

EMBREY BUILDERS, LLC.
 1020 N. E. Loop 410, Suite 700
 San Antonio, TX 78209
 Ph: (210) 824-6044 Fax: (210) 824-7656

RFI

To: Erik Earnshaw
 Beeler Guest Owens Architects
 4245 N. Central Expressway
 Suite 300
 Dallas, TX 75205
 Ph: 214/520-8878 Fax: 214/520-8879

RFI #: 109
 Date: 4/16/2012
 Job: EB-02 Keller Springs Lofts
 Phone: 877-777-5115

CC: Trent Perkins (Parkin Perkins Olsen), Enviro Design Landscape
 Subject: Elevation Discrepancies

Drawing: A3, C, 2C & S2.13
 Cost Impact: None

Spec Section:
 Schedule Impact: None

Request: Date Required: 4/20/2012
 Architectural and Structural plans show FF at 640.6'. Landscape shows 641.6. Please confirm the correct elevation is 640.6'.
 Architectural shows a spot elevation outside the building at 640.5'. Landscape shows a spot elevation of 640.1' at the bottom of the ramp and 640' in the street just outside. Please confirm the correct spot elevations.

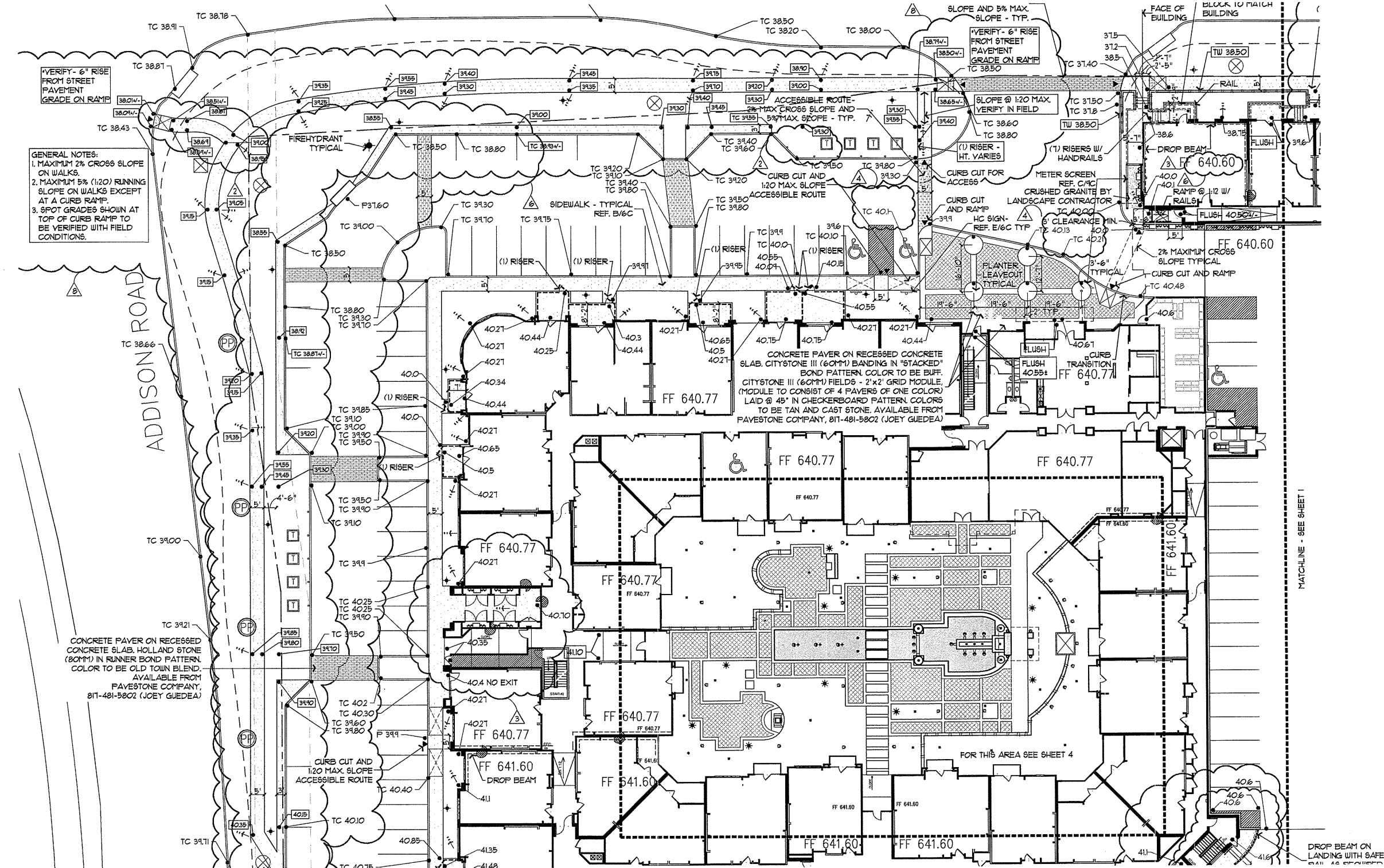
Requested by: David Miller
 Embrey Builders LLC

Response:

* THE CORRECT FINISH FLOOR ELEVATION IS 640.60. WE WILL UPDATE OUR DRAWINGS. SPOT ELEVATION ADJACENT TO EXTERIOR OF UNIT AREA CORRECT AS SHOWN.
 * THE SPOT ELEVATION AT THE BOTTOM OF RAMP SHOULD BE 640.0, AND THE LANDING AREA AT THE BOTTOM OF RAMP CAN NOT BE 640.0 CROSS SECTION.

Answered by: ENVIRO DESIGN
 Date: 04-16-12

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REVISIONS

ON OCT 30 2011
 1. REVISED SPOT ELEVATIONS AND SPOT ELEVATION LOCATIONS TO BE 640.60 AND 640.10
 2. REVISED SPOT ELEVATION LOCATIONS TO BE 640.60 AND 640.10
 3. REVISED SPOT ELEVATION LOCATIONS TO BE 640.60 AND 640.10

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Keller Springs Lofts
 EMBREY PARTNERS, LTD
 ADDISON, TEXAS

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RFI

To: Jordan & Skala Engineers, Inc.
 14240 Midway Road, Suite 350
 Dallas, TX 75244
 Ph: 469/385-1616 Fax: 469/385-1615

RFI #: 45
 Date: 1/27/2012
 Job: EB-02 Keller Springs Lofts
 Phone: 877-777-5115

CC: Enviro Design Landscape
 Subject: Relocation of fountain equipment vault

Drawing: 2C
 Cost Impact: None

Spec Section:
 Schedule Impact: None

Request: Date Required: 2/3/2012
 Our pool contractor has proposed a change in location and elevation for the fountain equipment vault. Attachment # 1 shows RFI for the location of the CF panel in the courtyard. Attachment #2 shows proposed relocation of the vault and shows location of CF panel. Attachment #3 is a background e-mail. Attachment #4 is the detail sketch from the pool contractor.

Requested by: Bryan Pickler
 Embrey Partners, Ltd.

Response:

The relocation of the vault is acceptable to us so long as it is positioned so that the River Birch can stay in place. The Dwarf Yaupons can terminate where they meet the new vault location and groundcover and be filled in around the front. We will revise our drawings and submit revised sheets which will incorporate RFI #35 as well.

Thank you

Answered by: Brian Arthur
 Company: Enviro Design
 Date: January 27, 2012

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RFI

To: Jordan & Skala Engineers, Inc.
 14240 Midway Road, Suite 350
 Dallas, TX 75244
 Ph: 469/385-1616 Fax: 469/385-1615

RFI #: 45
 Date: 1/27/2012
 Job: EB-02 Keller Springs Lofts
 Phone: 877-777-5115

CC: Enviro Design Landscape
 Subject: Relocation of fountain equipment vault

Drawing: 2C
 Cost Impact: None

Spec Section:
 Schedule Impact: None

Request: Date Required: 2/3/2012
 Our pool contractor has proposed a change in location and elevation for the fountain equipment vault. Attachment # 1 shows RFI for the location of the CF panel in the courtyard. Attachment #2 shows proposed relocation of the vault and shows location of CF panel. Attachment #3 is a background e-mail. Attachment #4 is the detail sketch from the pool contractor.

Requested by: Bryan Pickler
 Embrey Partners, Ltd.

Response:

JSE Response

Electrical: Panel 'CF' serves the fountain courtyard and the fountain equipment.
 - Mike Jennings, Jordan & Skala 2/6/2012

Plumbing: The email mentions connecting the vault to storm sewer. The civil engineer provided the courtyard drainage and if a connection is made, it would need to be coordinated with them.

Heath Farnell, Jordan & Skala 2/6/12

Answered by: _____
 Company: _____
 Date: _____

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RFI

To: Enviro Design Landscape
 7424 Greenville Ave, Suite 200
 Dallas, TX 75231
 Ph: 214/987-3010 Fax: 214/987-3015

RFI #: 35
 Date: 1/19/2012
 Job: EB-02 Keller Springs Lofts
 Phone: 877-777-5115

CC: David Gallagher (Embrey Build (Embrey Construction LLC))

Subject: Elevation conflict on sheet 2C
 Drawing: 2C
 Cost Impact: None

Spec Section:
 Schedule Impact: None

Request: Date Required: 1/26/2012
 Landscape sheet 2C needs to be coordinated and revised to reflect the revised paving elevations on revised civil sheet C4 (1/17/11). There are areas of conflict of up to 1' between drawings.

Requested by: Bryan Pickler
 Embrey Partners, Ltd.

Response:

Attached please find the following sheets with the revised grades as coordinated with the Civil and Architect:

Construction sheets 2C, 3C, 7C;
 Partial breezeway plan prepared by BGO;
 Landscape sheets 2L, 3L, 4L;
 Irrigation sheet 2S
 RFI 45 is incorporated in these plans

Answered by: Robert Wagner
 Company: Enviro Design
 Date: Feb. 2, 2012

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RFI

To: Enviro Design Landscape
 7424 Greenville Ave, Suite 200
 Dallas, TX 75231
 Ph: 214/987-3010 Fax: 214/987-3015

RFI #: 199
 Date: 10/19/2012
 Job: EB-02 Keller Springs Lofts
 Phone: 877-777-5115

CC: Walter Kilroy (BGO)
 Subject: side walk elevation conflicts

Drawing: 2C
 Cost Impact: None

Spec Section:
 Schedule Impact: None

Request: Date Required: 10/26/2012
 On the attached blow-up detail from sheet 2C there are several elevation problems. At the point where the City sidewalk meets the sidewalk from the B2 Part 4 unit there is a low spot elevation that doesn't seem to work. Also the steps from the patio for that same unit do not seem to work. Please review the attachment with comments and provide further direction.

Requested by: Bryan Pickler
 Embrey Partners, Ltd.

Response:

I do not understand the issue. Isn't there a curb cut where the sidewalk hits the entry drive? a curb opening puts the drive elevation at 37.00+ - our 37.20 sidewalk point drains at 2% back to the drive and requires three (5' +) risers

Answered by: Enviro Design Landscape
 Answered date: October 19, 2012

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