pole breakers to switchboard MSB that will sub feed (1) 3-phase subpanel in each building (RTU-A & RTU-B) that will solely dedicated to services the (4) RTU units in each building
4) locate (1) of the sub panels (RTU-A) in the closet adjacent to HP-5 and the other (RTU-B) in the closet adjacent to HP-20
5) feed RTU from these locations with wire type and wire size as indicated on our sketch and per our voltage drop calculations for 5% voltage drop using the actual load of 38.1 amps at 208V 3 phase

Requested by: Bryan Pickler
Embrey Partners, Ltd.

Response:

The above listed proposes are acceptable and have been incorporated into the electrical plans. Reference the attached E1.3, E1.6, E1.7, E3.1B, and E3.1D. The revisions have been clouded with a delta 6 for reference.

Heath Parnell

Answered by: JSB Date: 1/5/12
Company: Date:

EMBREY BUILDERS, LLC.
1020 N. E. Loop 410, Suite 700
San Antonio, TX 78209
Ph: (210) 824-6044 Fax: (210) 824-7656

1
①

RFI

To: Jordan & Skala Engineers, Inc. RFI #: 34
14240 Midway Road, Suite 350 Date: 1/17/2012
Dallas, TX 75244 Job: ES-02 Keller Springs Lofts
Ph: 480/385-1616 Fax: 480/385-1615 Phone: 877-777-6115

CC: Enviro Design Landscape

Subject: Fountain Equipment power and panel location

Drawing: E-1.3, E-1.7 Spec Section:
Cost Impact: None Schedule Impact: None

Request: Date Required: 1/24/2012
On sheet E-1.3 on 1/22/11 a Panel 'CP' was added to the panel as a design revision. Is this for the fountain courtyard including the fountain equipment?
Sheet E-1.7 Panelboard schedule 'CP' has a note for contractor to coordinate with landscape and architect on location of 'CP' Panel. In talking with my electrician and pool contractor, we all feel the location for the CP panel should be located at the pop-out area in building between the patio's located to the southeast of the fountain equipment vault, which would be about 14' away from the power. By locating this panel in the courtyard, it would make any future changes or additions for the power requirements to the courtyard readily available.
Requested by: Bryan Pichler
Embrey Partners, Ltd.

Response: We are fine with the proposed location of the electric panel. We do have a proposed Japanese Yew that will be in conflict with the panel, so we recommend not installing the Japanese Yew and just filling the area in with Litrope groundcover.

Please let us know if you need anything else. Thanks.

JSE Response: Panel 'CP' serves the fountain courtyard and the fountain equipment.

Relocating the panel as noted by Enviro Design is acceptable.
- Mike Jennings/Heath Parnell, Jordan & Skala 2/6/2012

Brian Arthur

Answered by Enviro Design January 17, 2012

Company Enviro Design Date

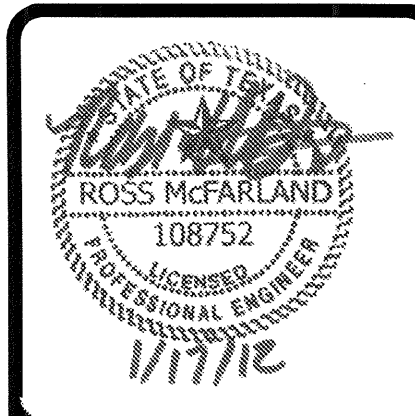
PANELBOARD SCHEDULE - "L1"																						
MAIN: 125A MLO			VOLTAGE: 208/120						PHASE: 3			WIRE: 4			MOUNTING: SURFACE			AIC: 22,000				
CKT #	TRIP #	POLE	DESCRIPTION	LOAD (KVA)						TRIP	CKT #											
				LTG	REC	MTR	A/C	HTG	KIT			MISC										
1	20/1	RECEPTS - PRINT/FAX						0.6		20/1	2											
2	20/1	RECEPTS - PRINT/FAX						0.7		20/1	4											
3	20/1	RECEPTS - EXERCISE						0.6		20/1	6											
4	20/1	RECEPTS - EXERCISE						1.0		20/1	8											
5	20/1	RECEPTS - EXERCISE						0.8		20/1	10											
6	20/1	RECEPTS - EXERCISE						0.8		20/1	12											
7	20/1	RECEPTS - EXERCISE						0.8		20/1	14											
8	20/1	RECEPTS - EXERCISE						0.7		20/1	16											
9	20/1	RECEPTS - PRINT/FAX						1.0		20/1	18											
10	20/1	RECEPTS - CLUB						0.9		20/1	20											
11	20/1	REFRIG.						0.6		20/1	22											
12	20/1	KITCHEN RECEPTS						0.6		20/1	24											
13	20/1	DISHWASHER						1.0		20/1	26											
14	20/1	RECEPTS - COFFEE						0.6		20/1	28											
15	20/1	RECEPTS - VIDEO						1.0		20/1	30											
16	20/1	RECEPTS - CLUB TV						0.6		25/1	32											
17	20/1	LTG - 1ST FLR						2.0			34											
18	20/1	RECEPTS - 1ST FLR						1.0		20/1	36											
19	20/1	LTG - 2ND FLR						0.6		20/1	38											
20	20/1	RECEPTS - 2ND FLR						1.2		20/1	40											
21	20/1	MICROWAVE						1.2		20/1	42											
22	20/1	2ND FLOOR TELECOM						0.4		20/1	44											
23	20/1	2ND FLOOR TELECOM						0.4		20/1	46											
24	20/1	4TH FLOOR TELECOM						0.4		20/1	48											
25	20/1	4TH FLOOR TELECOM						0.4		20/1	50											
26	20/1	SPARE								20/1	52											
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42	20/1	SPARE								20/1	84											
43	20/1	2ND FLOOR TELECOM						0.4		20/1	44											
44	20/1	2ND FLOOR TELECOM						0.4		20/1	46											
45	20/1	4TH FLOOR TELECOM						0.4		20/1	48											
46	20/1	4TH FLOOR TELECOM						0.4		20/1	50											
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161	20/1	SPARE								20/1	280											
162	20/1	SPARE								20/1	282											
163	20/1</																					

PANELBOARD SCHEDULE - "L1"

MAIN: 125A MLO		VOLTAGE: 208/120										PHASE: 3			WIRE: 4			MOUNTING: SURFACE		AIC: 22,000	
CKT #	TRIP	POLE	DESCRIPTION	LOAD (KVA)			PHASE			LOAD (KVA)			TRIP	CKT #							
				LTG	REC	MTR	A/C	HTG	HTG	HTG	HTG	HTG			HTG						
1	20/1		RECEPTS - PRINT/FAX	1.0									20/1	2							
2	20/1		RECEPTS - EXERCISE	1.2									20/1	4							
3	20/1		RECEPTS - EXERCISE	1.4									20/1	6							
4	20/1		RECEPTS - EXERCISE	1.2									20/1	8							
5	20/1		RECEPTS - EXERCISE	1.0									20/1	10							
6	20/1		RECEPTS - EXERCISE	1.0									20/1	12							
7	20/1		RECEPTS - EXERCISE	1.0									20/1	14							
8	20/1		RECEPTS - EXERCISE	1.0									20/1	16							
9	20/1		RECEPTS - EXERCISE	1.0									20/1	18							
10	20/1		RECEPTS - EXERCISE	1.0									20/1	20							
11	20/1		RECEPTS - EXERCISE	1.0									20/1	22							
12	20/1		RECEPTS - EXERCISE	1.0									20/1	24							
13	20/1		RECEPTS - EXERCISE	1.0									20/1	26							
14	20/1		RECEPTS - EXERCISE	1.0									20/1	28							
15	20/1		RECEPTS - EXERCISE	1.0									20/1	30							
16	20/1		RECEPTS - EXERCISE	1.0									20/1	32							
17	20/1		RECEPTS - EXERCISE	1.0									20/1	34							
18	20/1		RECEPTS - EXERCISE	1.0									20/1	36							
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20	20/1		RECEPTS - EXERCISE	1.0									20/1	40							
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22	20/1		RECEPTS - EXERCISE	1.0									20/1	44							
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26	20/1		RECEPTS - EXERCISE	1.0									20/1	52							
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46	20/1		RECEPTS - EXERCISE	1.0									20/1	92							
47	20/1		RECEPTS - EXERCISE	1.0									20/1	94							
48	20/1		RECEPTS - EXERCISE	1.0									20/1	96							
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50	20/1		RECEPTS - EXERCISE	1.0									20/1	100							
51	20/1		RECEPTS - EXERCISE	1.0									20/1	102							
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54	20/1		RECEPTS - EXERCISE	1.0									20/1	108							
55	20/1		RECEPTS - EXERCISE	1.0									20/1	110							
56	20/1		RECEPTS - EXERCISE	1.0									20/1	112							
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59	20/1		RECEPTS - EXERCISE	1.0									20/1	118							
60	20/1		RECEPTS - EXERCISE	1.0									20/1	120							
61	20/1		RECEPTS - EXERCISE	1.0									20/1	122							
62	20/1		RECEPTS - EXERCISE	1.0									20/1	124							
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66	20/1		RECEPTS - EXERCISE	1.0									20/1	132							
67	20/1		RECEPTS - EXERCISE	1.0									20/1	134							
68	20/1		RECEPTS - EXERCISE	1.0									20/1	136							
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72	20/1		RECEPTS - EXERCISE	1.0									20/1	144							
73	20/1		RECEPTS - EXERCISE	1.0									20/1	146							
74	20/1		RECEPTS - EXERCISE	1.0									20/1	148							
75	20/1		RECEPTS - EXERCISE	1.0									20/1	150							
76	20/1		RECEPTS - EXERCISE	1.0									20/1	152							
77	20/1		RECEPTS - EXERCISE	1.0									20/1	154							
78	20/1		RECEPTS - EXERCISE	1.0									20/1	156							
79	20/1		RECEPTS - EXERCISE	1.0									20/1	158							
80	20/1		RECEPTS - EXERCISE	1.0									20/1	160							
81	20/1		RECEPTS - EXERCISE	1.0									20/1	162							
82	20/1		RECEPTS - EXERCISE	1.0									20/1	164							
83	20/1		RECEPTS - EXERCISE	1.0									20/1	166							
84	20/1		RECEPTS - EXERCISE	1.0									20/1	168							
85	20/1		RECEPTS - EXERCISE	1.0									20/1	170							
86	20/1		RECEPTS - EXERCISE	1.0									20/1	172							
87	20/1		RECEPTS - EXERCISE	1.0									20/1	174							
88	20/1		RECEPTS - EXERCISE	1.0									20/1	176							
89	20/1		RECEPTS - EXERCISE	1.0									20/1	178							
90	20/1		RECEPTS - EXERCISE	1.0									20/1	180							
91	20/1		RECEPTS - EXERCISE	1.0									20/1	182							
92	20/1		RECEPTS - EXERCISE	1.0									20/1	184							
93	20/1		RECEPTS - EXERCISE	1.0									20/1	186							
94	20/1		RECEPTS - EXERCISE	1.0									20/1	188							
95	20/1		RECEPTS - EXERCISE	1.0									20/1	190							
96	20/1		RECEPTS - EXERCISE	1.0									20/1	192							
97	20/1		RECEPTS - EXERCISE	1.0									20/1	194							
98	20/1		RECEPTS - EXERCISE	1.0									20/1	196							
99	20/1		RECEPTS - EXERCISE	1.0									20/1	198							
100	20/1		RECEPTS - EXERCISE	1.0									20/1	200							

PANELBOARD SCHEDULE - "PE"

MAIN: 100A MLO		VOLTAGE: 208/120										PHASE: 3			WIRE: 4			MOUNTING: SURFACE		AIC: 22,000	
CKT #	TRIP	POLE	DESCRIPTION	LOAD (KVA)			PHASE			LOAD (KVA)			TRIP	CKT #							
				LTG	REC	MTR	A/C	HTG	HTG	HTG	HTG	HTG			HTG						
1	20/1		SPACE										20/1	2							
2	20/1		SPACE										20/1	4							
3	20/1		SPACE										20/1	6							
4	20/1		SPACE										20/1	8							
5	20/1		SPACE										20/1	10							
6	20/1		SPACE										20/1	12							
7	20/1		SPACE										20/1	14							
8	20/1		SPACE										20/1	16							
9	20/1		SPACE										20/1	18							
10	20/1		SPACE										20/1	20							
11	20/1		SPACE										20/1	22							
12	20/1		SPACE										20/1	24							
13	20/1		SPACE										20/1	26							
14	20/1		SPACE										20/1	28							
15	20/1		SPACE										20/1	30							
16	20/1		SPACE										20/1	32							
17	20/1		SPACE										20/1	34							
18	20/1		SPACE										20/1	36							
19	20/1		SPACE										20/1	38							
20	20/1		SPACE										20/1	40							
21	20/1		SPACE										20/1	42							
22	20/1		SPACE										20/1	44							
23	20/1		SPACE										20/1	46							
24	20/1		SPACE										20/1	48							
25	20/1		SPACE										20/1	50							
26	20/1		SPACE										20/1	52							
27	20/1		SPACE										20/1	54							
28	20/1		SPACE										20/								



- REVISIONS
- 1 9-2-2011 DESIGN REVISIONS
 - 2 9-13-2011 ANSI/FHA COMMENTS
 - 3 9-23-2011 DESIGN REVISIONS
 - 4 10-17-2011 CONSTRUCTION ISSUE
 - 5 12-21-2011 DESIGN REVISIONS
 - 6 1-17-2012 DESIGN REVISIONS

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS



4144 N. Central Expy.
Suite 855
Dallas, TX 75204
214.520.8878
bgoarchitects.com

DATE
08-05-11

PROJECT
11129

SHEET NUMBER

E-1.7

PANEL SCHEDULES

JSE Jordan & Skala Engineers
13208 Midway Road, Suite 350
Dallas, TX 75244-9118
V: (469) 393-1616 F: (469) 383-1613
Project Number - 113-0555 Texas Firm Registration # F-4990
Drawn By: MJ Checked By: RAD

SWITCHBOARD SCHEDULE - 'MSB'

MAIN: 1600A		VOLTAGE: 208/120		PHASE: 3		WIRE: 4		MOUNTING: SURFACE		AIC: 22,000		
MTG:	FLOOR	LOAD (KVA)		LOAD (KVA)		LOAD (KVA)		LOAD (KVA)		LOAD (KVA)		
CT	TRIP	TRIP	POLE	DESCRIPTION	LTG	REC	MTR	A/C	HTG	KIT	MISC	
1	600	600	3	PANEL LG	11.0	0.2	12.4	11.1	2.0	0.0	2.5	
2	100	100	3	PANEL PE	2.0	1.6	5.0	1.1	2.0	0.0	0.0	
3	200	175	3	ELEV. #1	1.0	0.0	6.0	1.5	0.0	0.0	0.0	
4	200	175	3	ELEV. #2	1.0	0.0	5.0	2.6	2.0	0.0	0.0	
5	225	225	3	PANEL L1	4.1	8.8	0.0	0.0	2.0	0.0	0.0	
6	400	400	3	PANEL L2	3.1	9.2	0.0	0.0	2.0	0.0	0.0	
7	225	225	3	RTU-A	0.0	0.6	1.6	12.0	17.0	1.0	0.0	
8	100	60	3	PANEL CF	2.0	0.8	2.5	0.0	0.0	0.0	0.0	
9	100	60	3	PANEL CF	2.0	0.6	2.5	0.0	0.0	0.0	0.0	
10	225	225	3	RTU-B	2.0	0.2	2.5	0.0	0.0	0.0	0.0	
CONNECTED LOAD (KVA):					59.7	49.7	35.4	172.6	185.6	80.0	1.0	7.4
DEMAND LOAD (KVA):					518.6	PHASE A		1539.9	184.1			
CONNECTED LOAD (AMPS):					1475.6	PHASE B		1512.5	181.5			
DEMAND LOAD (AMPS):					1439.4	PHASE C		1384.2	166.1			
AMPACITY REQUIRED:					1473.9							

NOTES:
1. INSTALL SWITCHBOARD ON 3" HIGH CONCRETE PAD (LENGTH AND WIDTH EXCEEDING BASE BY 3" ON ALL SIDES.)

PANELBOARD SCHEDULE - "LG"

MAIN: 600A MLO		VOLTAGE: 208/120		PHASE: 3		WIRE: 4		MOUNTING: SURFACE		AIC: 22,000		
CT	TRIP	TRIP	POLE	DESCRIPTION	LTG	REC	MTR	A/C	HTG	KIT	MISC	
1	20/2	---	---	GARAGE LIGHTING	1.4	---	---	---	---	---	---	
3	---	---	---	---	4.2	---	---	---	---	---	---	
5	20/2	---	---	GARAGE LIGHTING	1.4	---	---	---	---	---	---	
7	---	---	---	---	4.2	---	---	---	---	---	---	
9	20/2	---	---	GARAGE LIGHTING	1.4	---	---	---	---	---	---	
11	---	---	---	---	0.7	---	---	---	---	---	---	
13	---	---	---	---	1.4	---	---	---	---	---	---	
15	---	---	---	---	0.7	---	---	---	---	---	---	
17	20/2	---	---	GARAGE LIGHTING	1.4	---	---	---	---	---	---	
19	---	---	---	---	1.6	---	---	---	---	---	---	
21	20/2	---	---	GARAGE LIGHTING	1.4	---	---	---	---	---	---	
23	---	---	---	---	3.1	---	---	---	---	---	---	
25	20/2	---	---	GARAGE LIGHTING	1.4	---	---	---	---	---	---	
27	---	---	---	---	1.4	---	---	---	---	---	---	
29	20/2	---	---	GARAGE LIGHTING	1.4	---	---	---	---	---	---	
31	---	---	---	---	1.6	---	---	---	---	---	---	
33	20/2	---	---	AH-E1	1.6	---	---	---	---	---	---	
35	---	---	---	---	1.6	---	---	---	---	---	---	
37	20/2	---	---	HP-E1	1.6	---	---	---	---	---	---	
39	---	---	---	---	1.6	---	---	---	---	---	---	
41	20/1	---	---	SPACE	20/1	---	---	---	---	---	---	
43	35/3	---	---	TRASH COMPACTOR	2.1	---	---	---	---	---	---	
45	---	---	---	---	2.1	---	---	---	---	---	---	
47	---	---	---	---	2.1	---	---	---	---	---	---	
49	20/1	---	---	LIGHTING - ROOF	1.4	---	---	---	---	---	---	
51	20/1	---	---	LIGHTING - ROOF	1.4	---	---	---	---	---	---	
53	20/1	---	---	LIGHTING - ROOF	1.4	---	---	---	---	---	---	
55	20/1	---	---	SPARE	---	---	---	---	---	---	---	
57	20/1	---	---	LIGHTING - EMER/EXIT	1.0	0.2	---	---	---	---	---	
59	20/1	---	---	LIGHTING TRASH	0.1	0.2	---	---	---	---	---	
61	20/1	---	---	SUMP PUMP	---	0.2	---	---	---	---	---	
63	20/1	---	---	F.S.D'S	1.0	---	---	---	---	---	---	
65	20/1	---	---	EXHAUST FANS	1.0	---	---	---	---	---	---	
67	20/1	---	---	F.S.D'S	0.2	---	---	---	---	---	---	
69	20/1	---	---	REC. ELEV. PIT	0.2	---	---	---	---	---	---	
71	20/1	---	---	REC. ELEV. PIT	0.2	---	---	---	---	---	---	
73	20/1	---	---	LIGHTING - TRASH	1.2	0.2	---	---	---	---	---	
75	20/1	---	---	LIGHTING STAIRWELL	1.6	---	---	---	---	---	---	
77	20/2	---	---	AH-T	---	---	---	---	---	---	---	
79	---	---	---	---	1.6	---	---	---	---	---	---	
81	20/2	---	---	HP-T	1.6	---	---	---	---	---	---	
83	---	---	---	---	1.6	---	---	---	---	---	---	
LIGHTING (KVA):					30.5	30.5	0.8	8.7	12.8	0.0	0.0	
RECEPTACLES (KVA):					0.8	PHASE A		39	326.4			
MOTORS (KVA):					31.4	PHASE B		39	328.3			
A/C (KVA):					38.0	PHASE C		31	259.2			
HEATING (KVA):					4.0	KVA		AMPS	15.1			
KITCHEN (KVA):					0.0	AMPACITY REQUIRED: 325.5						
MISCELLANEOUS (KVA):					5.0							

NOTE: BREAKERS PROTECTING MULTI-WIRE BRANCH CIRCUITS SHALL BE EQUIPPED WITH A PAD-LOCK DEVICE SO THAT CIRCUITS CAN BE DISCONNECTED SIMULTANEOUSLY.

PANELBOARD SCHEDULE - "PE"

MAIN: 100A MLO		VOLTAGE: 208/120		PHASE: 3		WIRE: 4		MOUNTING: SURFACE		AIC: 22,000		
CT	TRIP	TRIP	POLE	DESCRIPTION	LTG	REC	MTR	A/C	HTG	KIT	MISC	
1	20/1	---	---	SPACE	2.5	---	---	---	---	---	---	
3	20/1	---	---	SPACE	2.5	---	---	---	---	---	---	
5	30/3	---	---	3 HP PUMP	2.5	---	---	---	---	---	---	
7	---	---	---	---	2.5	---	---	---	---	---	---	
9	---	---	---	---	2.5	---	---	---	---	---	---	
11	30/3	---	---	3 HP PUMP	2.5	---	---	---	---	---	---	
13	---	---	---	---	2.5	---	---	---	---	---	---	
15	---	---	---	---	2.5	---	---	---	---	---	---	
17	20/2	---	---	AH-E1	1.1	---	---	---	---	---	---	
19	---	---	---	---	1.1	---	---	---	---	---	---	
21	20/1	---	---	EF-8.9	1.0	---	---	---	---	---	---	
23	20/1	---	---	EH-A	2.0	---	---	---	---	---	---	
25	20/1	---	---	---	2.0	---	---	---	---	---	---	
27	20/1	---	---	HP-E1	1.5	---	---	---	---	---	---	
29	20/1	---	---	---	1.5	---	---	---	---	---	---	
31	20/1	---	---	RECEPS POOL	1.6	---	---	---	---	---	---	
33	20/1	---	---	SPARE	---	---	---	---	---	---	---	
35	20/1	---	---	SPARE	---	---	---	---	---	---	---	
37	20/1	---	---	SPARE	---	---	---	---	---	---	---	
39	20/1	---	---	SPARE	---	---	---	---	---	---	---	
41	20/1	---	---	SPARE	---	---	---	---	---	---	---	
LIGHTING (KVA):					4.0	0.0	1.6	16.0	5.2	4.0	0.0	
RECEPTACLES (KVA):					1.6	PHASE A		12	97.5			
MOTORS (KVA):					16.0	PHASE B		9	70.8			
A/C (KVA):					5.2	PHASE C		11	88.3			
HEATING (KVA):					4.0	AMPACITY REQUIRED: 88.3						
KITCHEN (KVA):					0.0							
MISCELLANEOUS (KVA):					0.0							

NOTE: BREAKERS PROTECTING MULTI-WIRE BRANCH CIRCUITS SHALL BE EQUIPPED WITH A PAD-LOCK DEVICE SO THAT CIRCUITS CAN BE DISCONNECTED SIMULTANEOUSLY.

PANELBOARD SCHEDULE - "L2"

MAIN: 400A MLO		VOLTAGE: 208/120		PHASE: 3		WIRE: 4		MOUNTING: SURFACE		AIC: 22,000	
CT	TRIP	TRIP	POLE	DESCRIPTION	LTG	REC	MTR	A/C	HTG	KIT	MISC
1	80/2	---	---	AH-2	7.5	---	---	---	---	---	---
3	---	---	---	---	7.5	---	---	---	---	---	---
5	50/2	---	---	CU-2	4.0	---	---	---	---	---	---
7	---	---	---	---	4.0	---	---	---	---	---	---
9	30/2	---	---	AH-3	7.5	---	---	---	---	---	---
11	---	---	---	---	7.5	---	---	---	---	---	---
13	15/2	---	---	CU-3	4.0	---	---	---	---	---	---
15	---	---	---	---	4.0	---	---	---	---	---	---
17	80/2	---	---	AH-4	7.5	---	---	---	---	---	---
19	---	---	---	---	7.5	---	---	---	---	---	---
21	50/2	---	---	CU-4	4.0	---	---	---	---	---	---
23	---	---	---	---	4.0	---	---	---	---	---	---
25	80/2	---	---	AH-1	7.5	---	---	---	---	---	---
27	---	---	---	---	7.5	---	---	---	---	---	---
29	80/2	---	---	CU-1	4.0	---	---	---	---	---	---
31	---	---	---	---	4.0	---	---	---	---	---	---
33	20/1	---	---	PRINTER	1.0	---	---	---	---	---	---
35	20/1	---	---	UC FREEZER	1.0	---	---	---	---	---	---
37	100/3	---	---	SPARE	---	---	---	---	---	---	---
39	---	---	---	---	1.0	---	---	---	---	---	---
41	---	---	---	---	1.0	---	---	---	---	---	---
SECTION 2											
43	20/1	---	---	SPARE	---	---	---	---	---	---	---
45	20/1	---	---	SPARE	---	---	---	---	---	---	---
47	20/1	---	---	SPARE	---	---	---	---	---	---	---
49	20/1	---	---	SPARE	---	---	---	---	---	---	---
51	20/1	---	---	SPARE							

Embrey Builders, LLC
 1020 N. E. Loop 410, Suite 700
 San Antonio, TX 78209
 Ph : (210) 824-6044 Fax: (210) 824-7656

RFI

To: Heath Parnell
 Jordan & Skala Engineers, Inc.
 14240 Midway Road, Suite 350
 Dallas, TX 75244
 Ph: 469/385-1616 Fax: 469/385-1615

RFI #: 161
Date: 6/25/2012
Job: EB-02 Keller Springs Lofts
Phone: 877-777-5115

CC: Erik Earnshaw (Beeler Guest Owens Architects)

Subject: Electrical Outlets Moved for Code

Drawing: Electrical Unit Plans
Cost Impact: None
Spec Section:
Schedule Impact: None

Request: **Date Required: 6/29/2012**
 We had an issue at another job where some receptacles needed to be moved in bathrooms due to code. Please check and see if this issue will need to be addressed at this job and revise plans if needed.

Requested by: David Miller
 Embrey Builders LLC

Response:
 Reference the attached pdf's showing the correct outlet locations.

Heath Parnell
 Answered by: 6/25/12
 Date: 6/25/12
 Company: _____

Embrey Builders, LLC
 1020 N. E. Loop 410, Suite 700
 San Antonio, TX 78209
 Ph : (210) 824-6044 Fax: (210) 824-7656

RFI

To: Heath Parnell
 Jordan & Skala Engineers, Inc.
 14240 Midway Road, Suite 350
 Dallas, TX 75244
 Ph: 469/385-1616 Fax: 469/385-1615

RFI #: 118
Date: 5/16/2012
Job: EB-02 Keller Springs Lofts
Phone: 877-777-5115

CC: Erik Earnshaw (Beeler Guest Owens Architects)

Subject: Electrical Issues with Units, Fixtures Missing

Drawing: E2.1, E2.2, E2.3, E2.4, E2.5, E2.7, E2.9 & E2.11
Cost Impact: None
Spec Section:
Schedule Impact: None

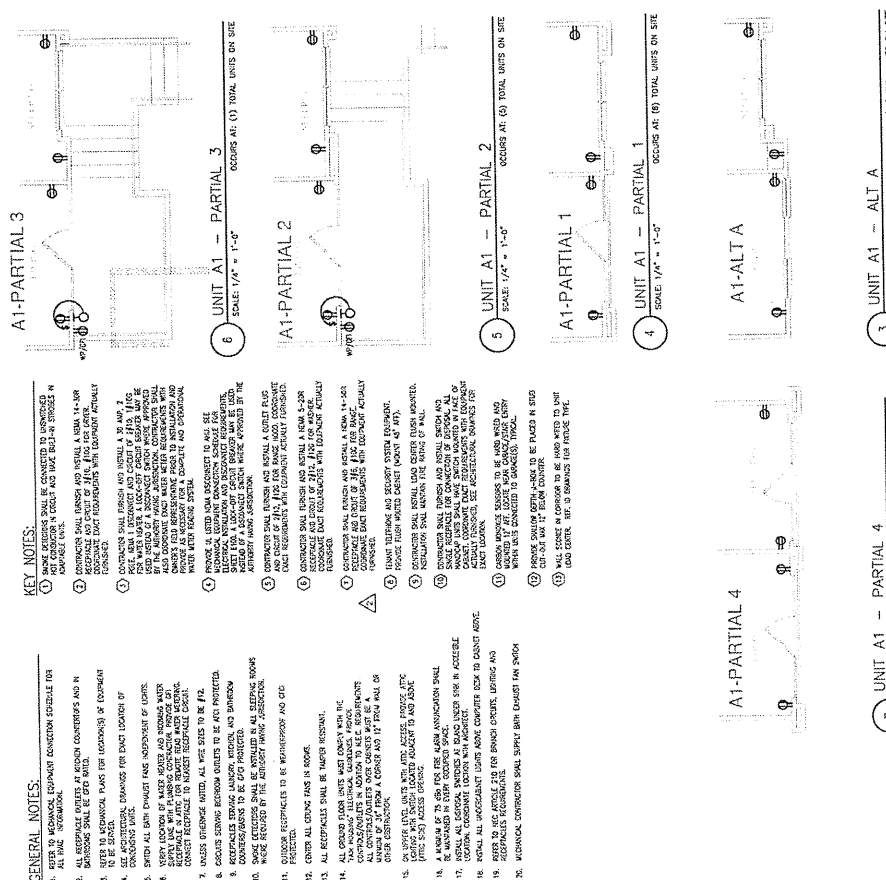
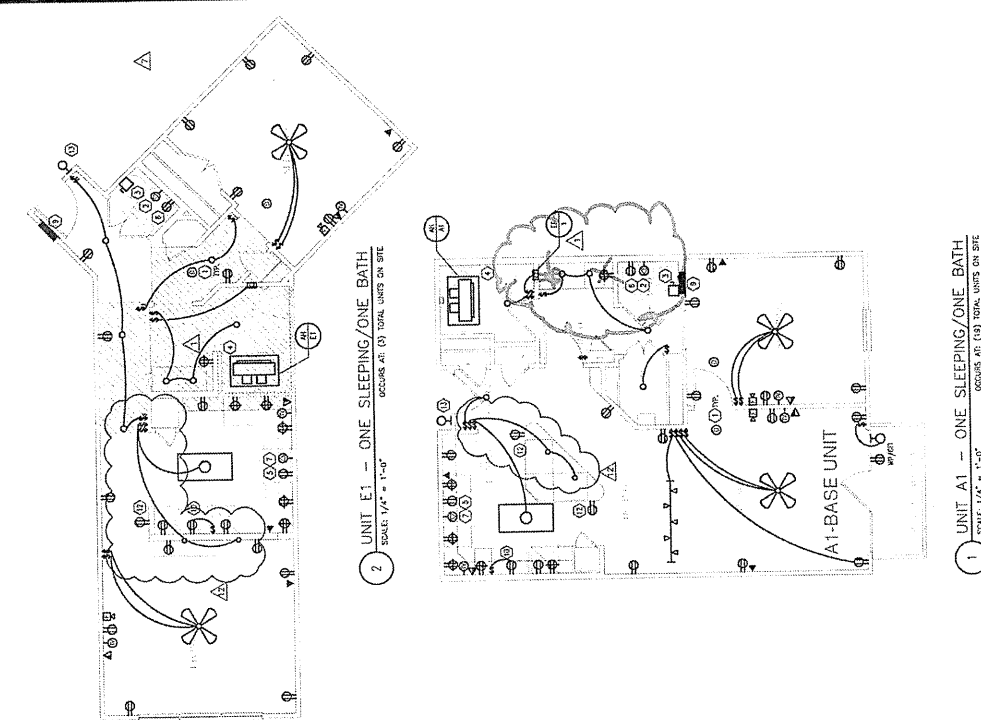
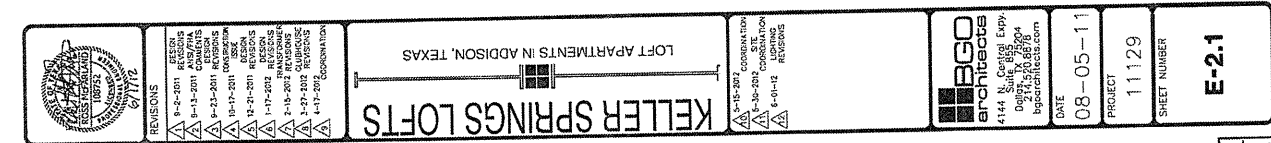
Request: **Date Required: 5/23/2012**
 1. Patio receptacles will either not fit or there will probably be too much framing for the rough in boxes to fit in the following units: A1, A3 ALT-D, A3 ALT-E, A4, B1, B1-L, B1-K, B2C-ALT1 and A1-HC.
 2. None of the pendant lights are shown on drawings.
 3. Switch for bath exhaust fan in A2-SP and A1-HC are not shown.
 4. Switch for living room ceiling fan light is not shown for A2 and A3 units.
 5. Living room switched outlet is not shown in the E1, A2SP and B3 units.

Requested by: David Miller
 Embrey Builders LLC

Response:
 1. Per NEC 210.52, a receptacle must be placed within the perimeter of the balcony or deck. If space is not available to mount recessed, a surface mount receptacle may be used.
 2. Pendant lights shall be shown on the upcoming clubhouse revisions issue.
 3. Locate bath exhaust fan for the A1-HC unit next to the three way switch in the bathroom on the common wall with the kitchen. For the A2-SP unit locate the bath exhaust switch next to the switch for the light over the toilet.
 4. locate switch for ceiling fan light next to switch for ceiling fan.
 5. All units should have switched light in the ceiling fan, therefore the switched receptacle is not required, unless owner's desire is to keep it.

Answered by: Heath Parnell
 Jordan & Skala Engineers, Inc.

Answered date: July 26, 2012



Embrey Builders, LLC
 1020 N. E. Loop 410, Suite 700
 San Antonio, TX 78209
 Ph : (210) 824-6044 Fax: (210) 824-7656

RFI

To: Trent Perkins
 Parkin Perkins Olsen
 9330 LBJ Freeway, Suite 1055
 Dallas, TX 75243
 Ph: (214)221-2220 Fax: (214)221-2252

RFI #: 120
Date: 5/17/2012
Job: EB-02 Keller Springs Lofts
Phone: 877-777-5115

CC: Heath Parnell (Jordan & Skala Engineers, Inc.), Erik Earnshaw (Beeler Guest Owens Architects)

Subject: Electrical Panels in Units - Loadbearing Walls

Drawing: MEP and Architectural Unit Plans
Cost Impact: None
Spec Section:
Schedule Impact: None

Request: **Date Required: 5/25/2012**
 Nearly all units show electrical panels located in load bearing walls. Our required stud spacing does not allow room for the panels to be placed. We would need to widen the stud spacing in those locations. Please advise.

Requested by: David Miller
 Embrey Builders LLC

Response:
 Confirming e-mail conversation with David Miller on May 17th, please install 3-2x studs beneath the two trusses that straddle the electrical panel.

Answered by: Trent Perkins
 Parkin Perkins Olsen

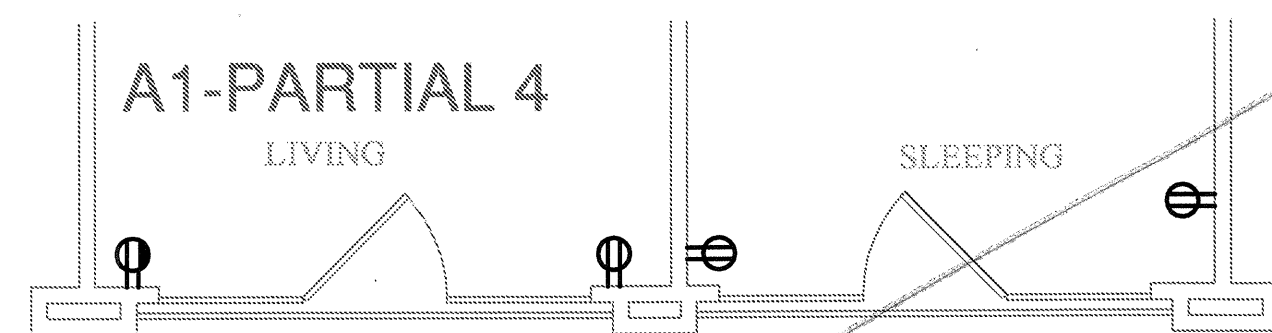
Answered date: May 29, 2012

GENERAL NOTES:

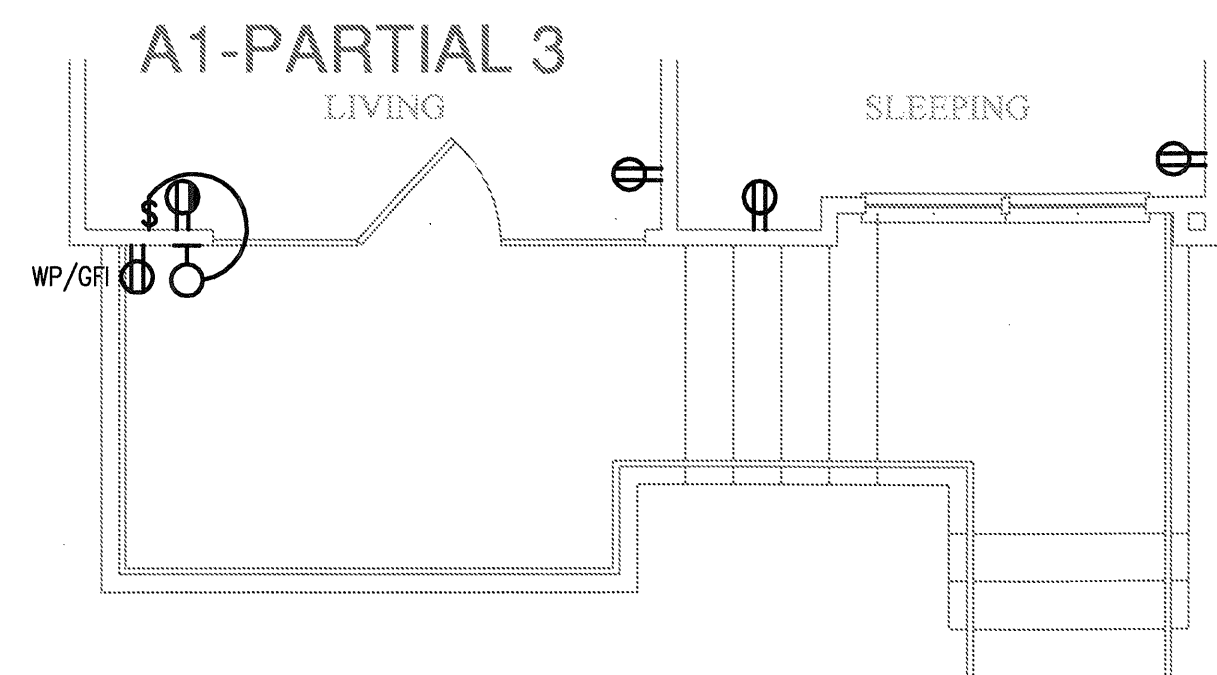
- REFER TO MECHANICAL EQUIPMENT CONNECTION SCHEDULE FOR ALL HVAC INFORMATION.
- ALL RECEPTACLE OUTLETS AT KITCHEN COUNTERTOPS AND IN BATHROOMS SHALL BE GFCI RATED.
- REFER TO MECHANICAL PLANS FOR LOCATION(S) OF EQUIPMENT TO BE SERVED.
- SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF CONDENSING UNITS.
- SWITCH ALL BATH EXHAUST FANS INDEPENDENT OF LIGHTS.
- VERIFY LOCATION OF WATER HEATER AND INCOMING WATER SUPPLY LINE WITH PLUMBING CONTRACTOR. PROVIDE GFI RECEPTACLE IN ATTIC FOR REMOTE READ WATER METERING. CONNECT RECEPTACLE TO NEAREST RECEPTACLE CIRCUIT.
- UNLESS OTHERWISE NOTED, ALL WIRE SIZES TO BE #12.
- CIRCUITS SERVING BEDROOM OUTLETS TO BE AFCI PROTECTED.
- RECEPTACLES SERVING LAUNDRY, KITCHEN, AND BATHROOM COUNTERTOPS/BASINS TO BE GFCI PROTECTED.
- SMOKE DETECTORS SHALL BE INSTALLED IN ALL SLEEPING ROOMS WHERE REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
- OUTDOOR RECEPTACLES TO BE WEATHERPROOF AND GFCI PROTECTED.
- CENTER ALL CEILING FANS IN ROOMS.
- ALL RECEPTACLES SHALL BE TAMPER RESISTANT.
- ALL GROUND FLOOR UNITS MUST COMPLY WITH THE "FAIR HOUSING" ELECTRICAL GUIDELINES. PROVIDE CONTROLS/OUTLETS IN ADDITION TO N.E.C. REQUIREMENTS. ALL CONTROLS/OUTLETS OVER CABINETS MUST BE A MINIMUM OF 36" FROM A CORNER AND 12" FROM WALL OR OTHER OBSTRUCTION.
- ON UPPER LEVEL UNITS WITH ATTIC ACCESS, PROVIDE ATTIC LIGHTING WITH SWITCH LOCATED ADJACENT TO AND ABOVE (ATTIC SIDE) ACCESS OPENING.
- A MINIMUM OF 75 dba FOR FIRE ALARM ANNUNCIATION SHALL BE MAINTAINED IN EVERY OCCUPIED SPACE.
- INSTALL ALL DISPOSAL SWITCHES AT ISLAND UNDER SINK IN ACCESSIBLE LOCATION. COORDINATE LOCATION WITH ARCHITECT.
- INSTALL ALL UNDERCABINET LIGHTS ABOVE COMPUTER DESK TO CABINET ABOVE.
- REFER TO NEC ARTICLE 210 FOR BRANCH CIRCUITS, LIGHTING AND RECEPTACLE REQUIREMENTS.
- MECHANICAL CONTRACTOR SHALL SUPPLY BATH EXHAUST FAN SWITCH

KEY NOTES:

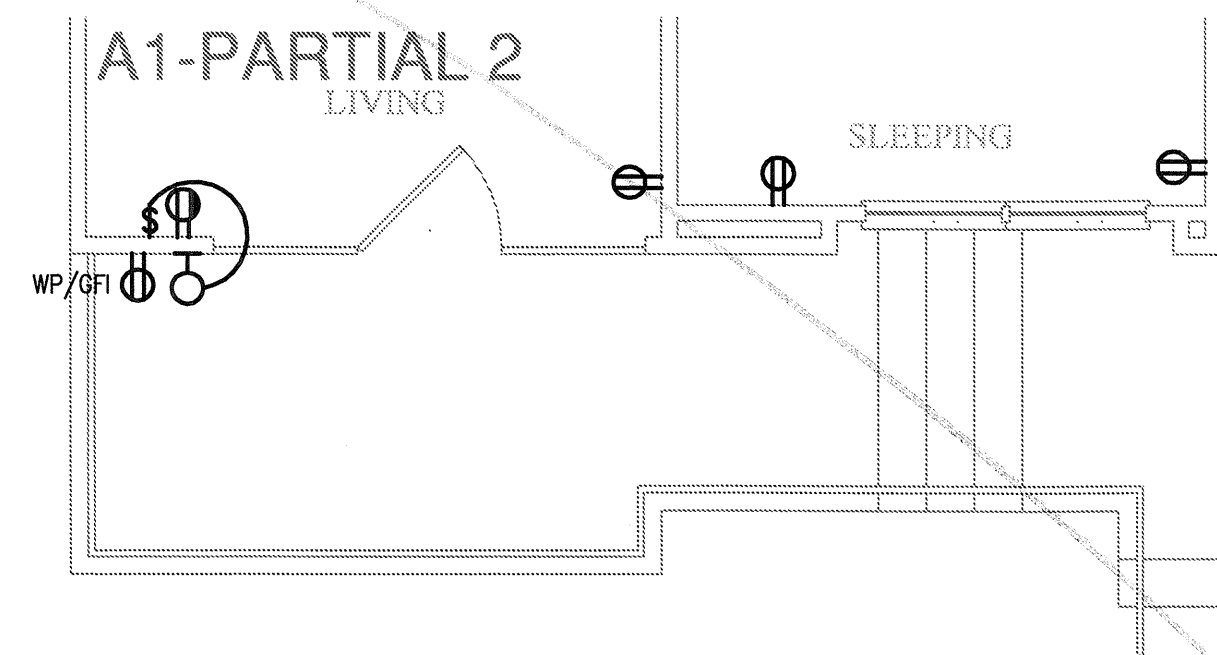
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- OR
- OR
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- WALL SCONCE IN CORRIDOR TO BE HARD WIRED TO UNIT LOAD CENTER. REF. ID DRAWINGS FOR FIXTURE TYPE.



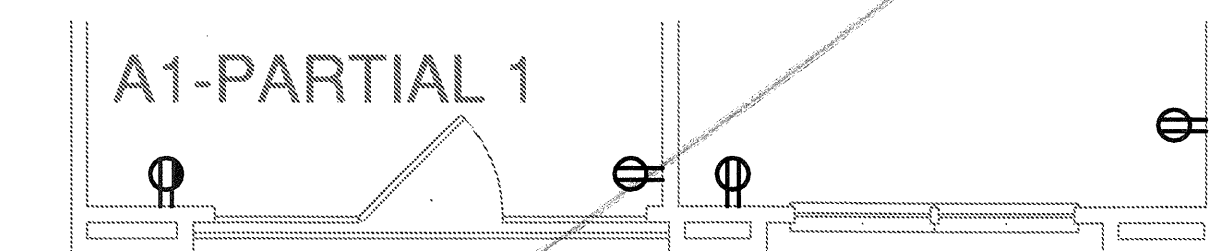
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SCALE: 1/4" = 1'-0" OCCURS AT: (3) TOTAL UNITS ON SITE



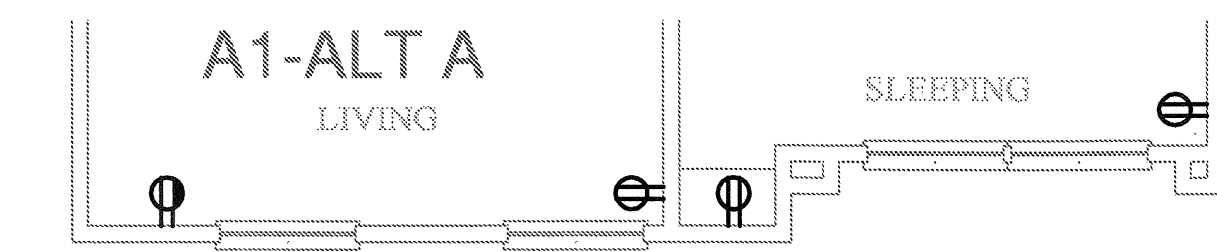
6 UNIT A1 - PARTIAL 3
SCALE: 1/4" = 1'-0" OCCURS AT: (1) TOTAL UNITS ON SITE



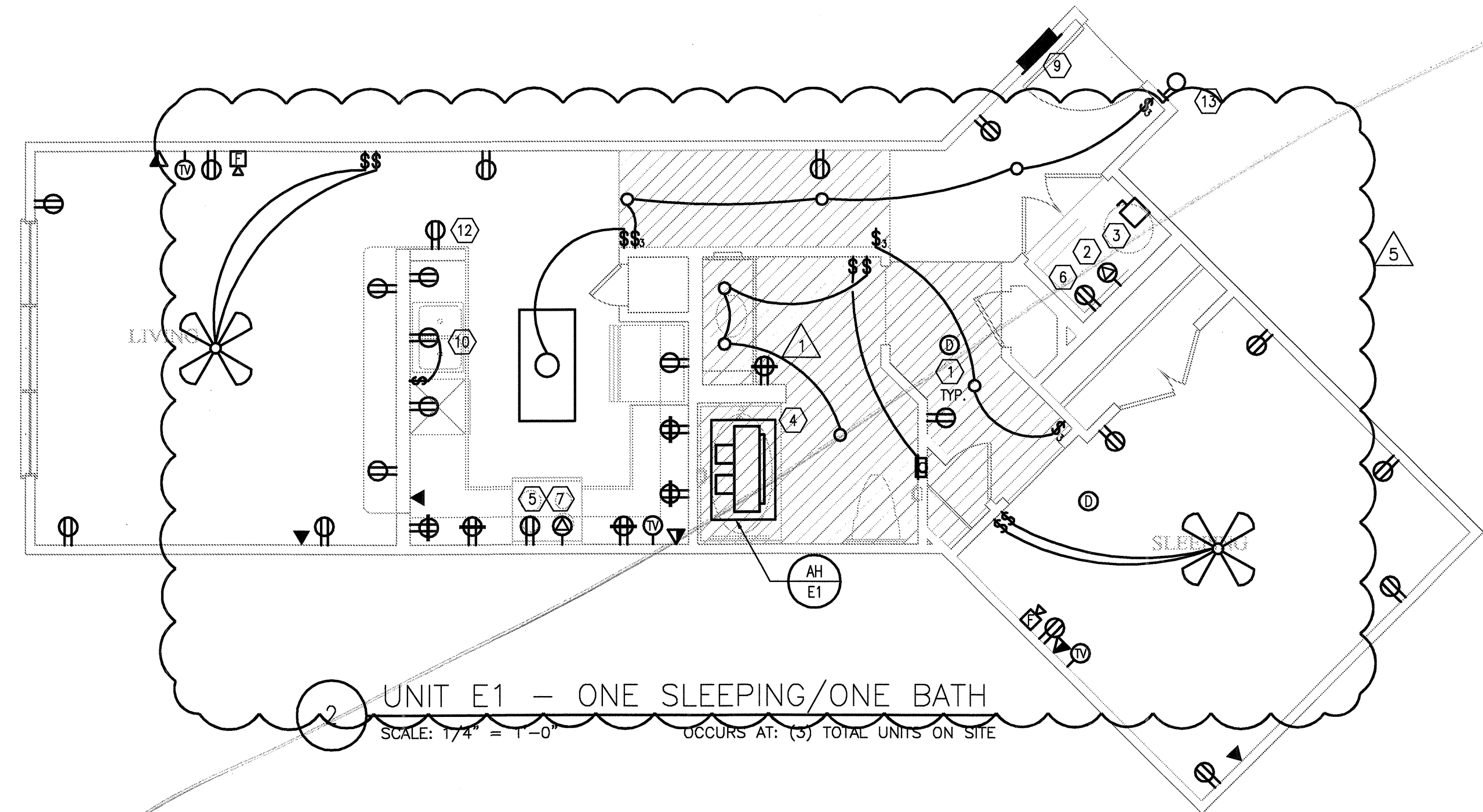
5 UNIT A1 - PARTIAL 2
SCALE: 1/4" = 1'-0" OCCURS AT: (5) TOTAL UNITS ON SITE



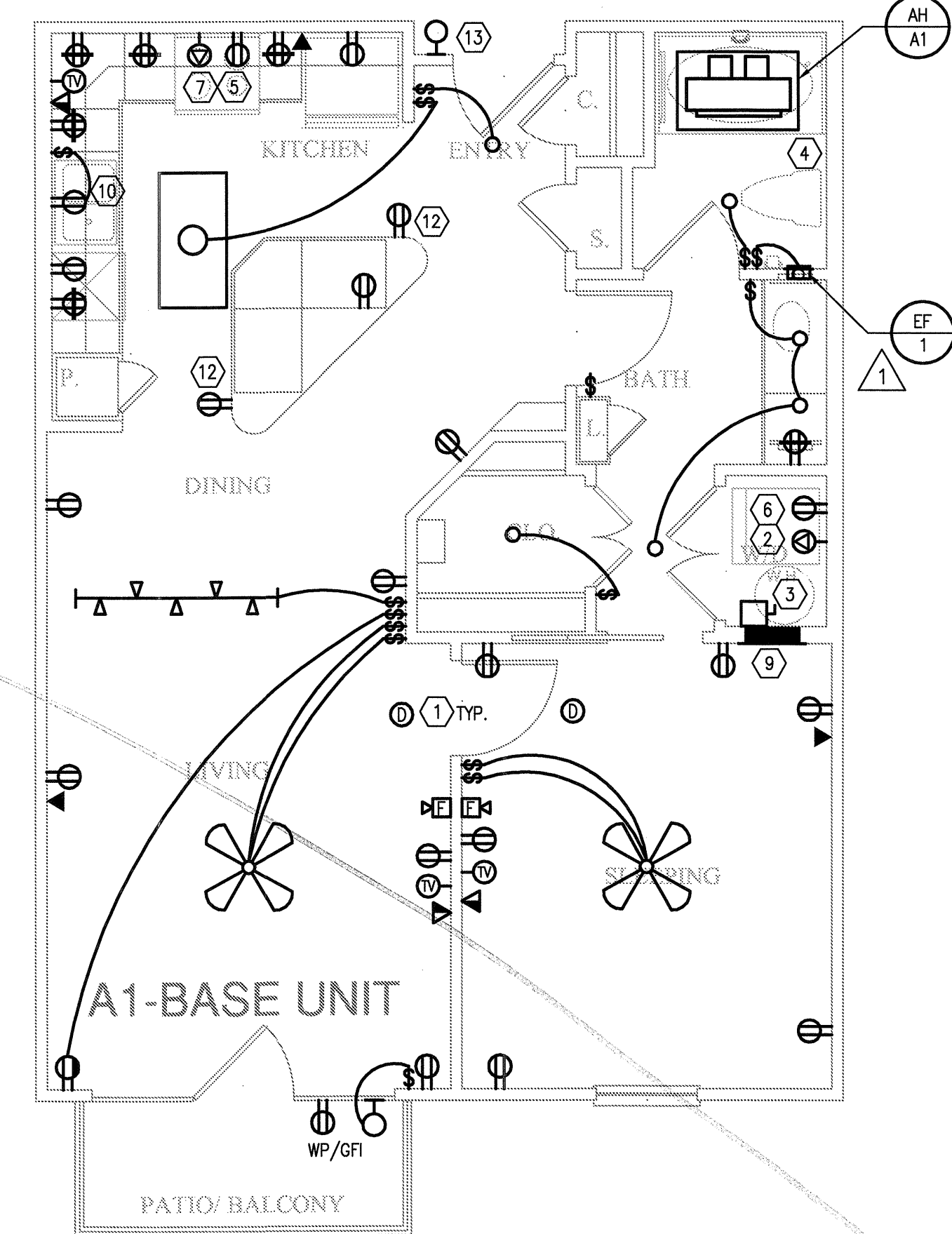
4 UNIT A1 - PARTIAL 1
SCALE: 1/4" = 1'-0" OCCURS AT: (8) TOTAL UNITS ON SITE



3 UNIT A1 - ALT A
SCALE: 1/4" = 1'-0" OCCURS AT: (18) TOTAL UNITS ON SITE



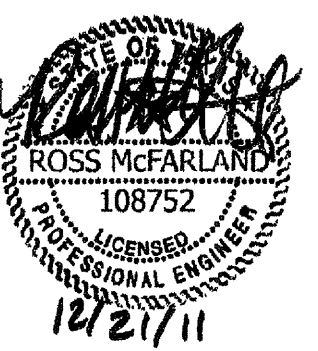
2 UNIT E1 - ONE SLEEPING/ONE BATH
SCALE: 1/4" = 1'-0" OCCURS AT: (5) TOTAL UNITS ON SITE



1 UNIT A1 - ONE SLEEPING/ONE BATH
SCALE: 1/4" = 1'-0" OCCURS AT: (19) TOTAL UNITS ON SITE

REVISIONS		
1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE
5	12-21-2011	DESIGN REVISIONS

KELLER SPRINGS LOFTS
LOFT APARTMENTS IN ADDISON, TEXAS



BGO architects
4144 N. Central Expy.
Suite 855
Dallas, TX 75204
214.520.8878
bgoarchitects.com

DATE
08-05-11

PROJECT
11129

SHEET NUMBER

E-2.1

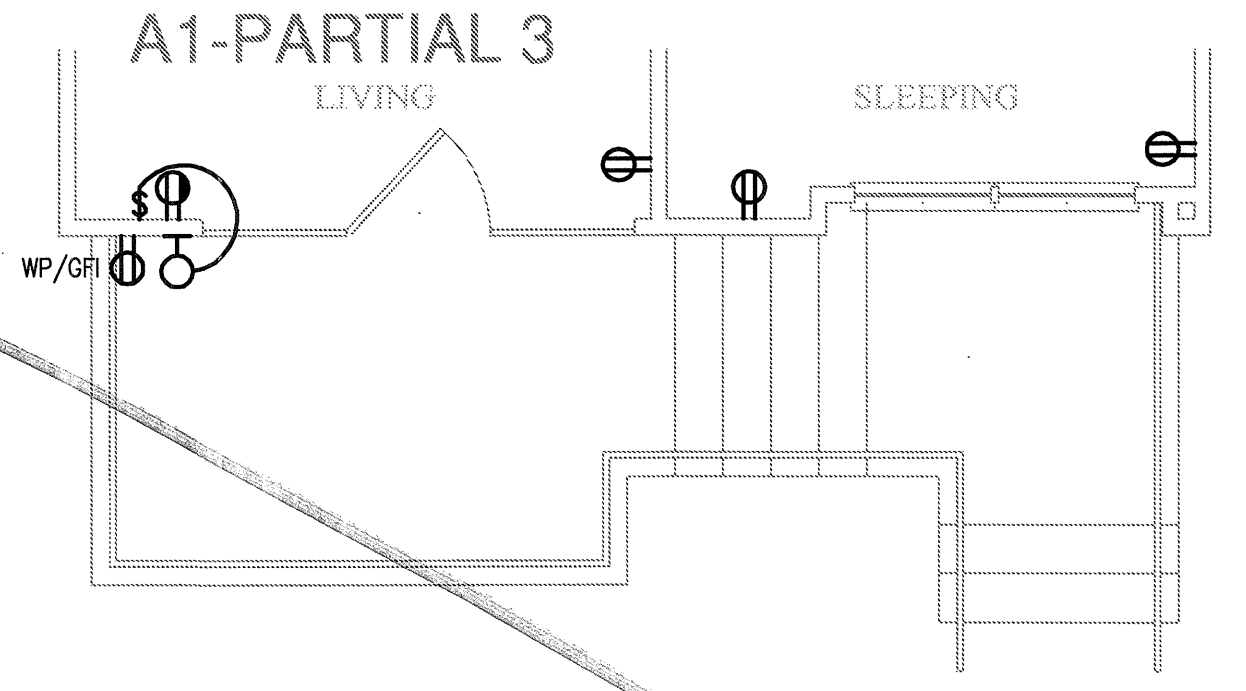
JSE Jordan & Skala Engineers
11240 Midway Road, Suite 310
Dallas, TX 75244-5138
V: (469) 383-1616 F: (469) 383-1615
Project Number - 113-0555 Texas Firm Registration # F-4990
Drawn By: MJ Checked By: RAD

GENERAL NOTES:

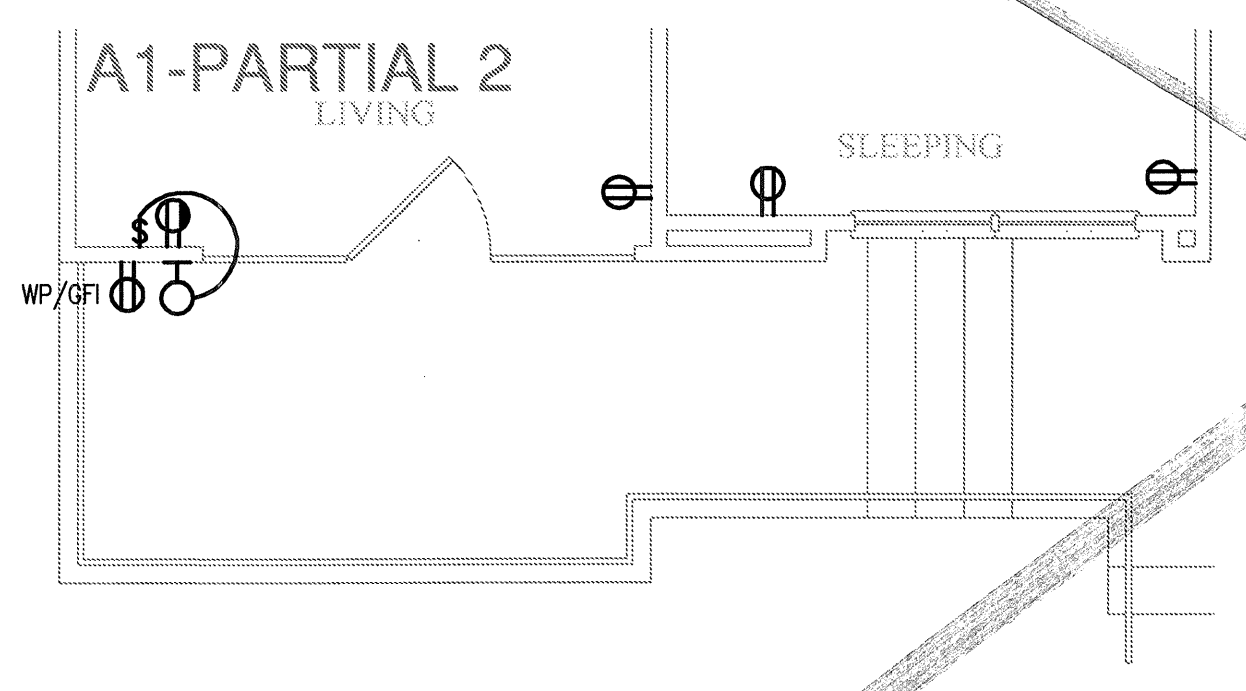
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4. SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF CONDENSING UNITS.
5. SWITCH ALL BATH EXHAUST FANS INDEPENDENT OF LIGHTS.
6. VERIFY LOCATION OF WATER HEATER AND INCOMING WATER SUPPLY LINE WITH PLUMBING CONTRACTOR. PROVIDE GFI RECEPTACLE IN ATTIC FOR REMOTE READ WATER METERING. CONNECT RECEPTACLE TO NEAREST RECEPTACLE CIRCUIT.
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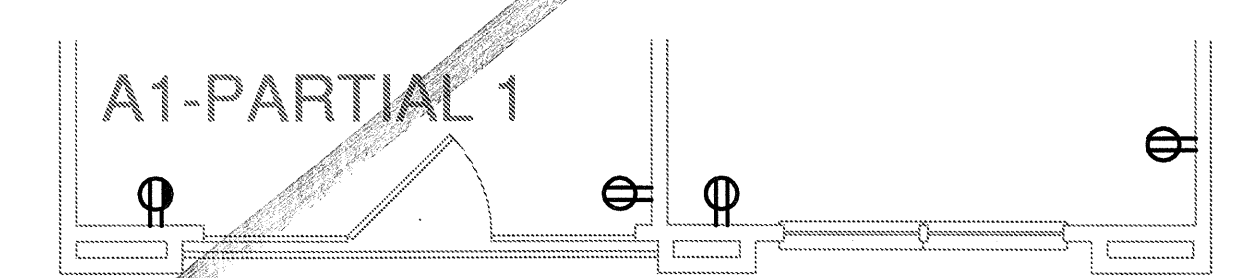
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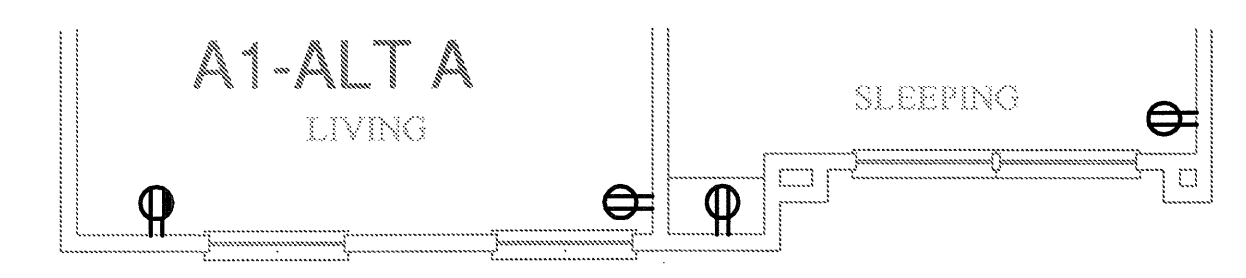
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SCALE: 1/4" = 1'-0" OCCURS AT: (1) TOTAL UNITS ON SITE



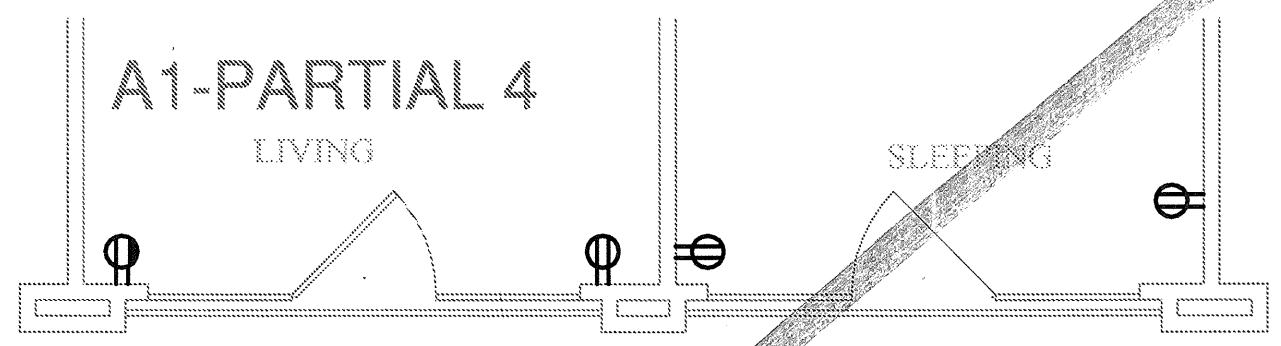
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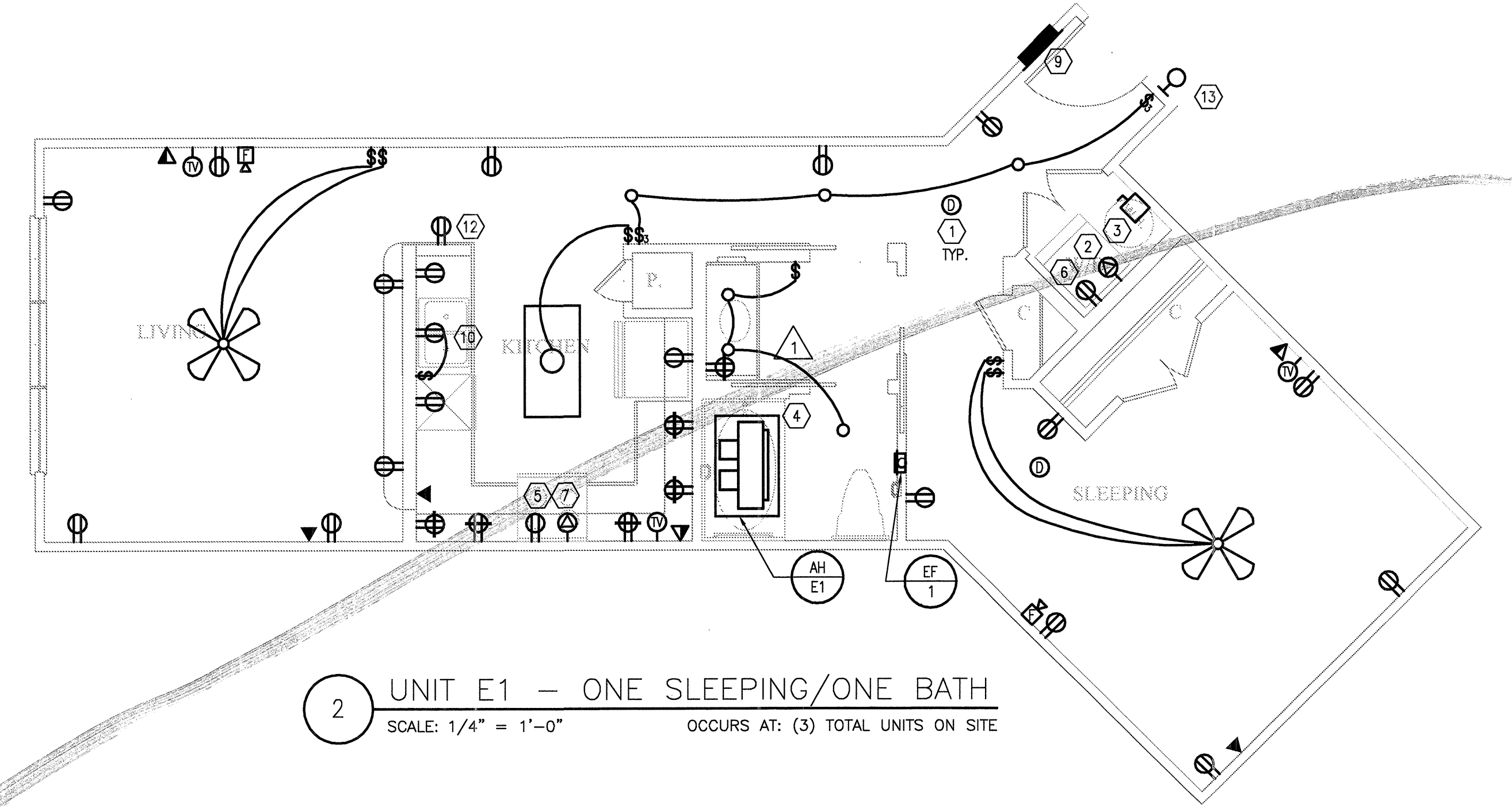
4 UNIT A1 - PARTIAL 1
SCALE: 1/4" = 1'-0" OCCURS AT: (8) TOTAL UNITS ON SITE



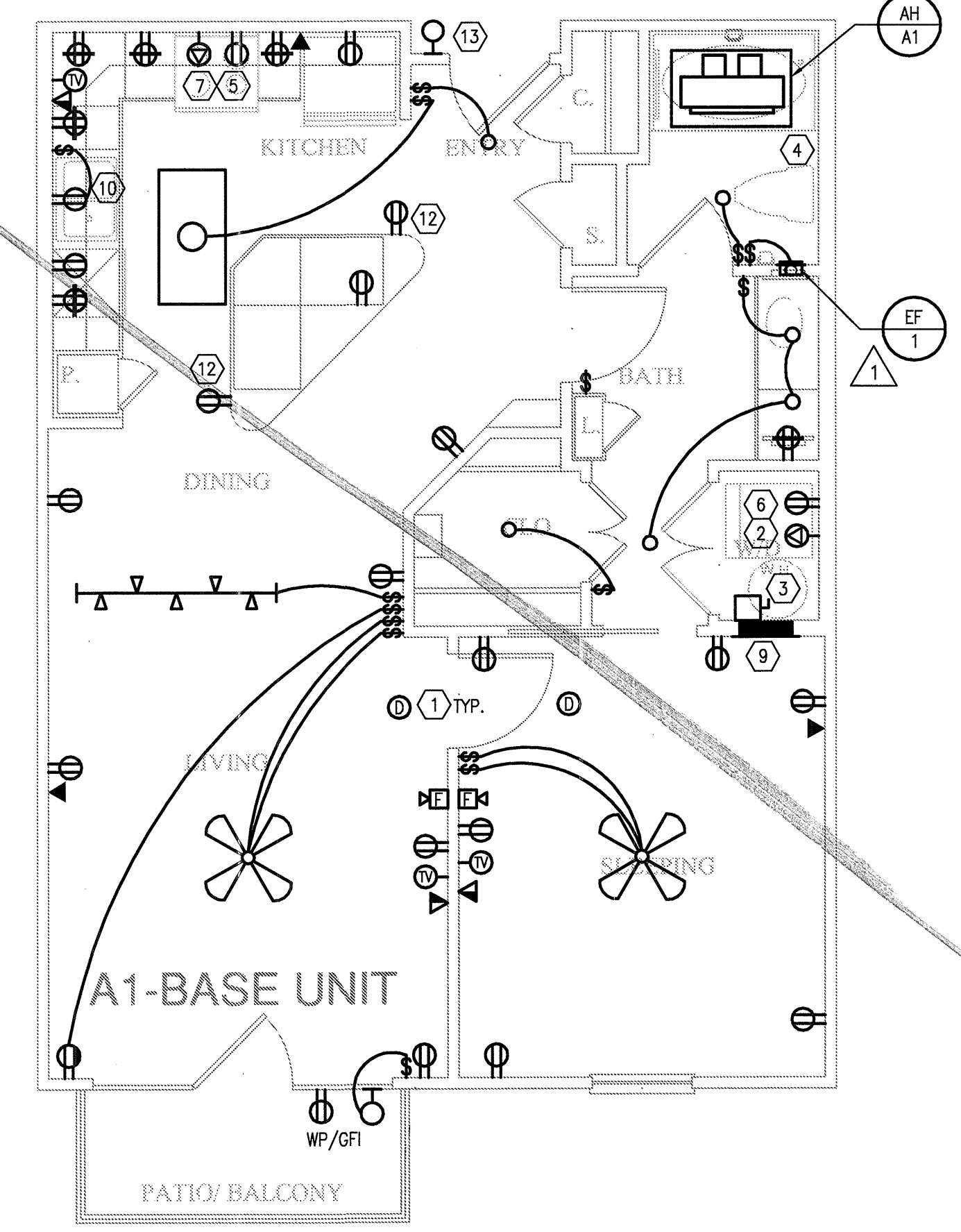
3 UNIT A1 - ALT A
SCALE: 1/4" = 1'-0" OCCURS AT: (18) TOTAL UNITS ON SITE



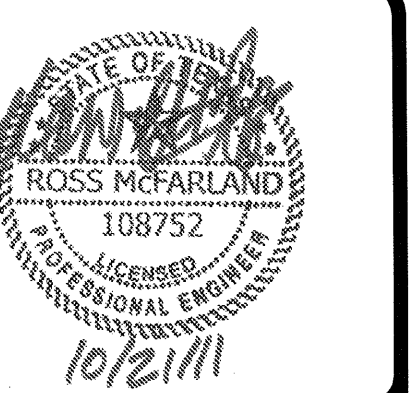
7 UNIT A1 - PARTIAL 4
SCALE: 1/4" = 1'-0" OCCURS AT: (3) TOTAL UNITS ON SITE



2 UNIT E1 - ONE SLEEPING/ONE BATH
SCALE: 1/4" = 1'-0" OCCURS AT: (3) TOTAL UNITS ON SITE



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1	9-2-2011	DESIGN REVISIONS
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4	10-17-2011	CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS

BGO
architects
4144 N. Central Exp.,
Suite 855
Dallas, TX 75204
214.520.8878
bgoarchitects.com

DATE
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PROJECT
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SHEET NUMBER

E-2.1

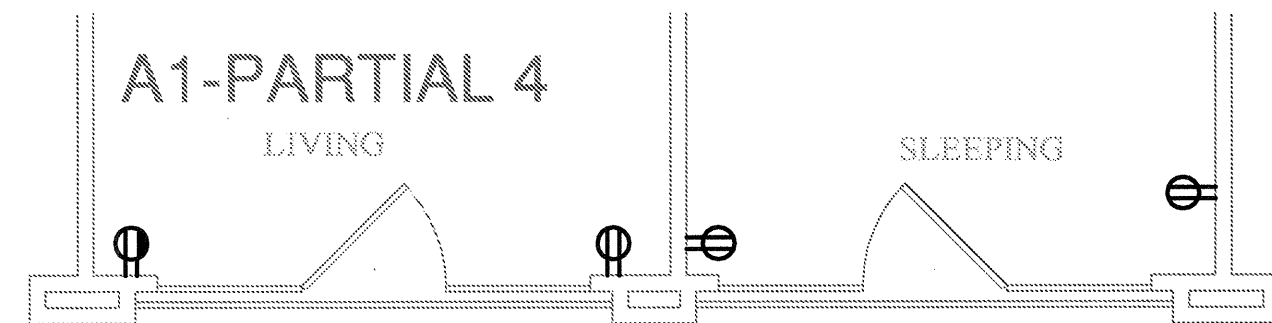
JSE Jordan & Skala Engineers
14240 Midway Road, Suite 350
Dallas, TX 75244-3138
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: MJ Checked By: RAD

GENERAL NOTES:

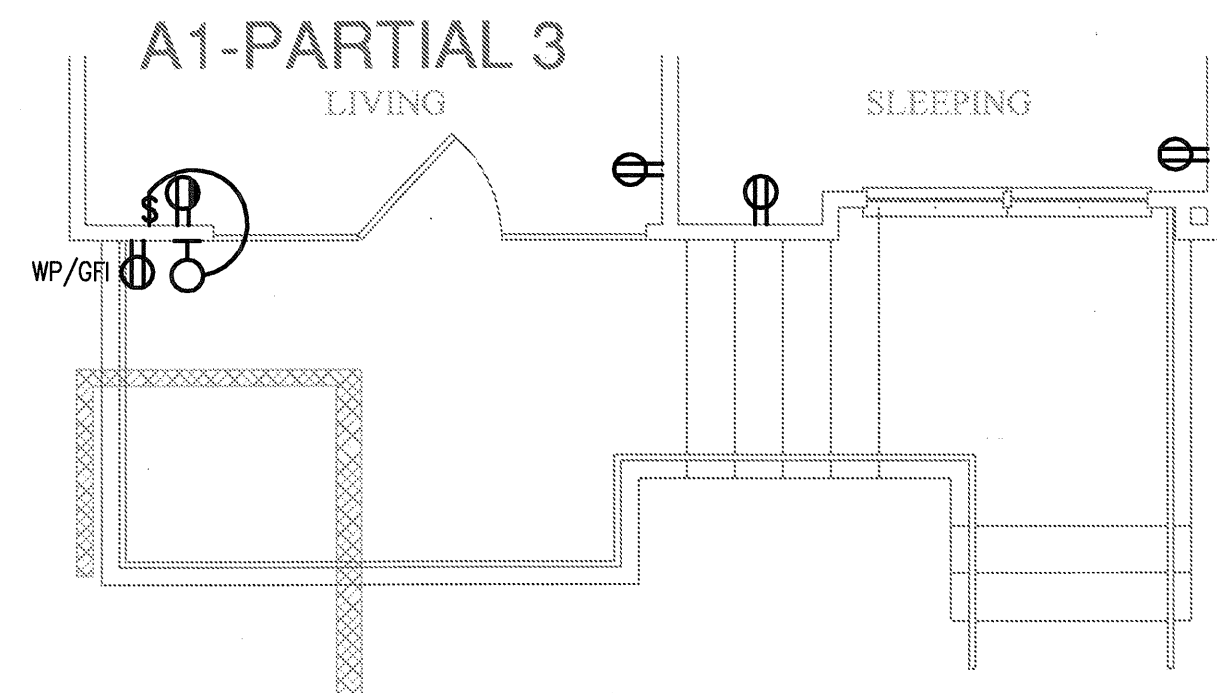
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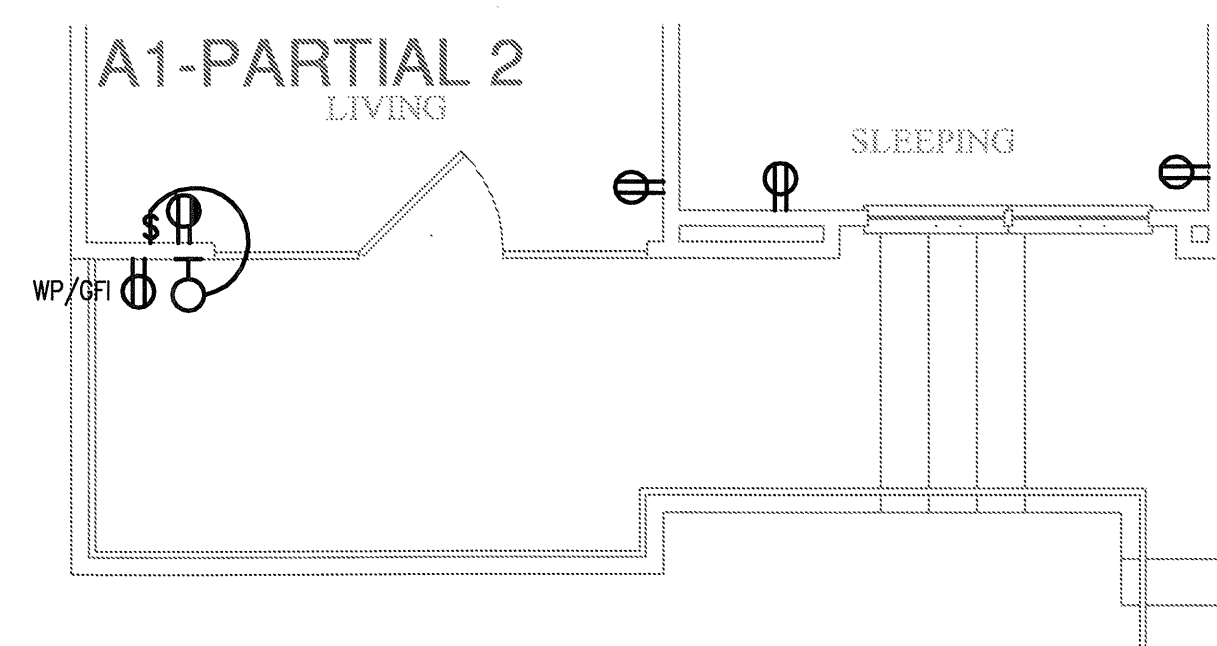
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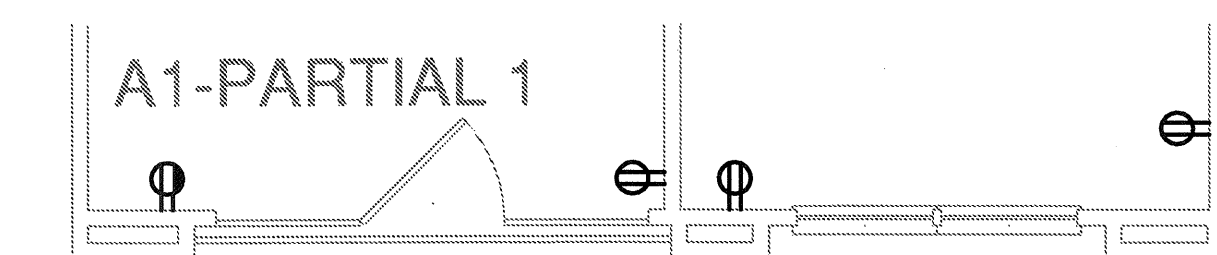
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SCALE: 1/4" = 1'-0" OCCURS AT: (3) TOTAL UNITS ON SITE



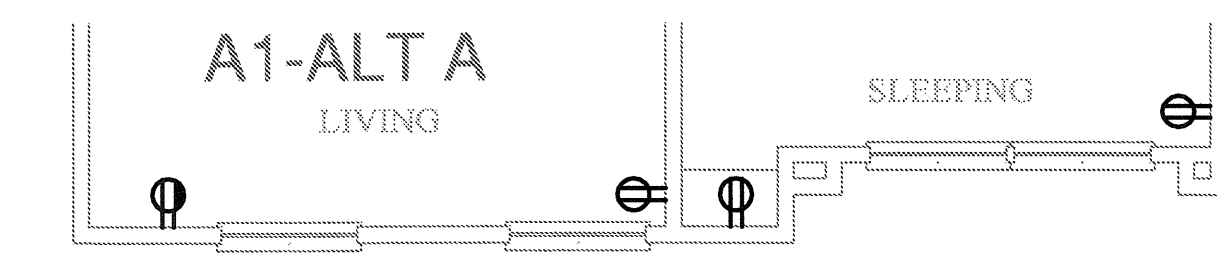
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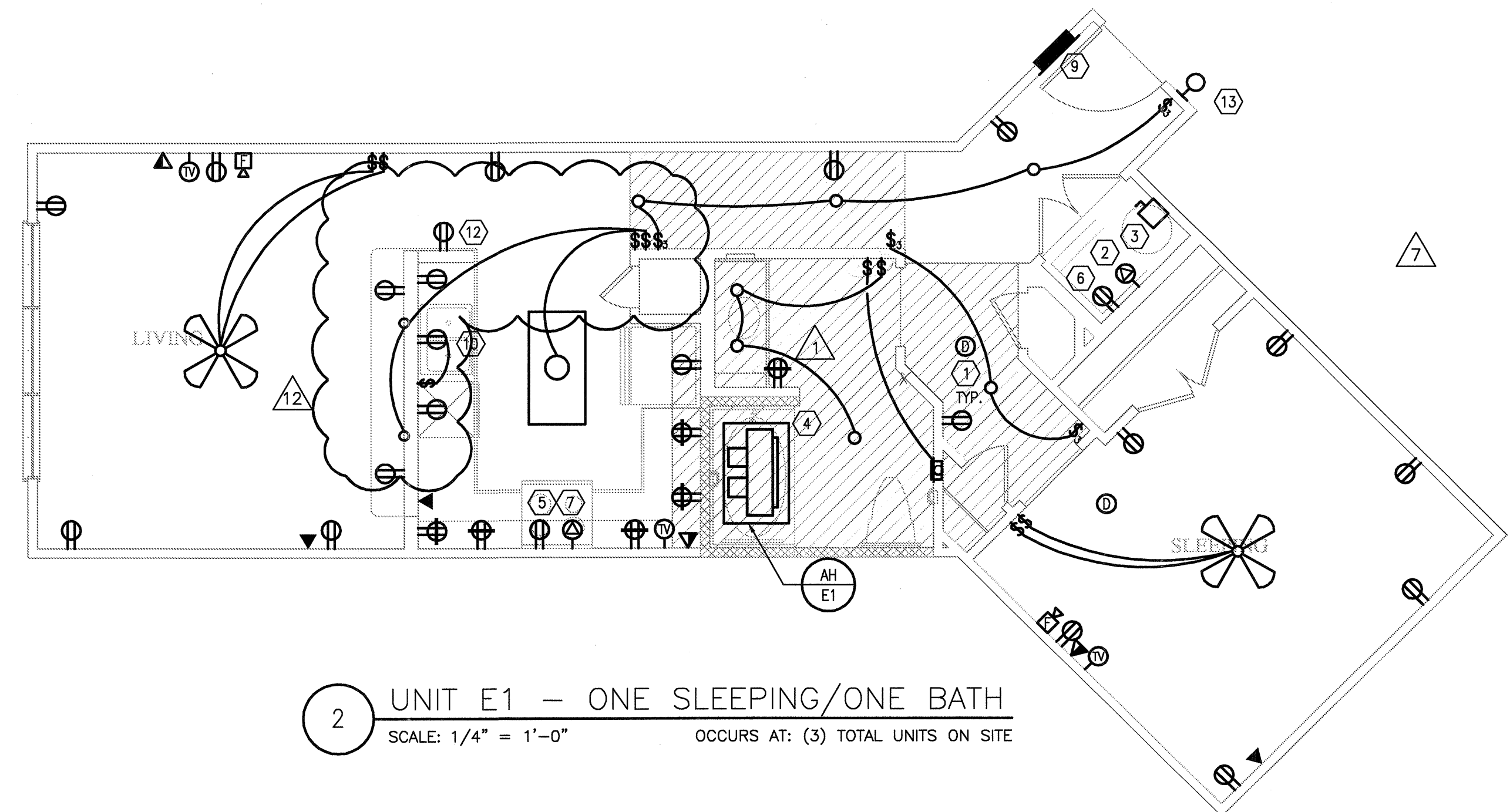
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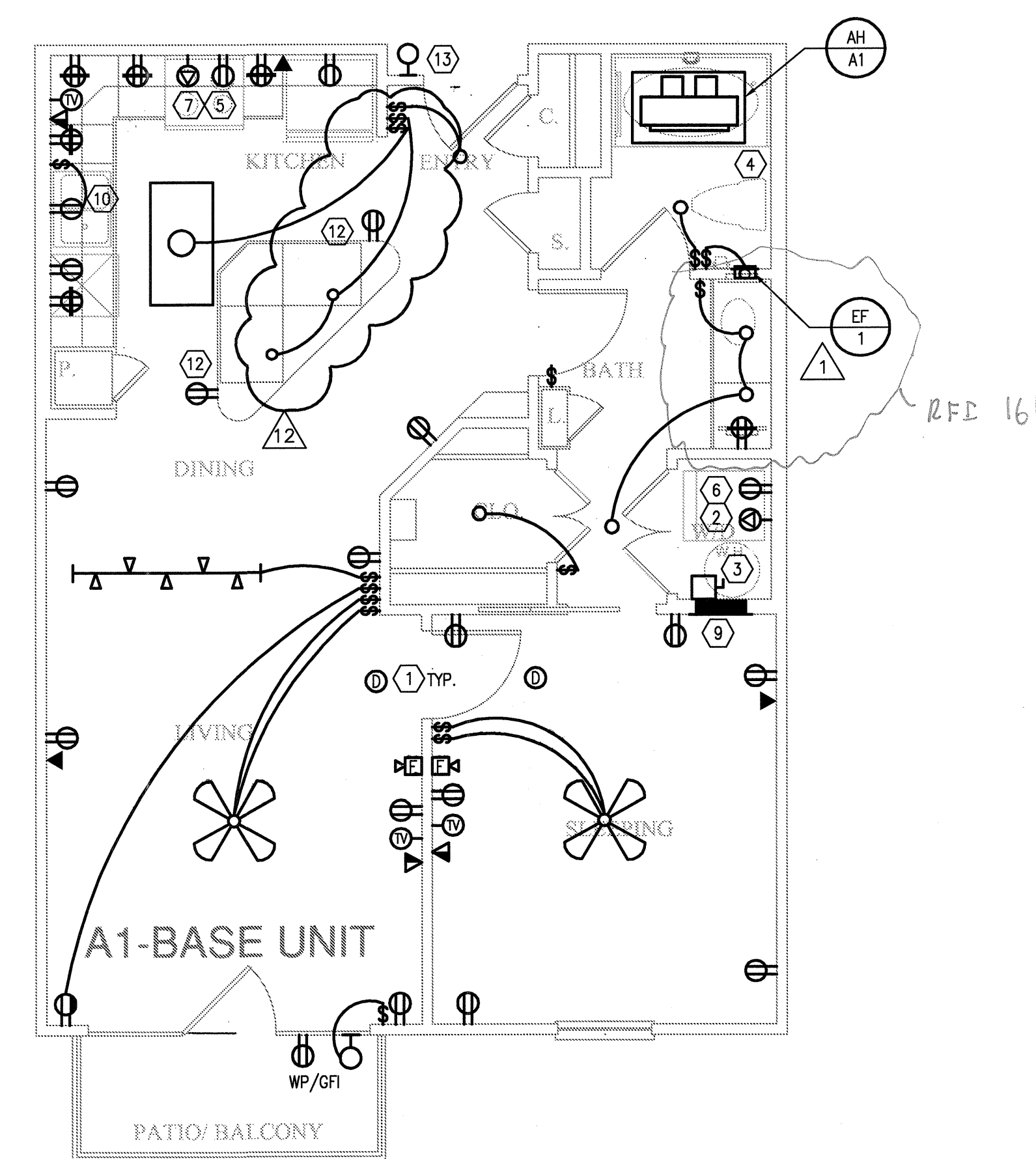
4 UNIT A1 - PARTIAL 1
SCALE: 1/4" = 1'-0" OCCURS AT: (8) TOTAL UNITS ON SITE



3 UNIT A1 - ALT A
SCALE: 1/4" = 1'-0" OCCURS AT: (16) TOTAL UNITS ON SITE



2 UNIT E1 - ONE SLEEPING/ONE BATH
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REVISIONS		
1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS DESIGN REVISIONS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE DESIGN REVISIONS
5	12-21-2011	DESIGN REVISIONS
6	1-17-2012	DESIGN REVISIONS
7	2-15-2012	TRANSFORMER REVISIONS
8	3-27-2012	CLUBHOUSE REVISIONS
9	4-17-2012	COORDINATION

KELLER SPRINGS LOFTS
LOFT APARTMENTS IN ADDISON, TEXAS

10	5-15-2012	COORDINATION
11	5-30-2012	SITE COORDINATION
12	6-01-12	LIGHTING REVISIONS



4144 N. Central Expy.
Suite 855
Dallas, TX 75204
214.520.8878
bgoarchitects.com

DATE
08-05-11

PROJECT
11129

SHEET NUMBER

E-2.1

Embrey Builders, LLC
1020 N. E. Loop 410, Suite 700
San Antonio, TX 78209
Ph: (210) 824-6044 Fax: (210) 824-7656

RFI

To: Heath Parnell
Jordan & Skala Engineers, Inc.
14240 Midway Road, Suite 350
Dallas, TX 75244
Ph: 469/385-1616 Fax: 469/385-1615

RFI #: 161
Date: 6/25/2012
Job: EB-02 Keller Springs Lofts
Phone: 877-777-5115

CC: Erik Earnshaw (Boeler Guest Owens Architects)

Subject: Electrical Outlets Moved for Code

Drawing: Electrical Unit Plans
Cost Impact: None
Spec Section:
Schedule Impact: None

Request: We had an issue at another job where some receptacles needed to be moved in bathrooms due to code. Please check and see if this issue will need to be addressed at this job and revise plans if needed.
Date Required: 6/26/2012

Requested by: David Miller
Embrey Builders LLC

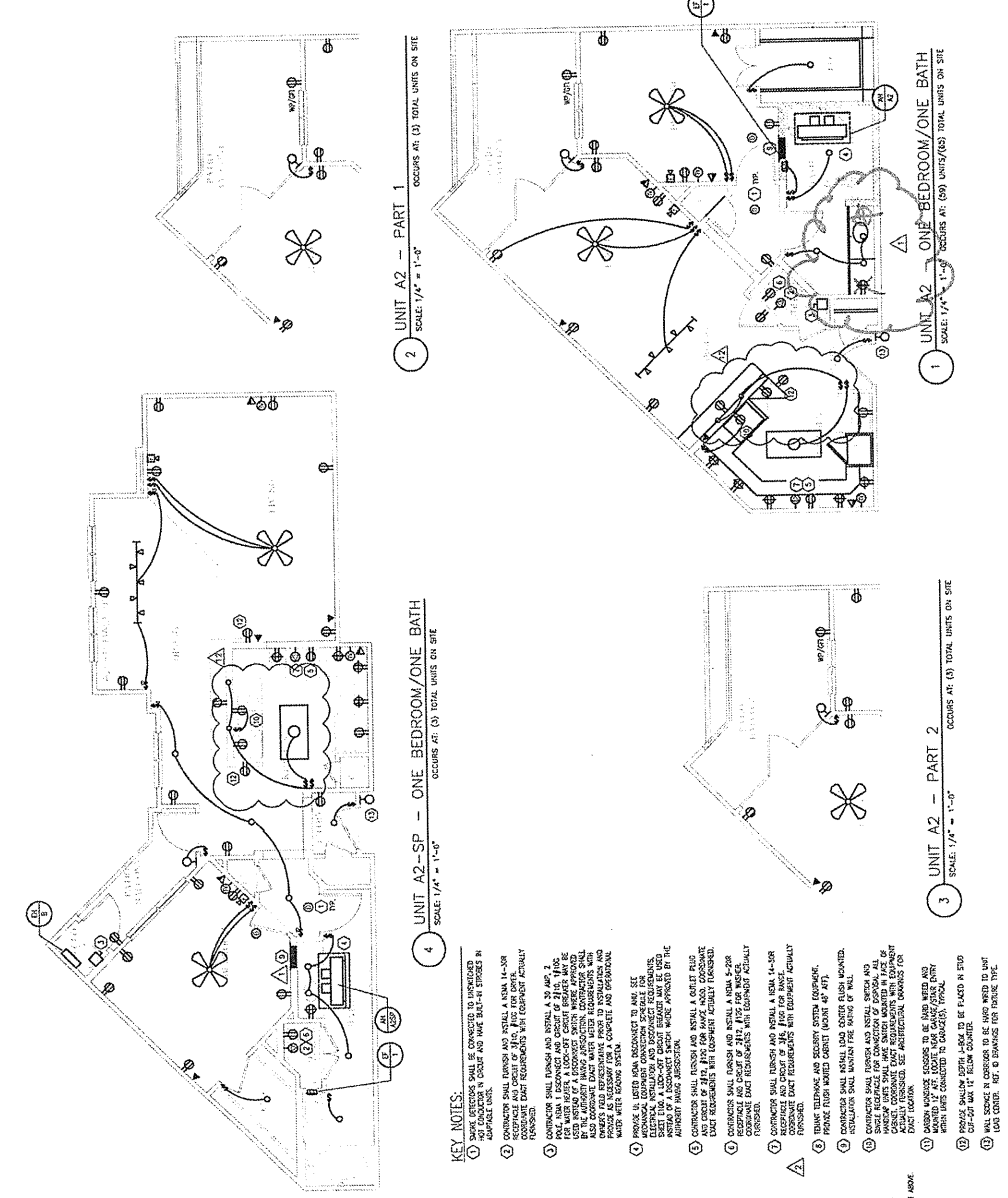
Response:

Reference the attached pdf's showing the correct outlet locations.

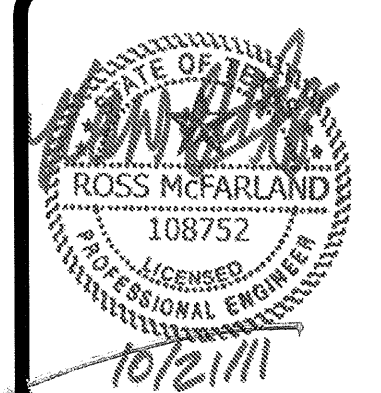
Heath Parnell
Approved by _____ Date 6/25/12
Company _____ Date _____

KELLER SPRINGS LOFTS
LOFT APARTMENTS IN ANDERSON TEXAS
PROJECT NO. 09-05-11
E-22

RFI 161

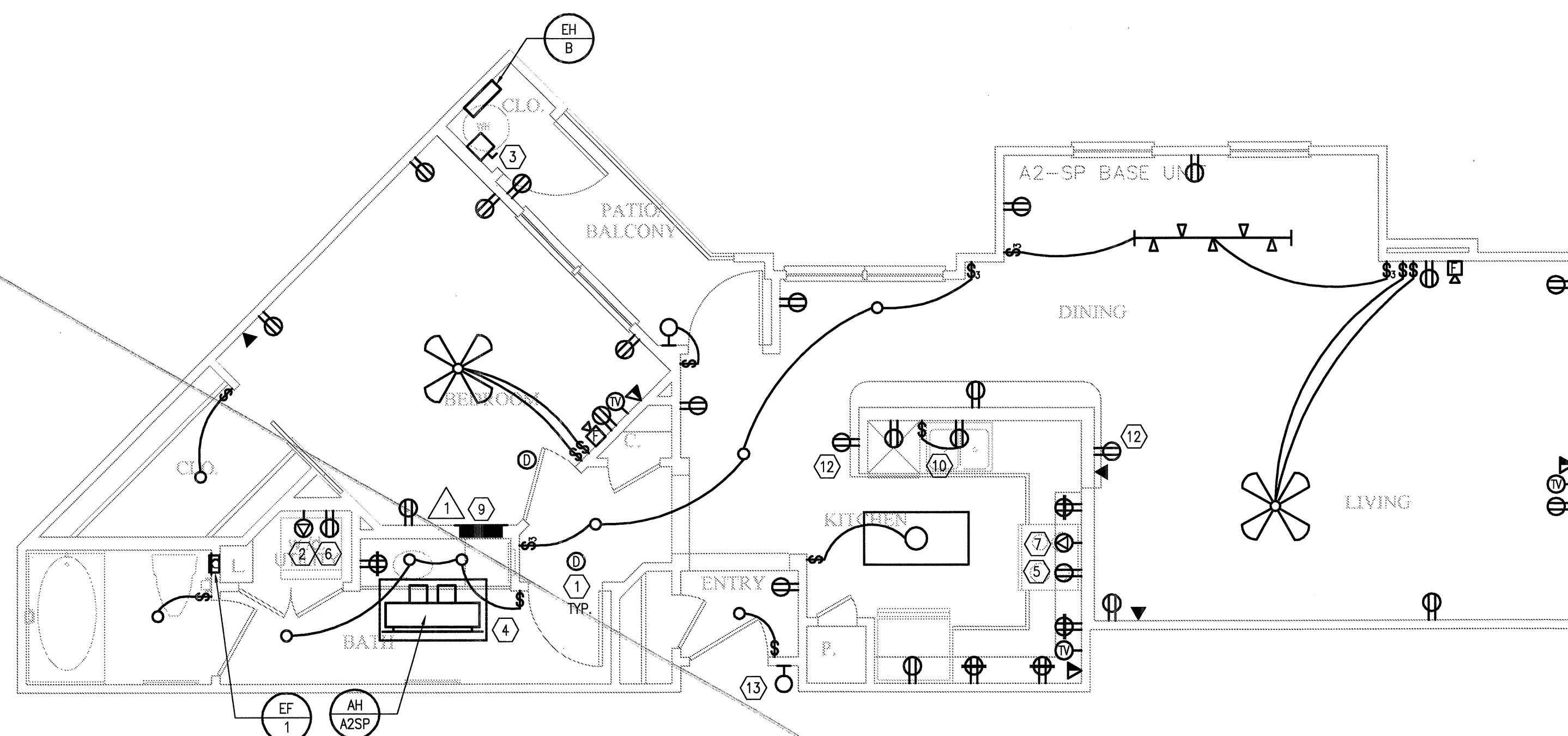


- 1. All electrical work shall be in accordance with the 2011 National Electrical Code (NEC) and the 2011 Texas Electrical Code (TEC).
- 2. All electrical work shall be in accordance with the manufacturer's instructions for the equipment.
- 3. All electrical work shall be in accordance with the applicable local, state, and federal codes and regulations.
- 4. All electrical work shall be in accordance with the applicable industry standards and practices.
- 5. All electrical work shall be in accordance with the applicable safety protocols and procedures.
- 6. All electrical work shall be in accordance with the applicable quality control and inspection requirements.
- 7. All electrical work shall be in accordance with the applicable record keeping and documentation requirements.
- 8. All electrical work shall be in accordance with the applicable communication and coordination requirements.
- 9. All electrical work shall be in accordance with the applicable risk management and mitigation requirements.
- 10. All electrical work shall be in accordance with the applicable project management and scheduling requirements.

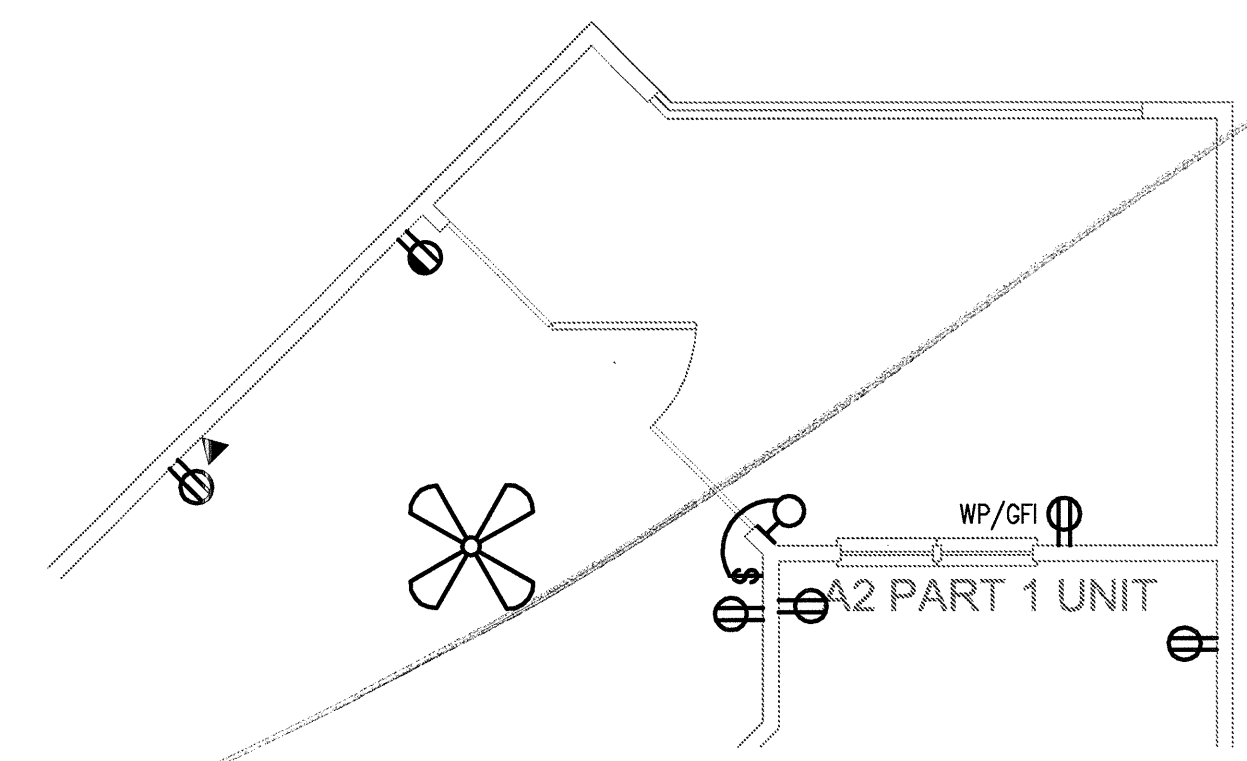


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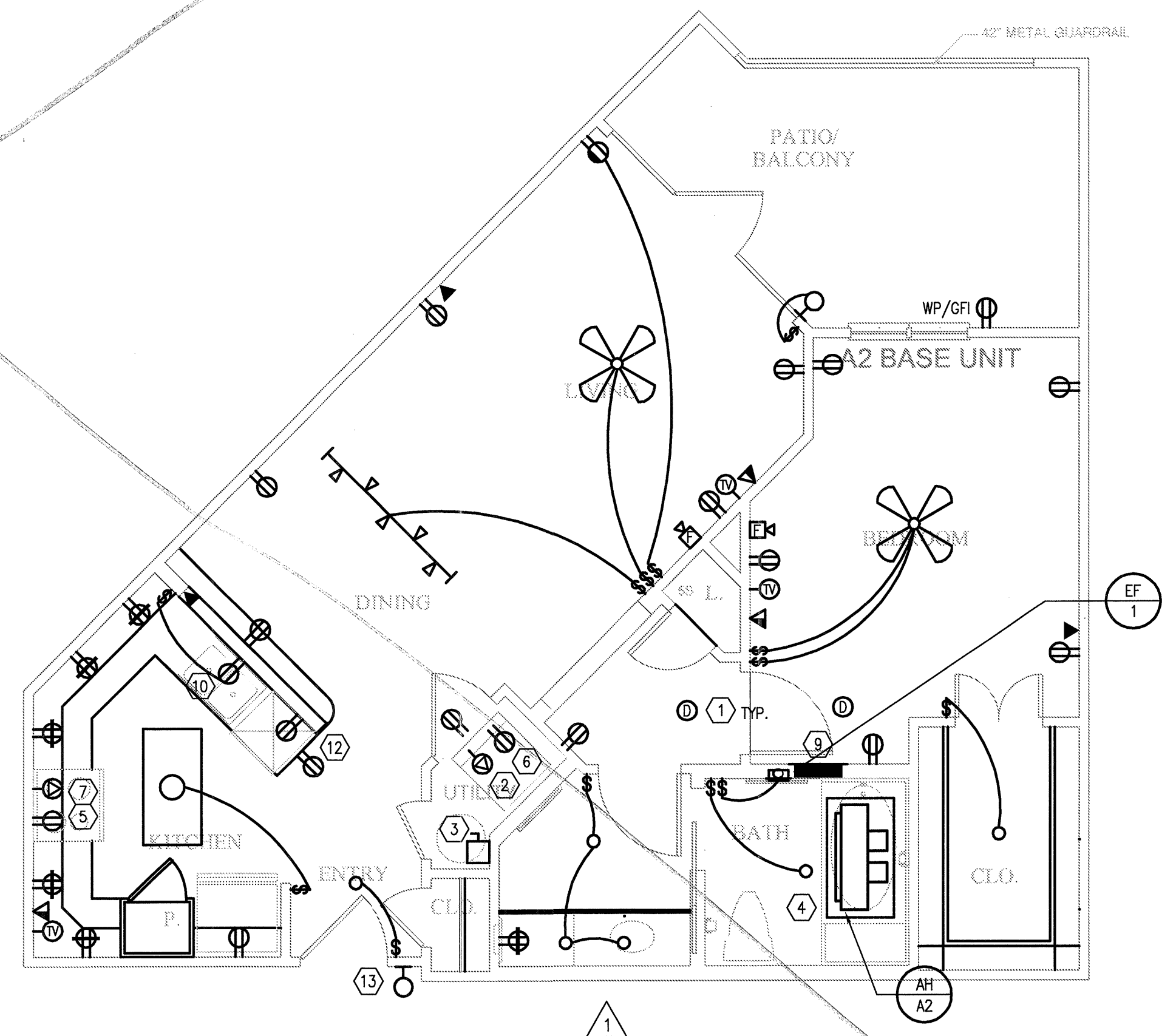
KELLER SPRINGS LOFTS
LOFT APARTMENTS IN ADDISON, TEXAS



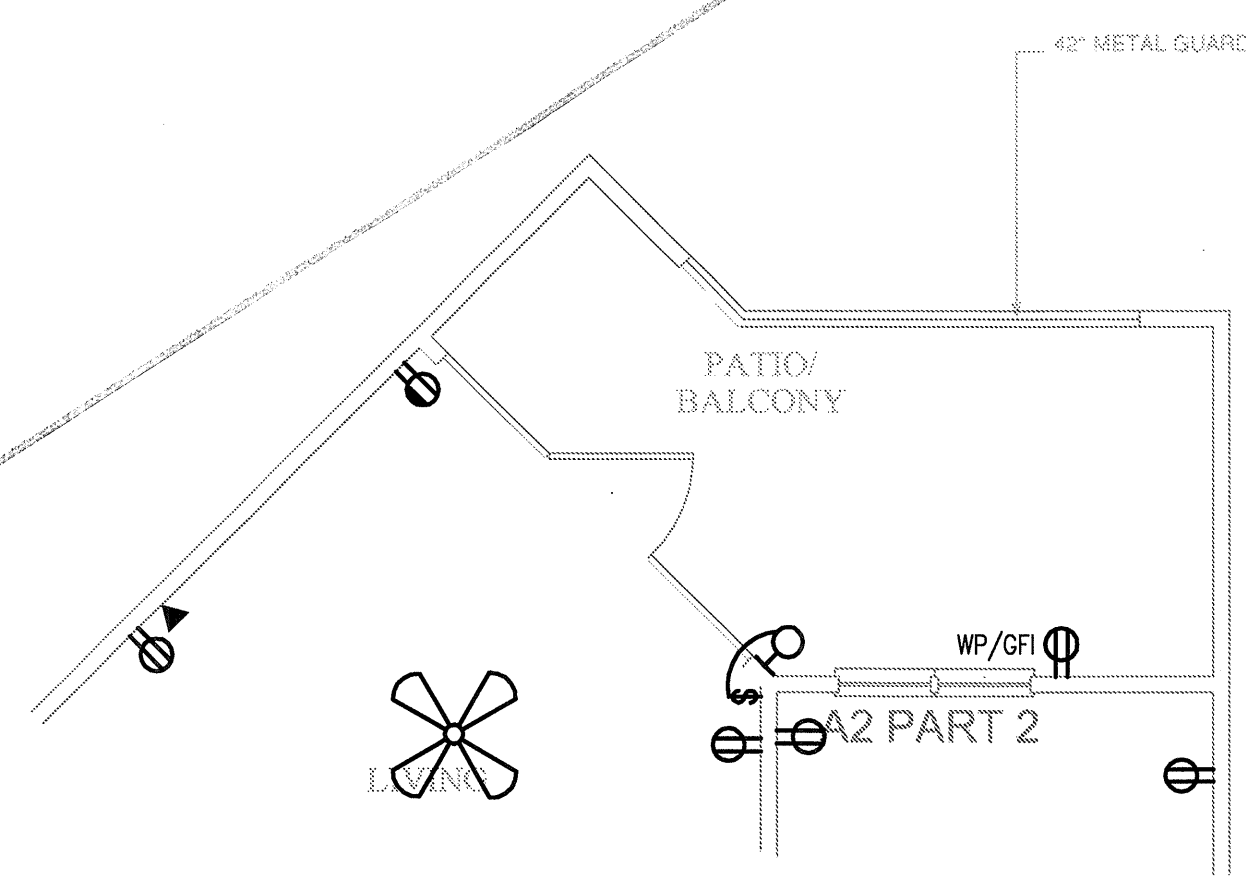
4 UNIT A2-SP - ONE BEDROOM/ONE BATH
SCALE: 1/4" = 1'-0" OCCURS AT: (3) TOTAL UNITS ON SITE



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1 UNIT A2 - ONE BEDROOM/ONE BATH
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GENERAL NOTES:

- REFER TO MECHANICAL EQUIPMENT CONNECTION SCHEDULE FOR ALL HVAC INFORMATION.
- ALL RECEPTACLE OUTLETS AT KITCHEN COUNTERTOPS AND IN BATHROOMS SHALL BE GFCI RATED.
- REFER TO MECHANICAL PLANS FOR LOCATION(S) OF EQUIPMENT TO BE SERVED.
- SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF CONDENSING UNITS.
- SWITCH ALL BATH EXHAUST FANS INDEPENDENT OF LIGHTS.
- VERIFY LOCATION OF WATER HEATER AND INCOMING WATER SUPPLY LINE WITH PLUMBING CONTRACTOR. PROVIDE GFI RECEPTACLE IN ATTIC FOR REMOTE READ WATER METERING. CONNECT RECEPTACLE TO NEAREST RECEPTACLE CIRCUIT.
- UNLESS OTHERWISE NOTED, ALL WIRE SIZES TO BE #12.
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- ALL GROUND FLOOR UNITS MUST COMPLY WITH THE "FAIR HOUSING" ELECTRICAL GUIDELINES. PROVIDE CONTROLS/OUTLETS IN ADDITION TO N.E.C. REQUIREMENTS. ALL CONTROLS/OUTLETS OVER CABINETS MUST BE A MINIMUM OF 36" FROM A CORNER AND 12" FROM WALL OR OTHER OBSTRUCTION.
- ON UPPER LEVEL UNITS WITH ATTIC ACCESS, PROVIDE ATTIC LIGHTING WITH SWITCH LOCATED ADJACENT TO AND ABOVE (ATTIC SIDE) ACCESS OPENING.
- A MINIMUM OF 75 dba FOR FIRE ALARM ANNUNCIATION SHALL BE MAINTAINED IN EVERY OCCUPIED SPACE.
- INSTALL ALL DISPOSAL SWITCHES AT ISLAND UNDER SINK IN ACCESSIBLE LOCATION. COORDINATE LOCATION WITH ARCHITECT.
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KEY NOTES:

- SMOKE DETECTORS SHALL BE CONNECTED TO UNSWITCHED HOT CONDUCTOR IN CIRCUIT AND HAVE BUILT-IN STROBES IN ADAPTABLE UNITS.
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DATE
08-05-11

PROJECT
11129

SHEET NUMBER
E-2.2

JSE Jordan & Skala Engineers
14245 Midway Road, Suite 350
Dallas, TX 75244-5138
W: (469) 383-9176 F: (469) 383-1613
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: MJ Checked By: RAD



REVISIONS		
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KELLER SPRINGS LOFTS
 LOFT APARTMENTS IN ADDISON, TEXAS

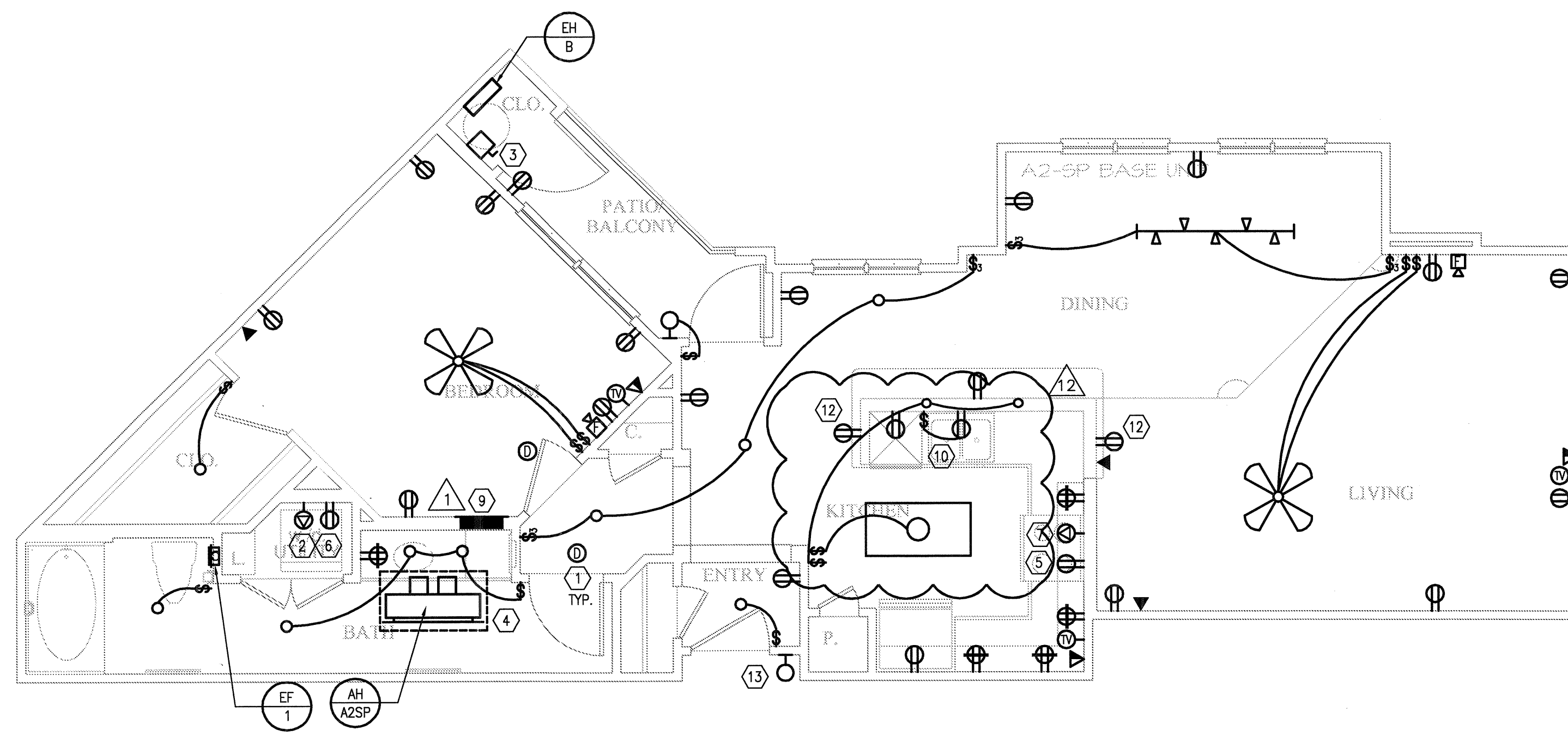
10	5-15-2012	COORDINATION
11	5-30-2012	SITE COORDINATION
12	6-01-12	LIGHTING REVISIONS

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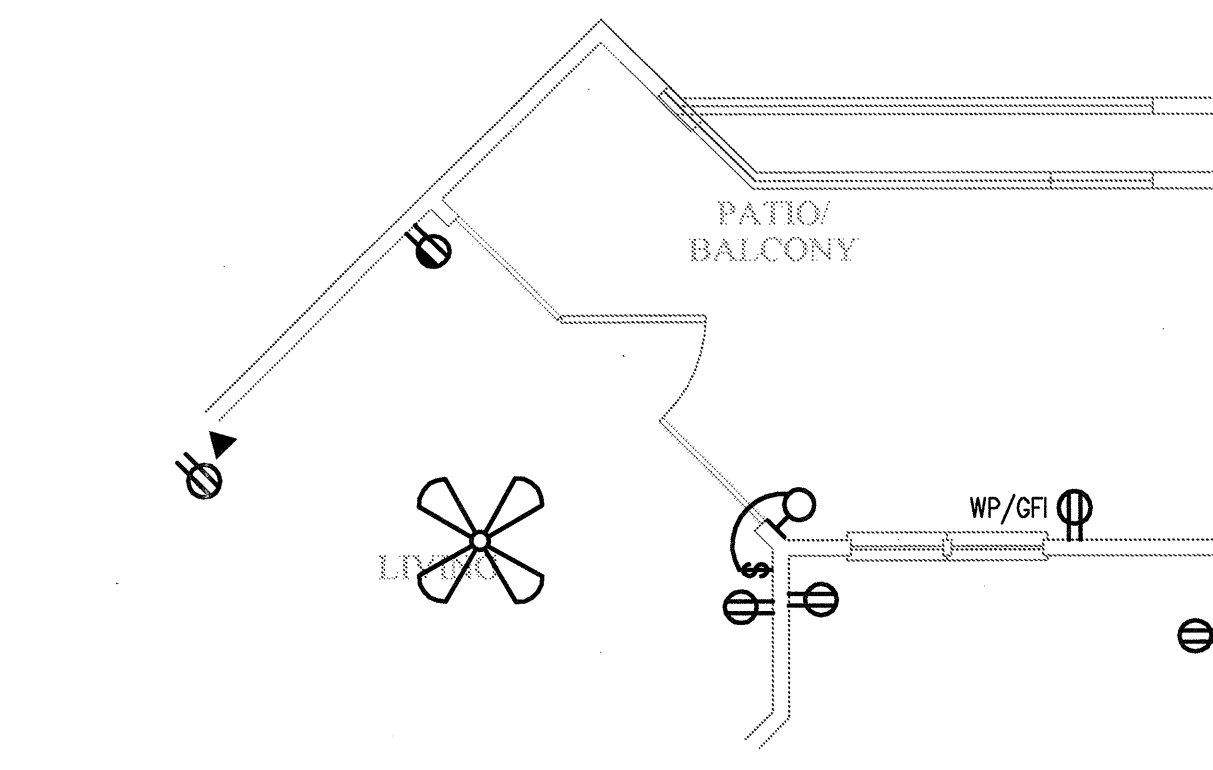
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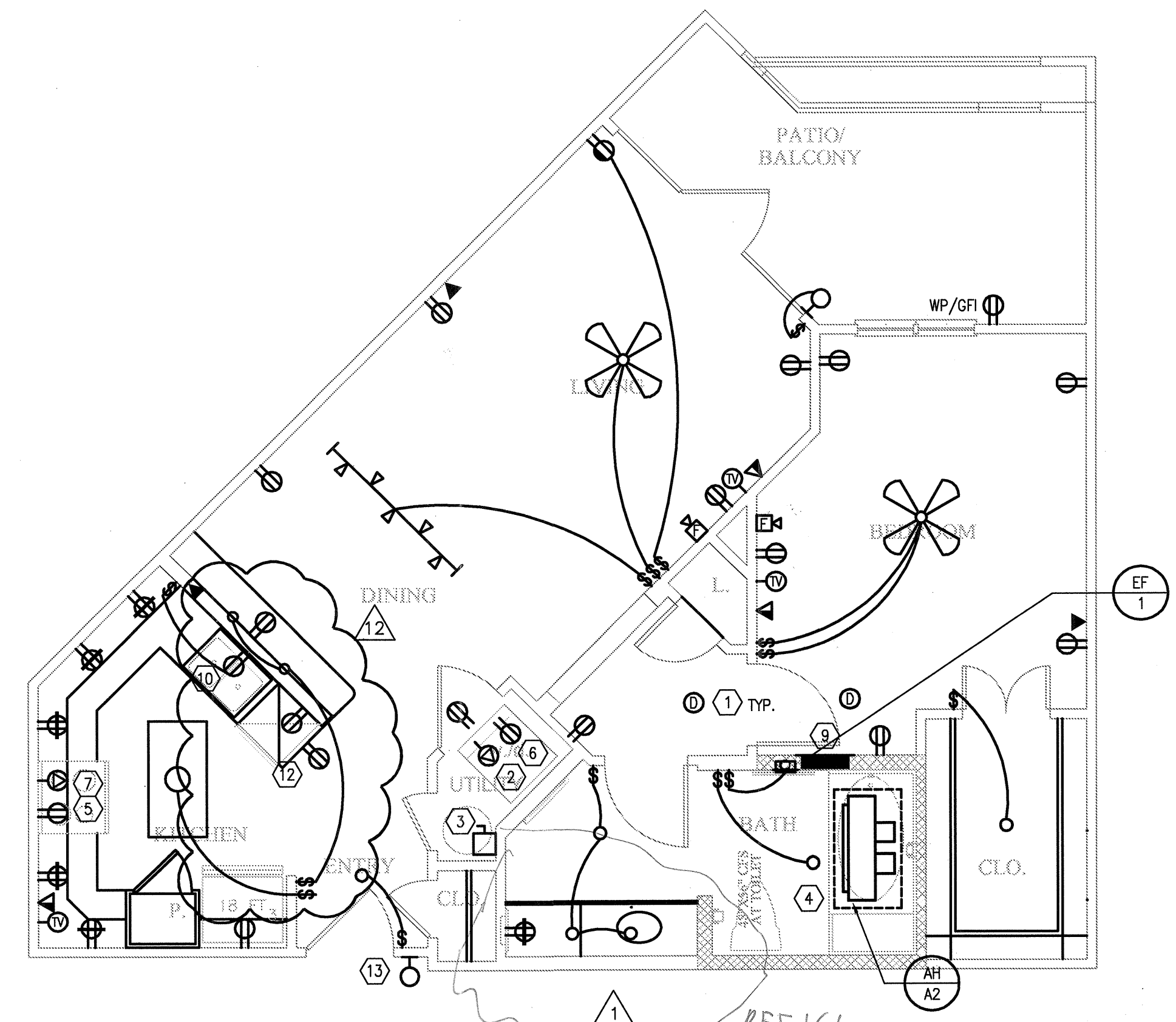
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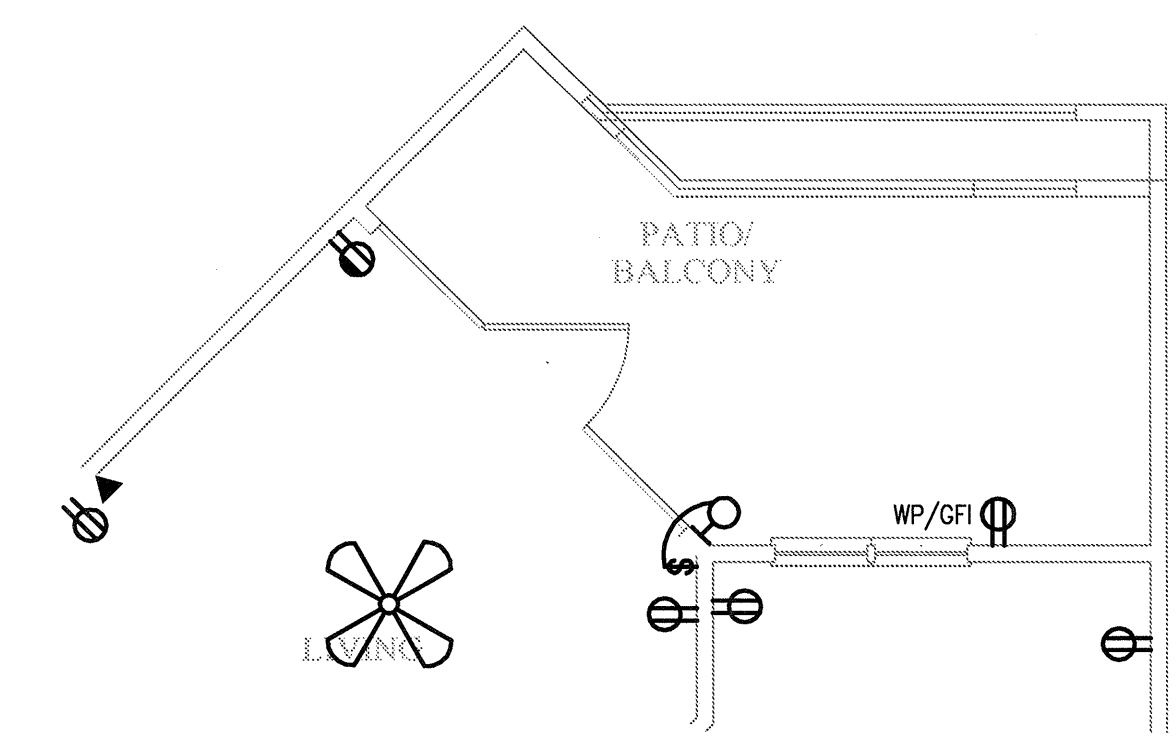
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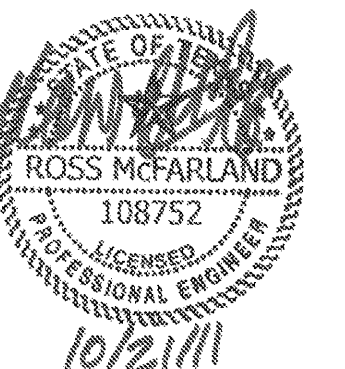
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KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS

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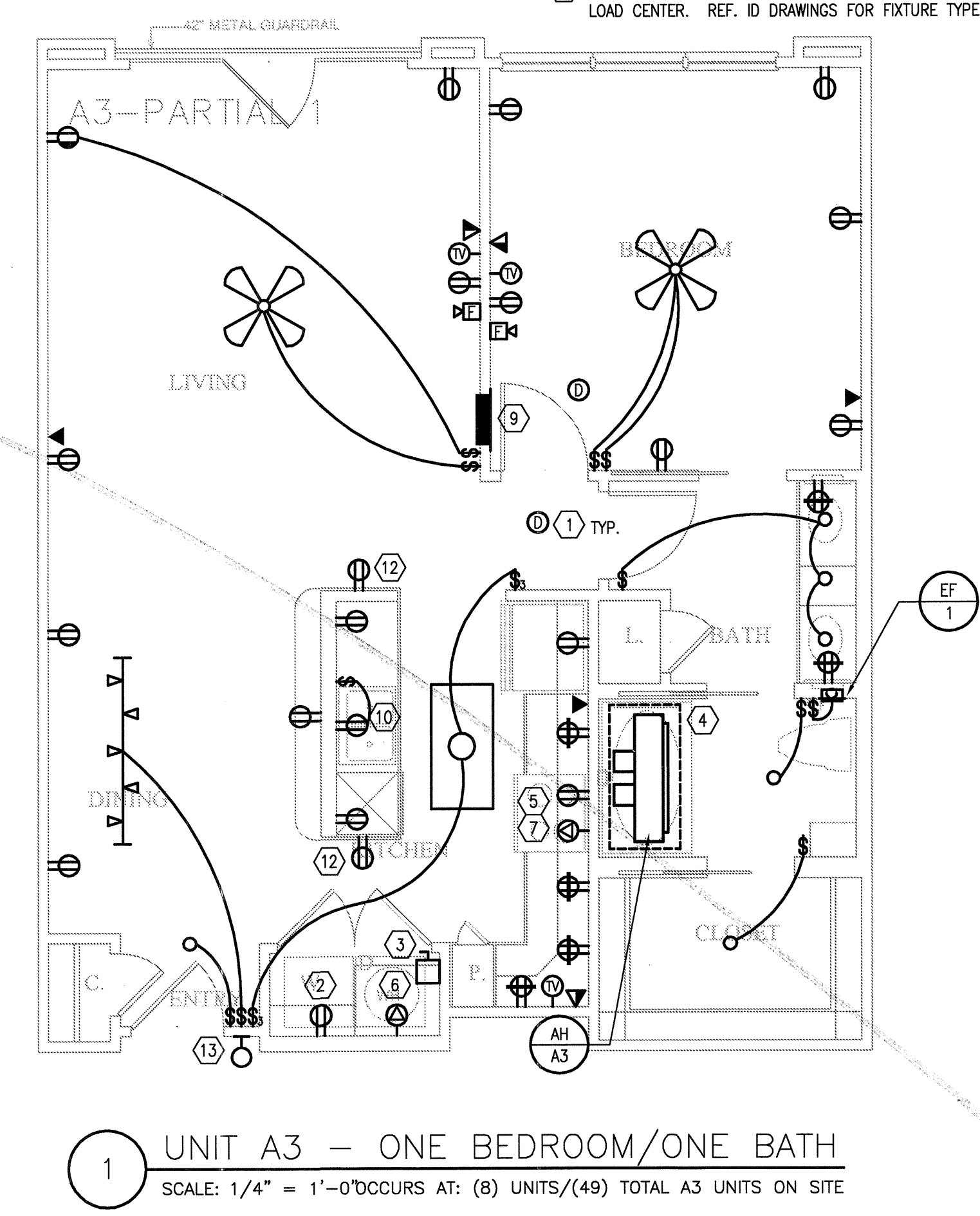
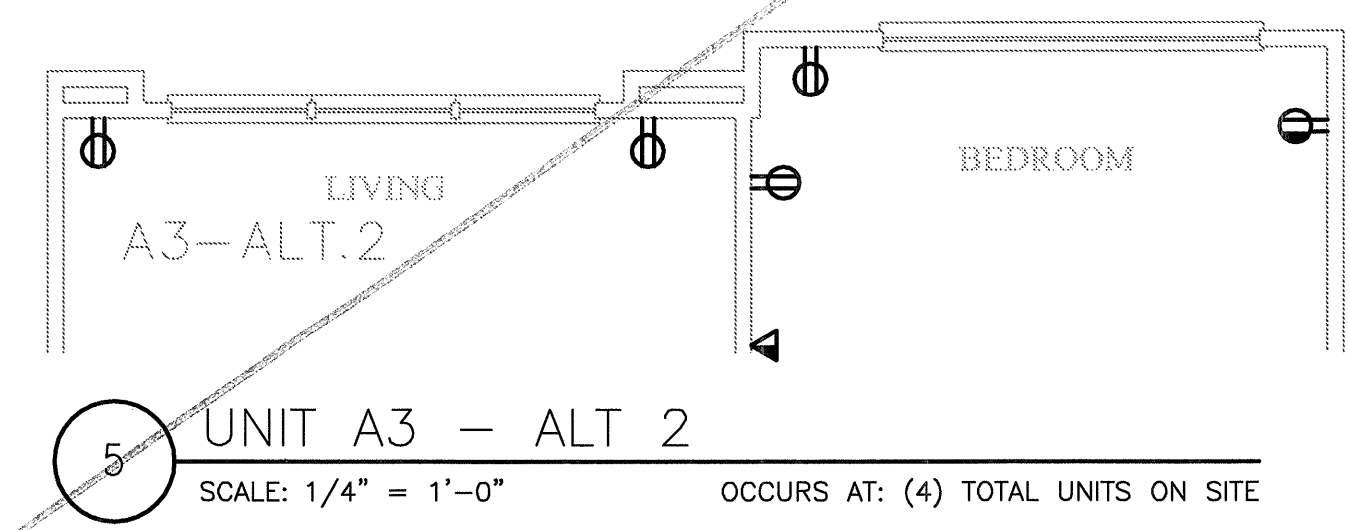
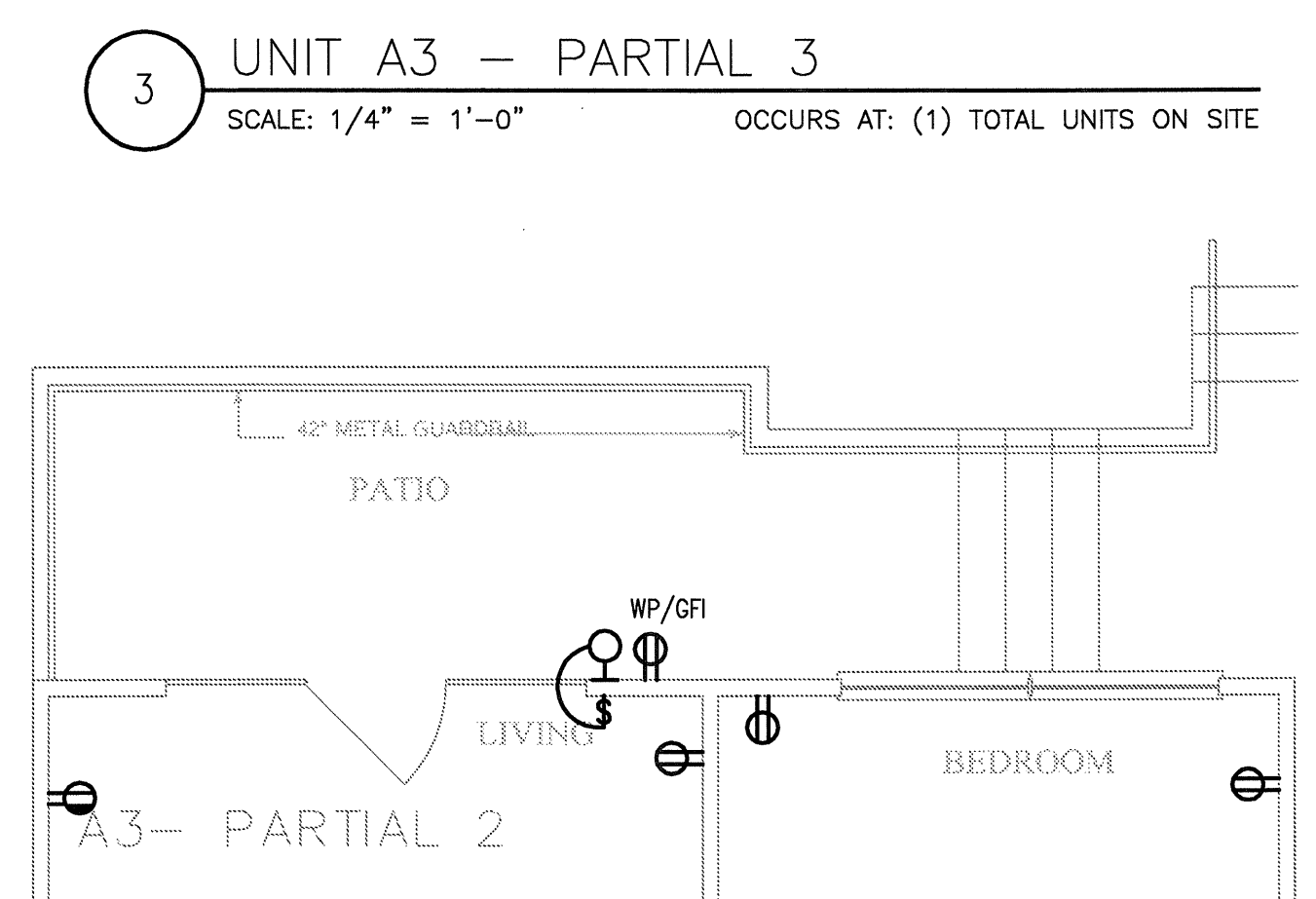
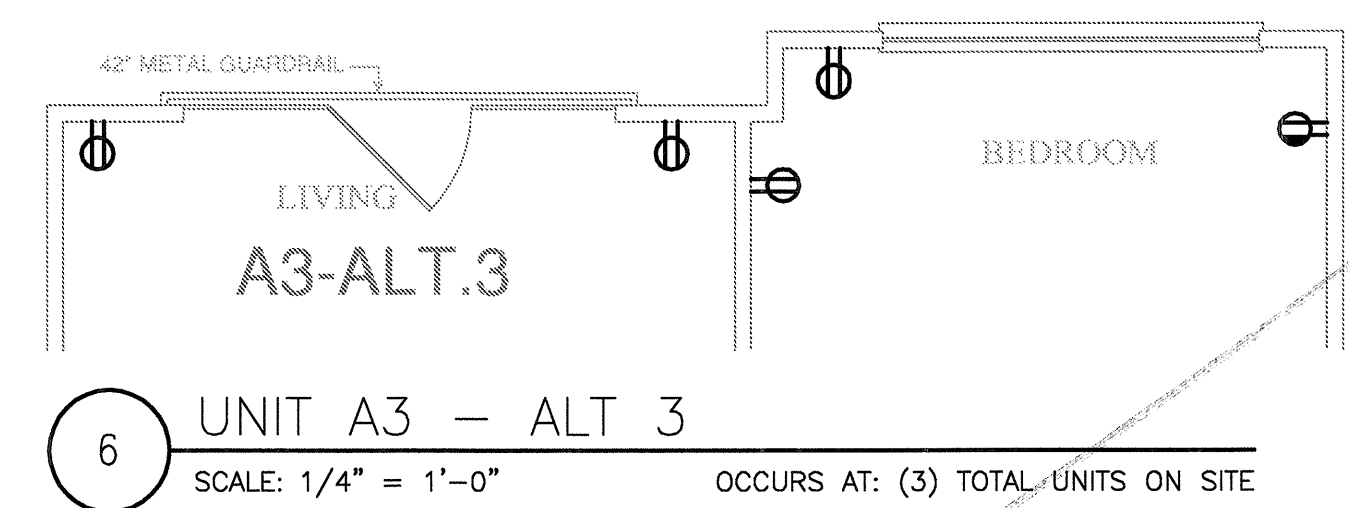
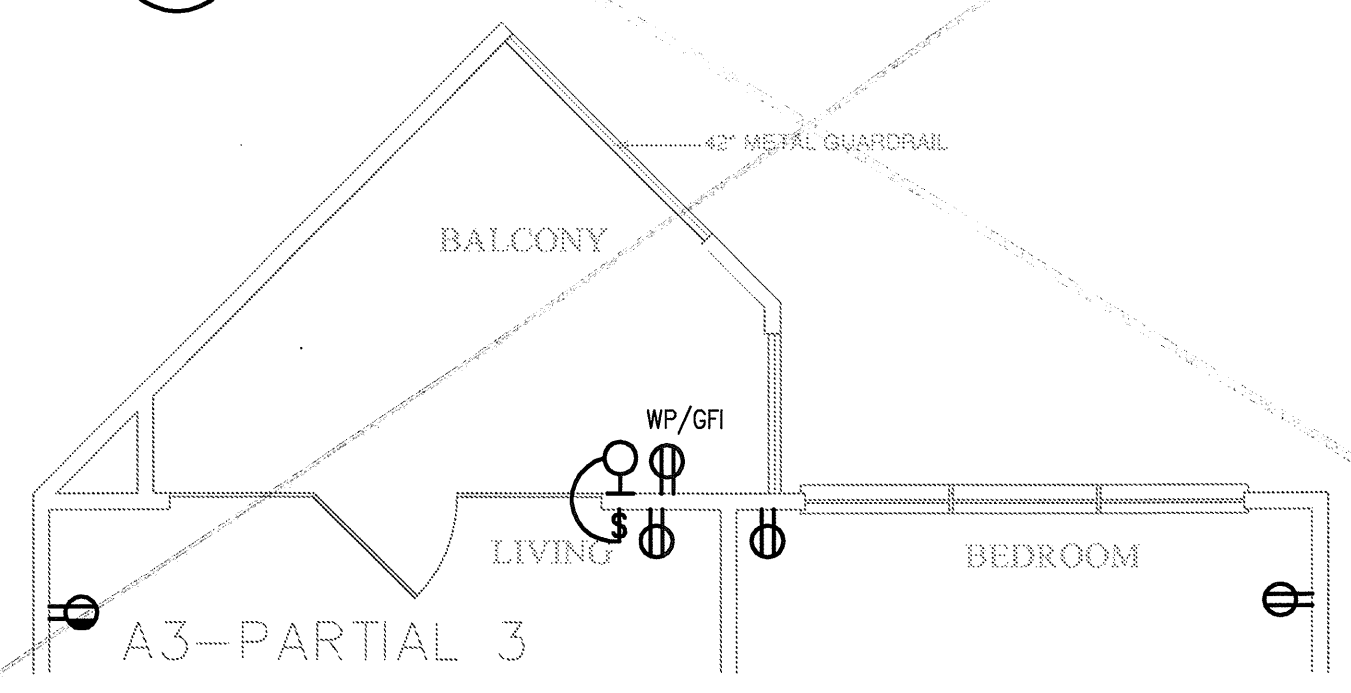
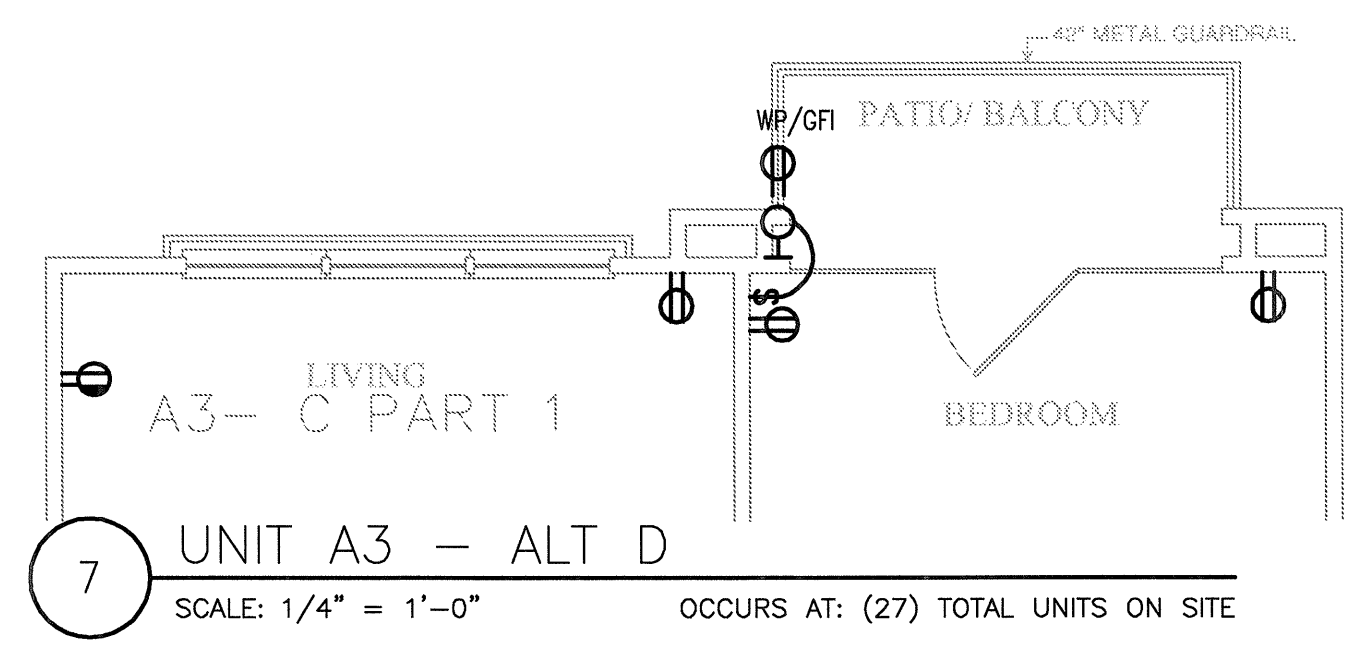
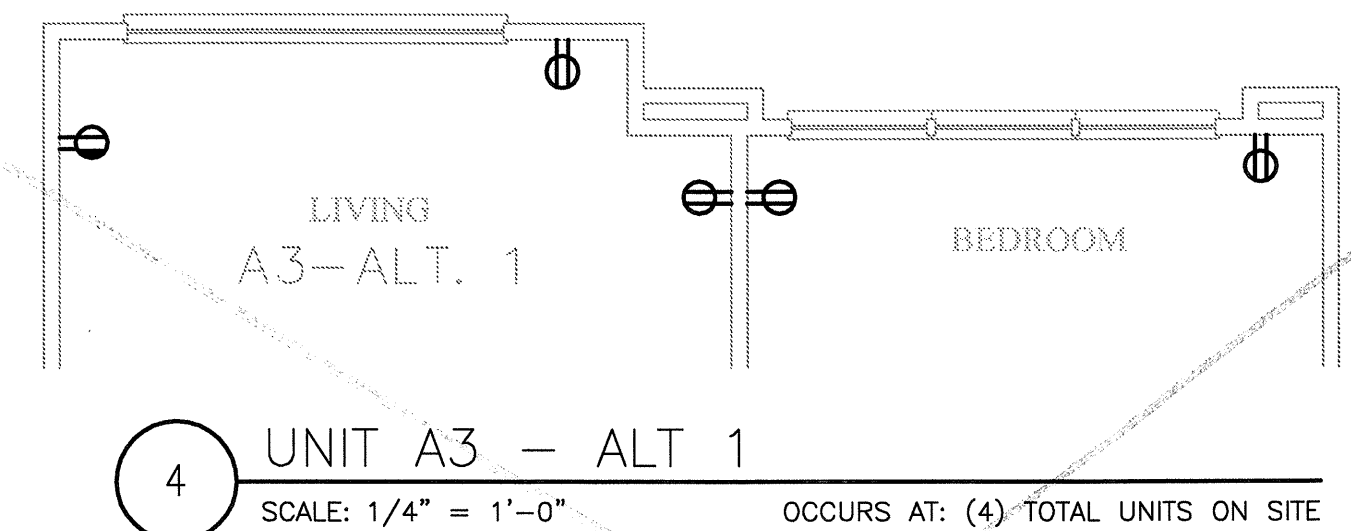
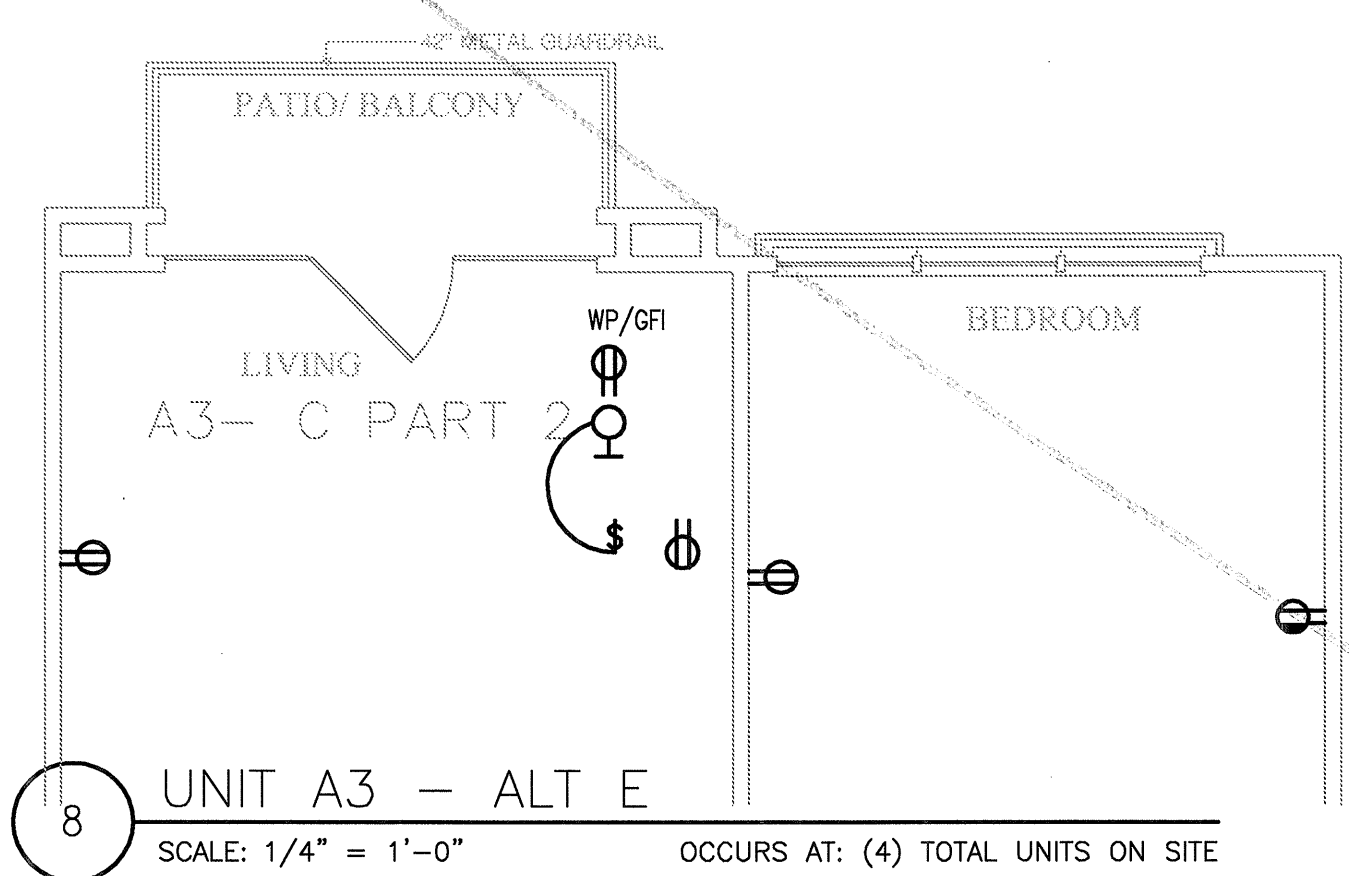
E-2.3

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KELLER SPRINGS LOFTS

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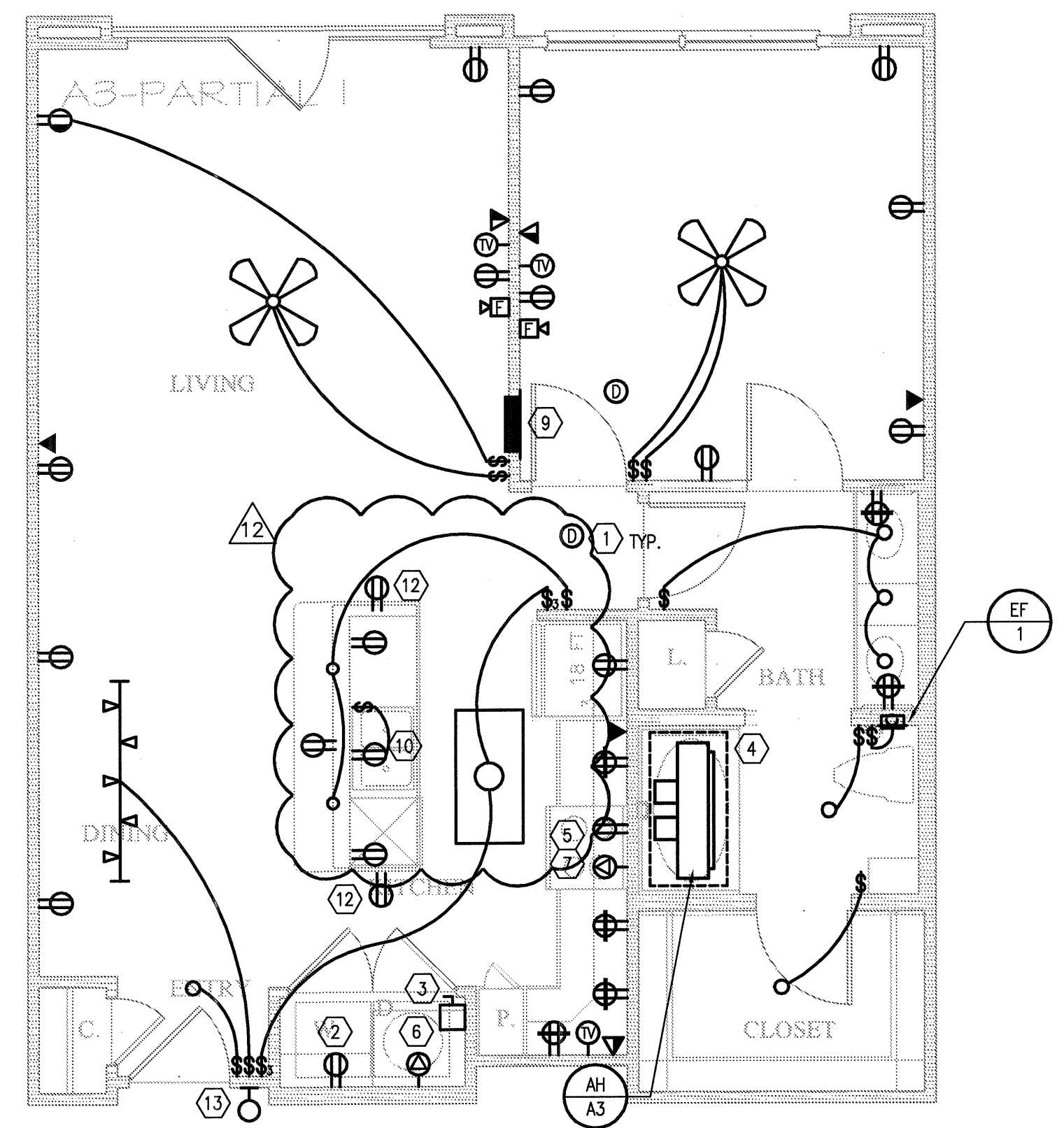
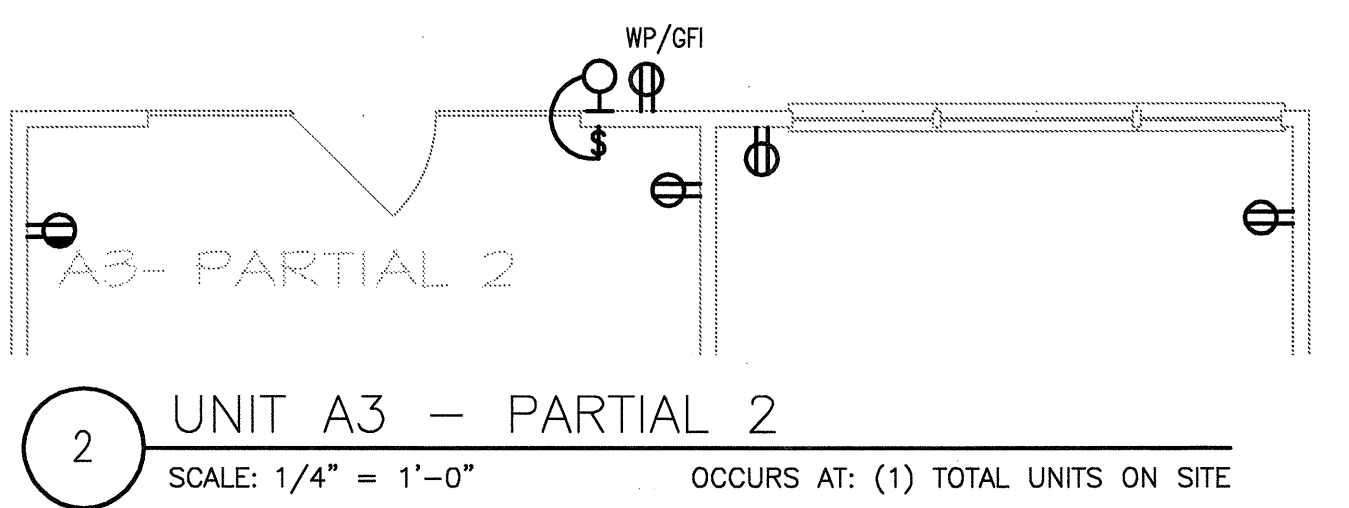
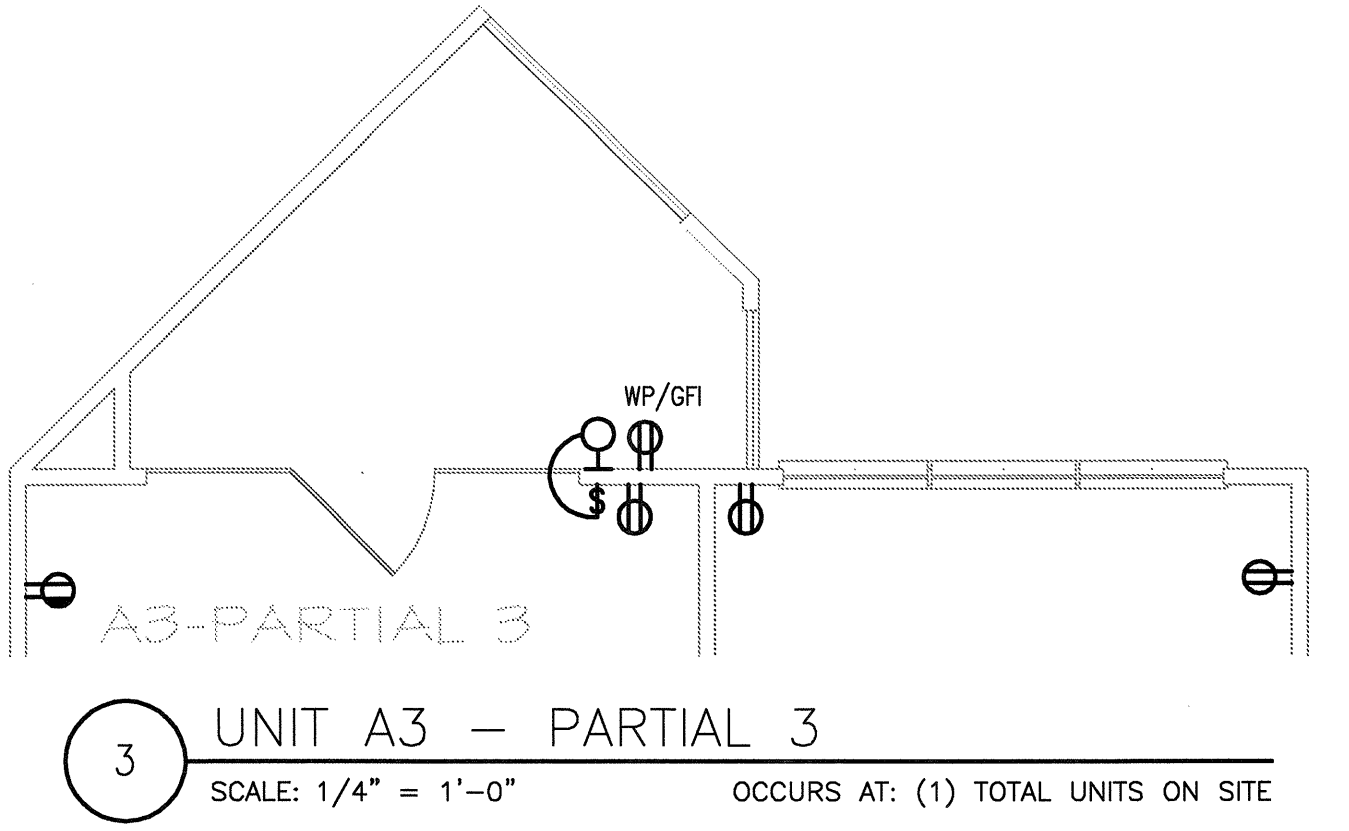
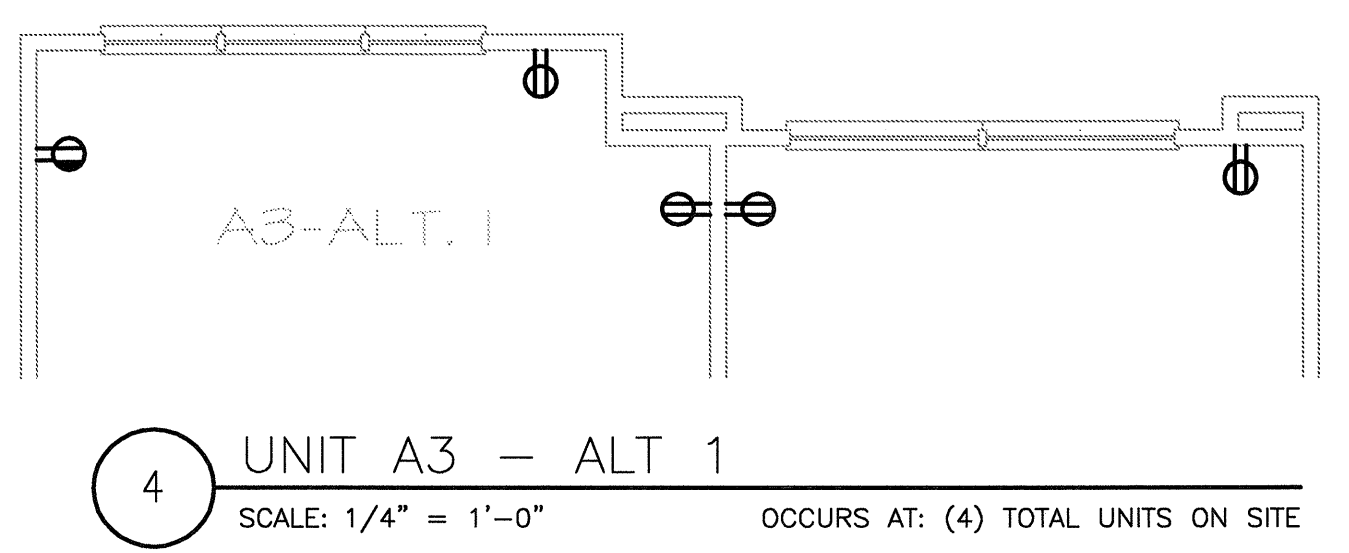
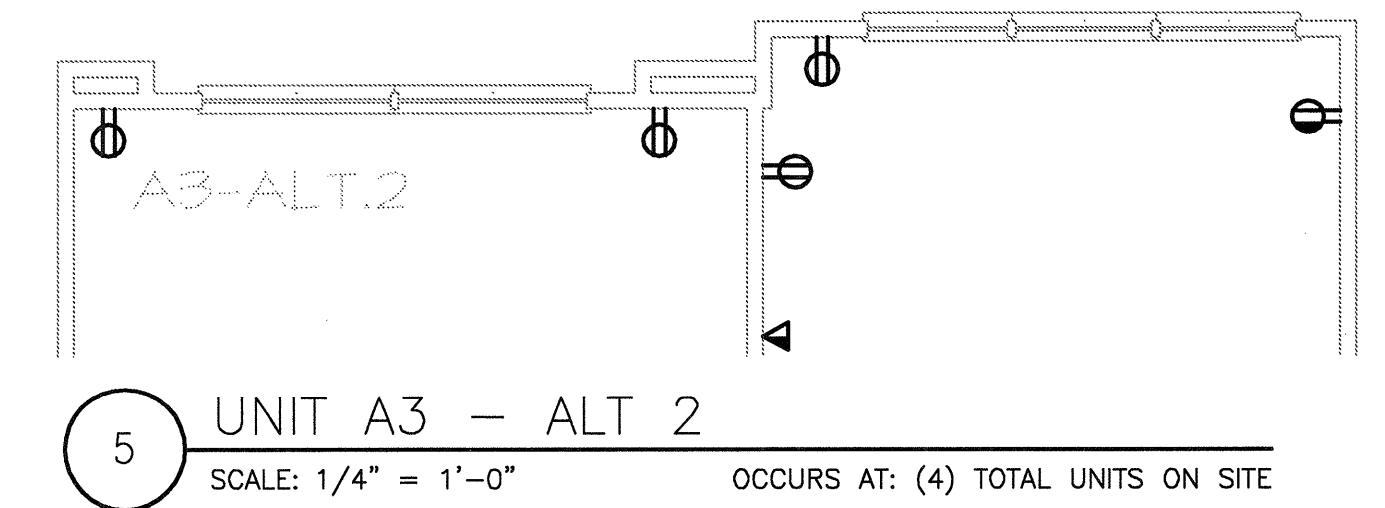
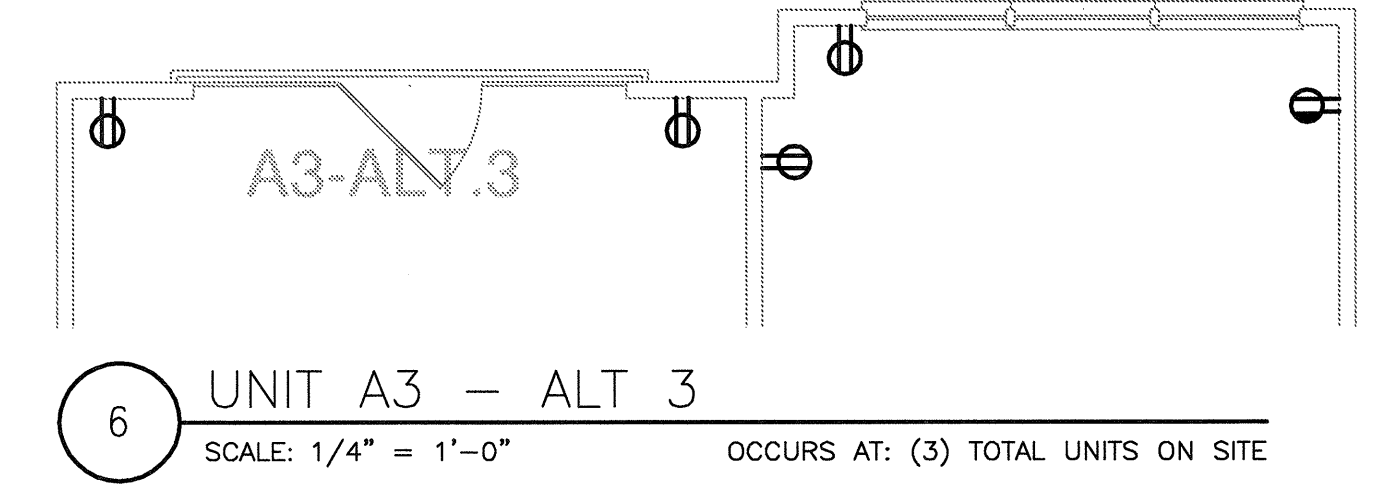
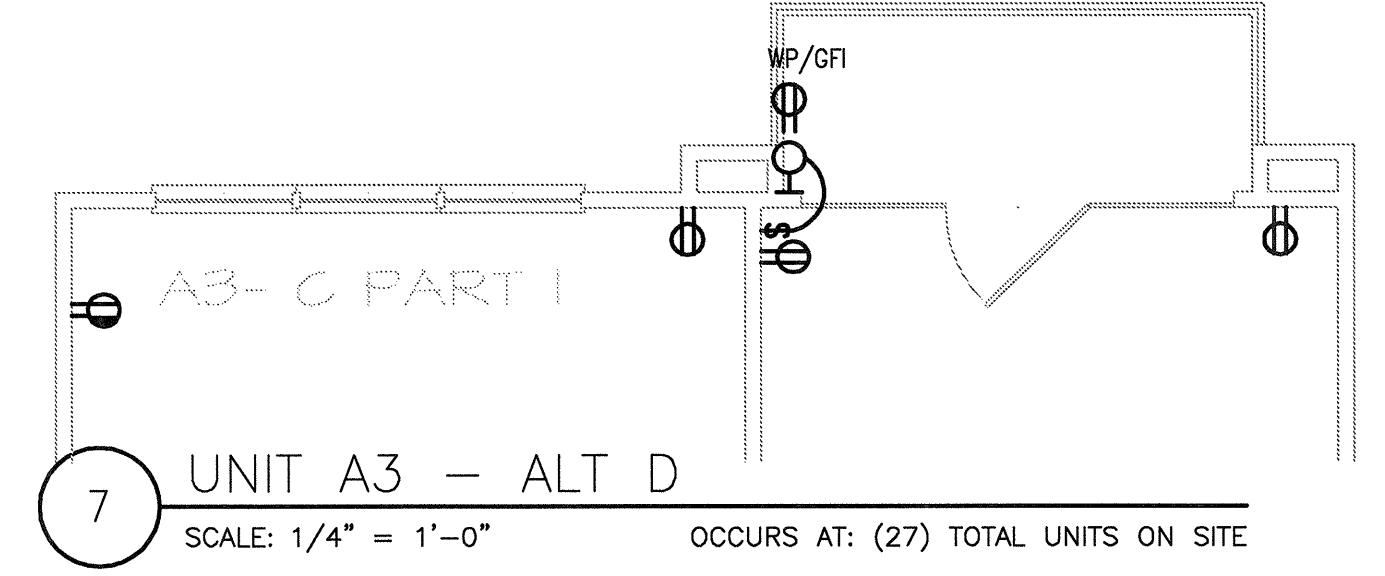
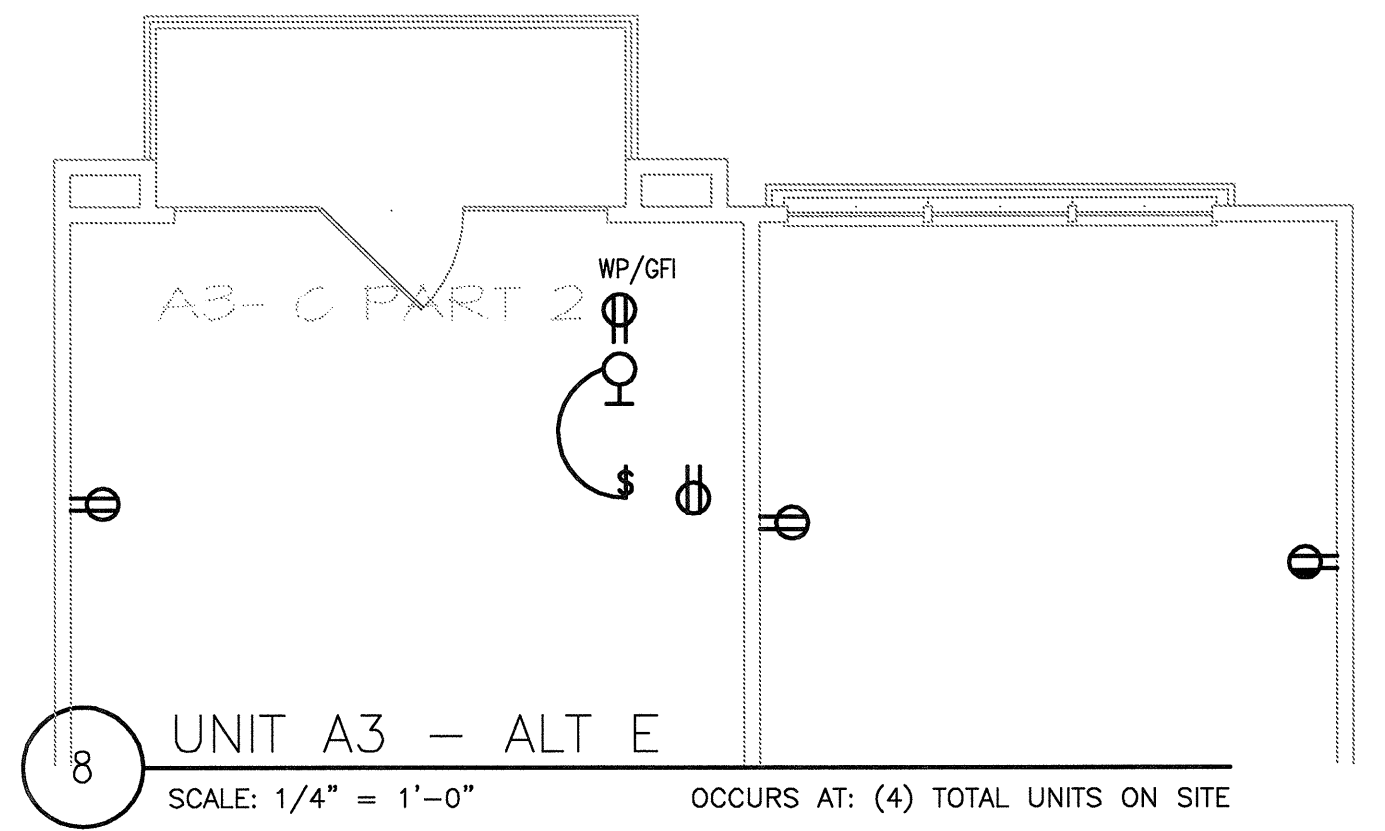
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E-2.3

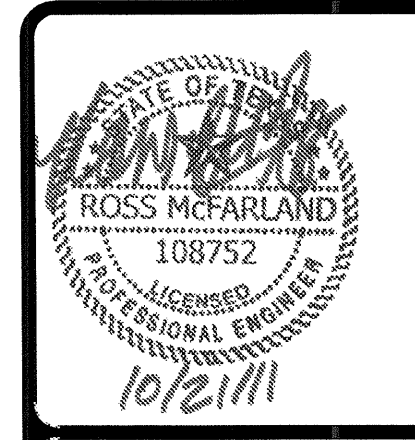
GENERAL NOTES:

- REFER TO MECHANICAL EQUIPMENT CONNECTION SCHEDULE FOR ALL HVAC INFORMATION.
- ALL RECEPTACLE OUTLETS AT KITCHEN COUNTERTOPS AND IN BATHROOMS SHALL BE GFCI RATED.
- REFER TO MECHANICAL PLANS FOR LOCATION(S) OF EQUIPMENT TO BE SERVED.
- SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF CONDENSING UNITS.
- SWITCH ALL BATH EXHAUST FANS INDEPENDENT OF LIGHTS.
- VERIFY LOCATION OF WATER HEATER AND INCOMING WATER SUPPLY LINE WITH PLUMBING CONTRACTOR. PROVIDE GFI RECEPTACLE IN ATTIC FOR REMOTE READ WATER METERING. CONNECT RECEPTACLE TO NEAREST RECEPTACLE CIRCUIT.
- UNLESS OTHERWISE NOTED, ALL WIRE SIZES TO BE #12.
- CIRCUITS SERVING BEDROOM OUTLETS TO BE AFCI PROTECTED.
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- SMOKE DETECTORS SHALL BE INSTALLED IN ALL SLEEPING ROOMS WHERE REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
- OUTDOOR RECEPTACLES TO BE WEATHERPROOF AND GFCI PROTECTED.
- CENTER ALL CEILING FANS IN ROOMS.
- ANY ADJUSTMENTS FOR ADAPTABLE UNITS TO BE COORDINATED BY PURCHASER AT TIME OF AGREEMENT.
- ALL GROUND FLOOR UNITS MUST COMPLY WITH THE "FAIR HOUSING" ELECTRICAL GUIDELINES. PROVIDE CONTROLS/OUTLETS IN ADDITION TO N.E.C. REQUIREMENTS. ALL CONTROLS/OUTLETS OVER CABINETS MUST BE A MINIMUM OF 36" FROM A CORNER AND 12" FROM WALL OR OTHER OBSTRUCTION.
- ON UPPER LEVEL UNITS WITH ATTIC ACCESS, PROVIDE ATTIC LIGHTING WITH SWITCH LOCATED ADJACENT TO AND ABOVE (ATTIC SIDE) ACCESS OPENING.
- A MINIMUM OF 75 dba FOR FIRE ALARM ANNUNCIATION SHALL BE MAINTAINED IN EVERY OCCUPIED SPACE.
- INSTALL ALL DISPOSAL SWITCHES AT ISLAND UNDER SINK IN ACCESSIBLE LOCATION. COORDINATE LOCATION WITH ARCHITECT.
- INSTALL ALL UNDERCABINET LIGHTS ABOVE COMPUTER DESK TO CABINET ABOVE.
- REFER TO NEC ARTICLE 210 FOR BRANCH CIRCUITS, LIGHTING AND RECEPTACLES REQUIREMENTS.
- MECHANICAL CONTRACTOR SHALL SUPPLY BATH EXHAUST FAN SWITCH

KEY NOTES:

- SMOKE DETECTORS SHALL BE CONNECTED TO UNSWITCHED HOT CONDUCTOR IN CIRCUIT AND HAVE BUILT-IN STROBES IN ADAPTABLE UNITS.
- CONTRACTOR SHALL FURNISH AND INSTALL A NEMA 14-30R RECEPTACLE AND CIRCUIT OF 3#10, #10G FOR DRYER. COORDINATE EXACT REQUIREMENTS WITH EQUIPMENT ACTUALLY FURNISHED.
- CONTRACTOR SHALL FURNISH AND INSTALL A 30 AMP, 2 POLE, NEMA 1 DISCONNECT AND CIRCUIT OF 2#10, 1#10G FOR WATER HEATER. A LOCK-OFF CIRCUIT BREAKER MAY BE USED INSTEAD OF A DISCONNECT SWITCH WHERE APPROVED BY THE AUTHORITY HAVING JURISDICTION. CONTRACTOR SHALL ALSO COORDINATE EXACT WATER METER REQUIREMENTS WITH OWNER'S FIELD REPRESENTATIVE PRIOR TO INSTALLATION AND PROVIDE AS NECESSARY FOR A COMPLETE AND OPERATIONAL WATER METER READING SYSTEM.
- PROVIDE UL LISTED NEMA DISCONNECT TO AHU. SEE MECHANICAL EQUIPMENT CONNECTION SCHEDULE FOR ELECTRICAL INSTALLATION AND DISCONNECT REQUIREMENTS. SHEET E100. A LOCK-OFF CIRCUIT BREAKER MAY BE USED INSTEAD OF A DISCONNECT SWITCH WHERE APPROVED BY THE AUTHORITY HAVING JURISDICTION.
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1	9-2-2011 DESIGN REVISIONS
2	9-13-2011 ANSI/FHA COMMENTS
3	9-23-2011 DESIGN REVISIONS
4	10-17-2011 CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS

BGO
architects

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Dallas, TX 75204
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bgoarchitects.com

DATE
08-05-11

PROJECT
11129

SHEET NUMBER

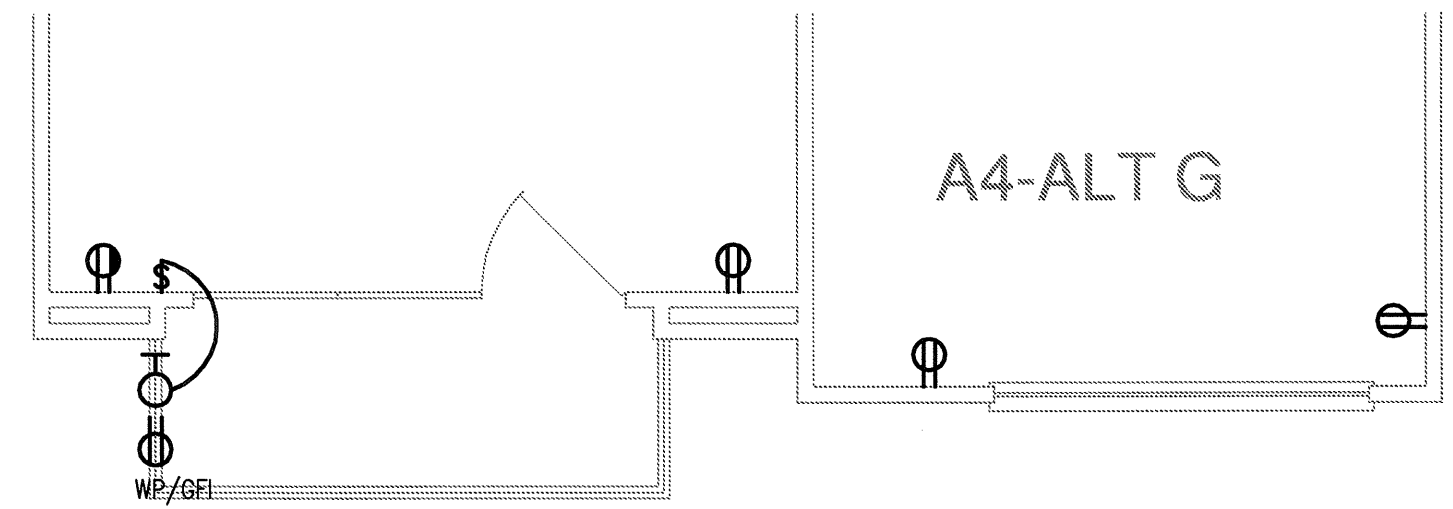
E-2.4

GENERAL NOTES:

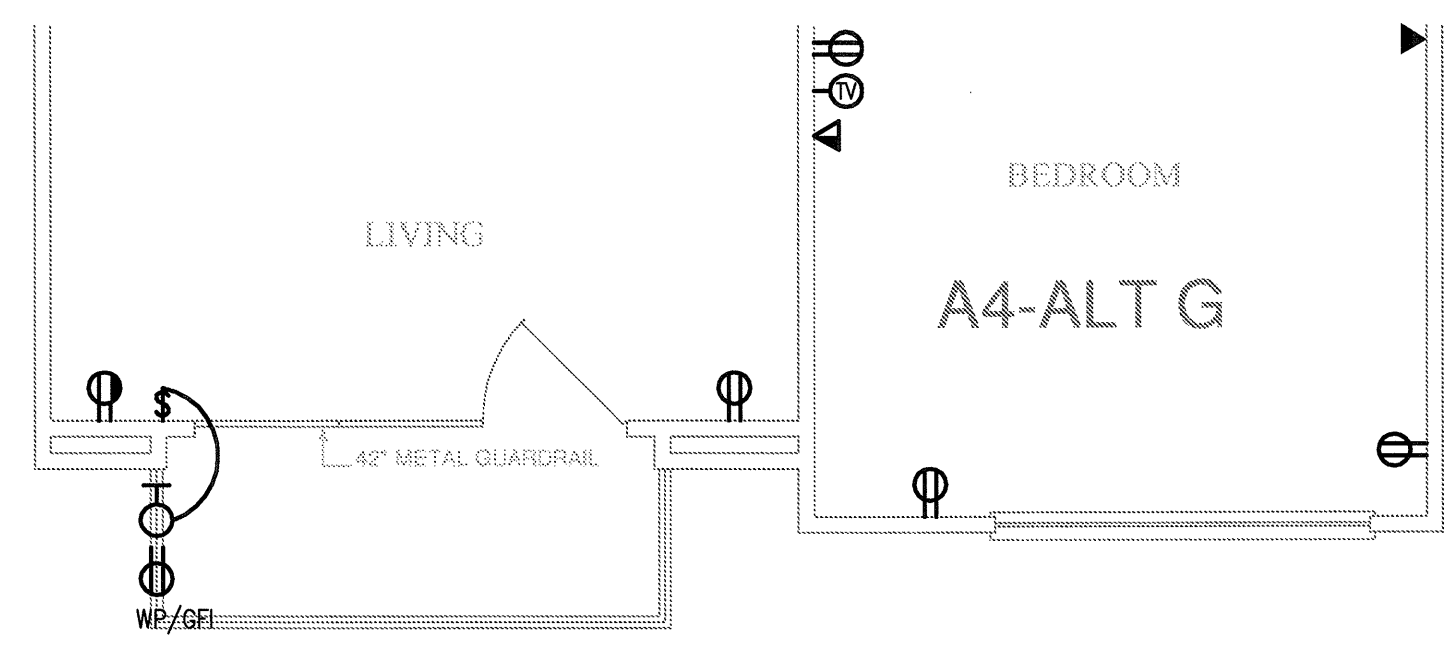
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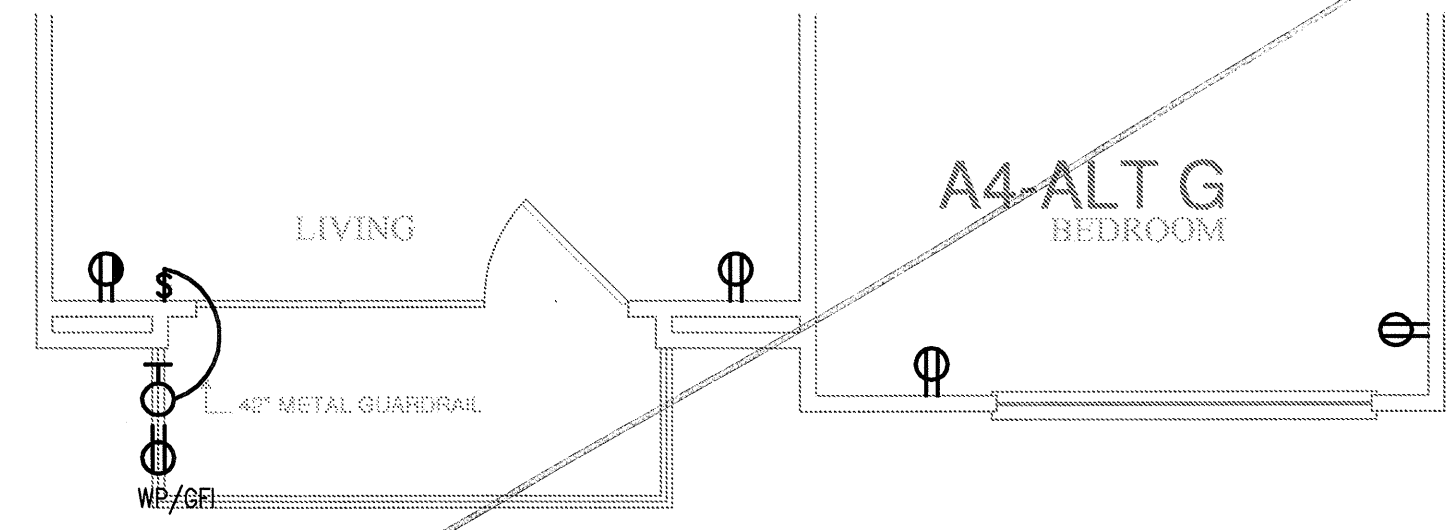
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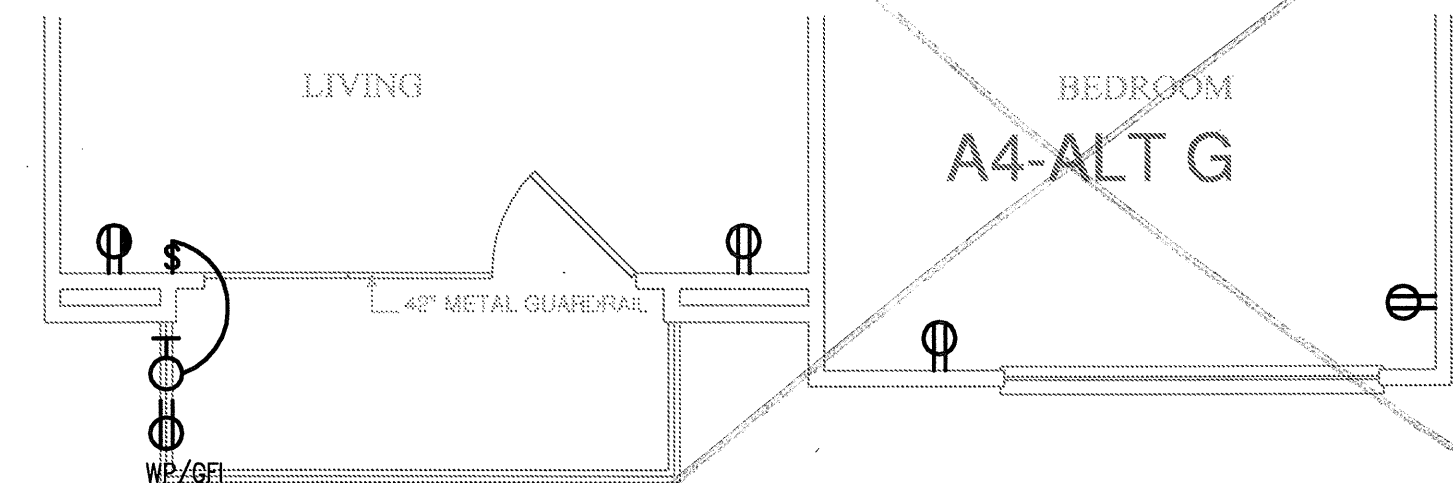
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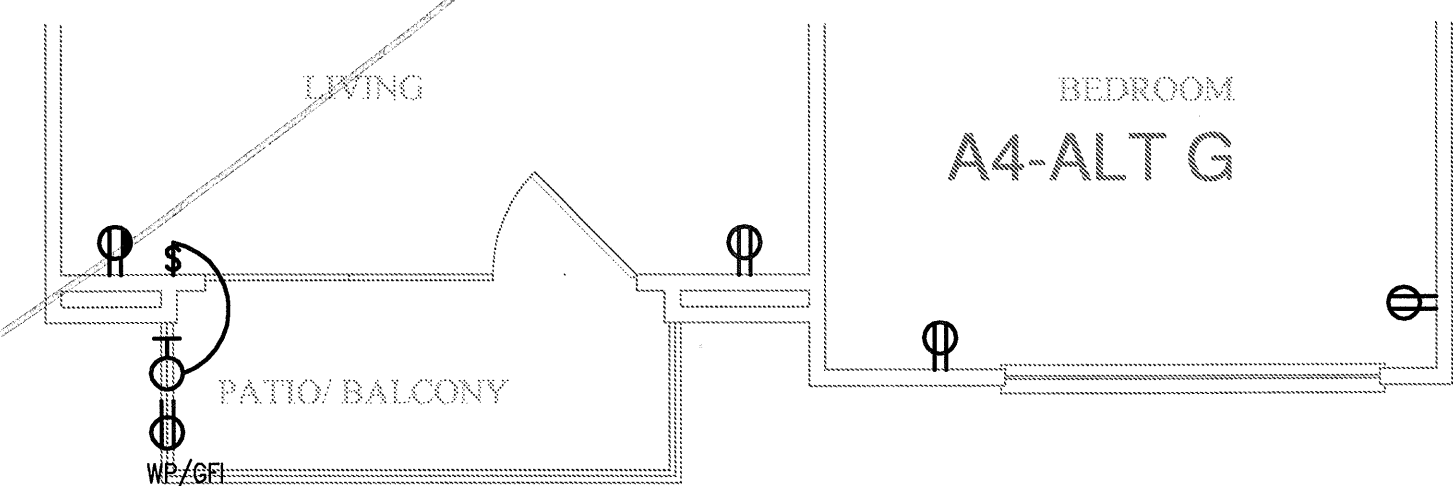
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SCALE: 1/4" = 1'-0" OCCURS AT: (1) TOTAL UNITS ON SITE



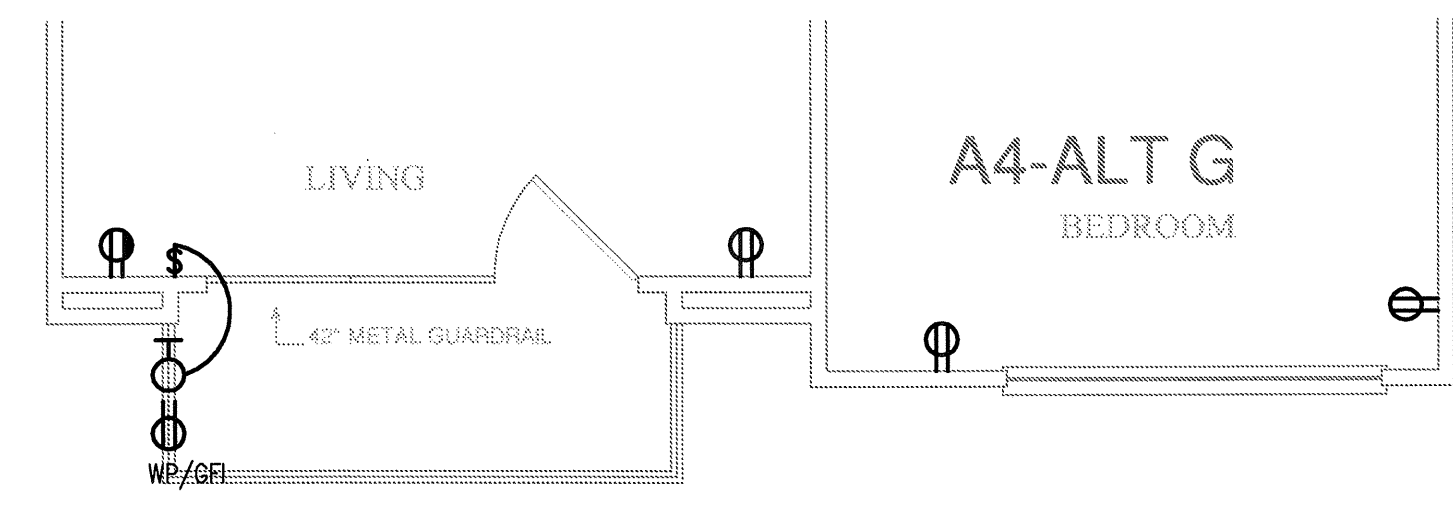
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SCALE: 1/4" = 1'-0" OCCURS AT: (7) TOTAL UNITS ON SITE



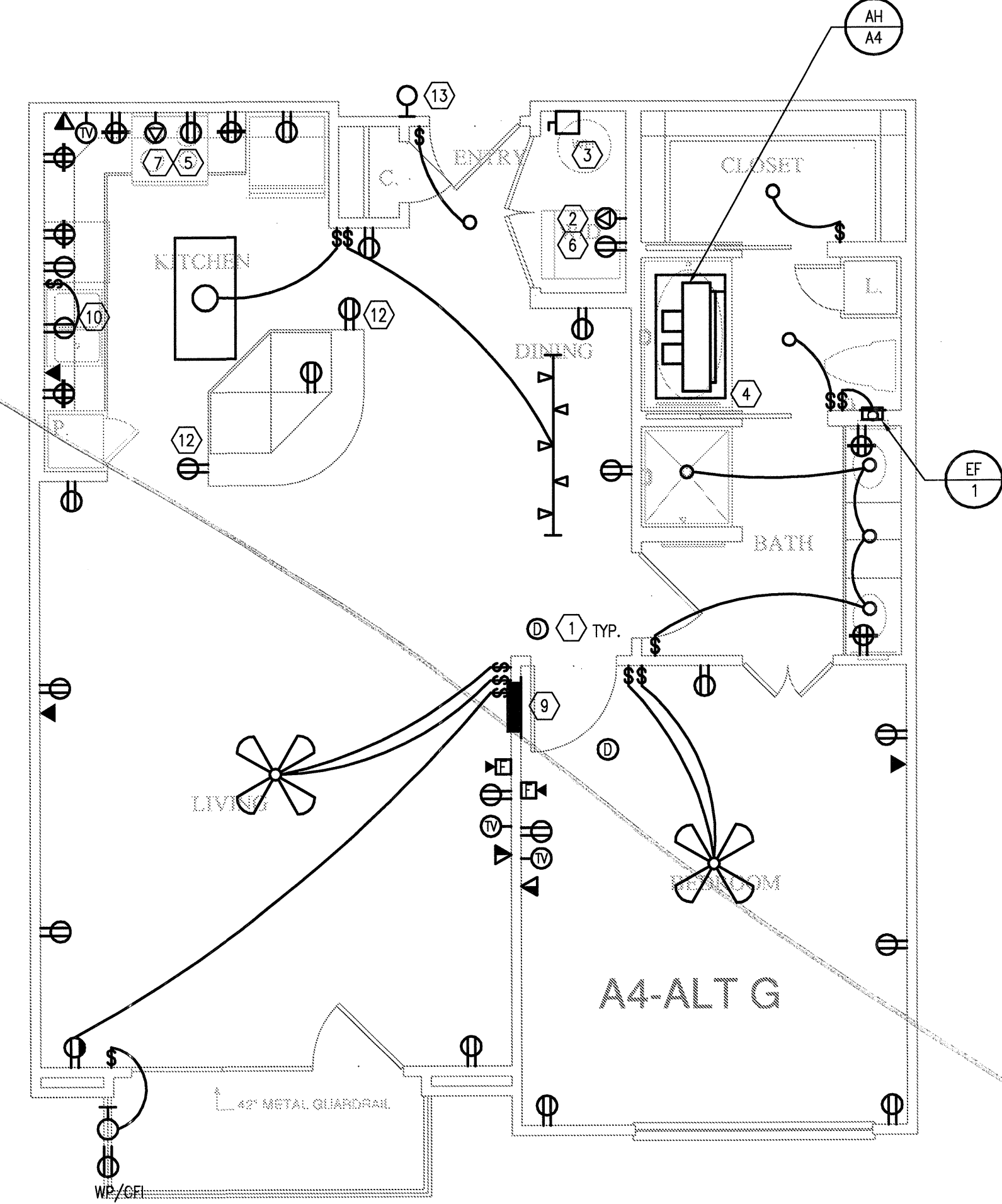
4 UNIT A4 - ALT C
SCALE: 1/4" = 1'-0" OCCURS AT: (3) TOTAL UNITS ON SITE



3 UNIT A4 - ALT B
SCALE: 1/4" = 1'-0" OCCURS AT: (12) TOTAL UNITS ON SITE



2 UNIT A4 - ALT A
SCALE: 1/4" = 1'-0" OCCURS AT: (19) TOTAL UNITS ON SITE



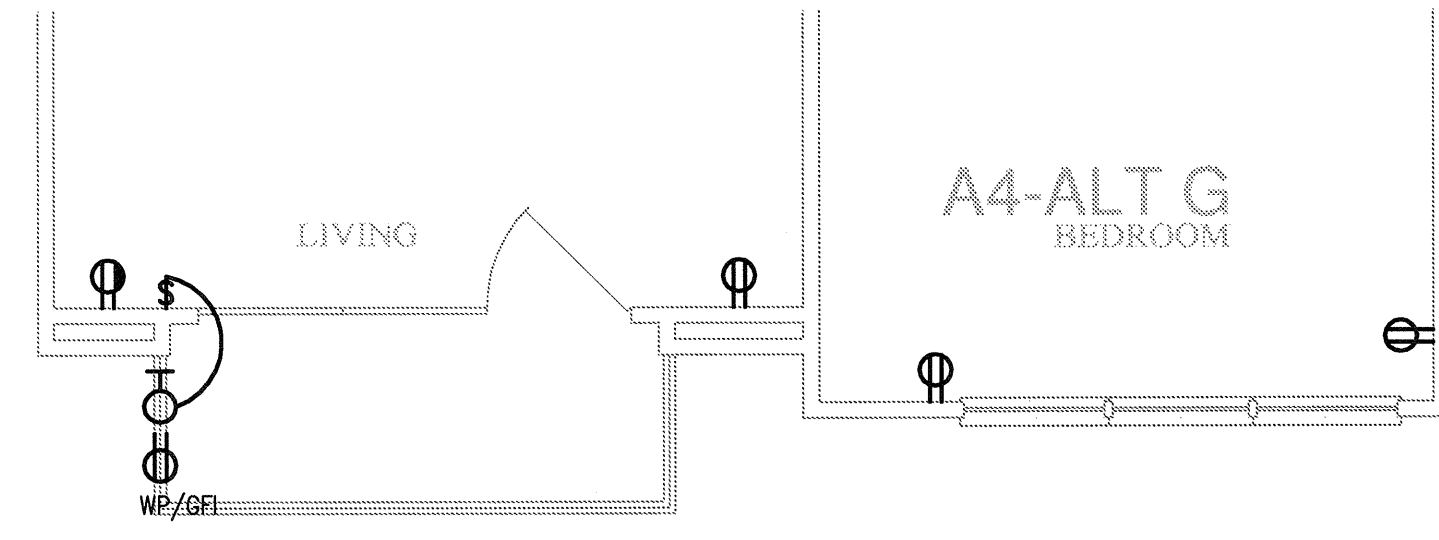
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SCALE: 1/4" = 1'-0" OCCURS AT: (1) TOTAL UNITS ON SITE

GENERAL NOTES:

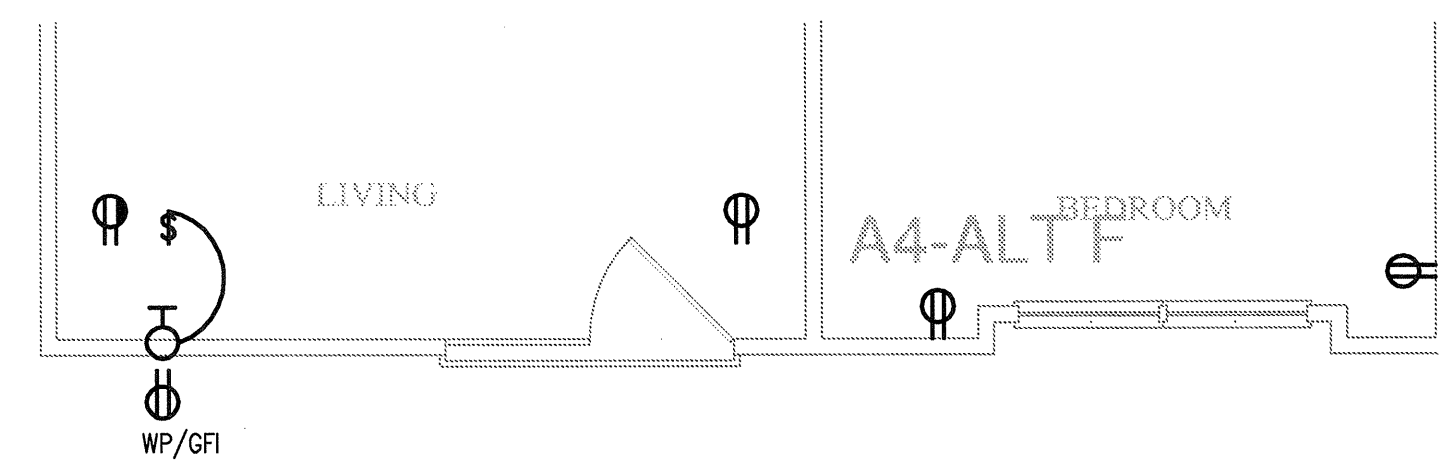
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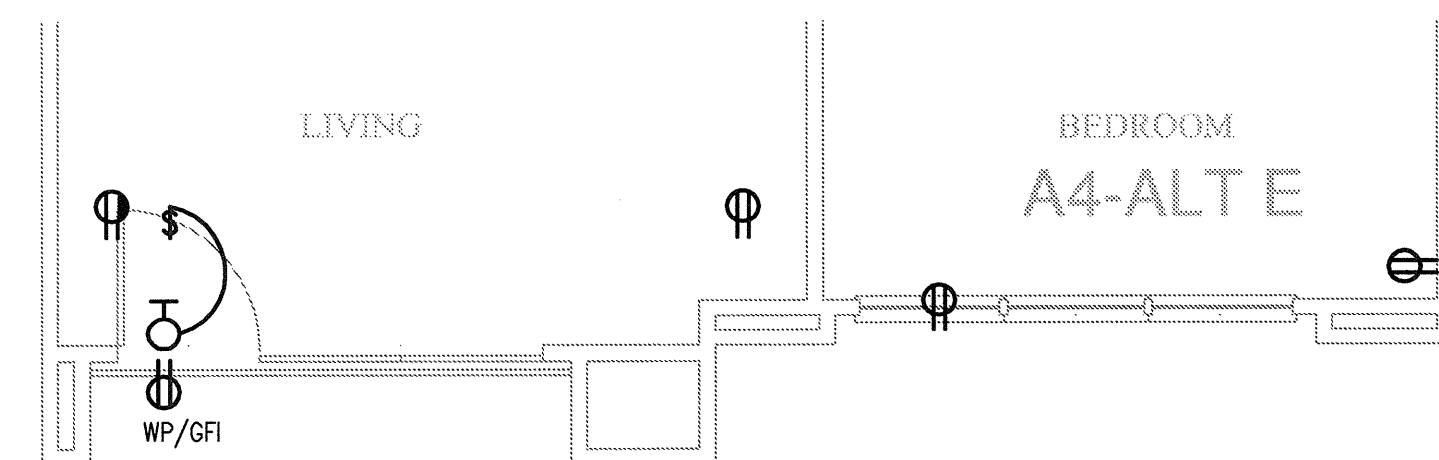
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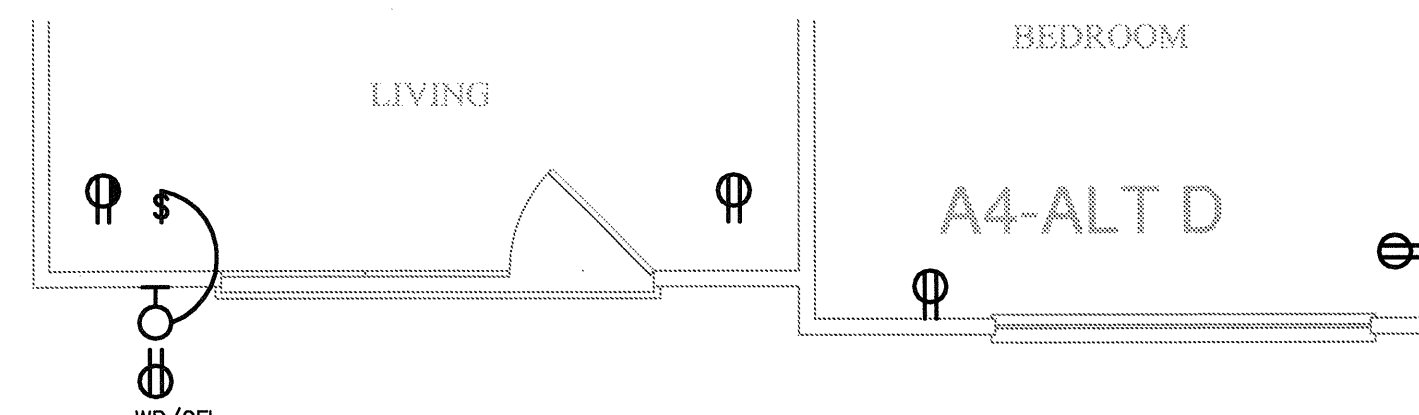
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SCALE: 1/4" = 1'-0"



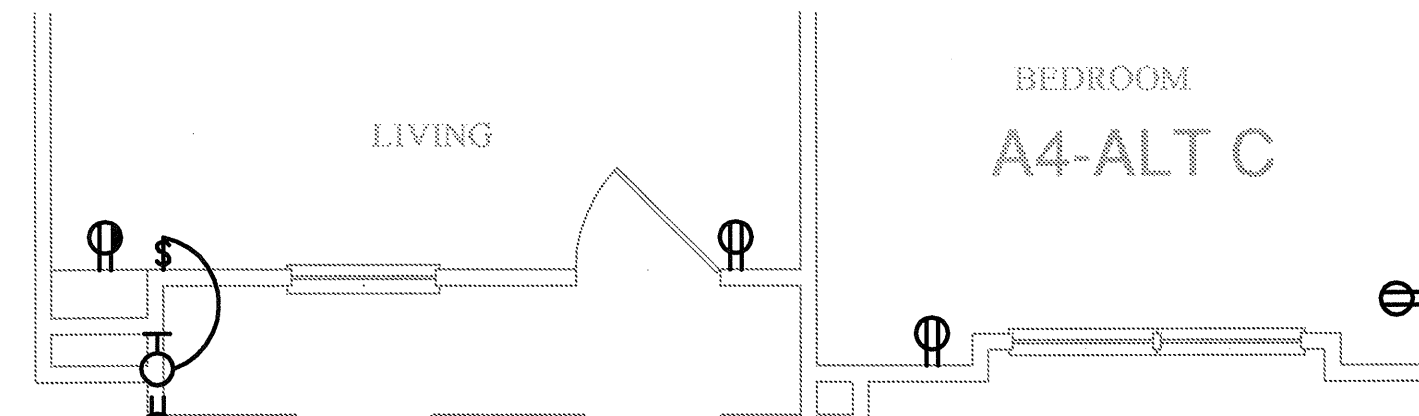
6 UNIT A4 - ALT F
SCALE: 1/4" = 1'-0" OCCURS AT: (1) TOTAL UNITS ON SITE



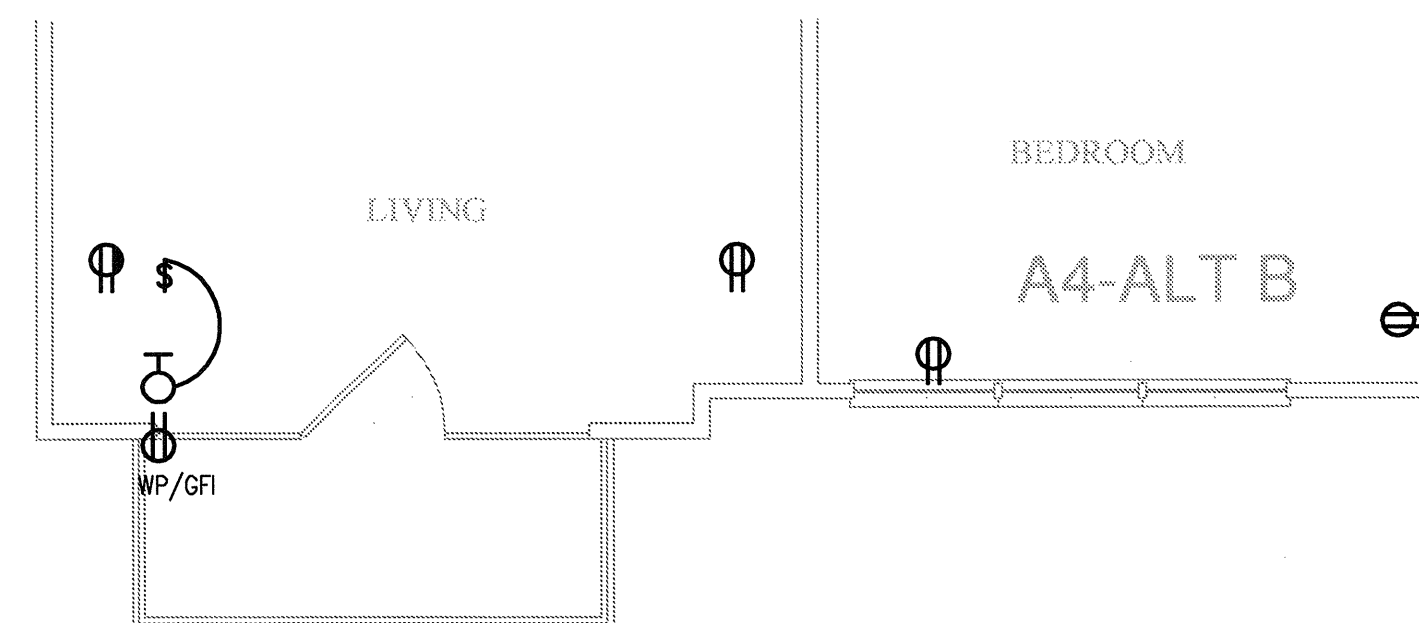
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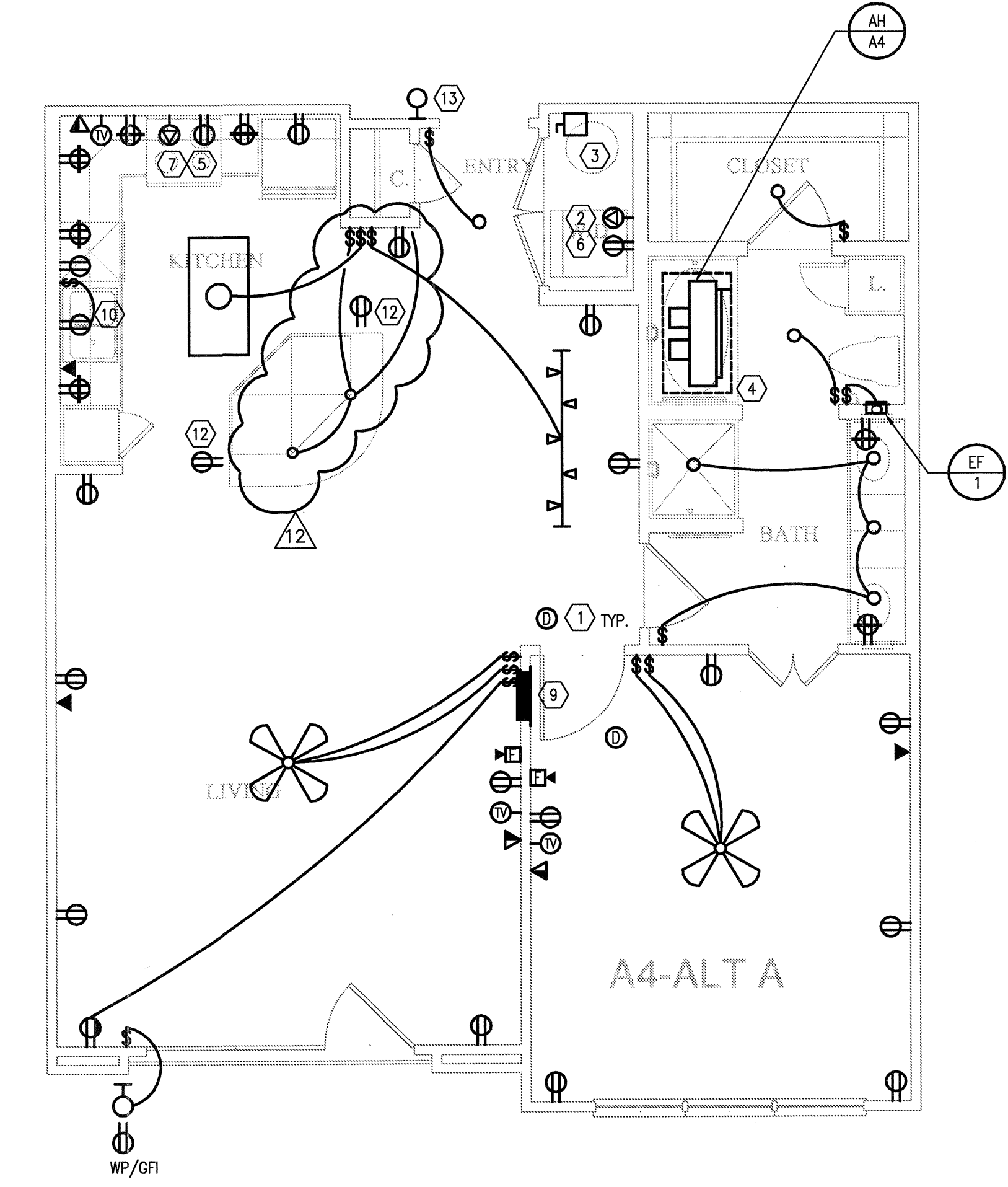
4 UNIT A4 - ALT C
SCALE: 1/4" = 1'-0" OCCURS AT: (3) TOTAL UNITS ON SITE



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4	10-17-2011	CONSTRUCTION ISSUE
5	12-21-2011	DESIGN REVISIONS
6	1-17-2012	DESIGN REVISIONS
7	2-15-2012	TRANSFORMER REVISIONS
8	3-27-2012	CLUBHOUSE REVISIONS
9	4-17-2012	COORDINATION

KELLER SPRINGS LOFTS
LOFT APARTMENTS IN ADDISON, TEXAS

10	5-15-2012	COORDINATION
11	5-30-2012	SITE COORDINATION
12	6-01-12	LIGHTING REVISIONS

BGO architects
4144 N. Central Expy. Suite 855
Dallas, TX 75204
214.520.8878
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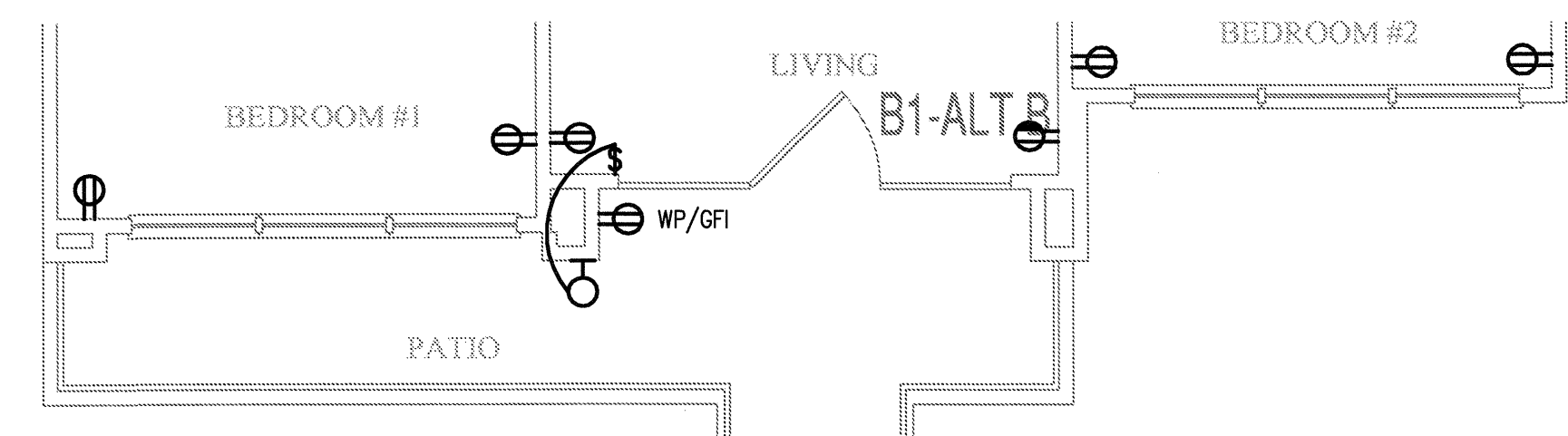
JSE Jordan & Skala Engineers
17835 N. Dallas Parkway, Suite 320
Dallas, TX 75287-6857
Project Number - 113-0355
Drawn By: MJ
Texas Firm Registration # F-4990
Checked By: RAD

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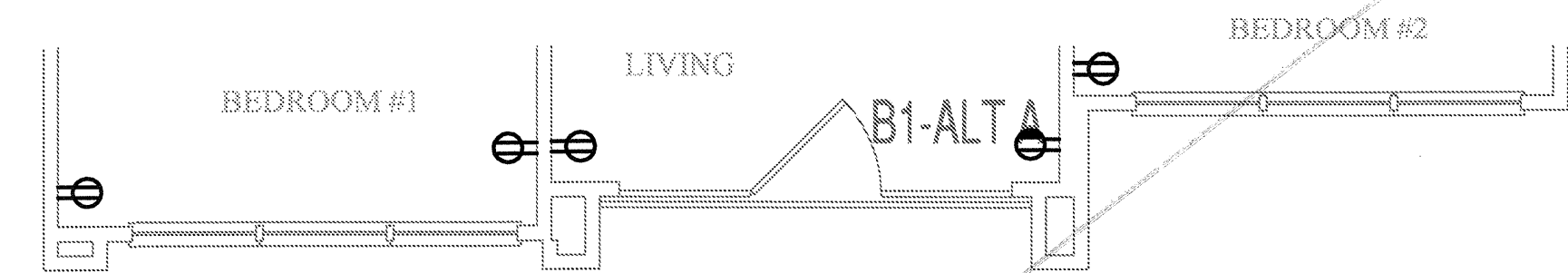
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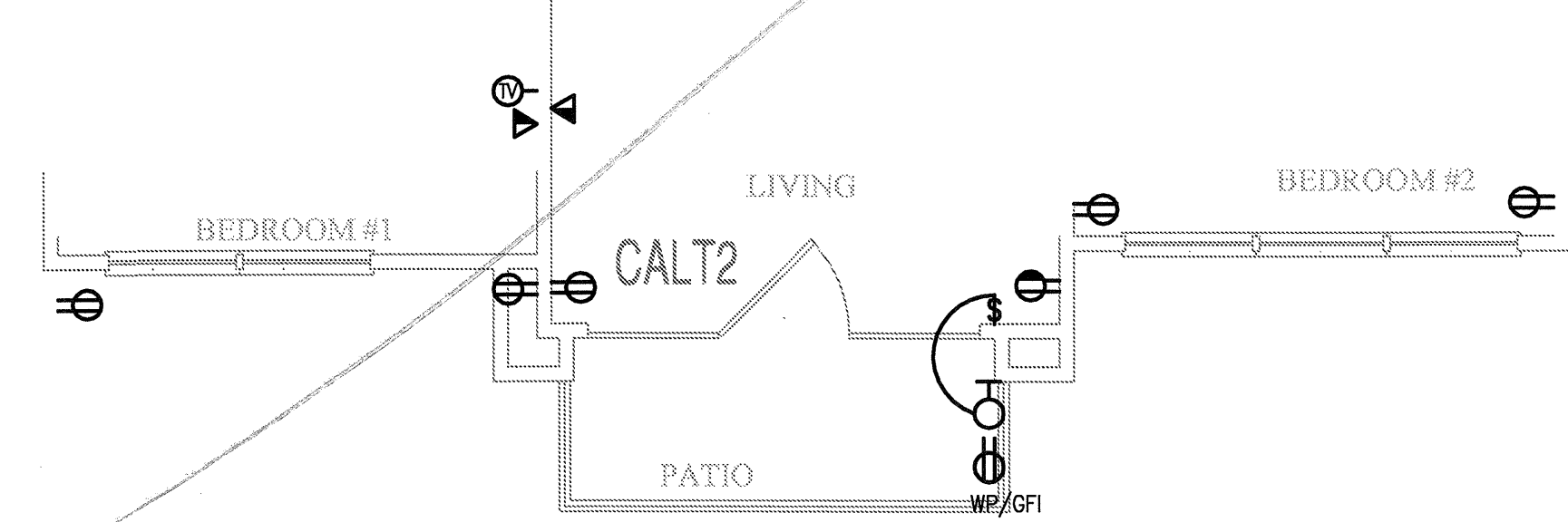
- SMOKE DETECTORS SHALL BE CONNECTED TO UNSWITCHED HOT CONDUCTOR IN CIRCUIT AND HAVE BUILT-IN STROBES IN ADAPTABLE UNITS.
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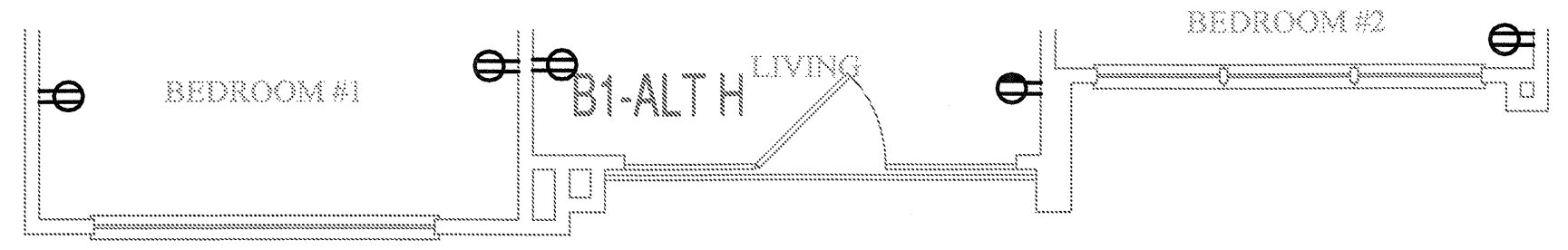
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SCALE: 1/4" = 1'-0" OCCURS AT: (1) TOTAL UNITS ON SITE



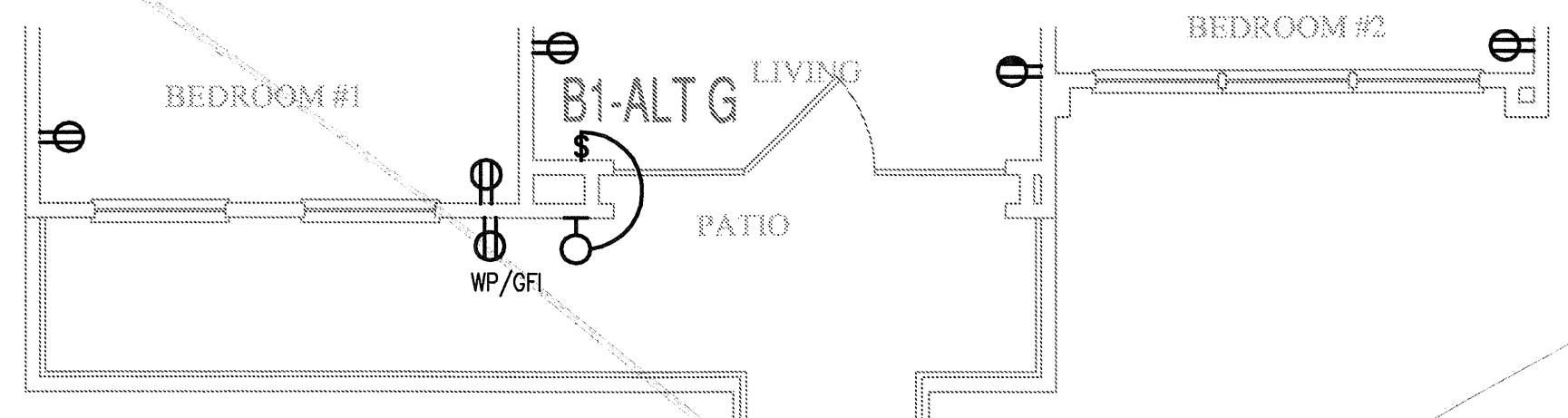
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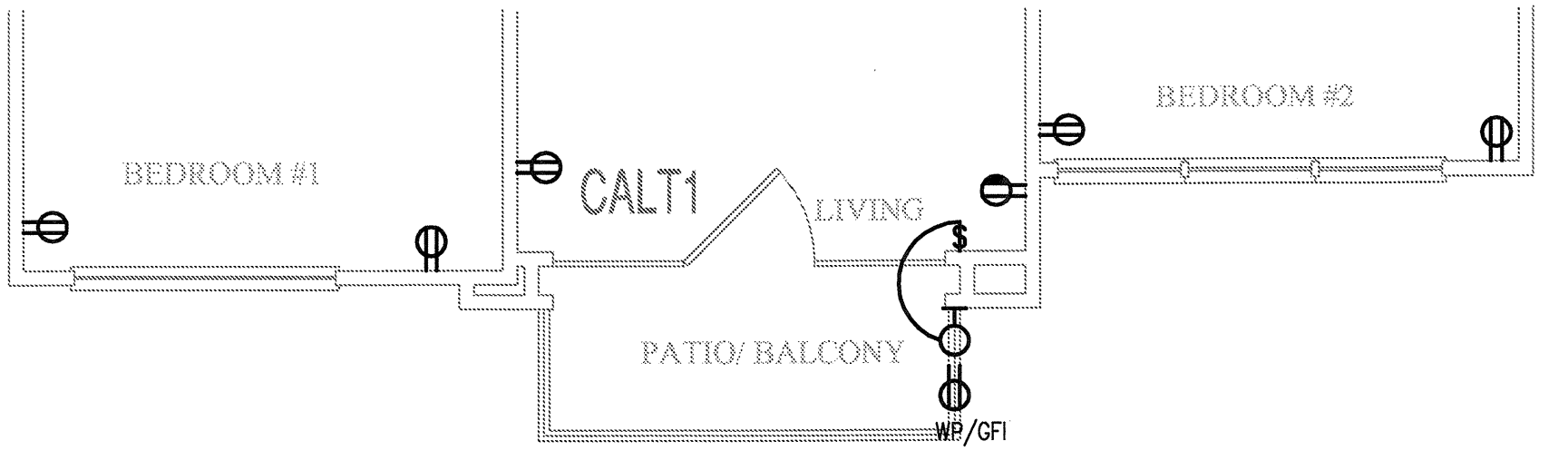
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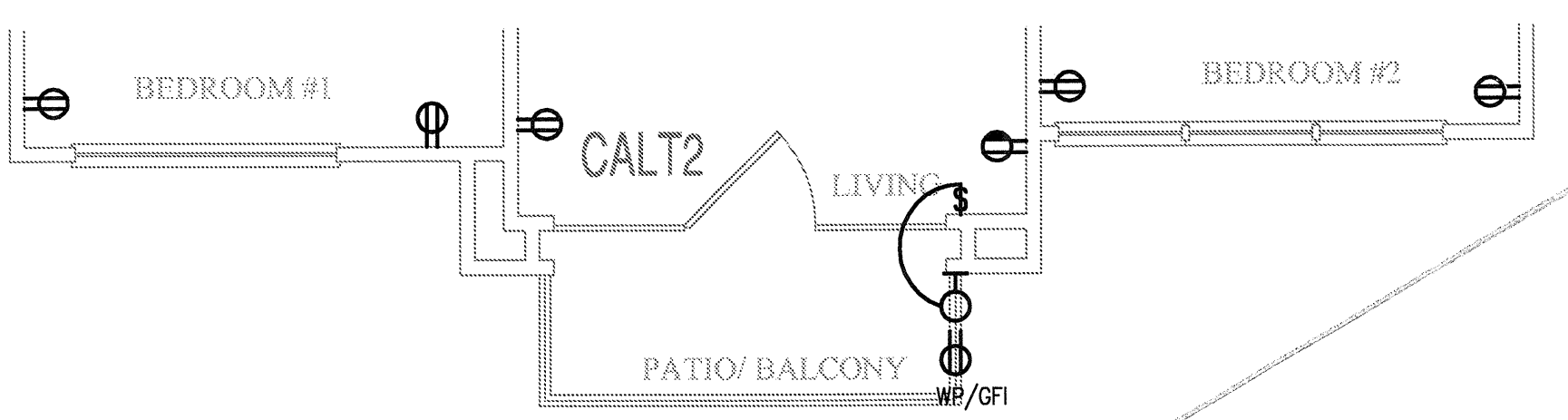
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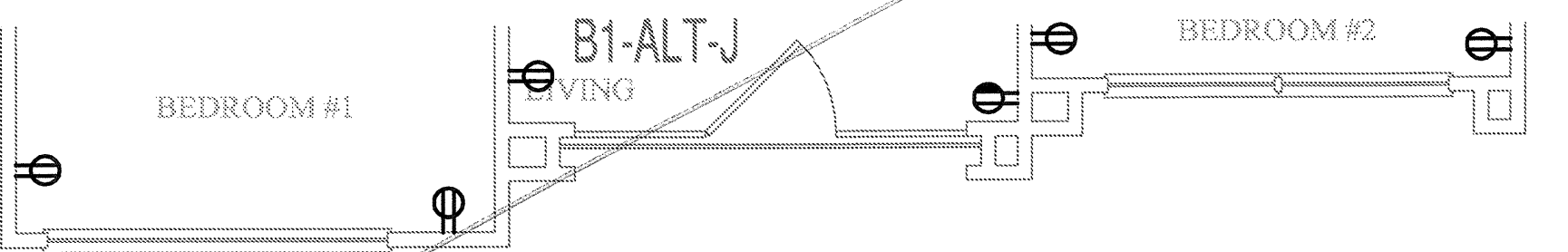
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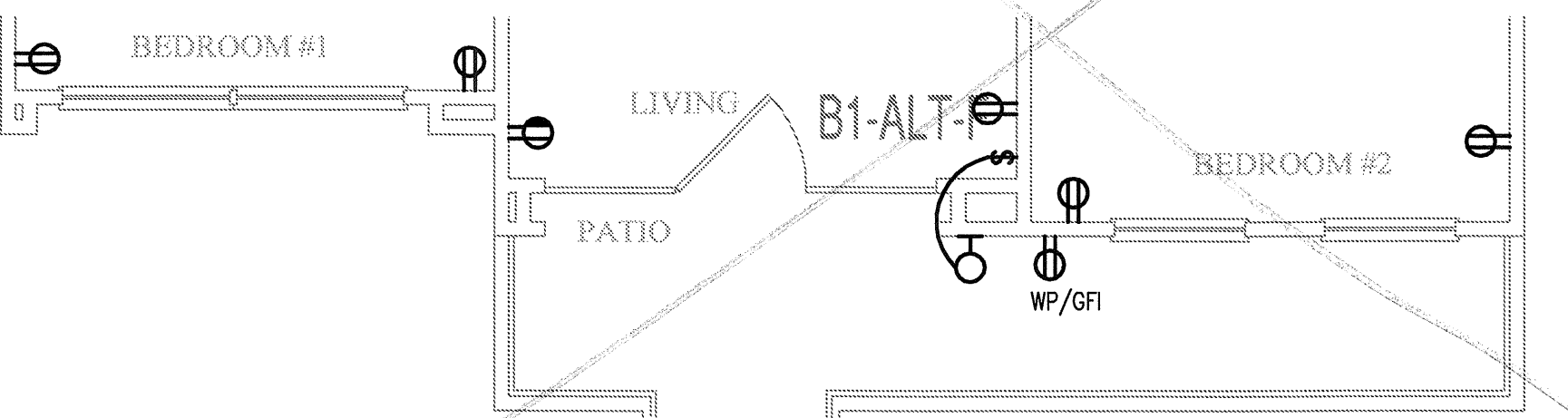
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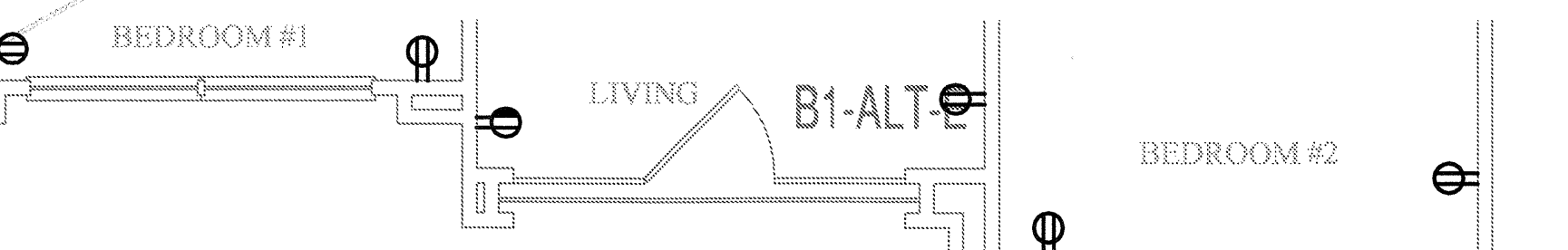
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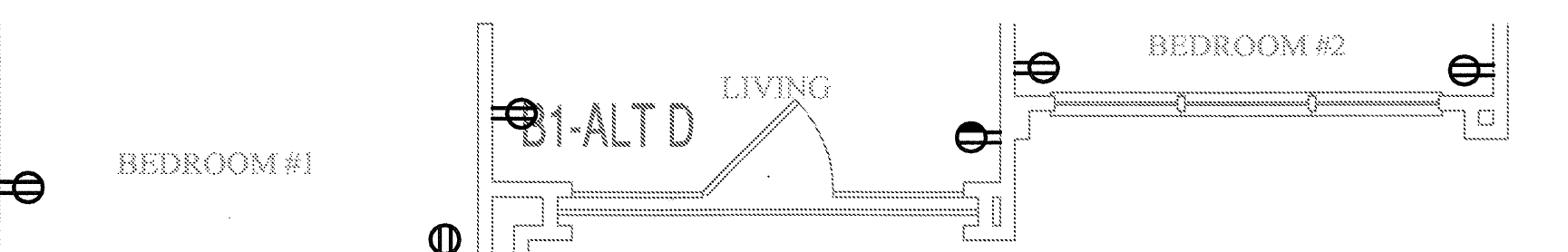
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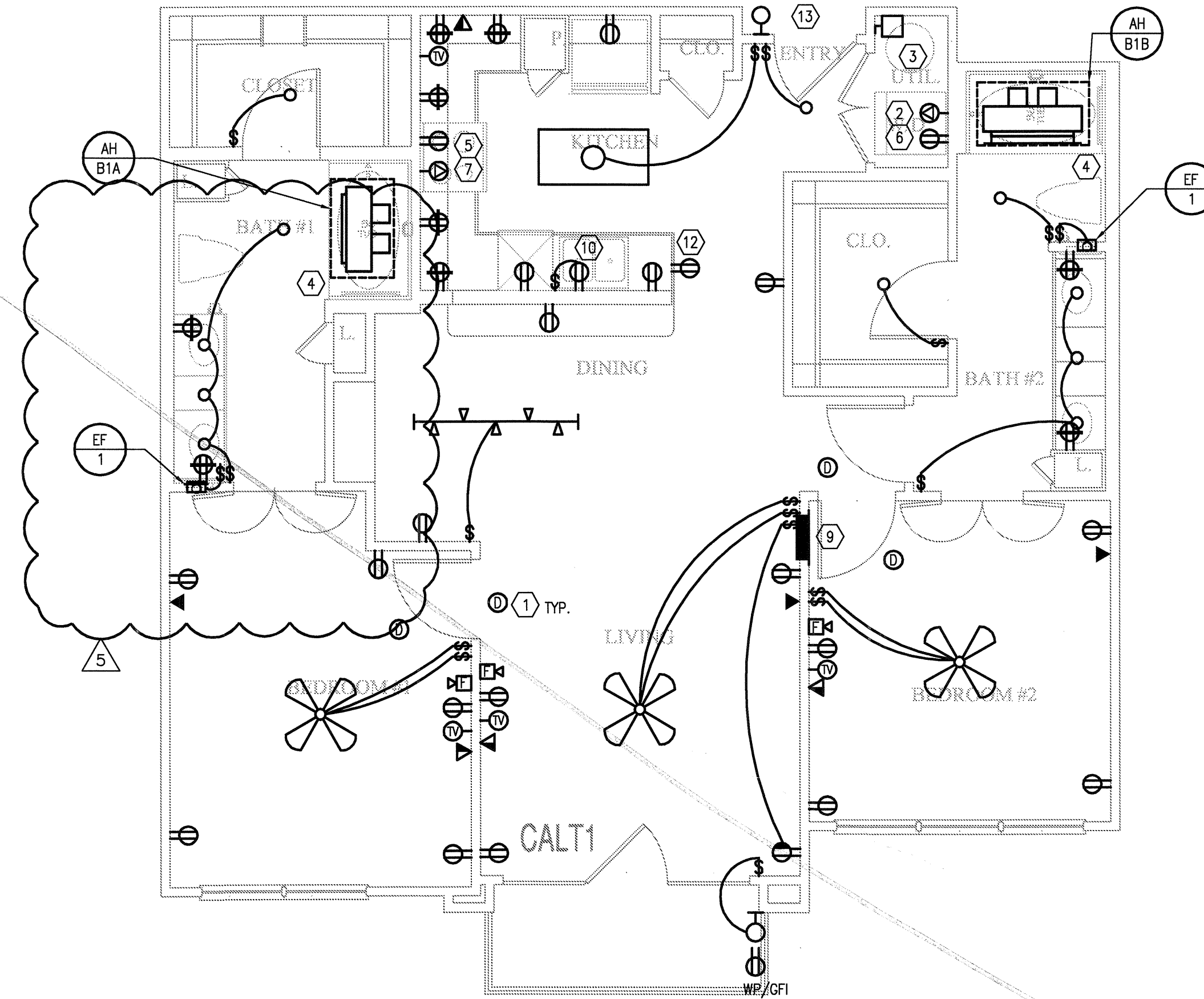
7 UNIT B1 - ALT F
SCALE: 1/4" = 1'-0" OCCURS AT: (2) TOTAL UNITS ON SITE



6 UNIT B1 - ALT E
SCALE: 1/4" = 1'-0" OCCURS AT: (6) TOTAL UNITS ON SITE



5 UNIT B1 - ALT D
SCALE: 1/4" = 1'-0" OCCURS AT: (6) TOTAL UNITS ON SITE

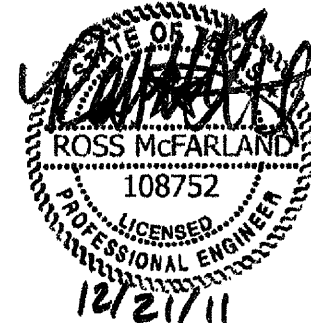


1 UNIT B1 - TWO BEDROOM/TWO BATH (PARTIAL 1)
SCALE: 1/4" = 1'-0" OCCURS AT: (3) TOTAL UNITS ON SITE

REVISIONS		
1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE
5	12-21-2011	DESIGN REVISIONS

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS



BGO architects
4144 N. Central Expy.
Suite 855
Dallas, TX 75204
214.520.8878
bgoarchitects.com

DATE
08-05-11

PROJECT
11129

SHEET NUMBER

E-2.5

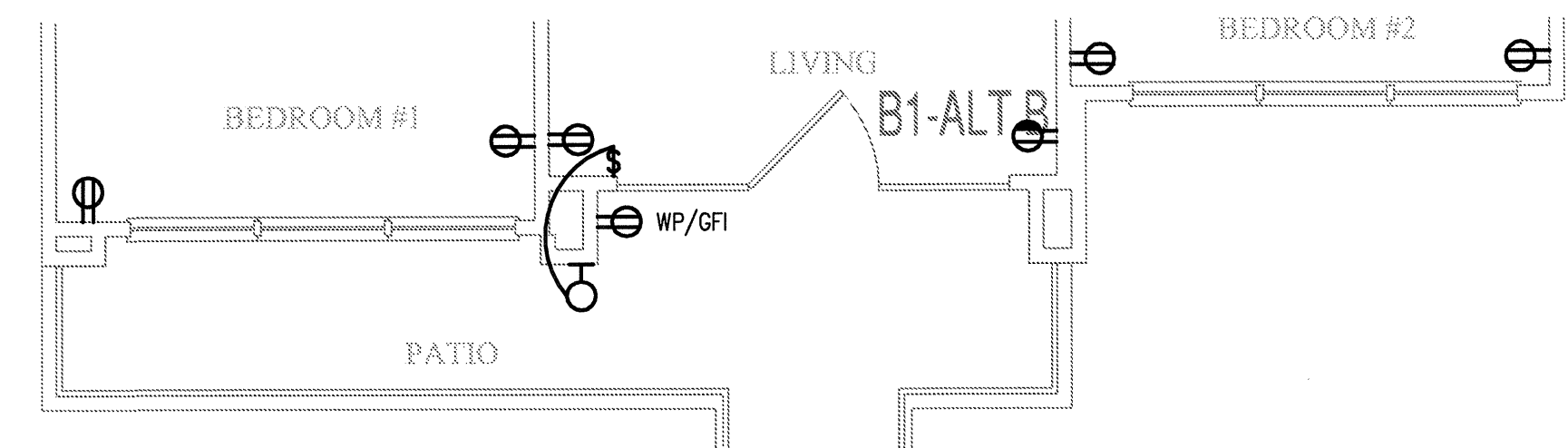
JSE Jordan & Skala Engineers
14240 Midway Road, Suite 330
Dallas, TX 75244-5139
v: (469) 385-1616 f: (469) 385-1615
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: MD Checked By: RAD

GENERAL NOTES:

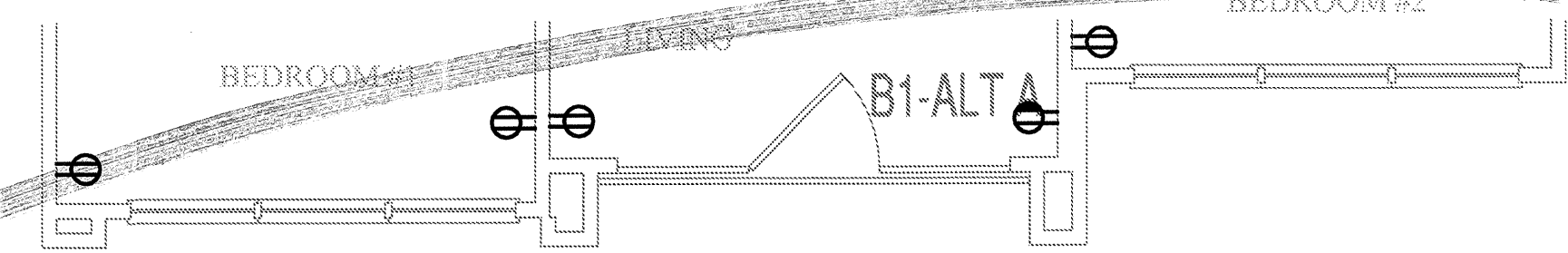
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KEY NOTES:

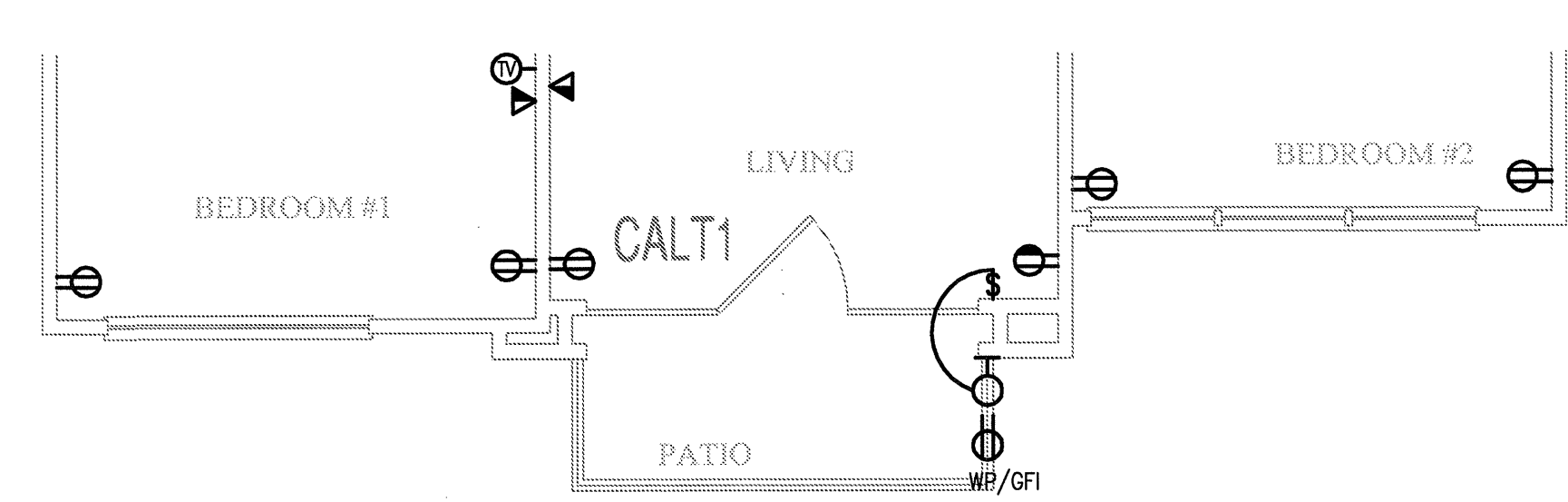
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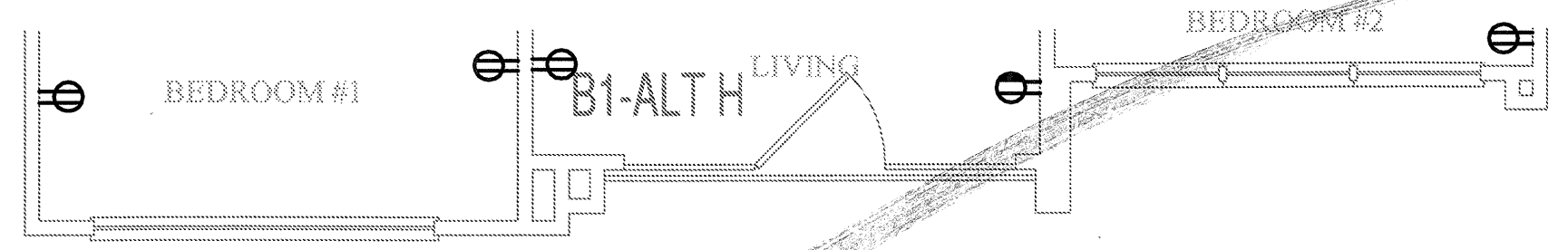
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SCALE: 1/4" = 1'-0" OCCURS AT: (1) TOTAL UNITS ON SITE



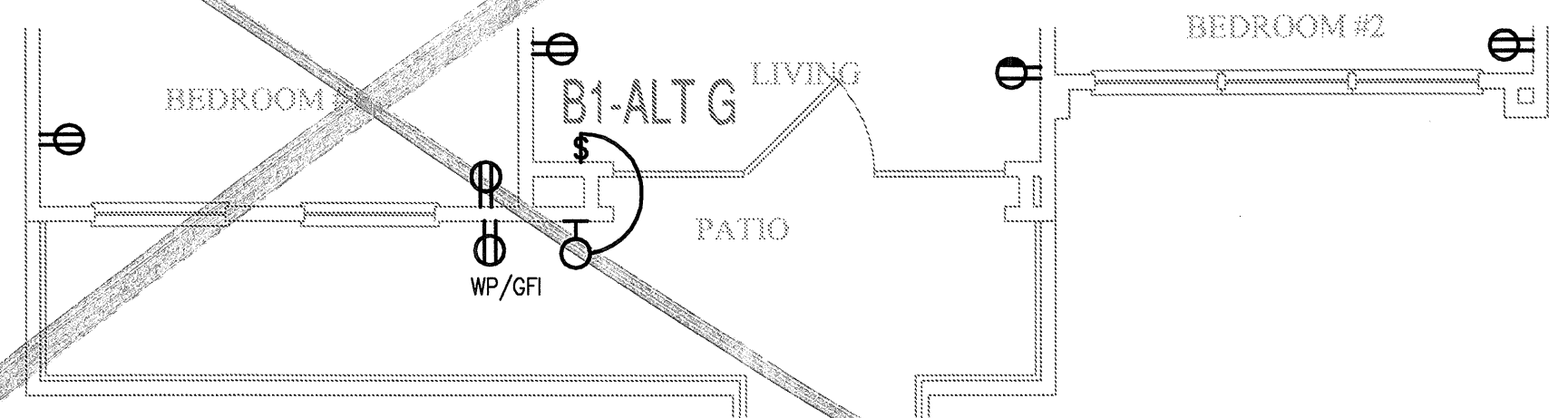
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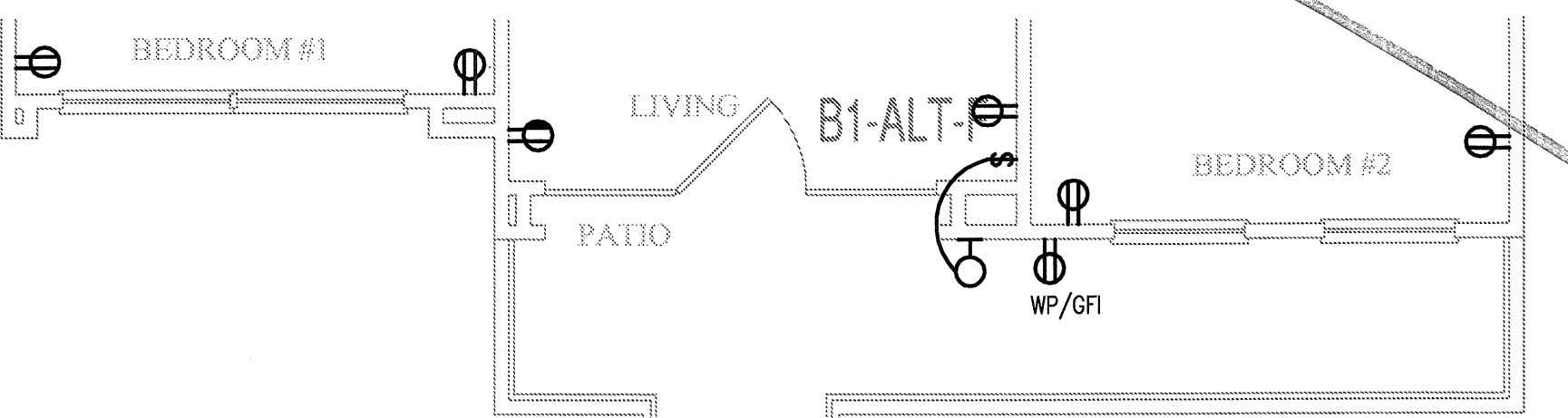
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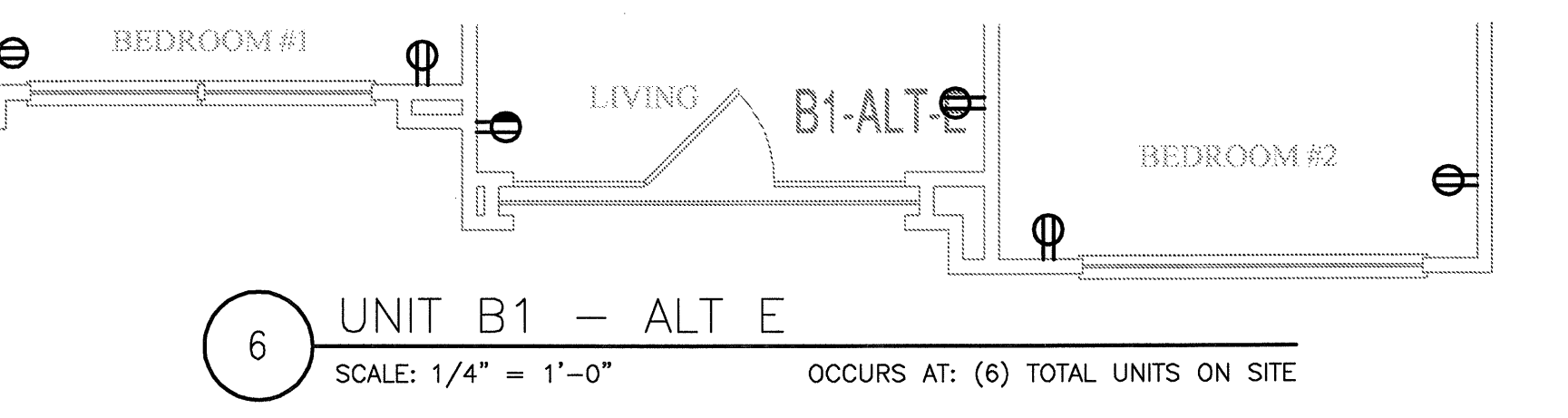
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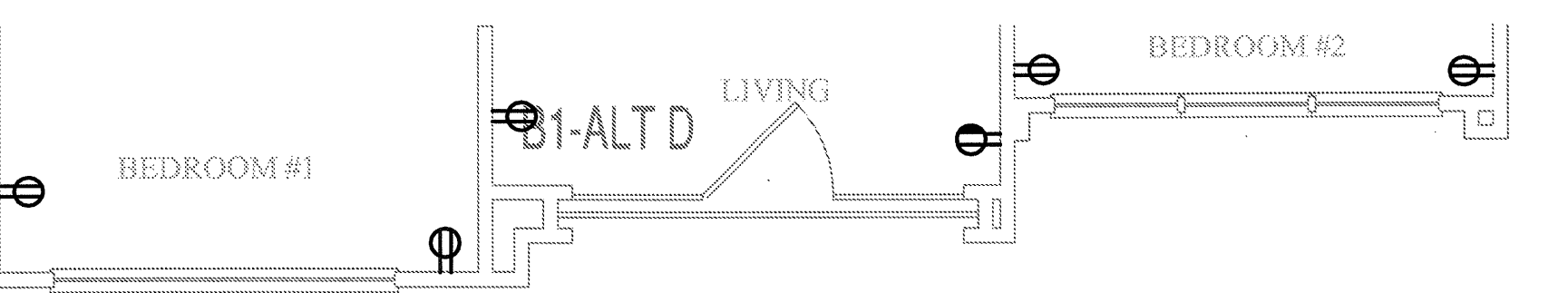
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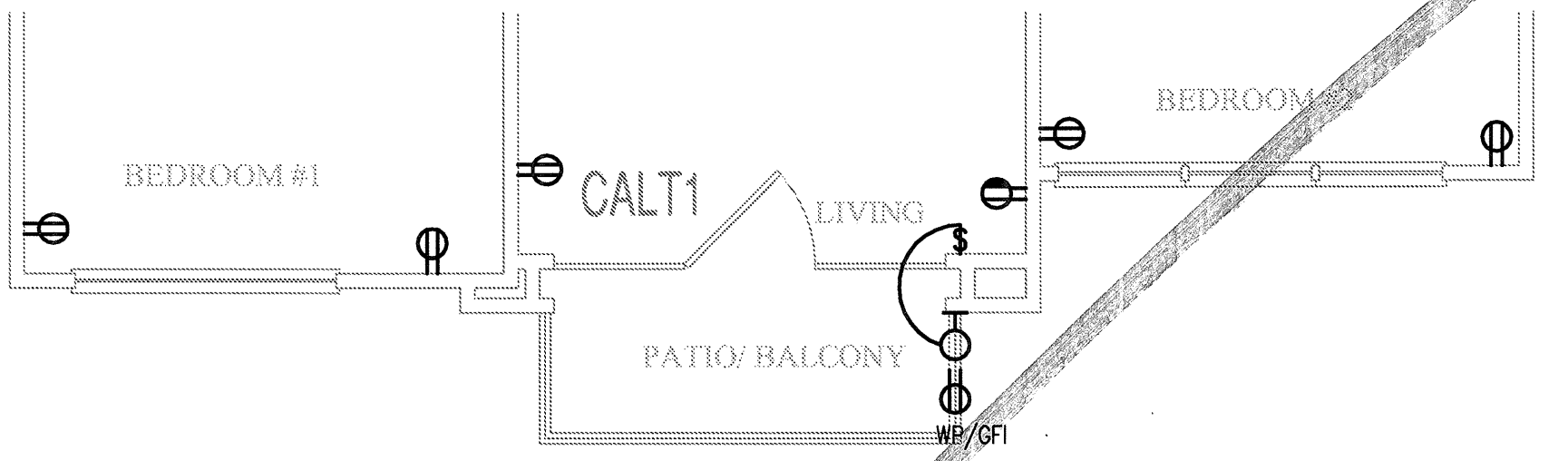
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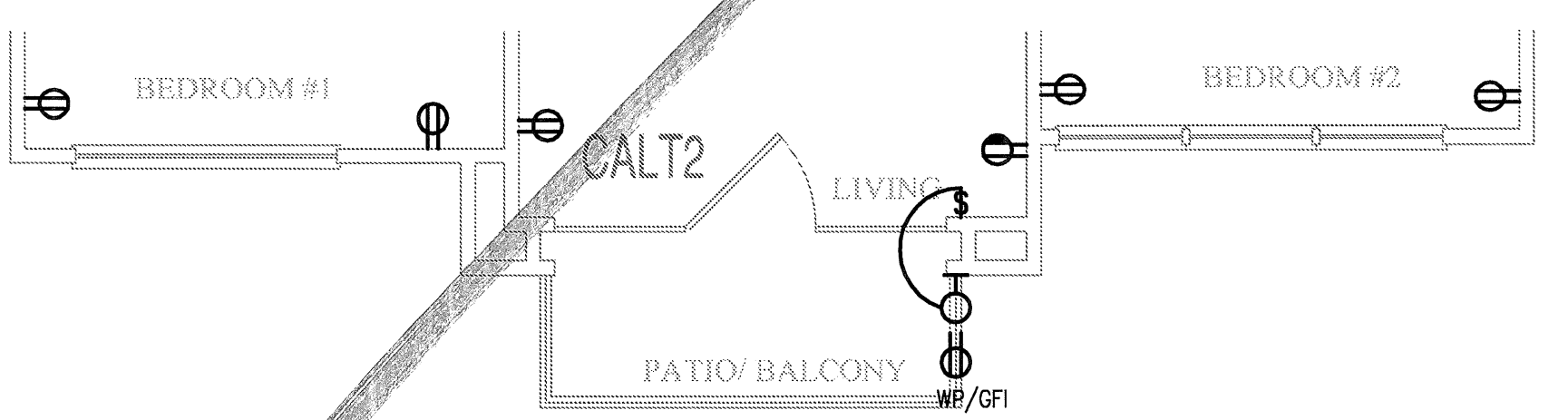
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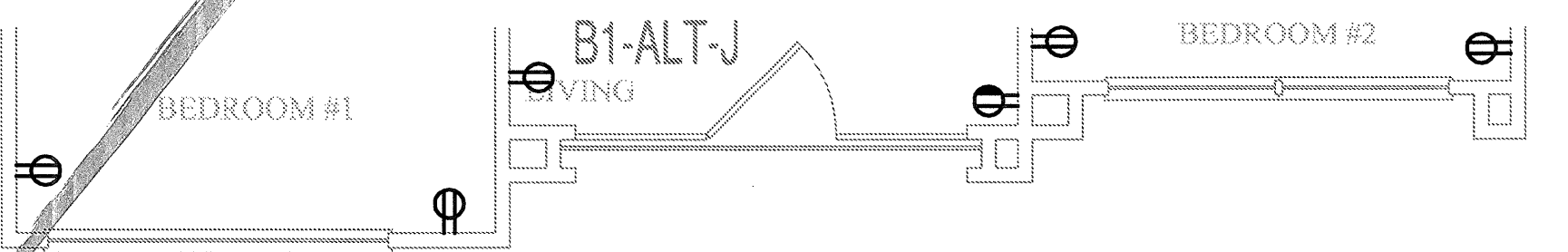
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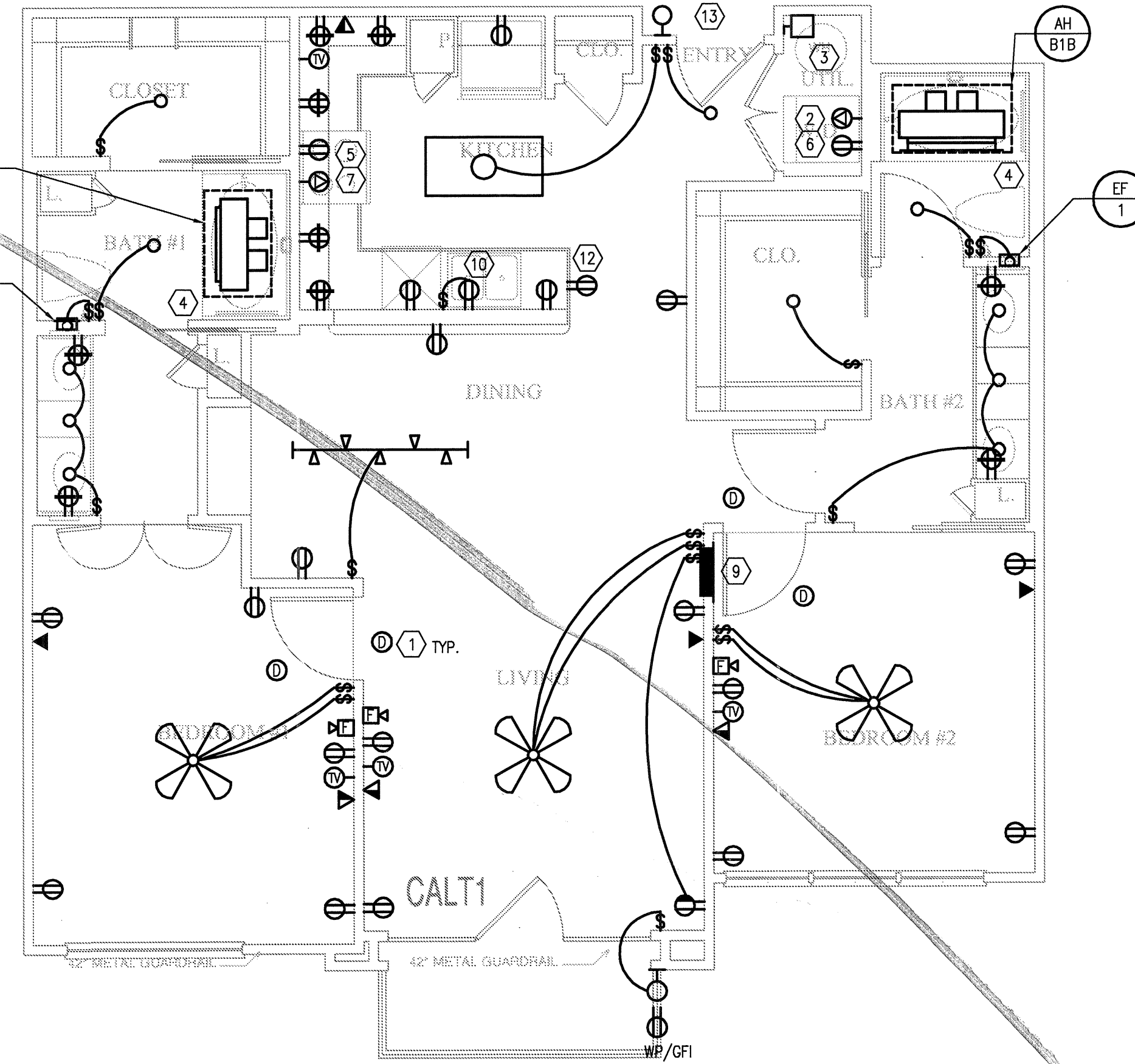
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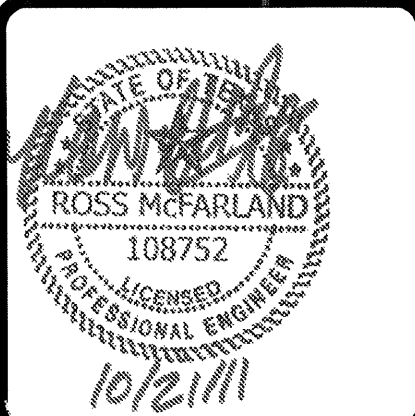
11 UNIT B1 - ALT K
SCALE: 1/4" = 1'-0" OCCURS AT: (9) TOTAL UNITS ON SITE



10 UNIT B1 - ALT J
SCALE: 1/4" = 1'-0" OCCURS AT: (15) TOTAL UNITS ON SITE



1 UNIT B1 - TWO BEDROOM/TWO BATH (PARTIAL 1)
SCALE: 1/4" = 1'-0" OCCURS AT: (3) TOTAL UNITS ON SITE



REVISIONS

1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS
LOFT APARTMENTS IN ADDISON, TEXAS

BGO architects
4144 N. Central Expy. Suite 855
Dallas, TX 75204
214.520.8878
bgoarchitects.com

DATE
08-05-11

PROJECT
11129

SHEET NUMBER

E-2.5

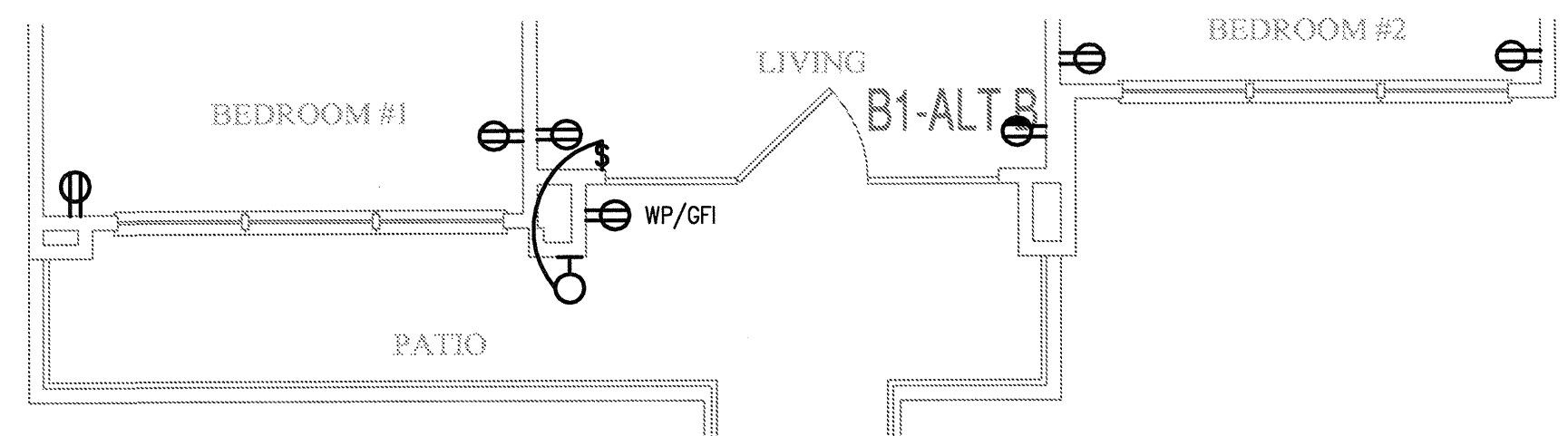
JSE Jordan & Skala Engineers
14240 Midway Road, Suite 350
Dallas, TX 75244-5138
Tel: (469) 385-1616 Fax: (469) 385-1615
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: MJ Checked By: RAD

GENERAL NOTES:

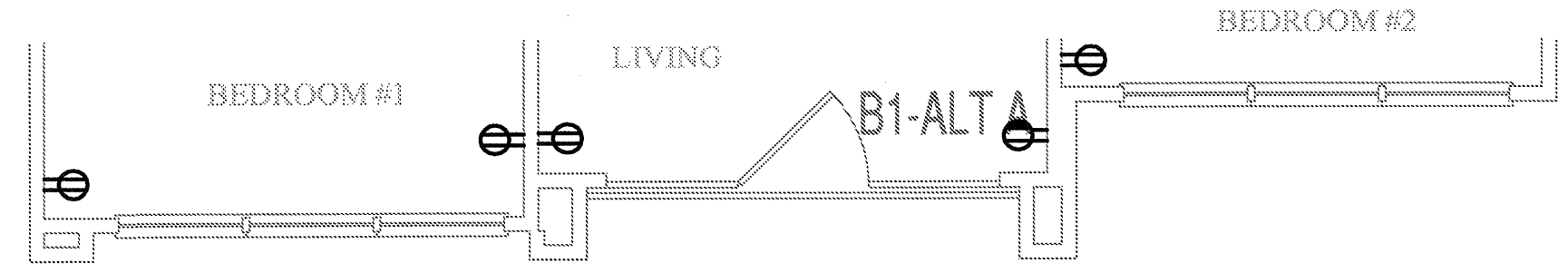
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KEY NOTES:

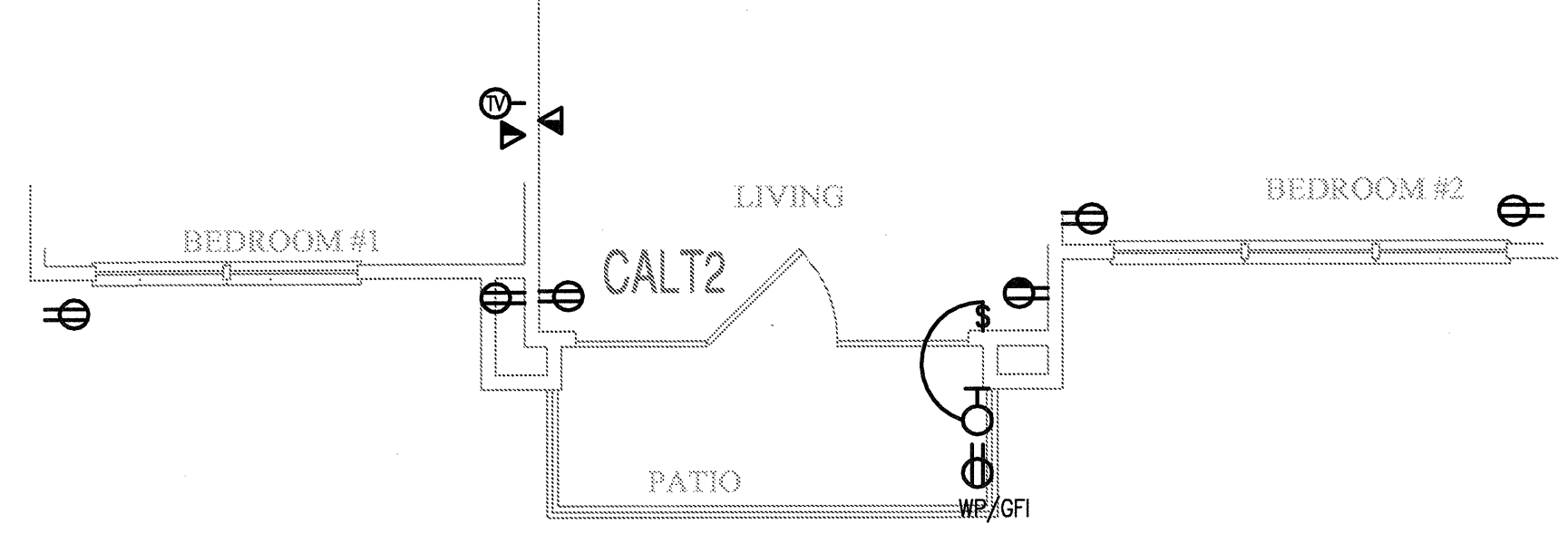
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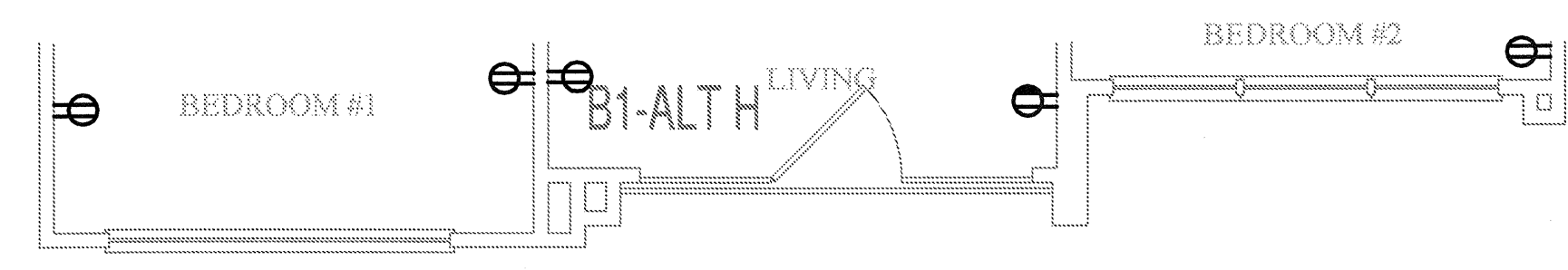
4 UNIT B1 - ALT B
SCALE: 1/4" = 1'-0" OCCURS AT: (1) TOTAL UNITS ON SITE



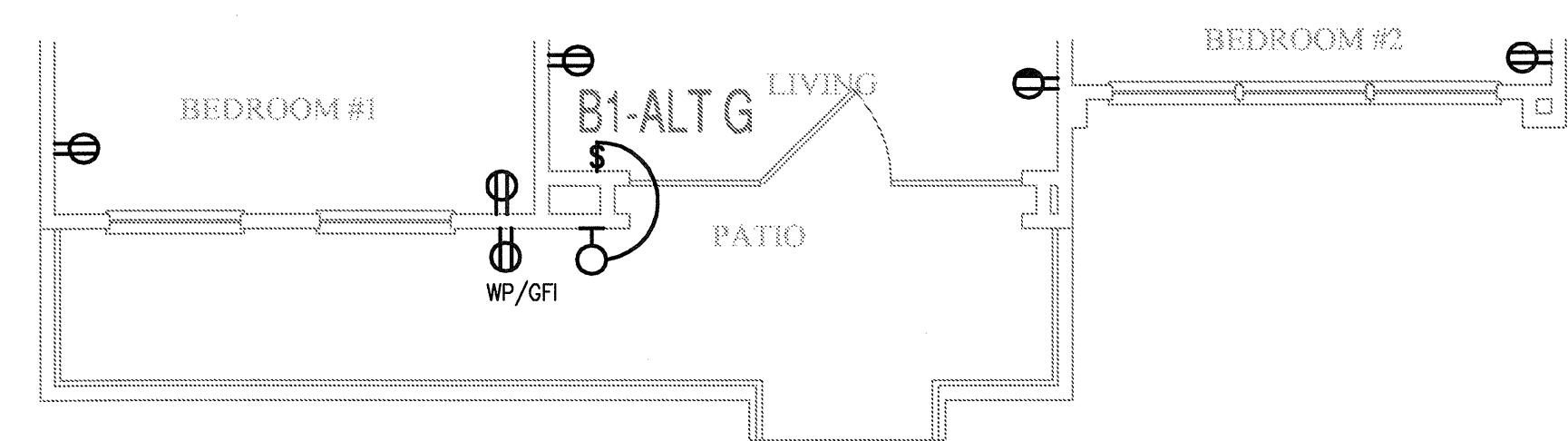
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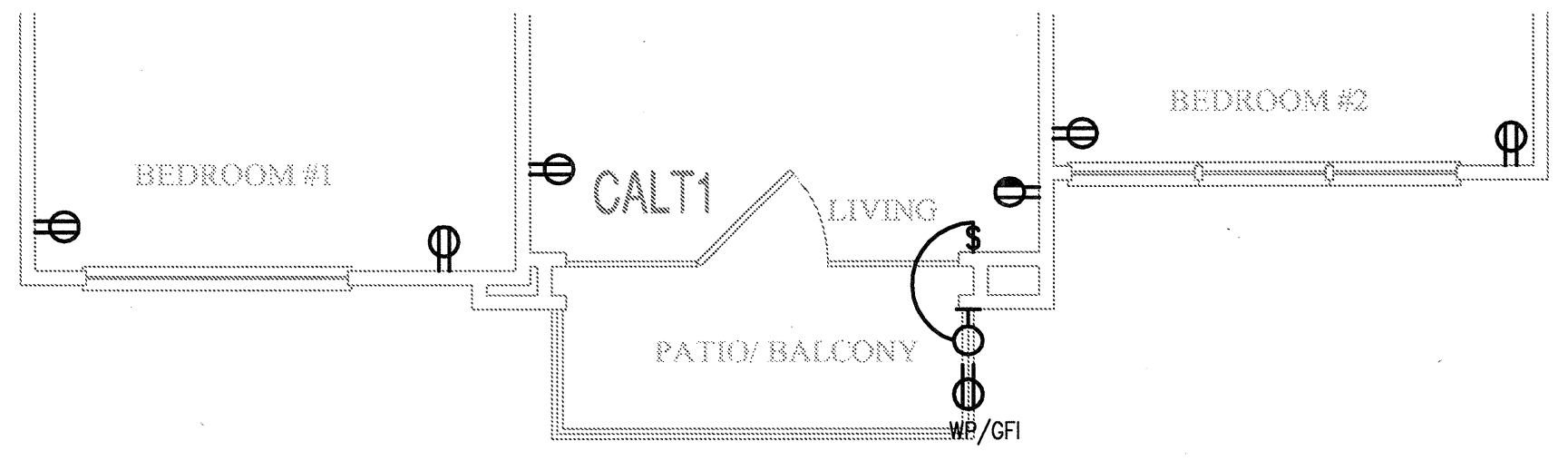
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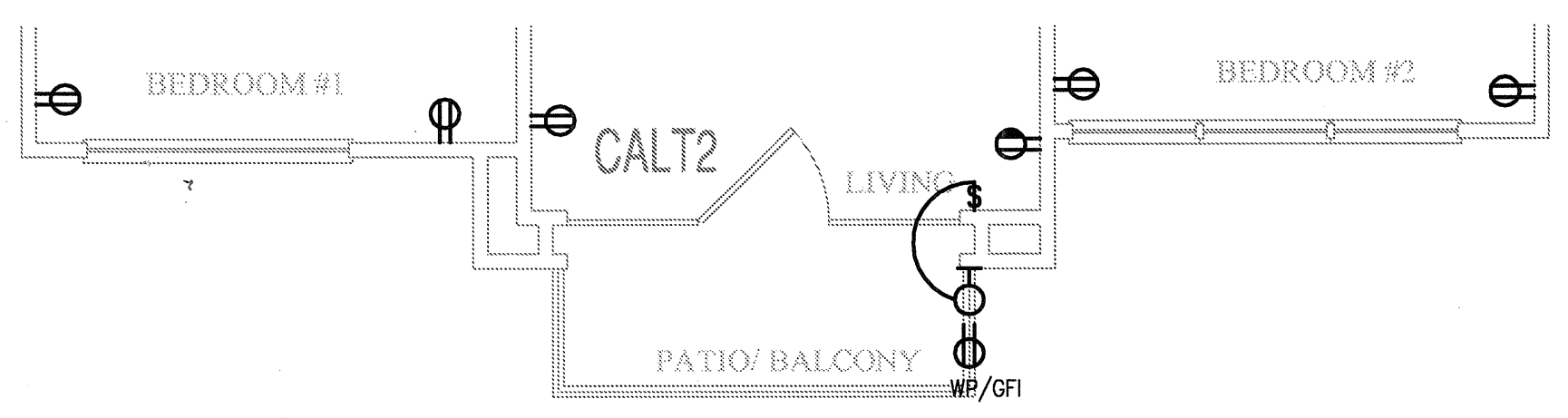
9 UNIT B1 - ALT H
SCALE: 1/4" = 1'-0" OCCURS AT: (3) TOTAL UNITS ON SITE



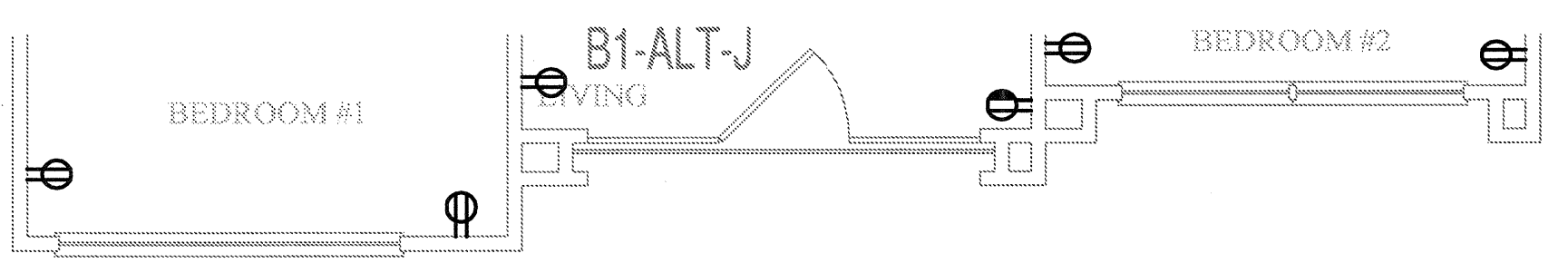
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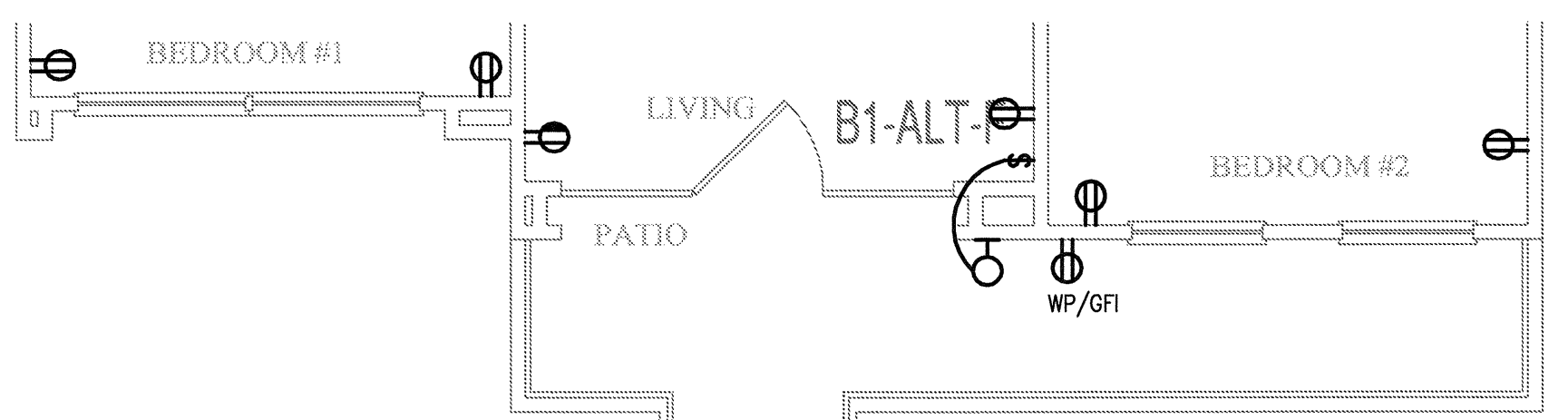
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SCALE: 1/4" = 1'-0" OCCURS AT: (3) TOTAL UNITS ON SITE



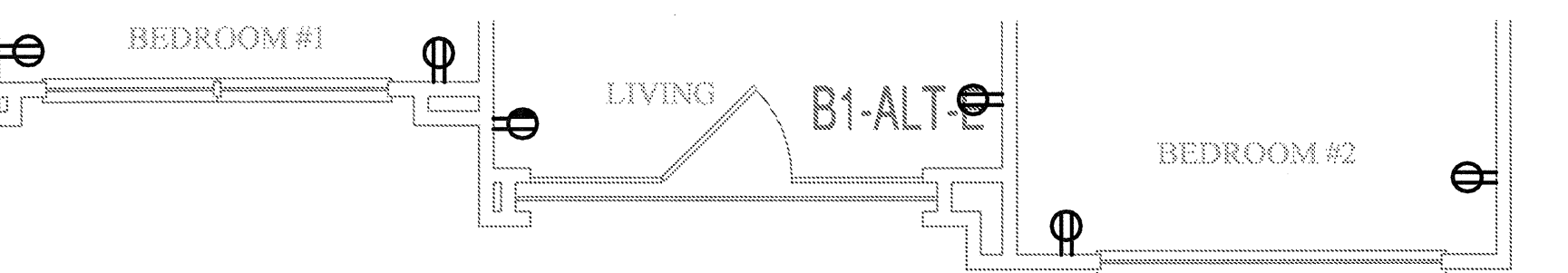
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SCALE: 1/4" = 1'-0" OCCURS AT: (9) TOTAL UNITS ON SITE



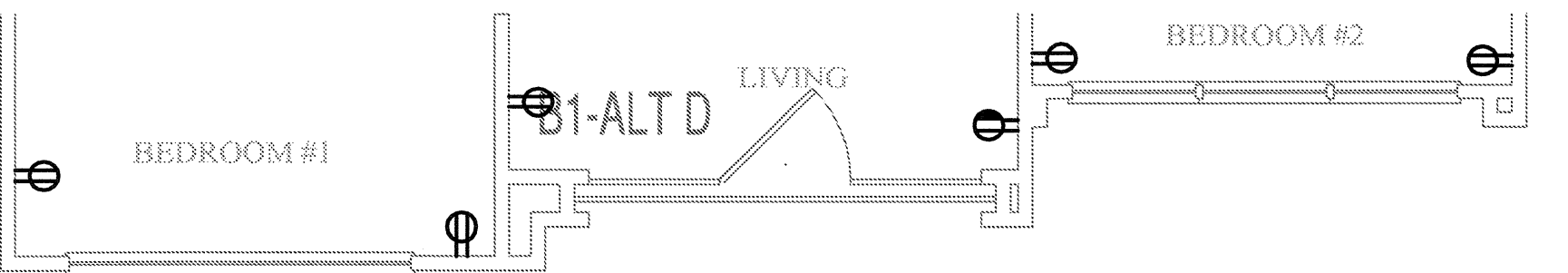
10 UNIT B1 - ALT J
SCALE: 1/4" = 1'-0" OCCURS AT: (15) TOTAL UNITS ON SITE



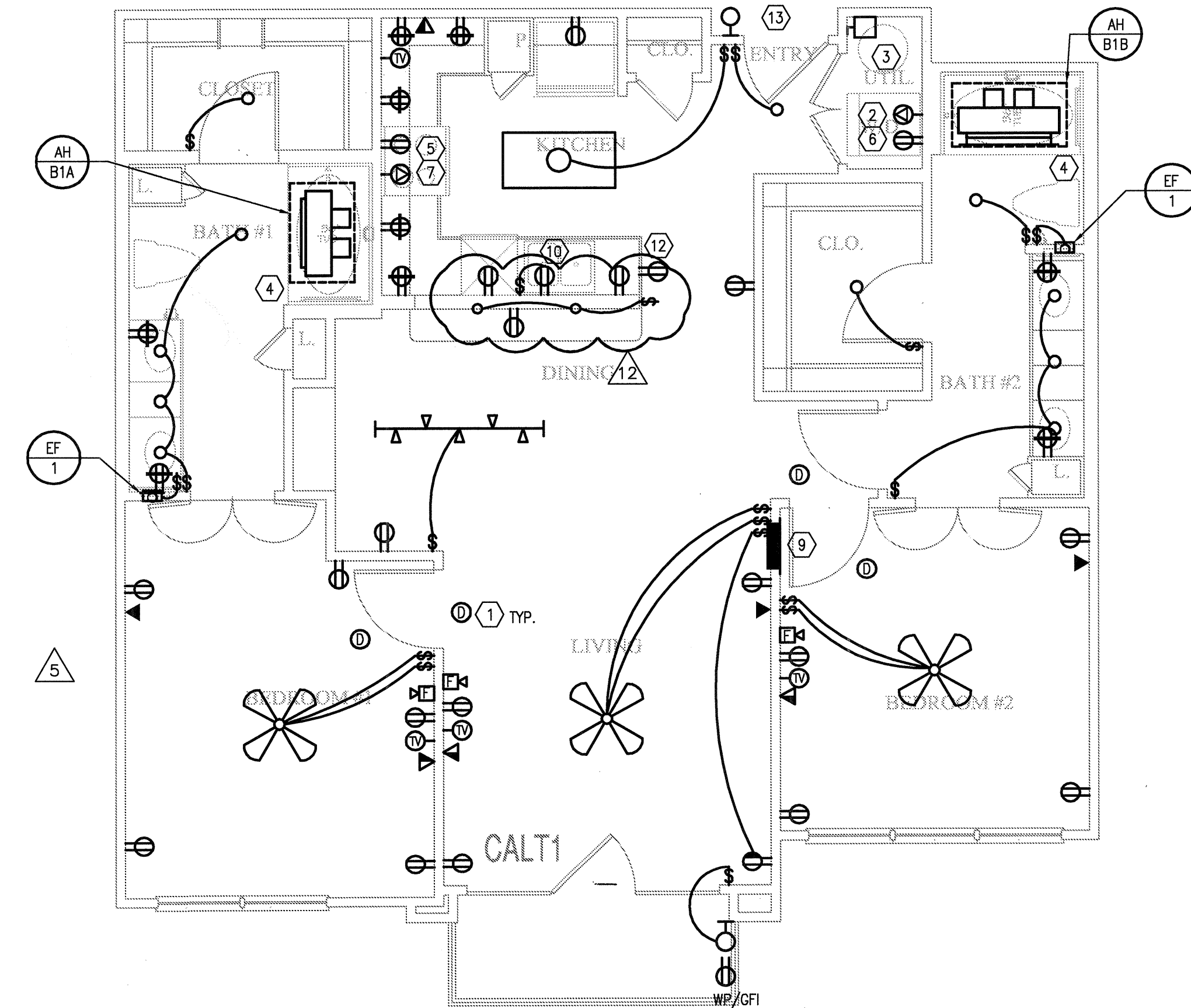
7 UNIT B1 - ALT F
SCALE: 1/4" = 1'-0" OCCURS AT: (2) TOTAL UNITS ON SITE



6 UNIT B1 - ALT E
SCALE: 1/4" = 1'-0" OCCURS AT: (6) TOTAL UNITS ON SITE



5 UNIT B1 - ALT D
SCALE: 1/4" = 1'-0" OCCURS AT: (6) TOTAL UNITS ON SITE



1 UNIT B1 - TWO BEDROOM/TWO BATH (PARTIAL 1)
SCALE: 1/4" = 1'-0" OCCURS AT: (3) TOTAL UNITS ON SITE



REVISIONS		
1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
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4	10-17-2011	CONSTRUCTION ISSUE
5	12-21-2011	DESIGN REVISIONS
6	1-17-2012	DESIGN REVISIONS
7	2-15-2012	TRANSFORMER REVISIONS
8	3-27-2012	CLUBHOUSE REVISIONS
9	4-17-2012	COORDINATION

KELLER SPRINGS LOFTS
LOFT APARTMENTS IN ADDISON, TEXAS

10	5-15-2012	COORDINATION
11	5-30-2012	SITE COORDINATION
12	6-01-12	LIGHTING REVISIONS

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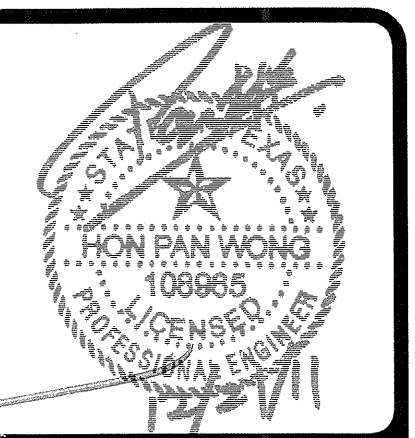
DATE
08-05-11

PROJECT
11129

SHEET NUMBER

E-2.5

JSE Jordan & Skala Engineers
17835 N. Dallas Parkway, Suite 320
Dallas, TX 75387-4657
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Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: MJ Checked By: RAD



REVISIONS		
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5	12-21-2011	DESIGN REVISIONS

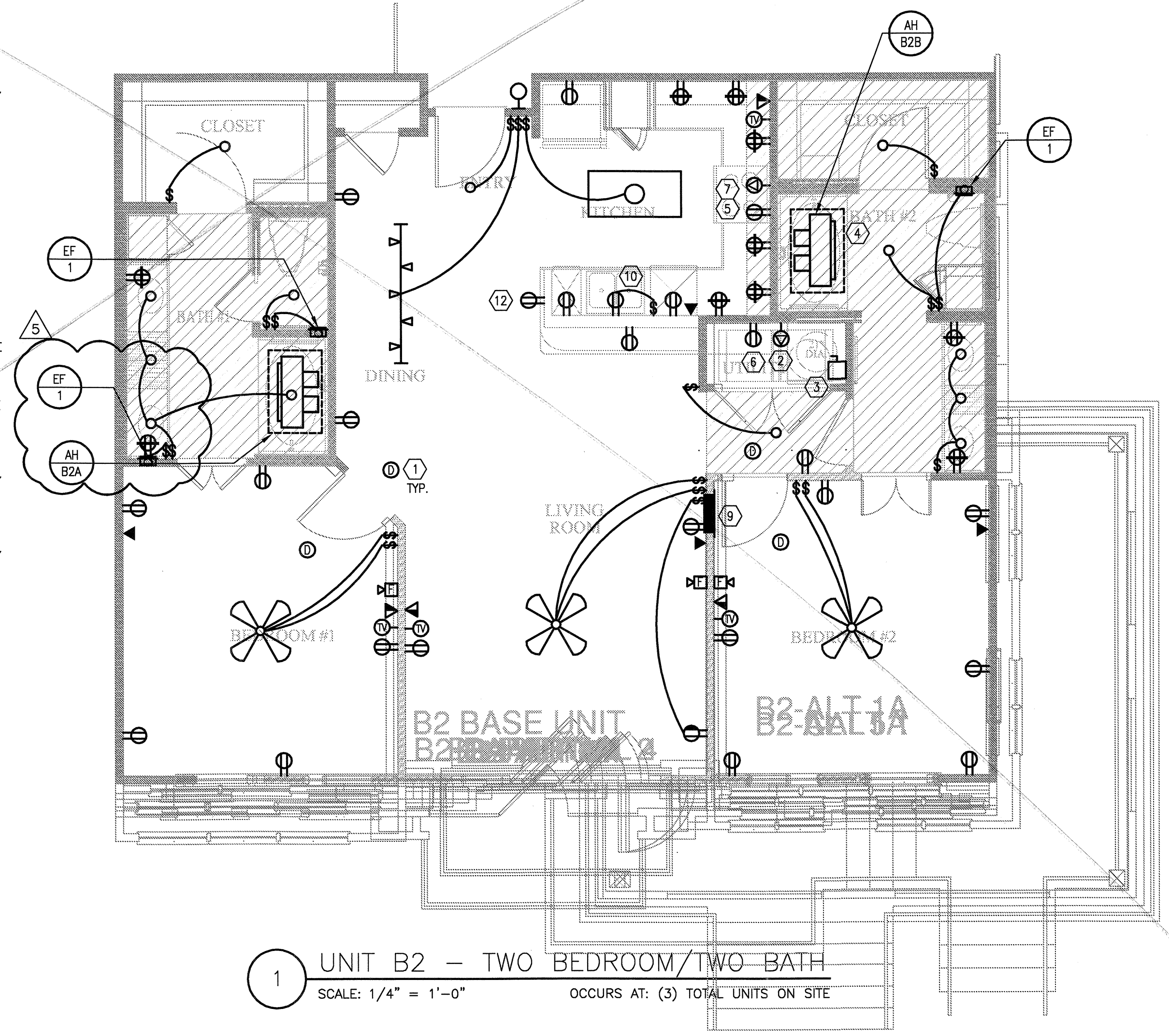
KELLER SPRINGS LOFTS
LOFT APARTMENTS IN ADDISON, TEXAS

GENERAL NOTES:

1. REFER TO MECHANICAL EQUIPMENT CONNECTION SCHEDULE FOR ALL HVAC INFORMATION.
2. ALL RECEPTACLE OUTLETS AT KITCHEN COUNTERTOPS AND IN BATHROOMS SHALL BE GFCI RATED.
3. REFER TO MECHANICAL PLANS FOR LOCATION(S) OF EQUIPMENT TO BE SERVED.
4. SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF CONDENSING UNITS.
5. SWITCH ALL BATH EXHAUST FANS INDEPENDENT OF LIGHTS.
6. VERIFY LOCATION OF WATER HEATER AND INCOMING WATER SUPPLY LINE WITH PLUMBING CONTRACTOR. PROVIDE GFI RECEPTACLE IN ATTIC FOR REMOTE READ WATER METERING. CONNECT RECEPTACLE TO NEAREST RECEPTACLE CIRCUIT.
7. UNLESS OTHERWISE NOTED, ALL WIRE SIZES TO BE #12.
8. CIRCUITS SERVING BEDROOM OUTLETS TO BE AFCI PROTECTED.
9. RECEPTACLES SERVING LAUNDRY, KITCHEN, AND BATHROOM COUNTERS/BASINS TO BE GFCI PROTECTED.
10. SMOKE DETECTORS SHALL BE INSTALLED IN ALL SLEEPING ROOMS WHERE REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
11. OUTDOOR RECEPTACLES TO BE WEATHERPROOF AND GFCI PROTECTED.
12. CENTER ALL CEILING FANS IN ROOMS.
13. ANY ADJUSTMENTS FOR ADAPTABLE UNITS TO BE COORDINATED BY PURCHASER AT TIME OF AGREEMENT.
14. ALL GROUND FLOOR UNITS MUST COMPLY WITH THE "FAIR HOUSING" ELECTRICAL GUIDELINES. PROVIDE CONTROLS/OUTLETS IN ADDITION TO N.E.C. REQUIREMENTS. ALL CONTROLS/OUTLETS OVER CABINETS MUST BE A MINIMUM OF 36" FROM A CORNER AND 12" FROM WALL OR OTHER OBSTRUCTION.
15. ON UPPER LEVEL UNITS WITH ATTIC ACCESS, PROVIDE ATTIC LIGHTING WITH SWITCH LOCATED ADJACENT TO AND ABOVE (ATTIC SIDE) ACCESS OPENING.
16. A MINIMUM OF 75 dba FOR FIRE ALARM ANNUNCIATION SHALL BE MAINTAINED IN EVERY OCCUPIED SPACE.
17. INSTALL ALL DISPOSAL SWITCHES AT ISLAND UNDER SINK IN ACCESSIBLE LOCATION. COORDINATE LOCATION WITH ARCHITECT.
18. INSTALL ALL UNDERCABINET LIGHTS ABOVE COMPUTER DESK TO CABINET ABOVE.
19. REFER TO NEC ARTICLE 210 FOR BRANCH CIRCUITS, LIGHTING AND RECEPTACLES REQUIREMENTS.
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KEY NOTES:

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DATE
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PROJECT
11129

SHEET NUMBER
E-2.6

JSE Jordan & Skala Engineers
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V: (469) 385-1016 F: (469) 385-1015
Project Number - 111-0355 Texas Firm Registration # F-4990
Drawn By: **KMK** Checked By: **KMK**



REVISIONS	
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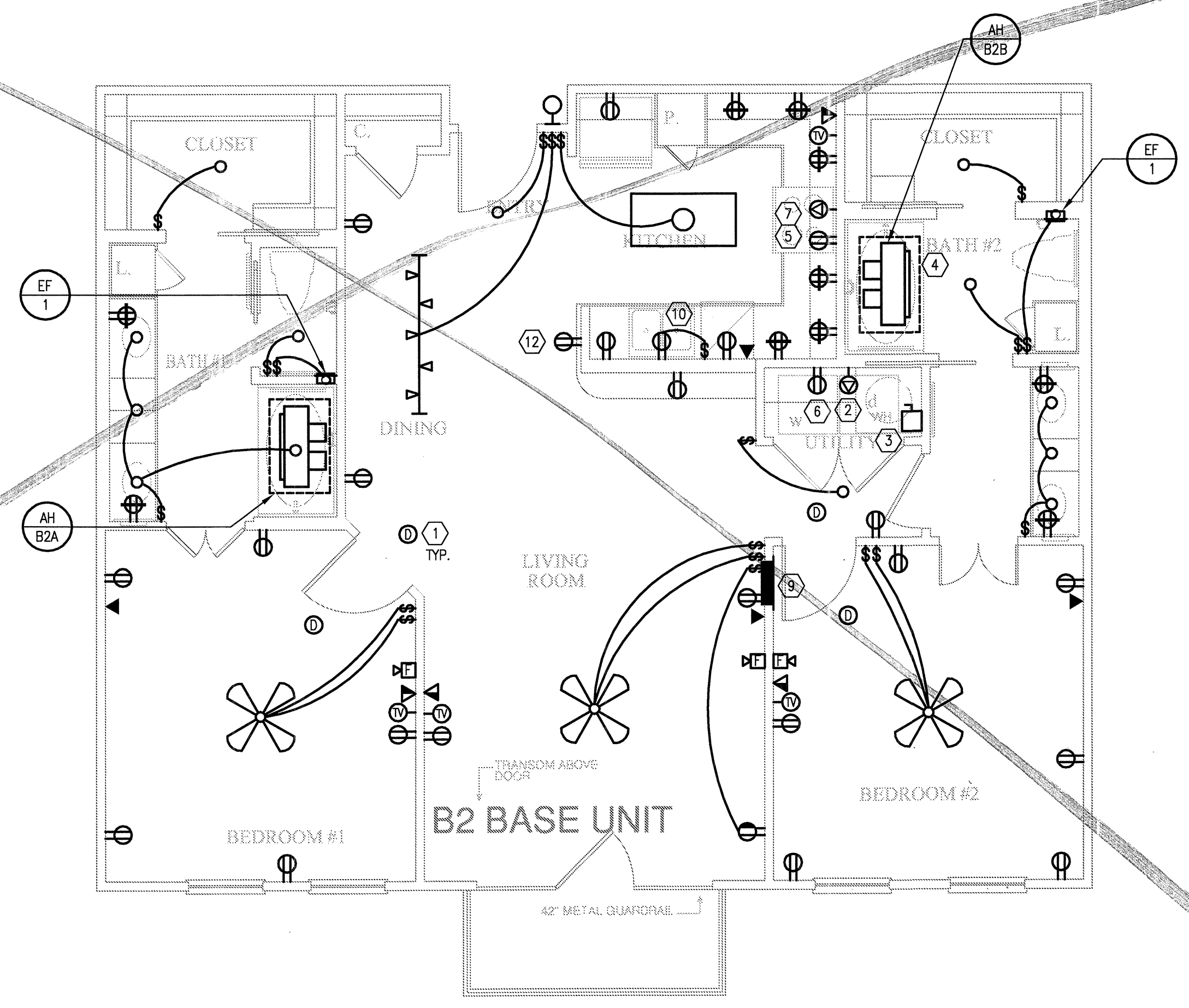
KELLER SPRINGS LOFTS
LOFT APARTMENTS IN ADDISON, TEXAS

GENERAL NOTES:

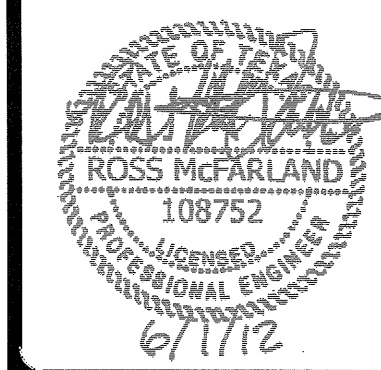
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1 UNIT B2 - TWO BEDROOM/TWO BATH
SCALE: 1/4" = 1'-0" OCCURS AT: (3) TOTAL UNITS ON SITE



REVISIONS	
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KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS

5-15-2012	COORDINATION
5-30-2012	SITE COORDINATION
6-01-12	LIGHTING REVISIONS

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DATE
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PROJECT
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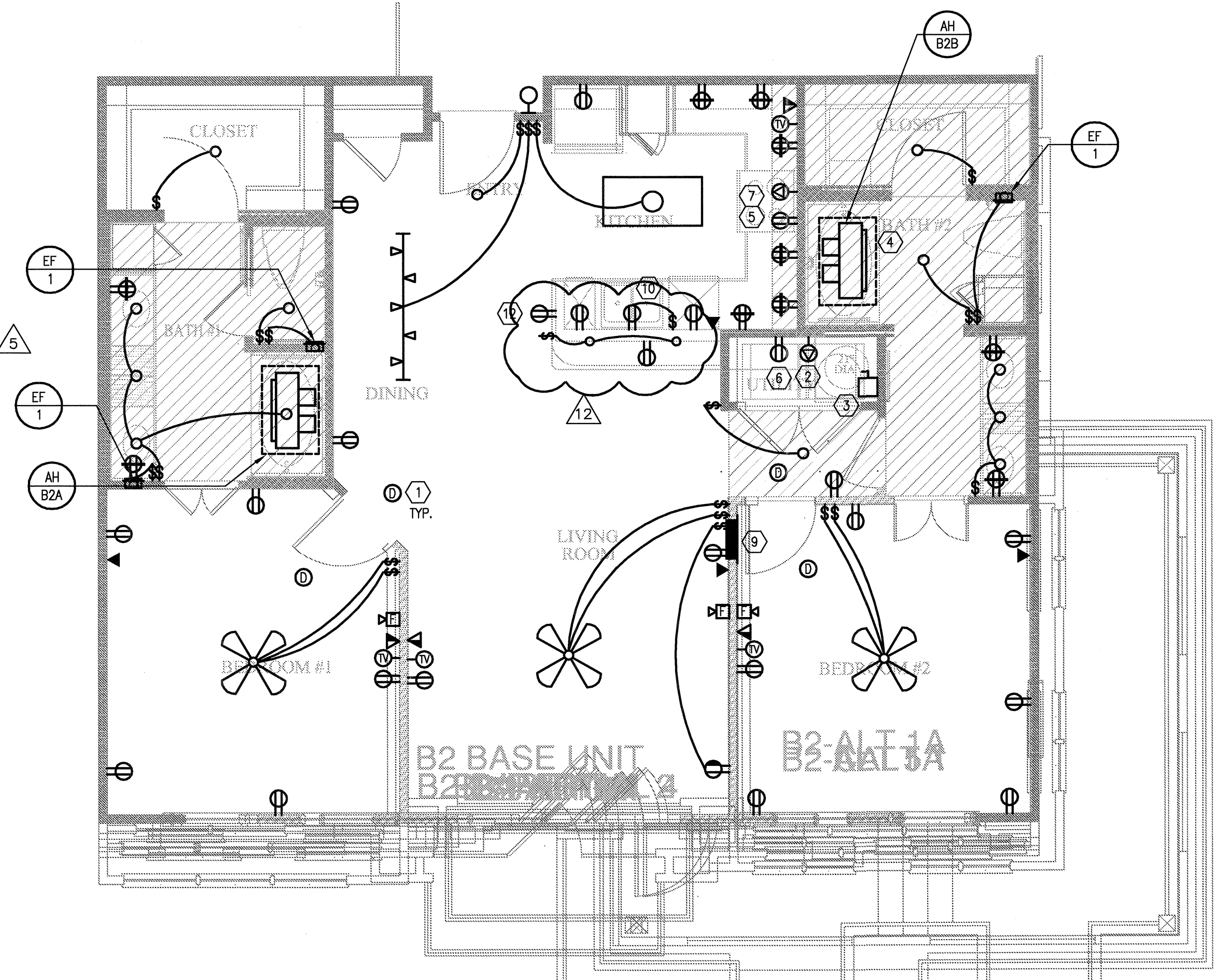
SHEET NUMBER
E-2.6

GENERAL NOTES:

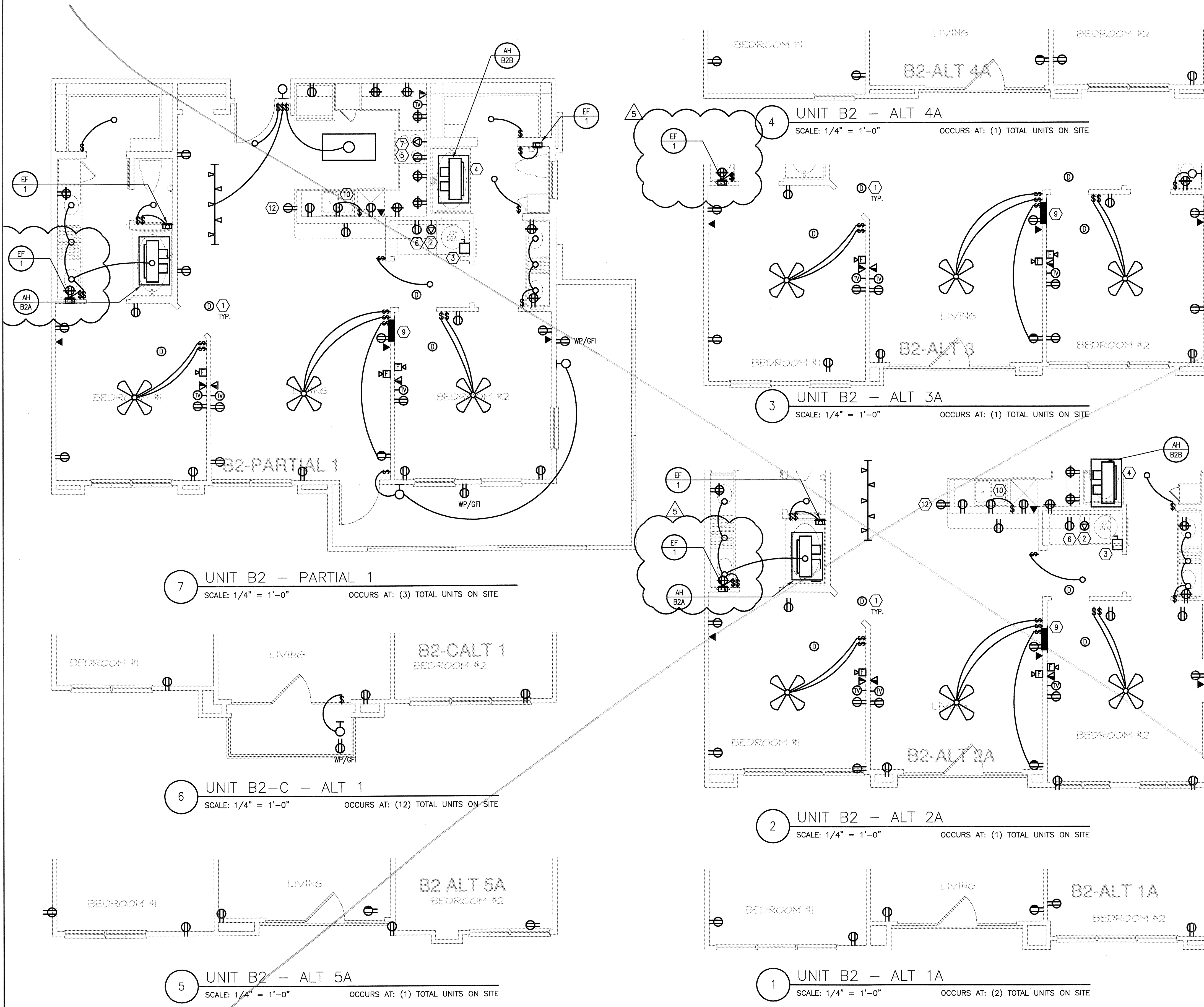
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③	9-23-2011	DESIGN REVISIONS
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⑤	12-21-2011	DESIGN REVISIONS

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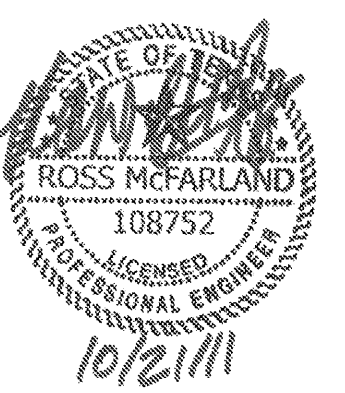
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E-2.7

JSE Jordan & Skala Engineers
14240 Waples Road, Suite 320
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Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: MJ Checked By: RAD



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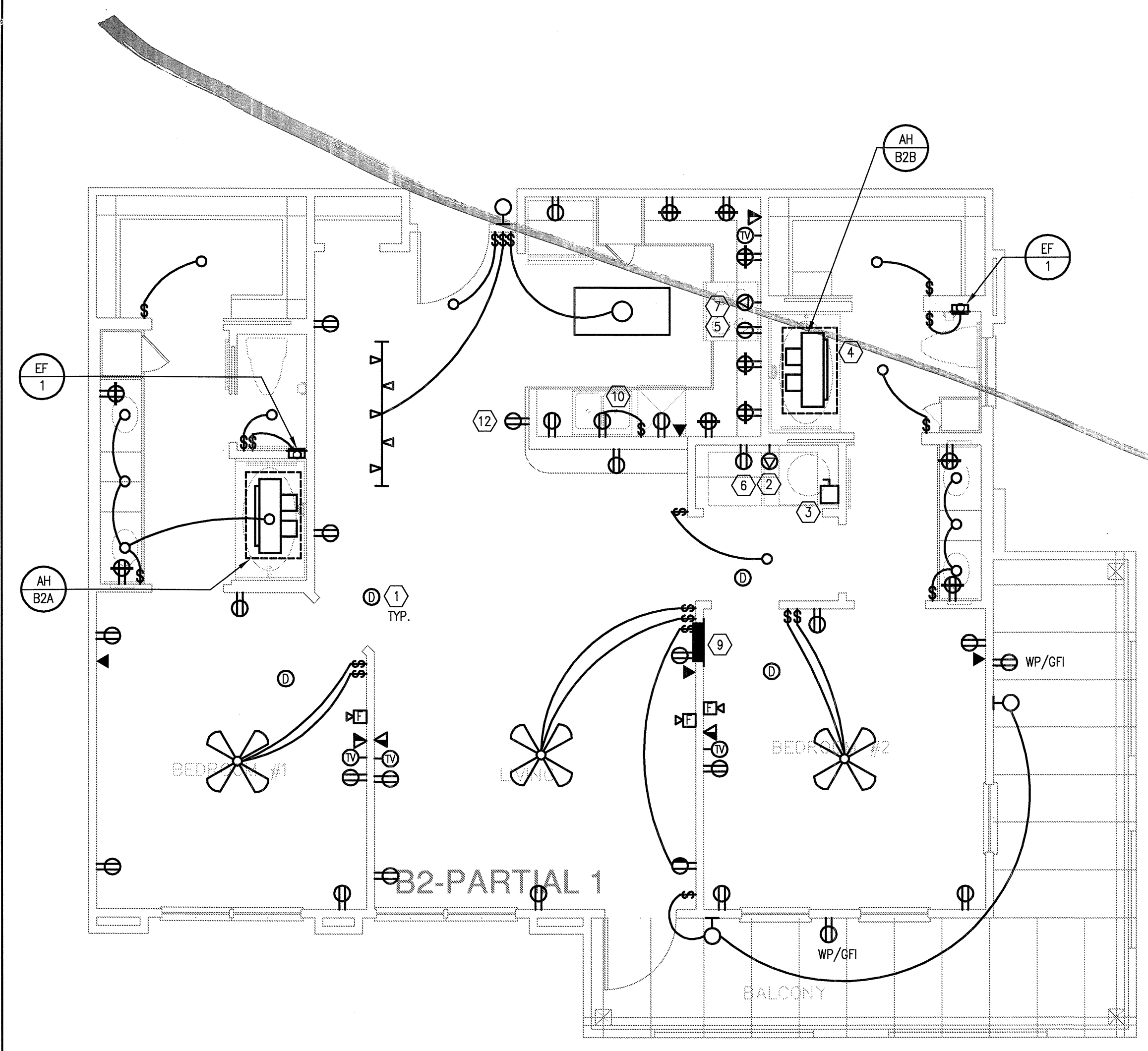
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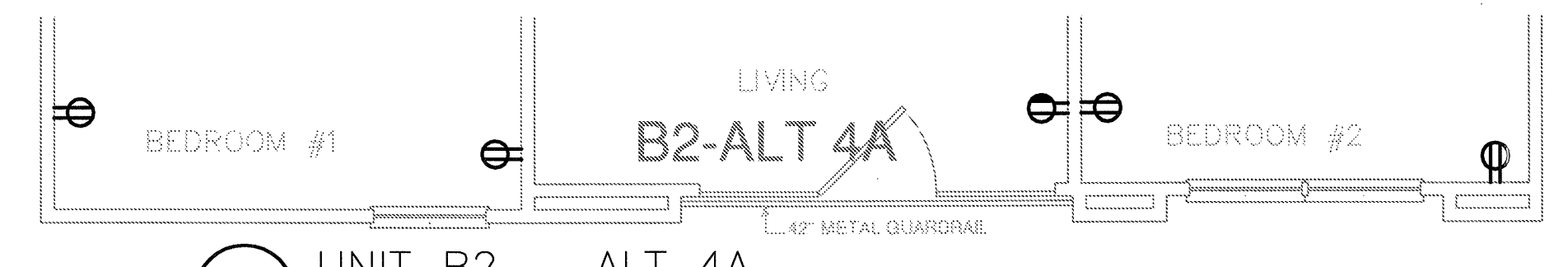
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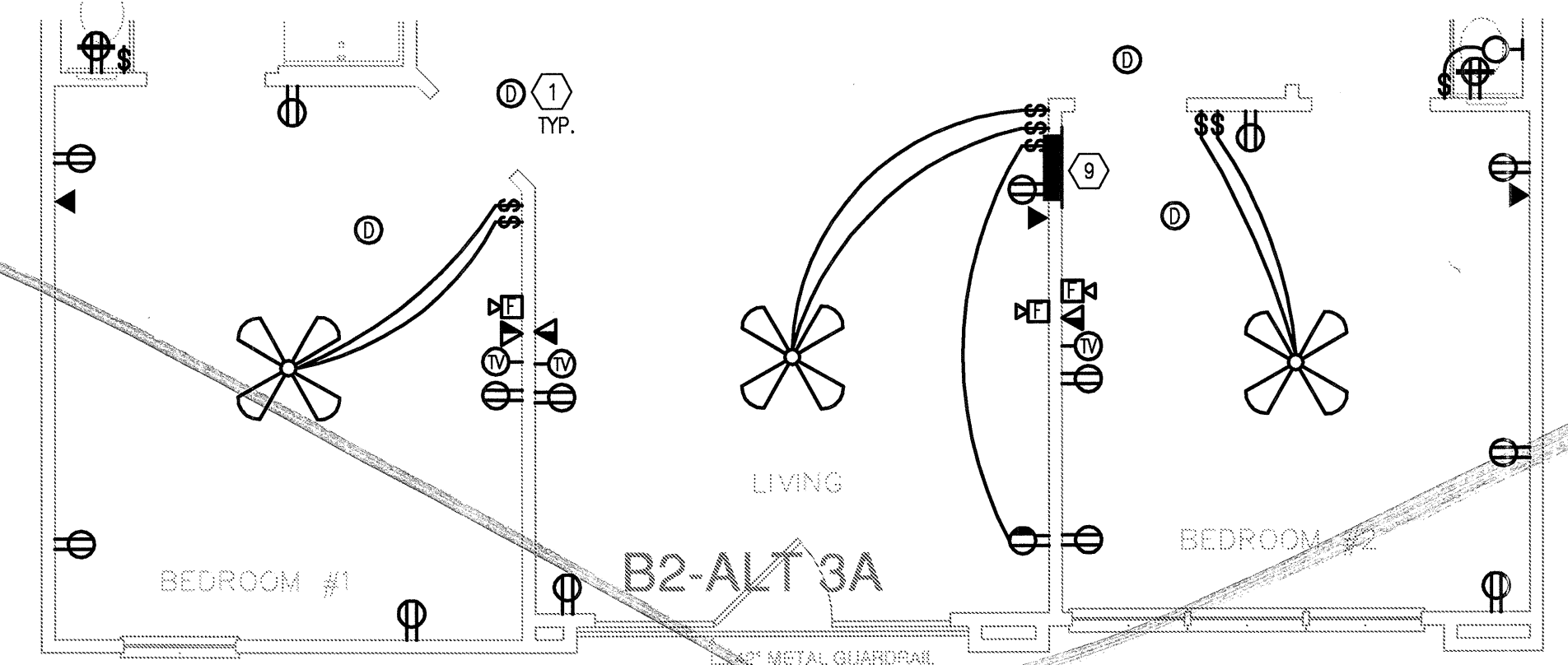
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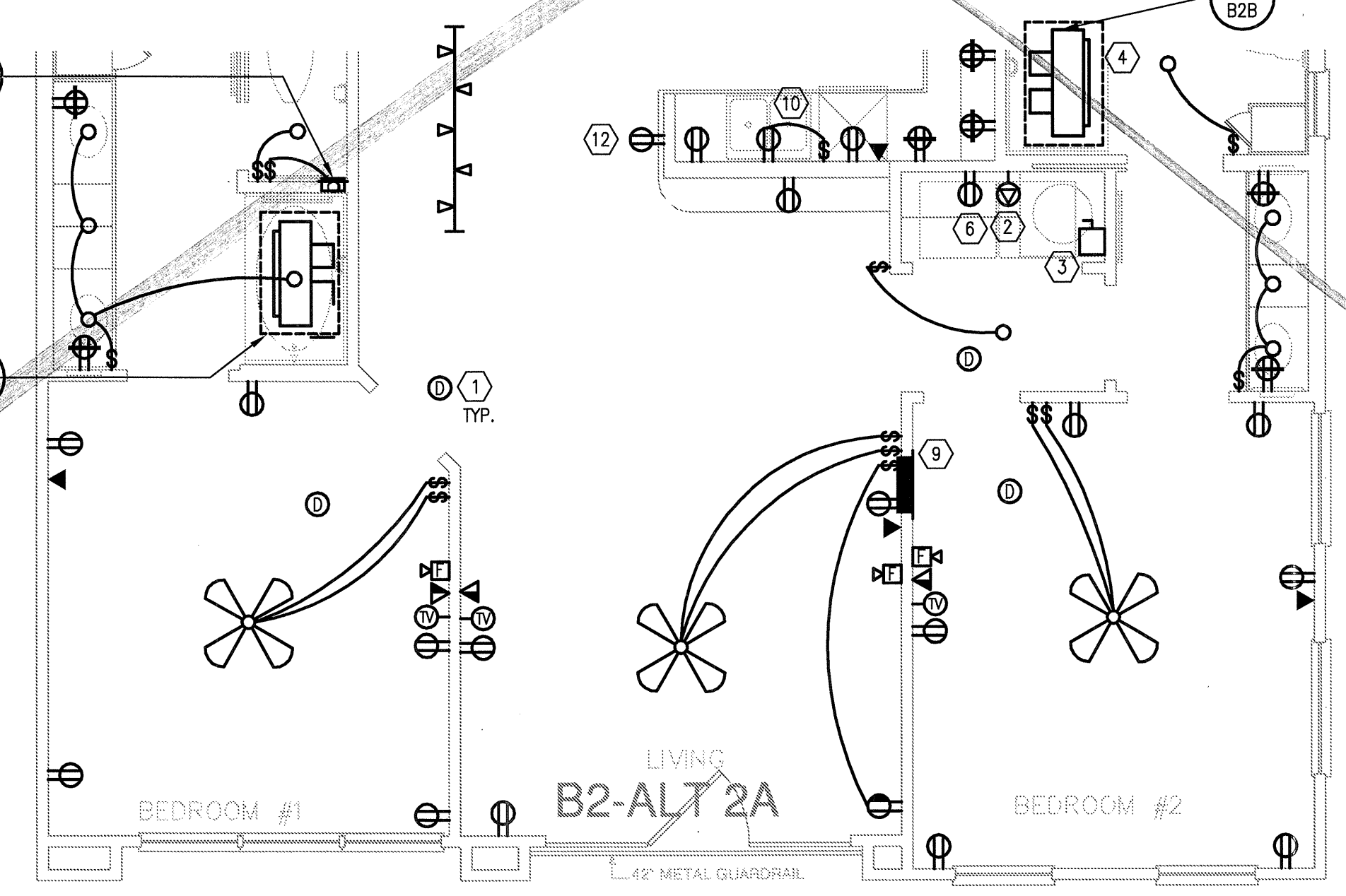
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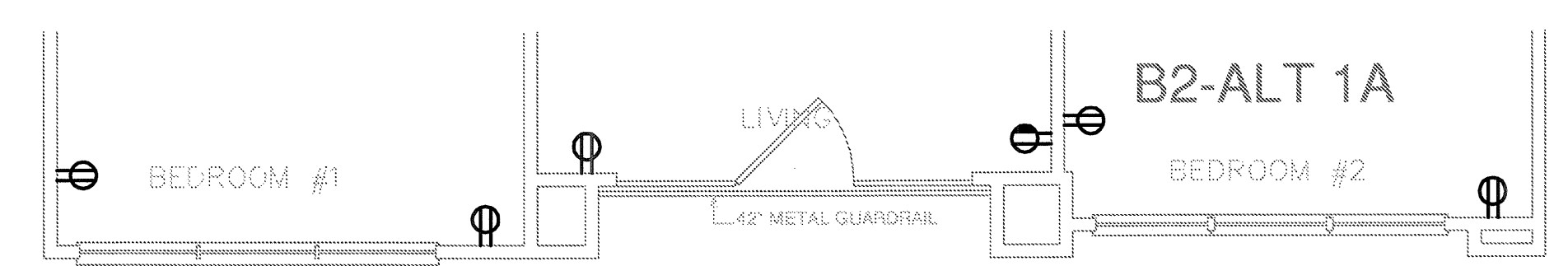
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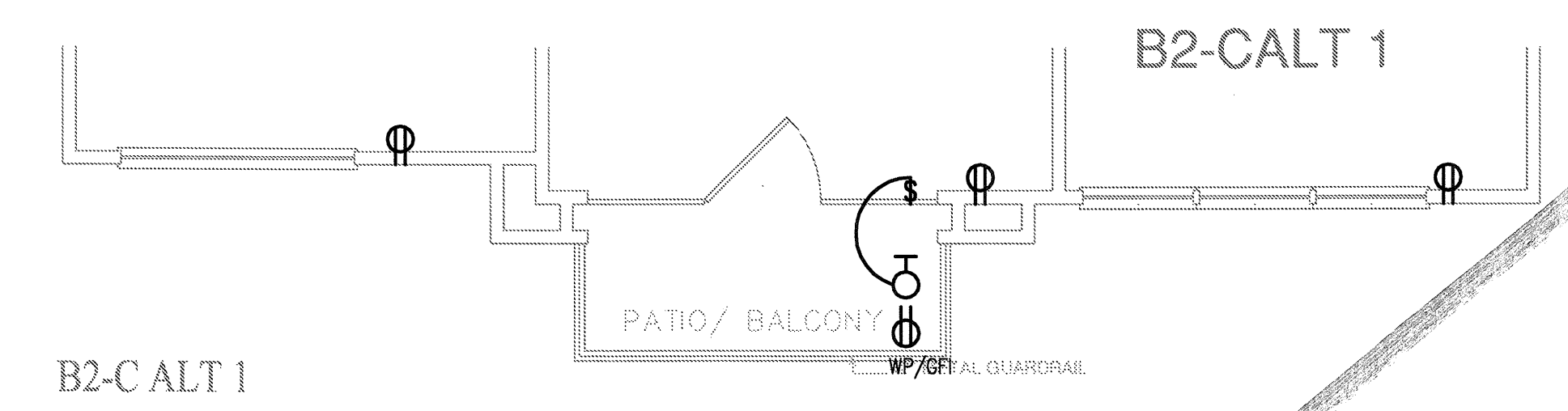
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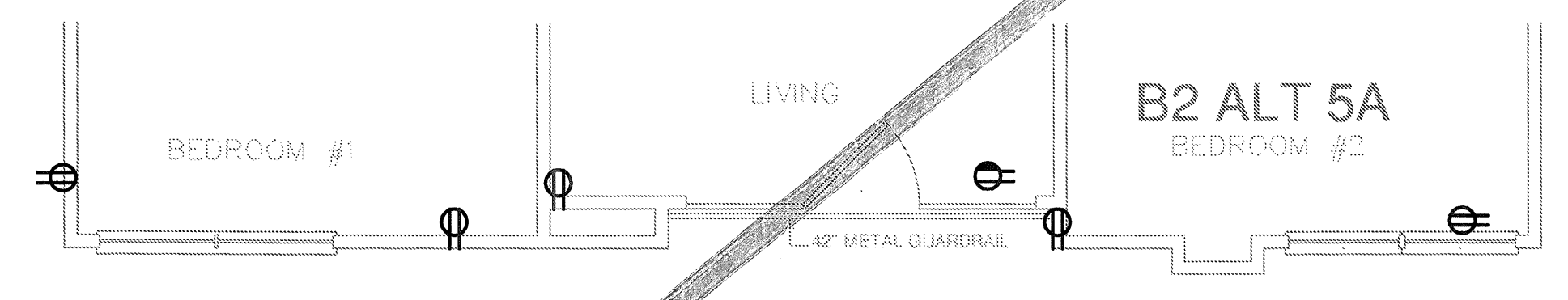
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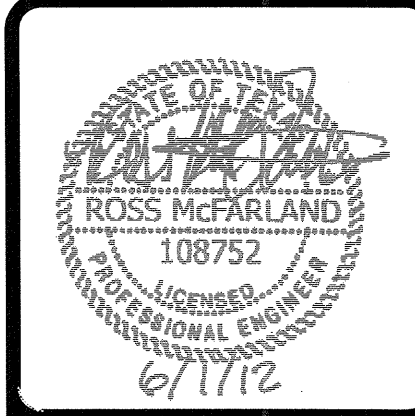
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6	1-17-2012 DESIGN REVISIONS
7	2-15-2012 TRANSFORMER REVISIONS
8	3-27-2012 CLUBHOUSE REVISIONS
9	4-17-2012 COORDINATION

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10	5-15-2012 COORDINATION
11	5-30-2012 SITE COORDINATION
12	6-01-12 LIGHTING REVISIONS

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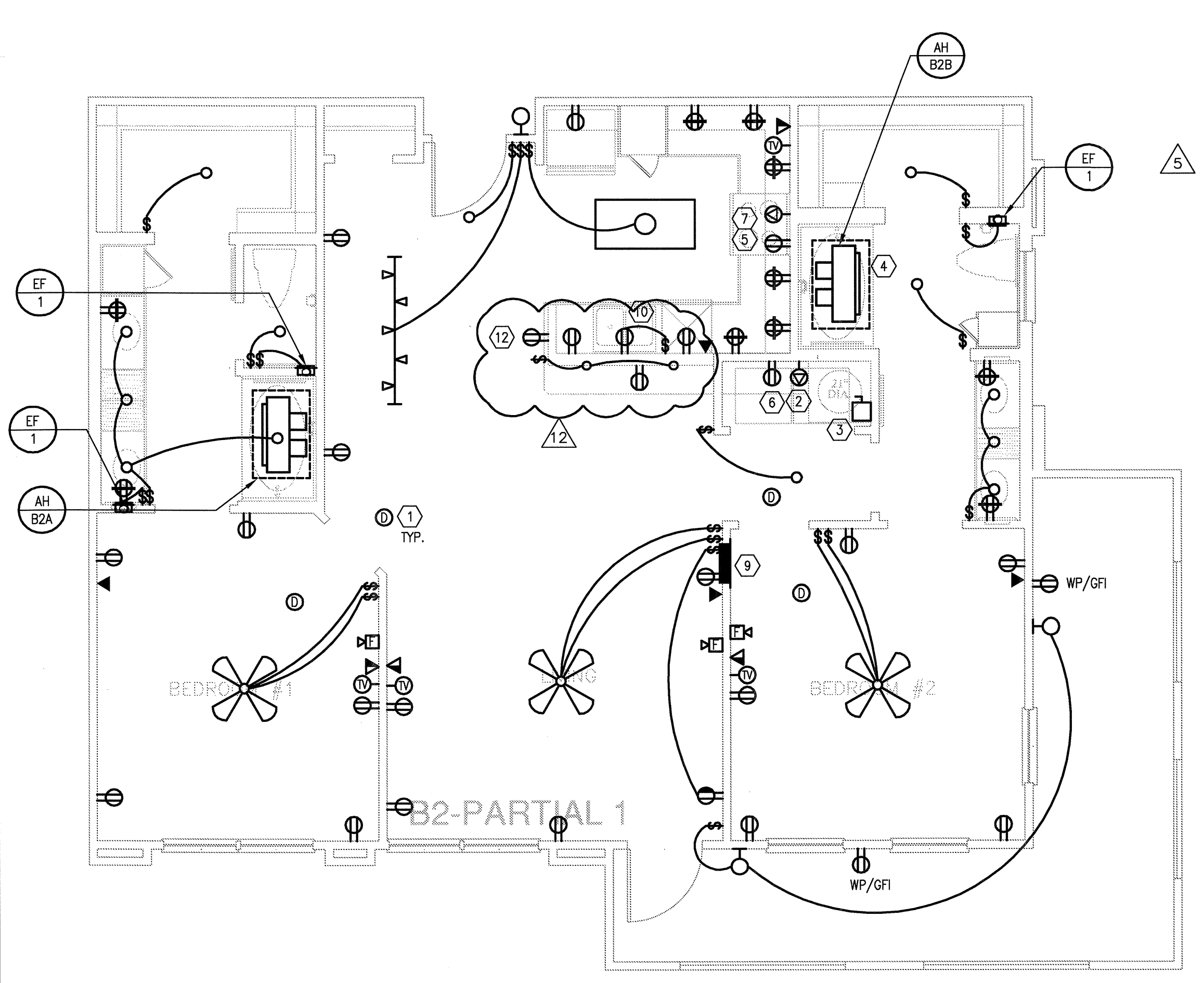
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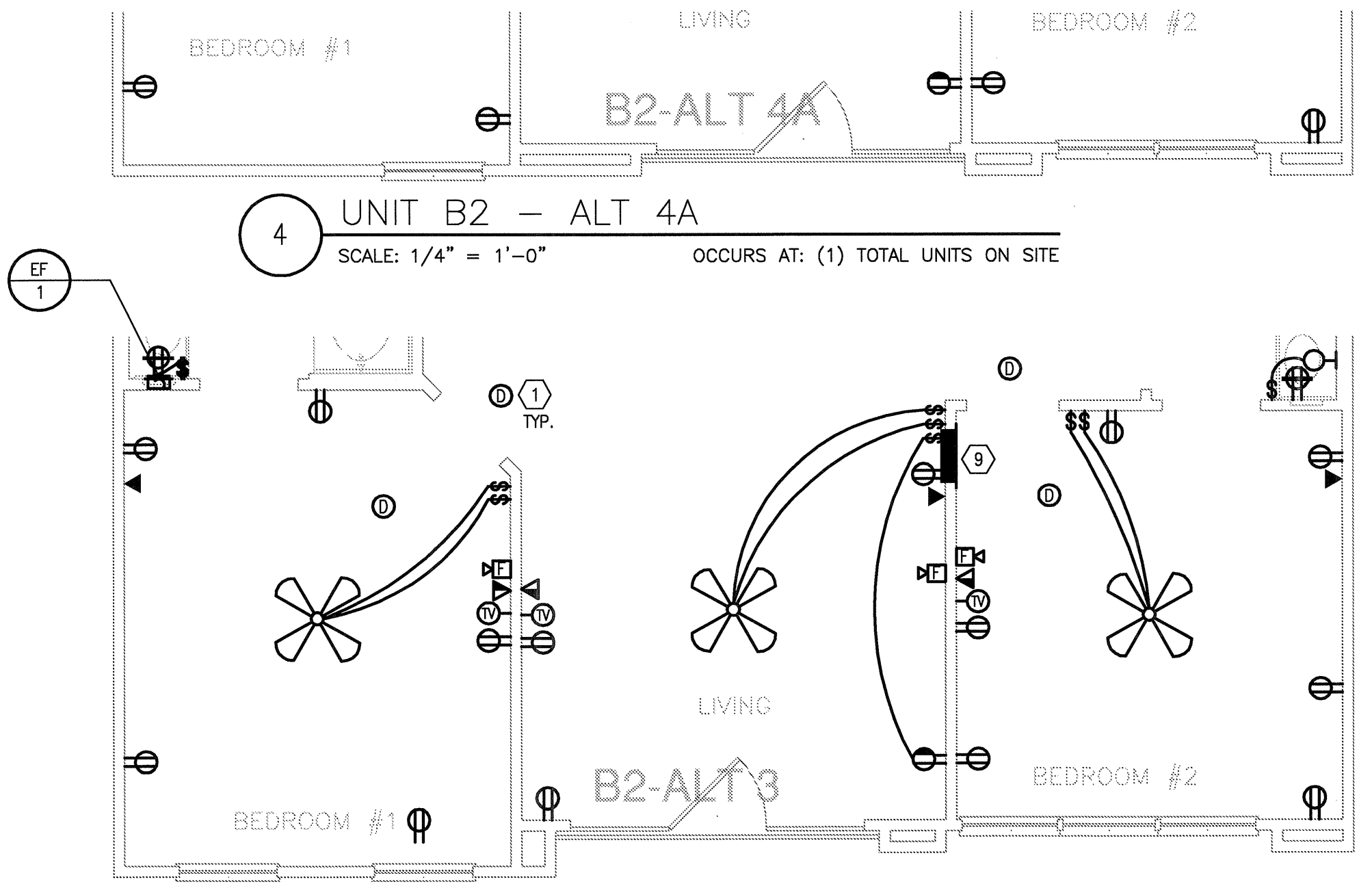
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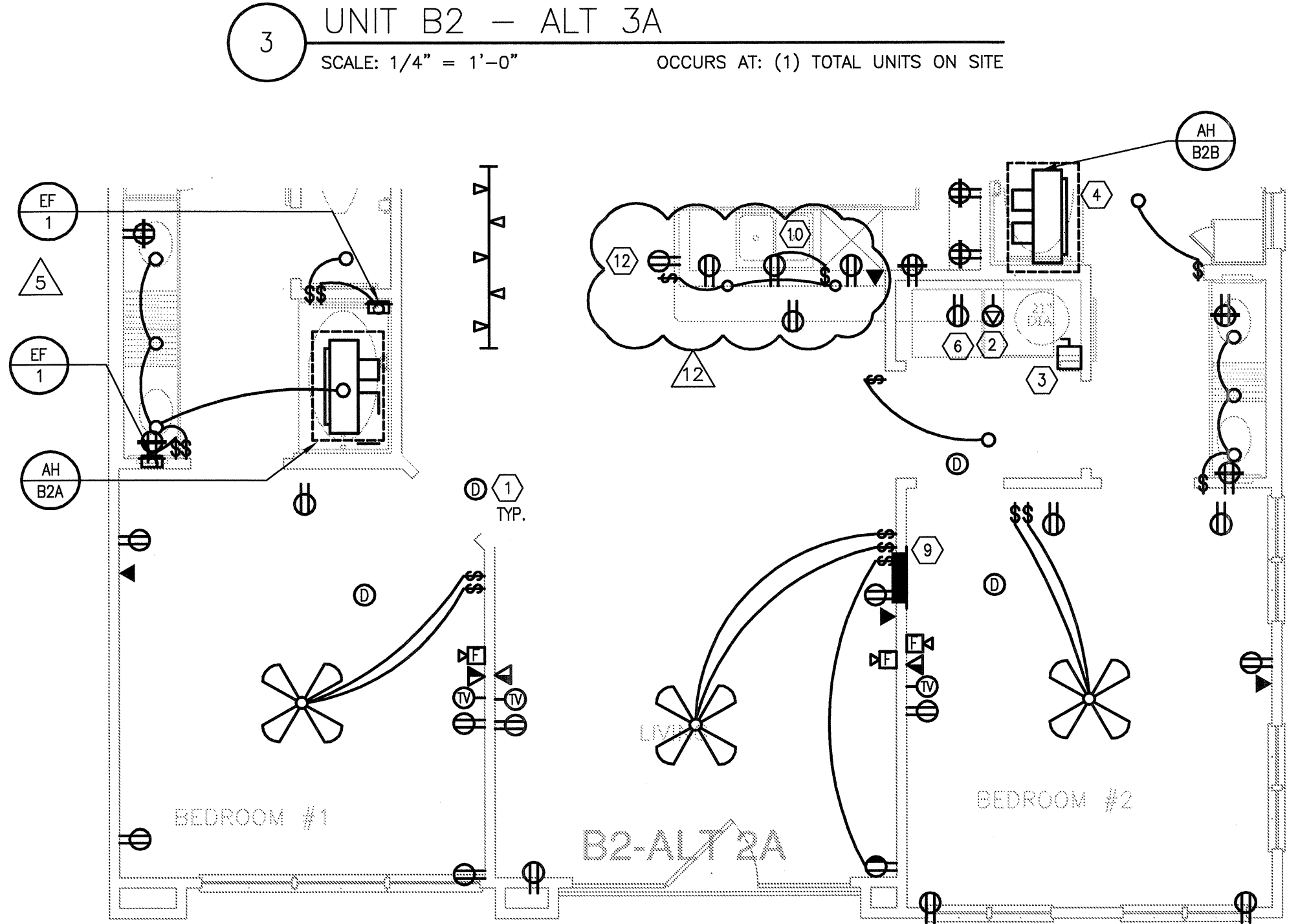
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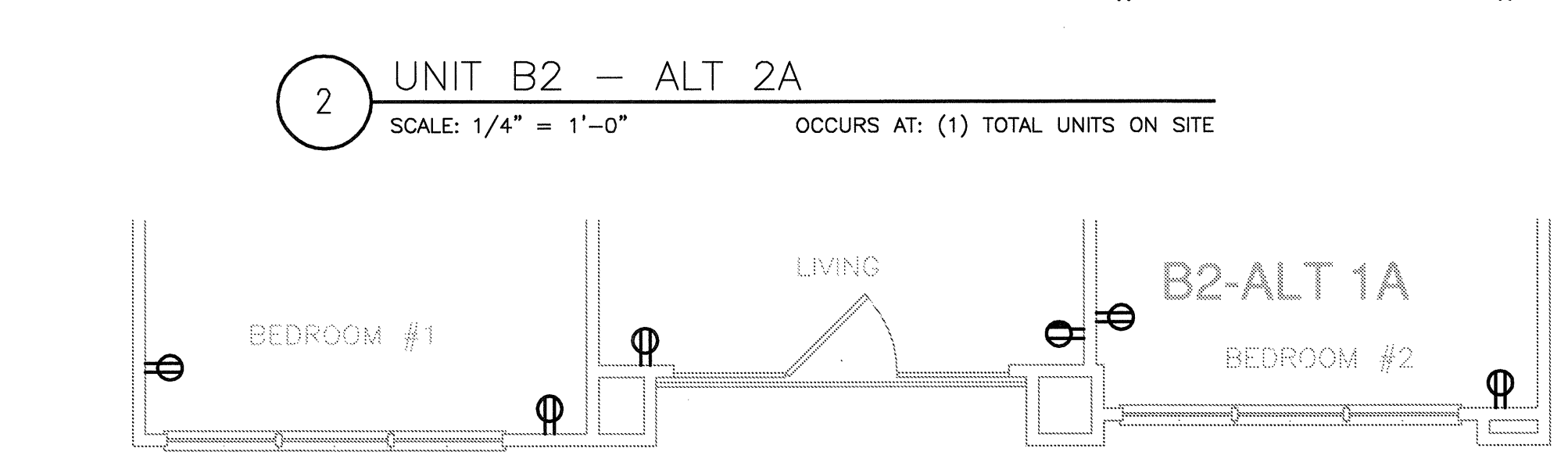
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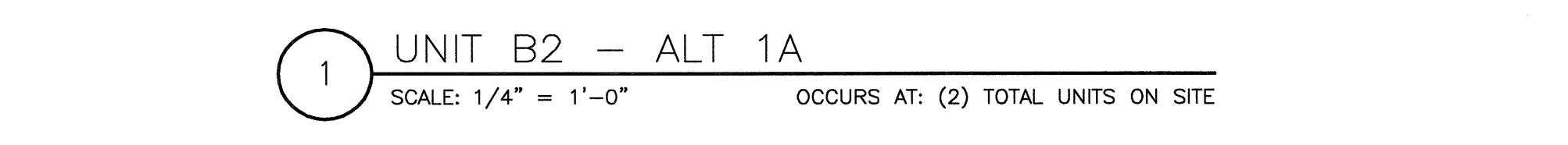
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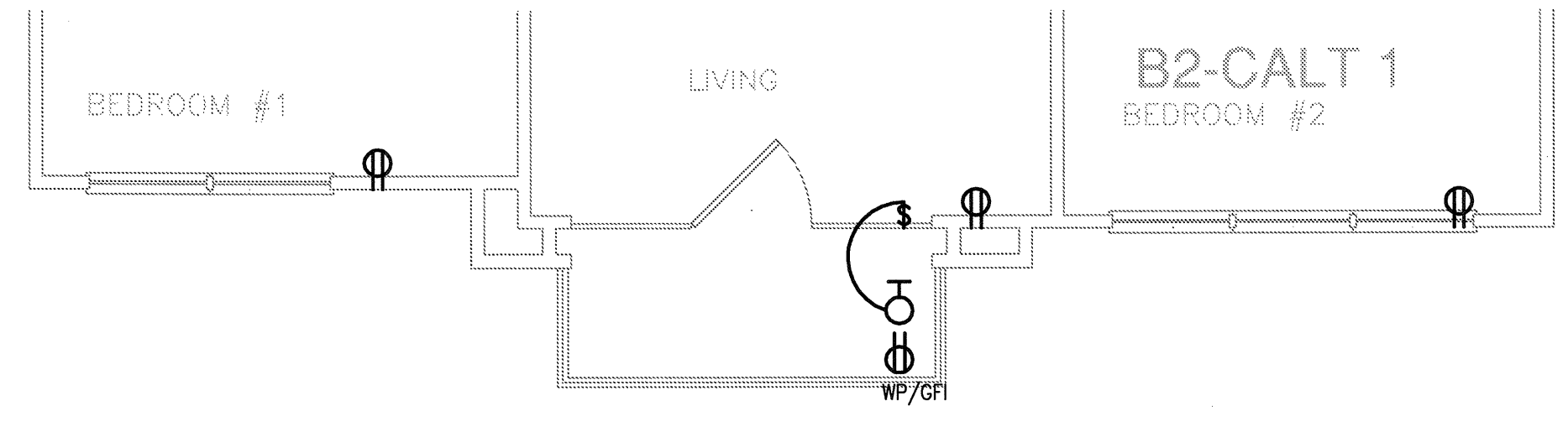
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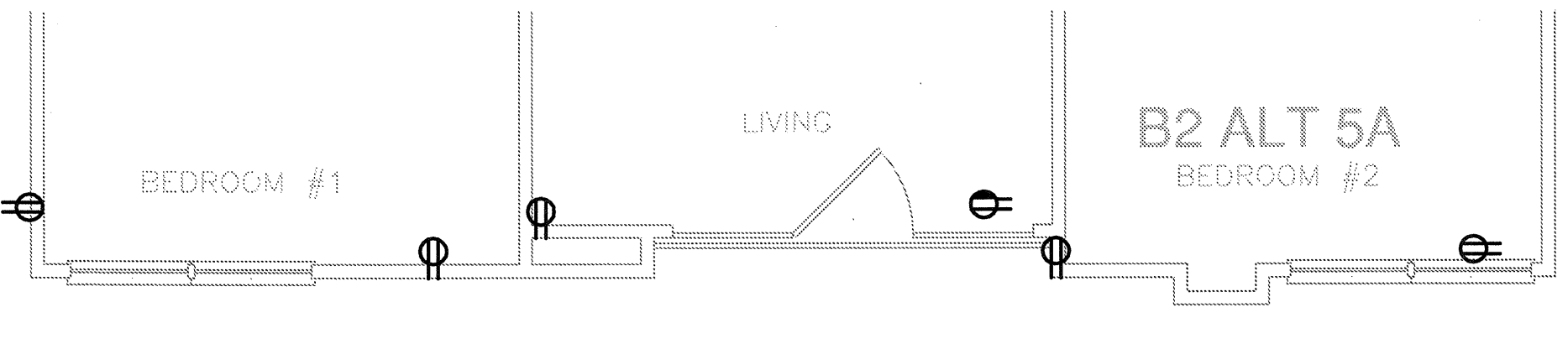
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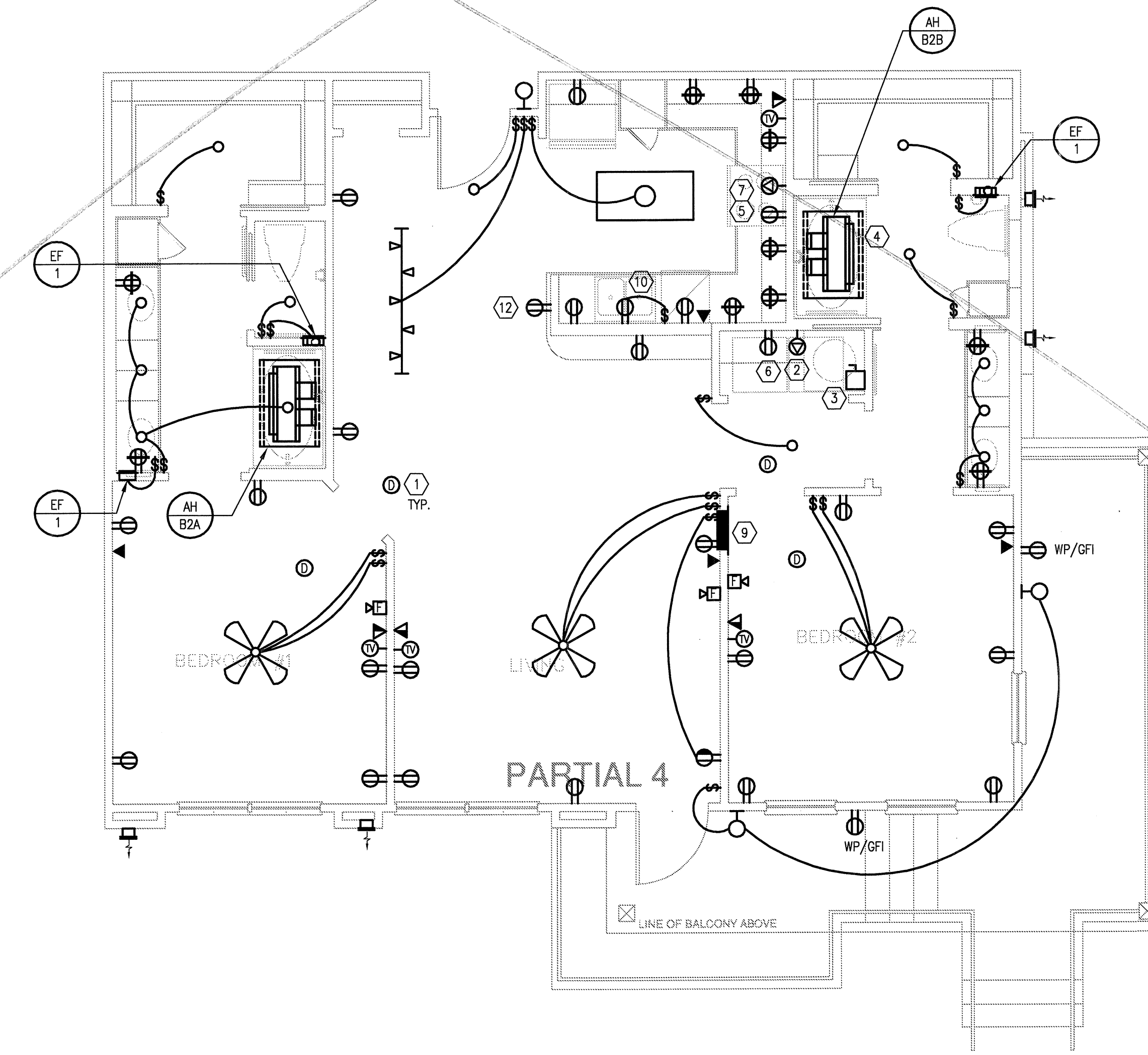
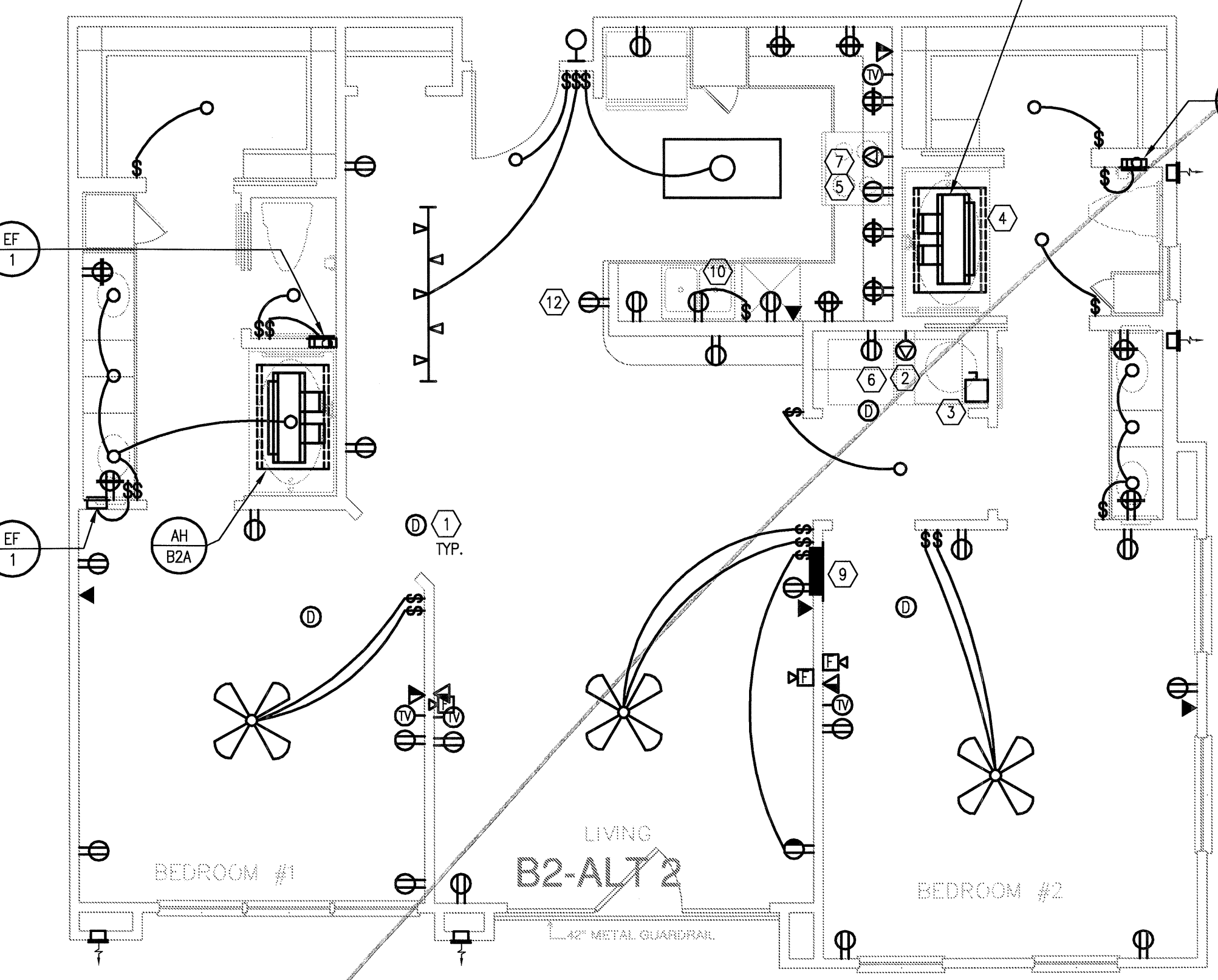
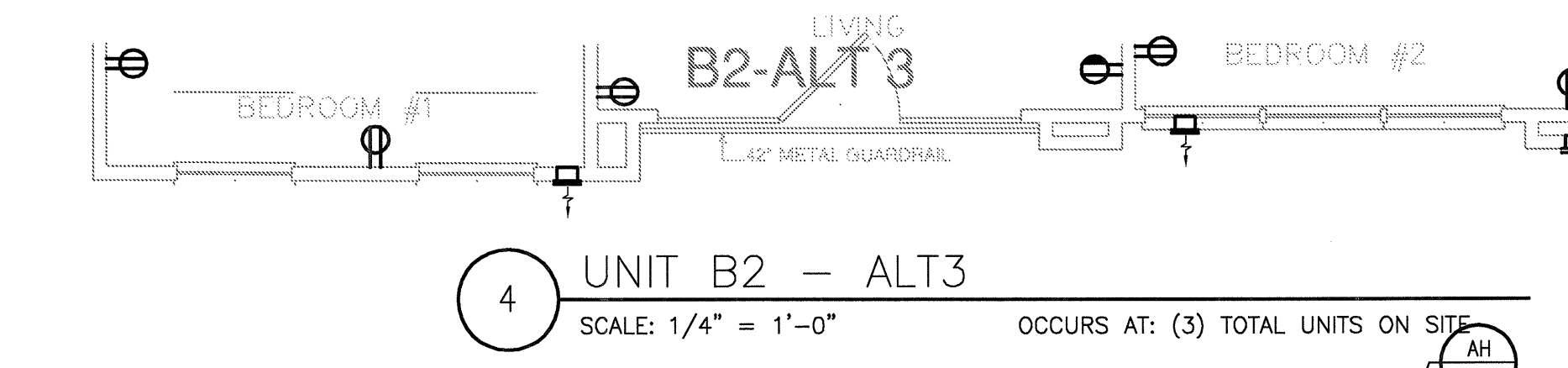
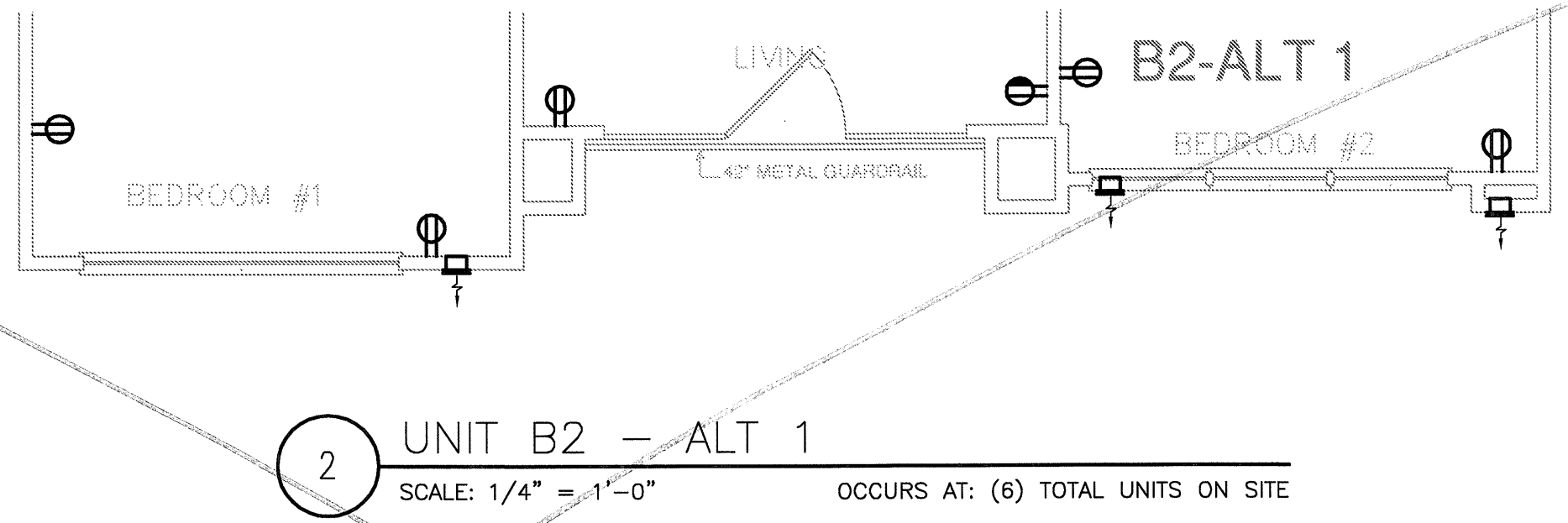
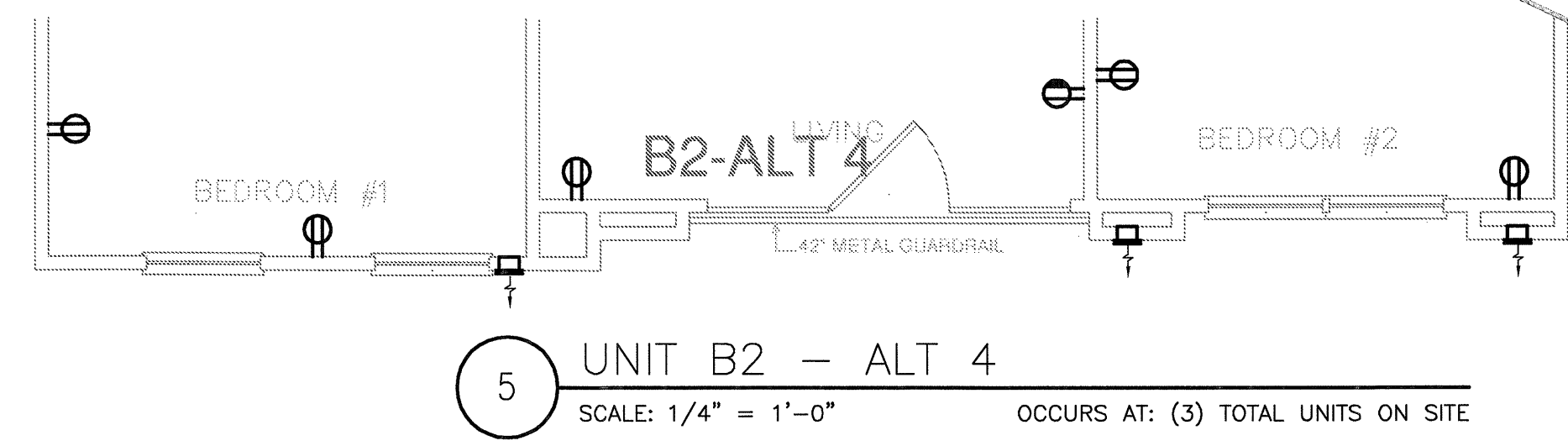
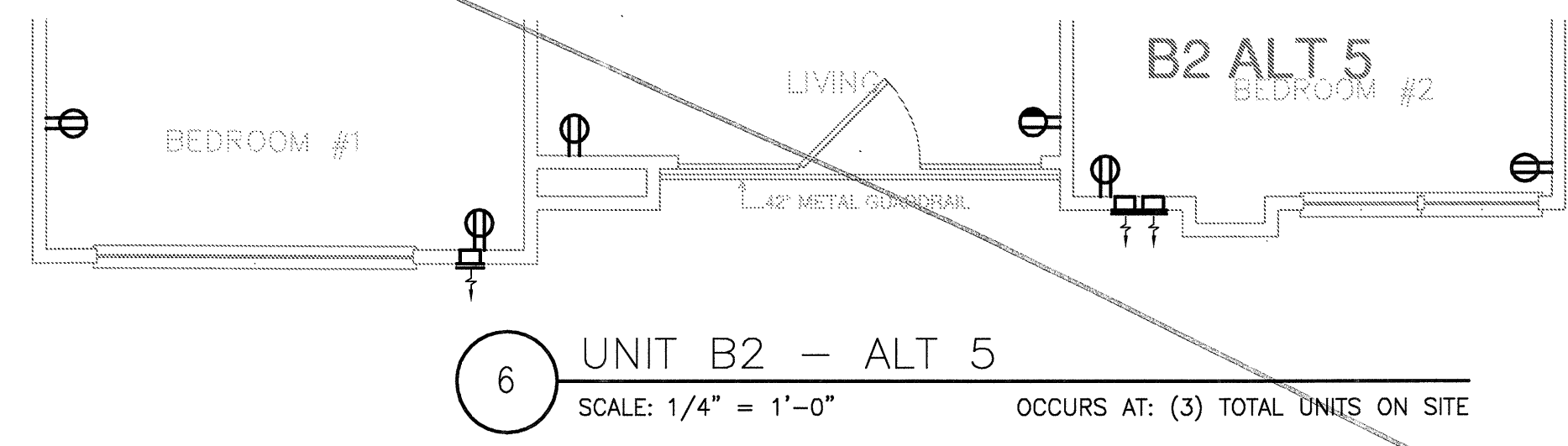
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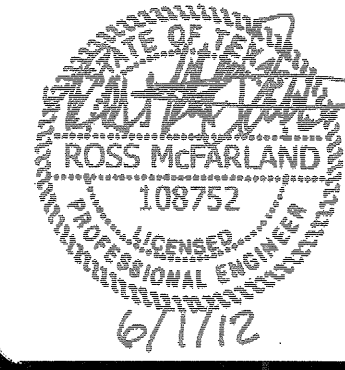
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6. VERIFY LOCATION OF WATER HEATER AND INCOMING WATER SUPPLY LINE WITH PLUMBING CONTRACTOR. PROVIDE GFI RECEPTACLE IN ATTIC FOR REMOTE READ WATER METERING. CONNECT RECEPTACLE TO NEAREST RECEPTACLE CIRCUIT.
7. UNLESS OTHERWISE NOTED, ALL WIRE SIZES TO BE #12.
8. CIRCUITS SERVING BEDROOM OUTLETS TO BE AFCI PROTECTED.
9. RECEPTACLES SERVING LAUNDRY, KITCHEN, AND BATHROOM COUNTERS/BASINS TO BE GFCI PROTECTED.
10. SMOKE DETECTORS SHALL BE INSTALLED IN ALL SLEEPING ROOMS WHERE REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
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12. CENTER ALL CEILING FANS IN ROOMS.
13. ANY ADJUSTMENTS FOR ADAPTABLE UNITS TO BE COORDINATED BY PURCHASER AT TIME OF AGREEMENT.
14. ALL GROUND FLOOR UNITS MUST COMPLY WITH THE "FAIR HOUSING" ELECTRICAL GUIDELINES. PROVIDE CONTROLS/OUTLETS IN ADDITION TO N.E.C. REQUIREMENTS. ALL CONTROLS/OUTLETS OVER CABINETS MUST BE A MINIMUM OF 36" FROM A CORNER AND 12" FROM WALL OR OTHER OBSTRUCTION.
15. ON UPPER LEVEL UNITS WITH ATTIC ACCESS, PROVIDE ATTIC LIGHTING WITH SWITCH LOCATED ADJACENT TO AND ABOVE (ATTIC SIDE) ACCESS OPENING.
16. A MINIMUM OF 75 dba FOR FIRE ALARM ANNUNCIATION SHALL BE MAINTAINED IN EVERY OCCUPIED SPACE.
17. INSTALL ALL DISPOSAL SWITCHES AT ISLAND UNDER SINK IN ACCESSIBLE LOCATION. COORDINATE LOCATION WITH ARCHITECT.
18. INSTALL ALL UNDERCABINET LIGHTS ABOVE COMPUTER DESK TO CABINET ABOVE.
19. REFER TO NEC ARTICLE 210 FOR BRANCH CIRCUITS, LIGHTING AND RECEPTACLE REQUIREMENTS.
20. MECHANICAL CONTRACTOR SHALL SUPPLY BATH EXHAUST FAN SWITCH





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7	2-15-2012 CLUBHOUSE REVISIONS
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9	4-17-2012

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS

10	5-15-2012 COORDINATION
11	5-30-2012 SITE COORDINATION
12	6-01-12 LIGHTING REVISIONS

BGO
architects

4144 N. Central Expy.
Suite 855
Dallas, TX 75204
214.520.8878
bgoarchitects.com

DATE
08-05-11

PROJECT
11129

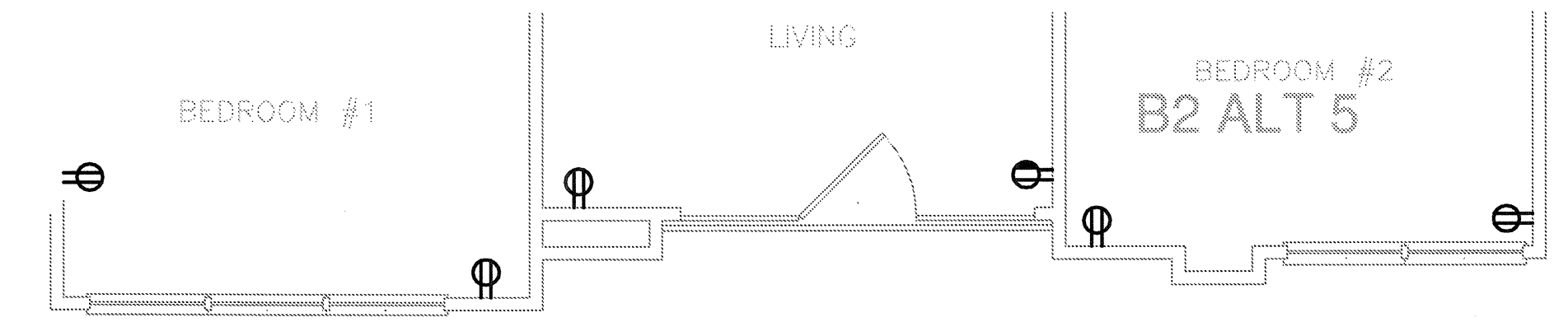
SHEET NUMBER
E-2.8

KEY NOTES:

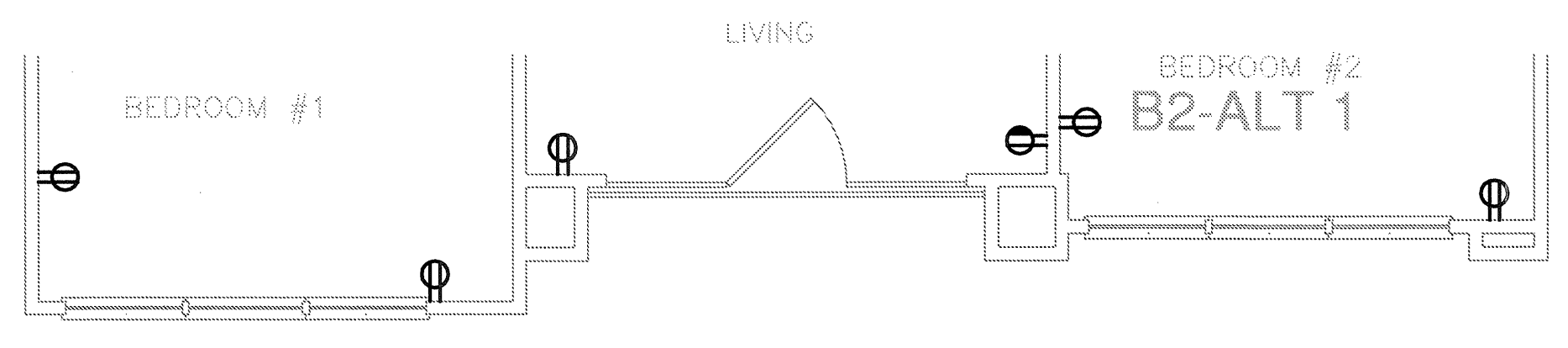
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- 11 CARBON MONOXIDE SENSORS TO BE HARD WIRED AND MOUNTED 12" AFF. LOCATE NEAR GARAGE/STAR ENTRY WITHIN UNITS CONNECTED TO GARAGE(S), TYPICAL.
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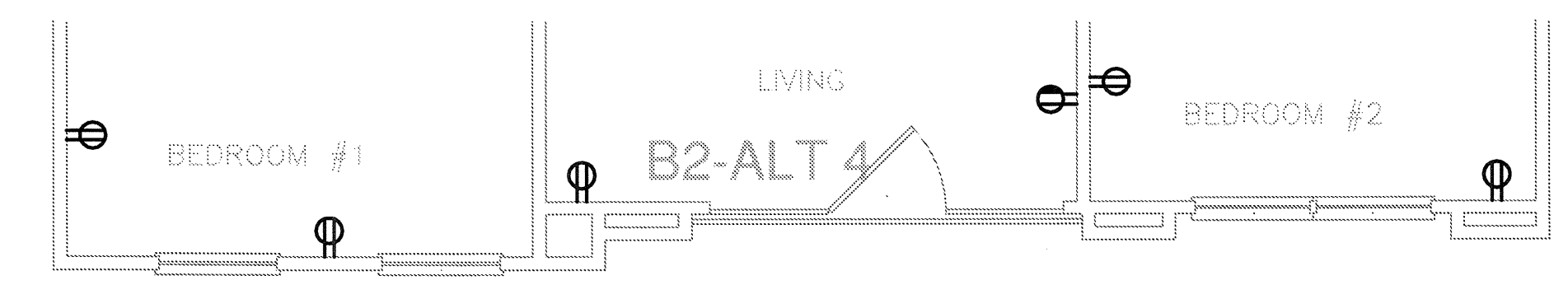
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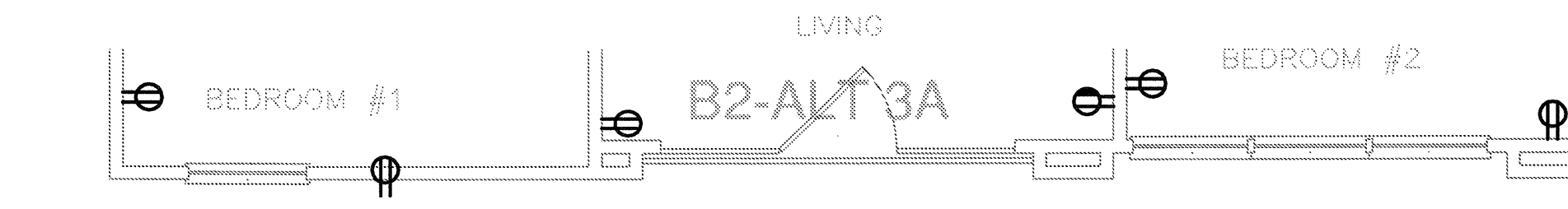
6 UNIT B2 - ALT 5
SCALE: 1/4" = 1'-0" OCCURS AT: (3) TOTAL UNITS ON SITE



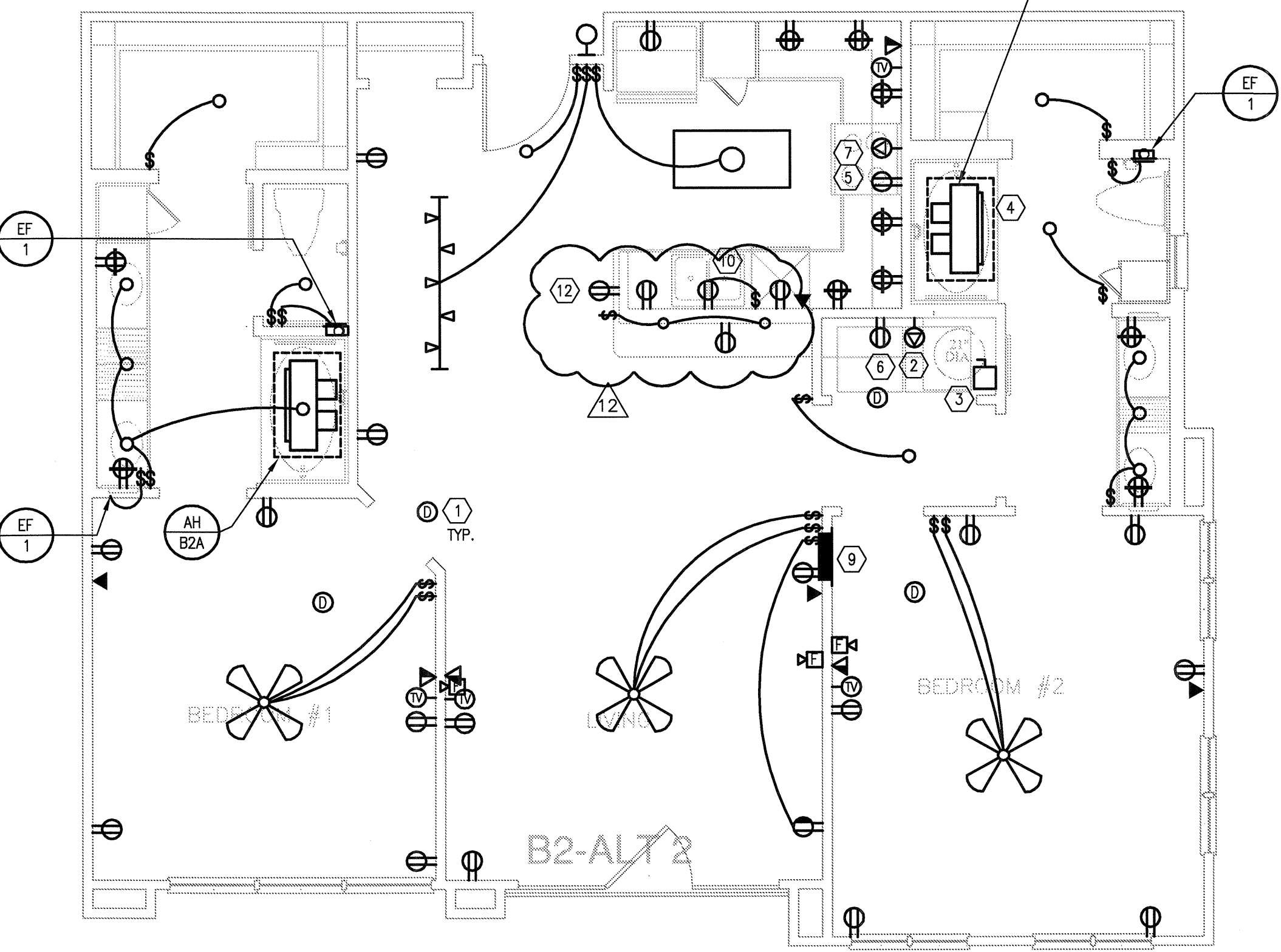
2 UNIT B2 - ALT 1
SCALE: 1/4" = 1'-0" OCCURS AT: (6) TOTAL UNITS ON SITE



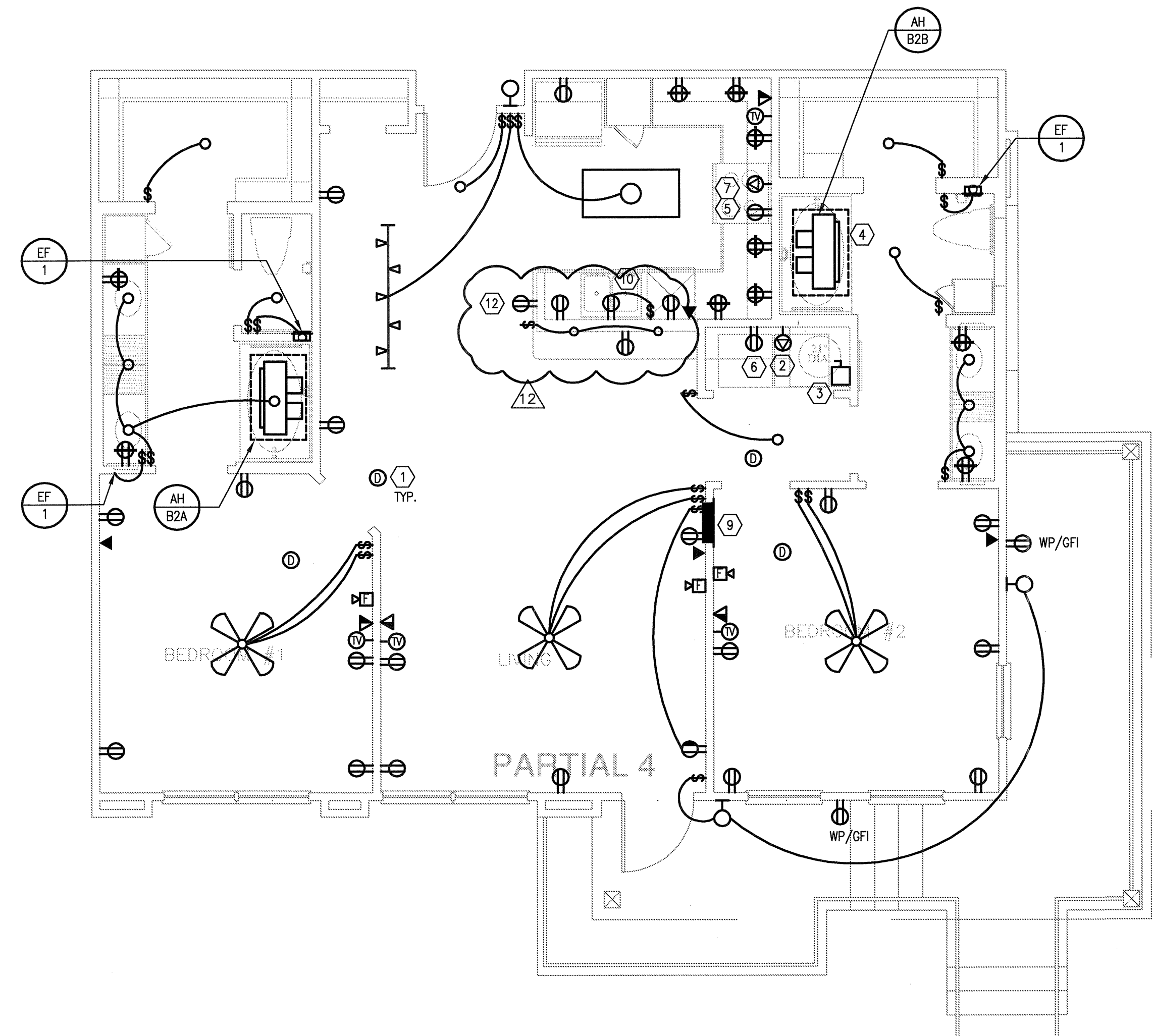
5 UNIT B2 - ALT 4
SCALE: 1/4" = 1'-0" OCCURS AT: (3) TOTAL UNITS ON SITE



4 UNIT B2 - ALT 3A
SCALE: 1/4" = 1'-0" OCCURS AT: (3) TOTAL UNITS ON SITE



3 UNIT B2 - ALT 2
SCALE: 1/4" = 1'-0" OCCURS AT: (3) TOTAL UNITS ON SITE



1 UNIT B2 - PARTIAL 4
SCALE: 1/4" = 1'-0" OCCURS AT: (1) TOTAL UNITS ON SITE

Embrey Builders, LLC
1020 N. E. Loop 410, Suite 700
San Antonio, TX 78209
Ph: (210) 824-6044 Fax: (210) 824-7656

RFI

To: Heath Parnell
Jordan & Skala Engineers, Inc.
14240 Midway Road, Suite 350
Dallas, TX 75244
Ph: 469/385-1616 Fax: 469/385-1615

RFI #: 161
Date: 6/25/2012
Job: EB-02 Keller Springs Lofts
Phone: 877-777-5115

CC: Erik Earnshaw (Beeler Guest Owens Architects)

Subject: Electrical Outlets Moved for Code

Drawing: Electrical Unit Plans
Cost Impact: None

Spec Section:
Schedule Impact: None

Request: We had an issue at another job where some receptacles needed to be moved in bathrooms due to code. Please check and see if this issue will need to be addressed at this job and revise plans if needed.

Date Required: 6/29/2012

Requested by: David Miller
Embrey Builders LLC

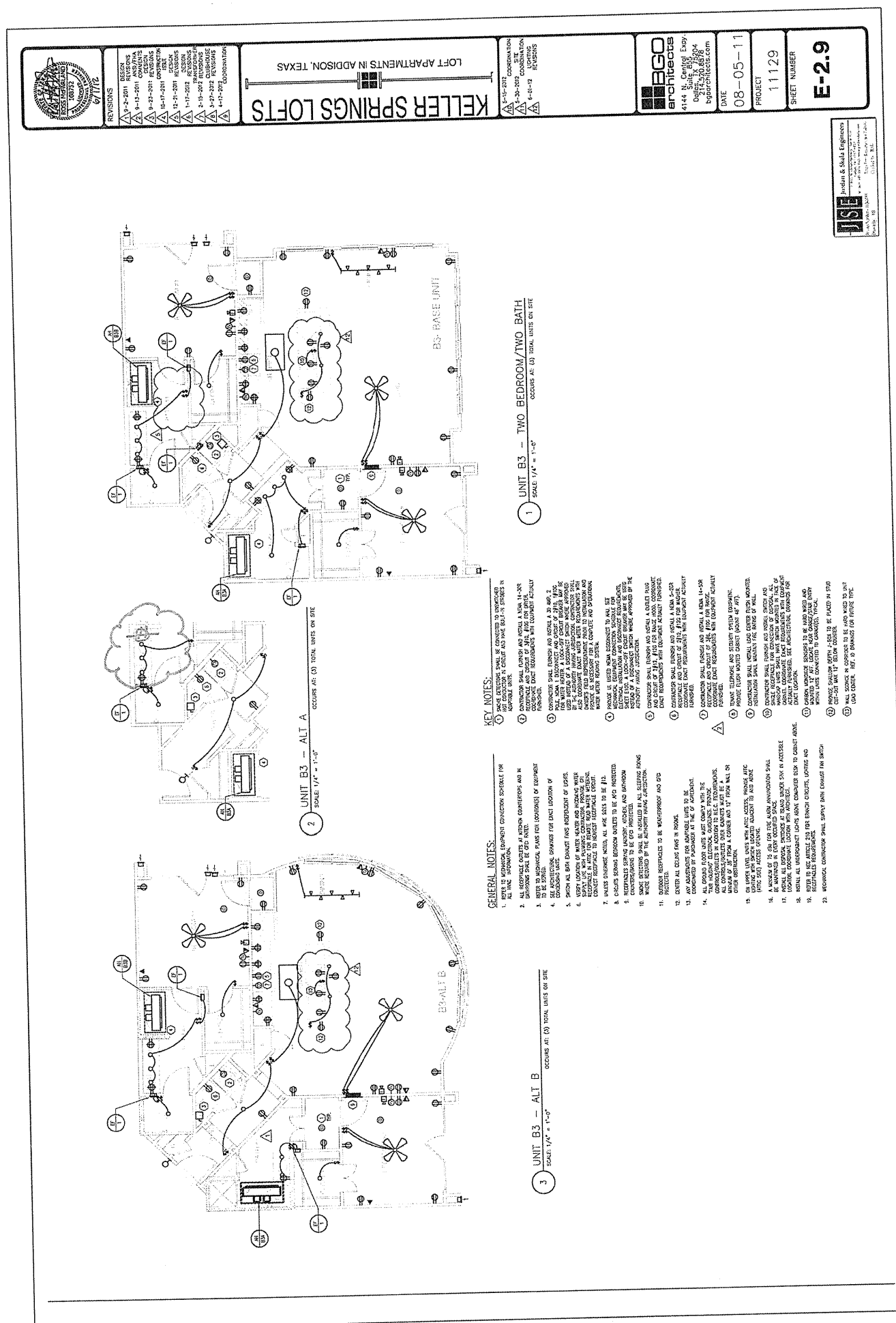
Response:

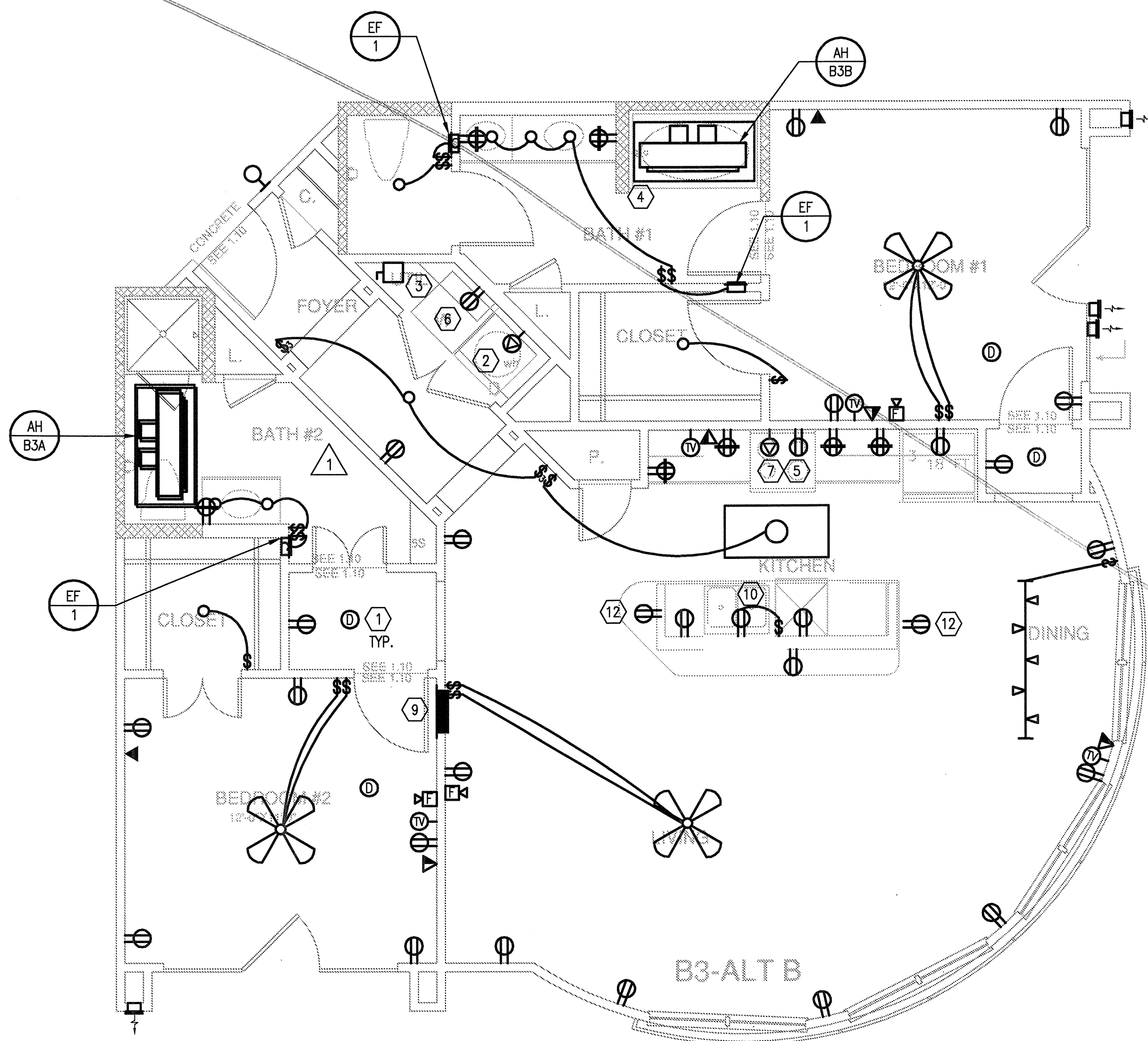
Reference the attached pdf's showing the correct outlet locations.

Heath Parnell

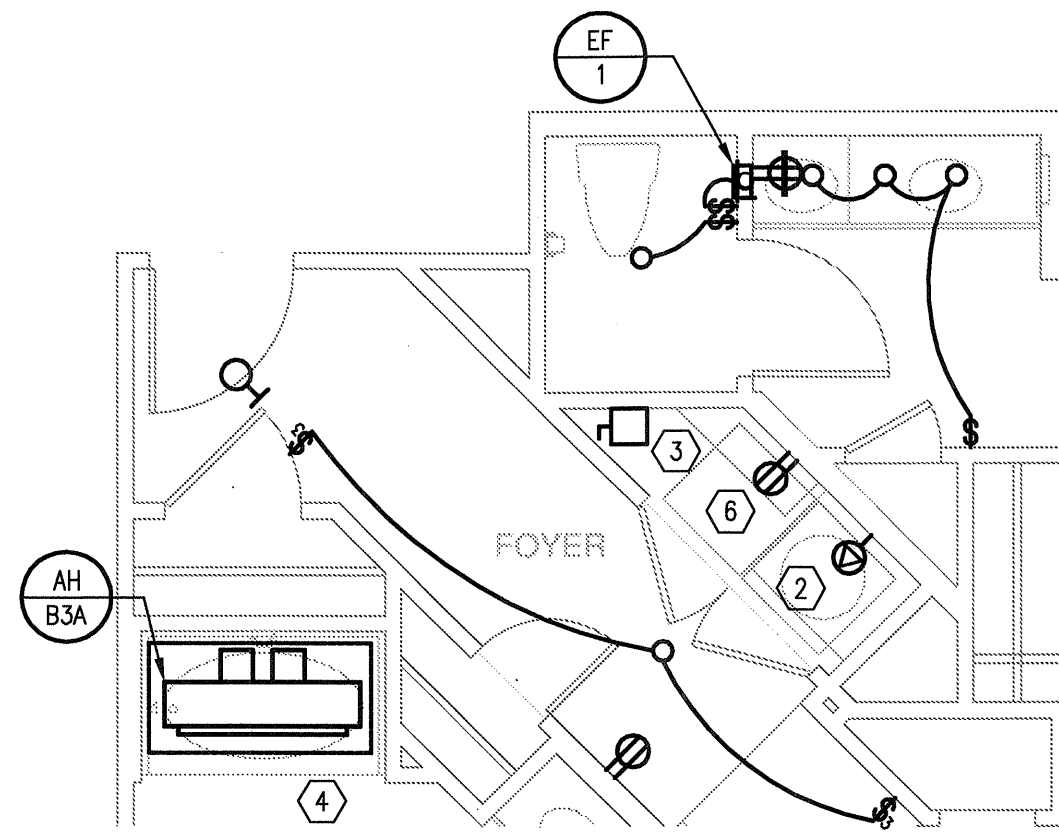
Answered by _____ Date 6/25/12

Company _____

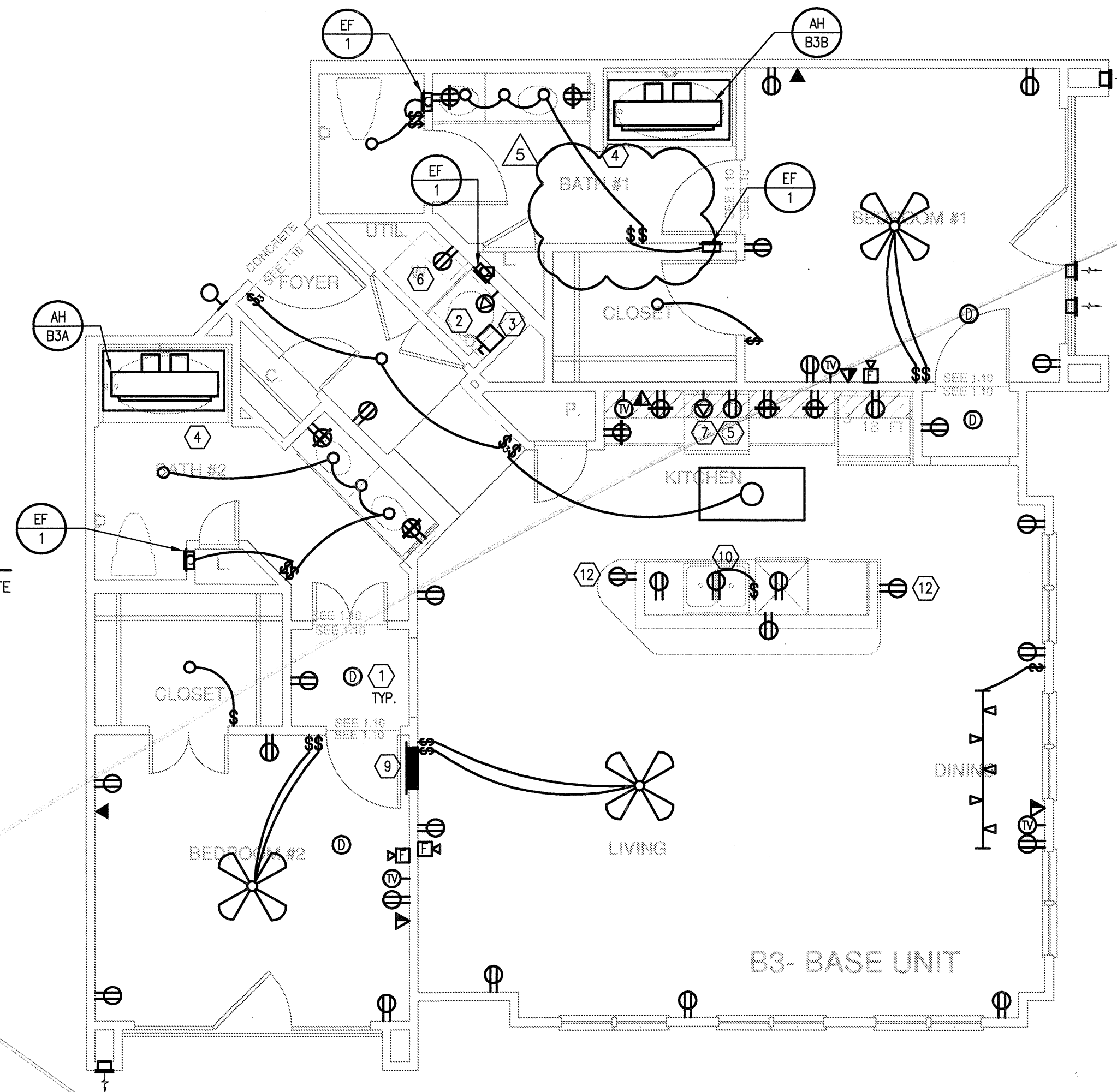




3 UNIT B3 - ALT B
SCALE: 1/4" = 1'-0" OCCURS AT: (3) TOTAL UNITS ON SITE



2 UNIT B3 - ALT A
SCALE: 1/4" = 1'-0" OCCURS AT: (3) TOTAL UNITS ON SITE



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KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS



4144 N. Central Expy.
Suite 855
Dallas, TX 75204
214.520.8878
bgoarchitects.com

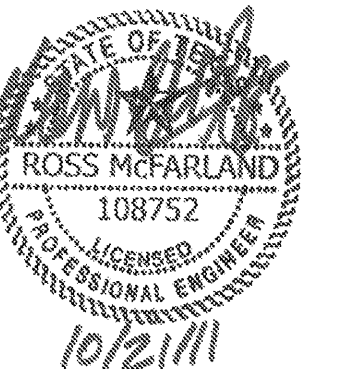
DATE
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PROJECT
11129

SHEET NUMBER

E-2.9

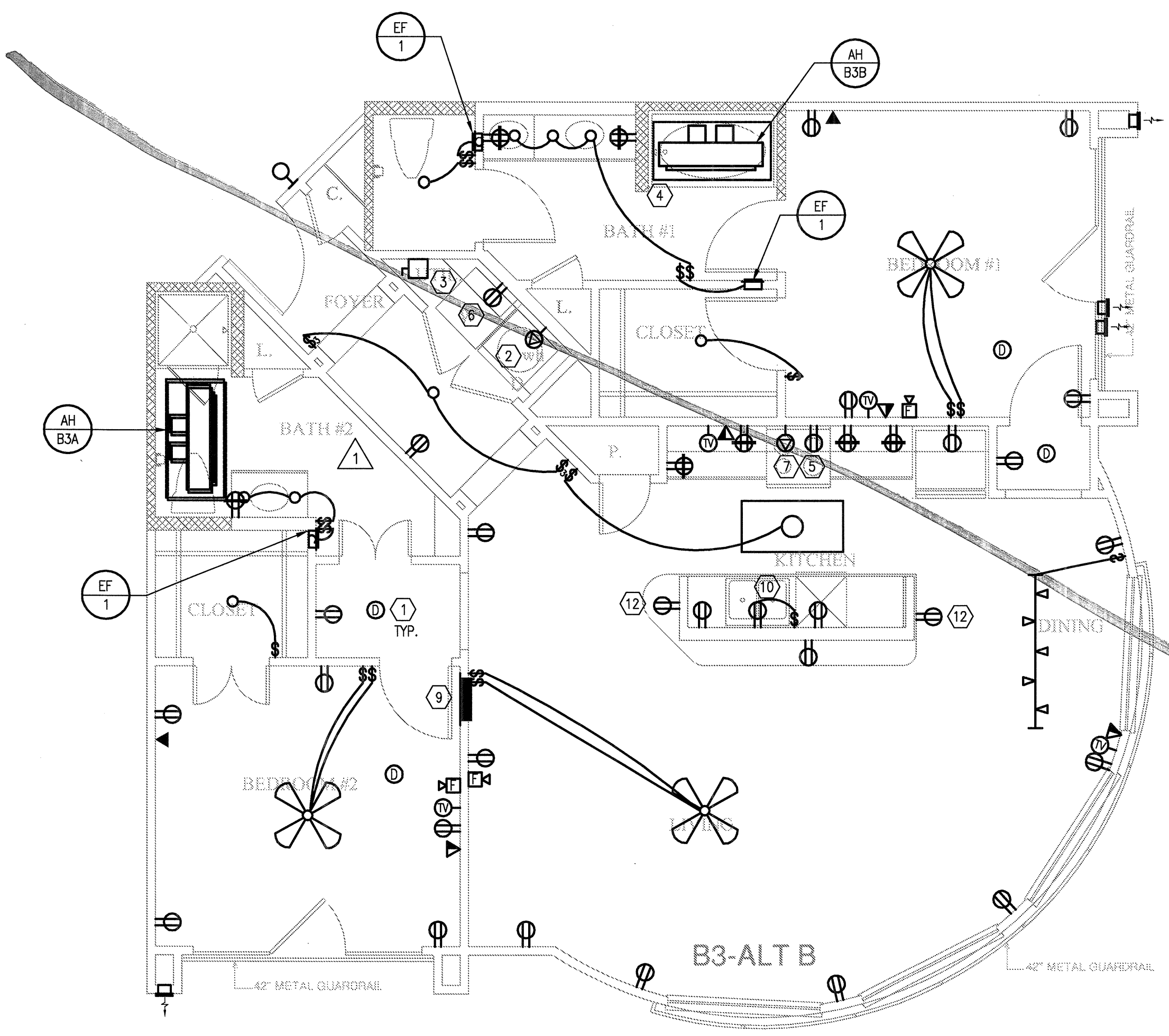
JSE Jordan & Skala Engineers
14240 Redway Road, Suite 1310
Dallas, TX 75244-5138
Tel: (469) 385-1000, Fax: (469) 385-1615
Project Number: 113-0355 Texas Firm Registration # F-4990
Drawn By: MJ Checked By: RAD



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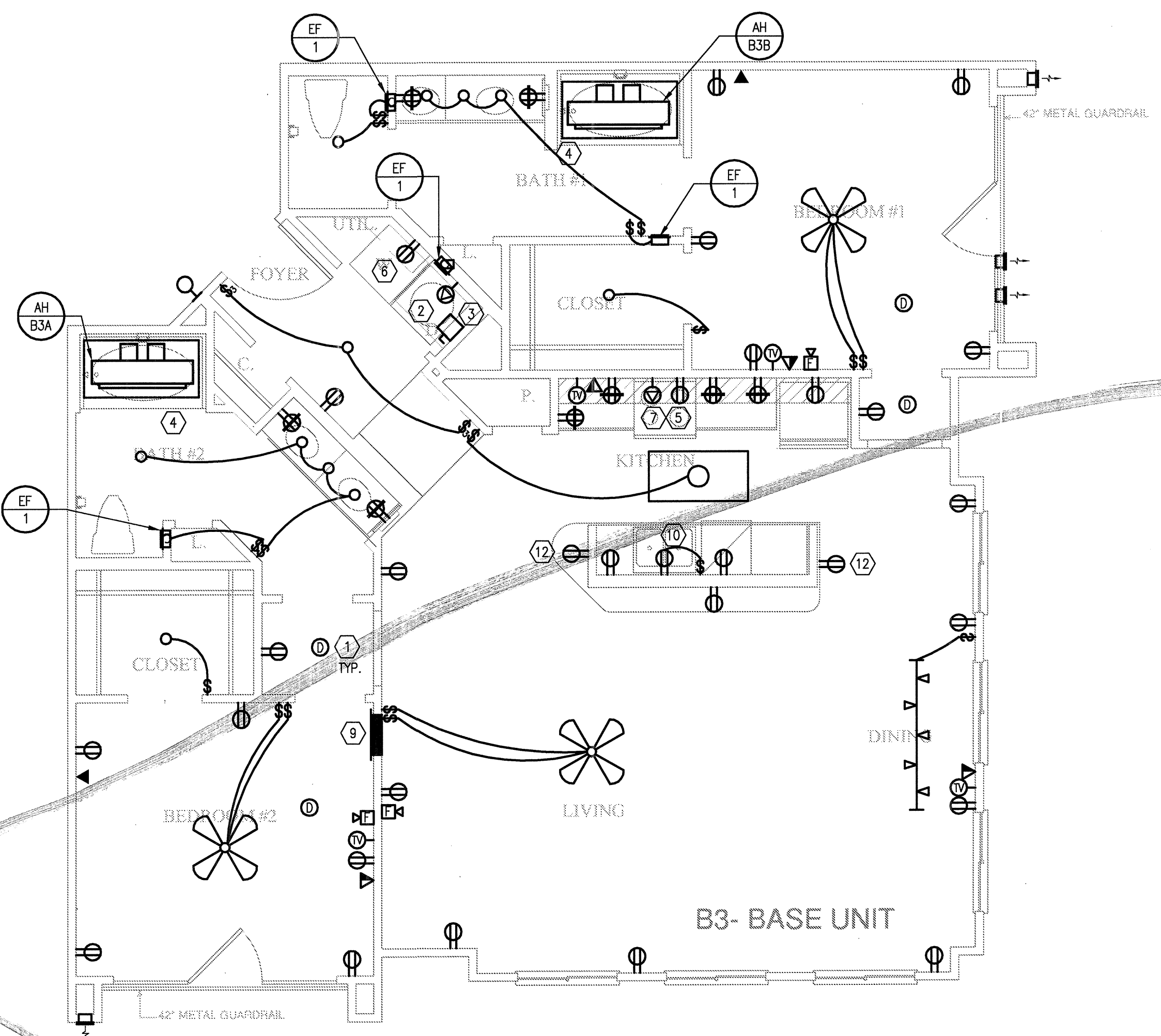
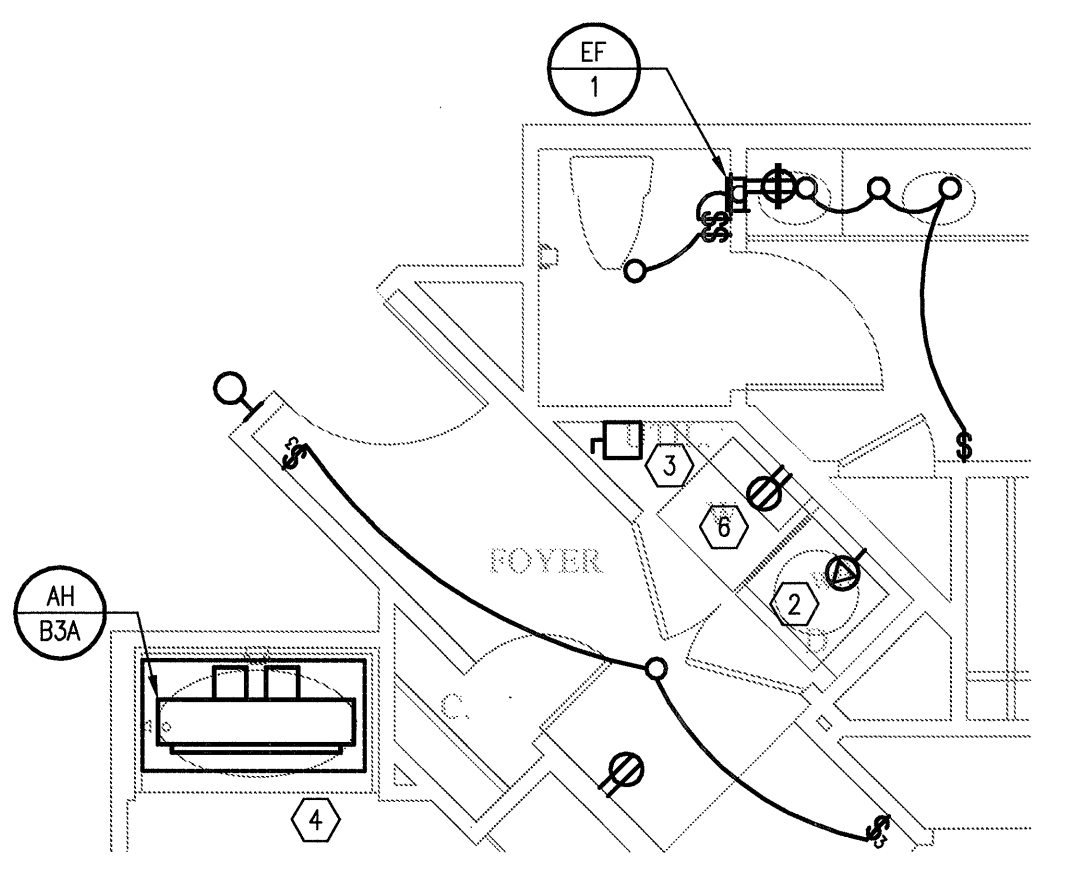
KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS



3 UNIT B3 - ALT B
SCALE: 1/4" = 1'-0" OCCURS AT: (3) TOTAL UNITS ON SITE

2 UNIT B3 - ALT A
SCALE: 1/4" = 1'-0" OCCURS AT: (3) TOTAL UNITS ON SITE



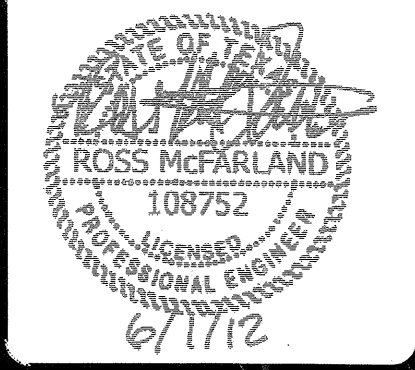
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KELLER SPRINGS LOFTS
 LOFT APARTMENTS IN ADDISON, TEXAS

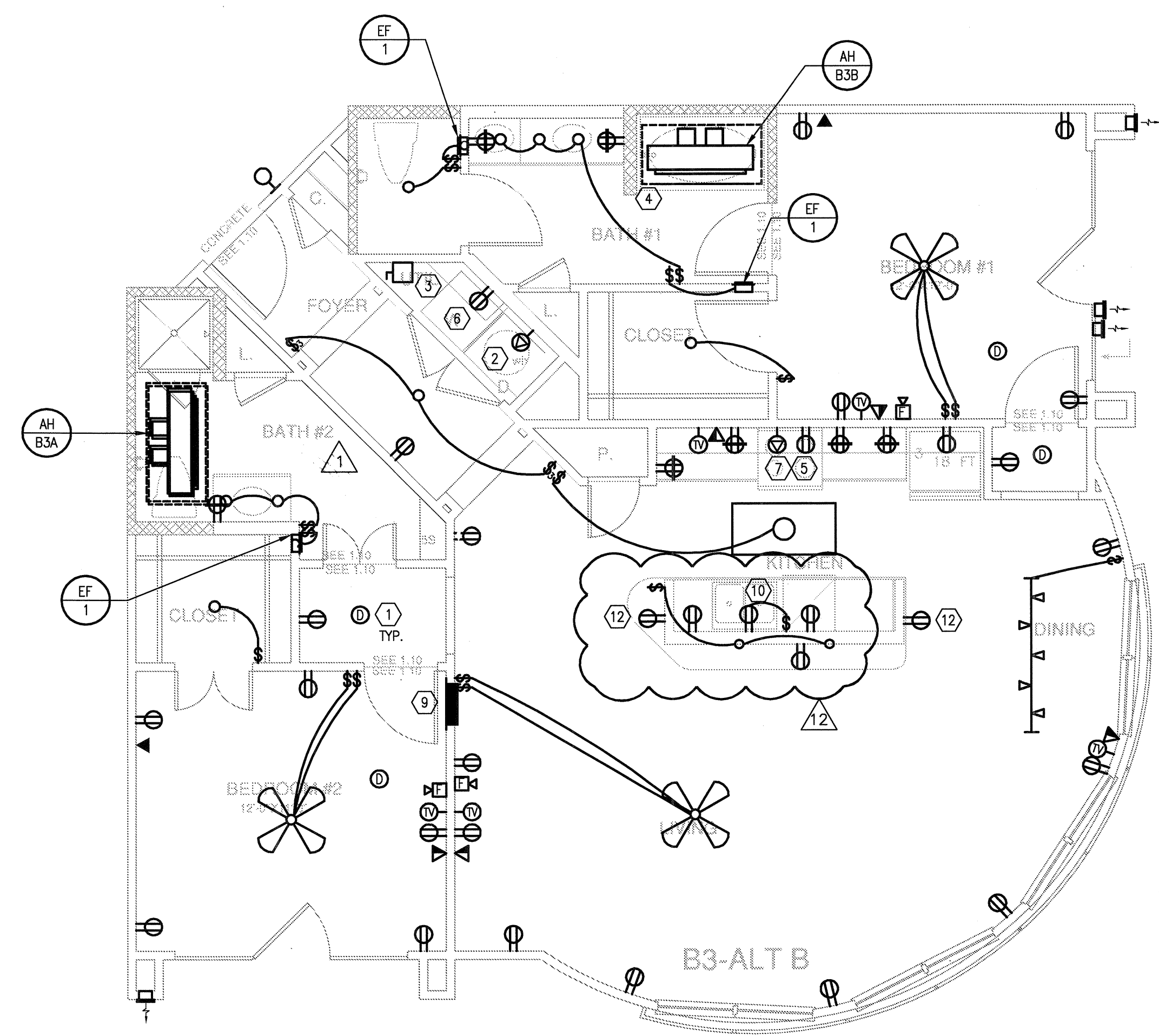
10	5-15-2012 COORDINATION
11	5-30-2012 SITE COORDINATION
12	6-01-12 LIGHTING REVISIONS

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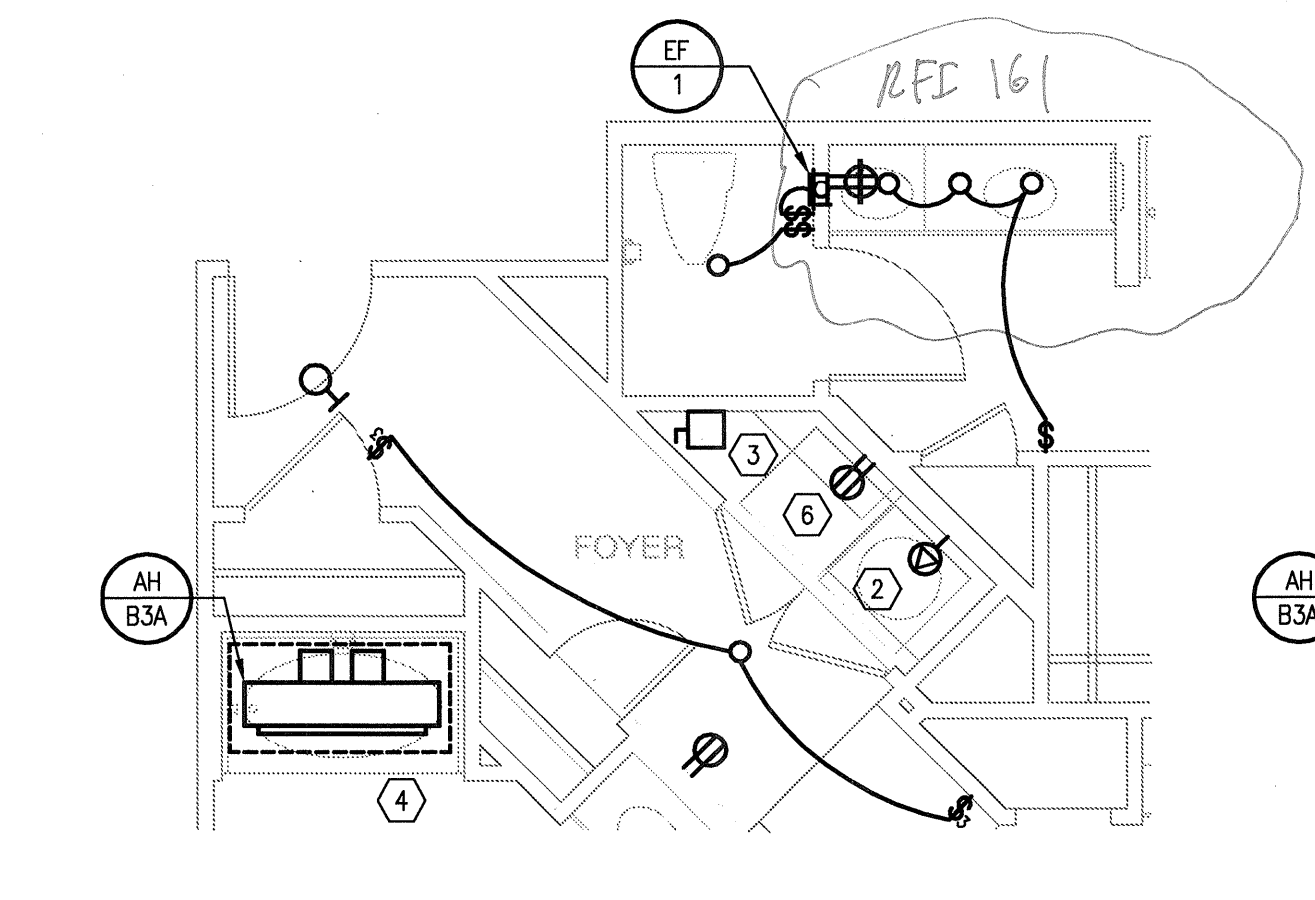
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PROJECT
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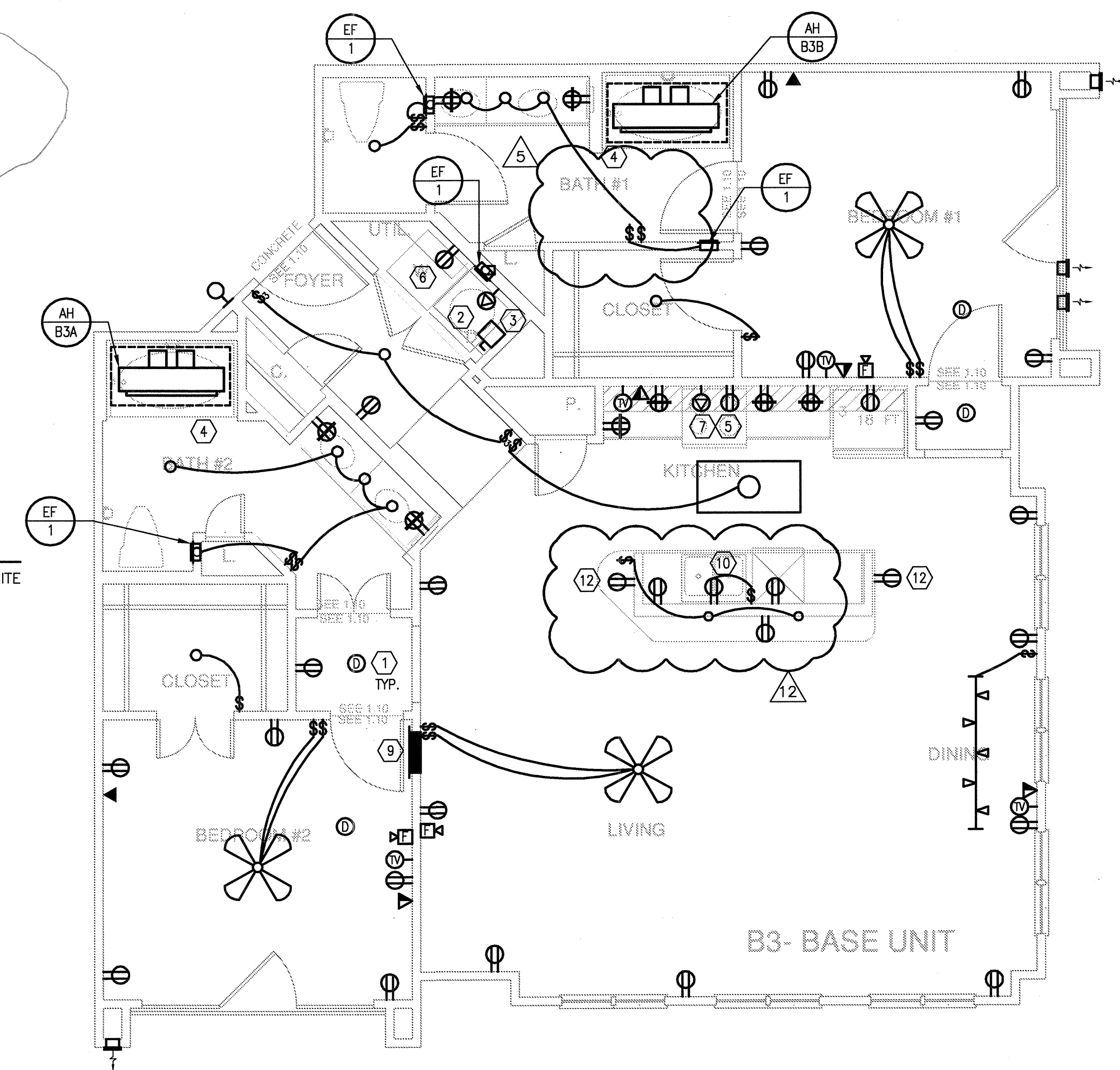
SHEET NUMBER
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3 UNIT B3 - ALT B
 SCALE: 1/4" = 1'-0" OCCURS AT: (3) TOTAL UNITS ON SITE



2 UNIT B3 - ALT A
 SCALE: 1/4" = 1'-0" OCCURS AT: (3) TOTAL UNITS ON SITE



1 UNIT B3 - TWO BEDROOM/TWO BATH
 SCALE: 1/4" = 1'-0" OCCURS AT: (3) TOTAL UNITS ON SITE

GENERAL NOTES:

- REFER TO MECHANICAL EQUIPMENT CONNECTION SCHEDULE FOR ALL HVAC INFORMATION.
- ALL RECEPTACLE OUTLETS AT KITCHEN COUNTERTOPS AND IN BATHROOMS SHALL BE GFCI RATED.
- REFER TO MECHANICAL PLANS FOR LOCATION(S) OF EQUIPMENT TO BE SERVED.
- SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF CONDENSING UNITS.
- SWITCH ALL BATH EXHAUST FANS INDEPENDENT OF LIGHTS.
- VERIFY LOCATION OF WATER HEATER AND INCOMING WATER SUPPLY LINE WITH PLUMBING CONTRACTOR. PROVIDE GFI RECEPTACLE IN ATTIC FOR REMOTE READ WATER METERING. CONNECT RECEPTACLE TO NEAREST RECEPTACLE CIRCUIT.
- UNLESS OTHERWISE NOTED, ALL WIRE SIZES TO BE #12.
- CIRCUITS SERVING BEDROOM OUTLETS TO BE AFCI PROTECTED.
- RECEPTACLES SERVING LAUNDRY, KITCHEN, AND BATHROOM COUNTERS/BASINS TO BE GFCI PROTECTED.
- SMOKE DETECTORS SHALL BE INSTALLED IN ALL SLEEPING ROOMS WHERE REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
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- CENTER ALL CEILING FANS IN ROOMS.
- ANY ADJUSTMENTS FOR ADAPTABLE UNITS TO BE COORDINATED BY PURCHASER AT TIME OF AGREEMENT.
- ALL GROUND FLOOR UNITS MUST COMPLY WITH THE "FAIR HOUSING" ELECTRICAL GUIDELINES. PROVIDE CONTROLS/OUTLETS IN ADDITION TO N.E.C. REQUIREMENTS. ALL CONTROLS/OUTLETS OVER CABINETS MUST BE A MINIMUM OF 36" FROM A CORNER AND 12" FROM WALL OR OTHER OBSTRUCTION.
- ON UPPER LEVEL UNITS WITH ATTIC ACCESS, PROVIDE ATTIC LIGHTING WITH SWITCH LOCATED ADJACENT TO AND ABOVE (ATTIC SIDE) ACCESS OPENING.
- A MINIMUM OF 75 dba FOR FIRE ALARM ANNUNCIATION SHALL BE MAINTAINED IN EVERY OCCUPIED SPACE.
- INSTALL ALL DISPOSAL SWITCHES AT ISLAND UNDER SINK IN ACCESSIBLE LOCATION. COORDINATE LOCATION WITH ARCHITECT.
- INSTALL ALL UNDERCABINET LIGHTS ABOVE COMPUTER DESK TO CABINET ABOVE.
- REFER TO NEC ARTICLE 210 FOR BRANCH CIRCUITS, LIGHTING AND RECEPTACLES REQUIREMENTS.
- MECHANICAL CONTRACTOR SHALL SUPPLY BATH EXHAUST FAN SWITCH

KEY NOTES:

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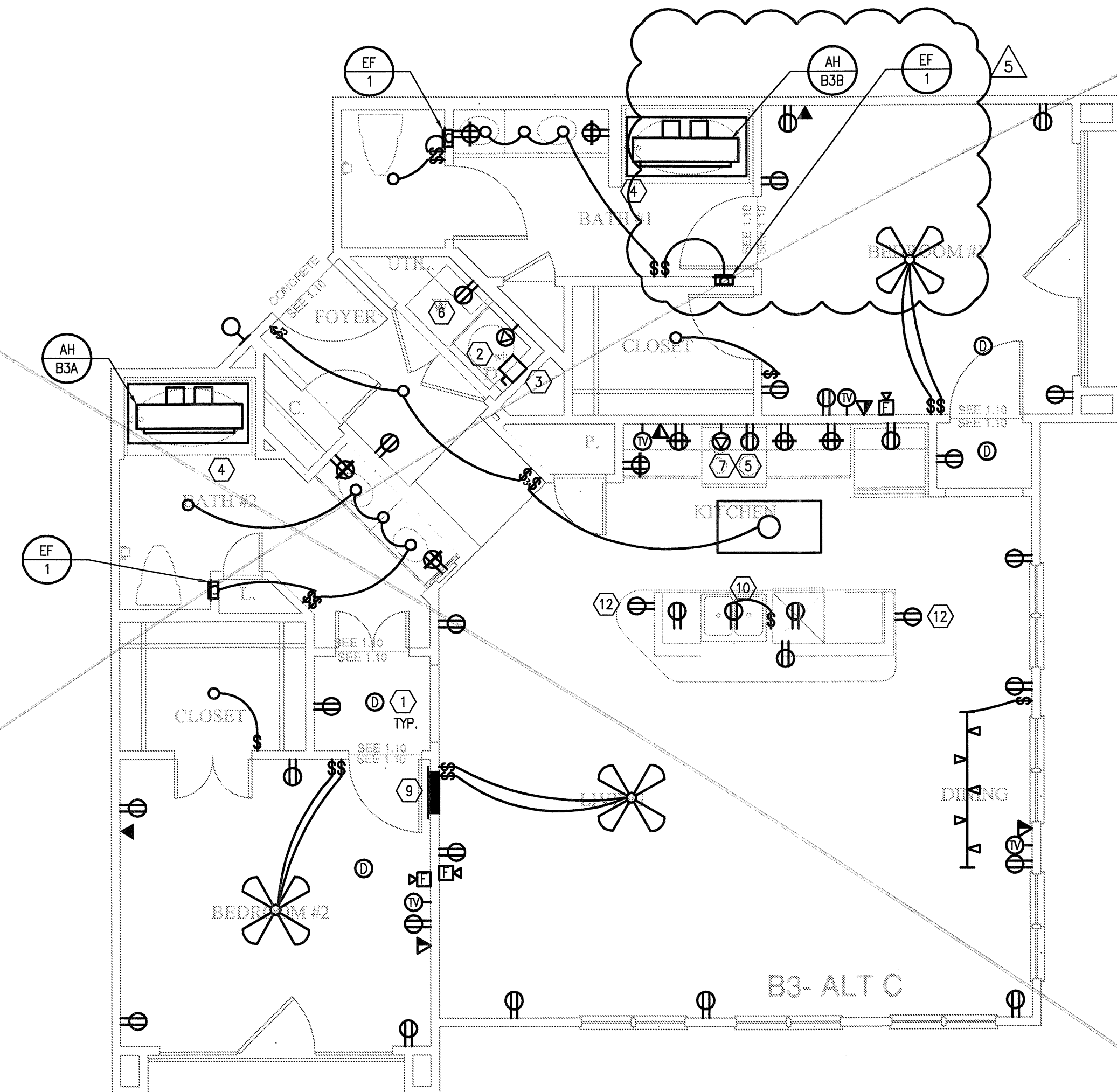
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 Project Number - 113-0355 Texas Firm Registration # F-4990
 Drawn By: MJ Checked By: RAD

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LOFT APARTMENTS IN ADDISON, TEXAS

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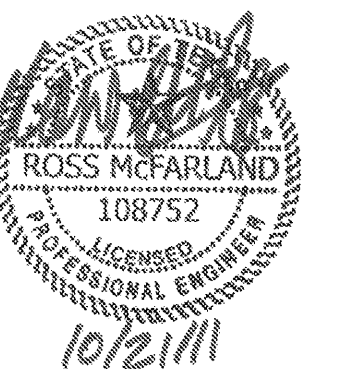
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Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: MJ Checked By: RAD



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KELLER SPRINGS LOFTS

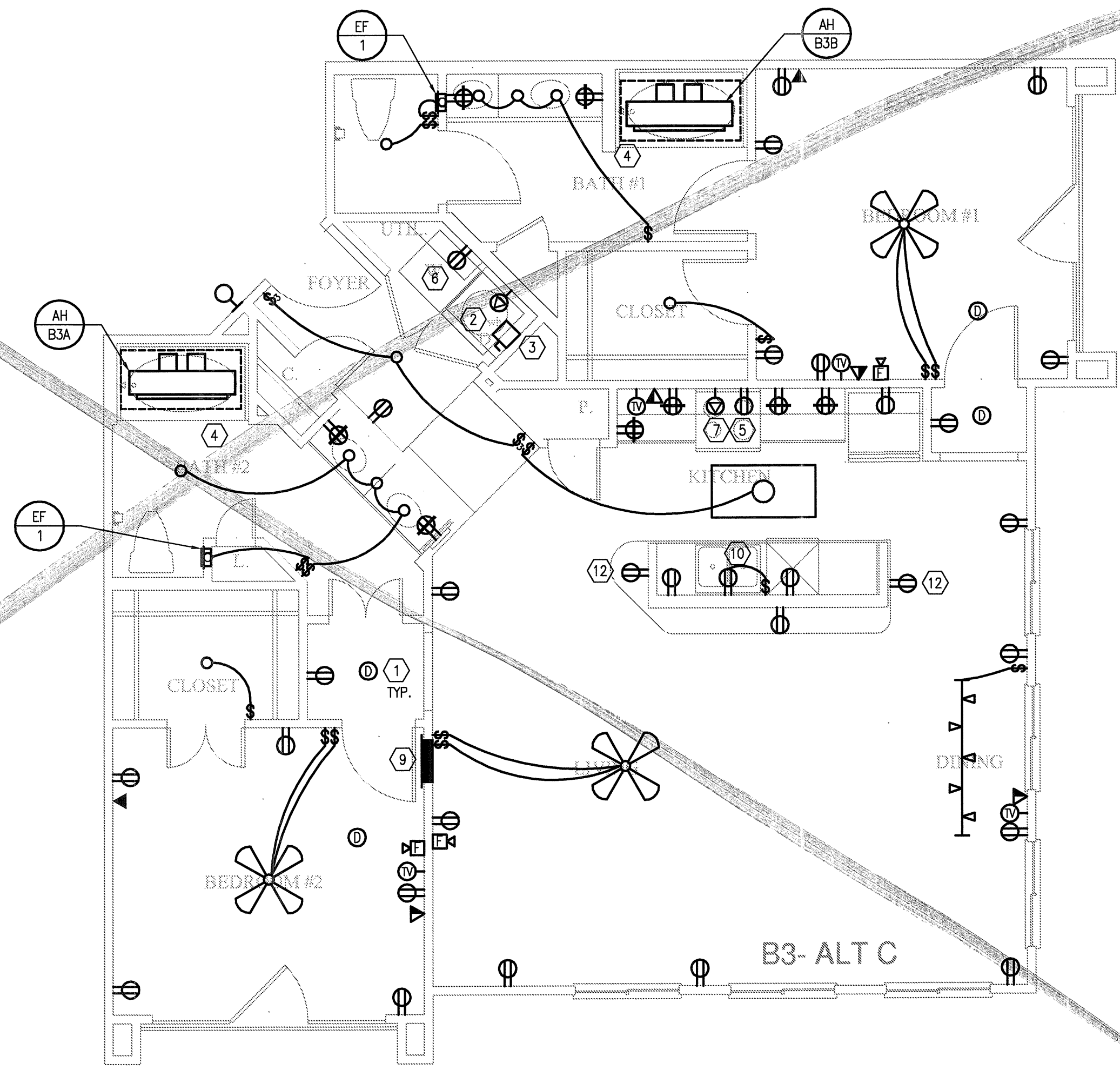
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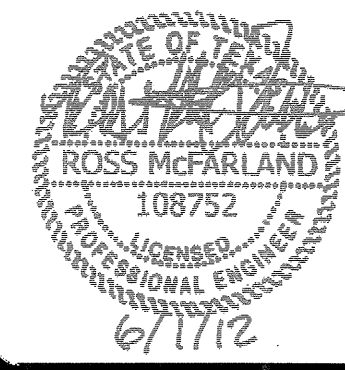
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KELLER SPRINGS LOFTS

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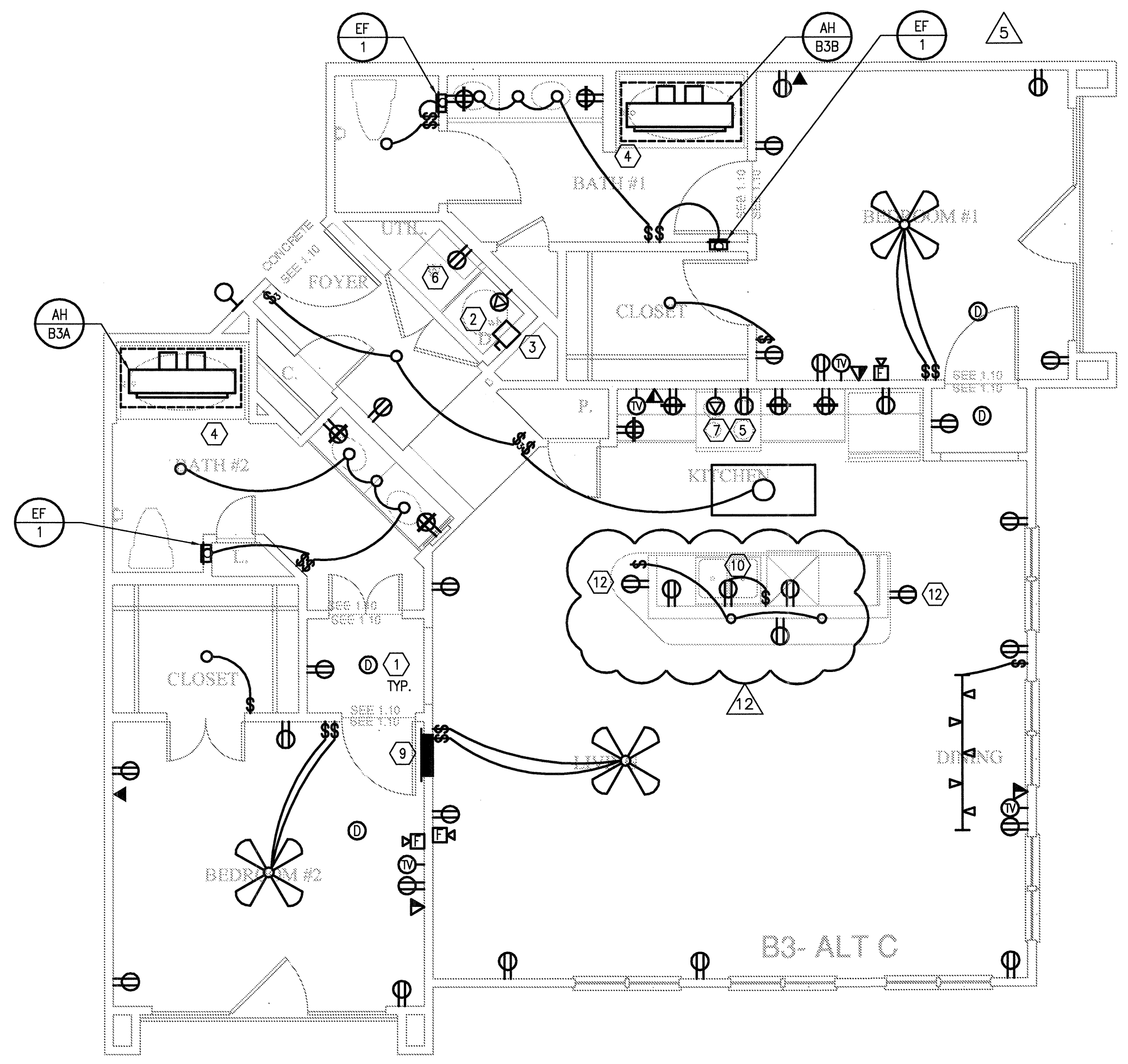
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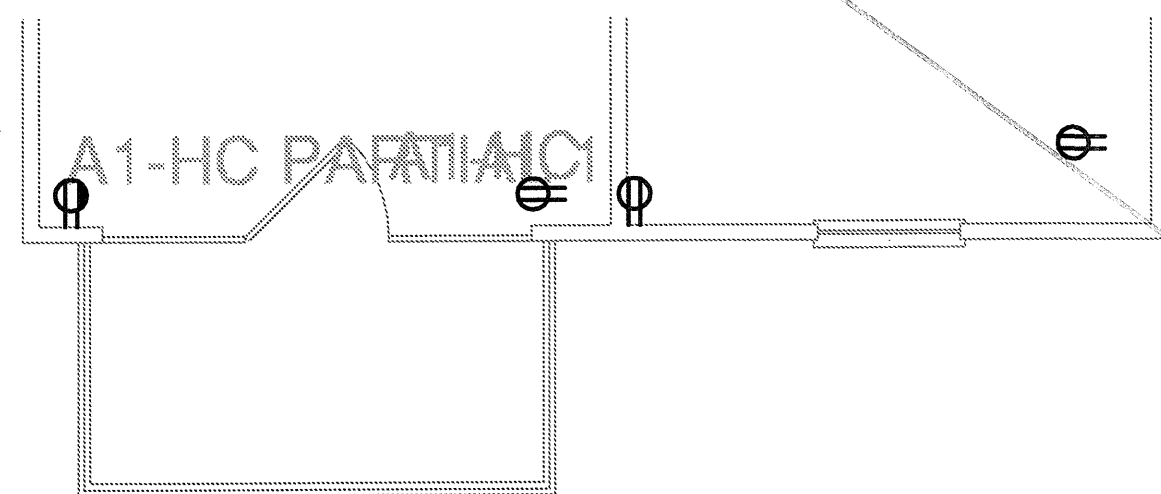
1 UNIT B3-1 -- TWO BEDROOM/TWO BATH
SCALE: 1/4" = 1'-0" OCCURS AT: (1) TOTAL UNITS ON SITE

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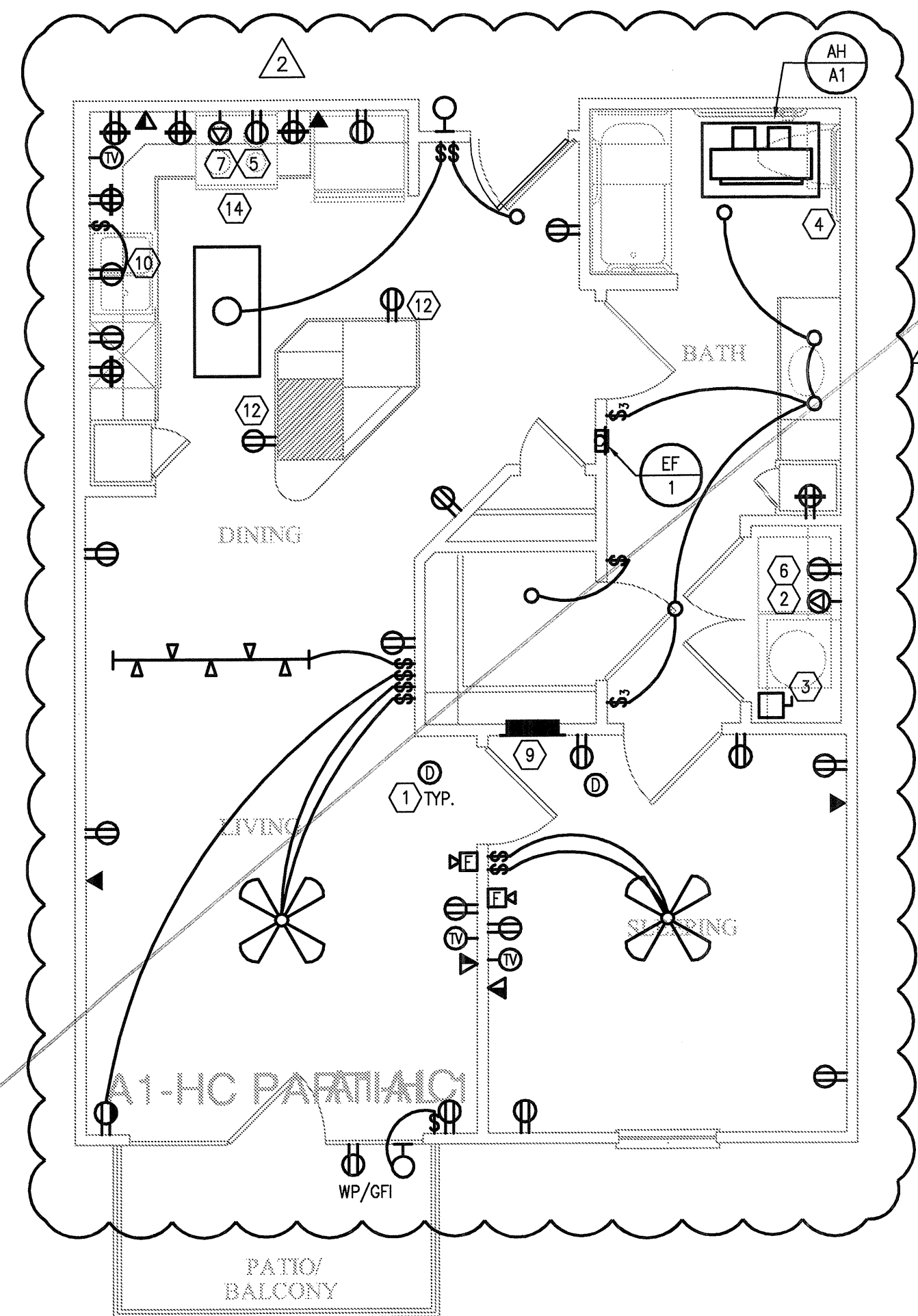
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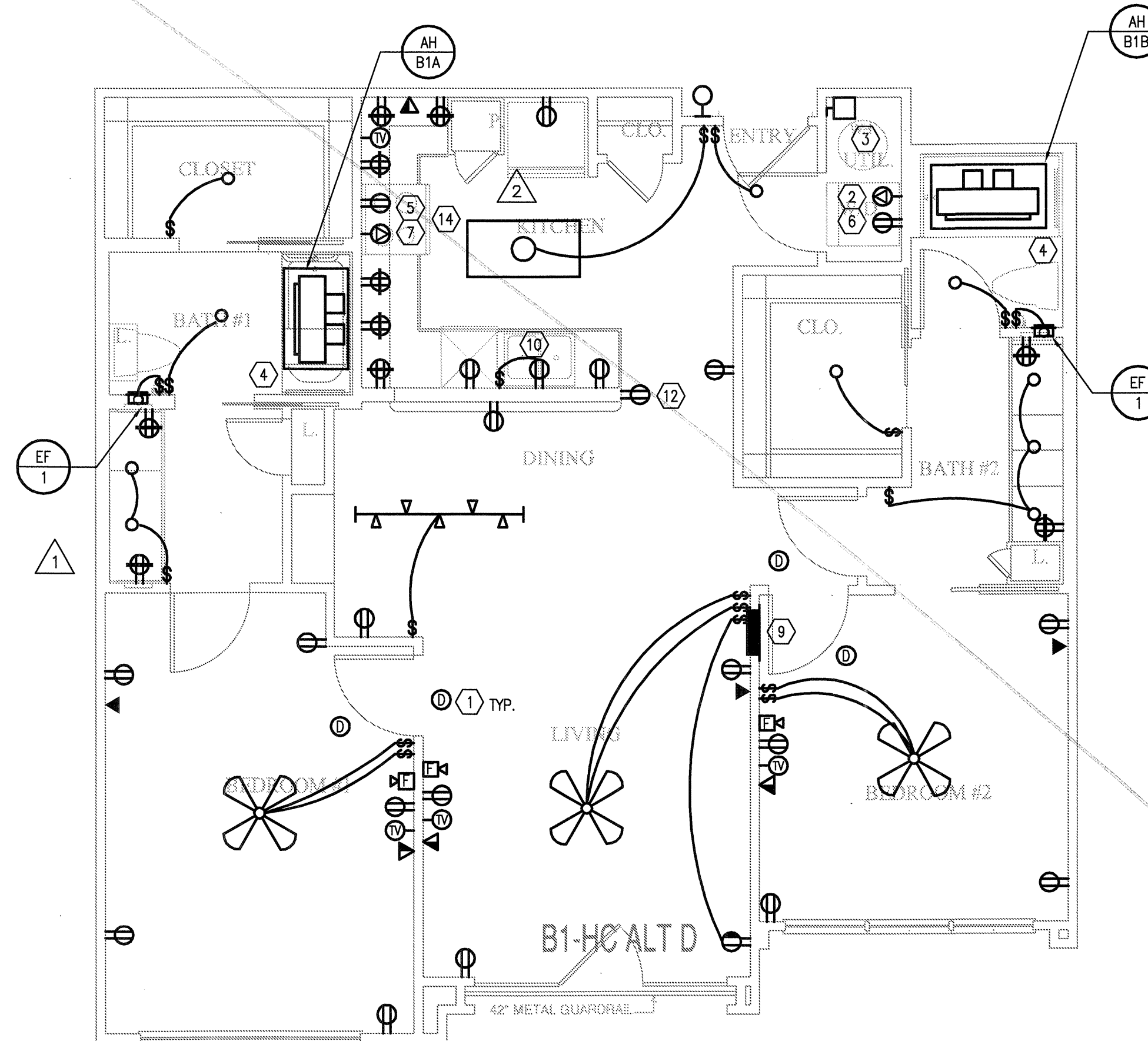
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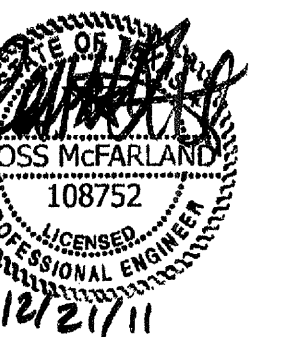
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KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS



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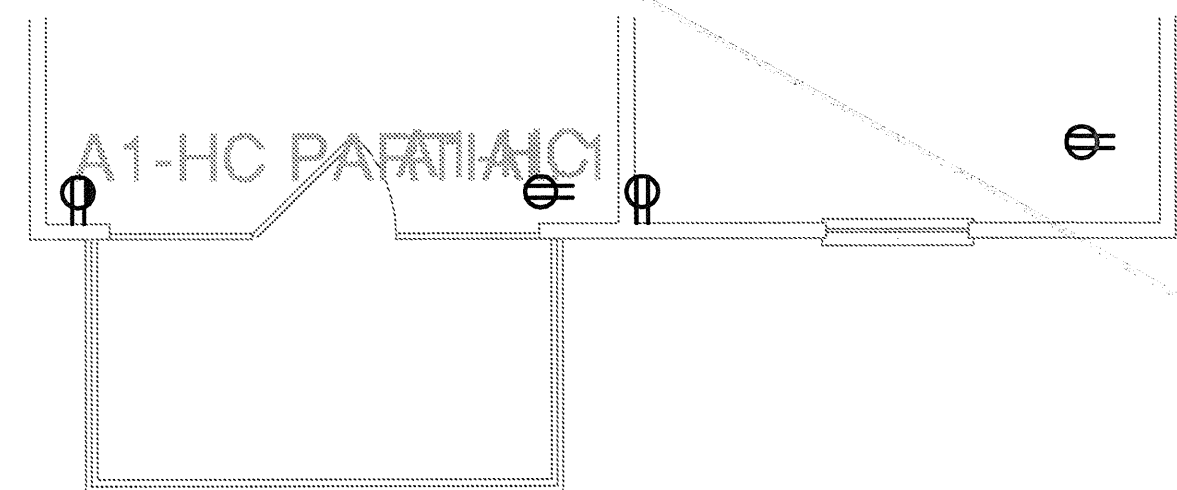
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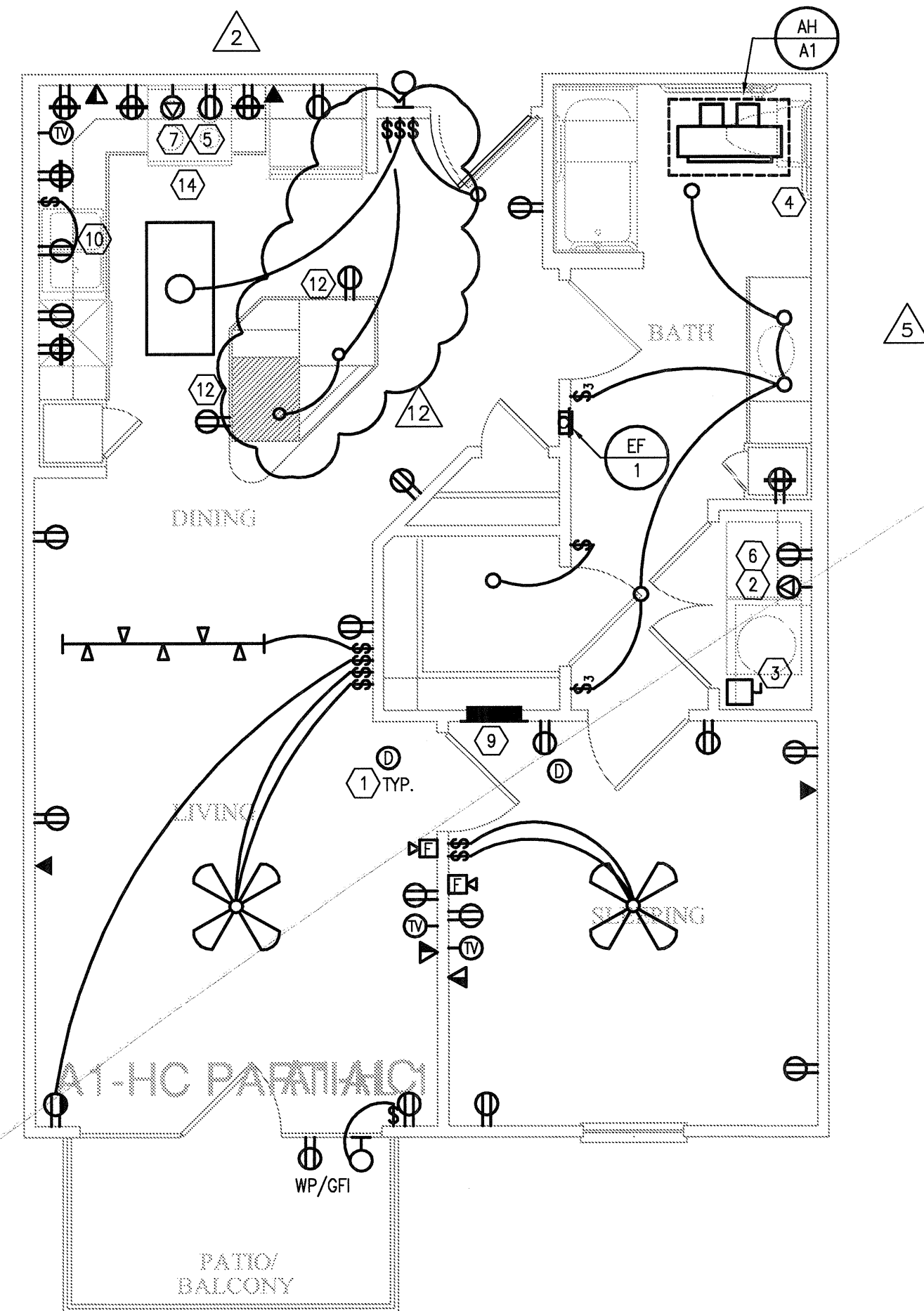
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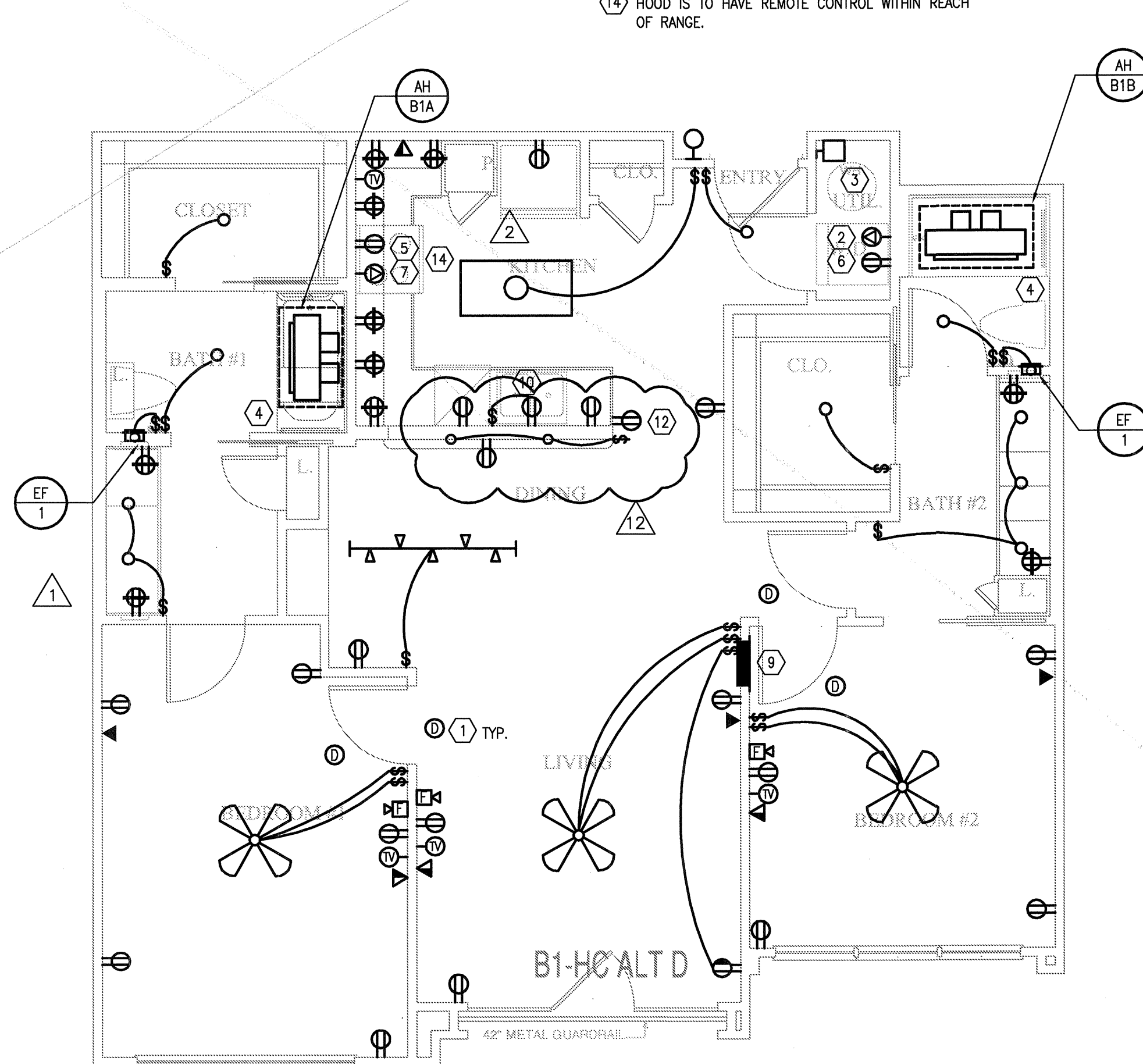
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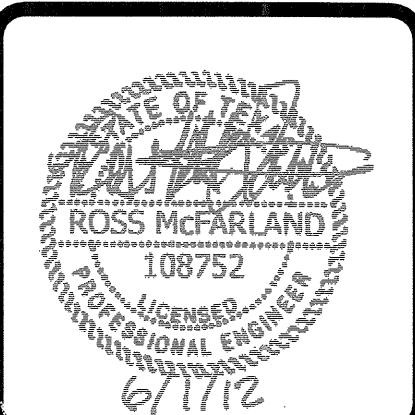
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KELLER SPRINGS LOFTS
LOFT APARTMENTS IN ADDISON, TEXAS

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11	5-30-2012 SITE COORDINATION
12	6-01-12 LIGHTING REVISIONS

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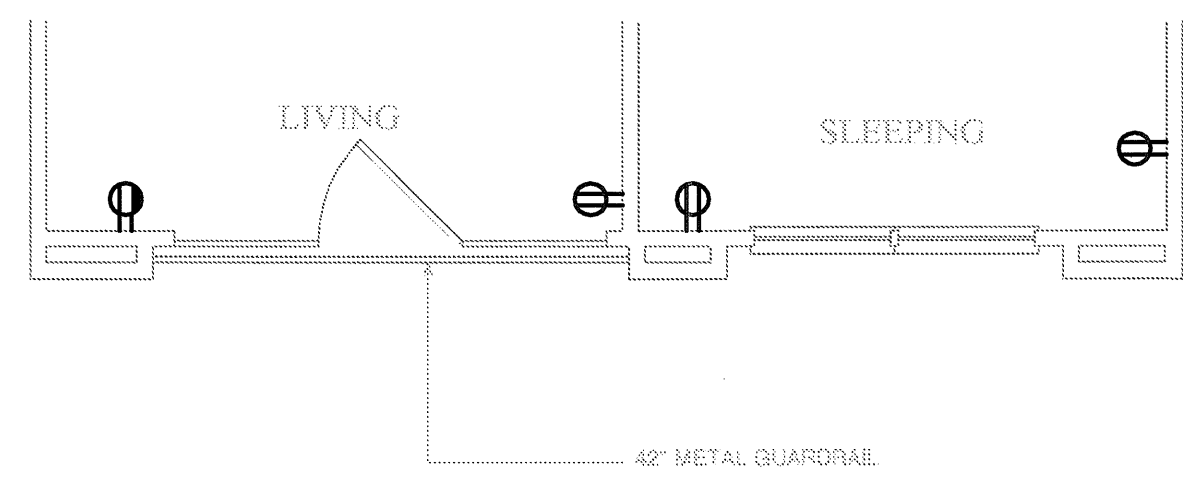
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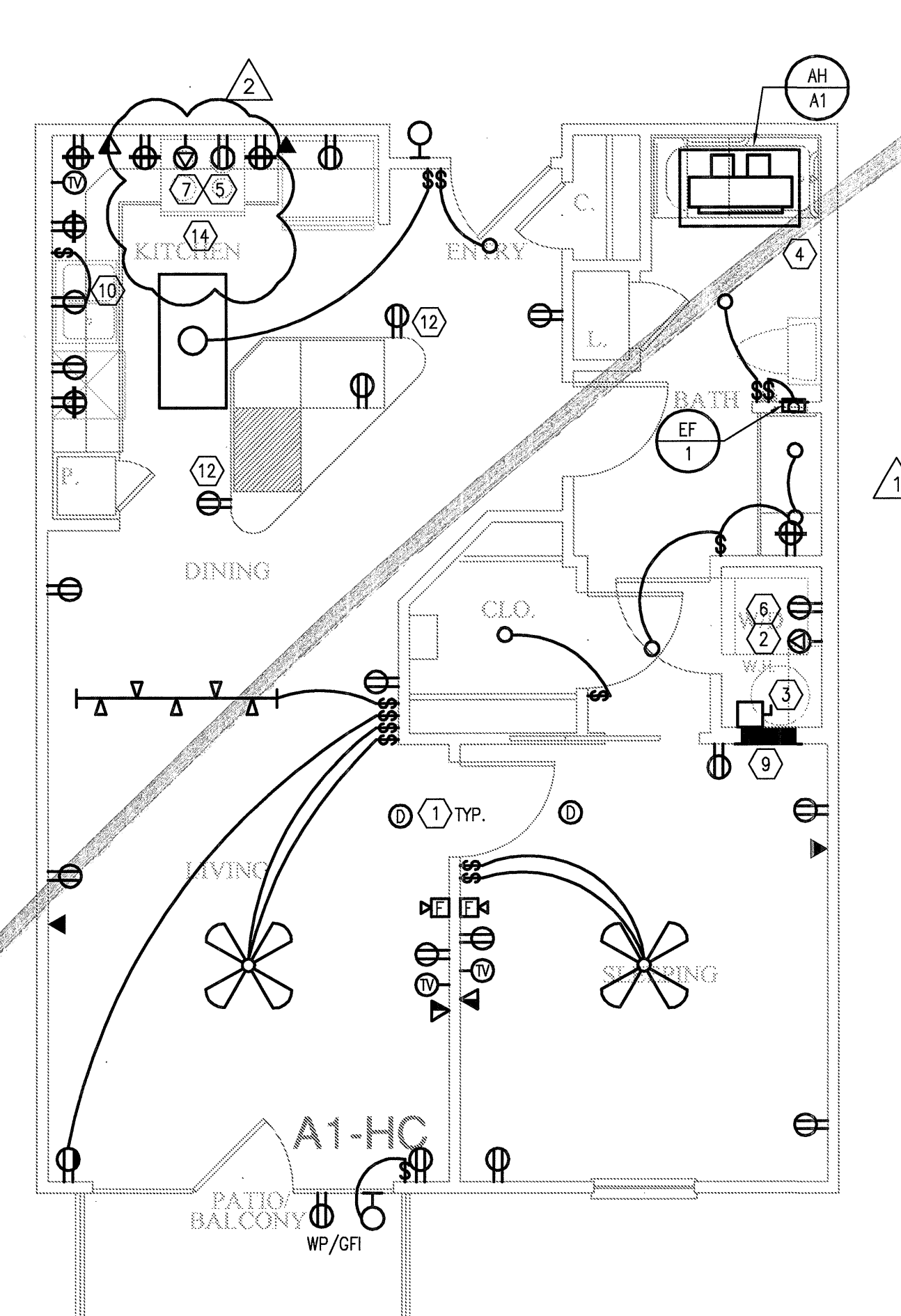
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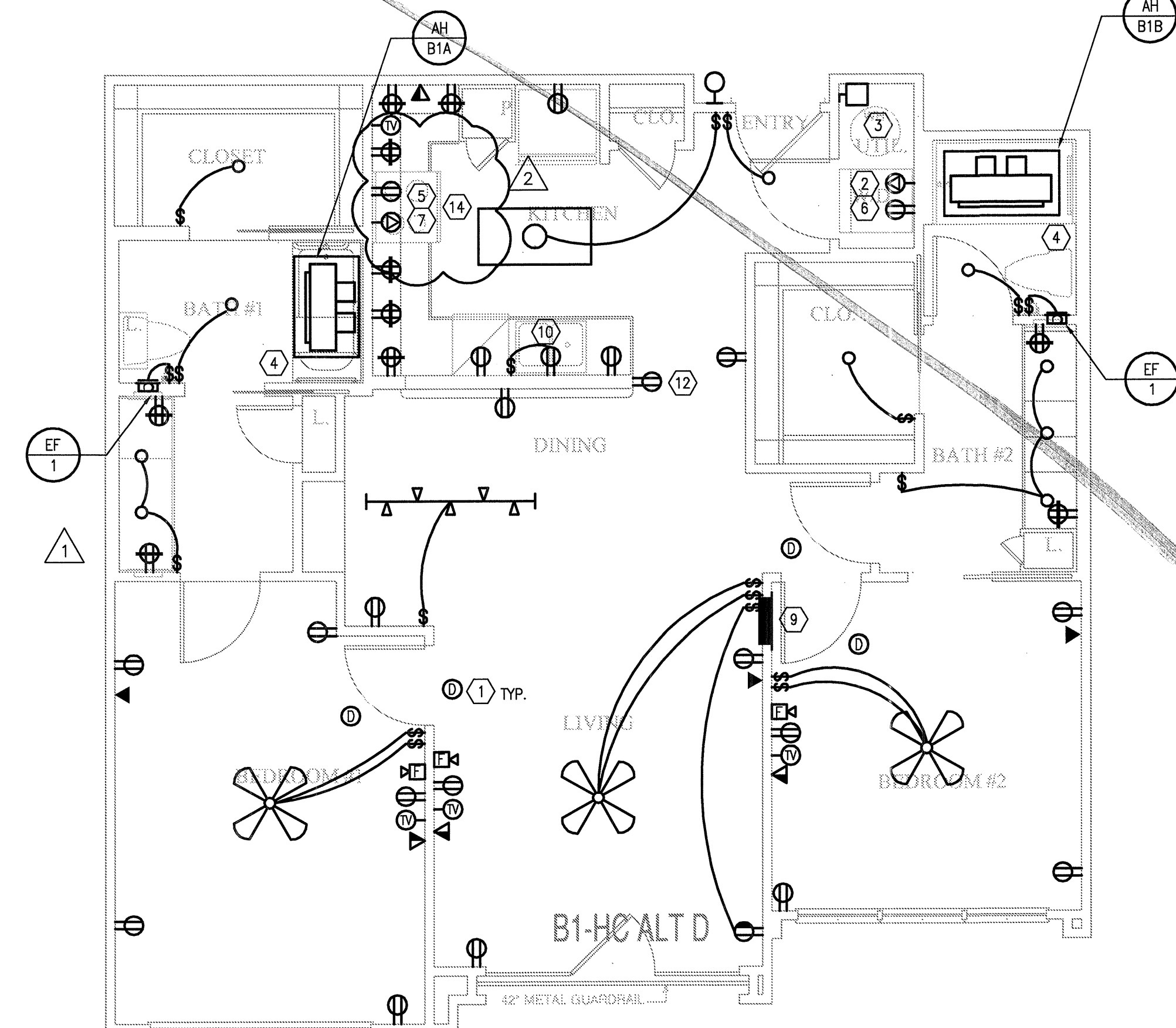
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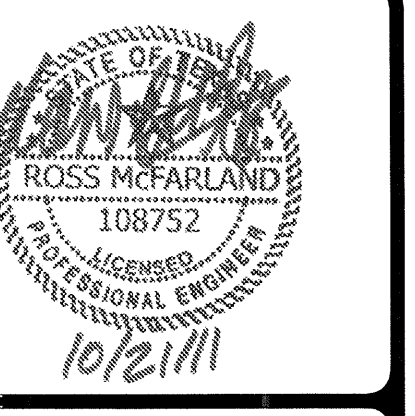
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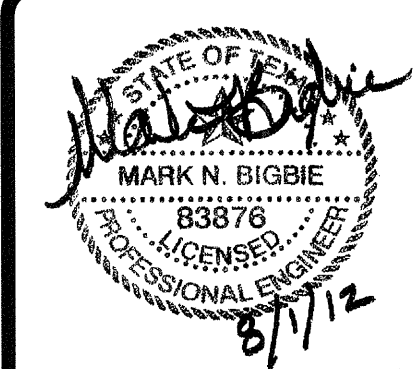
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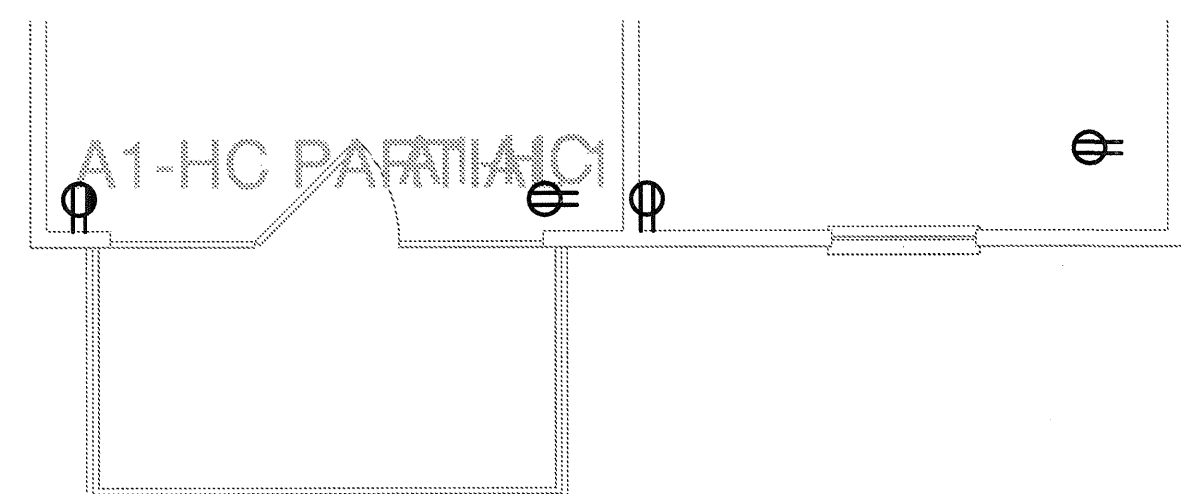
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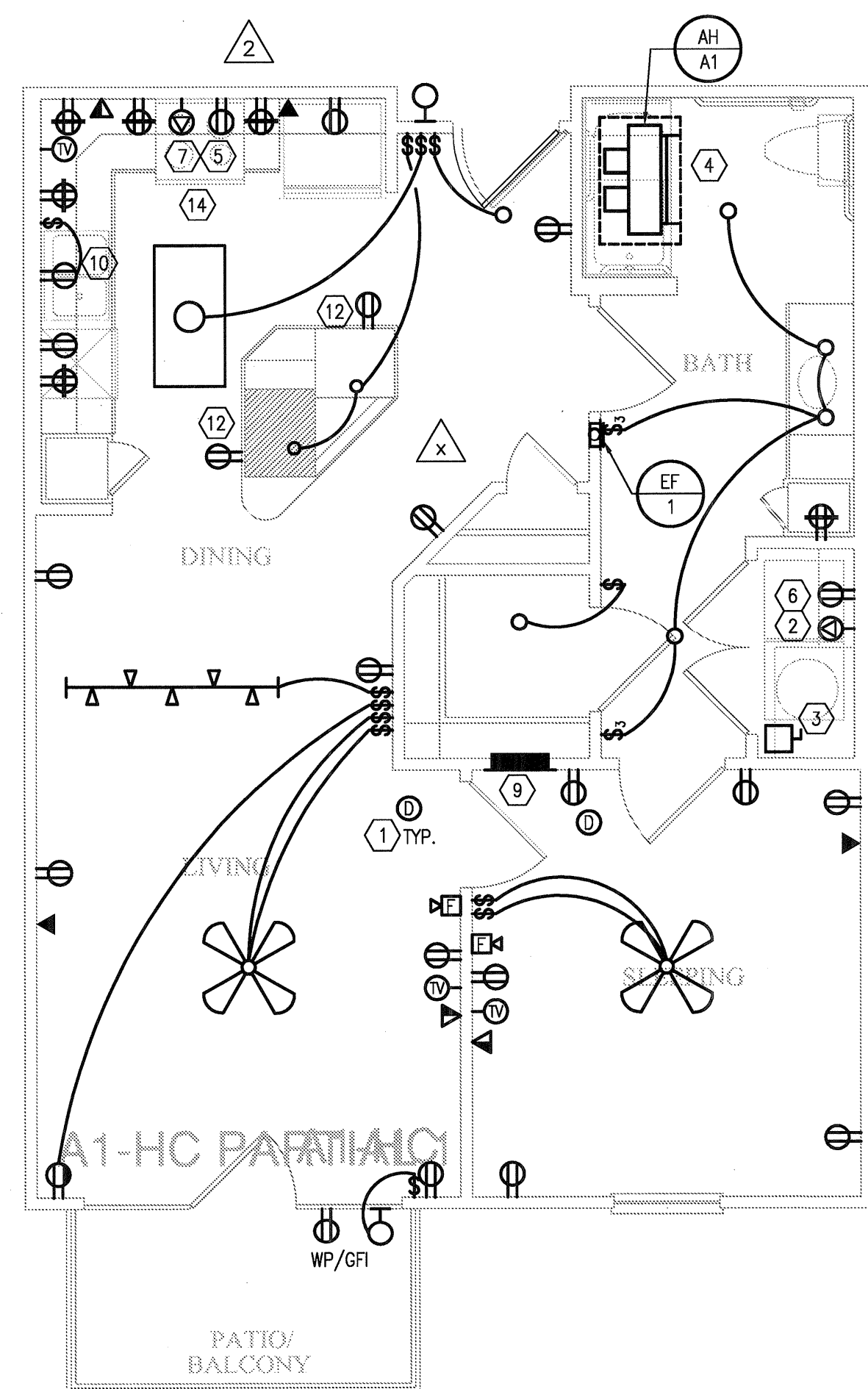
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- MECHANICAL CONTRACTOR SHALL SUPPLY BATH EXHAUST FAN SWITCH

KEY NOTES:

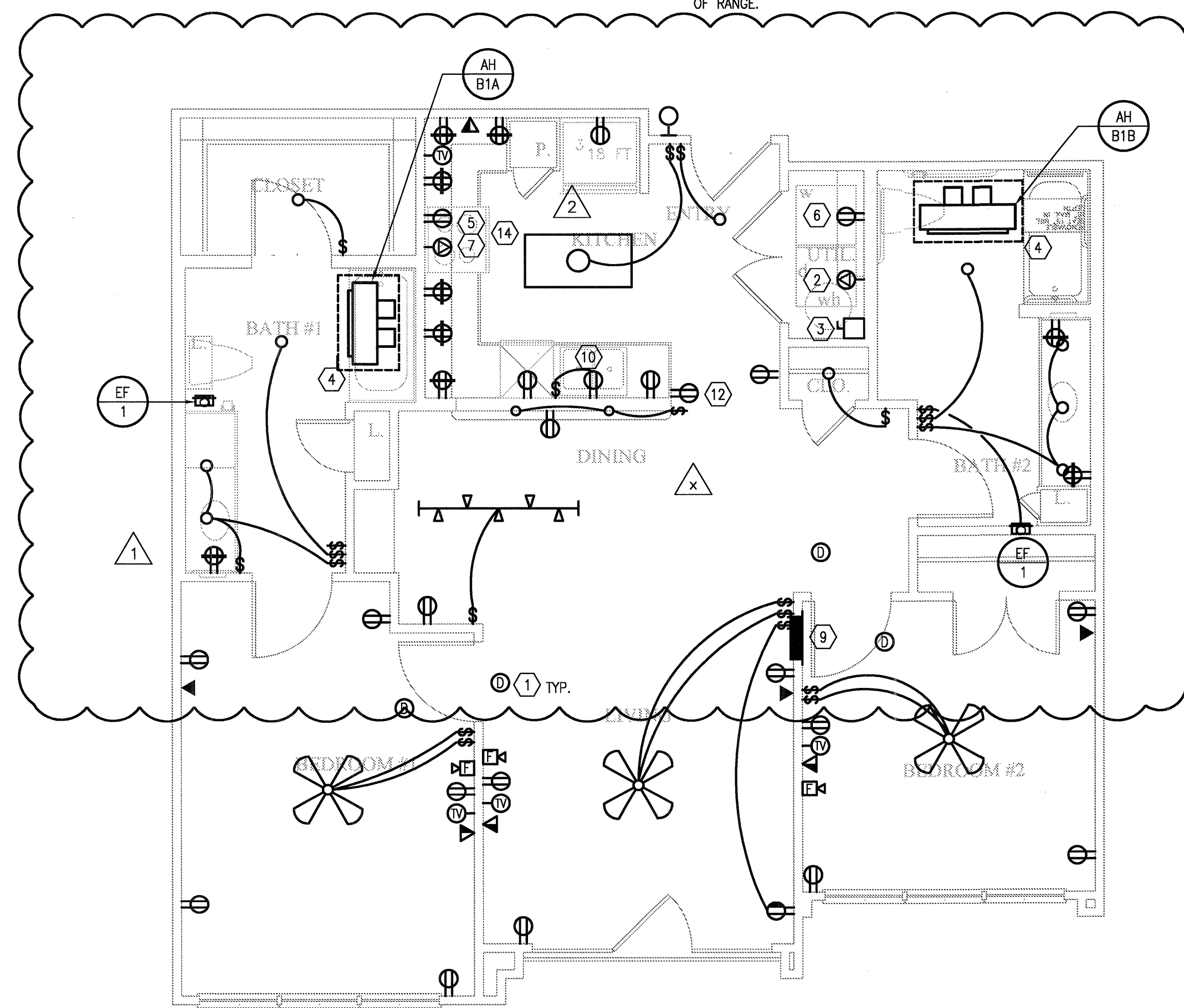
- SMOKE DETECTORS SHALL BE CONNECTED TO UNSWITCHED HOT CONDUCTOR IN CIRCUIT AND HAVE BUILT-IN STROBES IN ADAPTABLE UNITS.
- CONTRACTOR SHALL FURNISH AND INSTALL A NEMA 14-30R RECEPTACLE AND CIRCUIT OF 3#10, #10G FOR DRYER. COORDINATE EXACT REQUIREMENTS WITH EQUIPMENT ACTUALLY FURNISHED.
- CONTRACTOR SHALL FURNISH AND INSTALL A 30 AMP, 2 POLE, NEMA 1 DISCONNECT AND CIRCUIT OF 2#10, 1#10G FOR WATER HEATER. A LOCK-OFF CIRCUIT BREAKER MAY BE USED INSTEAD OF A DISCONNECT SWITCH WHERE APPROVED BY THE AUTHORITY HAVING JURISDICTION. CONTRACTOR SHALL ALSO COORDINATE EXACT WATER METER REQUIREMENTS WITH OWNER'S FIELD REPRESENTATIVE PRIOR TO INSTALLATION AND PROVIDE AS NECESSARY FOR A COMPLETE AND OPERATIONAL WATER METER READING SYSTEM.
- PROVIDE UL LISTED NEMA DISCONNECT TO AHU. SEE MECHANICAL EQUIPMENT CONNECTION SCHEDULE FOR ELECTRICAL INSTALLATION AND DISCONNECT REQUIREMENTS. SHEET E100. A LOCK-OFF CIRCUIT BREAKER MAY BE USED INSTEAD OF A DISCONNECT SWITCH WHERE APPROVED BY THE AUTHORITY HAVING JURISDICTION.
- CONTRACTOR SHALL FURNISH AND INSTALL A OUTLET PLUG AND CIRCUIT OF 2#12, #12G FOR RANGE HOOD. COORDINATE EXACT REQUIREMENTS WITH EQUIPMENT ACTUALLY FURNISHED.
- CONTRACTOR SHALL FURNISH AND INSTALL A NEMA 5-20R RECEPTACLE AND CIRCUIT OF 2#12, #12G FOR WASHER. COORDINATE EXACT REQUIREMENTS WITH EQUIPMENT ACTUALLY FURNISHED.
- CONTRACTOR SHALL FURNISH AND INSTALL A NEMA 14-50R RECEPTACLE AND CIRCUIT OF 3#6, #10G FOR RANGE. COORDINATE EXACT REQUIREMENTS WITH EQUIPMENT ACTUALLY FURNISHED.
- TENANT TELEPHONE AND SECURITY SYSTEM EQUIPMENT. PROVIDE FLUSH MOUNTED CABINET (MOUNT 48" AFF).
- CONTRACTOR SHALL INSTALL LOAD CENTER FLUSH MOUNTED. INSTALLATION SHALL MAINTAIN FIRE RATING OF WALL.
- CONTRACTOR SHALL FURNISH AND INSTALL SWITCH AND SINGLE RECEPTACLE FOR CONNECTION OF DISPOSAL. ALL HANDICAP UNITS SHALL HAVE SWITCH MOUNTED IN FACE OF CABINET. COORDINATE EXACT REQUIREMENTS WITH EQUIPMENT ACTUALLY FURNISHED. SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATION.
- CARBON MONOXIDE SENSORS TO BE HARD WIRED AND MOUNTED 12" AFF. LOCATE NEAR GARAGE/STAIR ENTRY WITHIN UNITS CONNECTED TO GARAGE(S), TYPICAL.
- PROVIDE SHALLOW DEPTH J-BOX TO BE PLACED IN STUD CUT-OUT MAX 12" BELOW COUNTER.
- WALL SCONCE IN CORRIDOR TO BE HARD WIRED TO UNIT LOAD CENTER. REF. ID DRAWINGS FOR FIXTURE TYPE.
- HOOD IS TO HAVE REMOTE CONTROL WITHIN REACH OF RANGE.



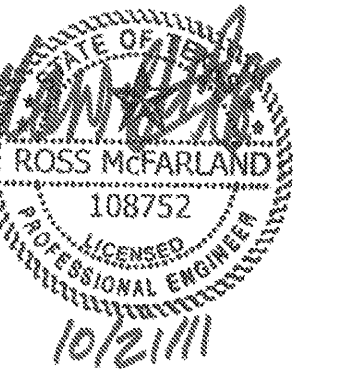
3 UNIT A1-HC - PARTIAL 1
SCALE: 1/4" = 1'-0" OCCURS AT: (1) TOTAL UNITS ON SITE



2 UNIT A1-HC - ONE SLEEPING/ONE BATH
SCALE: 1/4" = 1'-0" OCCURS AT: (1) TOTAL UNITS ON SITE



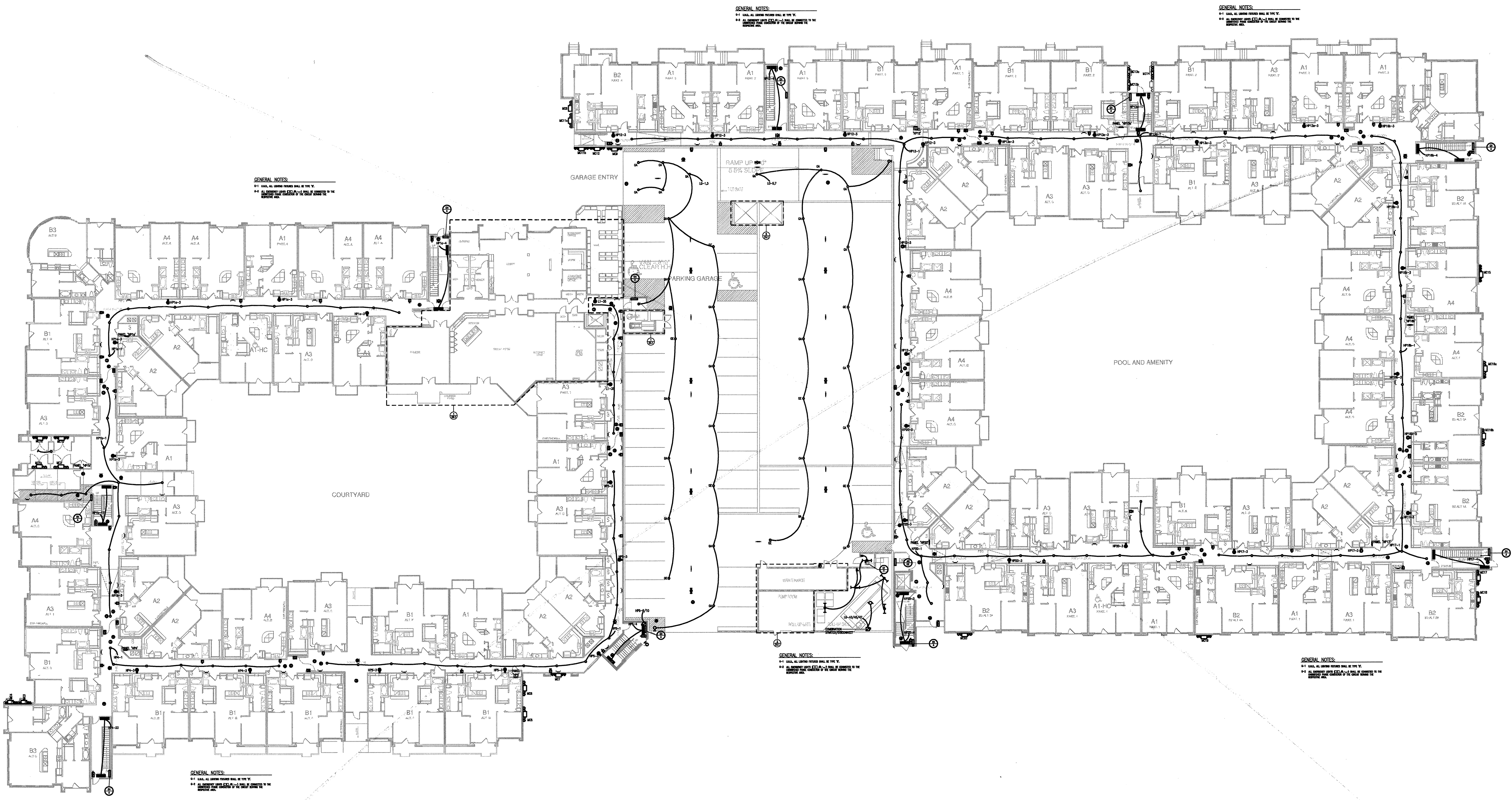
1 UNIT B1-HC-ALT D - TWO BEDROOM/TWO BATH
SCALE: 1/4" = 1'-0" OCCURS AT: (3) TOTAL UNITS ON SITE



REVISIONS	
1	9-2-2011 DESIGN REVISIONS
2	9-13-2011 ANSI/FHA COMMENTS
3	9-23-2011 DESIGN REVISIONS
4	10-17-2011 CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS



GENERAL NOTES:
 *1. SHALL BE SHOWN FROM WALL TO THE "Y".
 *2. ALL DIMENSIONS UNLESS OTHERWISE NOTED TO THE CONTRARY ARE IN FEET AND INCHES.

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 *1. SHALL BE SHOWN FROM WALL TO THE "Y".
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1 FLOOR PLAN - 3-1
 SCALE: 1/32" = 1'-0"



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PROJECT
 11129

SHEET NUMBER

E-3.1

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 14240 Midway Road, Suite 350
 Dallas, TX 75244-5138
 V: (469) 385-1476 F: (469) 385-1415
 Project Number - 113-0355 Texas Firm Registration # F-4990
 Drawn By: MJ Checked By: RAD

- 34 - MCB
- 400A MCB
- 600A MCB
- 800A MCB
- 1000A MCB
- 1200A MCB
- 1600A MCB
- 2000A MCB
- 34 - MLD
- 400A
- 600A
- 800A AL
- 800A CU
- 1600A
- 2000A

GENERAL NOTES:
 #1 SHALL BE LATEST REVISION SHALL BE THE "Y".
 #2 ALL DIMENSIONS UNLESS OTHERWISE NOTED TO THE CONTRARY ARE IN FEET AND INCHES.

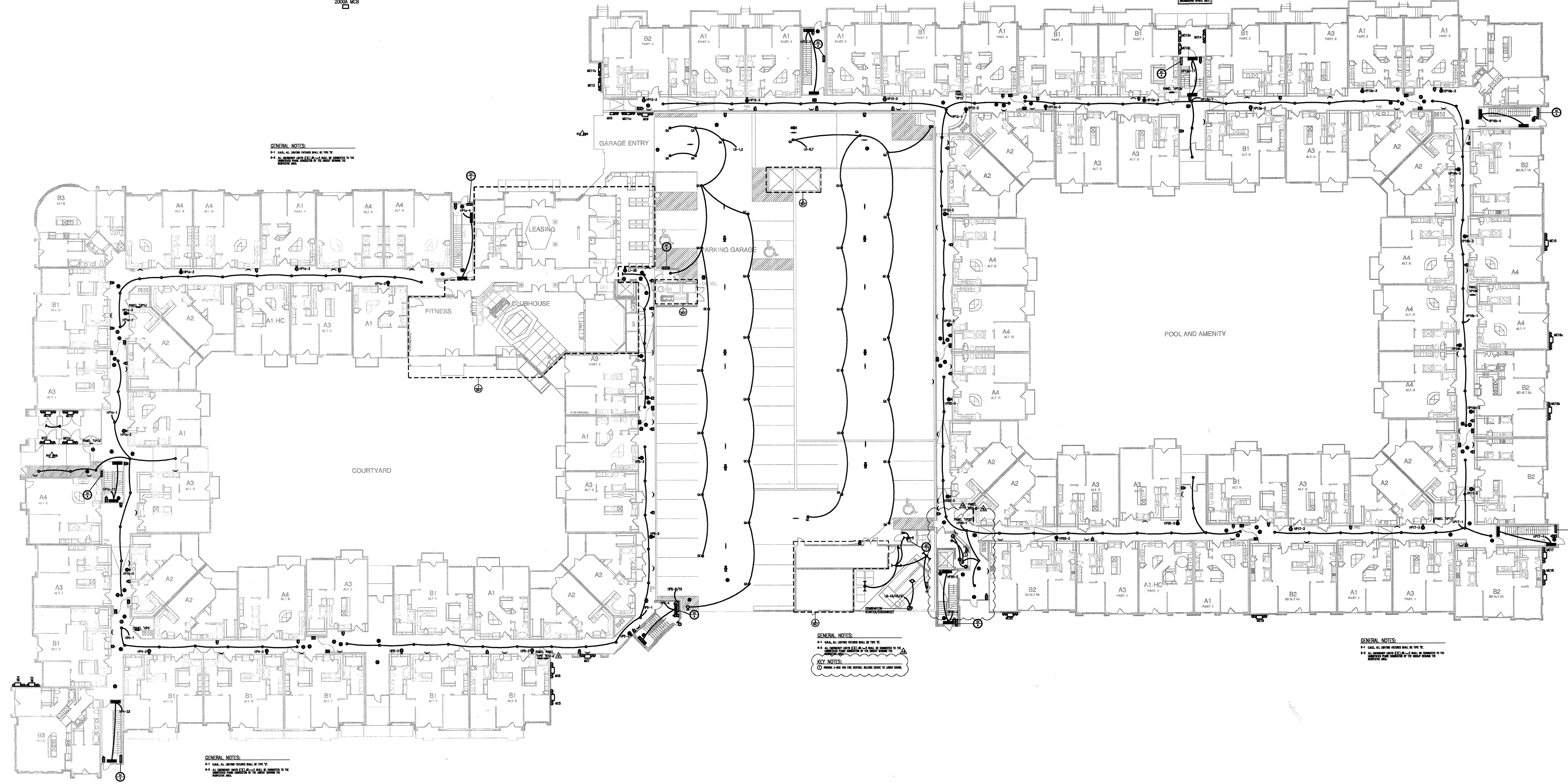
GENERAL NOTES:
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 #2 ALL DIMENSIONS UNLESS OTHERWISE NOTED TO THE CONTRARY ARE IN FEET AND INCHES.

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 #2 ALL DIMENSIONS UNLESS OTHERWISE NOTED TO THE CONTRARY ARE IN FEET AND INCHES.

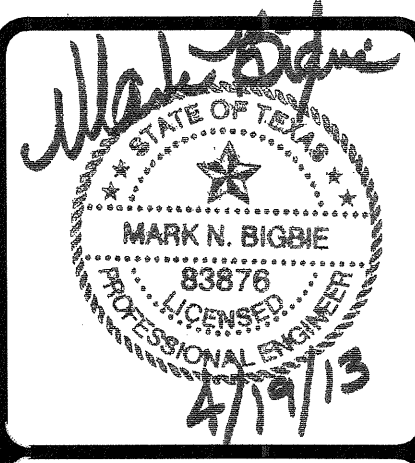
GENERAL NOTES:
 #1 SHALL BE LATEST REVISION SHALL BE THE "Y".
 #2 ALL DIMENSIONS UNLESS OTHERWISE NOTED TO THE CONTRARY ARE IN FEET AND INCHES.

KEY NOTES:
 (C) PROVIDE A SIGN FOR THE SIGNAGE, SECURE SIGNAGE TO LAMIN BOARD

GENERAL NOTES:
 #1 SHALL BE LATEST REVISION SHALL BE THE "Y".
 #2 ALL DIMENSIONS UNLESS OTHERWISE NOTED TO THE CONTRARY ARE IN FEET AND INCHES.



1 FLOOR PLAN - 3-1
 SCALE: 1/32" = 1'-0"



REVISIONS		
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3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE
5	12-21-2011	DESIGN REVISIONS
6	1-17-2012	DESIGN REVISIONS
7	2-15-2012	TRANSFORMER REVISIONS
8	3-27-2012	CLUBHOUSE REVISIONS
9	4-17-2012	COORDINATION

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS

10	5-15-2012	COORDINATION
11	5-30-2012	SITE COORDINATION
12	6-01-12	LIGHTING REVISIONS
13	6-29-12	SITE COORDINATION
14	9-05-12	CLUB REVISIONS
15	4-19-13	EL. LOBBY REVISIONS

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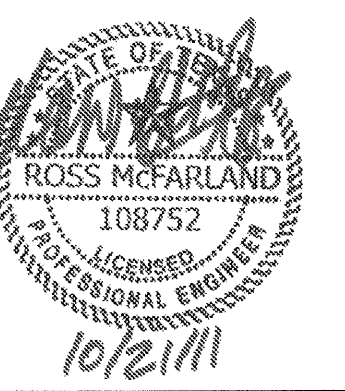
DATE
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PROJECT
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SHEET NUMBER

E-3.1

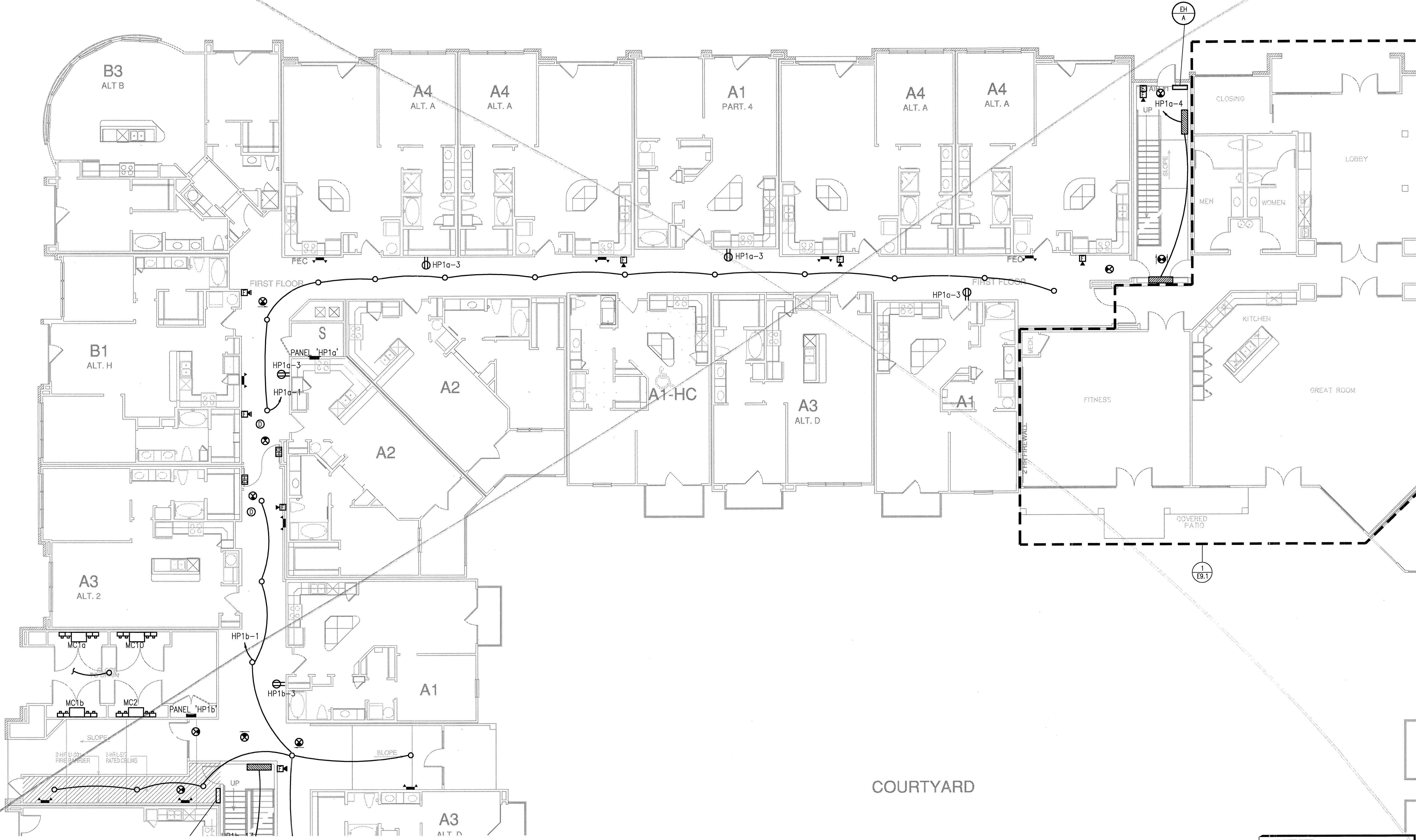
JSE Jordan & Skala Engineers
 17835 N. Dallas Parkway, Suite 320
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 V: (469) 383-1616 F: (469) 383-1615
 Project Number - 113-0355 Texas Firm Registration # F-4990
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REVISIONS	
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3	9-23-2011 DESIGN REVISIONS
4	10-17-2011 CONSTRUCTION ISSUE

GENERAL NOTES:

- G-1 U.N.O., ALL LIGHTING FIXTURES SHALL BE TYPE 'B'.
- G-2 ALL EMERGENCY LIGHTS (E.L.) SHALL BE CONNECTED TO THE UNSWITCHED PHASE CONDUCTOR OF THE CIRCUIT SERVING THE RESPECTIVE AREA.



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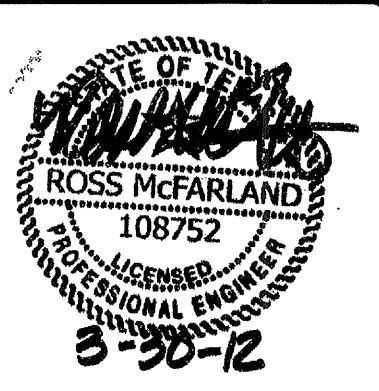
DATE
08-05-11

PROJECT
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SHEET NUMBER
E-3.1A

1 DIVISION 'A' FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

JSE Jordan & Skala Engineers
1420 Midway Road, Suite 150
Dallas, TX 75244-9139
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: MJ Checked By: RAD

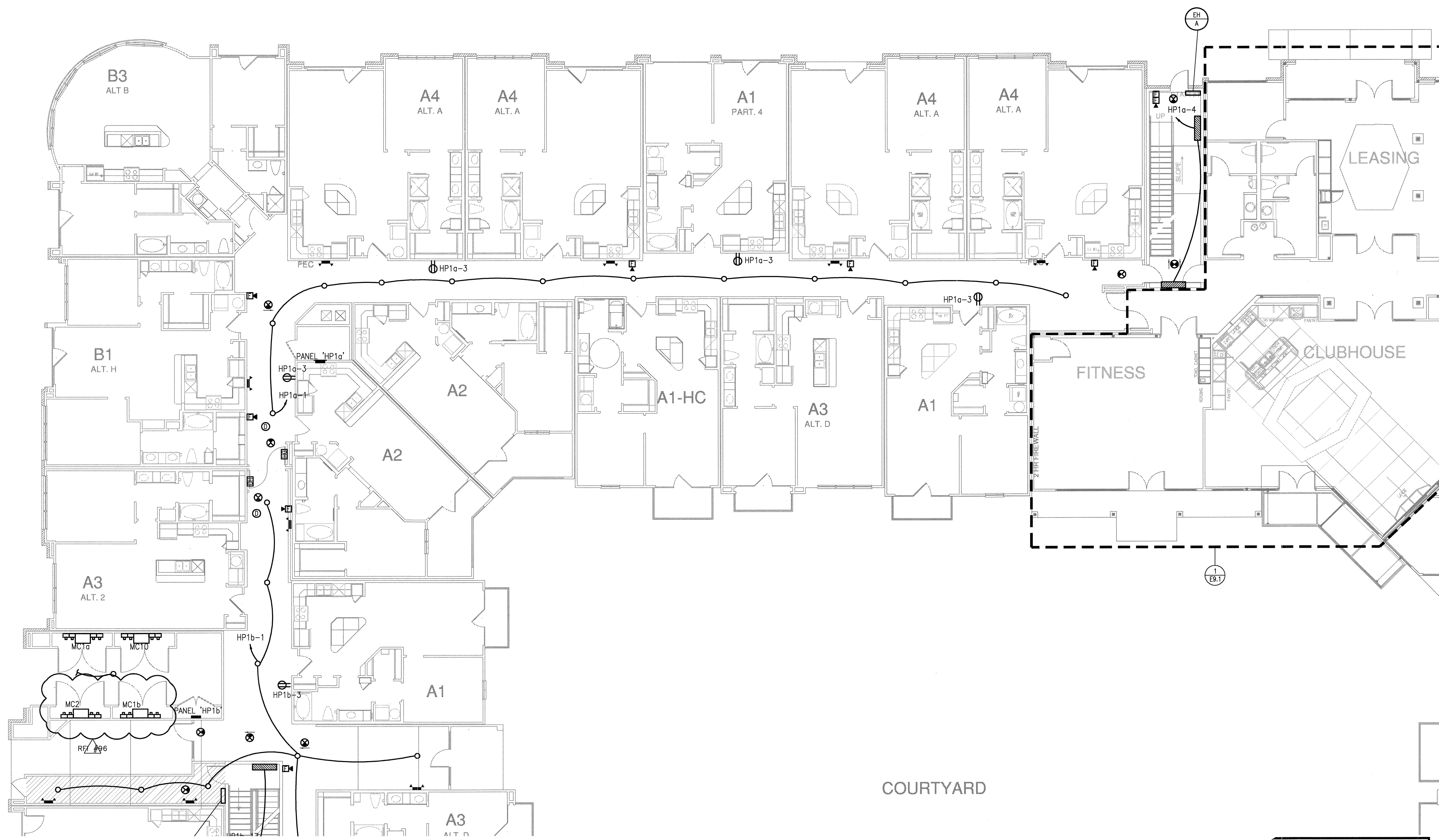


REVISIONS

1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE
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6	1-17-2012	DESIGN REVISIONS
7	2-15-2012	TRANSFORMER REVISIONS
8	3-27-2012	CLUBHOUSE REVISIONS

GENERAL NOTES:

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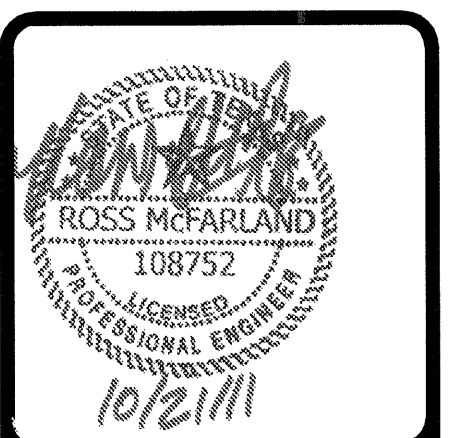
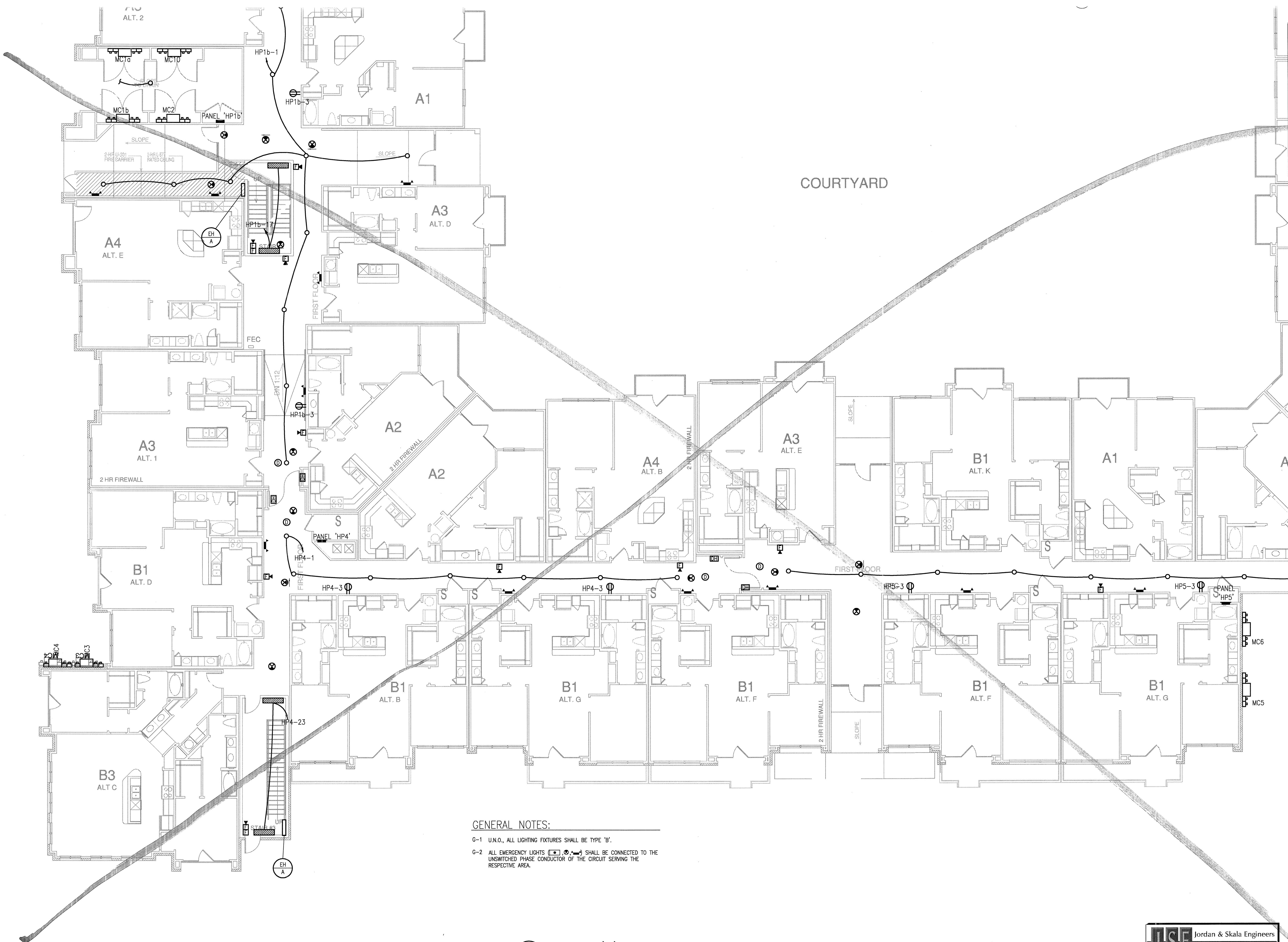
DATE
08-05-11

PROJECT
11129

SHEET NUMBER
E-3.1A

1 DIVISION 'A' FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

JSE Jordan & Skala Engineers
14740 Midway Road, Suite 330
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P: (469) 385-1816 F: (469) 385-1613
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Drawn By: MJ Checked By: RAD



REVISIONS	
1	9-2-2011 DESIGN REVISIONS
2	9-13-2011 ANSI/FHA COMMENTS
3	9-23-2011 DESIGN REVISIONS
4	10-17-2011 CONSTRUCTION ISSUE

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SHEET NUMBER
E-3.1B

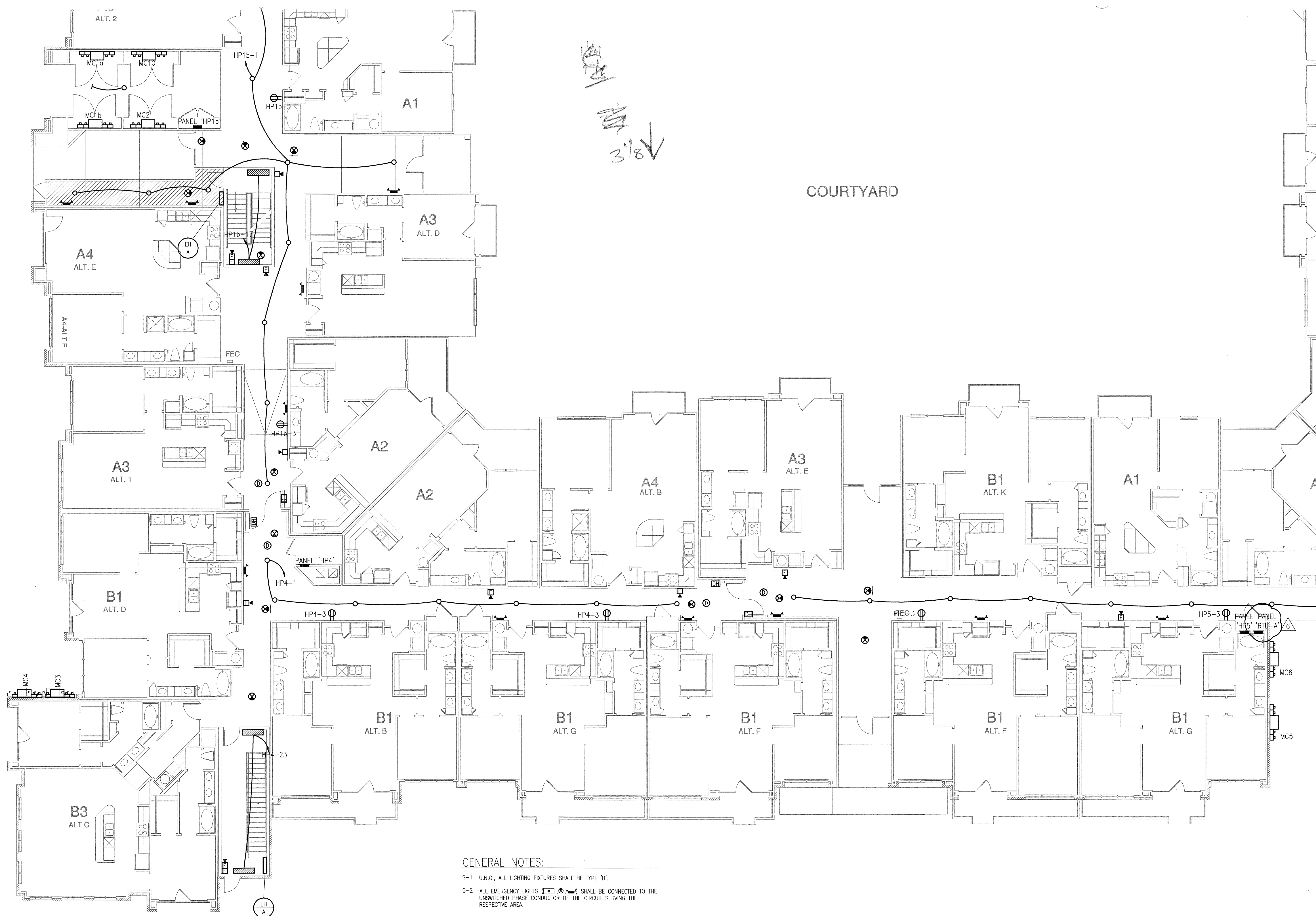
GENERAL NOTES:

G-1 U.N.O., ALL LIGHTING FIXTURES SHALL BE TYPE 'B'.

G-2 ALL EMERGENCY LIGHTS (EHL) SHALL BE CONNECTED TO THE UNSWITCHED PHASE CONDUCTOR OF THE CIRCUIT SERVING THE RESPECTIVE AREA.

1 DIVISION 'B' FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

JSE Jordan & Skala Engineers
1420 Midway Road, Suite 310
Dallas, TX 75244-5134
P: (469) 383-1616 F: (469) 383-1613
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Drawn By: MJ Checked By: RAD



REVISIONS		
1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE
5	12-21-2011	DESIGN REVISIONS

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SHEET NUMBER
E-3.1B

GENERAL NOTES:

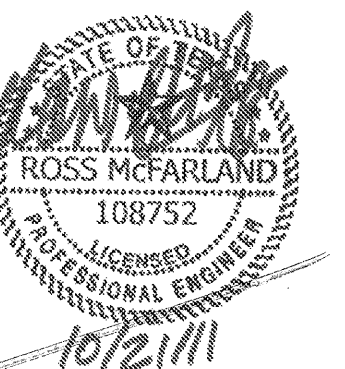
G-1 U.N.O., ALL LIGHTING FIXTURES SHALL BE TYPE 'B'.

G-2 ALL EMERGENCY LIGHTS (EHL) SHALL BE CONNECTED TO THE UNSWITCHED PHASE CONDUCTOR OF THE CIRCUIT SERVING THE RESPECTIVE AREA.

1 DIVISION 'B' FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

JSE Jordan & Skala Engineers
14240 Midway Street, Suite 350
Dallas, TX 75244-5138
Project Number - 113-0355
Drawn By: MJ

Texas Firm Registration # F-4990
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REVISIONS	
1	9-2-2011 DESIGN REVISIONS
2	9-13-2011 ANSI/FHA COMMENTS
3	9-23-2011 DESIGN REVISIONS
4	10-17-2011 CONSTRUCTION ISSUE

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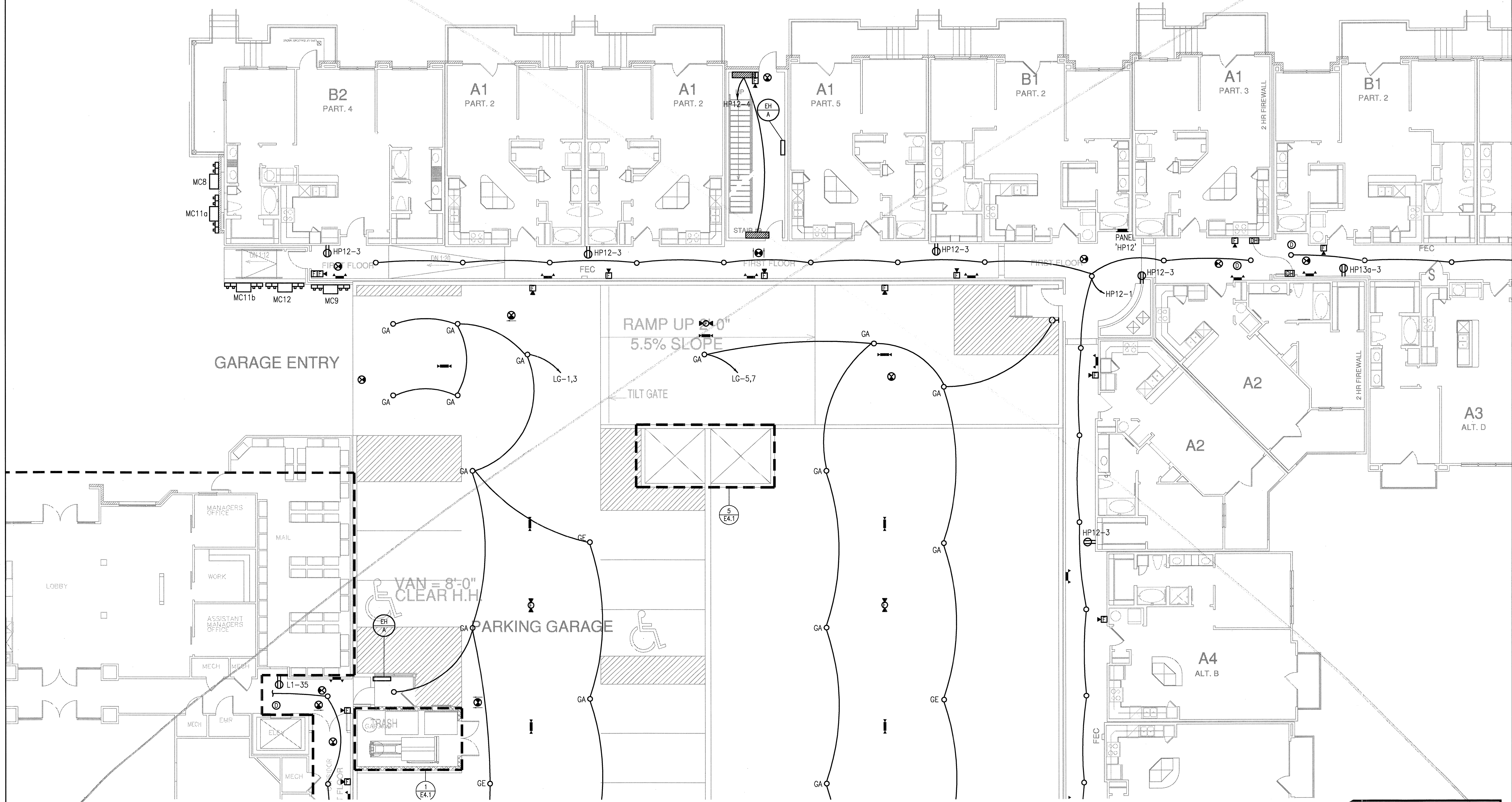
PROJECT
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SHEET NUMBER
E-3.1C

GENERAL NOTES:

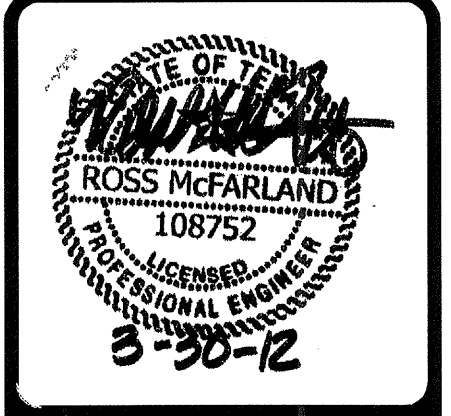
G-1 U.N.O., ALL LIGHTING FIXTURES SHALL BE TYPE 'B'.

G-2 ALL EMERGENCY LIGHTS (E.A.) SHALL BE CONNECTED TO THE UNSWITCHED PHASE CONDUCTOR OF THE CIRCUIT SERVING THE RESPECTIVE AREA.



1 DIVISION 'C' FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"

JSE Jordan & Skala Engineers
 14250 Midway Road, Suite 350
 Dallas, TX 75244-5138
 V: (469) 383-1616 F: (469) 383-1613
 Project Number - 113-0355 Texas Firm Registration # F-4990
 Drawn By: MB Checked By: RAD

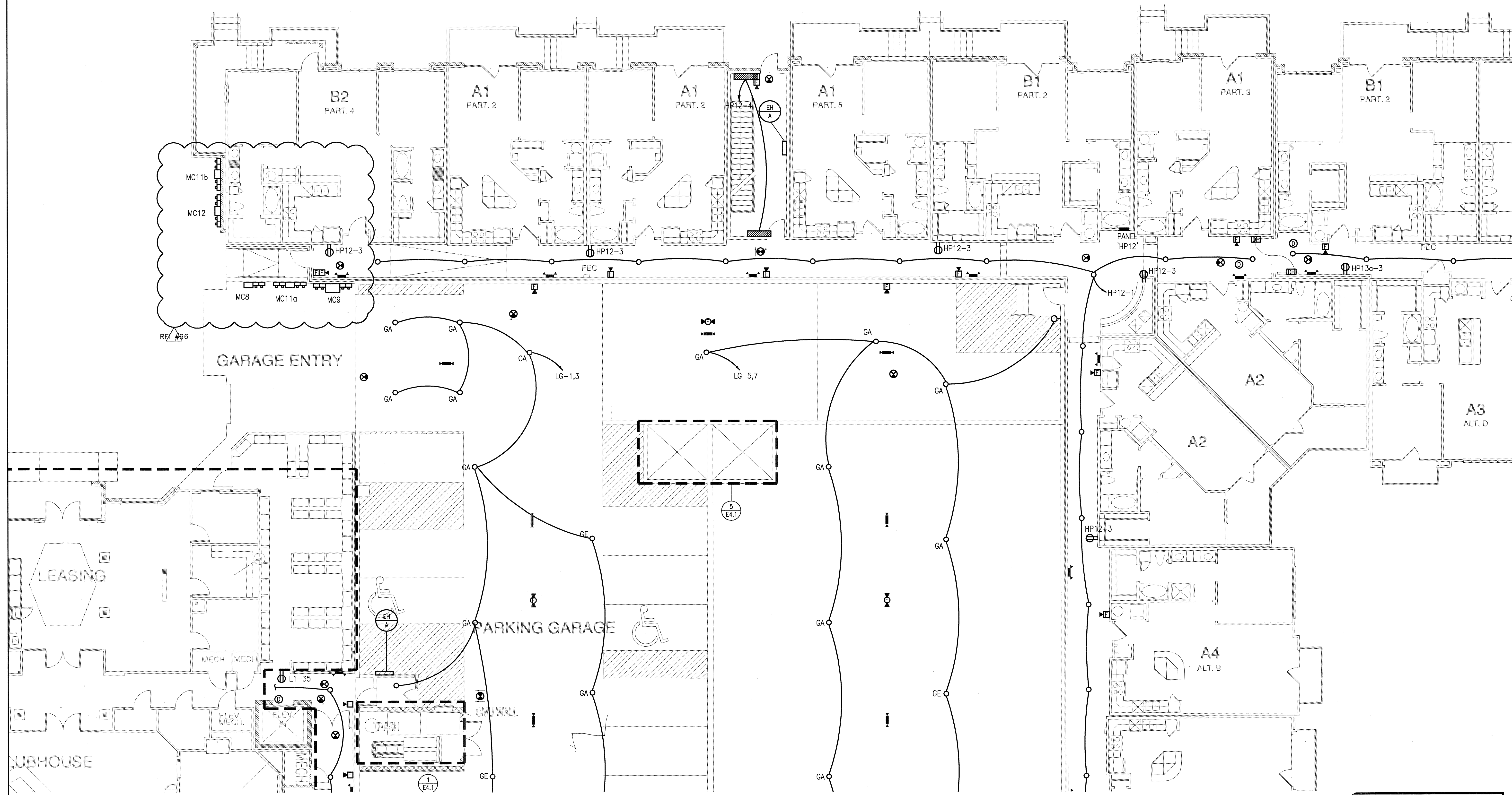


REVISIONS		
△	9-2-2011	DESIGN REVISIONS
△	9-13-2011	ANSI/FHA COMMENTS
△	9-23-2011	DESIGN REVISIONS
△	10-17-2011	CONSTRUCTION ISSUE
△	12-21-2011	DESIGN REVISIONS
△	1-17-2012	DESIGN REVISIONS
△	2-15-2012	TRANSFORMER REVISIONS
△	3-27-2012	CLUBHOUSE REVISIONS

GENERAL NOTES:

G-1 U.N.O., ALL LIGHTING FIXTURES SHALL BE TYPE 'B'.

G-2 ALL EMERGENCY LIGHTS (E4) SHALL BE CONNECTED TO THE UNSWITCHED PHASE CONDUCTOR OF THE CIRCUIT SERVING THE RESPECTIVE AREA.



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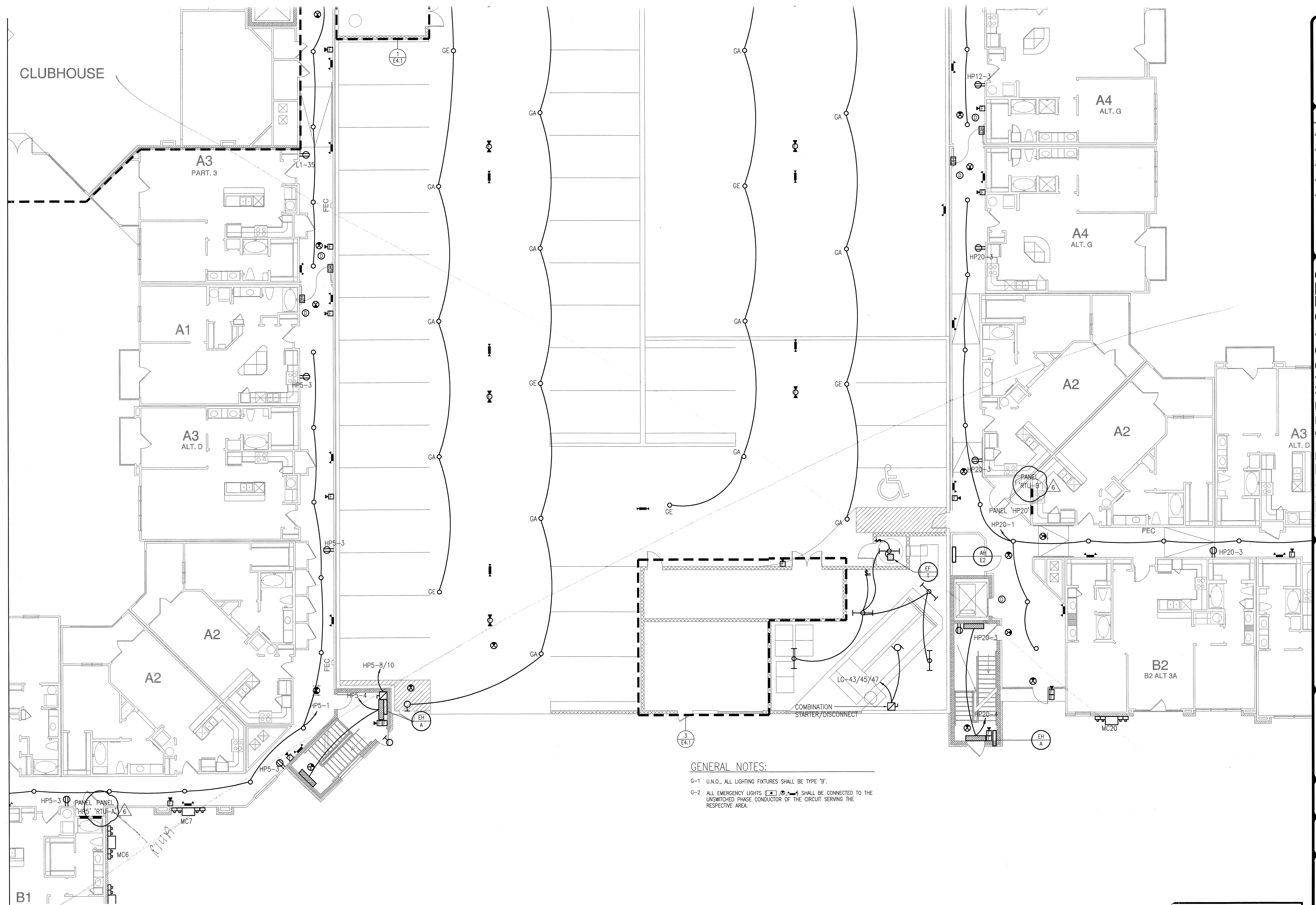
PROJECT
11129

SHEET NUMBER
E-3.1C

1 DIVISION 'C' FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

JSE Jordan & Skala Engineers
14240 Midway Road, Suite 330
Dallas, TX 75244-5138
W: (469) 385-1416 F: (469) 385-1613
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: MJ Checked By: RAD

CLUBHOUSE



GENERAL NOTES:

- G-1 U.N.O., ALL LIGHTING FIXTURES SHALL BE TYPE 'B'.
- G-2 ALL EMERGENCY LIGHTS (E4.1, E4.2) SHALL BE CONNECTED TO THE UNSWITCHED PHASE CONDUCTOR OF THE CIRCUIT SERVING THE RESPECTIVE AREA.

1 DIVISION 'D' FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

REVISIONS		
1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE
5	12-21-2011	DESIGN REVISIONS

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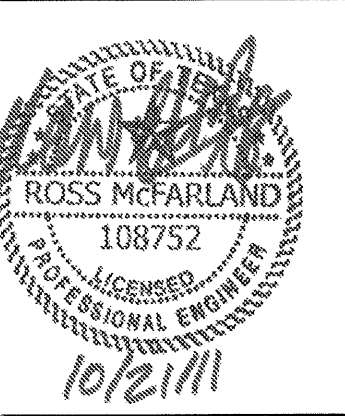
PROJECT
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SHEET NUMBER

E-3.1D

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15248 Midway Road, Suite 330
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Drawn By: MJ Checked By: RAD

JHP



REVISIONS	
1	9-2-2011 DESIGN REVISIONS
2	9-13-2011 ANSI/FHA COMMENTS
3	9-23-2011 DESIGN REVISIONS
4	10-17-2011 CONSTRUCTION ISSUE

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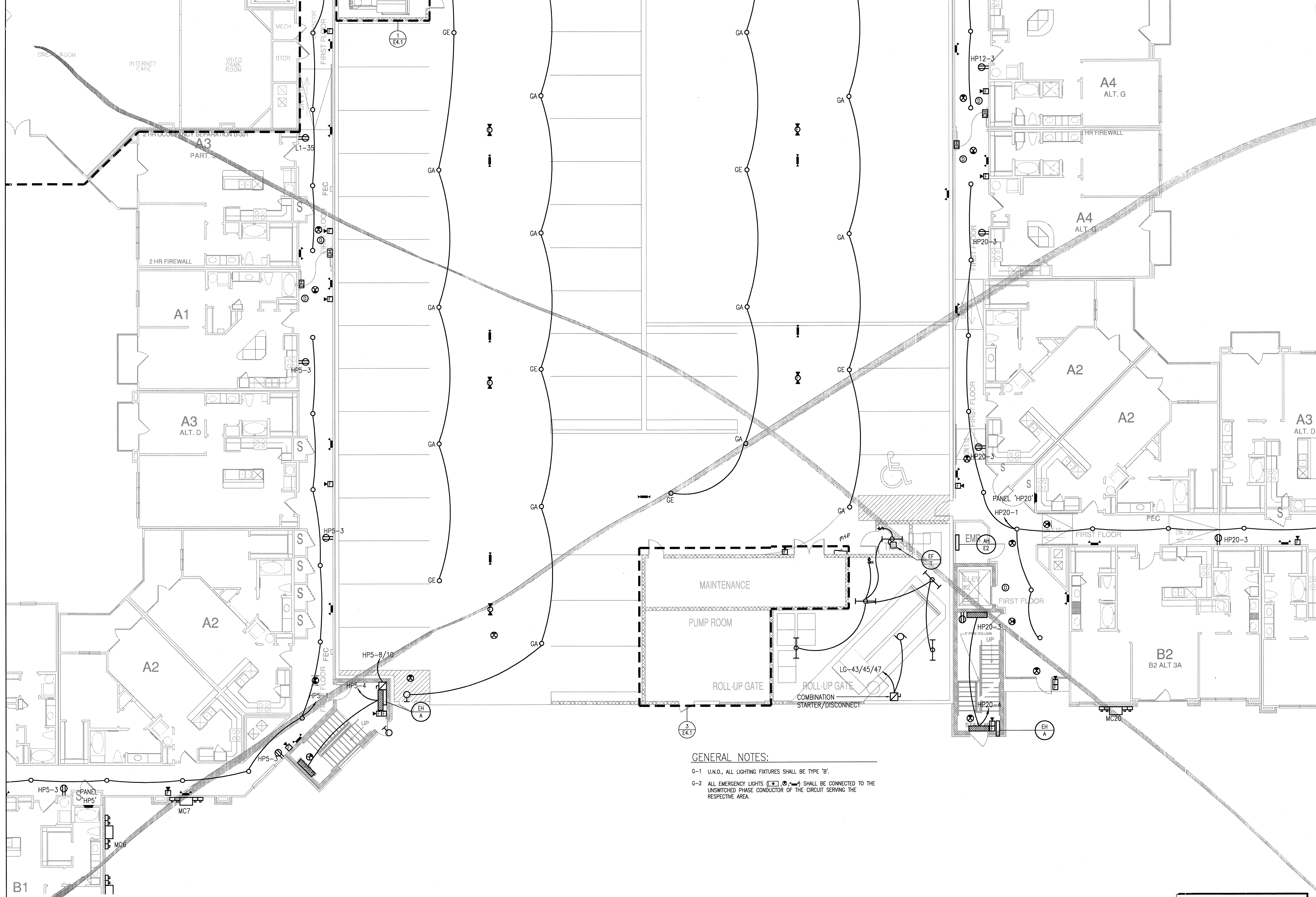
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PROJECT
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SHEET NUMBER

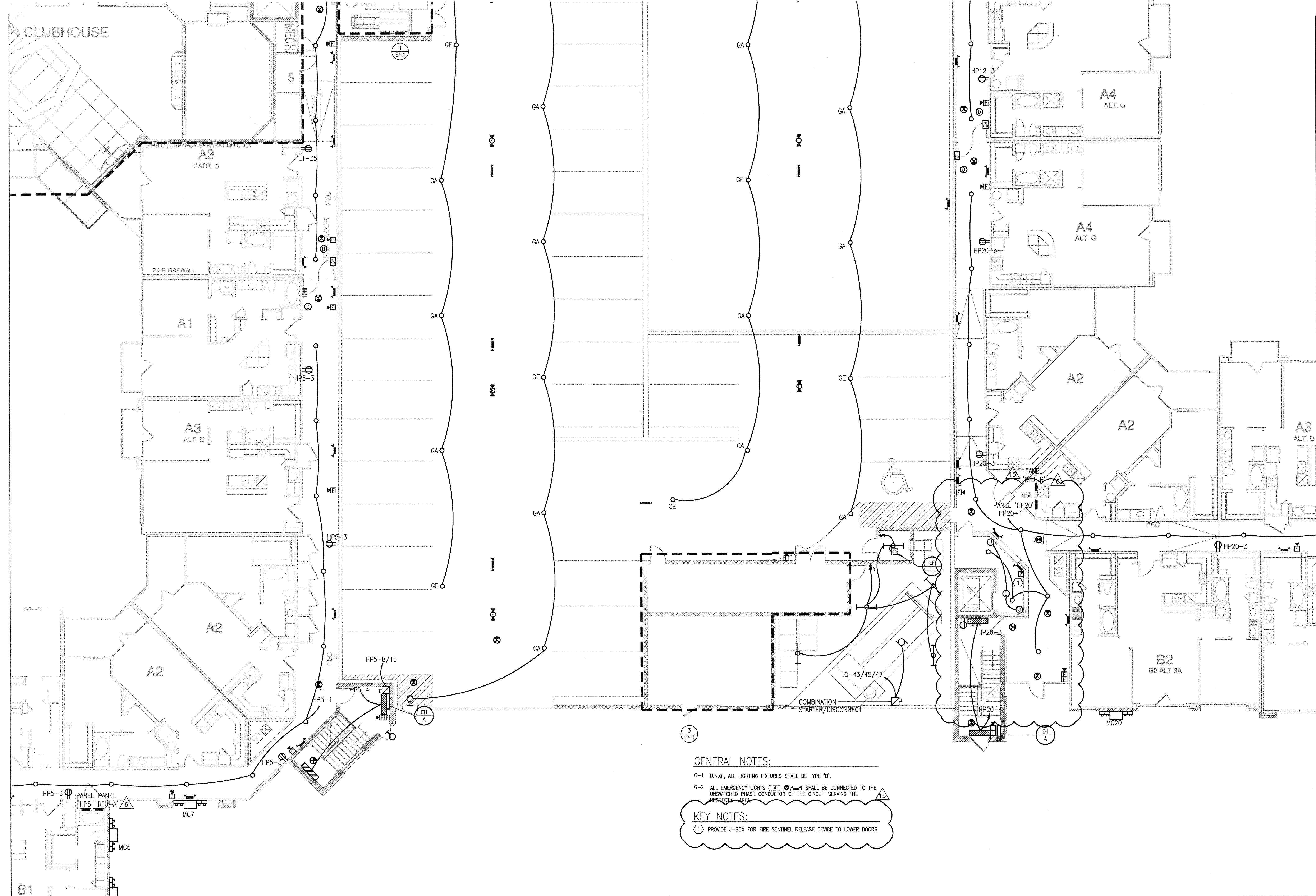
E-3.1D

JSE Jordan & Skala Engineers
14240 Midway Road, Suite 350
Dallas, TX 75244-5139
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: MJ Checked By: RAD



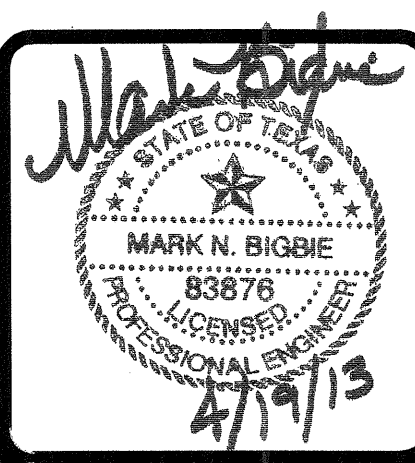
- GENERAL NOTES:**
- G-1 U.N.O., ALL LIGHTING FIXTURES SHALL BE TYPE 'B'.
 - G-2 ALL EMERGENCY LIGHTS (EFL) SHALL BE CONNECTED TO THE UNSWITCHED PHASE CONDUCTOR OF THE CIRCUIT SERVING THE RESPECTIVE AREA.

1 DIVISION 'D' FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



GENERAL NOTES:
 G-1 U.N.O., ALL LIGHTING FIXTURES SHALL BE TYPE 'B'.
 G-2 ALL EMERGENCY LIGHTS (E.L.) SHALL BE CONNECTED TO THE UNSWITCHED PHASE CONDUCTOR OF THE CIRCUIT SERVING THE RESPECTIVE AREA.

KEY NOTES:
 (1) PROVIDE J-BOX FOR FIRE SENTINEL RELEASE DEVICE TO LOWER DOORS.



REVISIONS

1	9-2-2011	DESIGN REVISIONS
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6	1-17-2012	DESIGN REVISIONS
7	2-15-2012	TRANSFORMER REVISIONS
8	3-27-2012	CLUBHOUSE REVISIONS
9	4-17-2012	COORDINATION

KELLER SPRINGS LOFTS
 LOFT APARTMENTS IN ADDISON, TEXAS

REVISIONS

10	5-15-2012	COORDINATION
11	5-30-2012	SITE COORDINATION
12	6-01-12	LIGHTING REVISIONS
13	6-29-12	SITE COORDINATION
14	9-05-12	CLUB REVISIONS
15	4-19-13	EL. LOBBY REVISIONS

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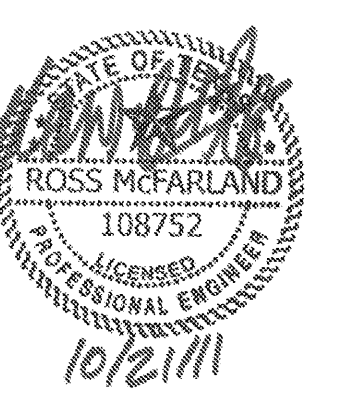
DATE
 08-05-11

PROJECT
 11129

SHEET NUMBER
 E-3.1D

1 DIVISION 'D' FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"

JSE Jordan & Skala Engineers
 17835 N. Dallas Parkway, Suite 120
 Dallas, TX 75247-9657
 V: (469) 385-1616 F: (469) 385-1615
 Project Number - 113-0355 Texas Firm Registration # F-4990
 Drawn By: MJ Checked By: RAD

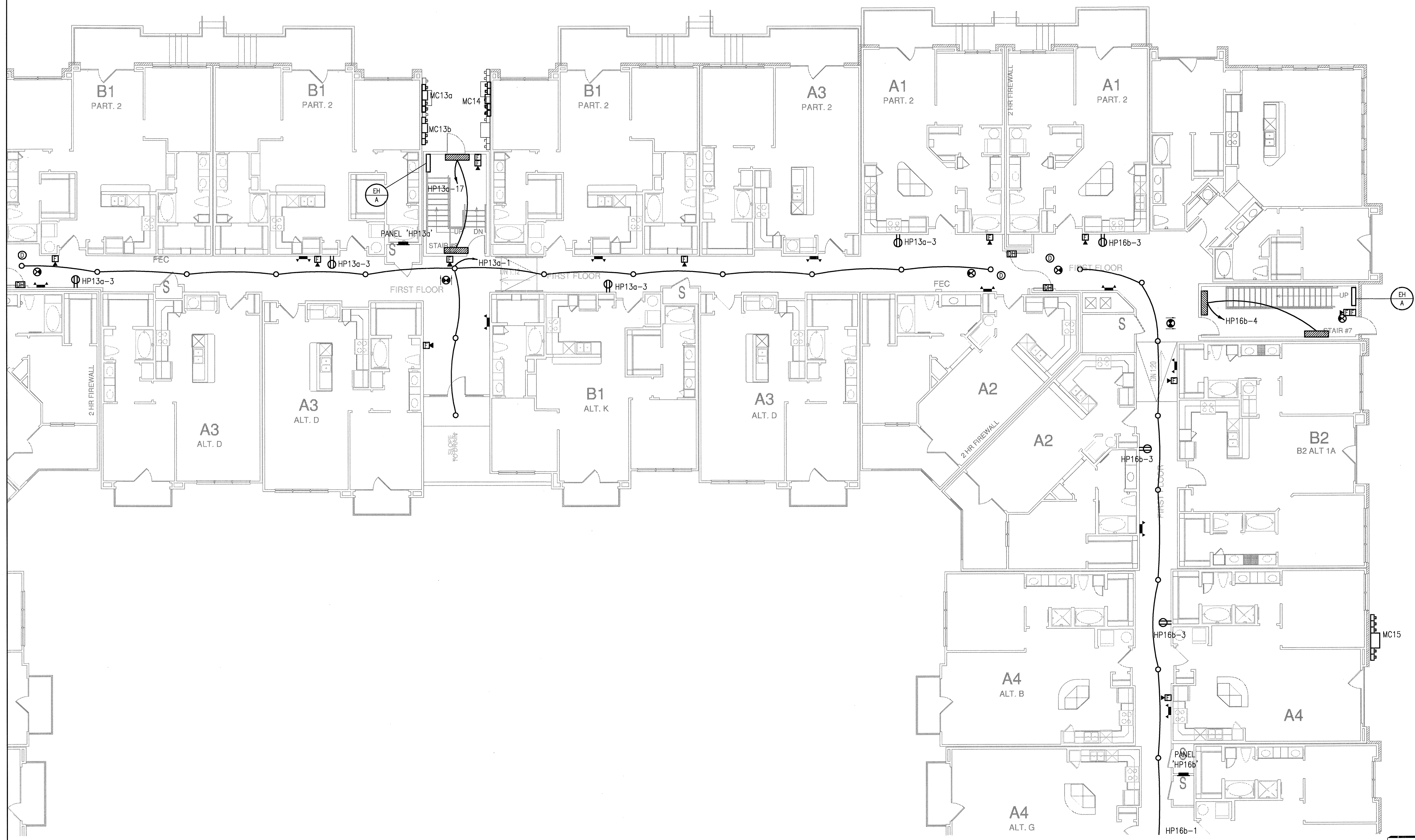


REVISIONS	
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2	9-13-2011 ANSI/FHA COMMENTS
3	9-23-2011 DESIGN REVISIONS
4	10-17-2011 CONSTRUCTION ISSUE

GENERAL NOTES:

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KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS

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DATE
08-05-11

PROJECT
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SHEET NUMBER
E-3.1E

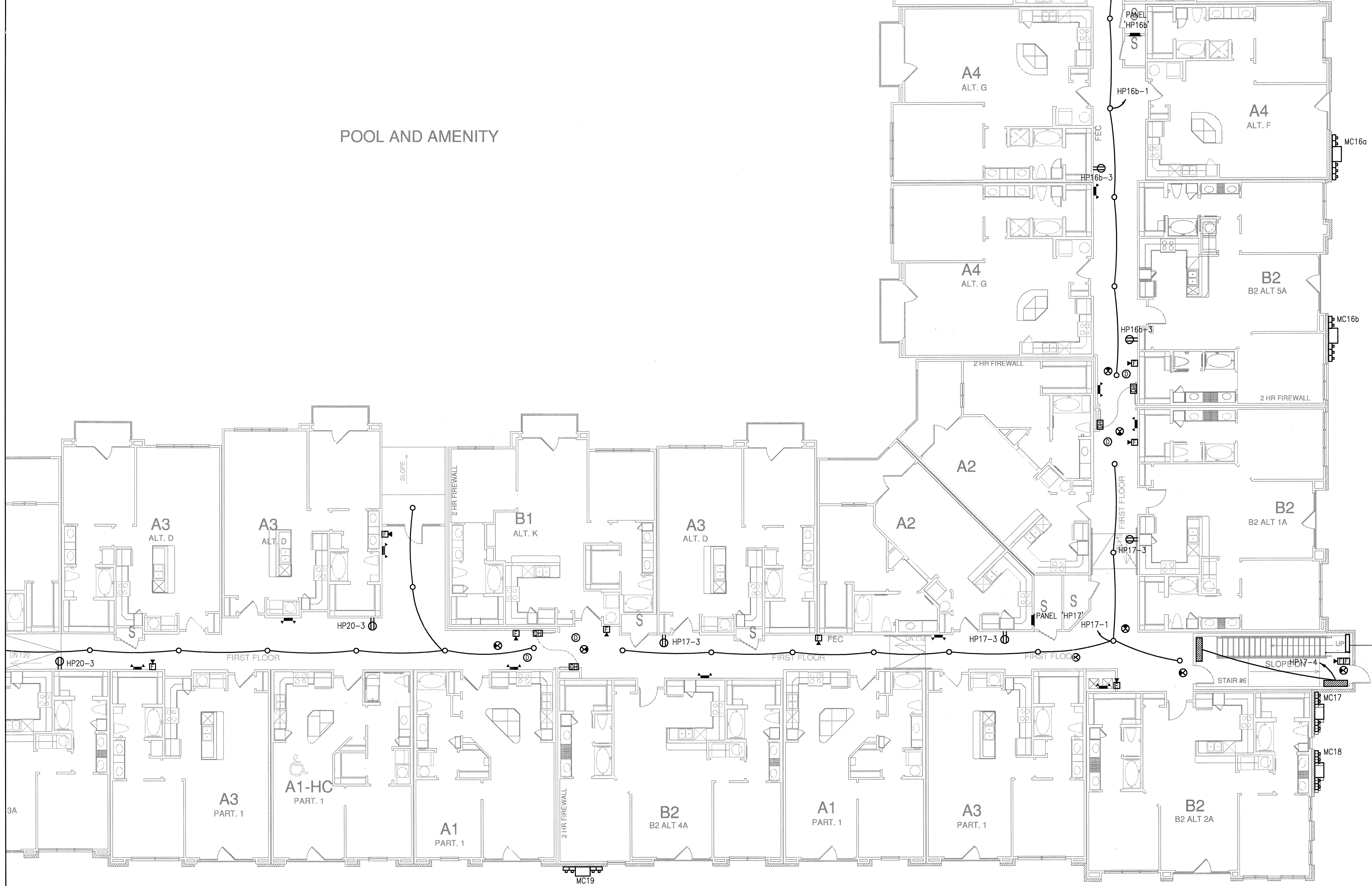
1 DIVISION 'E' FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

JSE Jordan & Skala Engineers

14240 Midway Road, Suite 350
Dallas, TX 75244-5138
P: (469) 385-1616 F: (469) 385-1613

Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: MJ Checked By: RAD

POOL AND AMENITY



- GENERAL NOTES:**
- G-1 U.N.O., ALL LIGHTING FIXTURES SHALL BE TYPE 'B'.
 - G-2 ALL EMERGENCY LIGHTS (E) SHALL BE CONNECTED TO THE UNSWITCHED PHASE CONDUCTOR OF THE CIRCUIT SERVING THE RESPECTIVE AREA.

1 DIVISION 'F' FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



REVISIONS

1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS
LOFT APARTMENTS IN ADDISON, TEXAS

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4144 N. Central Expy.
Suite 855
Dallas, TX 75204
214.520.8878
bgoarchitects.com

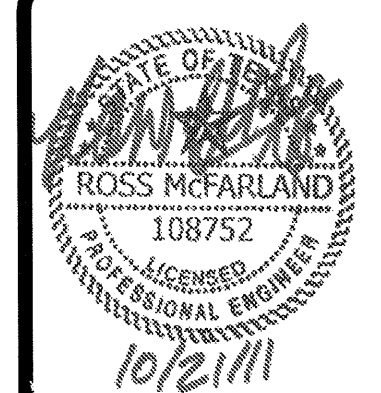
DATE
08-05-11

PROJECT
11129

SHEET NUMBER

E-3.1F

JSE Jordan & Skala Engineers
14210 Midway Road, Suite 350
Dallas, TX 75244-5130
Tel: (469) 385-1616, Fax: (469) 385-1613
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: MJ Checked By: RAD



REVISIONS

1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS

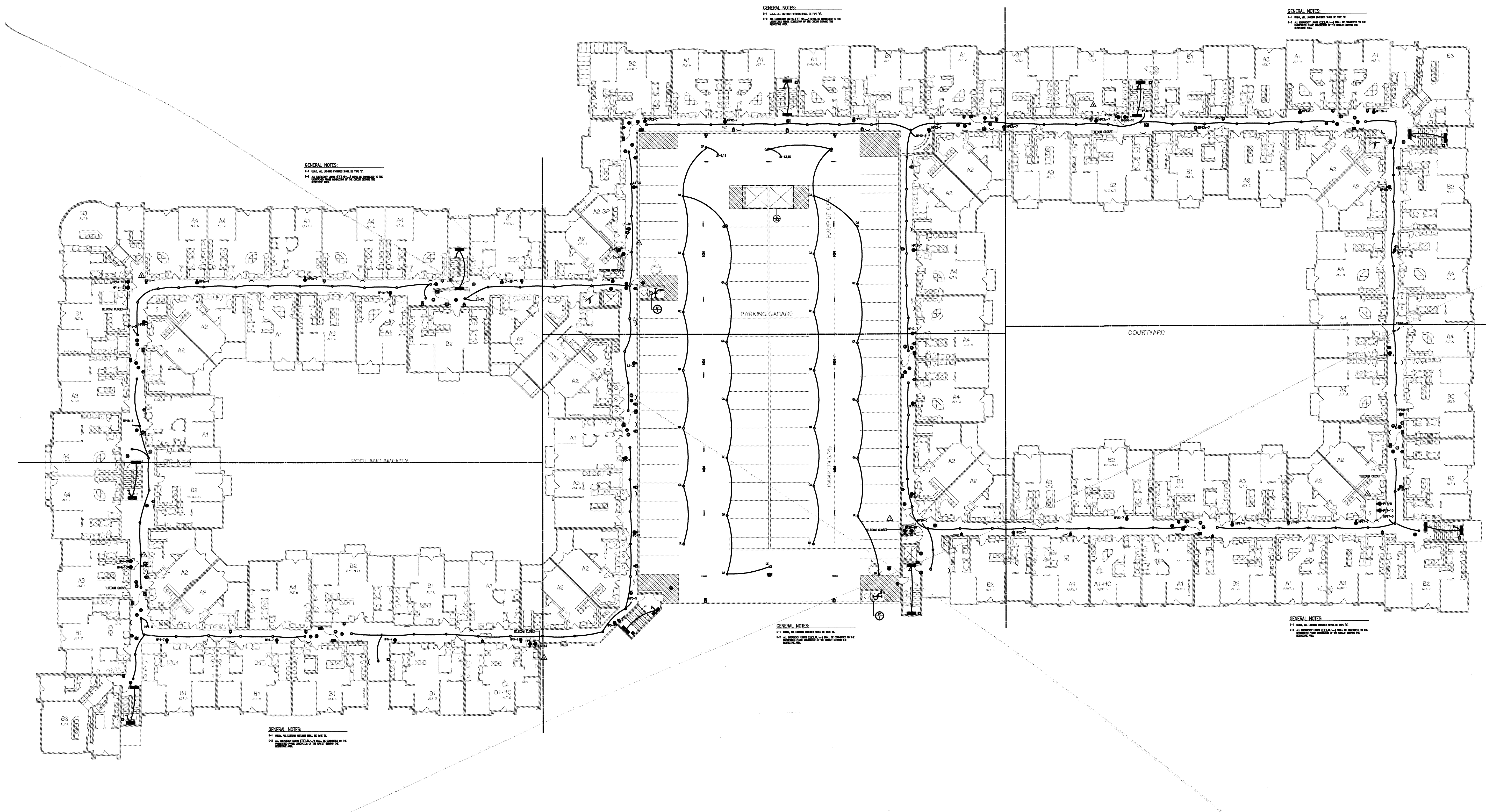
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Suite 855
Dallas, TX 75204
214.520.8878
bgoarchitects.com

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08-05-11

PROJECT
11129

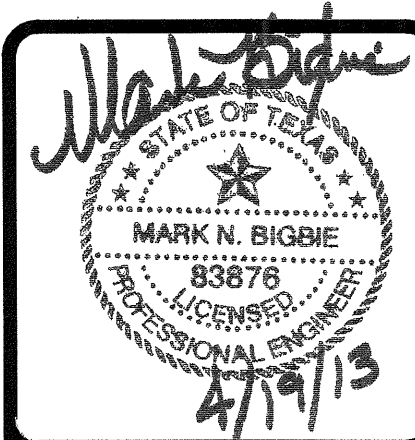
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JSE Jordan & Skala Engineers
14250 Midway Road, Suite 350
Dallas, TX 75244-9138
Tel: (469) 383-1616 Fax: (469) 383-1615
Project Number - 115-0555 Texas Firm Registration # F-4990
Drawn By: MJ Checked By: RAD



1 FLOOR PLAN - 3-2
SCALE: 1/32" = 1'-0"

AT: 7 2/3



REVISIONS		
1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE
5	12-21-2011	DESIGN REVISIONS
6	1-17-2012	DESIGN REVISIONS
7	2-15-2012	TRANSFORMER REVISIONS
8	3-27-2012	CLUBHOUSE REVISIONS
9	4-17-2012	COORDINATION

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS

10	5-15-2012	COORDINATION
11	5-30-2012	SITE COORDINATION
12	6-01-12	LIGHTING REVISIONS
13	6-29-12	SITE COORDINATION
14	9-05-12	CLUB REVISIONS
15	4-19-13	EL. LOBBY REVISIONS

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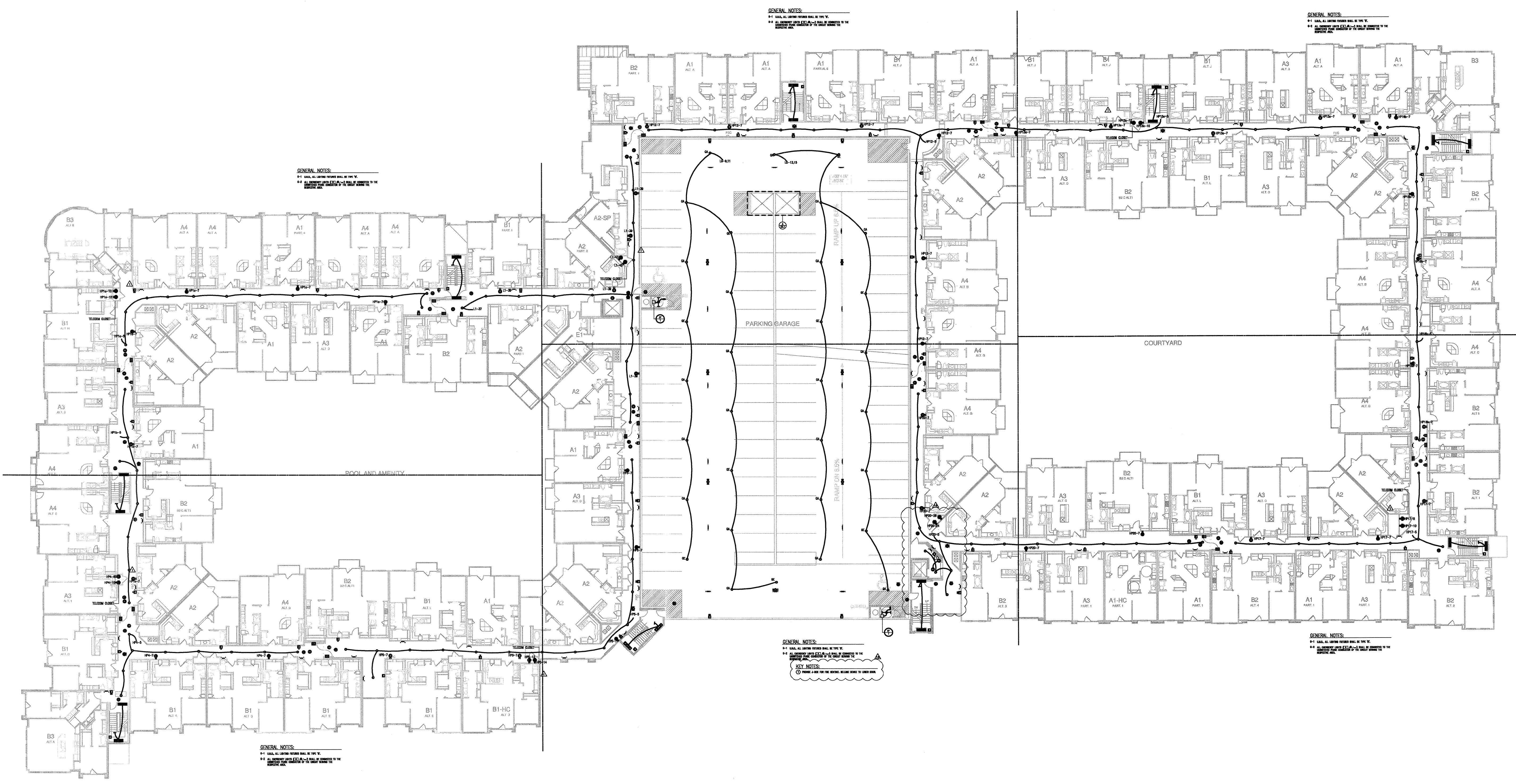
PROJECT
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SHEET NUMBER
E-3.2

USE Jordan & Skala Engineers

17835 N. Dallas Parkway, Suite 320
Dallas, TX 75247-6657
V: (469) 388-1616 F: (469) 382-1615

Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: MJ Checked By: RAD



GENERAL NOTES:
#1 SHALL BE LOCATED PER PLAN IN THIS SET.
#2 ALL DIMENSIONS UNLESS OTHERWISE NOTED TO THE CONTRARY SHALL BE TO FACE UNLESS NOTED OTHERWISE.

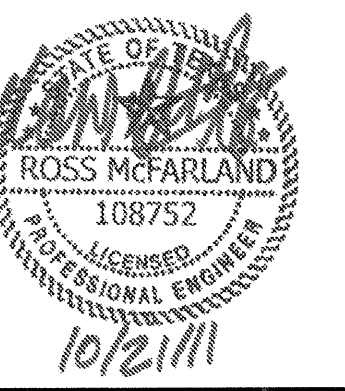
GENERAL NOTES:
#1 SHALL BE LOCATED PER PLAN IN THIS SET.
#2 ALL DIMENSIONS UNLESS OTHERWISE NOTED TO THE CONTRARY SHALL BE TO FACE UNLESS NOTED OTHERWISE.

GENERAL NOTES:
#1 SHALL BE LOCATED PER PLAN IN THIS SET.
#2 ALL DIMENSIONS UNLESS OTHERWISE NOTED TO THE CONTRARY SHALL BE TO FACE UNLESS NOTED OTHERWISE.

GENERAL NOTES:
#1 SHALL BE LOCATED PER PLAN IN THIS SET.
#2 ALL DIMENSIONS UNLESS OTHERWISE NOTED TO THE CONTRARY SHALL BE TO FACE UNLESS NOTED OTHERWISE.

VIEW NOTES:
① POINTING TO THE GENERAL BEARING SHALL BE SHOWN AS SHOWN.

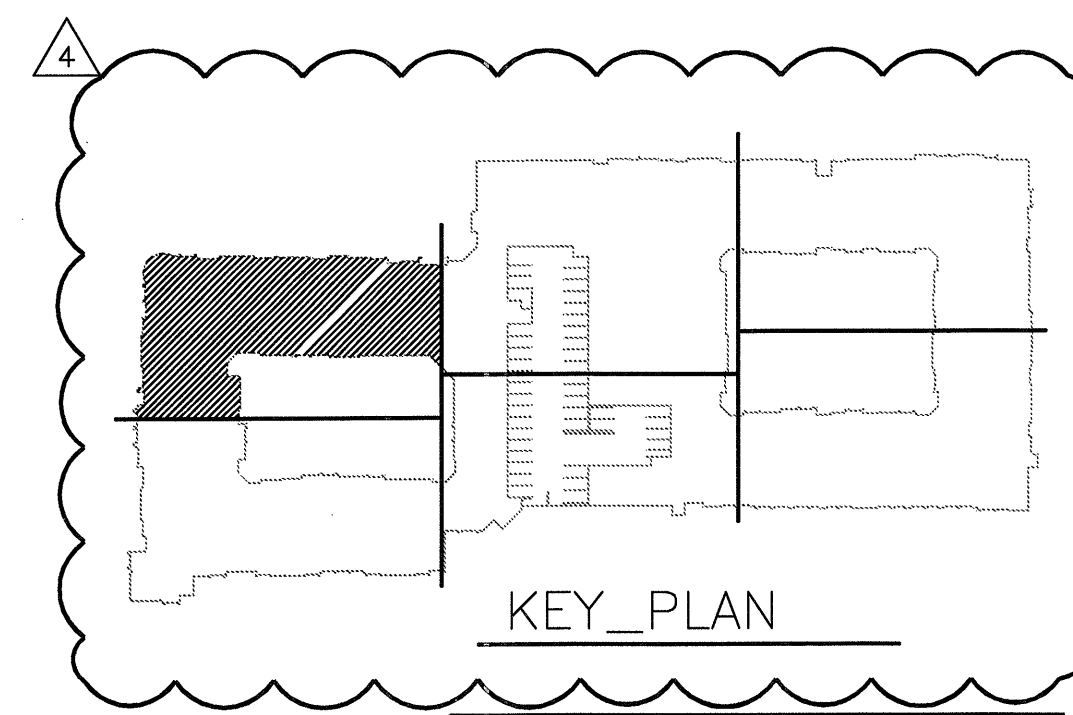
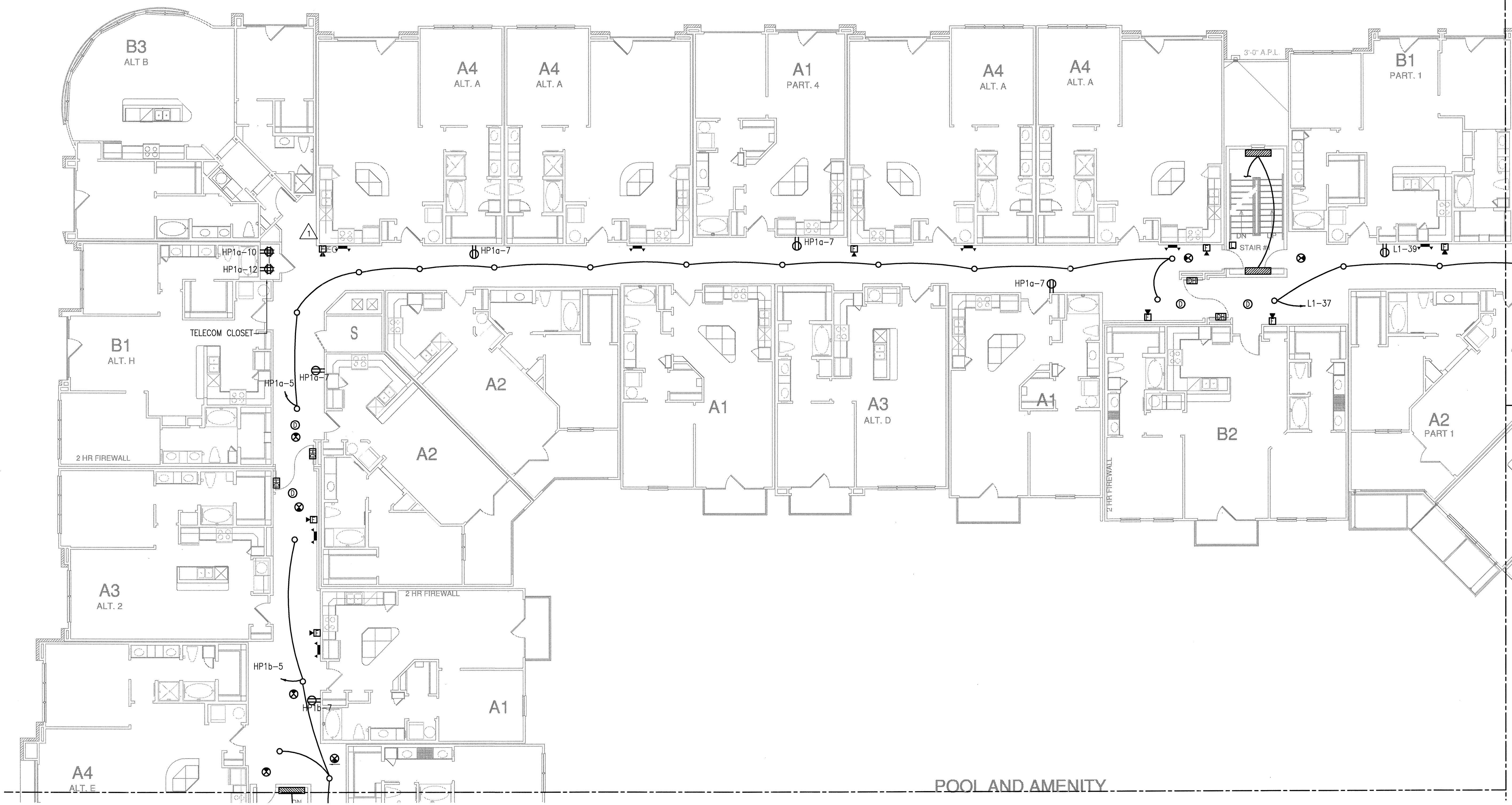
1 FLOOR PLAN -- 3-2
SCALE: 1/32" = 1'-0"



REVISIONS	
1	9-2-2011 DESIGN REVISIONS
2	9-13-2011 ANSI/FHA COMMENTS
3	9-23-2011 DESIGN REVISIONS
4	10-17-2011 CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS

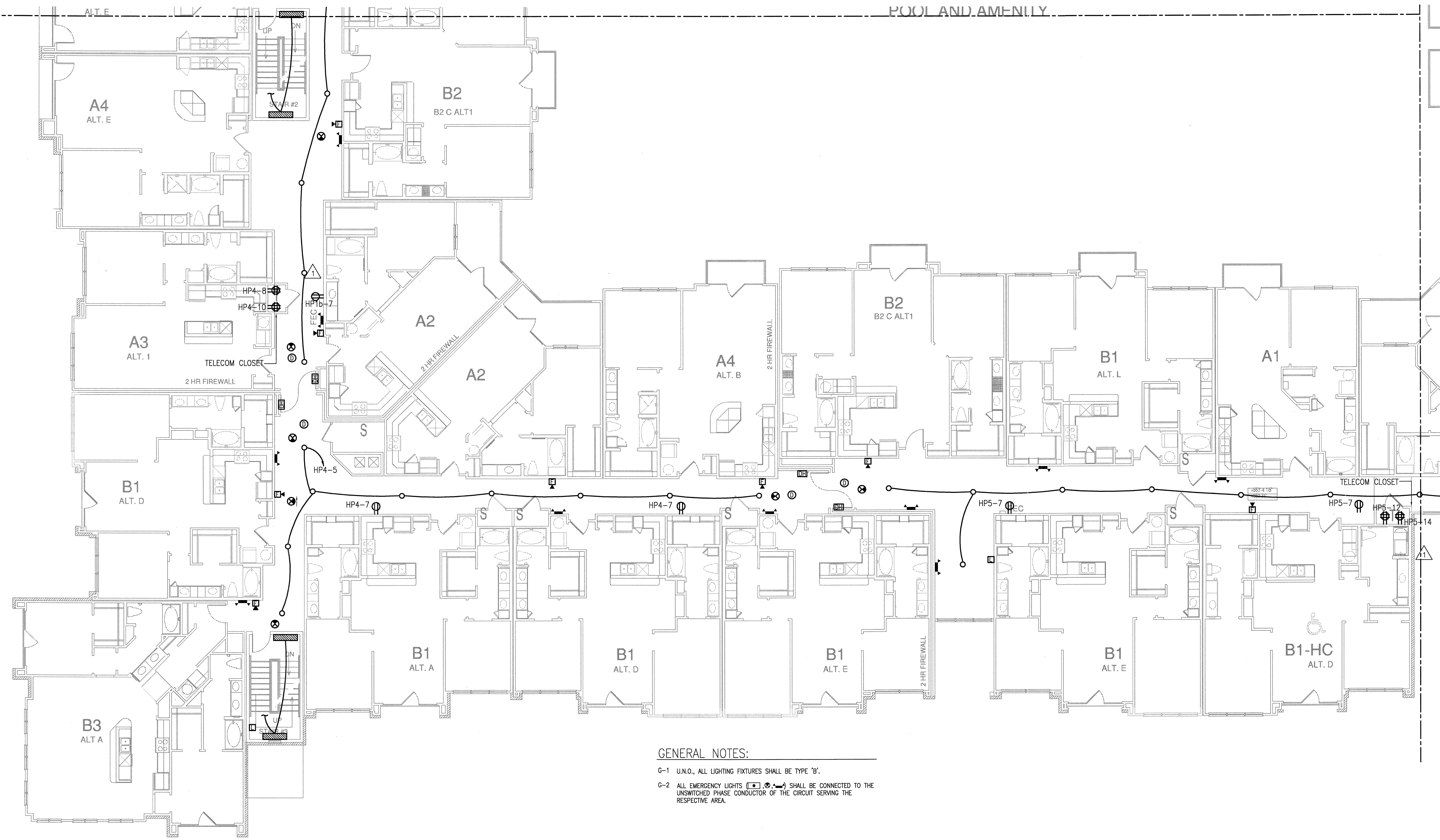


1 DIVISION 'A' SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

JSE Jordan & Skala Engineers
14210 Midway Road, Suite 570
Dallas, TX 75244-5138
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: MJ Checked By: RAD

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4144 N. Central Expy.
Suite 855
Dallas, TX 75204
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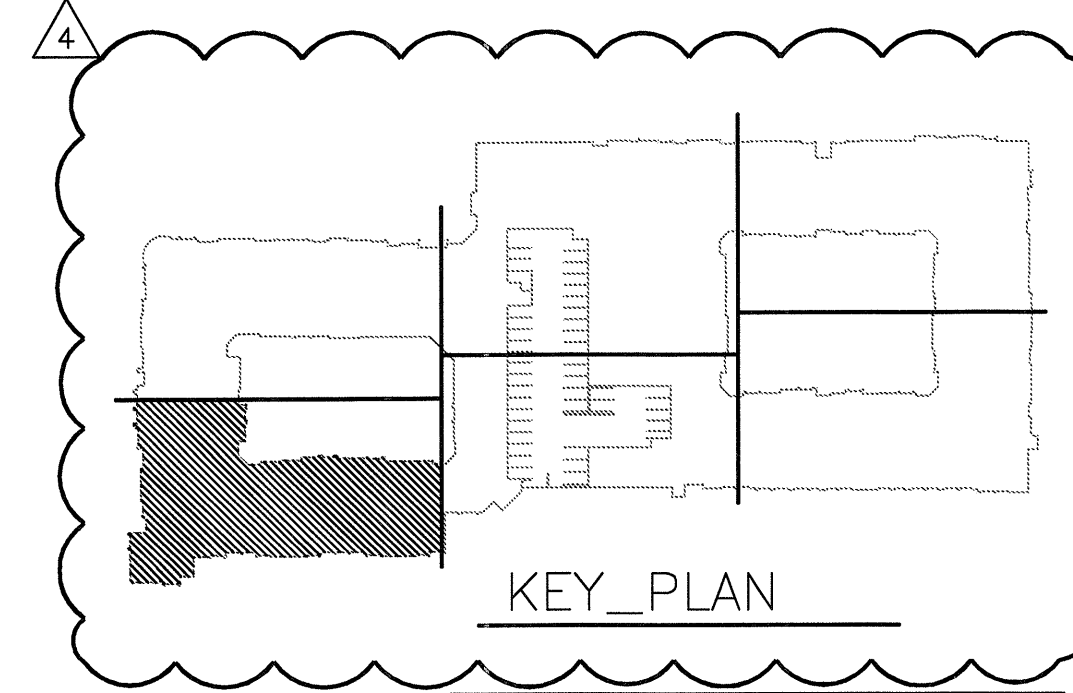
DATE	08-05-11
PROJECT	11129
SHEET NUMBER	E-3.2A



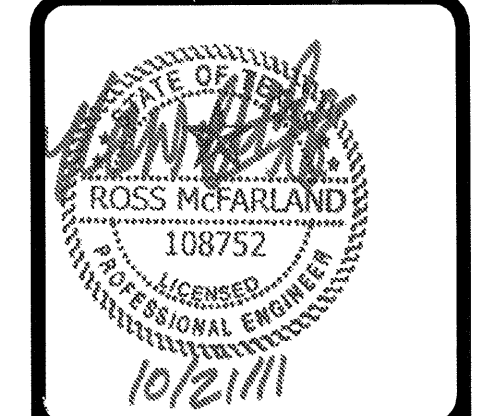
GENERAL NOTES:

G-1 U.N.O., ALL LIGHTING FIXTURES SHALL BE TYPE 'B'.

G-2 ALL EMERGENCY LIGHTS (E.L.) SHALL BE CONNECTED TO THE UNSWITCHED PHASE CONDUCTOR OF THE CIRCUIT SERVING THE RESPECTIVE AREA.



1 DIVISION 'B' SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

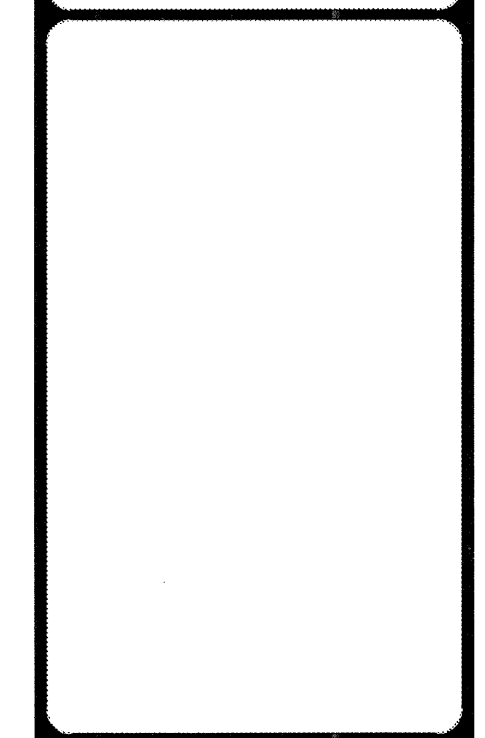


REVISIONS

1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS



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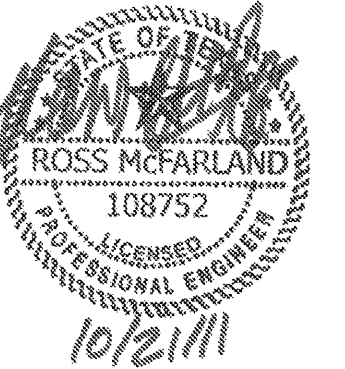
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08-05-11

PROJECT
11129

SHEET NUMBER

E-3.2B

JSE Jordan & Skala Engineers
14200 Midway Road, Suite 350
Dallas, TX 75244-5138
V: (469) 383-1616 F: (469) 383-1613
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: MJ Checked By: RAD



REVISIONS

1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS



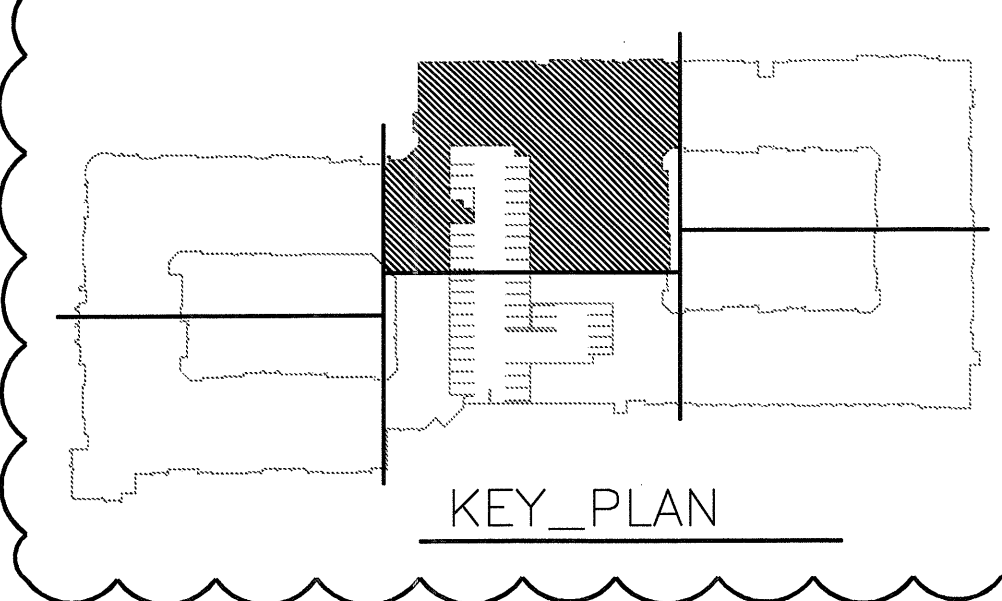
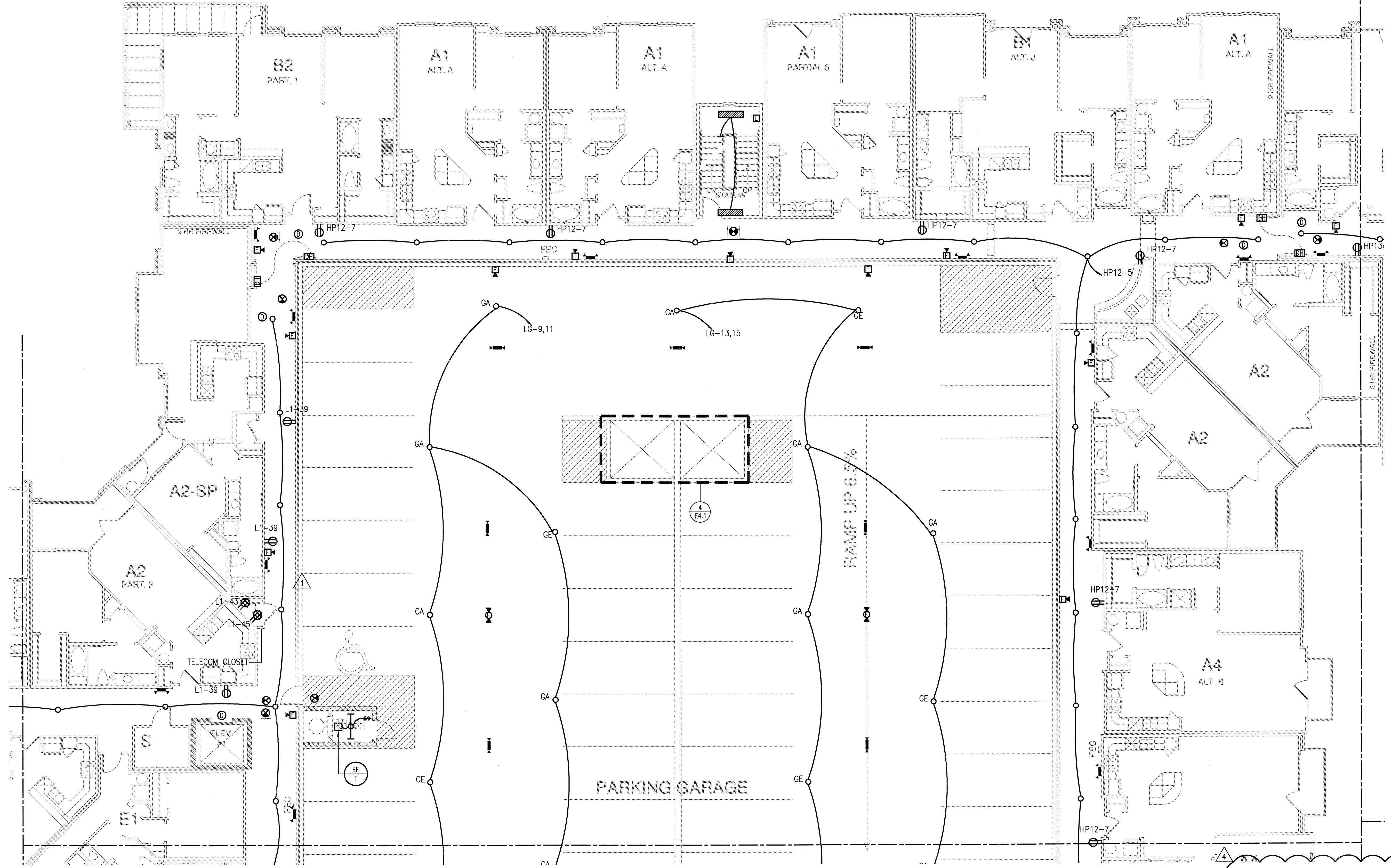
4144 N. Central Expy.
Suite 855
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08-05-11

PROJECT
11129

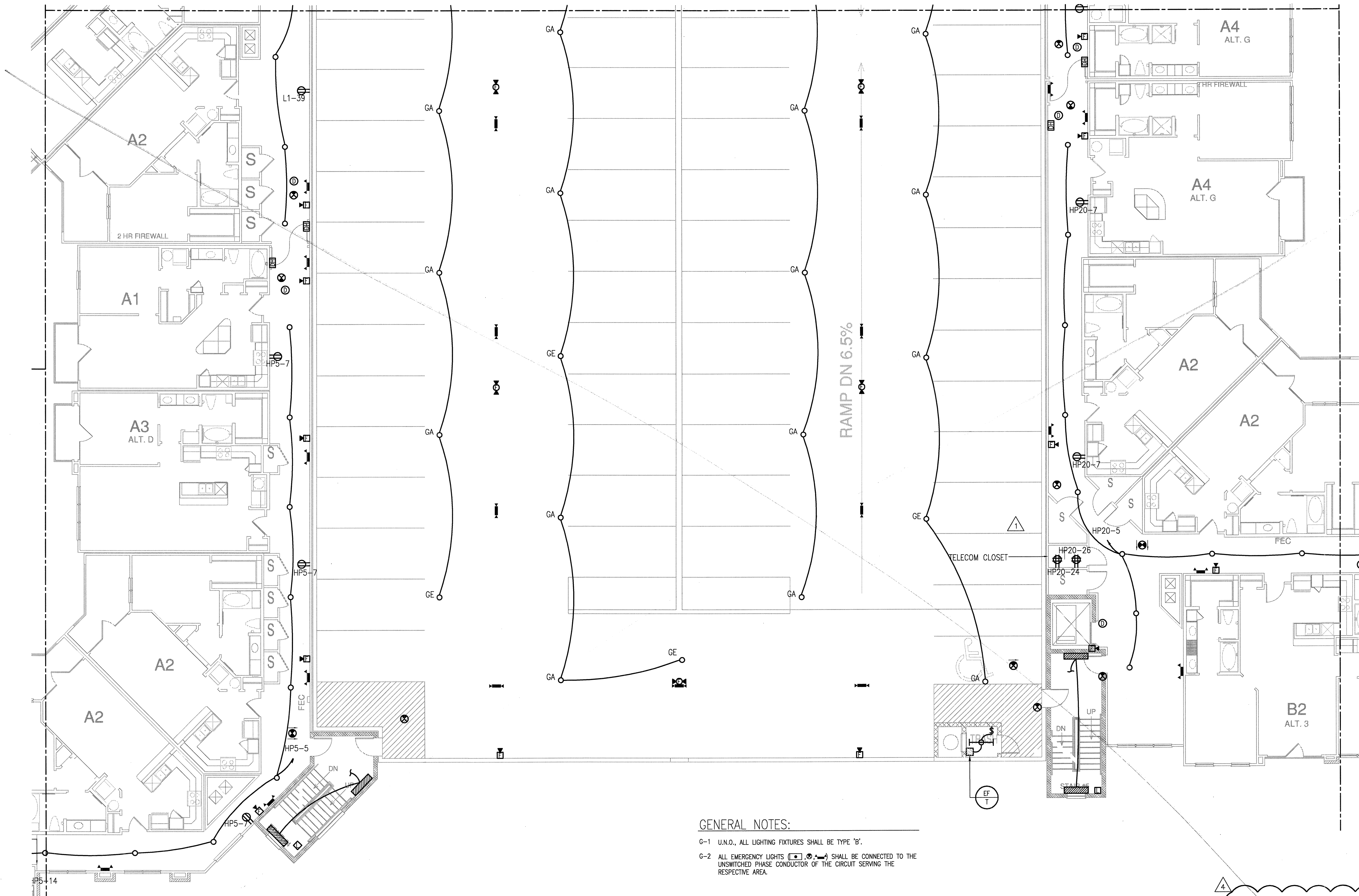
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E-3.2C



1 DIVISION 'C' SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

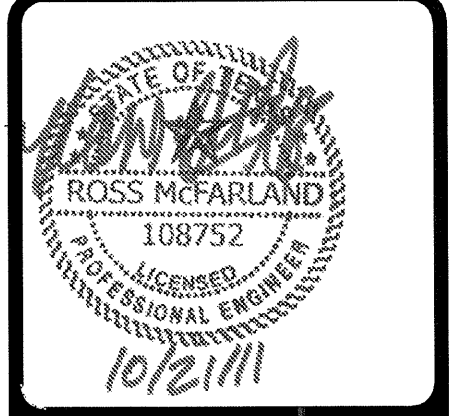
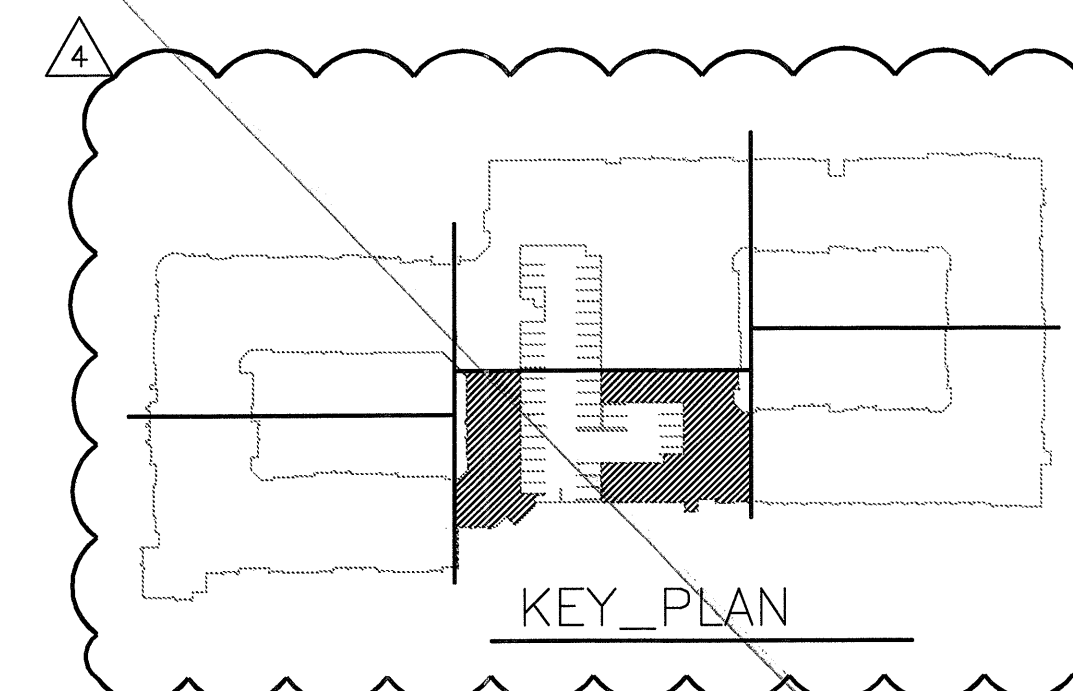
JSE Jordan & Skala Engineers
14240 Antkwy Road, Suite 350
Dallas, TX 75244-5138
P: (469) 383-1616 F: (469) 383-1615
Project Number - 111-0355 Texas Firm Registration # F-4990
Drawn By: MJ Checked By: RAD



GENERAL NOTES:

- G-1 U.N.O., ALL LIGHTING FIXTURES SHALL BE TYPE 'B'.
- G-2 ALL EMERGENCY LIGHTS (HP5-5, HP5-7, HP5-14) SHALL BE CONNECTED TO THE UNSWITCHED PHASE CONDUCTOR OF THE CIRCUIT SERVING THE RESPECTIVE AREA.

1 DIVISION 'D' SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



REVISIONS

1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS
LOFT APARTMENTS IN ADDISON, TEXAS

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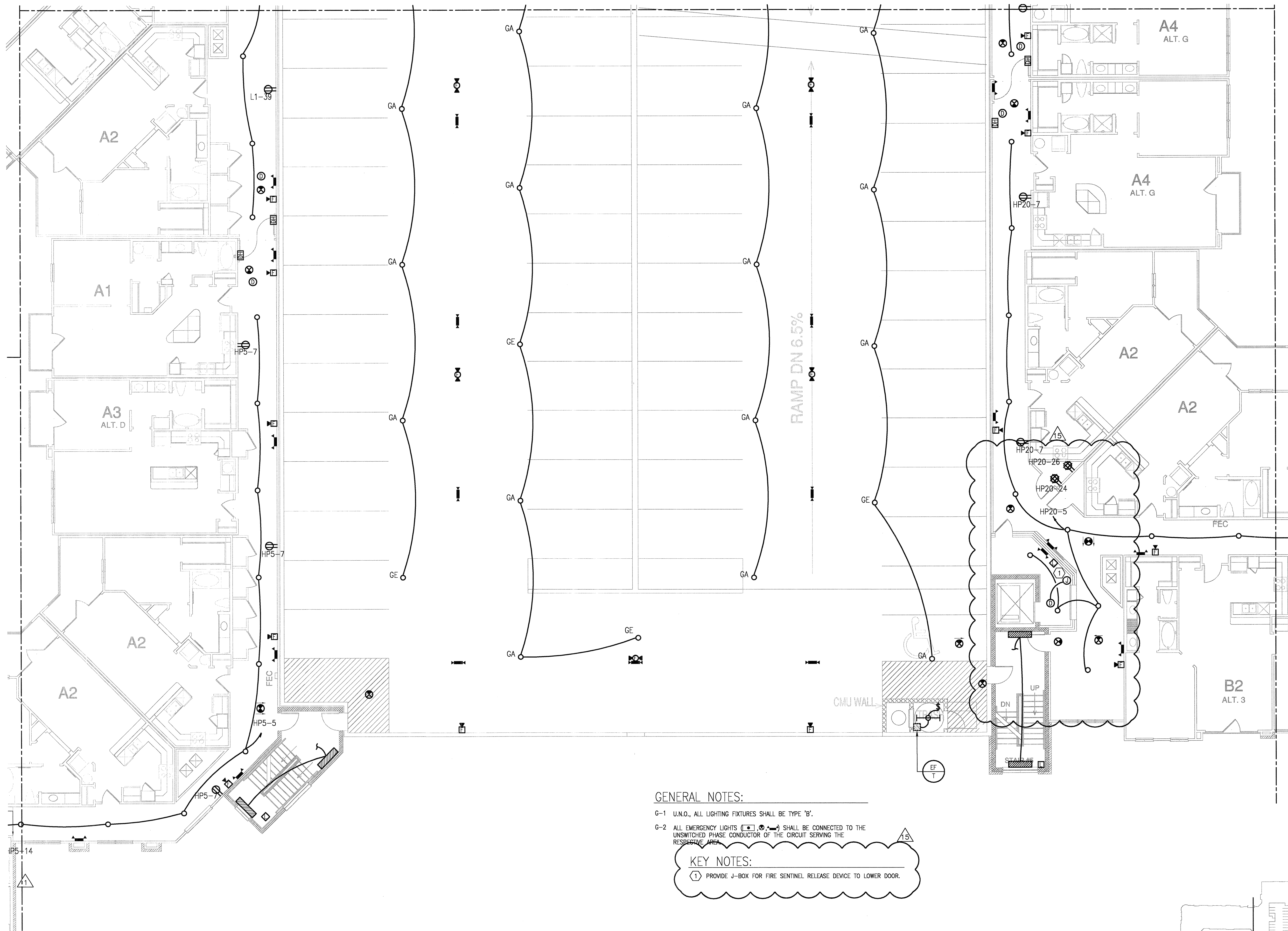
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PROJECT
11129

SHEET NUMBER

E-3.2D

JSE Jordan & Skala Engineers
14240 Midway Road, Suite 350
Dallas, TX 75244-1138
V: (469) 383-1616 F: (469) 383-1615
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: MJ Checked By: RAD

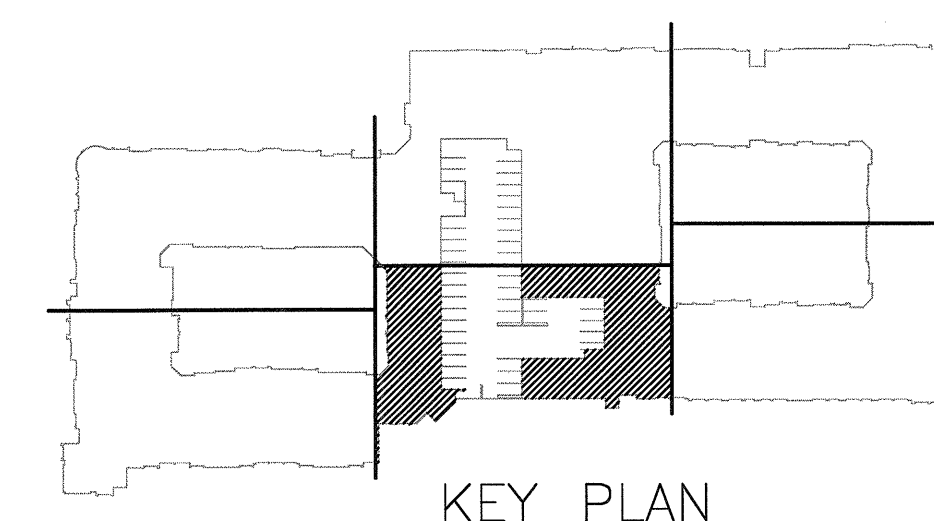


GENERAL NOTES:

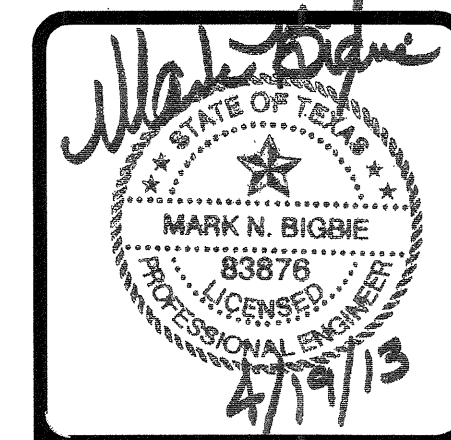
- G-1 U.N.O., ALL LIGHTING FIXTURES SHALL BE TYPE 'B'.
- G-2 ALL EMERGENCY LIGHTS (HP5-7, HP5-5, HP5-14) SHALL BE CONNECTED TO THE UNSWITCHED PHASE CONDUCTOR OF THE CIRCUIT SERVING THE RESPECTIVE AREA.

KEY NOTES:

- ① PROVIDE J-BOX FOR FIRE SENTINEL RELEASE DEVICE TO LOWER DOOR.



1 DIVISION 'D' SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



REVISIONS

1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS DESIGN REVISIONS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE
5	12-21-2011	DESIGN REVISIONS
6	1-17-2012	DESIGN REVISIONS
7	2-15-2012	TRANSFORMER REVISIONS
8	3-27-2012	CLUBHOUSE REVISIONS
9	4-17-2012	COORDINATION

KELLER SPRINGS LOFTS
LOFT APARTMENTS IN ADDISON, TEXAS

10	5-15-2012	COORDINATION
11	5-30-2012	SITE COORDINATION
12	6-01-12	LIGHTING REVISIONS
13	6-29-12	SITE COORDINATION
14	9-05-12	CLUB REVISIONS
15	4-19-13	EL. LOBBY REVIONS

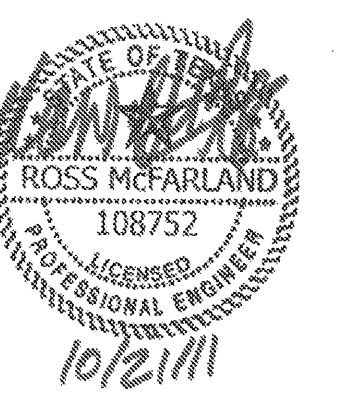
BGO architects
4144 N. Central Expy.
Suite 855
Dallas, TX 75204
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DATE
08-05-11

PROJECT
11129

SHEET NUMBER
E-3.2D

JSE Jordan & Skala Engineers
17855 N. Dallas Parkway, Suite 320
Dallas, TX 75287-6657
V: (469) 385-1616 F: (469) 385-1615
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: MJ Checked By: RAD



REVISIONS	
1	9-2-2011 DESIGN REVISIONS
2	9-13-2011 ANSI/FHA COMMENTS
3	9-23-2011 DESIGN REVISIONS
4	10-17-2011 CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS

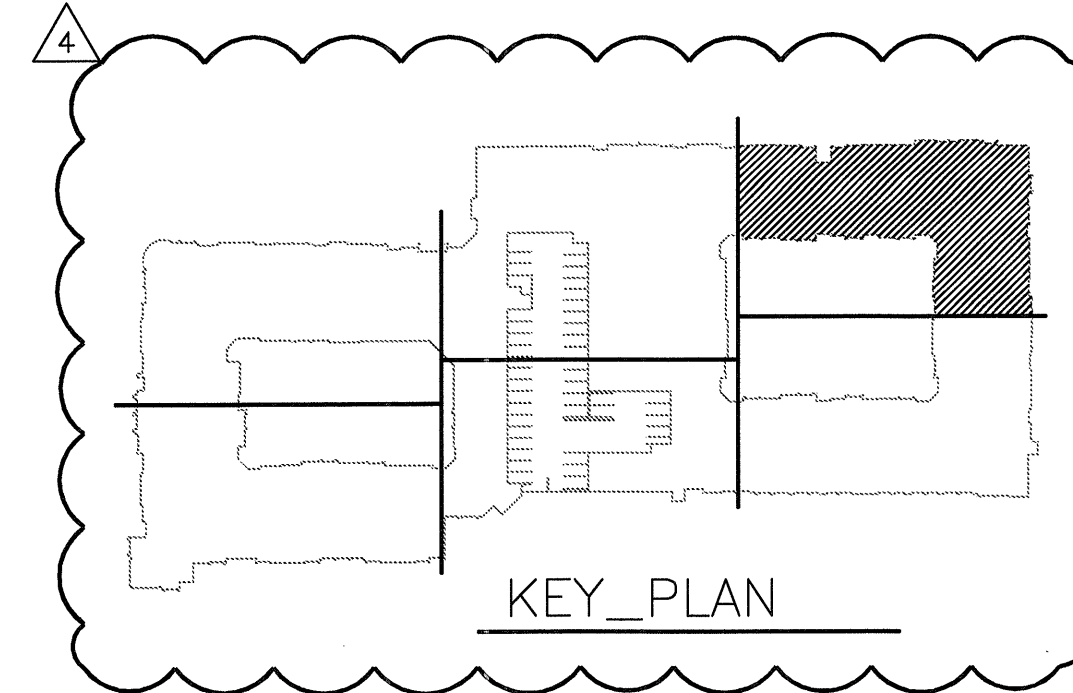
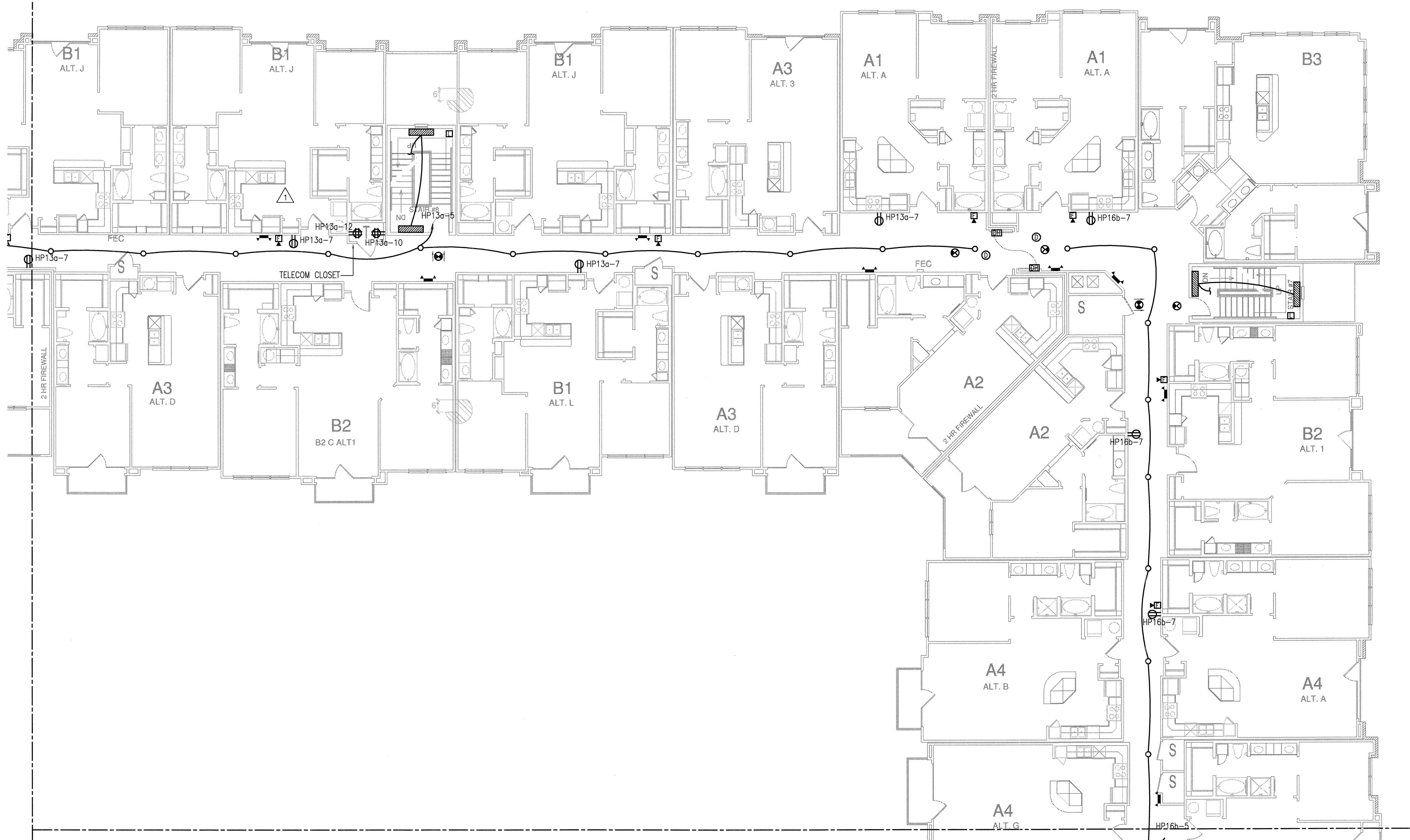
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4144 N. Central Exp.
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08-05-11

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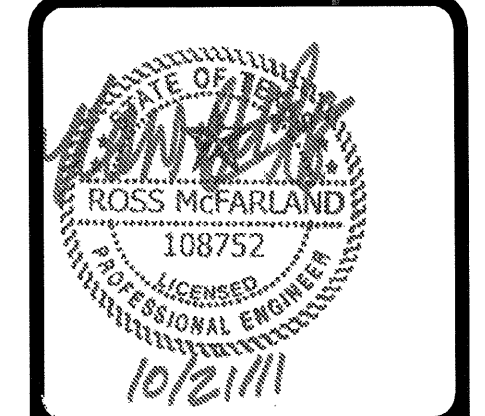
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E-3.2E



JSE Jordan & Skala Engineers
14240 Midway Road, Suite 350
Dallas, TX 75244-5138
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: MJ Checked By: RAD

1 DIVISION 'E' SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

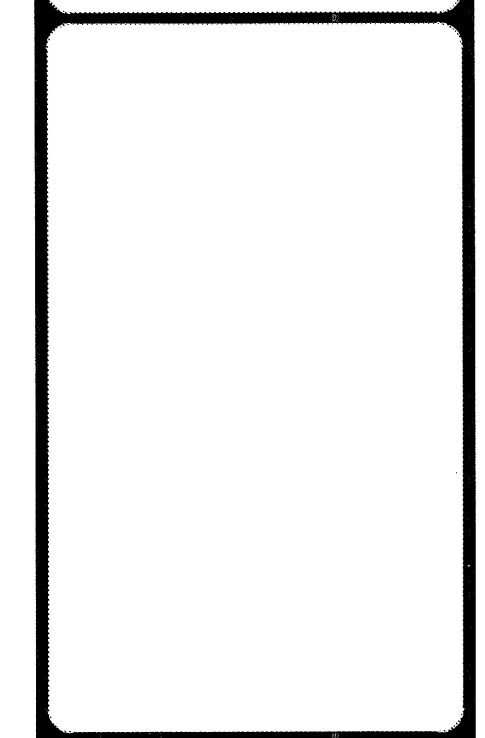


REVISIONS

1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS



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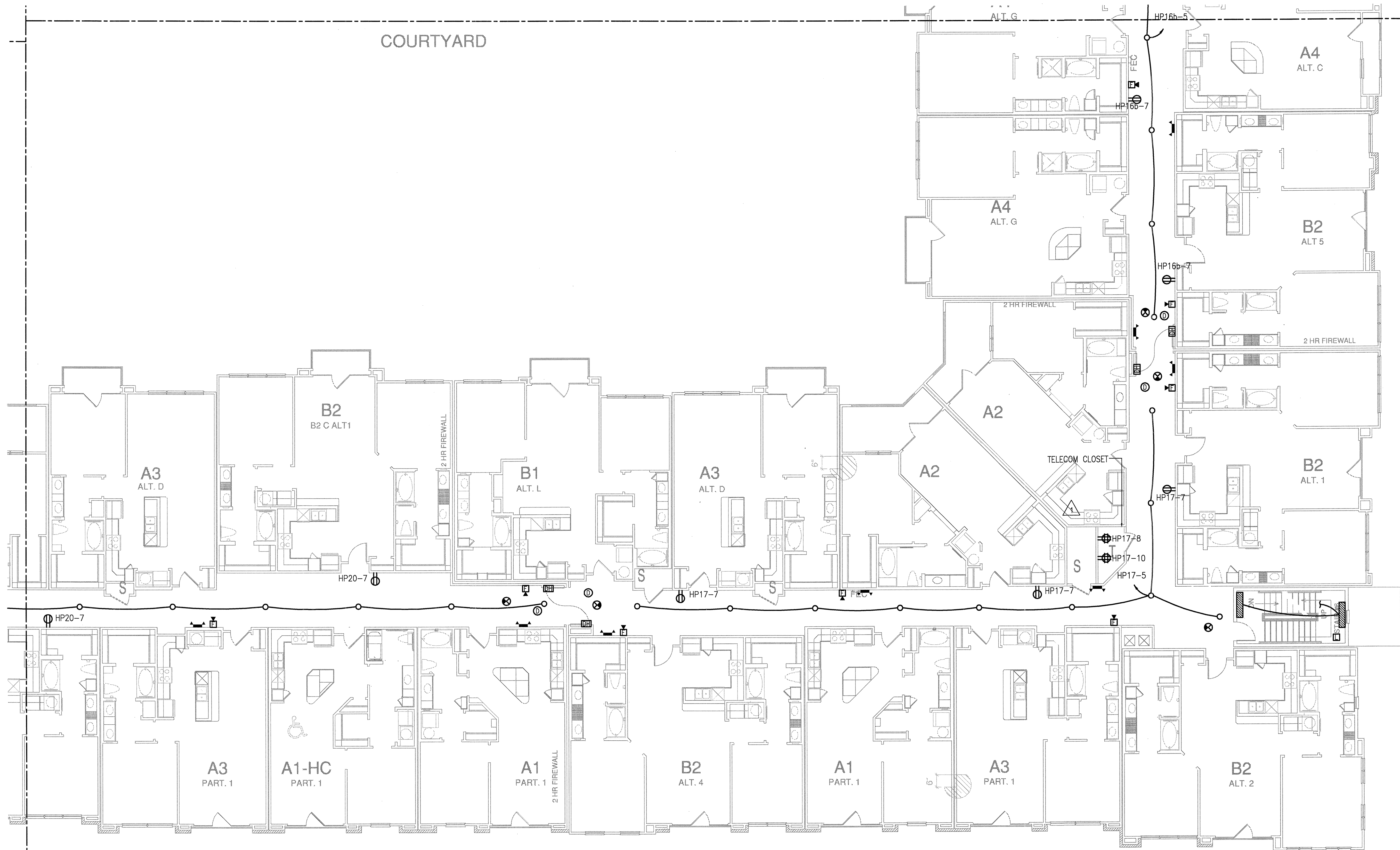
4144 N. Central Exp.
Suite 855
Dallas, TX 75204
214.520.8878
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08-05-11

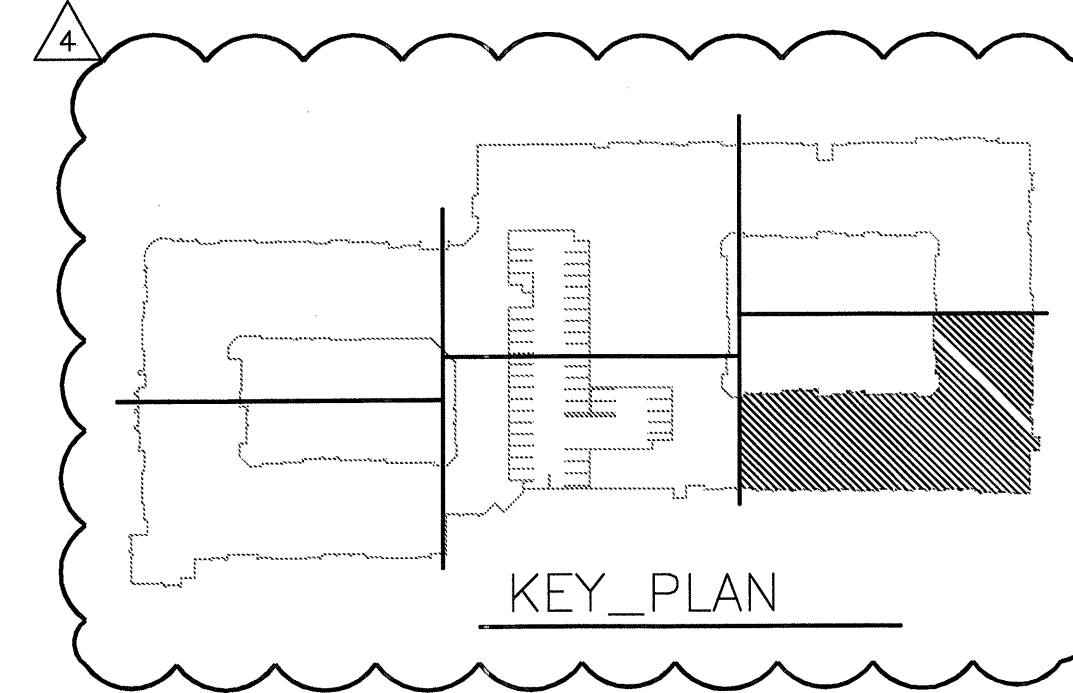
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SHEET NUMBER

E-3.2F



GENERAL NOTES:

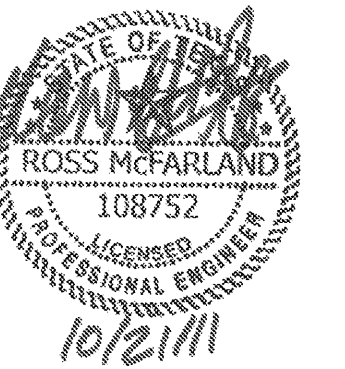


JSE Jordan & Skala Engineers

14240 Midway Road, Suite 350
Dallas, TX 75244-5139
Tel: (469) 385-1618, Fax: (469) 385-1613

Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: MJ Checked By: RAD

1 DIVISION 'F' SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

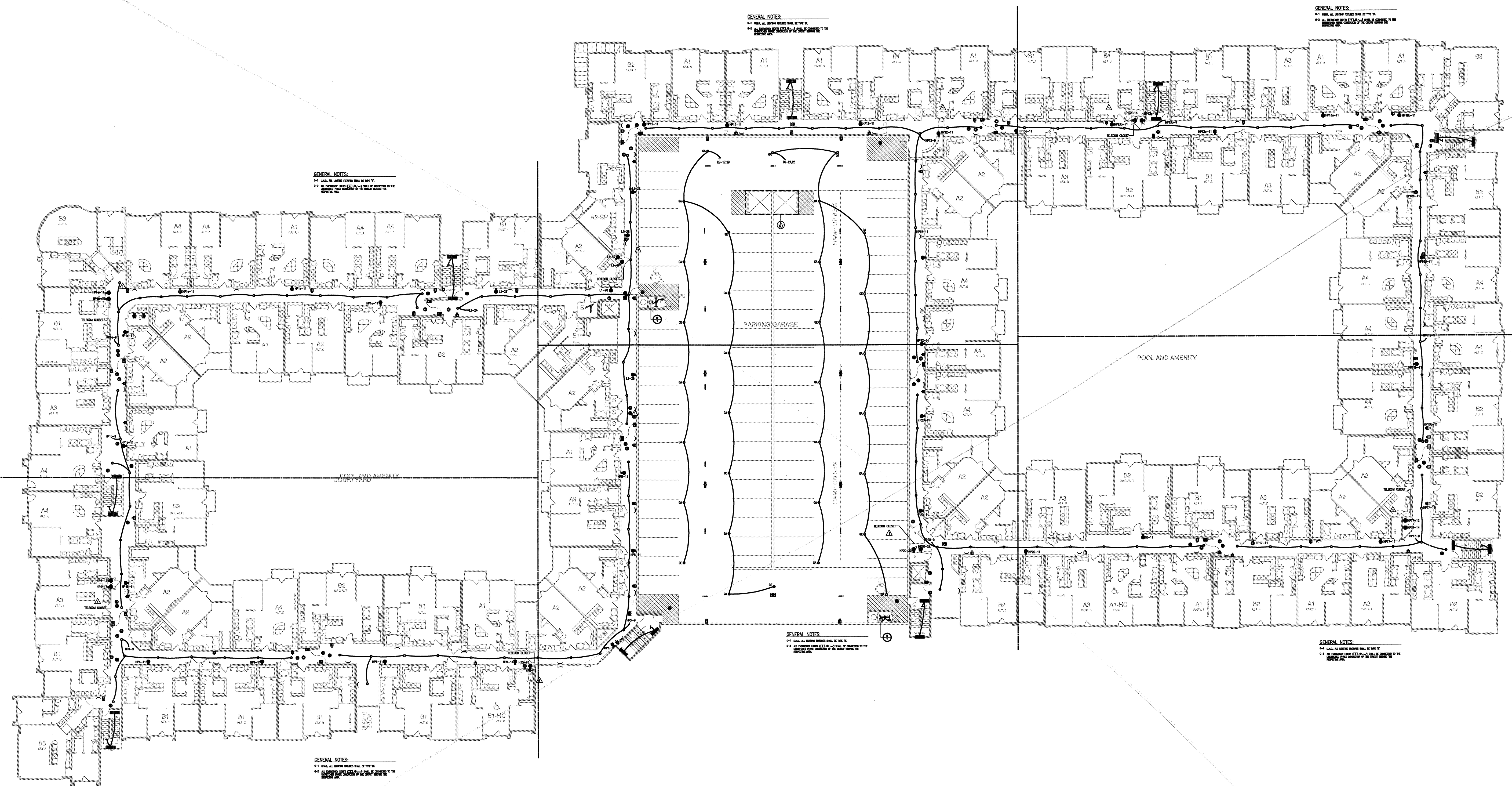


REVISIONS

1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS



1 FLOOR PLAN - 3-3
SCALE: 1/32" = 1'-0"



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Suite 855
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214.520.8878
bgoarchitects.com

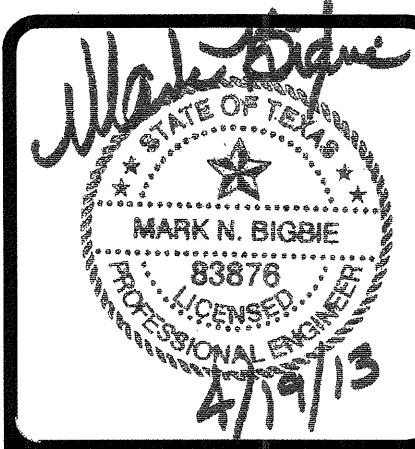
DATE
08-05-11

PROJECT
11129

SHEET NUMBER

E-3.3

JSE Jordan & Skala Engineers
14240 Midway Road, Suite 350
Dallas, TX 75244-5138
Phone: 972-161-9100 | Fax: 972-161-9110
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: MJ Checked By: RAD



REVISIONS	
1	9-2-2011 DESIGN REVISIONS
2	9-13-2011 ANSI/FHA COMMENTS DESIGN REVISIONS
3	9-23-2011 DESIGN REVISIONS
4	10-17-2011 CONSTRUCTION ISSUE
5	12-21-2011 DESIGN REVISIONS
6	1-17-2012 DESIGN REVISIONS
7	2-15-2012 TRANSFORMER REVISIONS
8	3-27-2012 CLUBHOUSE REVISIONS
9	4-17-2012 COORDINATION

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS

10	5-15-2012 COORDINATION
11	5-30-2012 SITE COORDINATION
12	6-01-12 LIGHTING REVISIONS
13	6-29-12 SITE COORDINATION
14	9-05-12 CLUB REVISIONS
15	4-19-13 EL. LOBBY REVISIONS

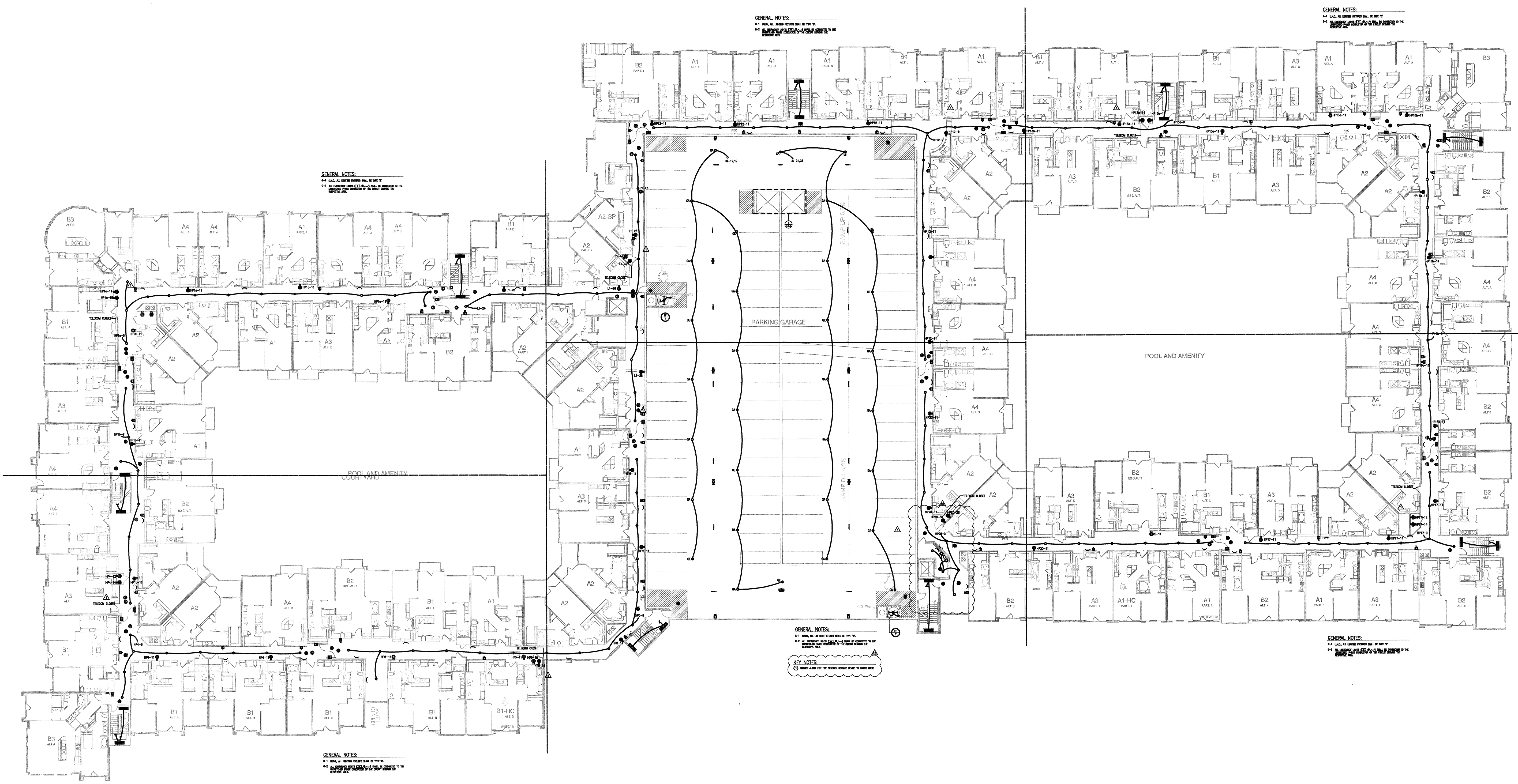
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4144 N. Central Expy.
Suite 855
Dallas, TX 75204
214.520.8878
bgoarchitects.com

DATE
08-05-11

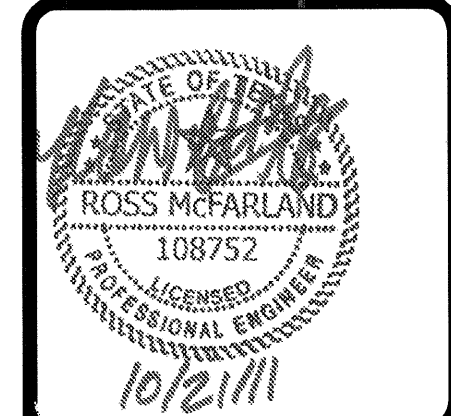
PROJECT
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SHEET NUMBER
E-3.3



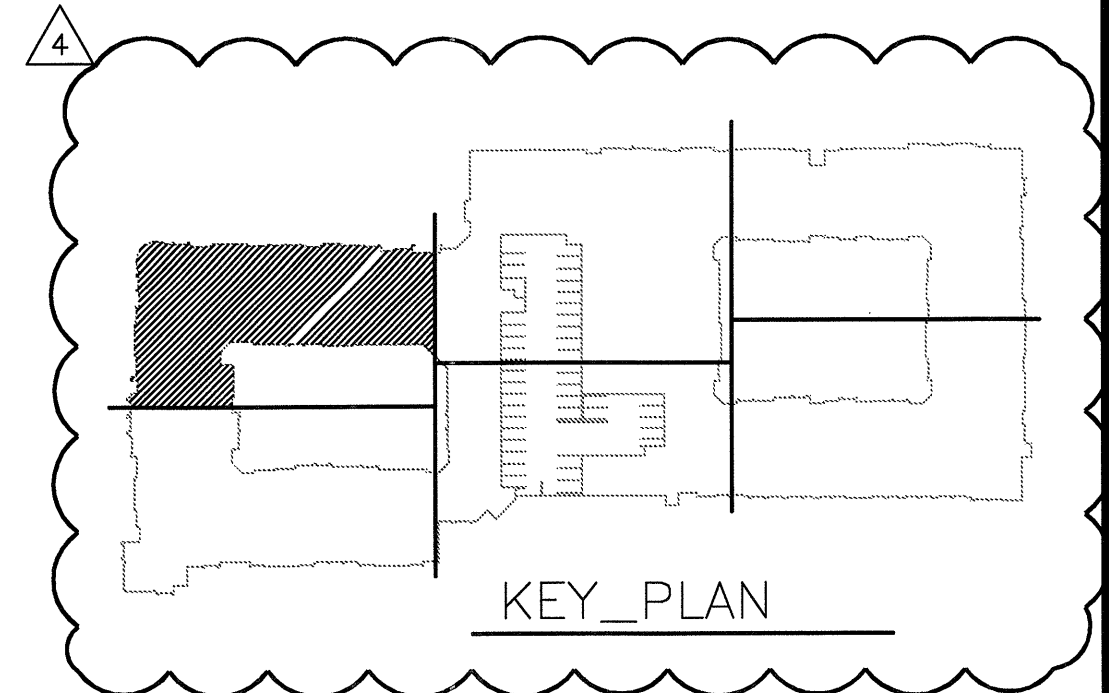
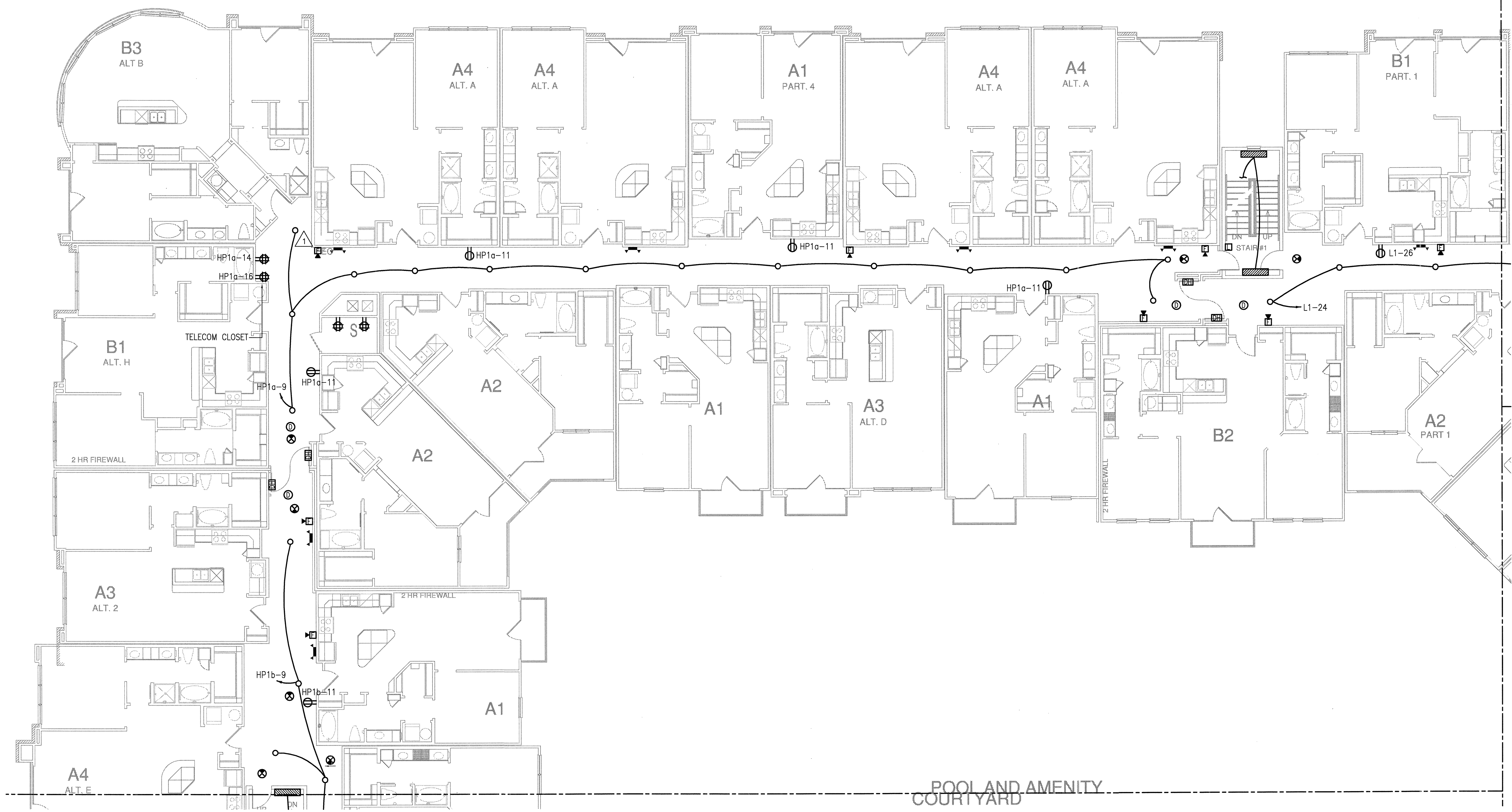
1 FLOOR PLAN - 3-3
SCALE: 1/32" = 1'-0"

JSE Jordan & Skala Engineers
17855 N. Dallas Parkway, Suite 320
Dallas, TX 75248-6957
V: (469) 385-1616 F: (469) 385-1615
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: MJ Checked By: RAD



REVISIONS	
1	9-2-2011 DESIGN REVISIONS
2	9-13-2011 ANSI/FHA COMMENTS
3	9-23-2011 DESIGN REVISIONS
4	10-17-2011 CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS
LOFT APARTMENTS IN ADDISON, TEXAS



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DATE
08-05-11

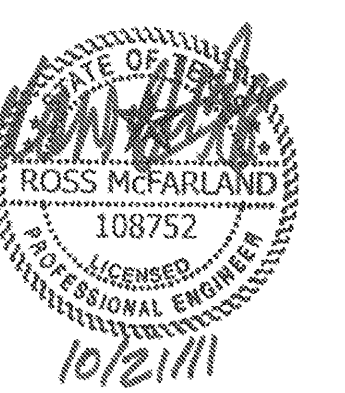
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SHEET NUMBER

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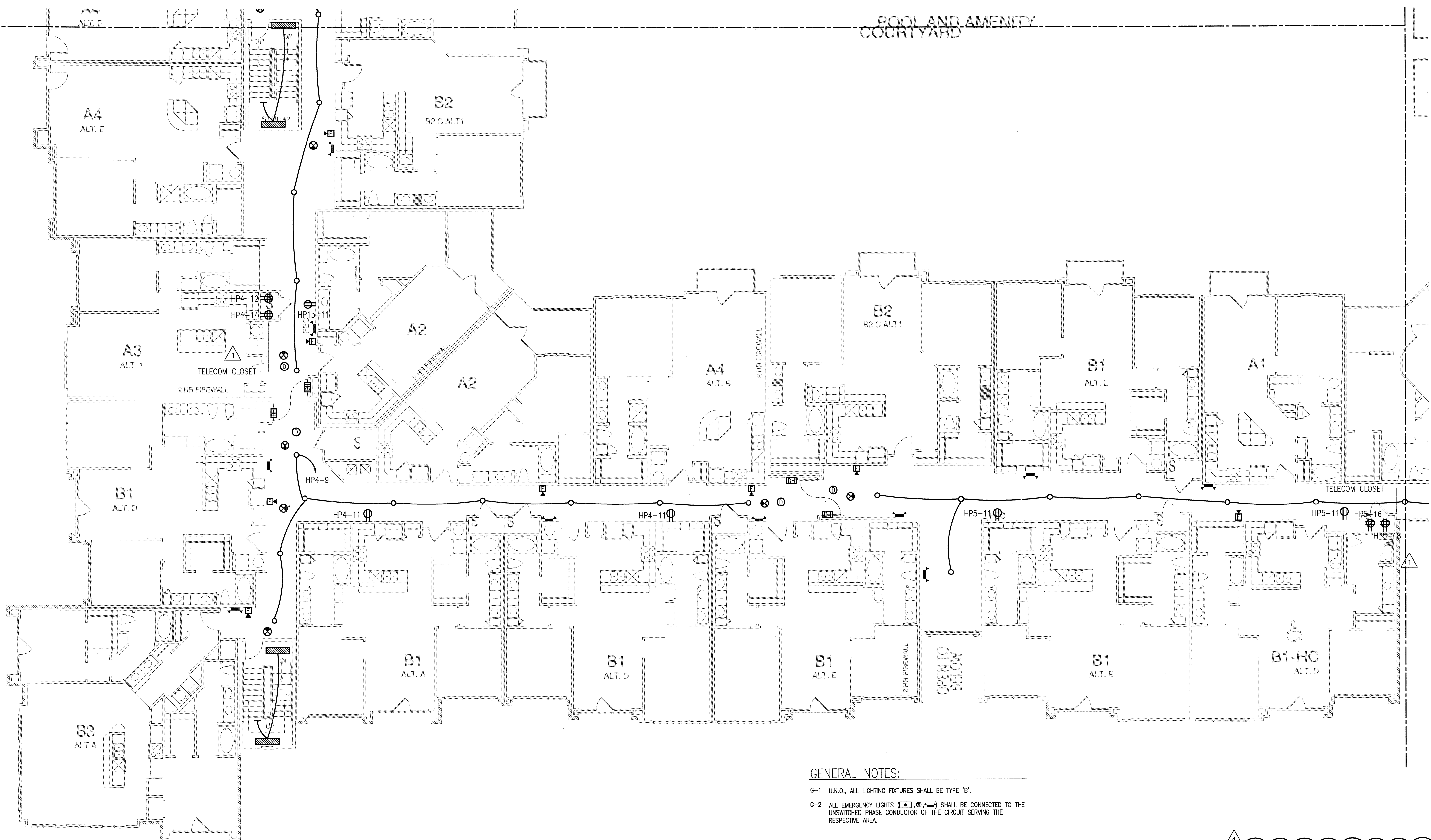
JSE Jordan & Skala Engineers
14240 Midway Road, Suite 350
Dallas, TX 75244-2138
V: 646.983.1615 F: 646.983.1615
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: MJ Checked By: RAD

1 DIVISION 'A' THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"



REVISIONS	
1	9-2-2011 DESIGN REVISIONS
2	9-13-2011 ANSI/FHA COMMENTS
3	9-23-2011 DESIGN REVISIONS
4	10-17-2011 CONSTRUCTION ISSUE

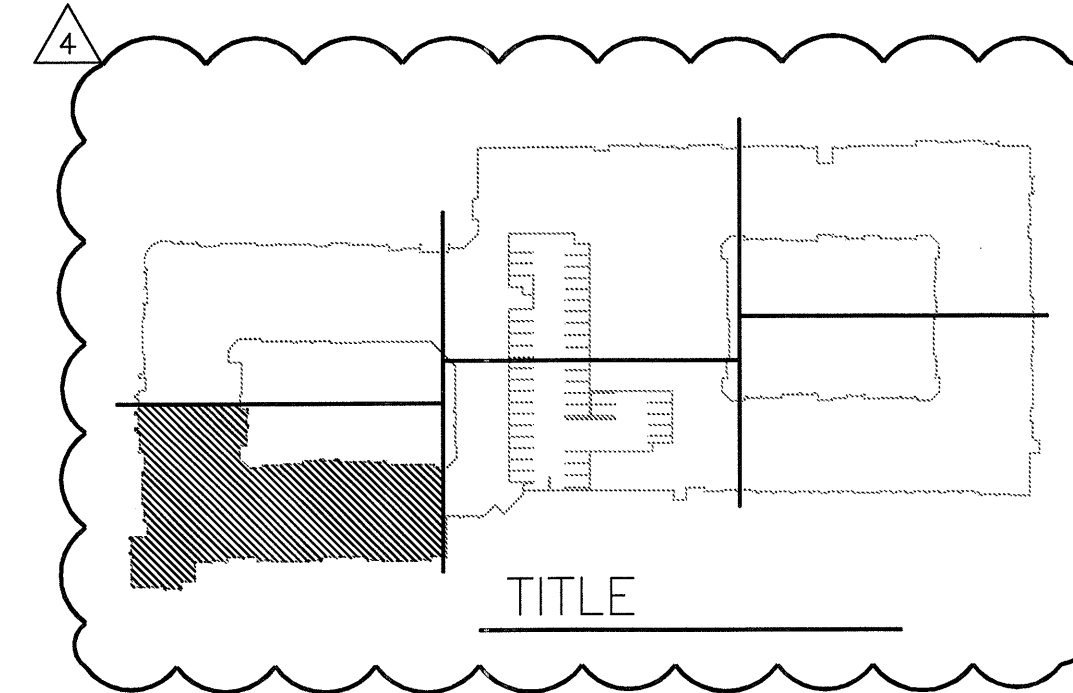
KELLER SPRINGS LOFTS
LOFT APARTMENTS IN ADDISON, TEXAS



GENERAL NOTES:

G-1 U.N.O., ALL LIGHTING FIXTURES SHALL BE TYPE 'B'.

G-2 ALL EMERGENCY LIGHTS (E.L.) SHALL BE CONNECTED TO THE UNSWITCHED PHASE CONDUCTOR OF THE CIRCUIT SERVING THE RESPECTIVE AREA.



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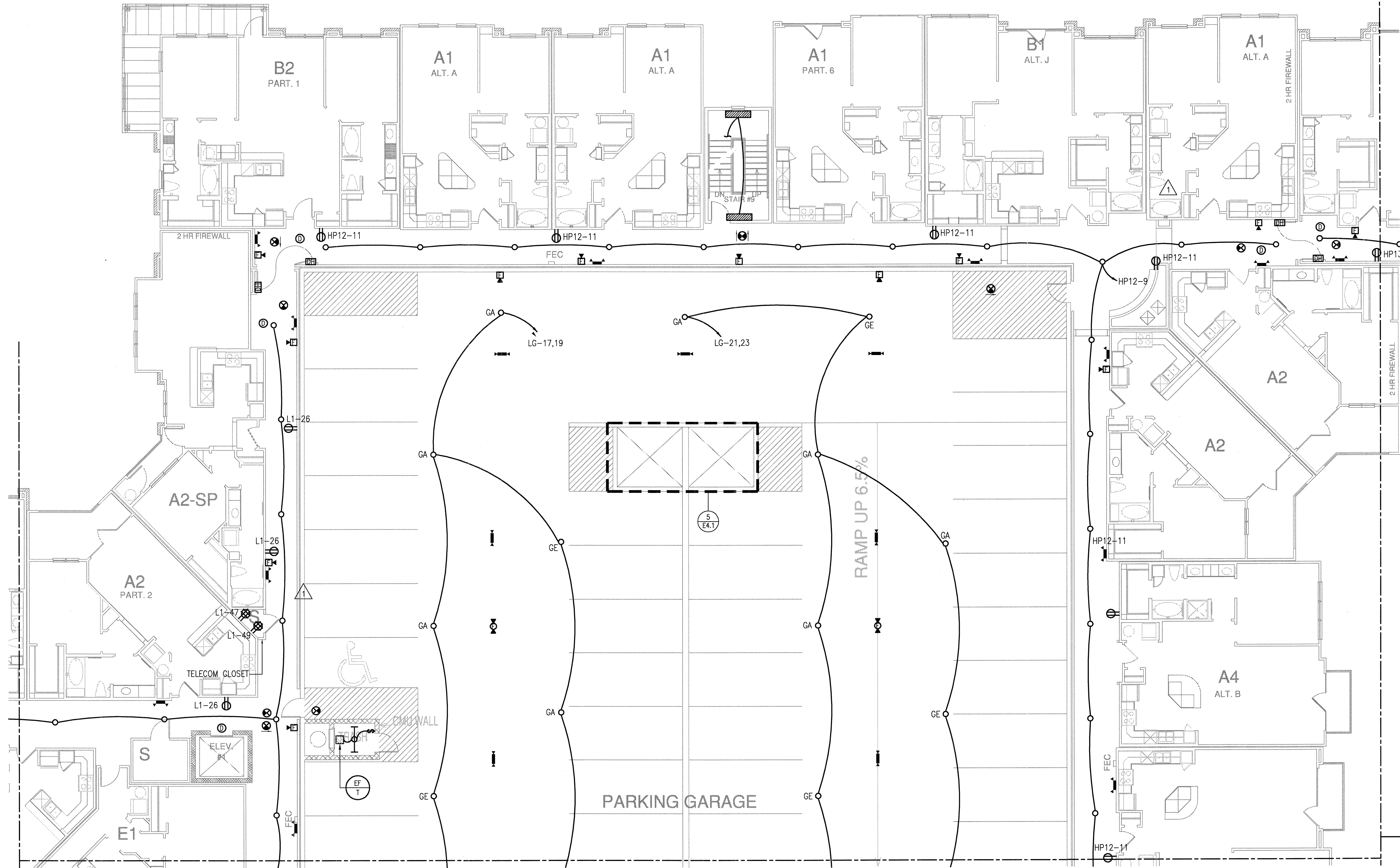
PROJECT
11129

SHEET NUMBER

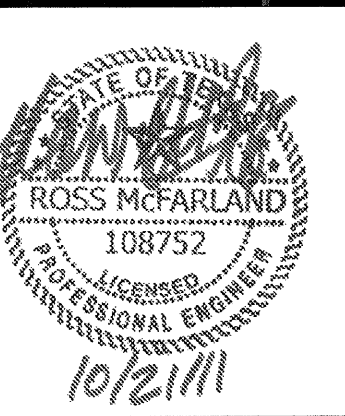
E-3.3B

1 DIVISION 'B' THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

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Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: MJ Checked By: RAD



1 DIVISION 'C' THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"



REVISIONS

1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE

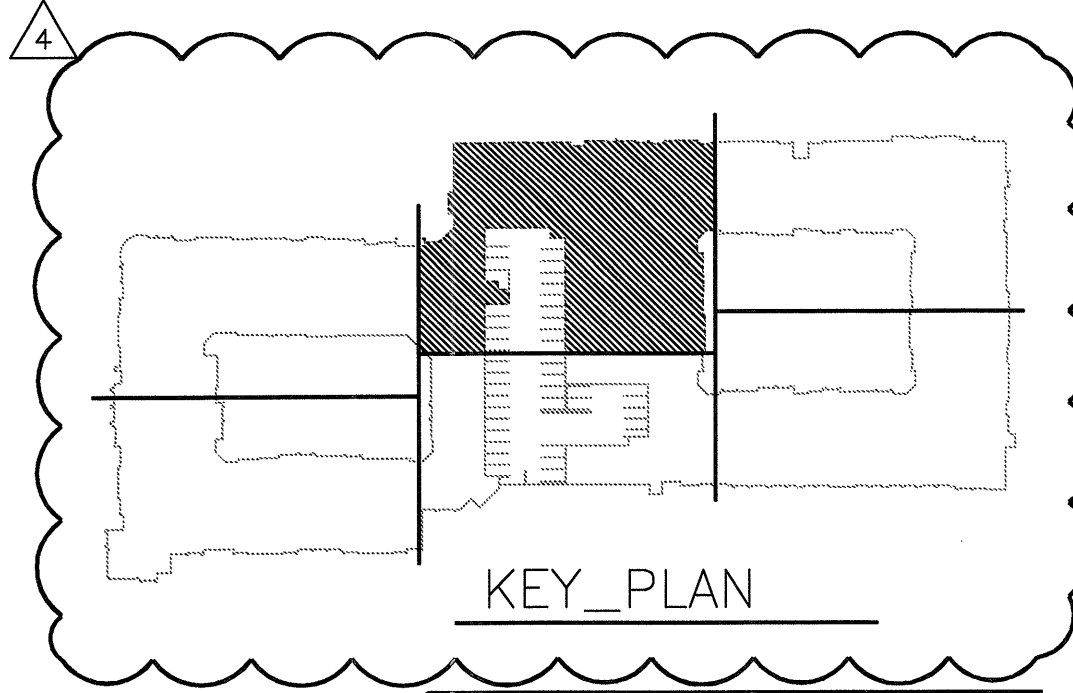
KELLER SPRINGS LOFTS
LOFT APARTMENTS IN ADDISON, TEXAS

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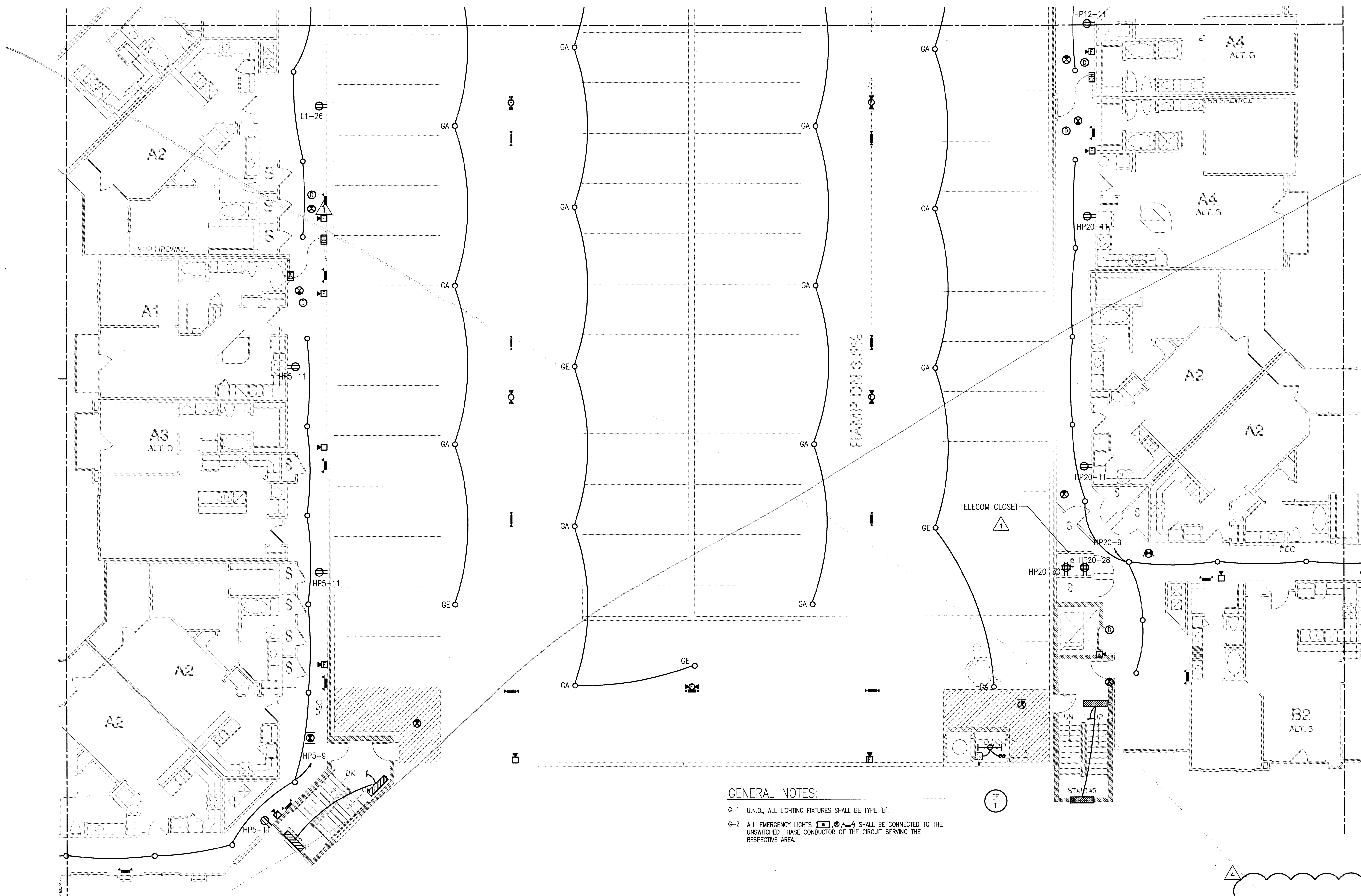
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PROJECT
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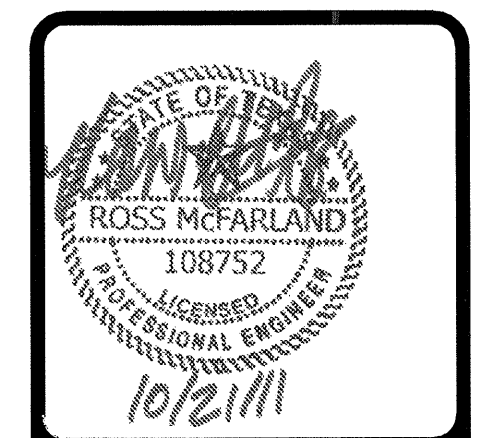


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v: (469) 383-1616 f: (469) 383-1615
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: MJ Checked By: RAD



GENERAL NOTES:

- G-1 U.N.O., ALL LIGHTING FIXTURES SHALL BE TYPE 'B'.
- G-2 ALL EMERGENCY LIGHTS (E) SHALL BE CONNECTED TO THE UNSWITCHED PHASE CONDUCTOR OF THE CIRCUIT SERVING THE RESPECTIVE AREA.



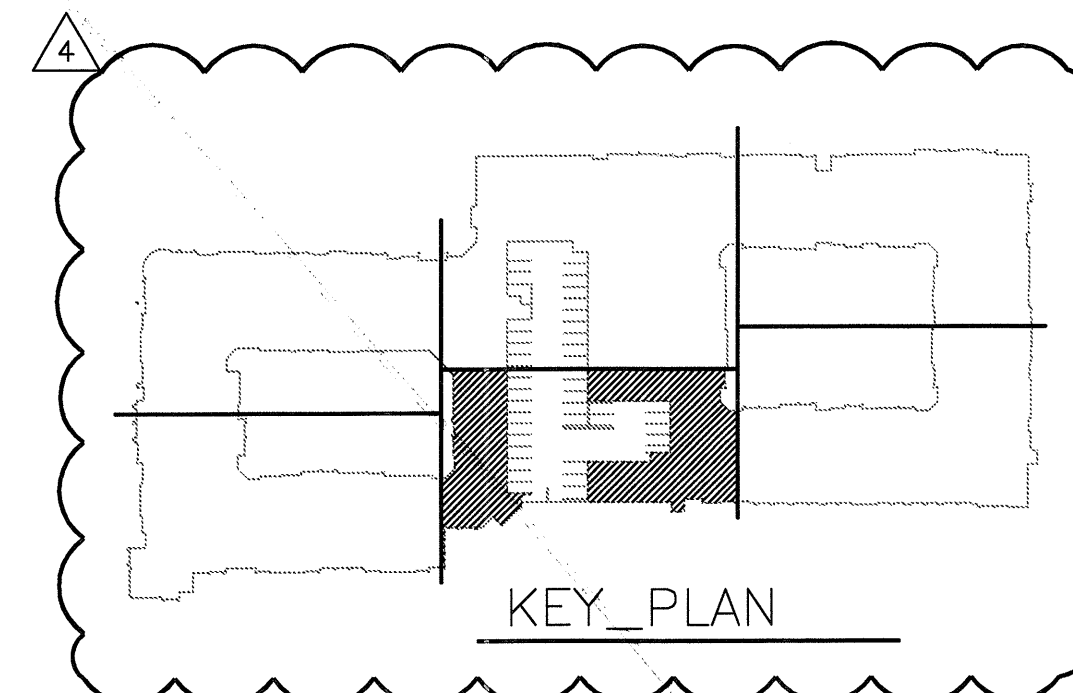
REVISIONS	
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2	9-13-2011 ANS/FHA COMMENTS
3	9-23-2011 DESIGN REVISIONS
4	10-17-2011 CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS

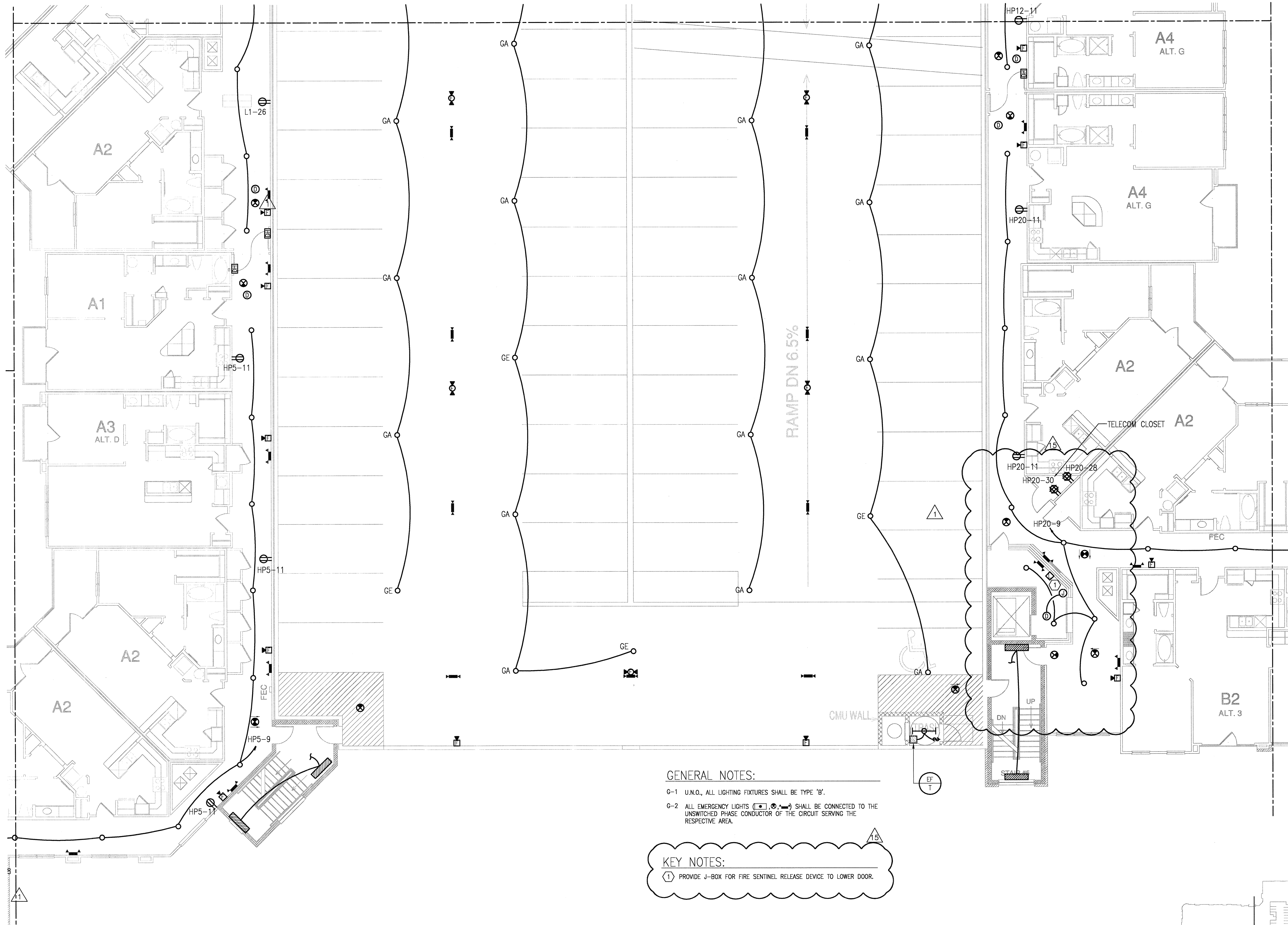
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PROJECT	11129
SHEET NUMBER	E-3.3D



JSE Jordan & Skala Engineers
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 Dallas, TX 75244-0139
 Project Number - 113-0355 Texas Firm Registration # F-4990
 Drawn By: MJ Checked By: RAD

1 DIVISION 'D' THIRD FLOOR PLAN
 SCALE: 1/8" = 1'-0"

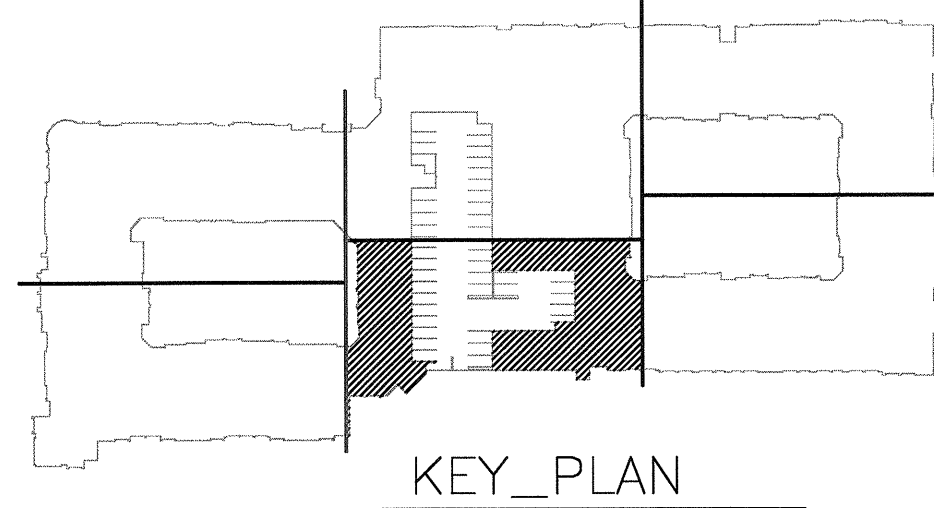


GENERAL NOTES:

- G-1 U.N.O., ALL LIGHTING FIXTURES SHALL BE TYPE 'B'.
- G-2 ALL EMERGENCY LIGHTS (EL) SHALL BE CONNECTED TO THE UNSWITCHED PHASE CONDUCTOR OF THE CIRCUIT SERVING THE RESPECTIVE AREA.

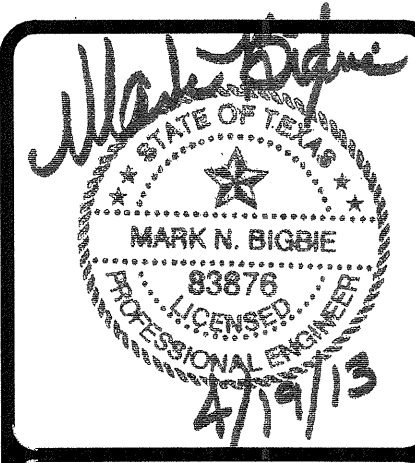
KEY NOTES:

- (1) PROVIDE J-BOX FOR FIRE SENTINEL RELEASE DEVICE TO LOWER DOOR.



KEY_PLAN

1 DIVISION 'D' THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"



REVISIONS

1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE
5	12-21-2011	DESIGN REVISIONS
6	1-17-2012	DESIGN REVISIONS
7	2-15-2012	TRANSFORMER REVISIONS
8	3-27-2012	CLUBHOUSE REVISIONS
9	4-17-2012	COORDINATION

KELLER SPRINGS LOFTS
LOFT APARTMENTS IN ADDISON, TEXAS

10	5-15-2012	COORDINATION
11	5-30-2012	SITE COORDINATION
12	6-01-12	LIGHTING REVISIONS
13	6-29-12	SITE COORDINATION
14	9-05-12	CLUB REVISIONS
15	4-19-13	EL, LOBBY REVONS

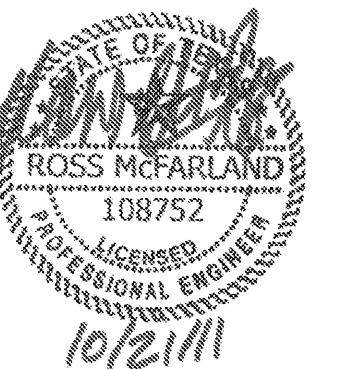
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SHEET NUMBER
E-3.3D

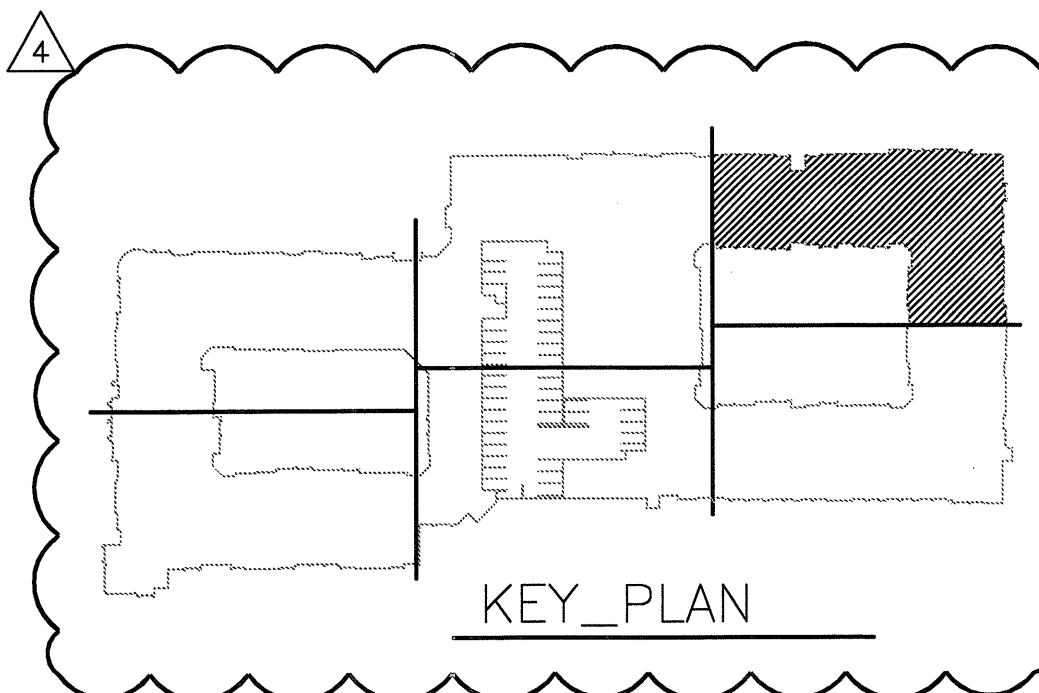
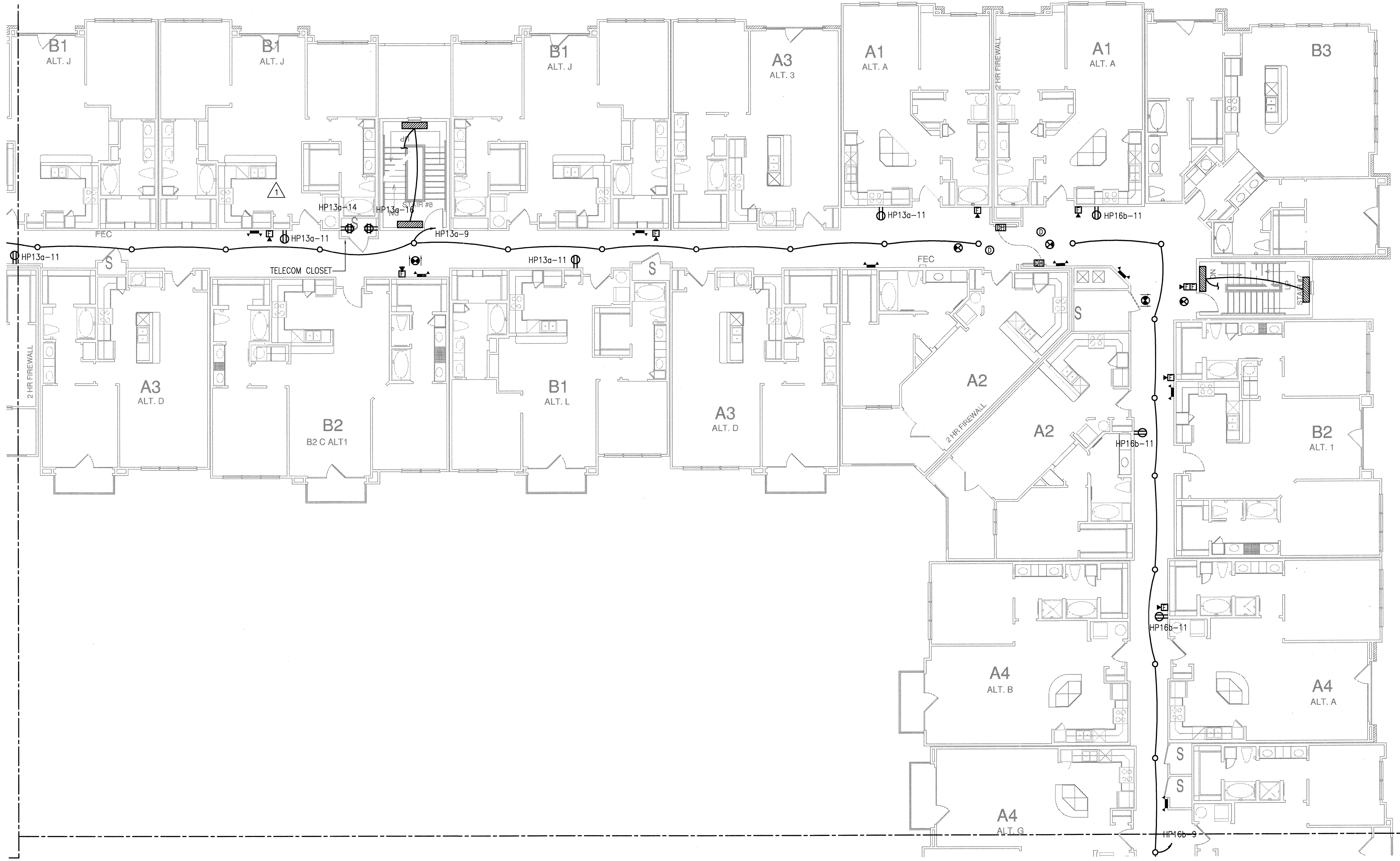
JSE Jordan & Skala Engineers
17855 N. Dallas Parkway, Suite 320
Dallas, TX 75287-6857
V: (469) 385-1616 F: (469) 385-1615
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: MJ Checked By: RAD



REVISIONS	
1	9-2-2011 DESIGN REVISIONS
2	9-13-2011 ANSI/FHA COMMENTS
3	9-23-2011 DESIGN REVISIONS
4	10-17-2011 CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS



1 DIVISION 'E' THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

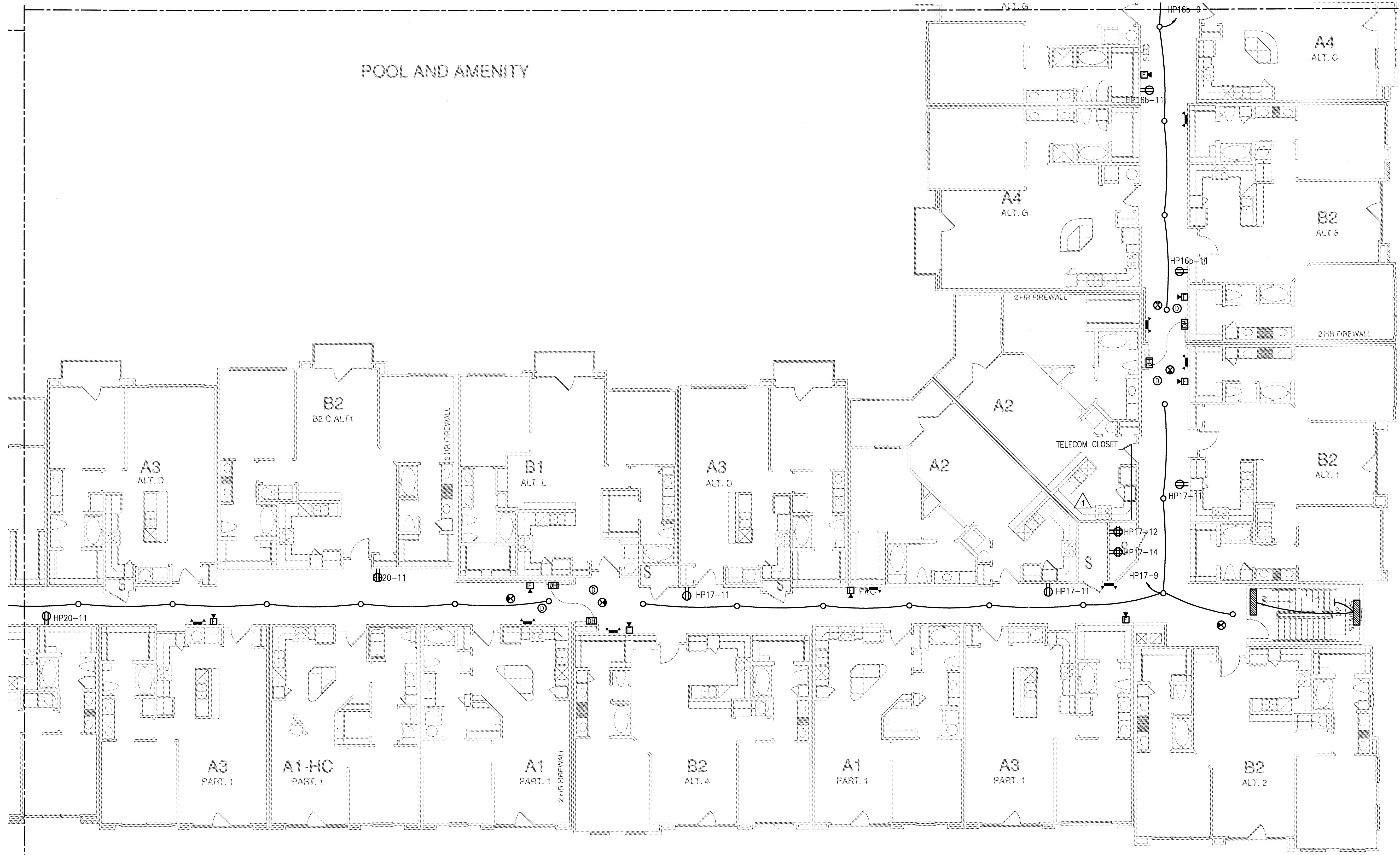
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DATE
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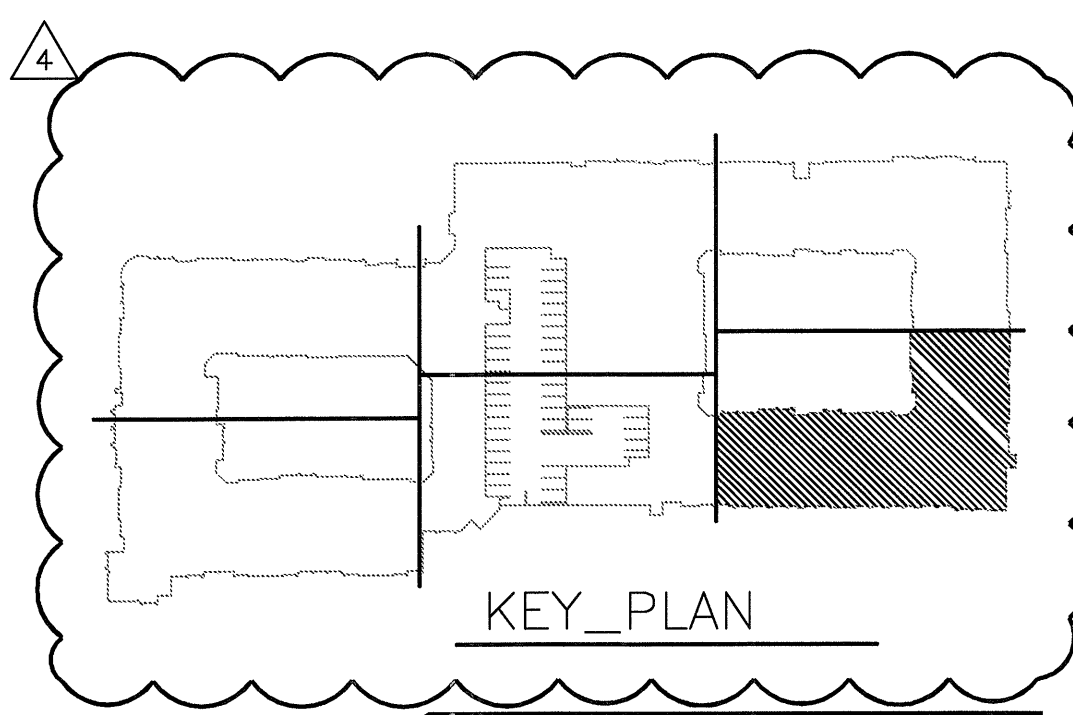
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E-3.3E

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14240 Midway Road, Suite 350
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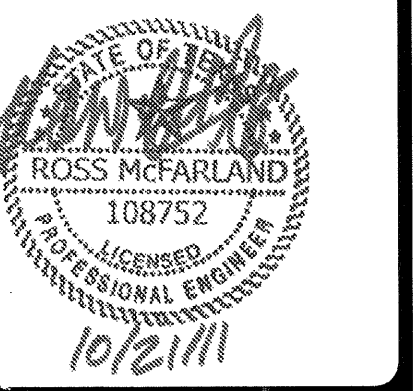
POOL AND AMENITY

GENERAL NOTES



1 DIVISION 'F' THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

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REVISIONS

1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS
LOFT APARTMENTS IN ADDISON, TEXAS

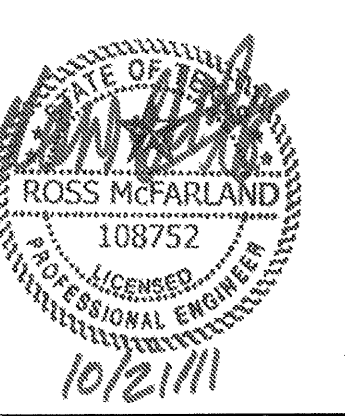
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SHEET NUMBER

E-3.3F

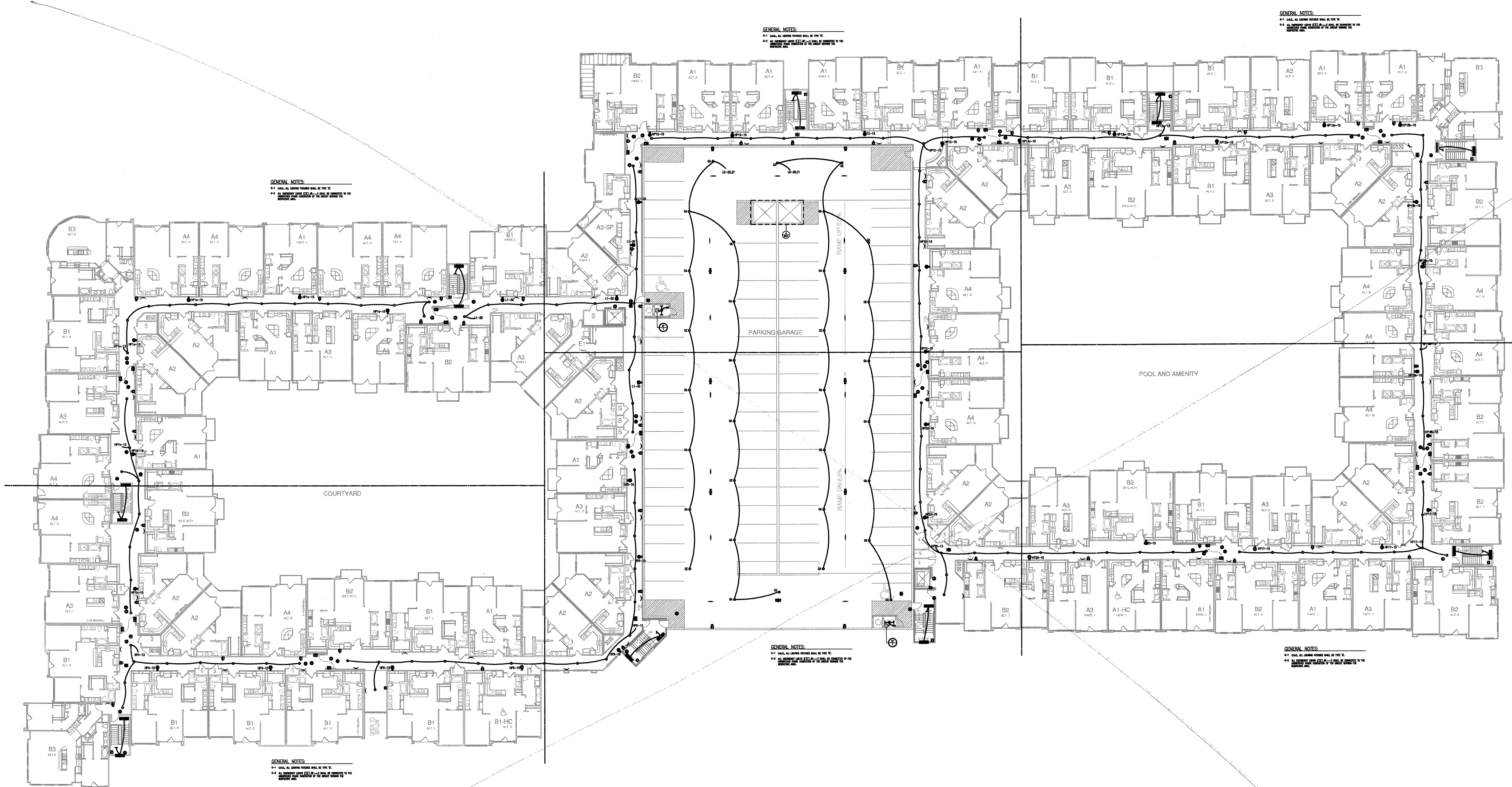


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9-13-2011	ANSI/FHA COMMENTS
9-23-2011	DESIGN REVISIONS
10-17-2011	CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS



1 FLOOR PLAN - 3-4
SCALE: 1/32" = 1'-0"

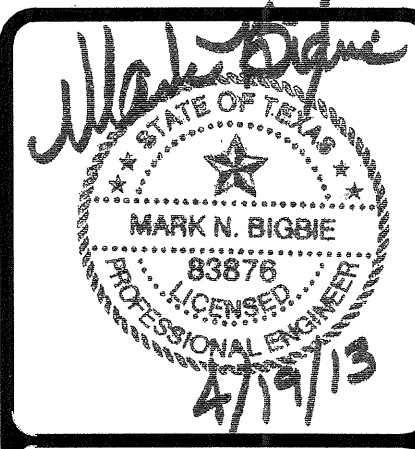
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SHEET NUMBER
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REVISIONS	
1	9-2-2011 DESIGN REVISIONS
2	9-13-2011 ANS/FFIA COMMENTS
3	9-23-2011 DESIGN REVISIONS
4	10-17-2011 CONSTRUCTION ISSUE
5	12-21-2011 DESIGN REVISIONS
6	1-17-2012 DESIGN REVISIONS
7	2-15-2012 TRANSFORMER REVISIONS
8	3-27-2012 CLUBHOUSE REVISIONS
9	4-17-2012 COORDINATION

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS

10	5-15-2012 COORDINATION
11	5-30-2012 SITE COORDINATION
12	6-01-12 LIGHTING REVISIONS
13	6-29-12 SITE COORDINATION
14	9-05-12 CLUB REVISIONS
15	4-19-13 EL. LOBBY REVISIONS

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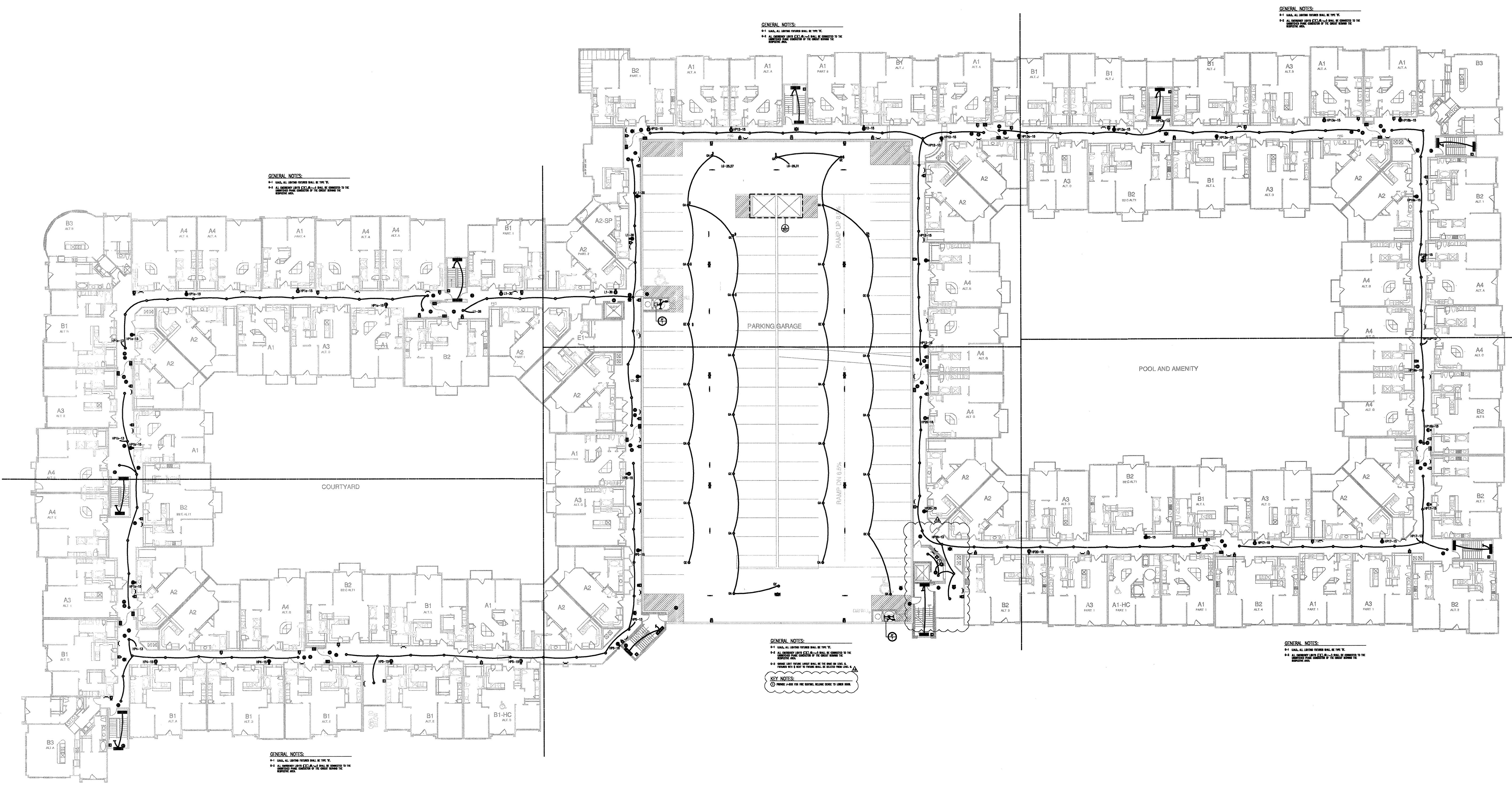
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PROJECT
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SHEET NUMBER

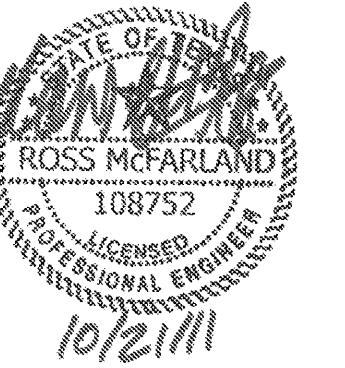
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1 FLOOR PLAN - 3-4
SCALE: 1/32" = 1'-0"

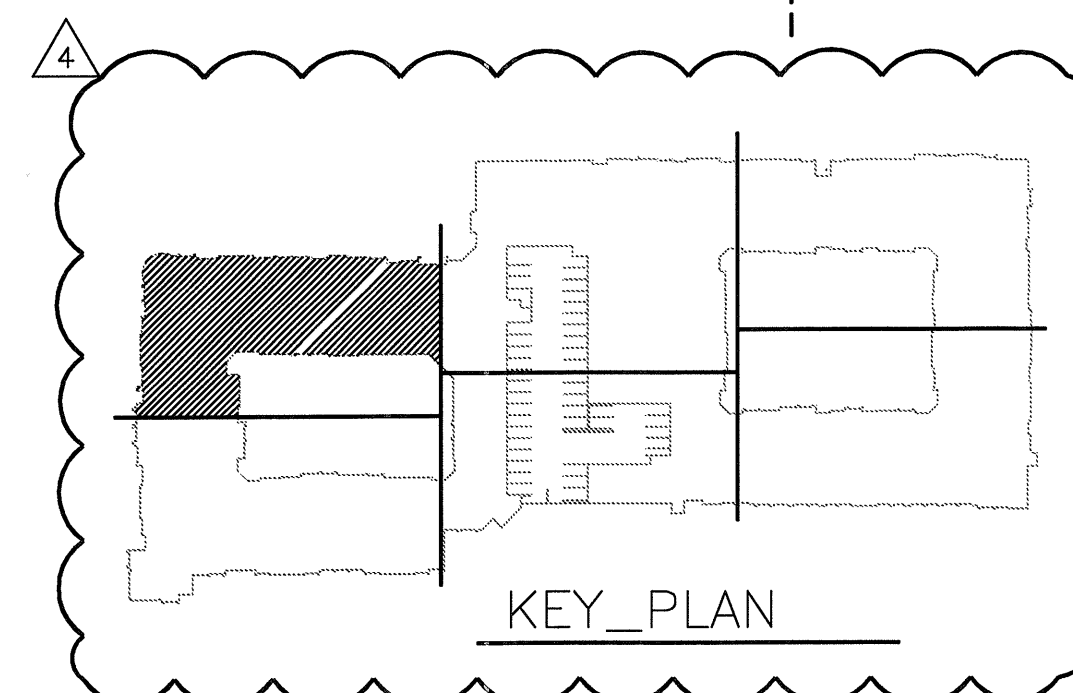
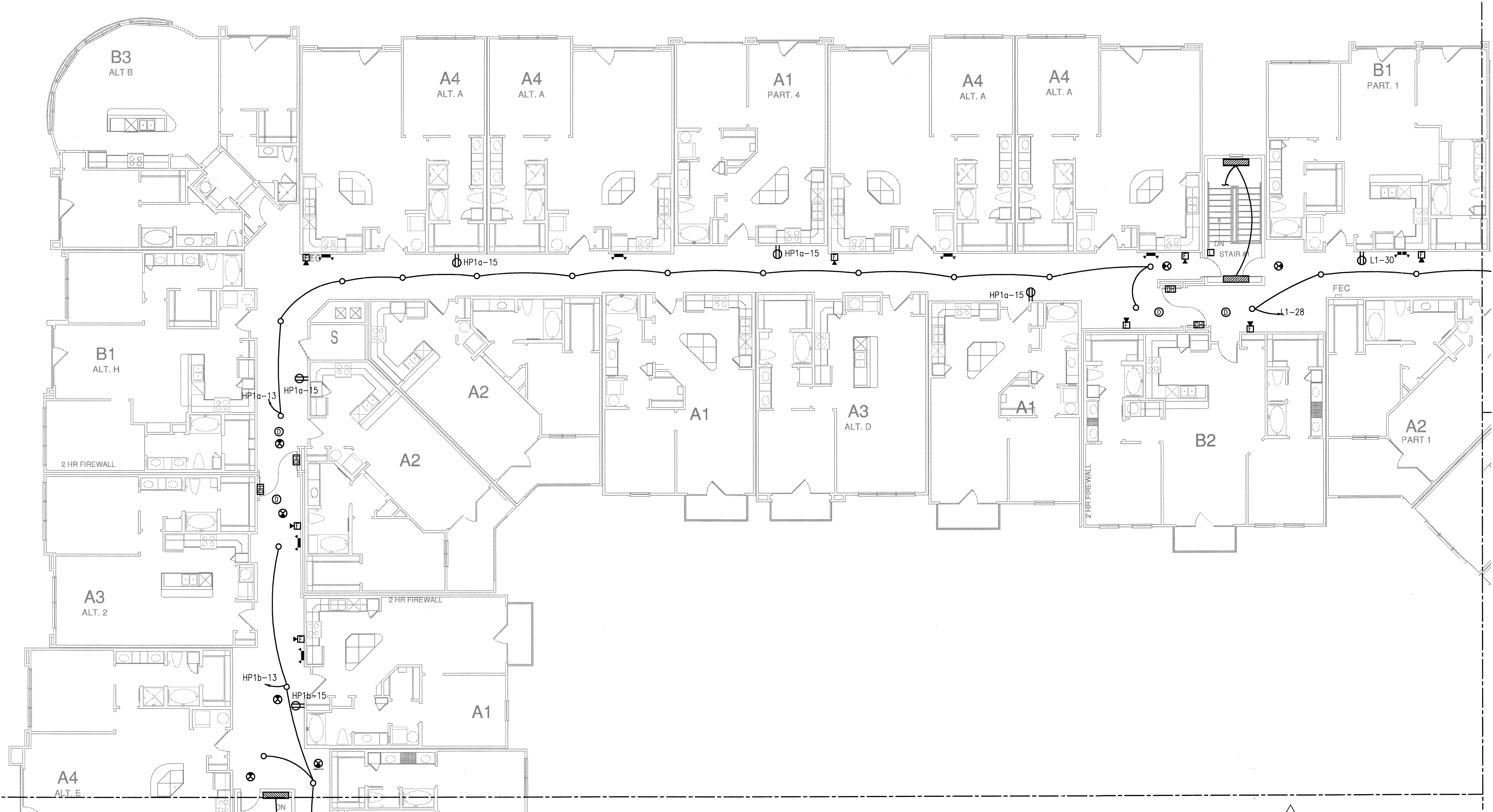
JSE Jordan & Skala Engineers

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Drawn By: MJ Checked By: RAD



REVISIONS	
1	9-2-2011 DESIGN REVISIONS
2	9-13-2011 ANSI/FHA COMMENTS
3	9-23-2011 DESIGN REVISIONS
4	10-17-2011 CONSTRUCTION ISSUE

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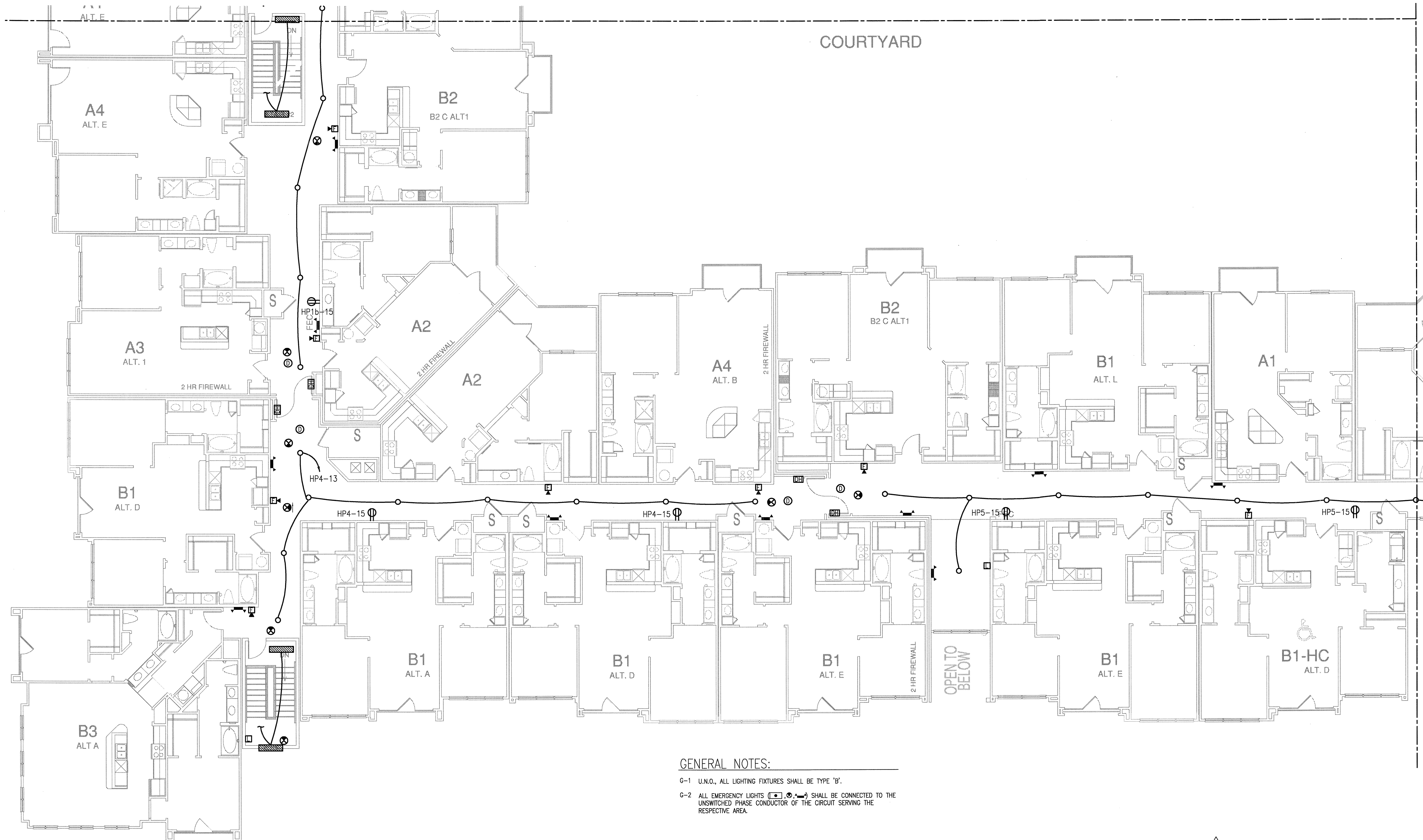
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SHEET NUMBER

E-3.4A

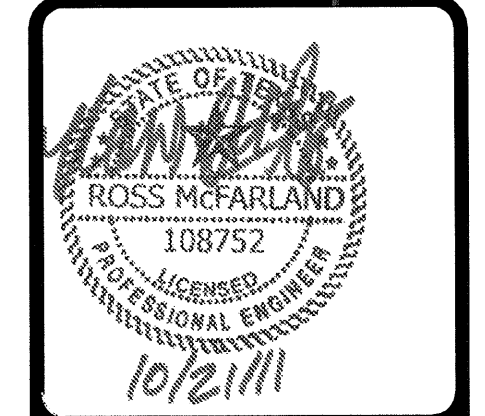
1 DIVISION 'A' FOURTH FLOOR PLAN
SCALE: 1/8" = 1'-0"

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14210 Midway Road, Suite 370
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V: (469) 383-1616 F: (469) 383-1615
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: MJ Checked By: RAD



GENERAL NOTES:

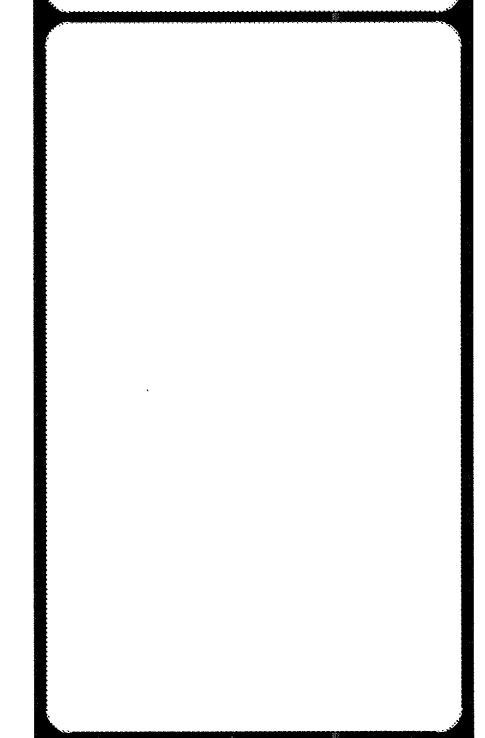
- G-1 U.N.O., ALL LIGHTING FIXTURES SHALL BE TYPE 'B'.
- G-2 ALL EMERGENCY LIGHTS (E) SHALL BE CONNECTED TO THE UNSWITCHED PHASE CONDUCTOR OF THE CIRCUIT SERVING THE RESPECTIVE AREA.



REVISIONS	
1	9-2-2011 DESIGN REVISIONS
2	9-13-2011 ANSI/FHA COMMENTS
3	9-23-2011 DESIGN REVISIONS
4	10-17-2011 CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS



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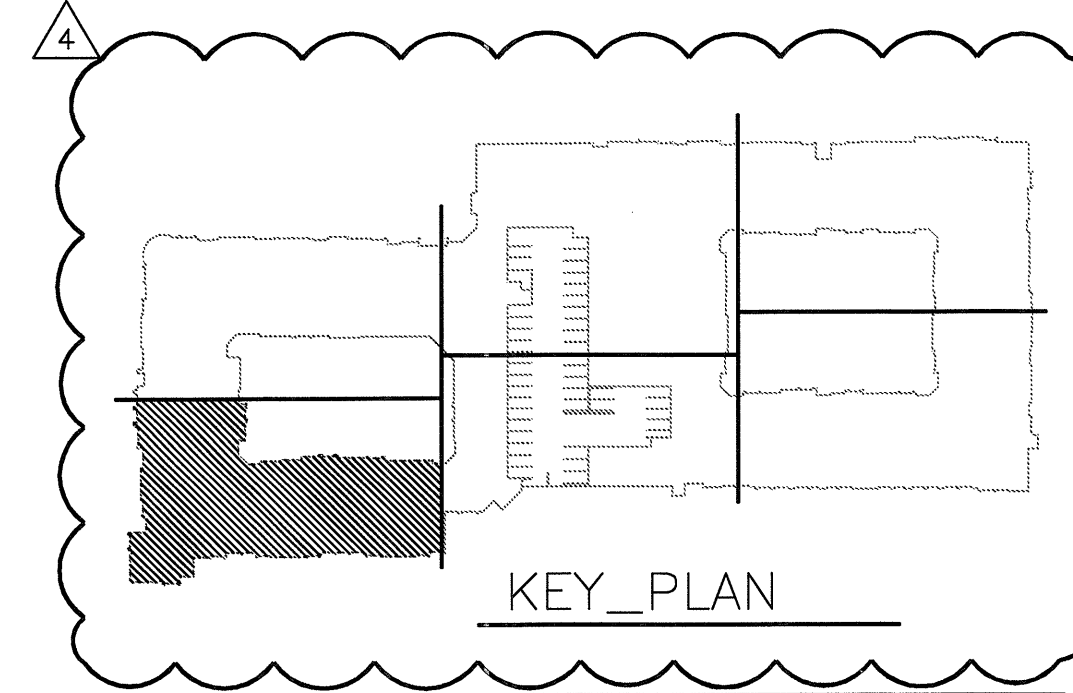
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08-05-11

PROJECT
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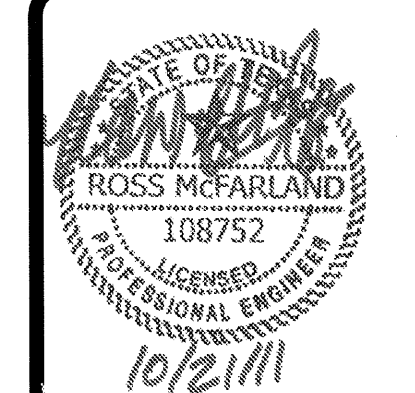
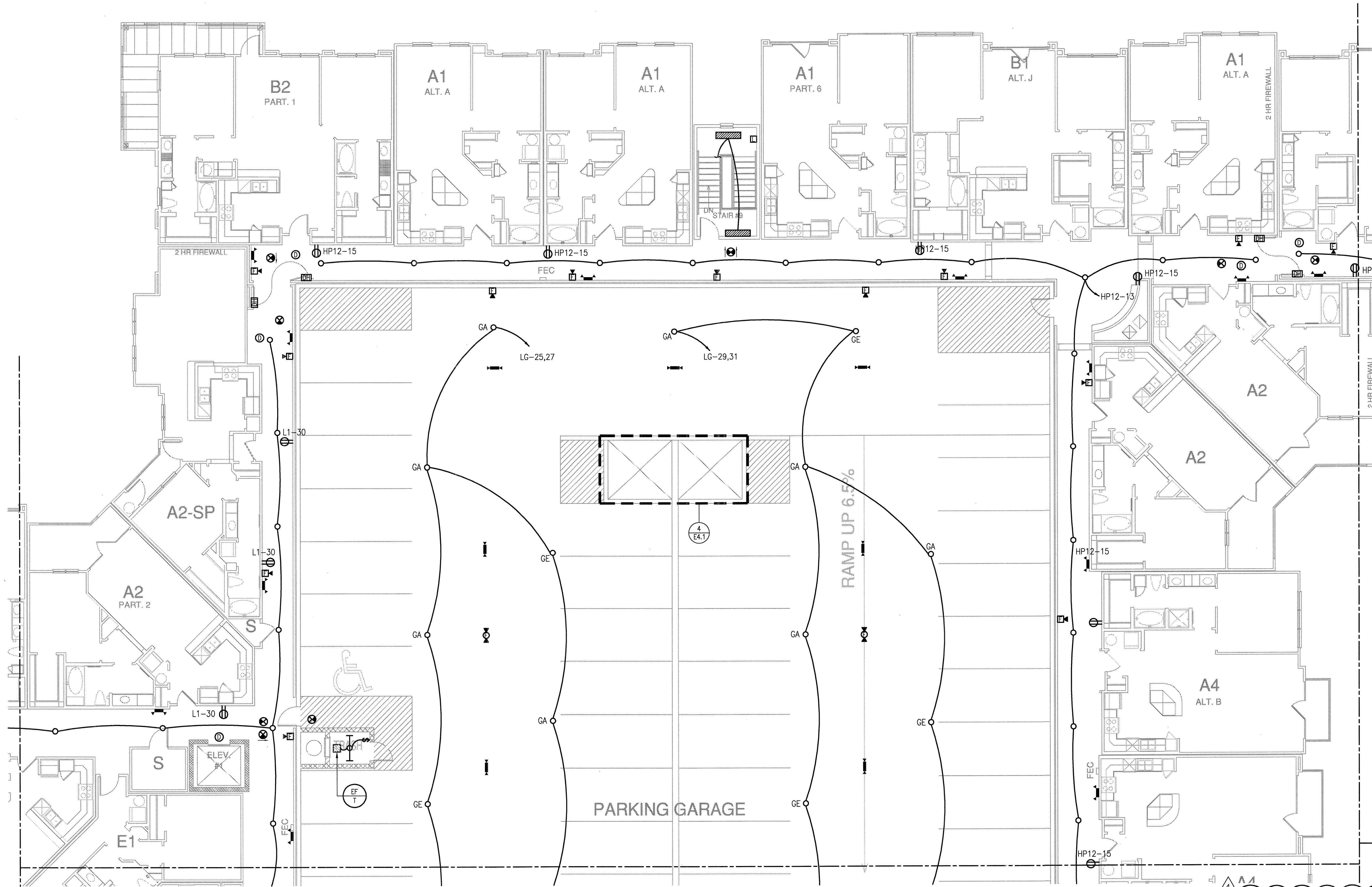
SHEET NUMBER

E-3.4B



1 DIVISION 'B' FOURTH FLOOR PLAN
SCALE: 1/8" = 1'-0"

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Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: MJ Checked By: RAD



REVISIONS

1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE

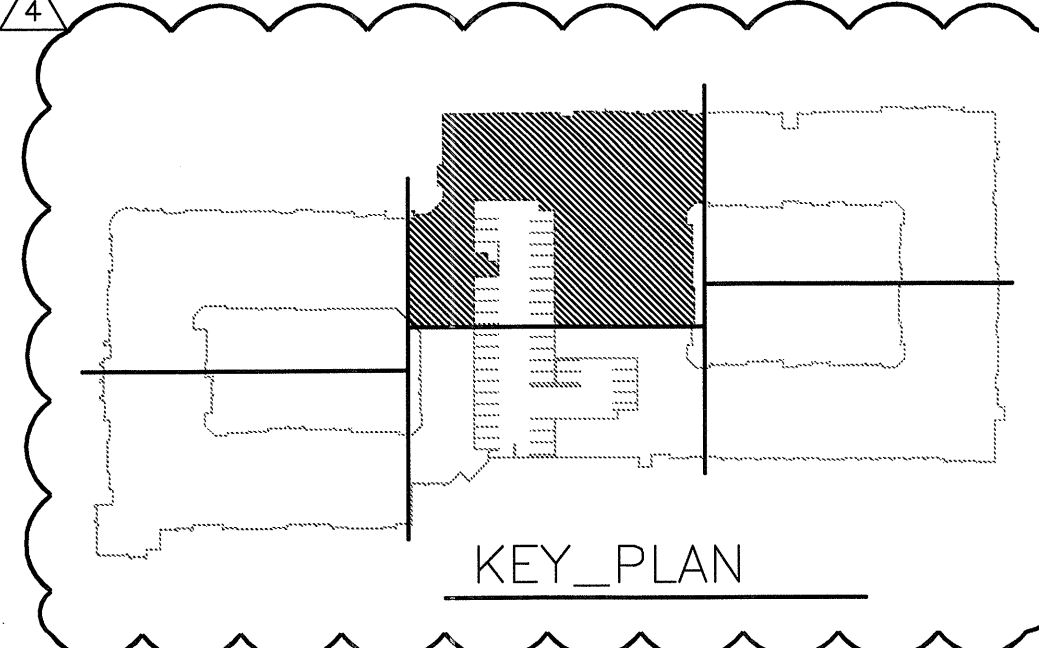
KELLER SPRINGS LOFTS
 LOFT APARTMENTS IN ADDISON, TEXAS

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DATE
08-05-11

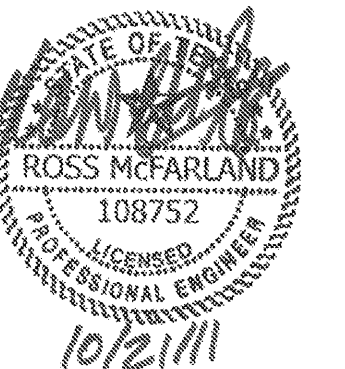
PROJECT
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SHEET NUMBER
E-3.4C



1 DIVISION 'C' FOURTH FLOOR PLAN
 SCALE: 1/8" = 1'-0"

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 Project Number - 113-0355 Texas Firm Registration # F-4990
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REVISIONS	
1	9-2-2011 DESIGN REVISIONS
2	9-13-2011 ANSI/FHA COMMENTS
3	9-23-2011 DESIGN REVISIONS
4	10-17-2011 CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS

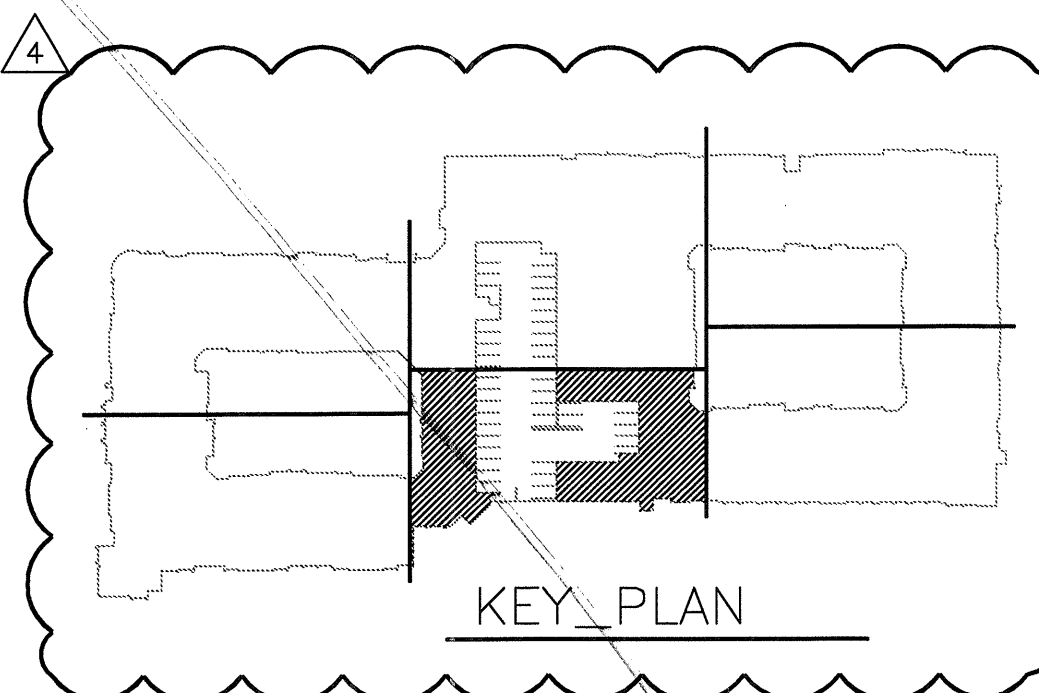


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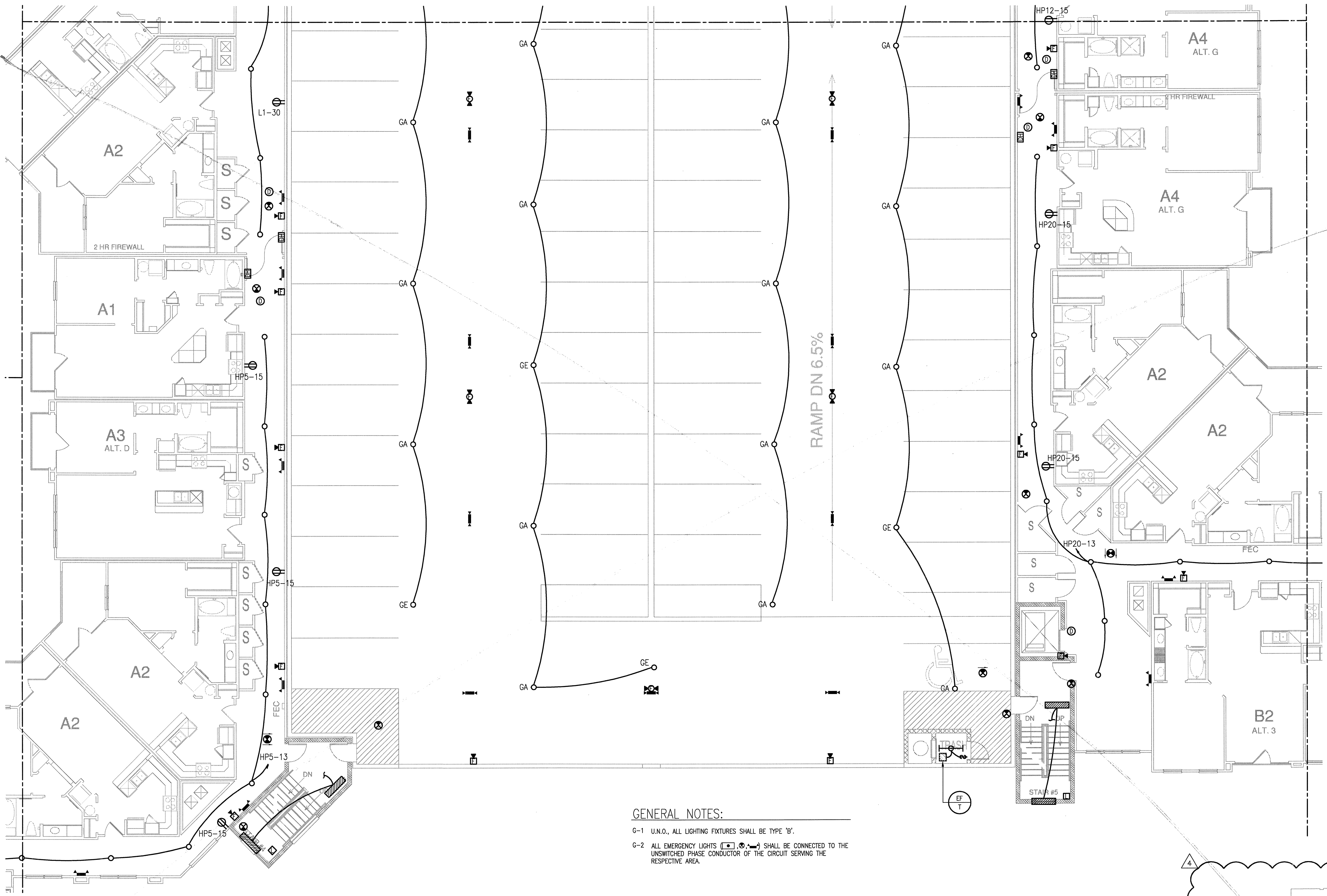
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PROJECT
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SHEET NUMBER
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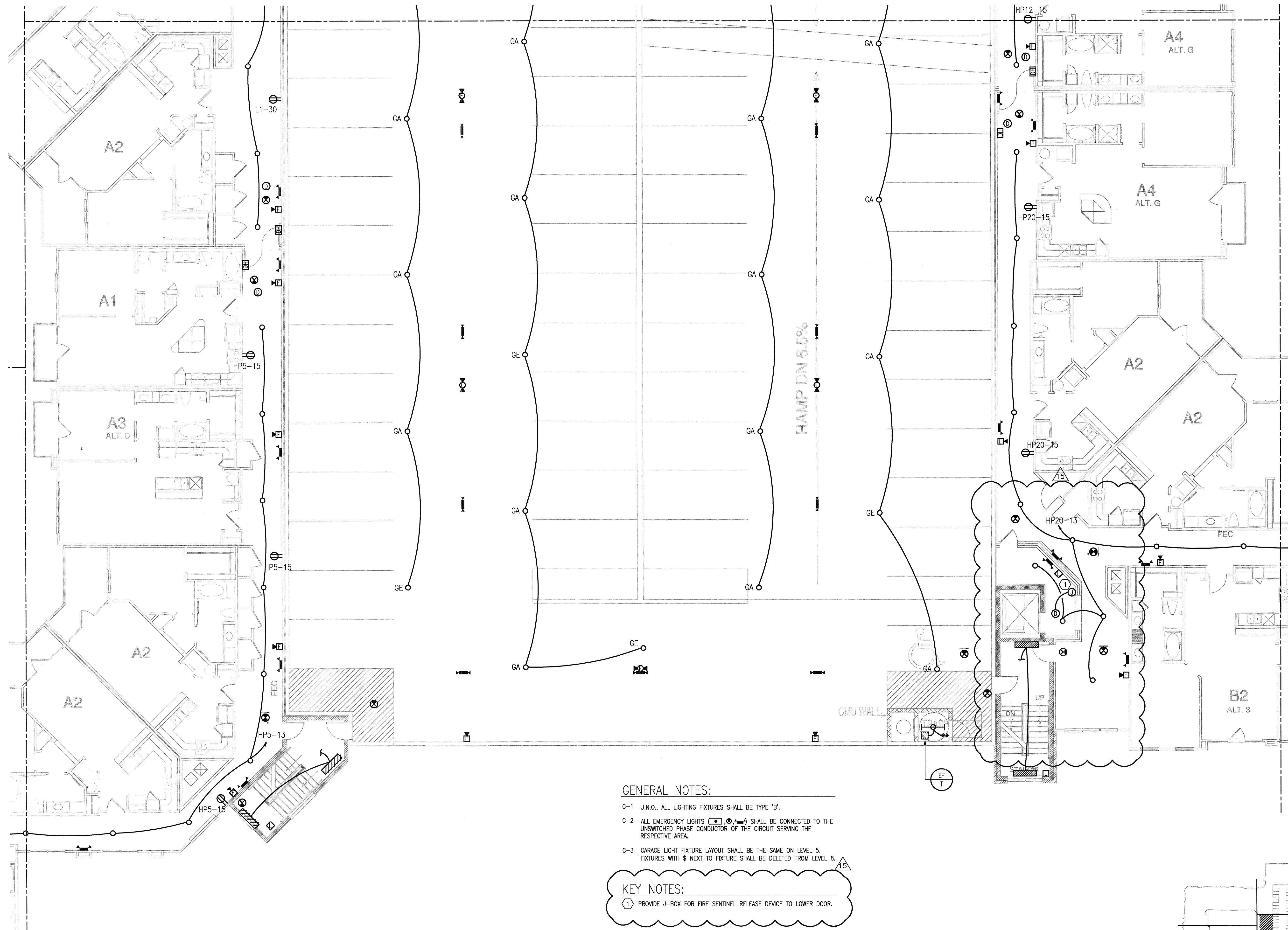


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Dallas, TX 75244-9138
Project Number - 113-0555
Drawn By: MJ
Texas Firm Registration # F-4990
Checked By: RAD



GENERAL NOTES:
G-1 U.N.O., ALL LIGHTING FIXTURES SHALL BE TYPE "B".
G-2 ALL EMERGENCY LIGHTS (E.L.) SHALL BE CONNECTED TO THE UNSWITCHED PHASE CONDUCTOR OF THE CIRCUIT SERVING THE RESPECTIVE AREA.

1 DIVISION 'D' FOURTH FLOOR PLAN
SCALE: 1/8" = 1'-0"

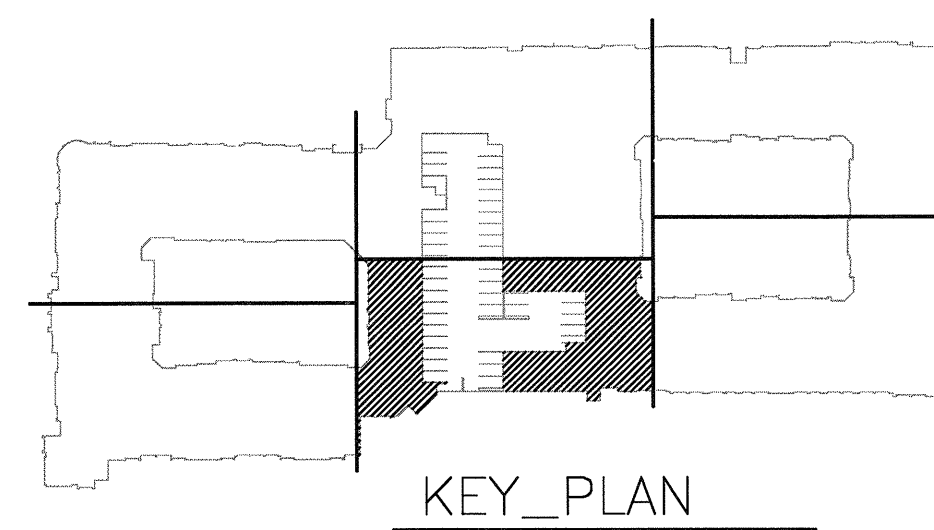


GENERAL NOTES:

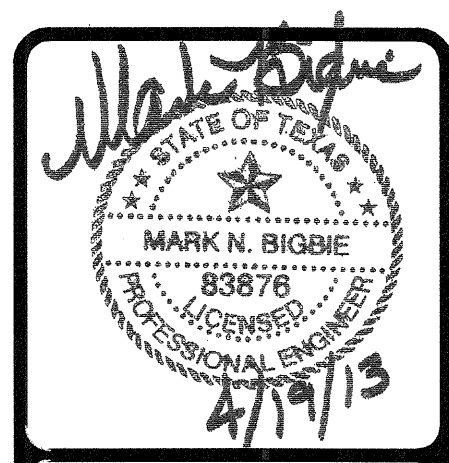
- G-1 U.N.O., ALL LIGHTING FIXTURES SHALL BE TYPE 'B'.
- G-2 ALL EMERGENCY LIGHTS (E) SHALL BE CONNECTED TO THE UNSWITCHED PHASE CONDUCTOR OF THE CIRCUIT SERVING THE RESPECTIVE AREA.
- G-3 GARAGE LIGHT FIXTURE LAYOUT SHALL BE THE SAME ON LEVEL 5. FIXTURES WITH \$ NEXT TO FIXTURE SHALL BE DELETED FROM LEVEL 6.

KEY NOTES:

- (1) PROVIDE J-BOX FOR FIRE SENTINEL RELEASE DEVICE TO LOWER DOOR.



1 DIVISION 'D' FOURTH FLOOR PLAN
SCALE: 1/8" = 1'-0"



REVISIONS

NO.	DATE	DESCRIPTION
1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS DESIGN REVISIONS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE
5	12-21-2011	DESIGN REVISIONS
6	1-17-2012	DESIGN REVISIONS
7	2-15-2012	TRANSFORMER REVISIONS
8	3-27-2012	CLUBHOUSE REVISIONS
9	4-17-2012	COORDINATION

KELLER SPRINGS LOFTS
LOFT APARTMENTS IN ADDISON, TEXAS

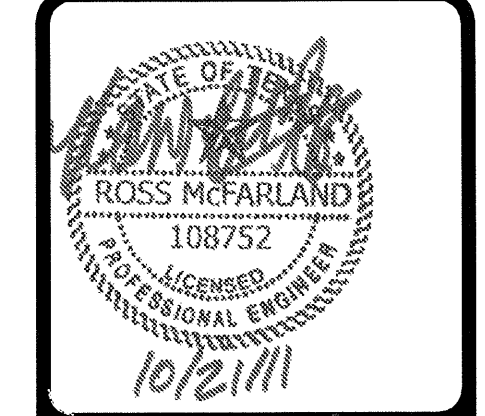
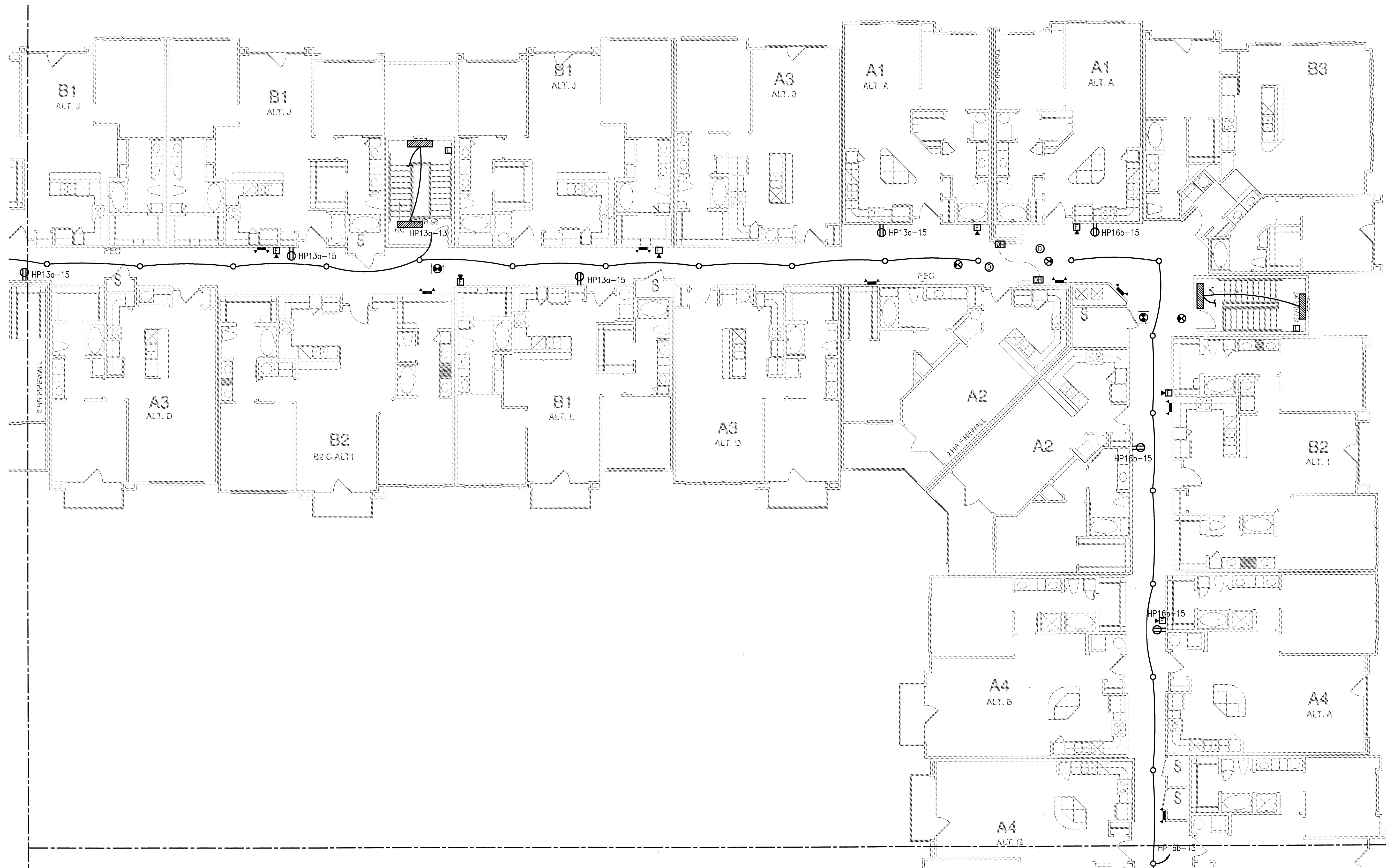
REVISIONS

NO.	DATE	DESCRIPTION
10	5-15-2012	COORDINATION
11	5-30-2012	SITE COORDINATION
12	6-01-12	LIGHTING REVISIONS
13	6-29-12	SITE COORDINATION
14	9-05-12	CLUB REVISIONS
15	4-19-13	EL. LOBBY REVISIONS

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DATE: 08-05-11
PROJECT: 11129
SHEET NUMBER: E-3.4D

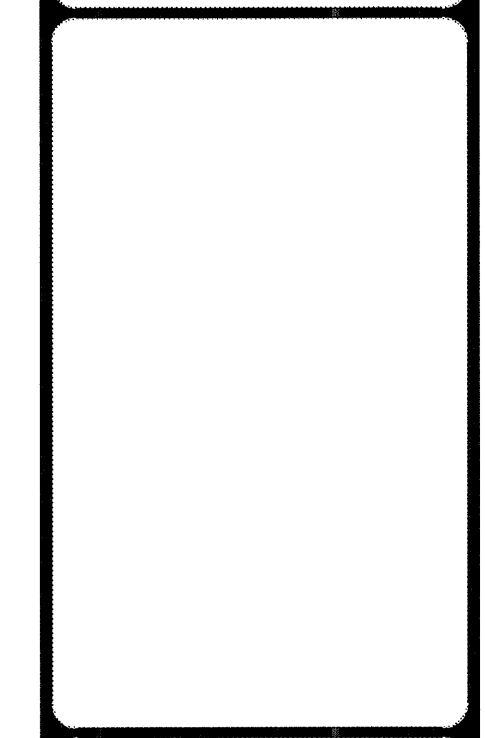
JSE Jordan & Skala Engineers
17855 N. Dallas Parkway, Suite 320
Dallas, TX 75287-6637
V: (469) 385-1616 F: (469) 385-1615
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: MJ Checked By: RAD



REVISIONS	
▲ 9-2-2011	DESIGN REVISIONS
▲ 9-13-2011	ANSI/FHA COMMENTS
▲ 9-23-2011	DESIGN REVISIONS
▲ 10-17-2011	CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS



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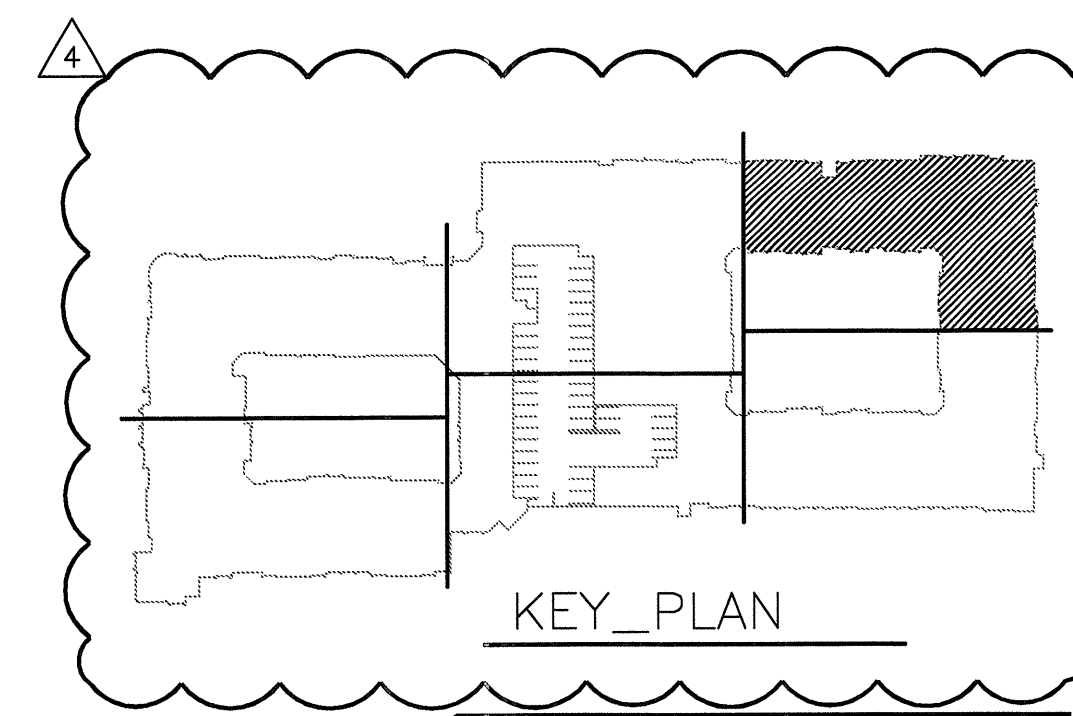
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Dallas, TX 75204
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DATE
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PROJECT
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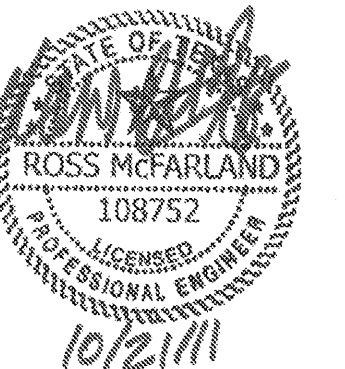
SHEET NUMBER

E-3.4E



1 DIVISION 'E' FOURTH FLOOR PLAN
SCALE: 1/8" = 1'-0"

JSE Jordan & Skala Engineers
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Dallas, TX 75244-3128
Tel: (469) 383-1616 F: (469) 383-1615
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: MJ Checked By: RAD



REVISIONS

1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE

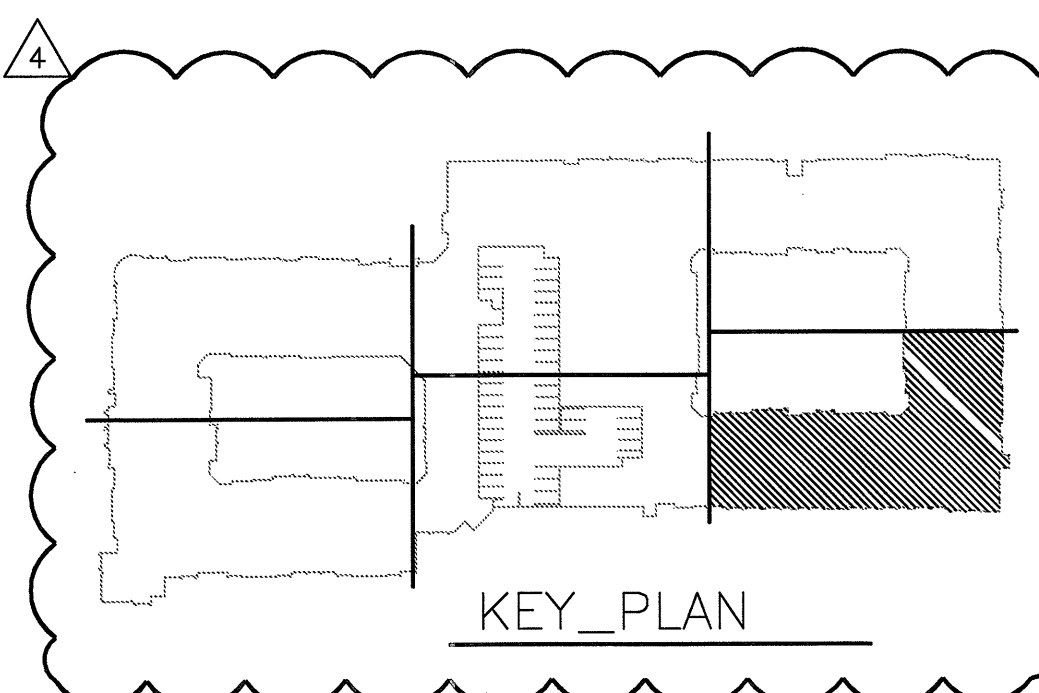
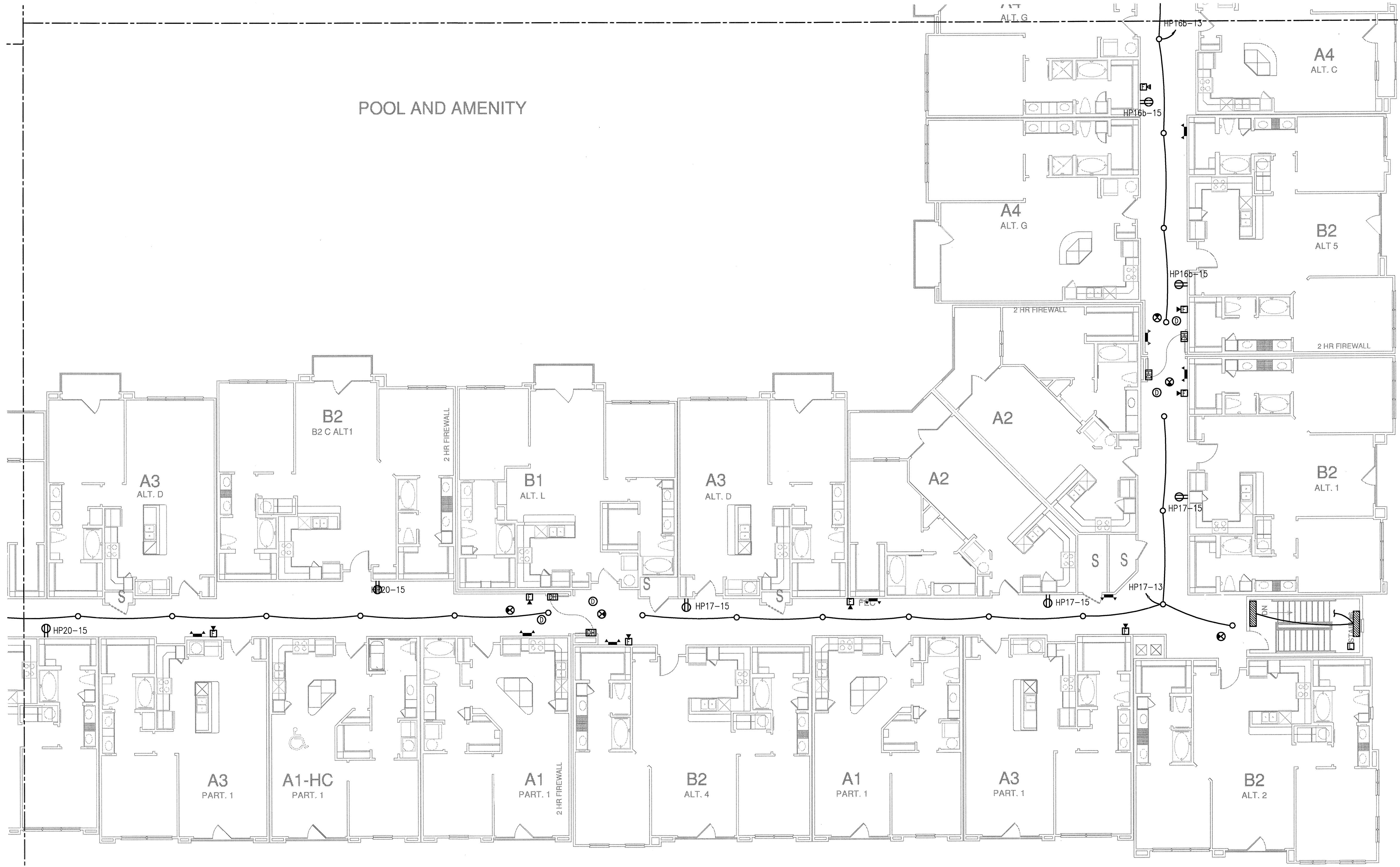
KELLER SPRINGS LOFTS
 LOFT APARTMENTS IN ADDISON, TEXAS

BGO architects
 4144 N. Central Exp.
 Suite 855
 Dallas, TX 75204
 214.520.8878
 bgoarchitects.com

DATE
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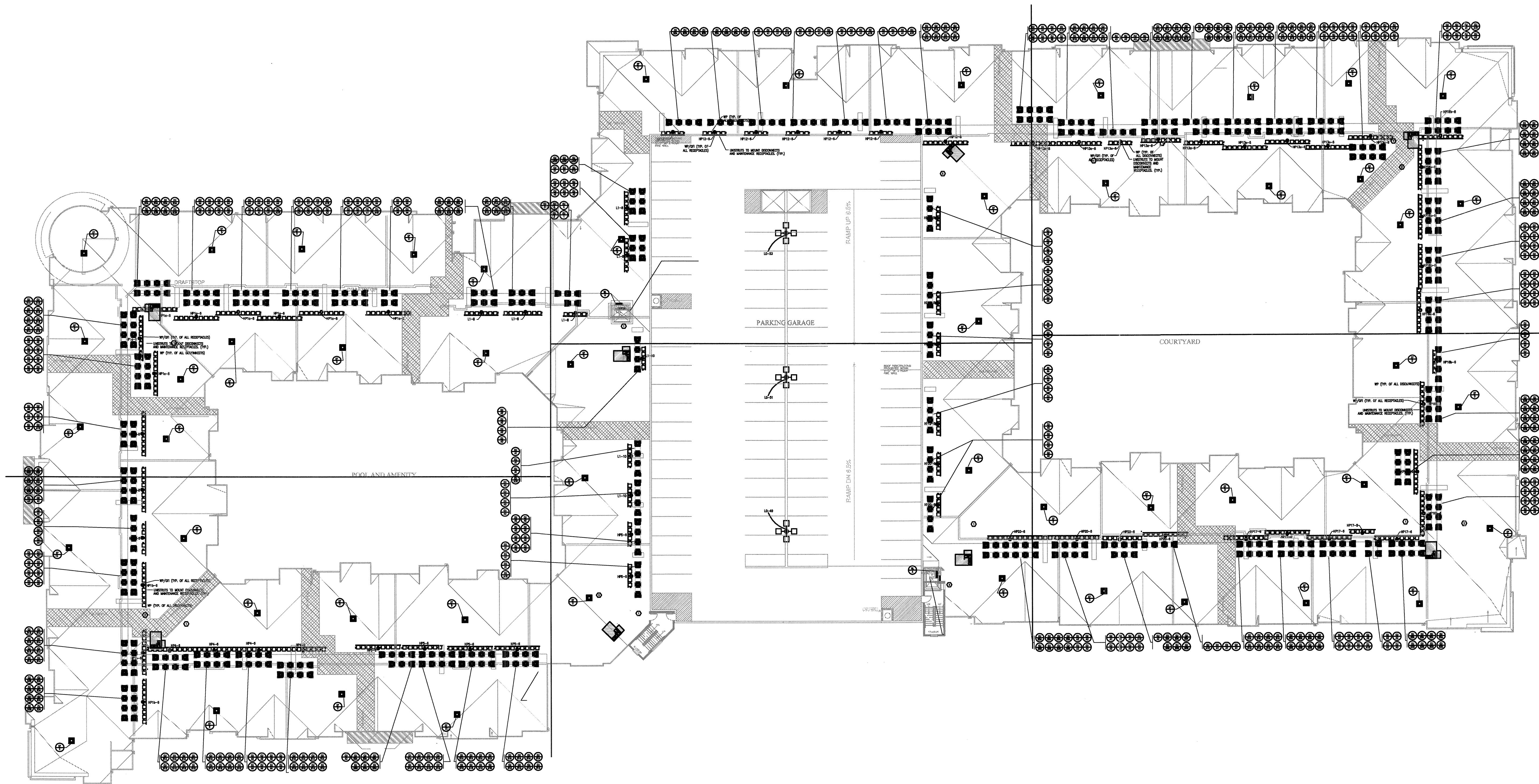
PROJECT
 11129

SHEET NUMBER
E-3.4F

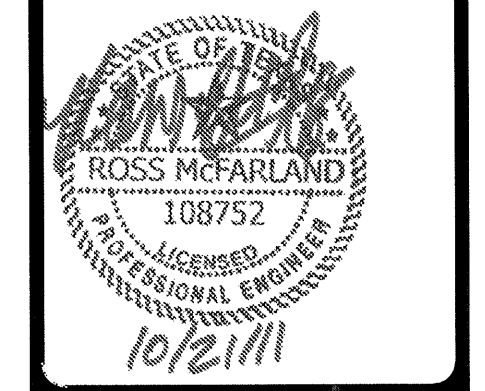


JSE Jordan & Skala Engineers
 14210 Midway Road, Suite 330
 Dallas, TX 75244-5138
 Project Number - 113-0355 Texas Firm Registration # F-4990
 Drawn By: MJ Checked By: RAD

1 DIVISION 'F' FOURTH FLOOR PLAN
 SCALE: 1/8" = 1'-0"



1 ROOF PLAN/GARAGE PLAN - 3-5
SCALE: 1/32" = 1'-0"



REVISIONS	
1	9-2-2011 DESIGN REVISIONS
2	9-13-2011 ANSI/FHA COMMENTS
3	9-23-2011 DESIGN REVISIONS
4	10-17-2011 CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS
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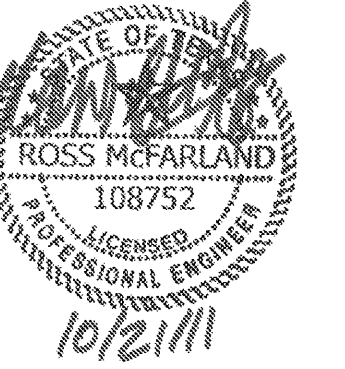
DATE
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PROJECT
11129

SHEET NUMBER

E-3.5

JSE Jordan & Skala Engineers
14210 Midway Road, Suite 370
Dallas, TX 75244-5138
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: MJ Checked By: RAD



REVISIONS	
1	9-2-2011 DESIGN REVISIONS
2	9-13-2011 ANSI/FHA COMMENTS
3	9-23-2011 DESIGN REVISIONS
4	10-17-2011 CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS

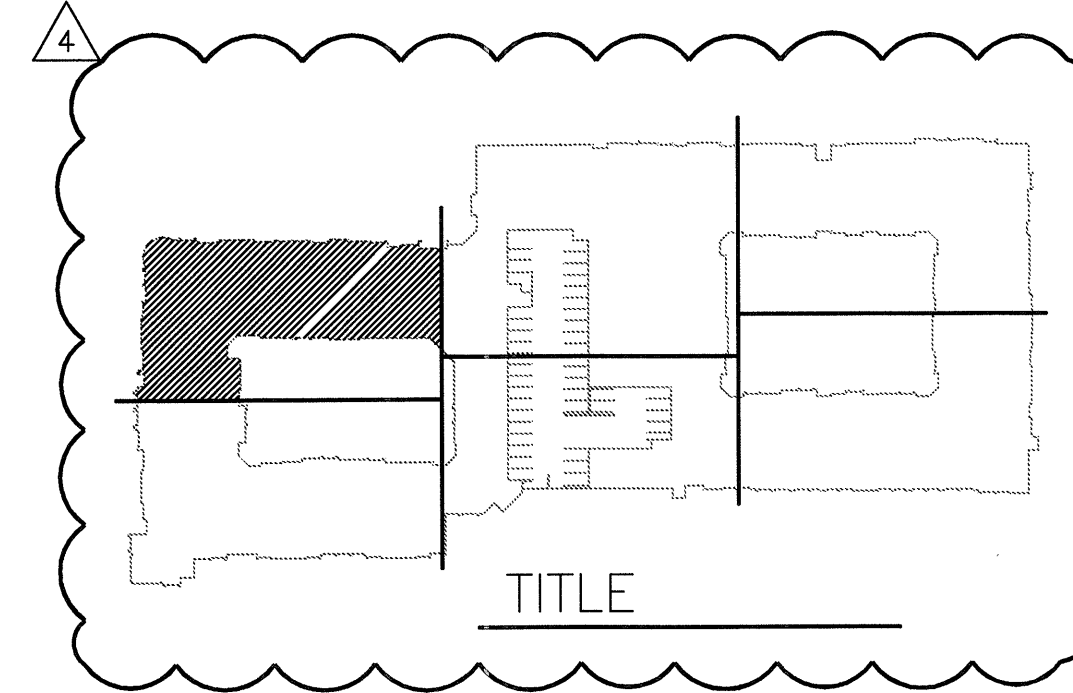
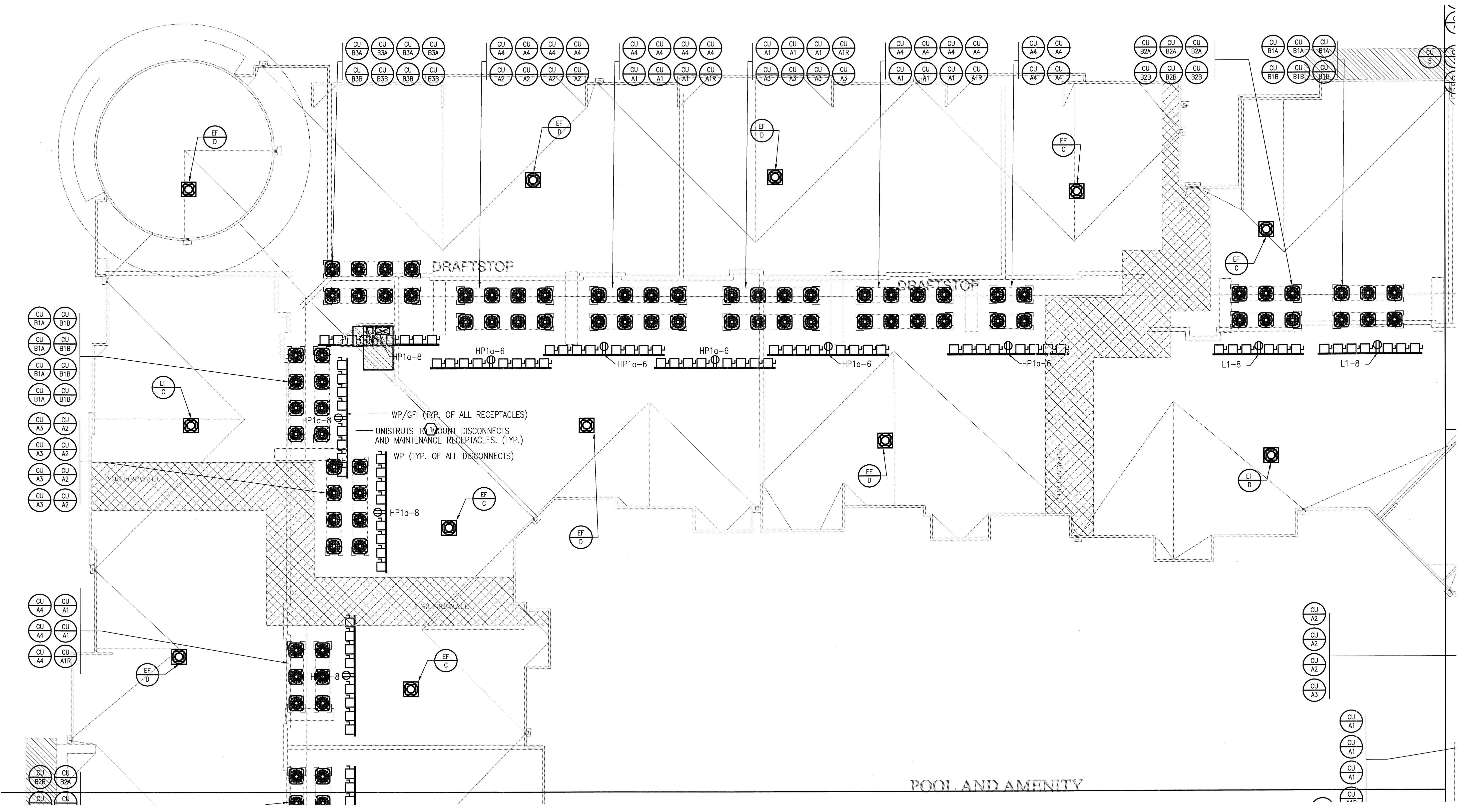
LOFT APARTMENTS IN ADDISON, TEXAS

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Dallas, TX 75204
214.520.8878
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DATE
08-05-11

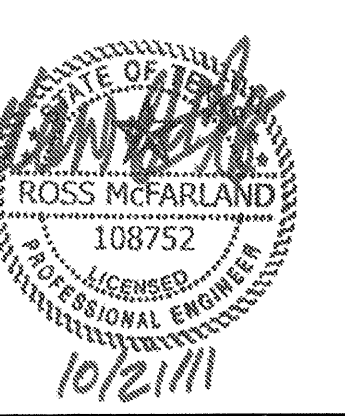
PROJECT
11129

SHEET NUMBER
E-3.5A



JSE Jordan & Skala Engineers
14240 Midway Road, Suite 350
Dallas, TX 75244-3139
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: MJ Checked By: RAD

1 DIVISION 'A' ROOF PLAN
SCALE: 1/8" = 1'-0"



REVISIONS	
1	9-2-2011 DESIGN REVISIONS
2	9-13-2011 ANSI/FHA COMMENTS
3	9-23-2011 DESIGN REVISIONS
4	10-17-2011 CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS



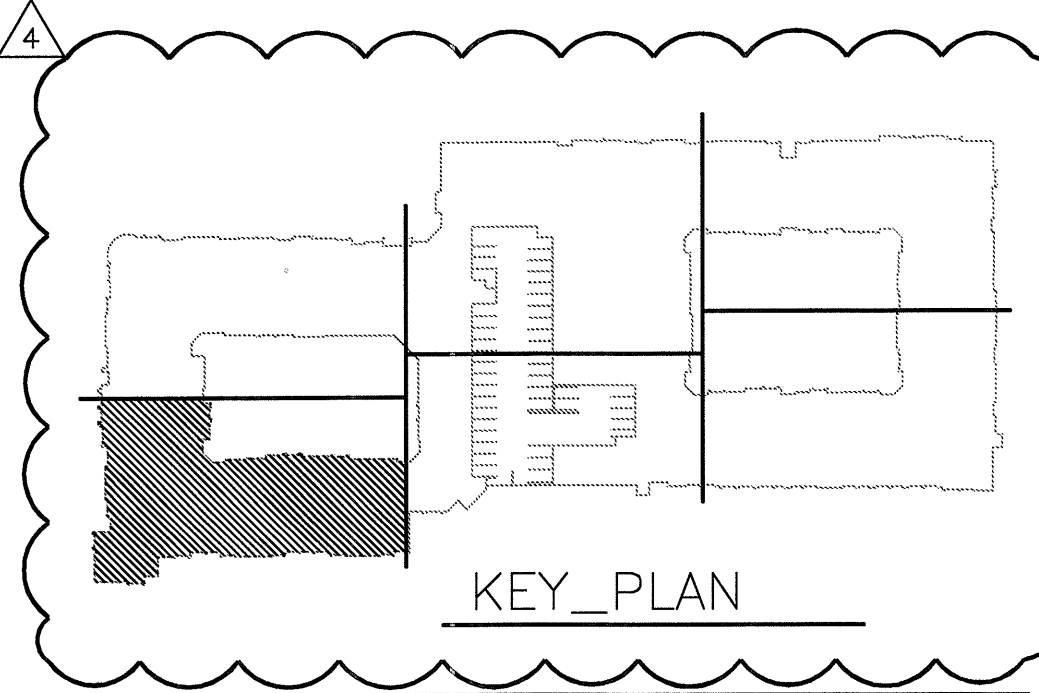
4144 N. Central Expy.
Suite 855
Dallas, TX 75204
214.520.8878
bgoarchitects.com

DATE
08-05-11

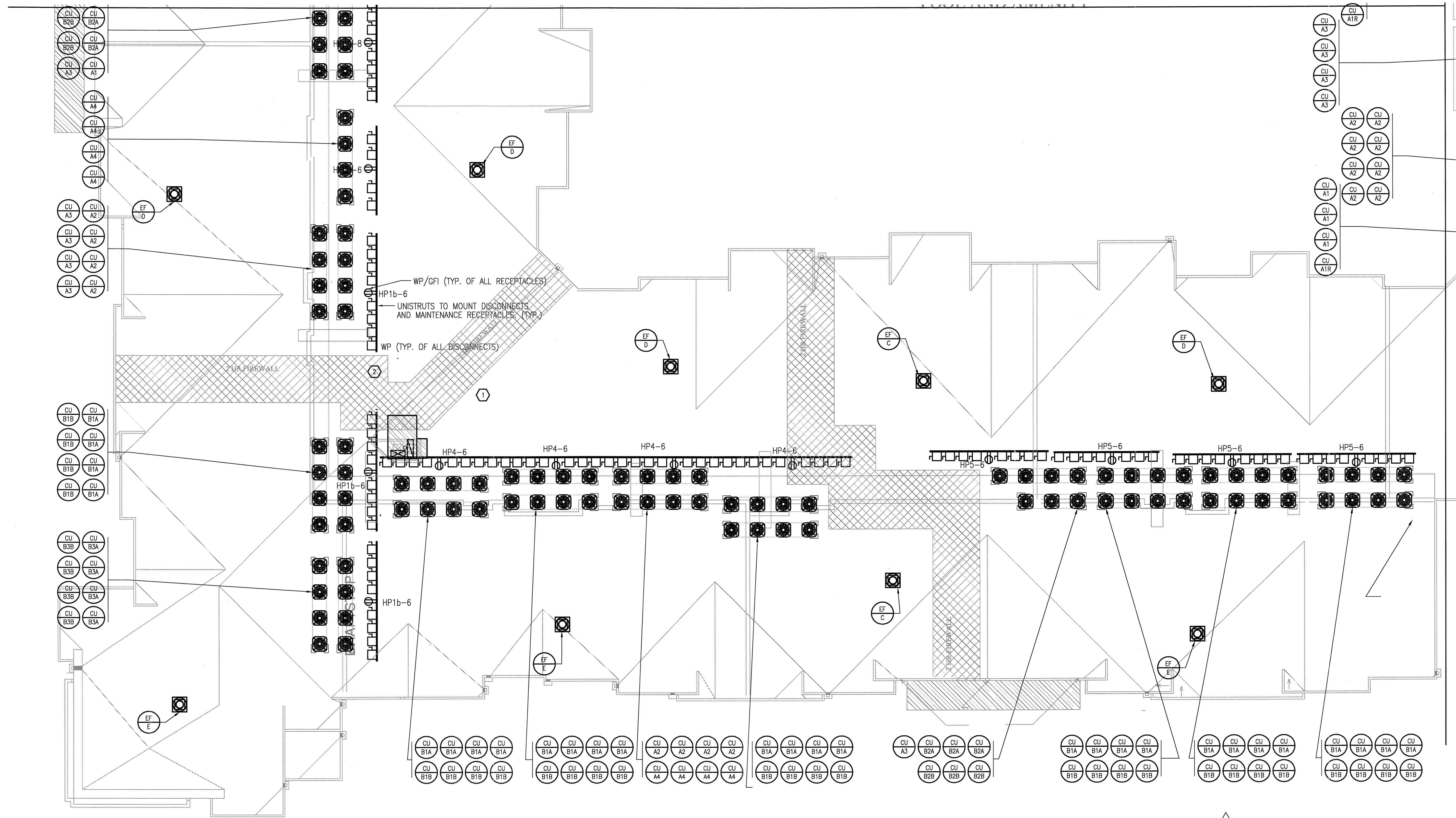
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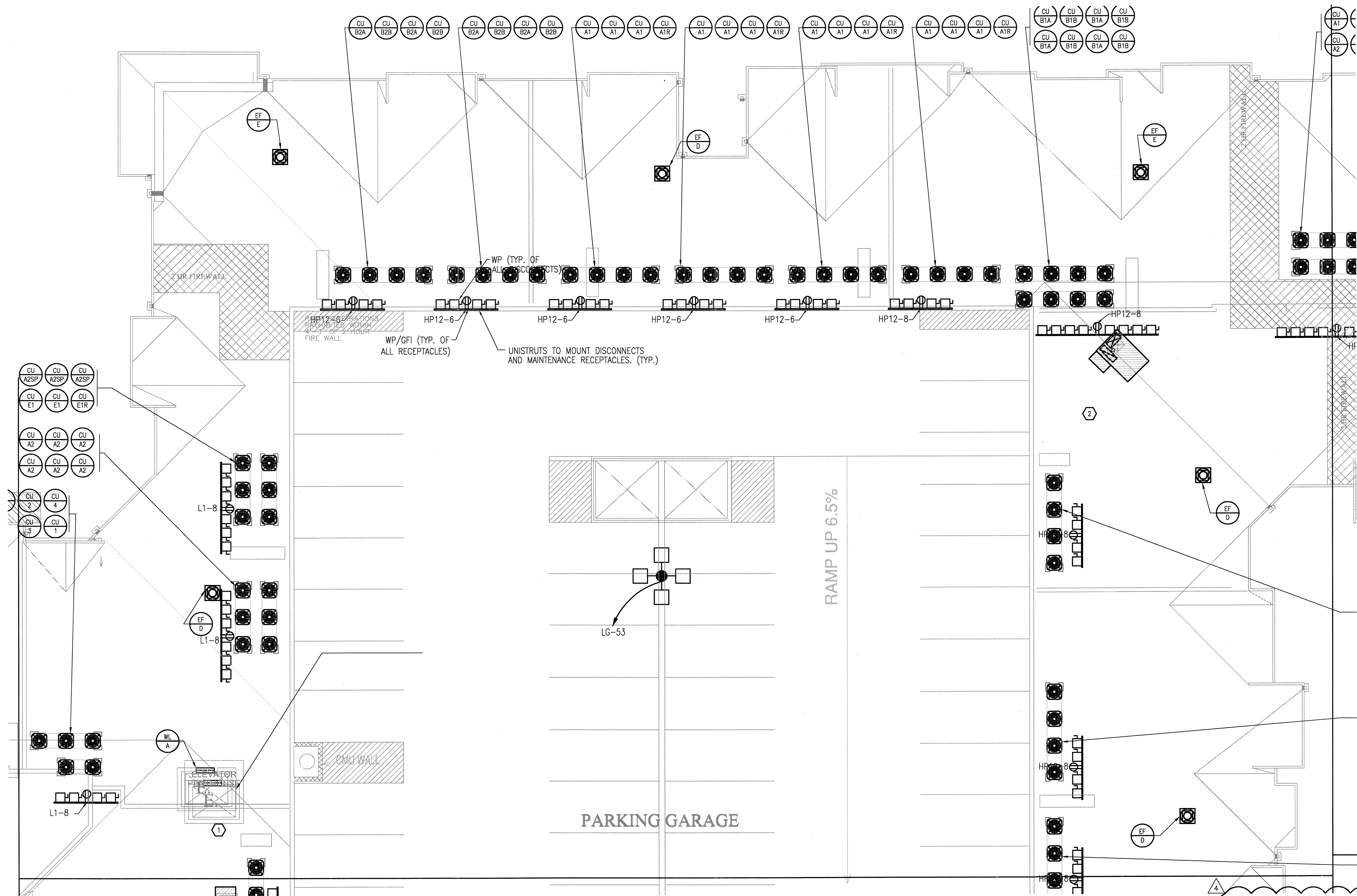
E-3.5B



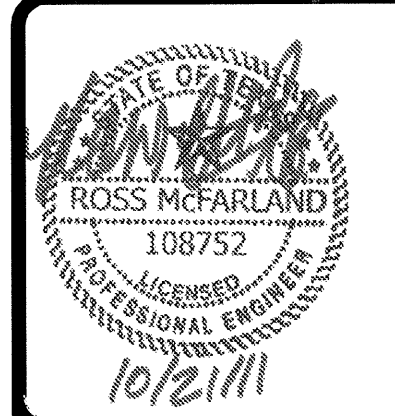
JSE Jordan & Skala Engineers
14240 Midway Road, Suite 350
Dallas, TX 75244-5138
P: (469) 382-1616 F: (469) 382-1615
Project Number - 113-0255 Texas Firm Registration # F-4990
Drawn By: MJ Checked By: RAD



1 DIVISION 'B' ROOF PLAN
SCALE: 1/8" = 1'-0"



1 DIVISION 'C' ROOF PLAN
SCALE: 1/8" = 1'-0"



REVISIONS

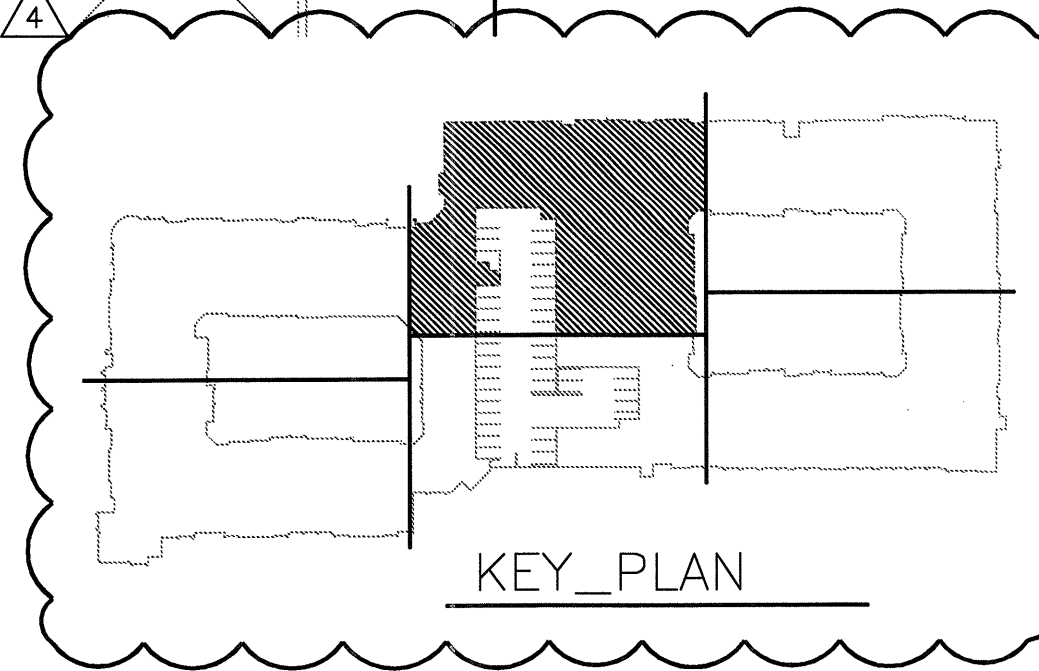
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4	10-17-2011	CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS

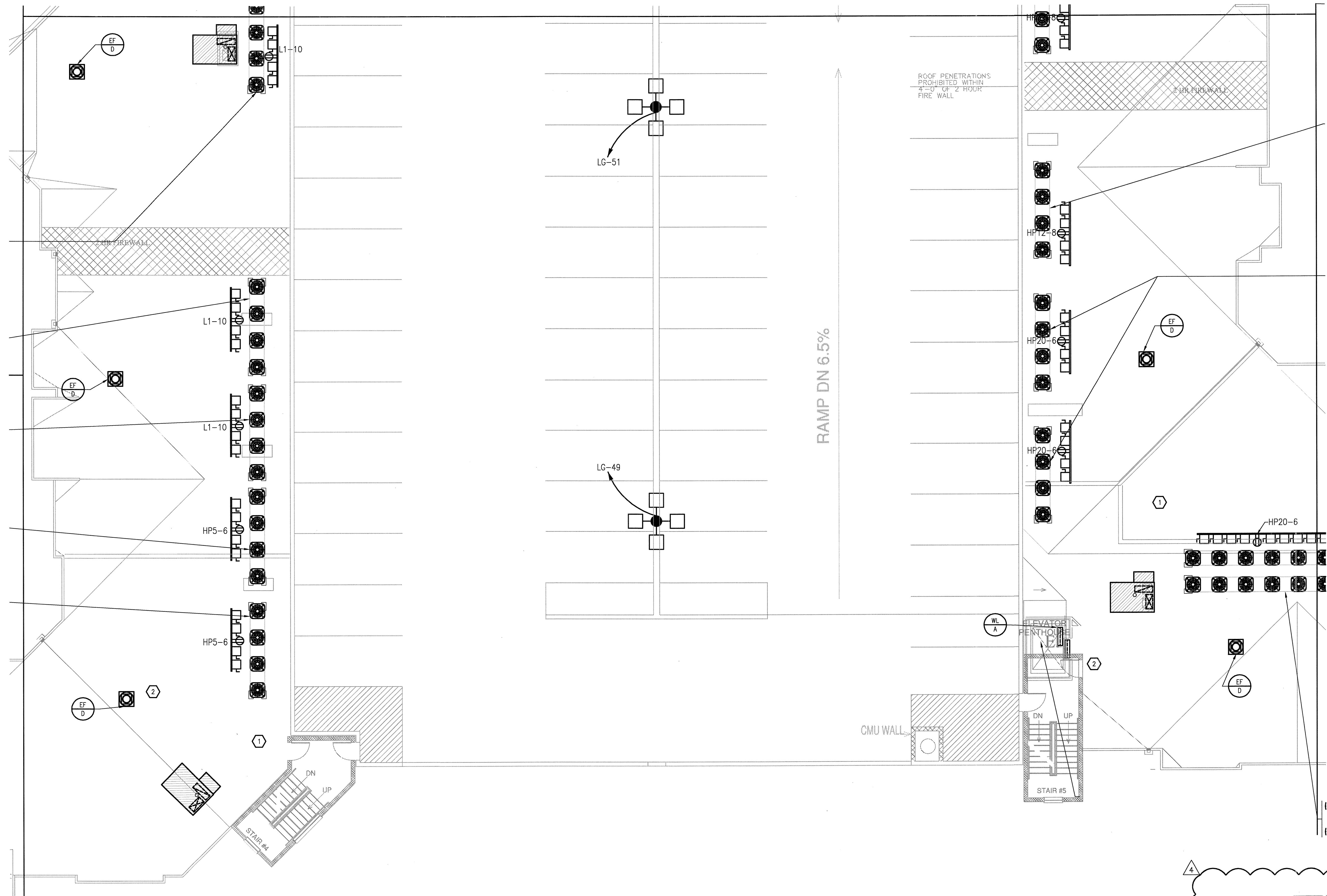
LOFT APARTMENTS IN ADDISON, TEXAS

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Dallas, TX 75204
214.520.8878
bgoarchitects.com

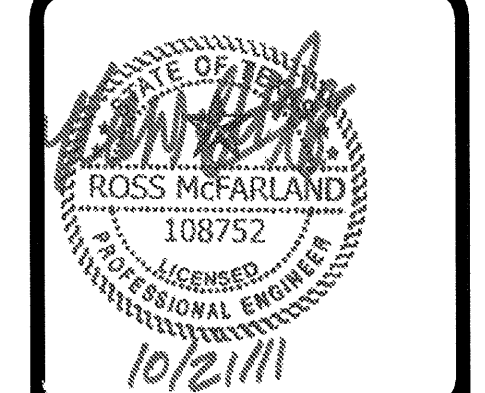
DATE	08-05-11
PROJECT	11129
SHEET NUMBER	E-3.5C



JSE Jordan & Skala Engineers
14240 Midway Road, Suite 350
Dallas, TX 75244-5130
V: (469) 353-1616 F: (469) 383-1613
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: MJ Checked By: RAD



1 DIVISION 'D' ROOF PLAN
SCALE: 1/8" = 1'-0"



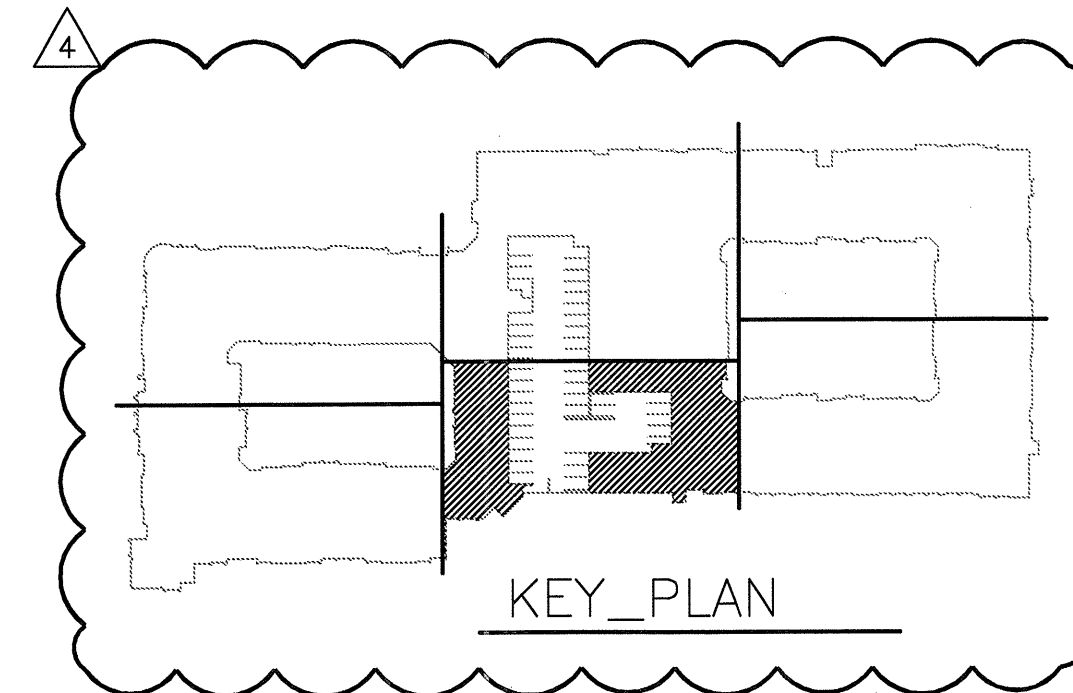
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2	9-13-2011 ANSI/FHA COMMENTS
3	9-23-2011 DESIGN REVISIONS
4	10-17-2011 CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS
LOFT APARTMENTS IN ADDISON, TEXAS

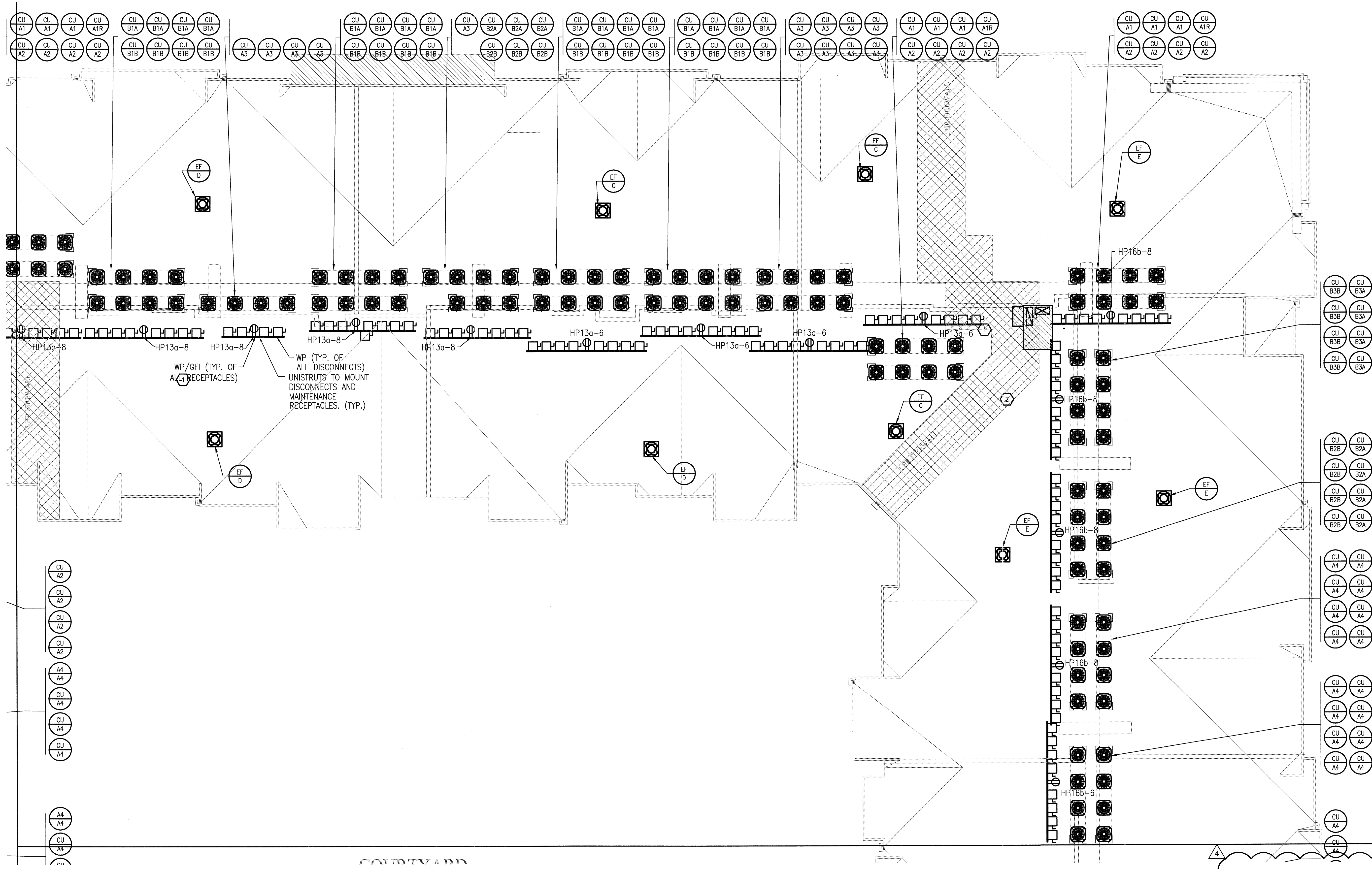
BGO architects
4144 N. Central Expy.
Suite 855
Dallas, TX 75204
214.520.8878
bgoarchitects.com

DATE: 08-05-11
PROJECT: 11129
SHEET NUMBER:

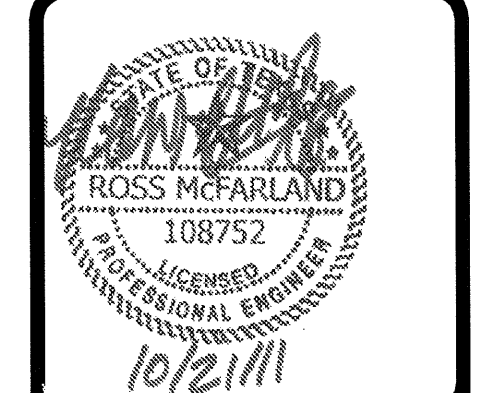
E-3.5D



JSE Jordan & Skala Engineers
14240 Midway Road, Suite 350
Dallas, TX 75244-5138
Project Number - 113-0355
Drawn By: MJ
Texas Firm Registration # F-4990
Checked By: RAD



1 DIVISION 'E' ROOF PLAN
SCALE: 1/8" = 1'-0"



REVISIONS

1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS
LOFT APARTMENTS IN ADDISON, TEXAS

BGO architects
4144 N. Central Expy.
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Dallas, TX 75204
214.520.8878
bgoarchitects.com

DATE
08-05-11

PROJECT
11129

SHEET NUMBER
E-3.5E

JSE Jordan & Skala Engineers
14240 Midway Road, Suite 350
Dallas, TX 75244-0139
Tel: (469) 863-1676 Fax: (469) 383-1613
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: MJ Checked By: RAD



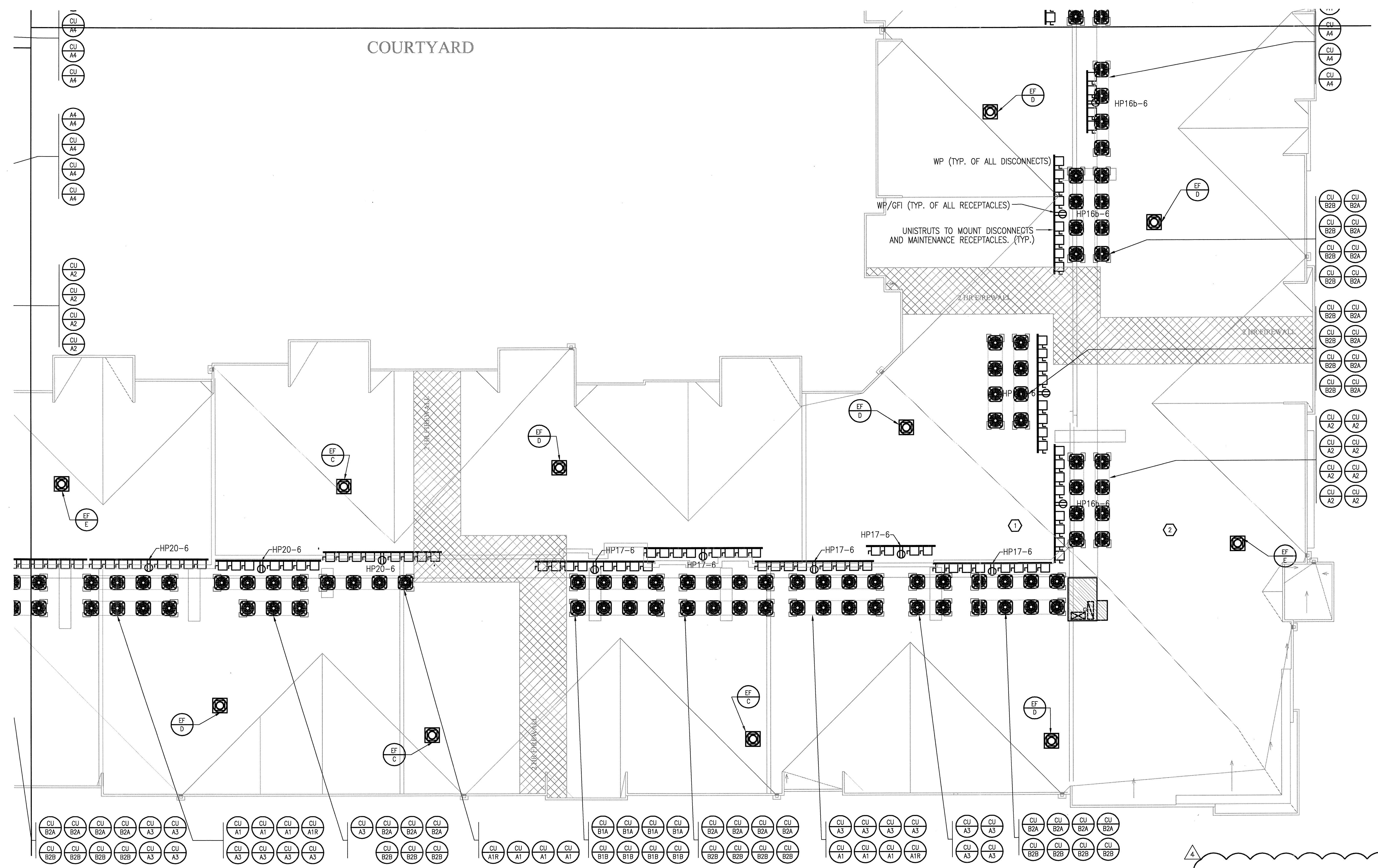
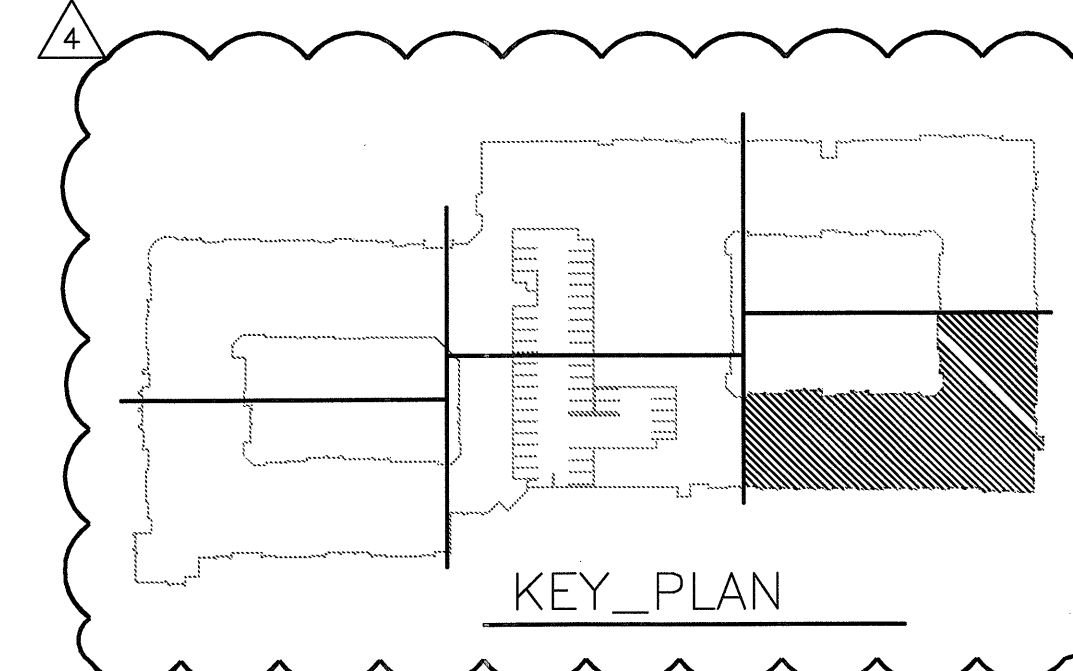
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2	9-13-2011 ANSI/FHA COMMENTS
3	9-23-2011 DESIGN REVISIONS
4	10-17-2011 CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS
 LOFT APARTMENTS IN ADDISON, TEXAS

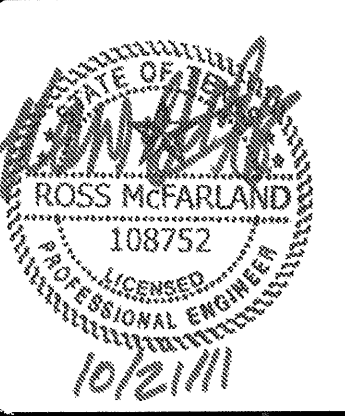
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 Suite 855
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 bgoarchitects.com

DATE
 08-05-11
 PROJECT
 11129
 SHEET NUMBER
E-3.5F

JSE Jordan & Skala Engineers
 14210 Midway Road, Suite 3101
 Dallas, TX 75244-5138
 Project Number - 113-0355 Texas Firm Registration # F-4990
 Drawn By: MJ Checked By: RAD



1 DIVISION 'F' ROOF PLAN
 SCALE: 1/8" = 1'-0"



REVISIONS	
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2	9-13-2011 ANSI/FHA COMMENTS
3	9-23-2011 DESIGN REVISIONS
4	10-17-2011 CONSTRUCTION ISSUE

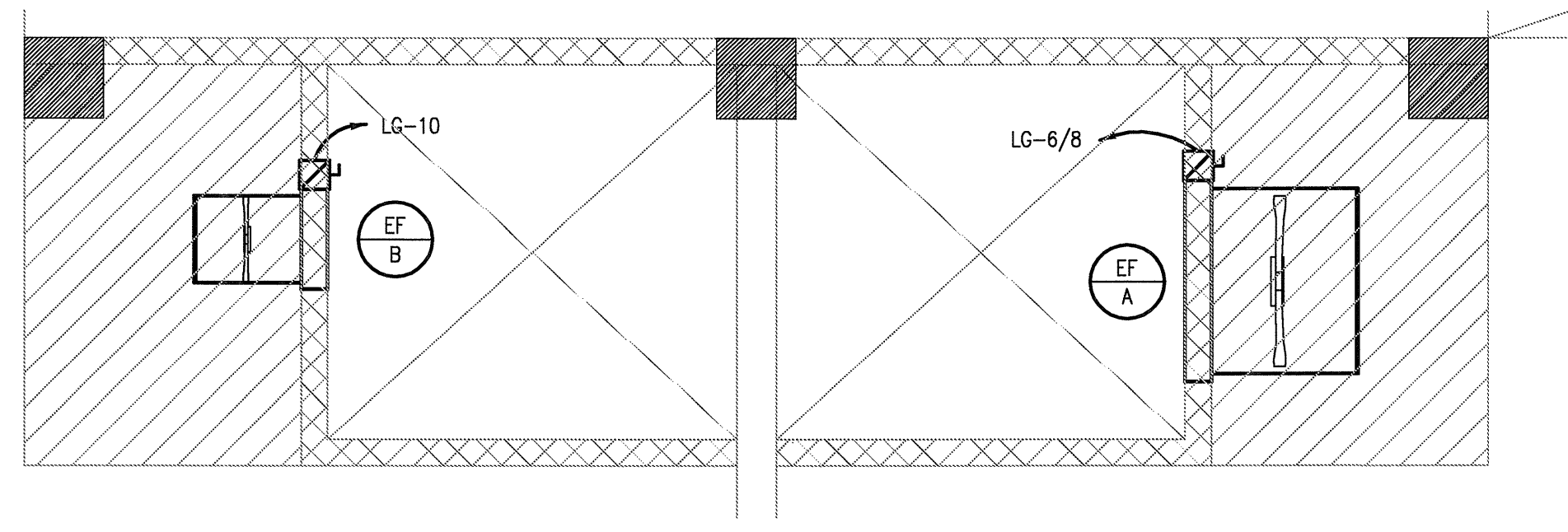
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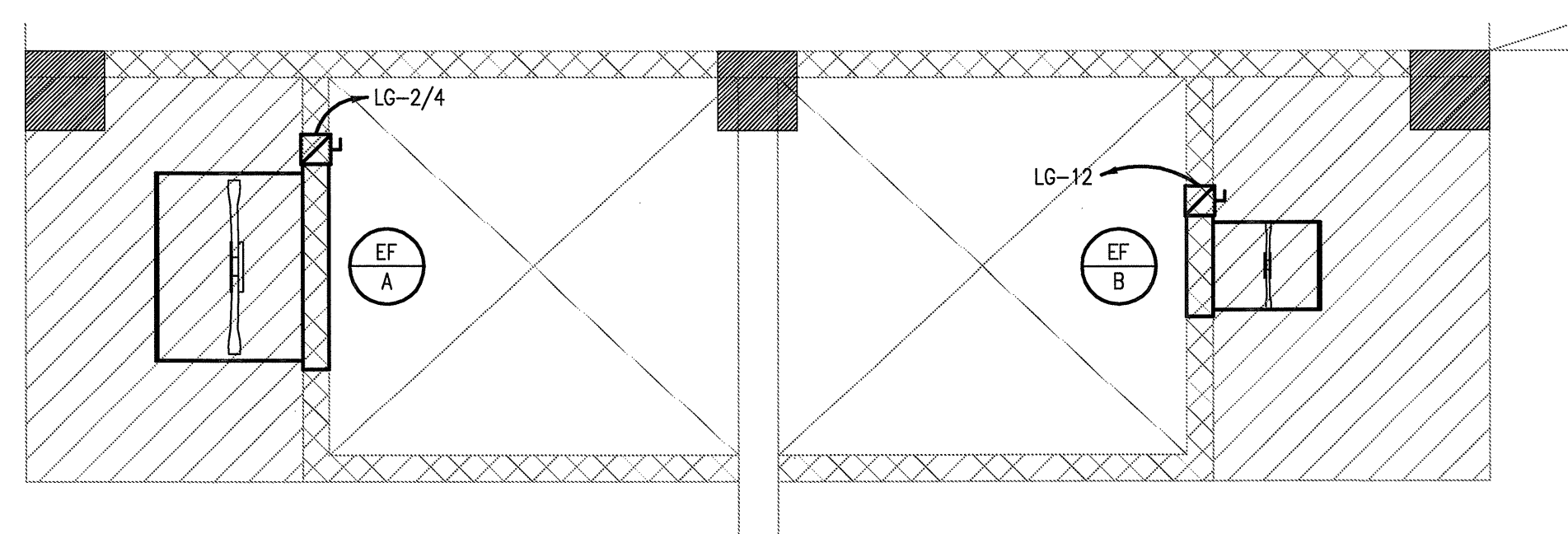
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PROJECT
11129

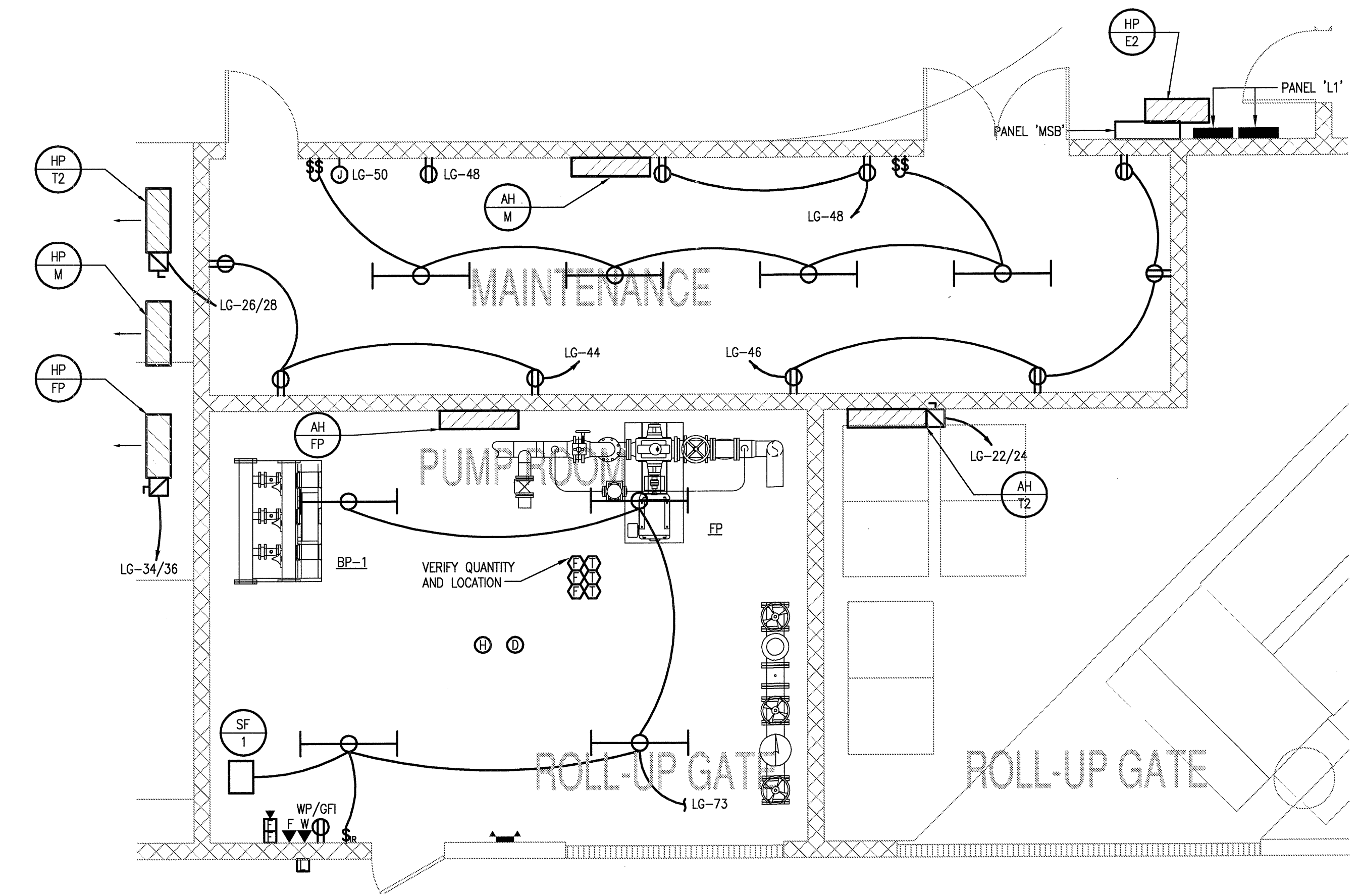
SHEET NUMBER
E-4.1
PARTIAL
PLANS
ELECTRICAL



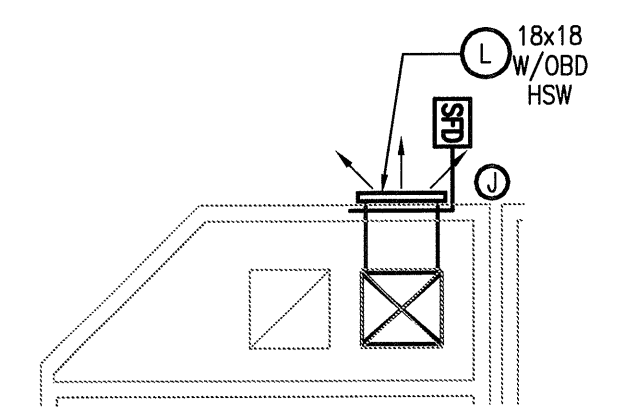
5 GARAGE VENTING - ELECTRICAL
SCALE: 1/4" = 1'-0"
1ST, 3RD, & 5TH FLOORS



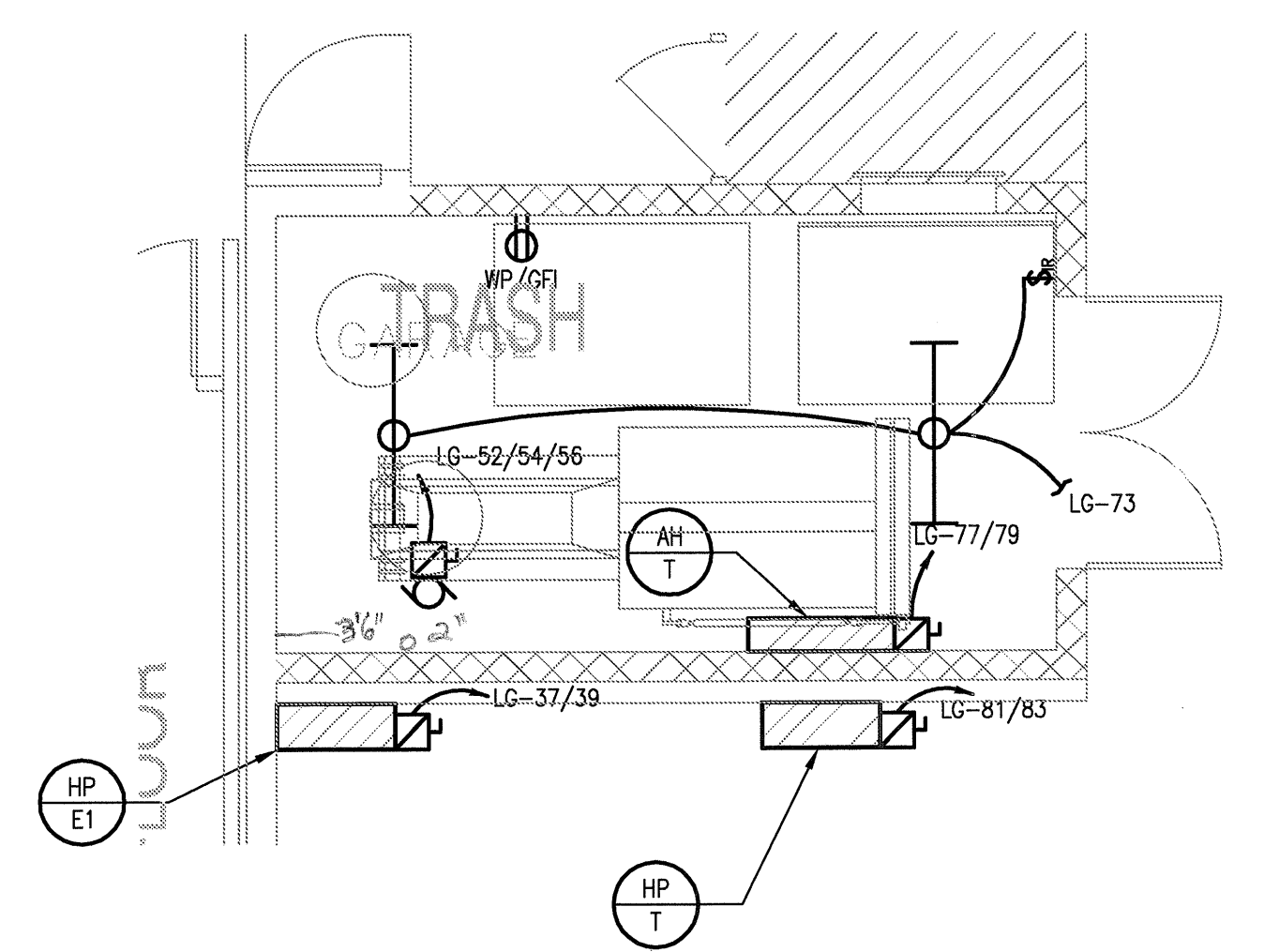
4 GARAGE VENTING - ELECTRICAL
SCALE: 1/4" = 1'-0"
2ND, 4TH, & 6TH FLOORS



3 MAINTENANCE - ELECTRICAL
SCALE: 1/4" = 1'-0"
NOTE: COORDINATE EXACT LOCATION OF FIRE PUMP AND BOOSTER PUMPS WITH FIRE PROTECTION CONTRACTOR

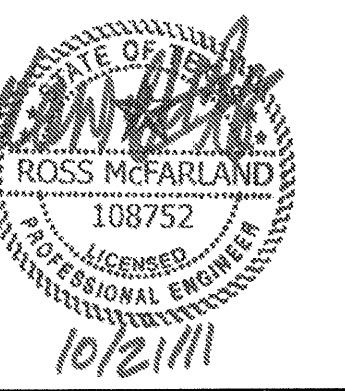


2 TYP. CORRIDOR A/C - ELECTRICAL
SCALE: 1/4" = 1'-0"

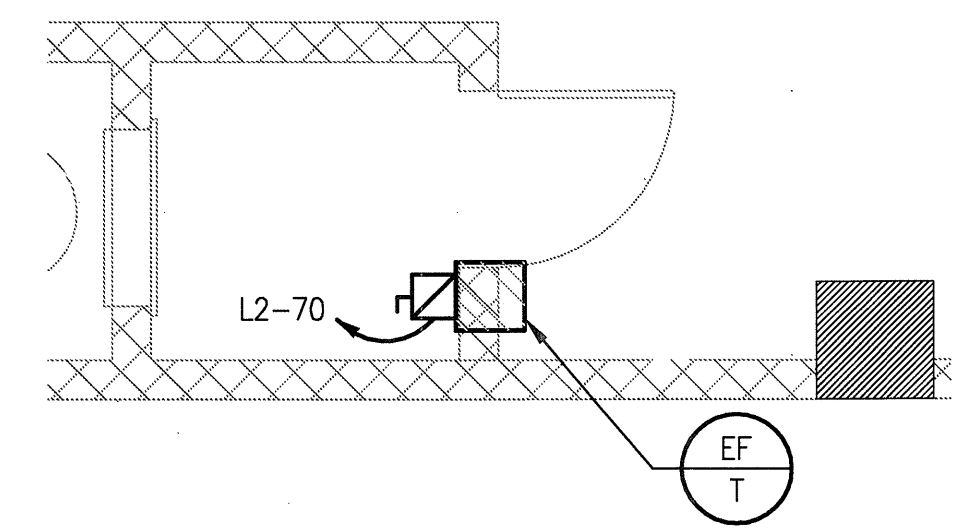


1 TRASH - ELECTRICAL
SCALE: 1/4" = 1'-0"
1ST FLOOR

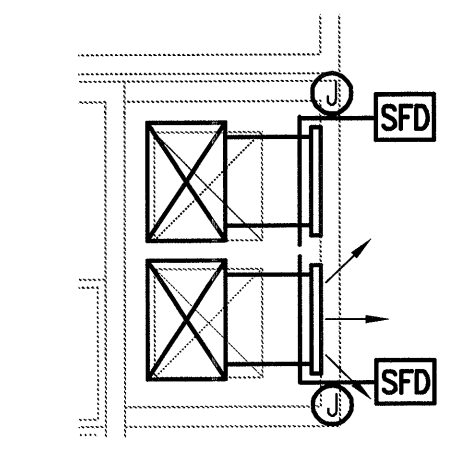
USE Jordan & Skala Engineers
14240 Midway Road, Suite 350
Dallas, TX 75244-2136
V: (469) 383-1616 F: (469) 383-1615
Project Number - 113-0555 Texas Firm Registration # F-4990
Drawn By: MJ Checked By: RAD



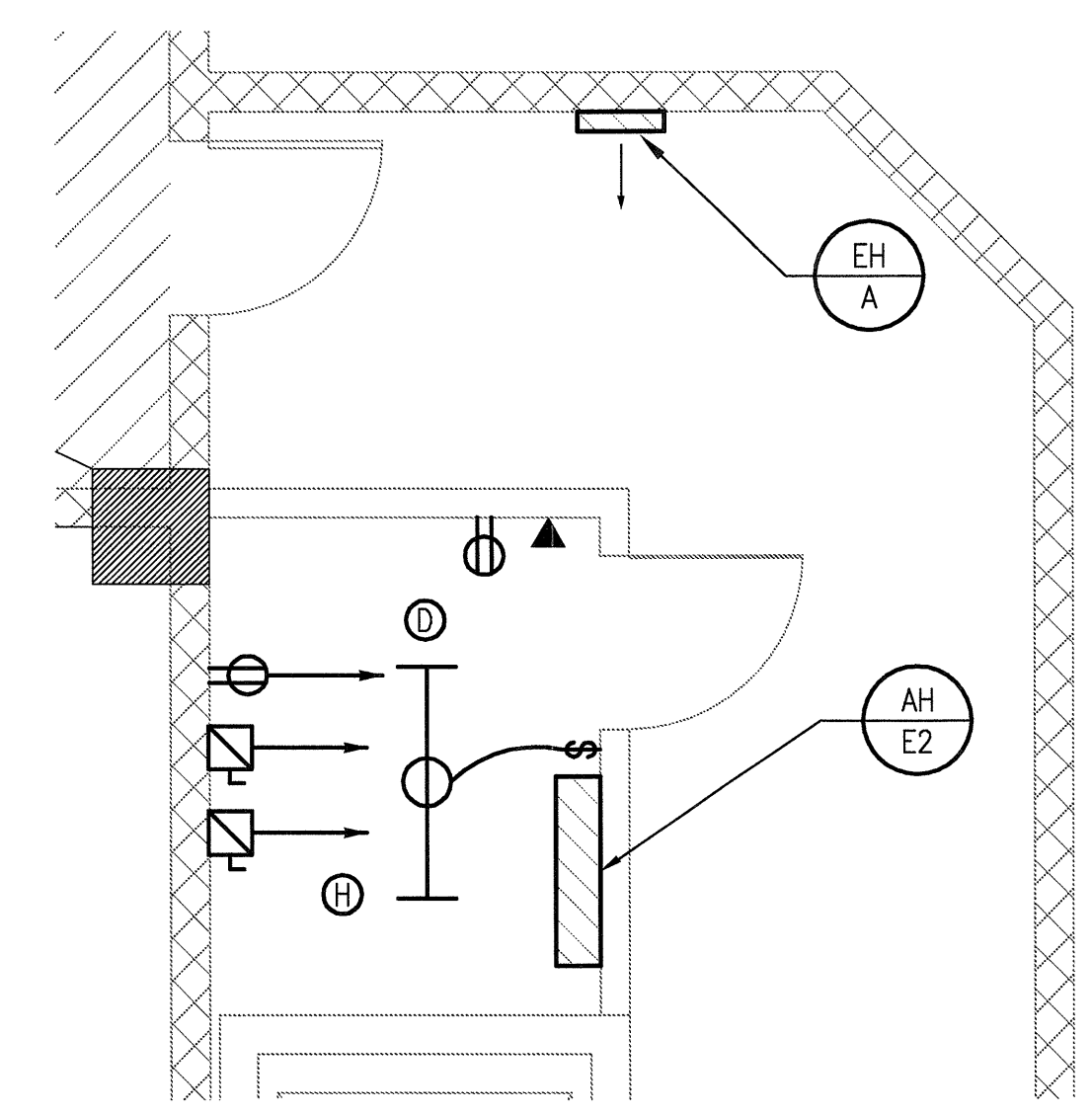
REVISIONS	
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2	9-13-2011 ANSI/FHA COMMENTS
3	9-23-2011 DESIGN REVISIONS
4	10-17-2011 CONSTRUCTION ISSUE



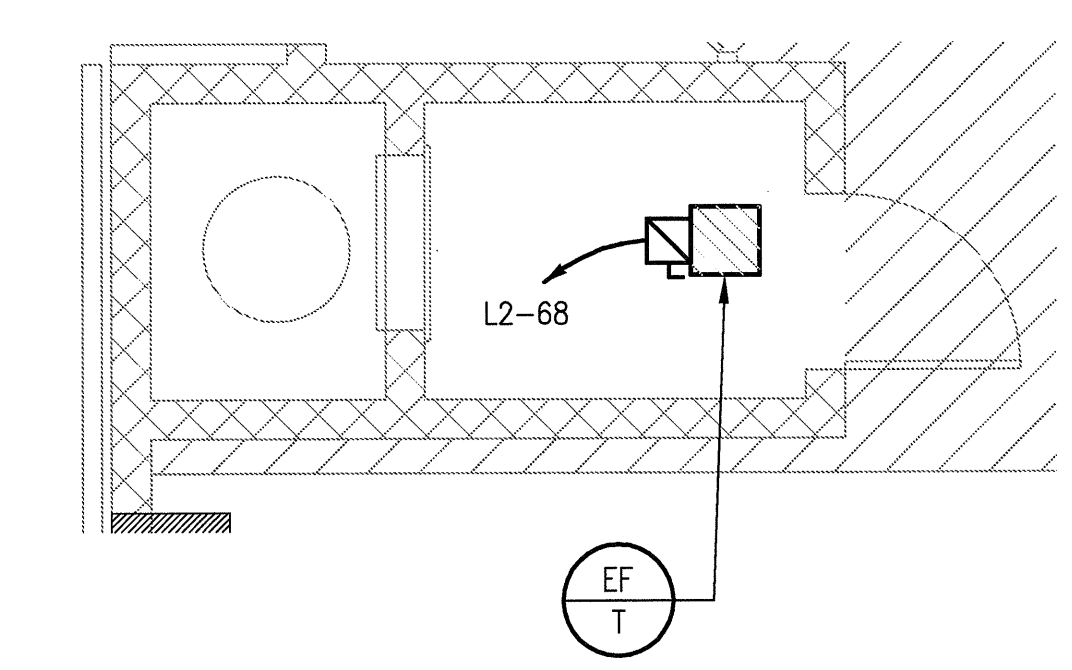
1 TRASH - ELECTRICAL
SCALE: 1/4" = 1'-0" 2ND THRU 4TH FLOOR



2 TRASH - ELECTRICAL
SCALE: 1/4" = 1'-0" 2ND THRU 4TH FLOOR



4 ELEVATOR ROOM - ELECTRICAL
SCALE: 1/4" = 1'-0"



3 TRASH - ELECTRICAL
SCALE: 1/4" = 1'-0" 2ND THRU 4TH FLOOR

KELLER SPRINGS LOFTS
 LOFT APARTMENTS IN ADDISON, TEXAS

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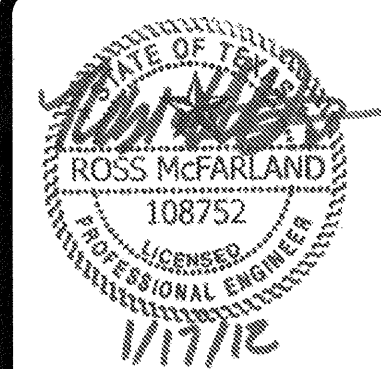
DATE
08-05-11

PROJECT
11129

SHEET NUMBER
E-4.2

**PARTIAL
PLANS
ELECTRICAL**

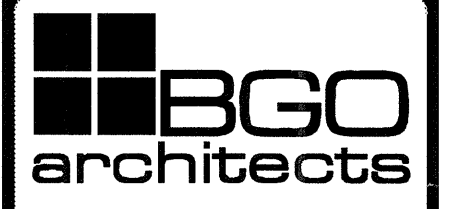
JSE Jordan & Skala Engineers
 14210 Midway Road, Suite 570
 Dallas, TX 75244-3138
 V: (469) 385-1676 F: (469) 385-1613
 Project Number - 113-0355 Texas Firm Registration # F-4990
 Drawn By: MJ Checked By: RAD



REVISIONS		
1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE
5	12-21-2011	DESIGN REVISIONS
6	1-17-2012	DESIGN REVISIONS

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS



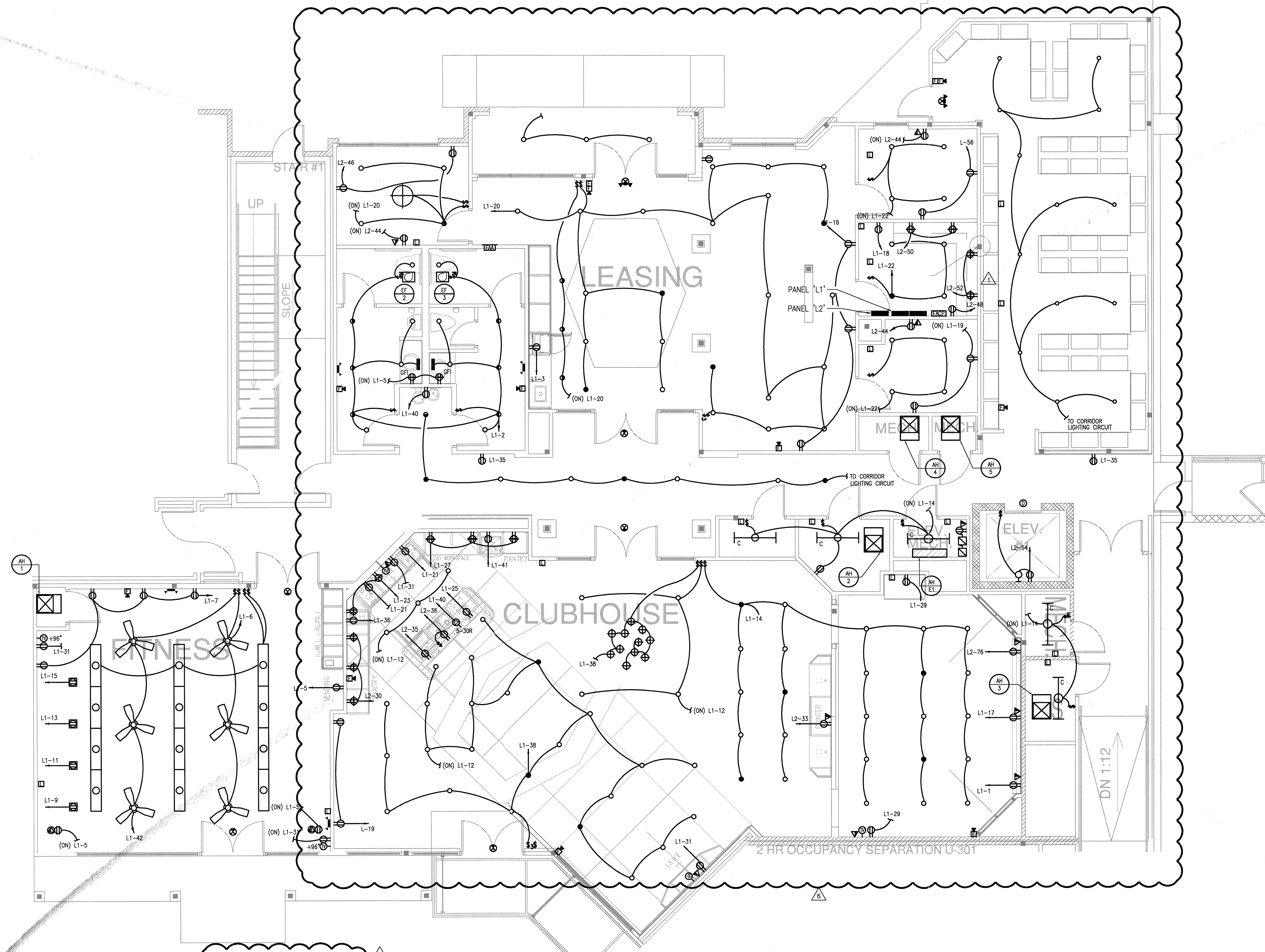
4144 N. Central Expy.
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Dallas, TX 75204
214.520.8878
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DATE
08-05-11

PROJECT
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SHEET NUMBER

E-9.1



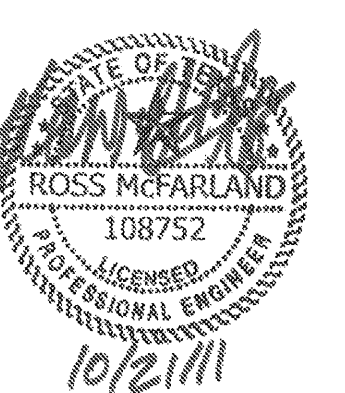
GENERAL NOTES

G-1. REFERENCE INTERIOR DESIGN DRAWINGS FOR FIXTURE LOCATIONS, QUANTITIES, TYPES AND FIXTURE SCHEDULE.

G-2. COORDINATE SWITCHING WITH INTERIORS. ALL SWITCHING MUST COMPLY WITH CITY OF

1 Clubhouse
SCALE: 1/4" = 1'-0"

USE Jordan & Skala Engineers
14240 Midway Road, Suite 350
Dallas, TX 75244-5158
V: (469) 385-1616, F: (469) 385-1619
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: MJ Checked By: RAD



REVISIONS	
1	9-2-2011 DESIGN REVISIONS
2	9-13-2011 ANSI/FHA COMMENTS
3	9-23-2011 DESIGN REVISIONS
4	10-17-2011 CONSTRUCTION ISSUE

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LOFT APARTMENTS IN ADDISON, TEXAS

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Suite 855
Dallas, TX 75204
214.520.8878
bgoarchitects.com

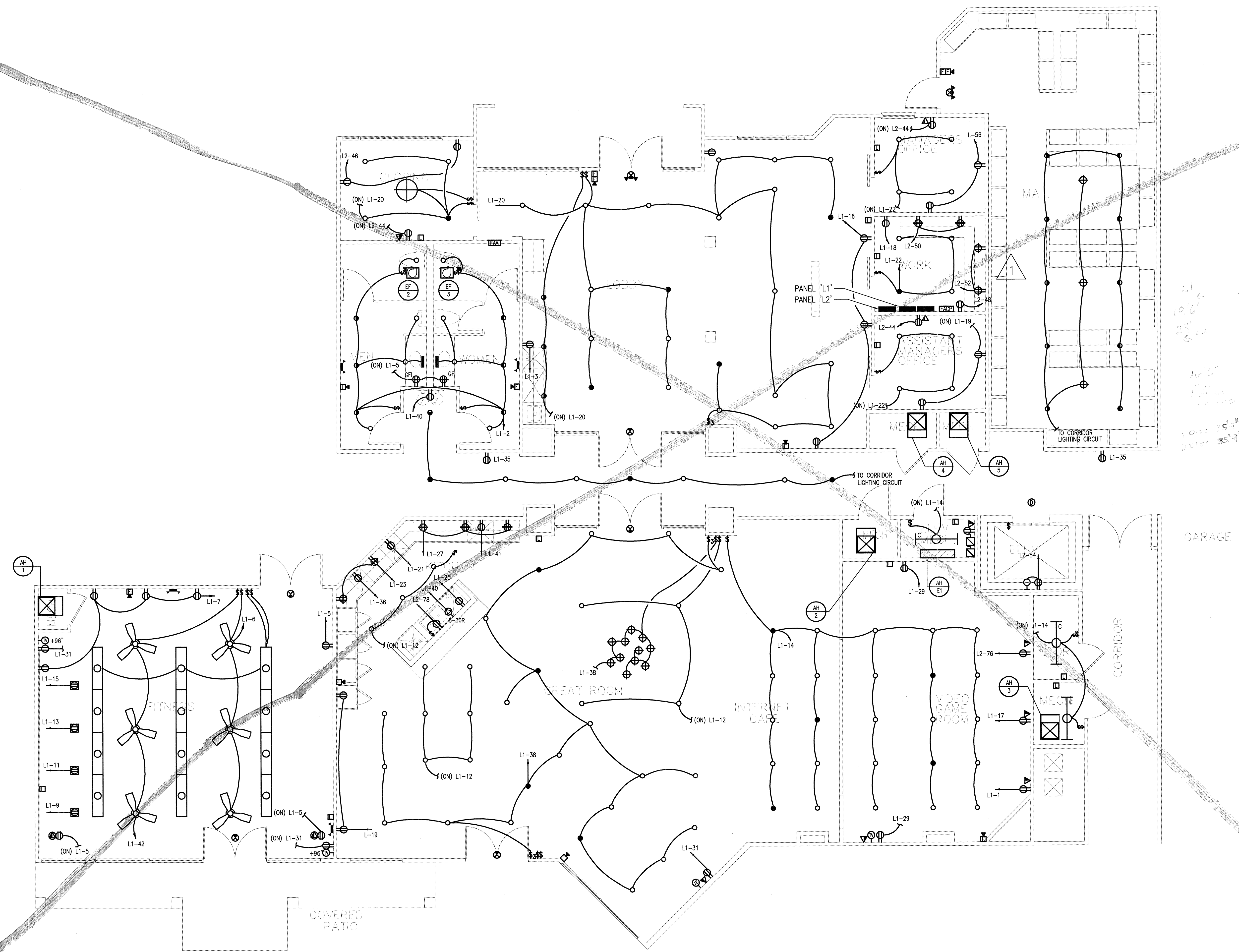
DATE
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PROJECT
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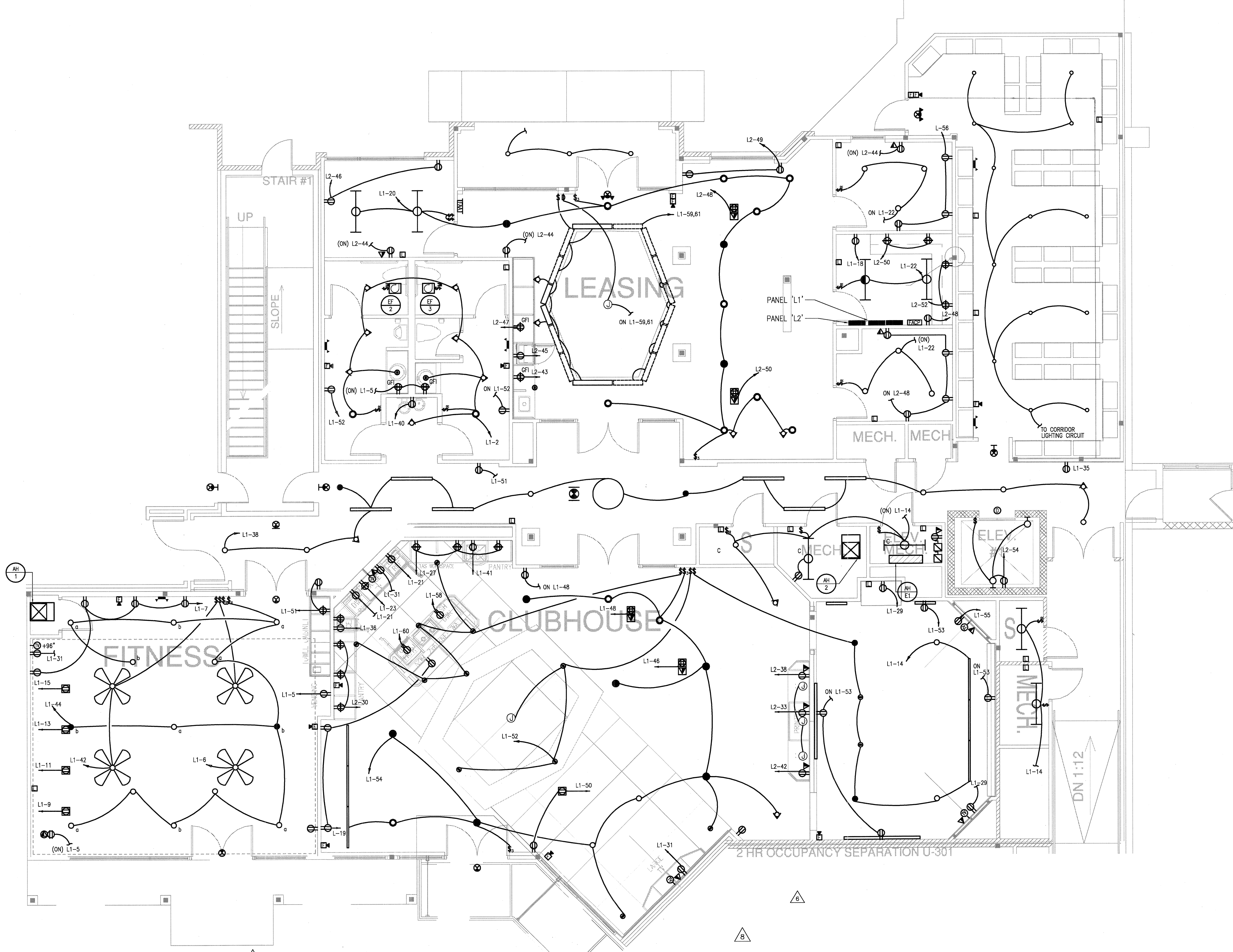
E-9.1

JSE Jordan & Skala Engineers
14350 Midway Blvd, Suite 310
Dallas, TX 75244-5138
P: (469) 380-1876 F: (469) 380-1615
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: MJ Checkled By: RAD



GENERAL NOTES
G-1. REFERENCE INTERIOR DESIGN DRAWINGS FOR EXACT FIXTURE LOCATIONS AND FIXTURE SCHEDULE.

1 Clubhouse
SCALE: 1/4" = 1'-0"



GENERAL NOTES

- G-1. REFERENCE INTERIOR DESIGN DRAWINGS FOR FIXTURE LOCATIONS, QUANTITIES, TYPES AND FIXTURE SCHEDULE.
- G-2. COORDINATE SWITCHING WITH INTERIORS. ALL SWITCHING MUST COMPLY WITH CITY OF ADDISON AND IECC.

GENERAL NOTES

- G-1. MANUAL OVERRIDE SWITCH FOR CLUB AREA.

1 Clubhouse
SCALE: 1/4" = 1'-0"

REVISIONS		
1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE
5	12-21-2011	DESIGN REVISIONS
6	1-17-2012	DESIGN REVISIONS
7	2-15-2012	TRANSFORMER REVISIONS
8	3-27-2012	CLUBHOUSE REVISIONS
9	4-17-2012	COORDINATION

KELLER SPRINGS LOFTS
LOFT APARTMENTS IN ADDISON, TEXAS

10	5-15-2012	COORDINATION
11	5-30-2012	SITE COORDINATION
12	6-01-12	LIGHTING REVISIONS
13	6-29-12	SITE COORDINATION
14	9-05-12	CLUB REVISIONS

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architects
4144 N. Central Expy.
Suite 855
Dallas, TX 75204
214.520.8878
bgoarchitects.com

DATE
08-05-11

PROJECT
11129

SHEET NUMBER

E-9.1

JSE Jordan & Skala Engineers
17833 N. Dallas Parkway, Suite 320
Dallas, TX 75237-4857
V: (469) 393-1616 Web: www.jordanskala.com
Project Number - 113-0555 Texas Firm Registration # F-4990
Drawn By: Checked By:

EMBREY BUILDERS, LLC.
 1020 N. E. Loop 410, Suite 700
 San Antonio, TX 78209
 Ph: (210) 824-6044 Fax: (210) 824-7656

RFI

To: Jordan & Skala Engineers, Inc.
 14240 Midway Road, Suite 350
 Dallas, TX 75244
 Ph: 469/385-1616 Fax: 469/385-1615

RFI #: 77
 Date: 3/15/2012
 Job: EB-02 Keller Springs Lofts
 Phone: 877-777-5115

CC: Erik Eamshaw (BGO)
 Subject: Conflicts with meter center locations and numbers

Drawing: Oncor final plan, E-10.1, 3.1C, e-3.1C
 Cost Impact: None
 Spec Section:
 Schedule Impact: None

Request:
 Some of the meter centers have changed location and numbers. 3.1C in Architectural and E-3.1C have different meter center numbers than the final E-10.1 and oncor final drawing. Also, E-10.1 and Oncor show two meter centers inside the garage. This must be a mistake. The meter centers should be mounted to the exterior of the building as shown on 3.1C and E-3.1C. I think we may want to have the meter center numbers match the Oncor plans and change from 3.1C and E-3.1C. These conflicts are very confusing and need to be corrected so we get them in the right place. Please see attachments and advise.

Requested by: Bryan Pickler
 Embrey Partners, Ltd.

Response:
 The meter centers were updated as part of rfi 96 on March 30th. The meter center names shall match those shown in the rfi 96 response. See attached for rfi response and updated drawings.

Heath Parnell
 Answered by: Jordan & Skala
 Company: Jordan & Skala
 Date: 4-10-12

EMBREY BUILDERS, LLC.
 1020 N. E. Loop 410, Suite 700
 San Antonio, TX 78209
 Ph: (210) 824-6044 Fax: (210) 824-7656

RFI

To: Jordan & Skala Engineers, Inc.
 14240 Midway Road, Suite 350
 Dallas, TX 75244
 Ph: 469/385-1616 Fax: 469/385-1615

RFI #: 13
 Date: 12/14/2011
 Job: EB-02 Keller Springs Lofts
 Phone: 877-777-5115

CC: David Gallagher (Embrey Build (Embrey Construction LLC))
 Subject: Electrical switch gear

Drawing: E10.1 and C 10A
 Cost Impact: None
 Spec Section:
 Schedule Impact: None

Request:
 Has the electrical switch gear on sheets E10.1 and C 10A been Eliminated?
 Date Required: 12/21/2011

Requested by: Bryan Pickler
 Embrey Partners, Ltd.

Response:
 The latest Oncor plan made available to JSB does not show switchgear.

Heath Parnell
 Answered by: Jordan & Skala
 Company: Jordan & Skala
 Date: 2-2-12

EMBREY BUILDERS, LLC.
 1020 N. E. Loop 410, Suite 700
 San Antonio, TX 78209
 Ph: (210) 824-6044 Fax: (210) 824-7656

RFI

To: Heath Parnell
 Jordan & Skala Engineers, Inc.
 14240 Midway Road, Suite 350
 Dallas, TX 75244
 Ph: 469/385-1616 Fax: 469/385-1615

RFI #: 96
 Date: 3/28/2012
 Job: EB-02 Keller Springs Lofts
 Phone: 877-777-5115

CC: Erik Eamshaw (Beeler Guest Owens Architects)
 Subject: Meter Center Locations

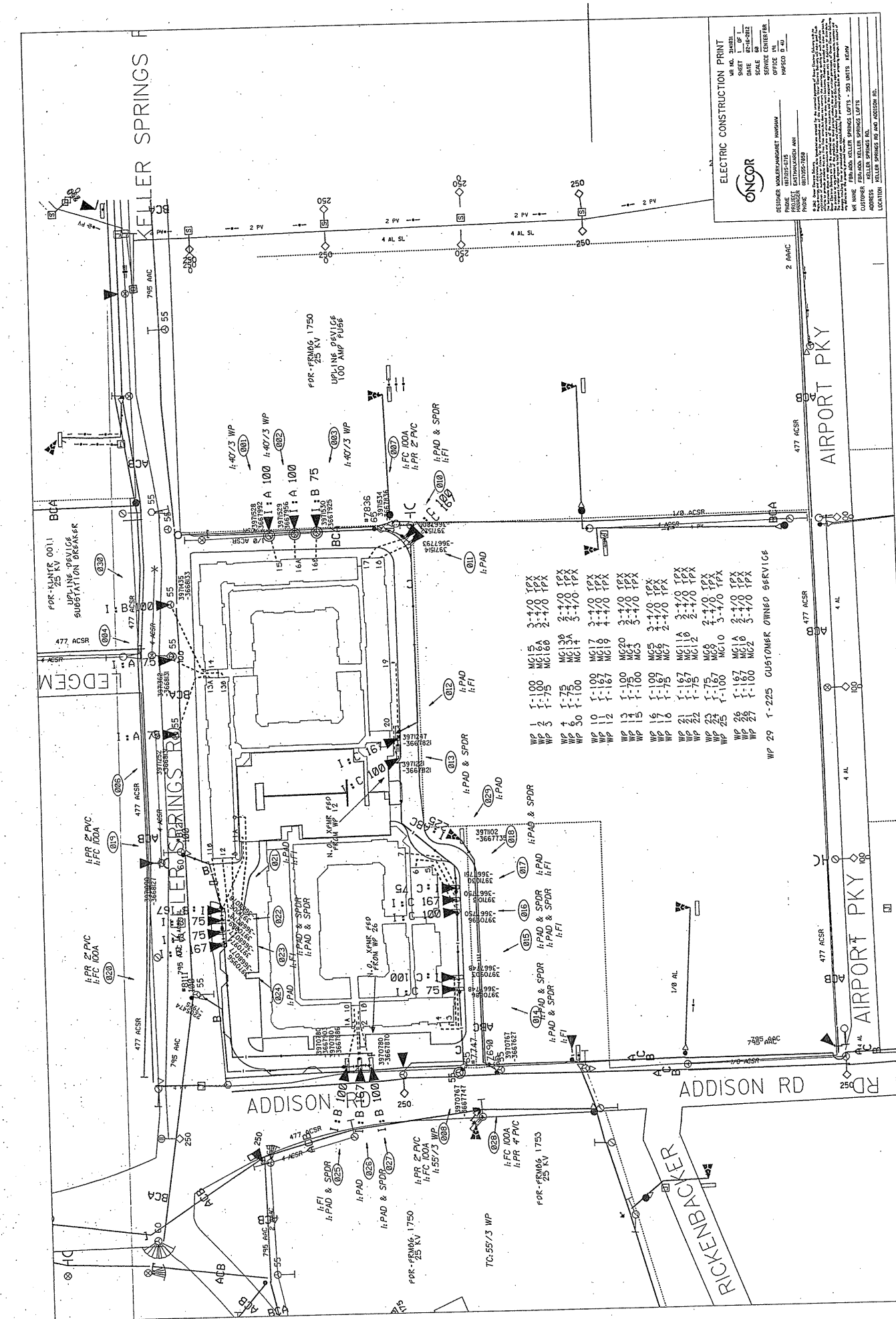
Drawing: E3.1A, E3.1C, E10.1 and Oncor
 Construction Print
 Cost Impact: None
 Spec Section:
 Schedule Impact: None

Request:
 Please see the attached Oncor Construction Print. The following Meter Center locations do not match up with Oncor's layout. E3.1A - MC1B and MC2 are reversed from Oncor plan. These meter centers are also in the wrong location on E10.1. E3.1C - MC3, MC1A, MC1B and MC12 are different from Oncor plan. MC9 is OK. E10.1 also needs to match up with the Oncor plan. Please revise plans to match the Oncor layout.

Requested by: David Miller
 Embrey Builders LLC

Response:
 Please see attached drawings for revisions in coordination with Oncor drawings.

Mike Jennings
 Answered by: Jordan & Skala Engineers
 Company: Jordan & Skala Engineers
 Date: 3/30/2012



EMBREY BUILDERS, LLC.
1020 N. E. Loop 410, Suite 700
San Antonio, TX 78209
Ph: (210) 824-6044 Fax: (210) 824-7656

RFI

To: Jordan & Skala Engineers, Inc.
14240 Midway Road, Suite 350
Dallas, TX 75244
Ph: 469/385-1616 Fax: 469/385-1615

RFI #: 77
Date: 3/15/2012
Job: EB-02 Keller Springs Lofts
Phone: 877-777-5115

CC: Erik Earnshaw (BOG)

Subject: Conflicts with meter center locations and numbers

Drawing: Oncor final plan, E-10.1, 3.1C, e-3.1C Spec Section:
Cost Impact: None Schedule Impact: None

Request: Date Required: 3/22/2012

Some of the meter centers have changed location and numbers. 3.1C in Architectural and E-3.1C have different meter center numbers than the final E-10.1 and encore Final drawing. Also, E-10.1 and Oncor show two meter centers inside the garage. This must be a mistake. The meter centers should be mounted to the exterior of the building as shown on 3.1C and E-3.1C. I think we may want to have the meter center numbers match the Oncor plans and change from 3.1C and E-3.1C. These conflicts are very confusing and need to be corrected so we get them in the right place. Please see attachments and advise.

Requested by: Bryan Pickler
Embrey Partners, Ltd.

Response:

The meter centers were updated as part of rfi 96 on March 30th. The meter center names shall match those shown in the rfi 96 response. See attached for rfi response and updated drawings.

Heath Parnell

Answered by: Jordan & Skala 4-10-12
Company: Date

Page 1 of 1

EMBREY BUILDERS, LLC.
1020 N. E. Loop 410, Suite 700
San Antonio, TX 78209
Ph: (210) 824-6044 Fax: (210) 824-7656

RFI

To: Heath Parnell
Jordan & Skala Engineers, Inc.
14240 Midway Road, Suite 350
Dallas, TX 75244
Ph: 469/385-1616 Fax: 469/385-1615

RFI #: 96
Date: 3/28/2012
Job: EB-02 Keller Springs Lofts
Phone: 877-777-5115

CC: Erik Earnshaw (Beeler Guest Owens Architects)

Subject: Meter Center Locations -

Drawing: E3.1A, E3.1C, E10.1 and Oncor Spec Section:
Construction Print Schedule Impact: None
Cost Impact: None

Request: Date Required: 4/4/2012

Please see the attached Oncor Construction Print. The following Meter Center locations do not match up with Oncor's layout. E3.1A - MC1B and MC2 are reversed from Oncor plan. These meter centers are also in the wrong location on E10.1. E3.1C - MC3, MC11A, MC11B and MC12 are different from Oncor plan. MC9 is OK. E10.1 also needs to match up with the Oncor plan. Please revise plans to match the Oncor layout.

Requested by: David Miller
Embrey Builders LLC

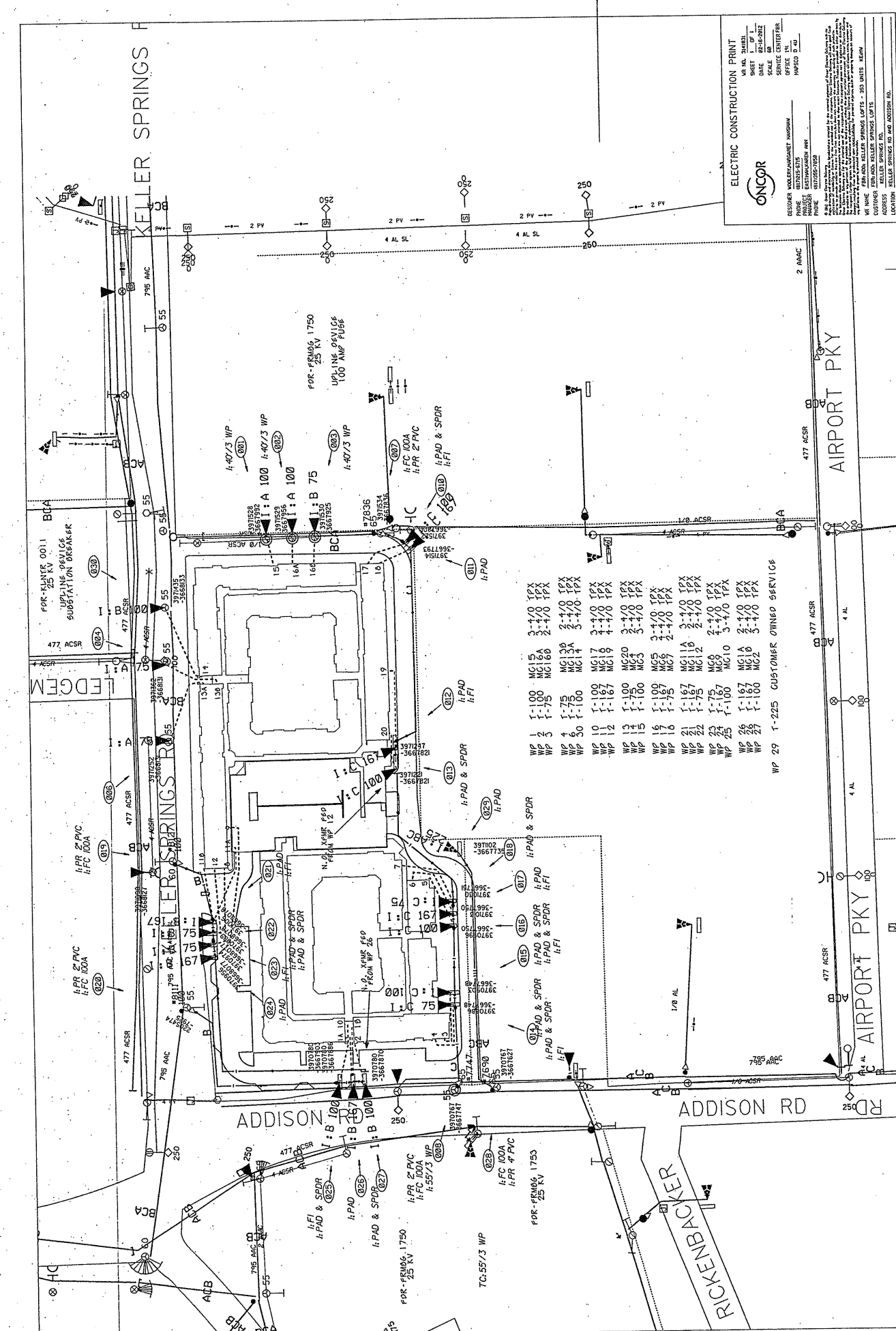
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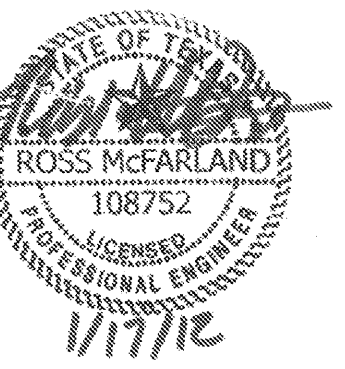
Please see attached drawings for revisions in coordination with Oncor drawings.

Mike Jennings

Answered by: Jordan & Skala Engineers 3/30/2012
Company: Date

Page 1 of 1

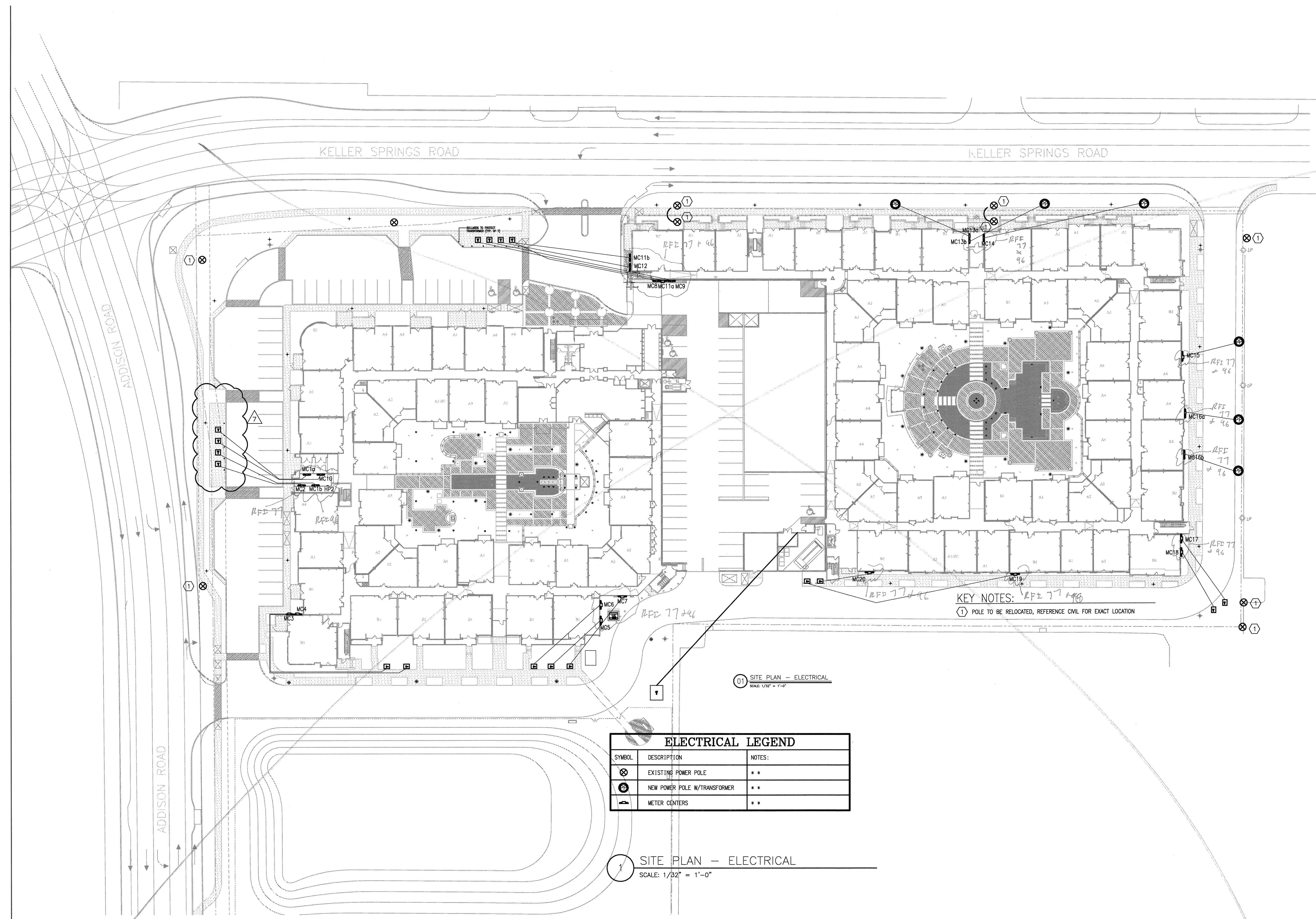




REVISIONS		
1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE
5	12-21-2011	DESIGN REVISIONS
6	1-17-2012	DESIGN REVISIONS
7	2-15-2012	TRANSFORMER REVISIONS

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS



01 SITE PLAN - ELECTRICAL
SCALE: 1/32" = 1'-0"

ELECTRICAL LEGEND		
SYMBOL	DESCRIPTION	NOTES:
⊗	EXISTING POWER POLE	**
⊕	NEW POWER POLE W/TRANSFORMER	**
⊠	METER CENTERS	**

01 SITE PLAN - ELECTRICAL
SCALE: 1/32" = 1'-0"

KEY NOTES: RFE 77 + 96
① POLE TO BE RELOCATED, REFERENCE CIVIL FOR EXACT LOCATION

JSE Jordan & Skala Engineers
 14240 Midway Road, Suite 250
 Dallas, TX 75244-5138
 V: (469) 383-1416 F: (469) 393-1615
 Project Number - 113-0355 Texas Firm Registration # F-4990
 Drawn By: MJ Checked By: RAD

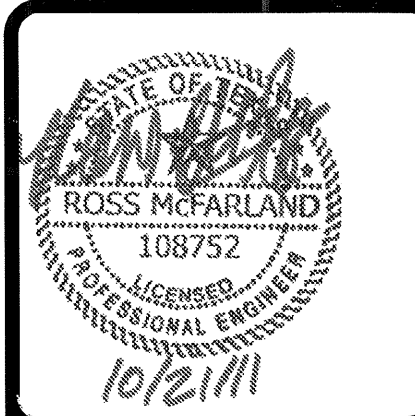
BGO architects
 4144 N. Central Expy.
 Suite 855
 Dallas, TX 75204
 214.520.8878
 bgoarchitects.com

DATE
08-05-11

PROJECT
11129

SHEET NUMBER
E-10.1

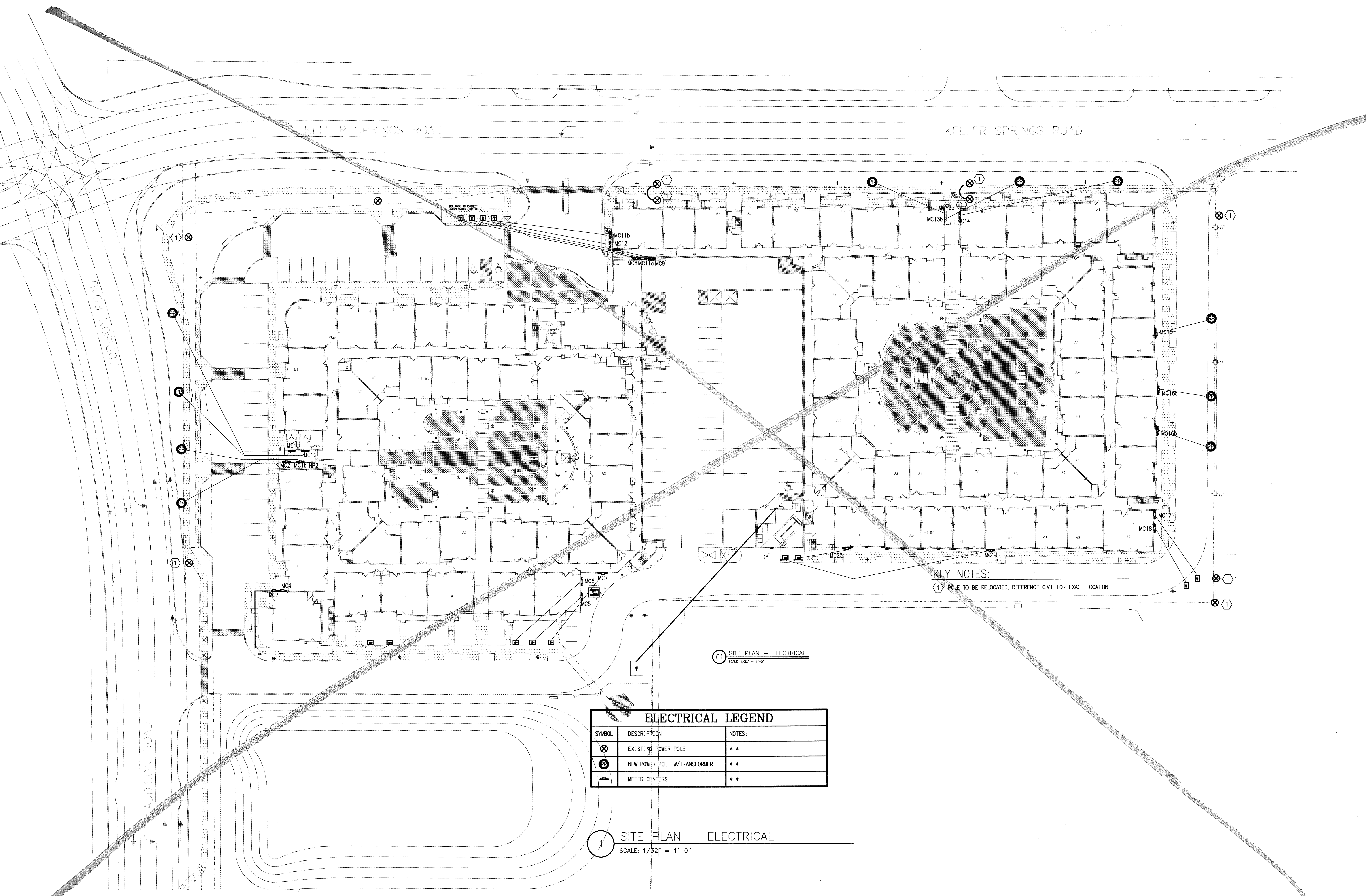
**SITE PLAN
ELECTRICAL**



REVISIONS

1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS
 LOFT APARTMENTS IN ADDISON, TEXAS



KEY NOTES:
 ① POLE TO BE RELOCATED, REFERENCE CIVIL FOR EXACT LOCATION

01 SITE PLAN - ELECTRICAL
 SCALE: 1/32" = 1'-0"

ELECTRICAL LEGEND		
SYMBOL	DESCRIPTION	NOTES
⊗	EXISTING POWER POLE	**
⊕	NEW POWER POLE W/TRANSFORMER	**
Ⓜ	METER CENTERS	**

1 SITE PLAN - ELECTRICAL
 SCALE: 1/32" = 1'-0"

JSE Jordan & Skala Engineers
 14200 Midway Road, Suite 350
 Dallas, TX 75244-9138
 V: (469) 383-1616 F: (469) 383-1613
 Project Number - 113-0355 Texas Firm Registration # F-4990
 Drawn By: MJ Checked By: RAD

BGO architects
 4144 N. Central Exp.
 Suite 855
 Dallas, TX 75204
 214.520.8878
 bgoarchitects.com

DATE
 08-05-11

PROJECT
 11129

SHEET NUMBER

E-10.1
 SITE PLAN
 ELECTRICAL

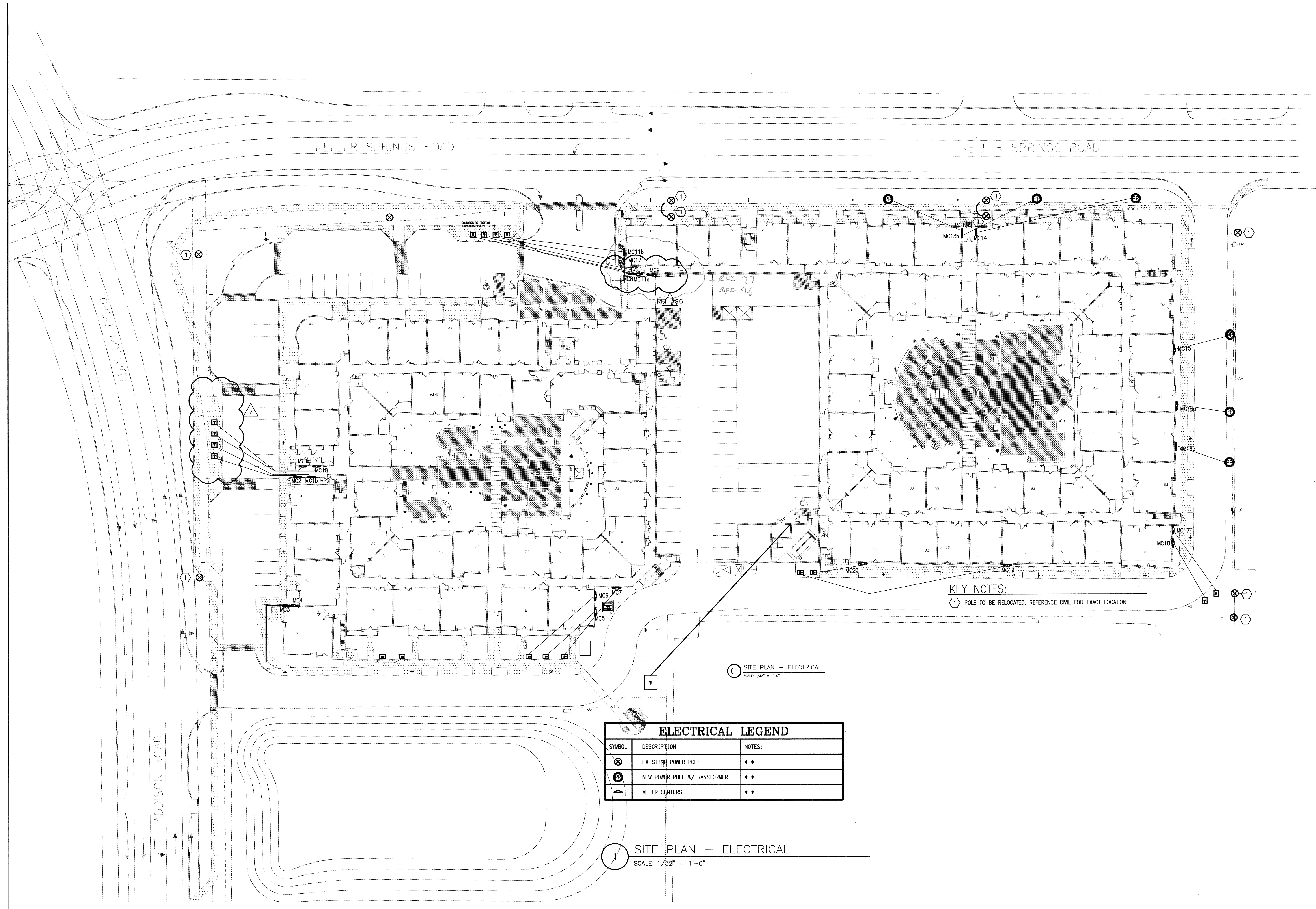


REVISIONS

1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE
5	12-21-2011	DESIGN REVISIONS
6	1-17-2012	DESIGN REVISIONS
7	2-15-2012	TRANSFORMER REVISIONS
8	3-27-2012	CLUBHOUSE REVISIONS

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS



KEY NOTES:
 ① POLE TO BE RELOCATED, REFERENCE CIVIL FOR EXACT LOCATION

01 SITE PLAN - ELECTRICAL
 SCALE: 1/32" = 1'-0"

ELECTRICAL LEGEND		
SYMBOL	DESCRIPTION	NOTES:
⊗	EXISTING POWER POLE	**
⊕	NEW POWER POLE W/TRANSFORMER	**
⊠	METER CENTERS	**

1 SITE PLAN - ELECTRICAL
 SCALE: 1/32" = 1'-0"

JSE Jordan & Skala Engineers
 5420 Highway South, Suite 300
 Dallas, TX 75244-9138
 V: (469) 365-1616 F: (469) 385-1613
 Project Number - 113-0355 Texas Firm Registration # F-4990
 Drawn By: MJ Checked By: RAD

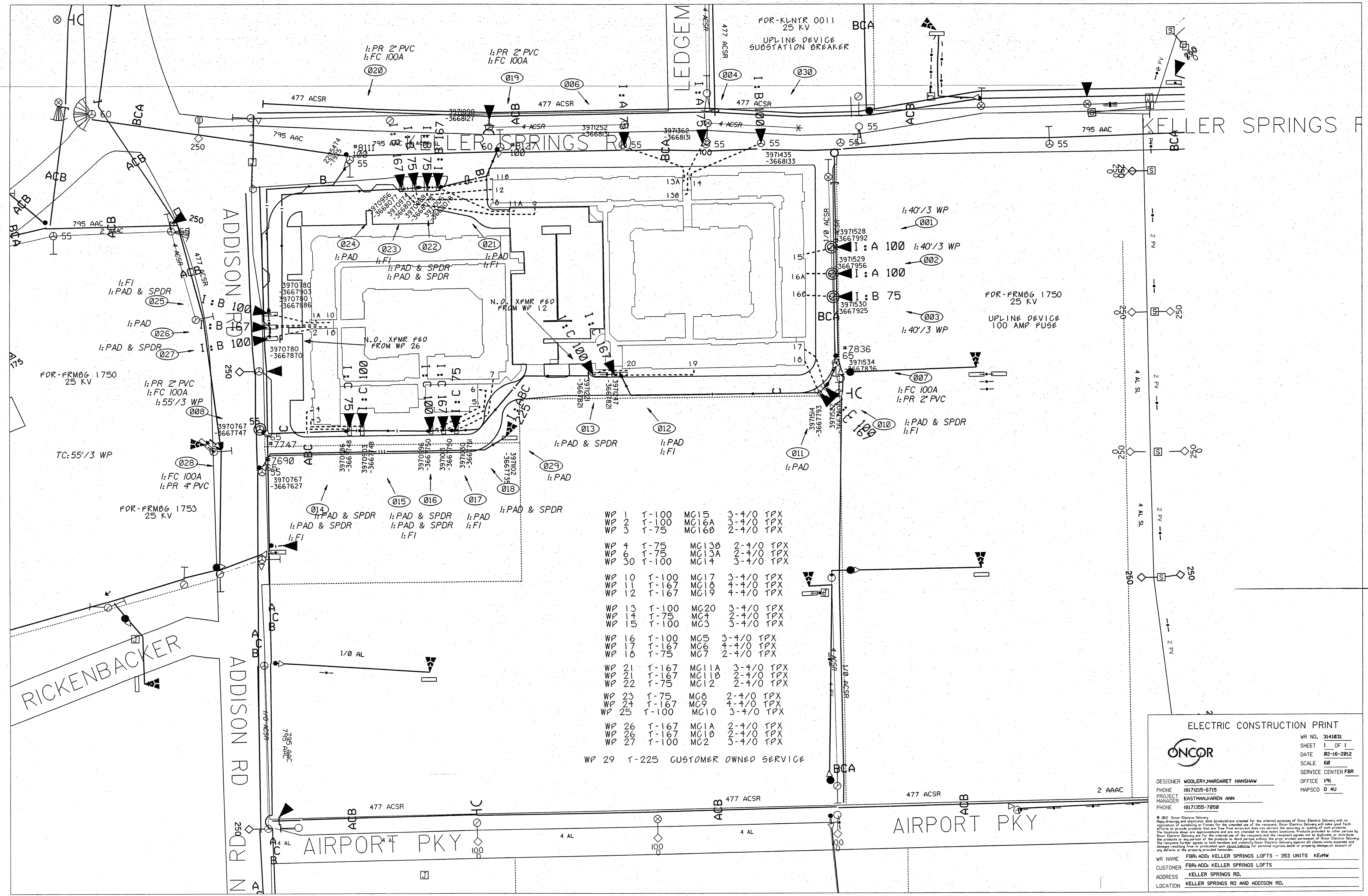
BGO architects
 4144 N. Central Expy.
 Suite 855
 Dallas, TX 75204
 214.520.8878
 bgoarchitects.com

DATE
 08-05-11

PROJECT
 11129

SHEET NUMBER

E-10.1
 SITE PLAN
 ELECTRICAL



WP 1	T-100	MC15	3-4/0 TPX
WP 2	T-100	MC16A	3-4/0 TPX
WP 3	T-75	MC16B	2-4/0 TPX
WP 4	T-75	MC13B	2-4/0 TPX
WP 6	T-75	MC13A	2-4/0 TPX
WP 30	T-100	MC14	3-4/0 TPX
WP 10	T-100	MC17	3-4/0 TPX
WP 11	T-167	MC18	4-4/0 TPX
WP 12	T-167	MC19	4-4/0 TPX
WP 13	T-100	MC20	3-4/0 TPX
WP 14	T-75	MC4	2-4/0 TPX
WP 15	T-100	MC3	3-4/0 TPX
WP 16	T-100	MC5	3-4/0 TPX
WP 17	T-167	MC6	4-4/0 TPX
WP 18	T-75	MC7	2-4/0 TPX
WP 21	T-167	MC11A	3-4/0 TPX
WP 21	T-167	MC11B	2-4/0 TPX
WP 22	T-75	MC12	2-4/0 TPX
WP 23	T-75	MC8	2-4/0 TPX
WP 24	T-167	MC9	4-4/0 TPX
WP 25	T-100	MC10	3-4/0 TPX
WP 26	T-167	MC1A	2-4/0 TPX
WP 28	T-167	MC1B	2-4/0 TPX
WP 27	T-100	MC2	3-4/0 TPX
WP 29	T-225 CUSTOMER OWNED SERVICE		

ELECTRIC CONSTRUCTION PRINT

WR NO. 3141831
SHEET 1 OF 1
DATE 02-16-2012
SCALE 60
SERVICE CENTER FBR

ONCOR

DESIGNER WOOLERY, MARGARET HANSHAW
PHONE (817)215-6715
PROJECT EASTMANKAREN ANN
MANAGER
PHONE (817)355-7050

OFFICE 191
MAPSCO D 4U

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WR NAME FBR ADD: KELLER SPRINGS LOFTS - 353 UNITS KEHWH
CUSTOMER KELLER SPRINGS LOFTS
ADDRESS KELLER SPRINGS RD.
LOCATION KELLER SPRINGS RD AND ADDISON RD.