

DRAINAGE PRODUCTS/SPECIALTIES

UNLESS OTHERWISE INDICATED NUMBERS ARE JAY R. SMITH. EQUAL PRODUCTS: ZURN, JOSAM, WADE AND WATTS.

CO-EXPOSED CLEANOUT - UNFINISHED AREAS
JAY R. SMITH FIG. 4420 CAST BRONZE COUNTERSUNK PLUG WITH SLOT TO RECEIVE 1/2" THICK STEEL BAR STOCK.

WCO-WALL CLEANOUT - FINISHED AREAS
JAY R. SMITH FIG. 4436 C.I. FERRULE FOR NO HUB OR SERVICE WEIGHT PIPE, NICKEL BRONZE ROUND FRAME AND COVER WITH SECURING SCREWS.

FCO-CONCRETE FLOORS
JAY R. SMITH FIG. 4220 C.I. CLEANOUT WITH GASKET SEAL THREADED PLUG FOR EASY REMOVAL, ADJUSTABLE ROUND CAST IRON TOP WITH SECURING SCREW, SPEEDI-SET OUTLET CONNECTION.

FCO-TILE FLOORS
JAY R. SMITH FIG. 4151 C.I. CLEANOUT WITH GASKET SEAL THREADED PLUG FOR EASY REMOVAL, ADJUSTABLE ROUND CAST IRON TOP WITH SECURING SCREW, SPEEDI-SET OUTLET CONNECTION.

FCO-CARPETED FLOORS
JAY R. SMITH FIG. 4020-Y C.I. CLEANOUT WITH GASKET SEAL THREADED PLUG, ADJUSTABLE ROUND NICKEL BRONZE TOP COMPLETE WITH STAINLESS STEEL CARPET MARKER WITH SECURING SCREW, SPEEDI-SET OUTLET CONNECTION.

FD "DD" - DECK DRAIN
JAY R. SMITH FIG. 1412-HP.C.I. FLOOR DRAIN WITH 13" SQUARE HEEL PROOF GRATE, D.I. UNDERGRATE WITH NICKEL BRONZE STRAINER.

FD "G" - FLOOR DRAINS-GENERAL/RESTROOMS
JAY R. SMITH FIG. 2005-B6 SERIES C.I. FLOOR DRAIN WITH 6" DIAMETER SQUARE NICKEL BRONZE STRAINER, SPEEDI-SET OUTLET CONNECTION AND TRAP PRIMER CONNECTION.

FD "M" - FLOOR DRAINS-GENERAL PURPOSE/MECHANICAL ROOM
JAY R. SMITH FIG. 3715 SERIES CAST IRON 12" DIAMETER DRAIN WITH SEDIMENT BUCKET, CAST IRON GRATE WITH INTEGRAL 4" FUNNEL, SPEEDI-SET OUTLET CONNECTION.

FD "PD" - PARKING DECK DRAIN
JAY R. SMITH FIG. 2142-M.C.I. FLOOR DRAIN WITH 11 1/2" DUCTILE IRON GRATE SEDIMENT BUCKET.

FD "TD" - TRENCH DRAINS AT PARKING DECK, ZURN FLOW-THRU SYSTEM, Z-812 SERIES, 12" WIDE, 4" OUTLETS, Z-812-HPD DUCTILE IRON HEEL PROOF GRATE

LAVATORY-WALL HUNG SUPPORT
JAY R. SMITH #700 FOR MASONRY WALLS AND #700-M31 FOR METAL STUD WALLS.

ELECTRIC WATER COOLER CARRIER-WALL HUNG
JAY R. SMITH FIG. 830 SUPPORT WITH UPRIGHTS OF HIGH STRENGTH STEEL WITH WELDED BASES BOLTED TO FLOOR. FOR STEEL STUD WALLS, USE M31 RECTANGULAR UPRIGHTS.

TP-"A"-AUTOMATIC TRAP PRIMER
PPP PRIME-RITE SERIES AUTOMATIC TRAP PRIMER WITH MULTIPLE OUTLET DISTRIBUTION UNITS AS REQUIRED.

TP-"L"-TRAP PRIMER
JAY R. SMITH FIG. 2698 WATER SAVER TRAP PRIMER WITH 1-1/4" INLET AND OUTLET, 17 GAUGE SATIN CHROME-PLATED P-TRAP.

WATER HAMMER ARRESTORS
JAY R. SMITH 5000 SERIES ALL STAINLESS STEEL "HYDROTROLS" INSTALL IN AN UPRIGHT POSITION AT ALL FLUSH VALVES, WASHING MACHINE SUPPLIES, DISHWASHERS, PRV STATIONS, AND OTHER QUICK CLOSING VALVES, SOLENOIDS AND PLUMBING FIXTURES. LOCATE AND SIZE AS INDICATED ON DRAWINGS. WHERE NOT SHOWN ON DRAWINGS, LOCATE AND SIZE IN ACCORDANCE WITH PDI STANDARD WH-201.

HB-HOSE BIBB LOOSE KEY
WOODFORD #24F WITH LOOSE TEE KEY AND VACUUM BREAKER HOSE BIBB, CHROME PLATED FOR USE IN PUBLIC AREAS.

NFWH-WALL HYDRANT-EXPOSED
JAY R. SMITH FIG. 5509-OT NON FREEZE 3/4" CAST BRONZE HYDRANT WITH RECESSED STAINLESS STEEL BOX AND FRAME INTEGRAL VACUUM BREAKER, NICKEL BRONZE FACE, AND SIZED IN ACCORDANCE WITH WALL THICKNESS.

WASHING MACHINE UTILITY CONNECTION
GUY GRAY MODEL B200 16 GAUGE UTILITY CONNECTION WITH 1/2" ANGLE VALVES AND 2" WASTE

ICE MAKER SUPPLY
GUY GRAY MODEL B1M875 16 GAUGE SUPPLY WITH 1/2" INLET, AND 1/4" OUTLET ANGLE VALVE

DOWNSPOUT NOZZLE:
JAY R. SMITH FIG. 1770,
WALL MOUNTED CAST BRONZE BODY AND FLANGE, NICKEL BRONZE FINISH

PLUMBING LEGEND

SYMBOL	ABBREVIATION	DESCRIPTION
A/C	ABOVE CEILING	
AD	AREA DRAIN	
A/F	ABOVE FLOOR	
AFF	ABOVE FINISHED FLOOR	
AFG	ABOVE FINISHED GRADE	
AP	ACCESS PANEL	
— — —	BALANCING VALVE	
B/C	BELOW COUNTER	
B/F	BELOW FLOOR	
B/G	BELOW GRADE	
—CA—	COMPRESSED AIR	
—CD—	CONDENSATE DRAIN	
—CV—	CHECK VALVE	
—CO—	CLEANOUT	
—CW—	COLD WATER PIPING	
—CWW—	COMBINATION WASTE & VENT	
—DN—	PIPING TURNING DOWN	
—ERD—	EMERGENCY ROOF DRAIN	
—ERL—	EMERGENCY RAIN LEADER	
—FAV—	FRESH AIR VENT (SAFE WASTE SYSTEM)	
—FCO—	FLOOR CLEANOUT	
—FD—	FLOOR DRAIN	
—FS—	FLOOR SINK	
—G—	GAS PIPING - LOW PRESSURE	
—GW—	GREASE WASTE PIPING	
—GV—	GATE/BALL VALVE	
—HB/NFHB—	HOSE BIBB/NON-FREEZE HOSE BIBB	
—HC—	HANDICAPPED	
—HD—	HUB DRAIN	
—HW—	HOT WATER PIPING	
—HWR—	HOT WATER RETURN PIPING	
—HZ—	HIGH ZONE (BOOSTED) COLD WATER	
—LZ—	LOW ZONE COLD WATER (STREET PRESSURE)	
—MG—	GAS PIPING - MEDIUM PRESSURE	
—O/H—	OVER HEAD	
—PD—	PUMPED DISCHARGE	
—P—	P-TRAP	
—PRV—	PRESSURE REDUCING VALVE	
—RD—	ROOF DRAIN	
—RPBP—	REDUCED PRESSURE BACKFLOW PREVENTOR	
—S—	SOIL, WASTE PIPING (ABOVE GROUND)	
—S/W—	SOIL, WASTE PIPING (BELOW GROUND)	
—SA—	SHOCK ABSORBER (WATER HAMMER ARRESTOR)	
—ST—	STORM DRAINAGE PIPING	
—TP—	TRAP PRIMER	
—U—	UNION	
—UP—	PIPING TURNING UP	
—V—	VENT PIPING	
—VTR—	VENT THRU ROOF	
—WCO—	WALL CLEANOUT	
—WH/NFVH—	WALL HYDRANT/NON-FREEZE WALL HYDRANT	
—YCO—	YARD CLEANOUT	

PLUMBING NOTES

- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND ELEVATIONS OF ALL PLUMBING FIXTURES.
- ALL PLUMBING WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE 2006 INTERNATIONAL PLUMBING CODE WITH ADDISON, TEXAS AMENDMENTS AND ALL APPLICABLE LOCAL CODES AND ORDINANCES.
- ALL PIPING ABOVE GRADE SHALL BE PROPERLY SUPPORTED FROM THE BUILDING STRUCTURE AND SHALL NOT REST ON CEILING TILES OR BE SUPPORTED FROM CEILING TILES.
- WATER PIPING ROUTED ABOVE CEILING AND IN EXTERIOR WALLS SHALL BE ROUTED ON HEATED SIDE (UNDERSIDE) OF CEILING INSULATION AND HEATED SIDE (INSIDE) OF WALL INSULATION.
- SANITARY AND DRAINAGE PIPING 2" AND SMALLER SHALL BE SLOPED AT 1/4" PER FOOT MINIMUM, PIPING 3" AND LARGER SHALL BE SLOPED AT 1/8" PER FOOT MINIMUM.
- TOPS OF ALL FLOOR DRAINS AND CLEANOUTS SHALL BE SET FLUSH WITH FINISHED FLOOR.
- TRAP PRIMERS ARE TO BE PROVIDED ON ALL FLOOR DRAINS AND HUB DRAINS WHICH DO NOT RECEIVE A CONTINUOUS DISCHARGE. TP "L" LAVATORY WASTE TRAP PRIMERS ARE TO BE PROVIDED ON DRAINS IN PUBLIC RESTROOMS, GUEST ROOMS, AND OTHER AREAS WITH DRAINS ADJACENT TO LAVATORIES TP "A" AUTOMATIC TRAP PRIMERS ARE TO BE PROVIDED IN ALL OTHER REQUIRED LOCATIONS.
- PLUMBING AND FIRE PROTECTION PIPING IS NOT TO BE INSTALLED IN ELECTRICAL ROOMS, CLOSETS, TELEPHONE ROOMS, OR ELEVATOR EQUIPMENT ROOMS EXCEPT PIPING SERVING THAT SPECIFIC ROOM.
- LOCATE ALL SECTIONAL OR MAIN CONTROL VALVES WITHIN 1'-0" FROM ACCESS PANELS, CEILING TILES, OR OTHER POINT OF ACCESS.
- ALL COLD WATER, HOT WATER AND DRAIN PIPING AT HANDICAPPED FIXTURES SHALL BE INSULATED WITH HANDI-LAV GUARD MODELS 102 AND 105 INSULATION KITS.
- PROVIDE SHOCK ABSORBERS SIZED PER PDI SPECIFICATIONS ON ALL DOMESTIC WATER LINES SERVING FLUSH VALVE FIXTURES, WASHING MACHINES SUPPLIES, PRV STATIONS AND OTHER INSTALLATIONS WITH QUICK CLOSING VALVES.
- PROVIDE A BASE CLEANOUT AT THE LOWEST LEVEL OF ALL SANITARY AND WASTE STACKS. BASE CLEANOUTS ON SOVENT STACKS SHALL BE LOCATED CONCEALED BEHIND THE WATER CLOSET TANK.
- ALL SHOWER HEAD ARMS AND VALVES SHALL BE PROVIDED WITH ADDITIONAL BLOCKING AS REQUIRED AND RIGIDLY SECURED TO ADJACENT STRUCTURE.
- ALL SHOWER HEADS SHALL BE INSTALLED WITH THE CENTER POINT OF THE SHOWER HEAD FACE LOCATED 6'-3" MINIMUM ABOVE THE TUB/SHOWER FINISHED SURFACE.
- PROVIDE REDUCED PRESSURE BACKFLOW PREVENTORS AT ALL DOMESTIC WATER CONNECTIONS TO MECHANICAL EQUIPMENT, POOL, AND IRRIGATION CONNECTIONS, KITCHEN, LAUNDRY, AND VENDING EQUIPMENT CONNECTIONS AS REQUIRED BY LOCAL CODE AND AUTHORITIES.
- PROVIDE MANUFACTURED EXPANSION DEVICE OR FABRICATED EXPANSION LOOP ON ALL PIPING SYSTEMS CROSSING BUILDING EXPANSION JOINTS.
- CONTRACTOR SHALL COORDINATE ELECTRICAL CHARACTERISTICS AND REQUIREMENTS OF ALL PLUMBING EQUIPMENT WITH THE ELECTRICAL DRAWINGS AND THE ELECTRICAL CONTRACTOR, AND SHALL FURNISH EQUIPMENT WIRING FOR THE VOLTAGES SHOWN THEREIN.
- ALL PLUMBING EQUIPMENT, PIPING, INSULATION, ETC. INSTALLED IN HVAC PLENUM SPACES SHALL MEET CODE REQUIREMENTS FOR SMOKE AND COMBUSTIBILITY.
- ALL PLUMBING EQUIPMENT AND SYSTEMS SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE.
- ALL PIPE PENETRATIONS OF FIRE AND/OR SMOKE RATED ASSEMBLIES SHALL BE FIRE STOPPED AS REQUIRED TO RESTORE ASSEMBLY TO ORIGINAL INTEGRITY. FIRE BARRIER PRODUCTS SHALL BE AS MANUFACTURED BY JM COMPANY, CP25 CAULK, CS195 COMPOSITE PANEL, FS195 WRAP/SINK, OR PSS 7900 SERIES SYSTEMS AS RECOMMENDED BY MANUFACTURER FOR PARTICULAR APPLICATIONS, OR EQUIVALENT SYSTEM AS APPROVED BY LOCAL CODE OFFICIALS.
- ALL VENT THRU ROOF PENETRATIONS SHALL BE ROUTED TO TERMINATE AT THE LEAST VISIBLE LOCATION FROM THE ENTRY VIEW.
- ALL SANITARY VENTS THRU ROOF SHALL BE LOCATED A MINIMUM OF 10'-0" FROM ANY OUTSIDE AIR INTAKE.

FIRE PROTECTION NOTES

- ALL SPRINKLERS IN SPACES VISIBLE TO PUBLIC VIEW SHALL BE LOCATED SYMMETRICALLY IN RELATION TO CEILING DESIGN ELEMENTS, LIGHTING FIXTURES, SPEAKERS, DIFFUSERS, ETC. ALL CEILING COMPONENTS ARE TO BE INDICATED ON THE SUBMITTAL DRAWINGS AS NOTED PREVIOUSLY TO INSURE COORDINATION WITH ALL CEILING ELEMENTS AND DEVICES. PIPING TO SPRINKLERS IN THESE AREAS IS TO BE PROVIDED WITH RETURN BENDS IF REQUIRED TO ALLOW FOR EXACT PLACEMENT.
- SPRINKLER HEADS INSTALLED IN LAY IN ACOUSTICAL TILE CEILINGS SHALL BE CENTERED IN THE CEILING TILES OR INSTALLED ON QUARTER POINTS OF THE FOUR FOOT DIMENSIONS OF 2' x 4' TILES.
- ALL FIRE PROTECTION WORK SHALL COMPLY WITH ALL APPLICABLE SECTIONS OF NFPA STANDARDS AND SHALL MEET THE APPROVAL OF THE OWNERS INSURANCE UNDERWRITER, AND LOCAL AUTHORITIES HAVING JURISDICTION.
- SHOP DRAWINGS SHALL BE SUBMITTED TO AND APPROVED BY THE ARCHITECT PRIOR TO ORDERING, PURCHASING, OR FABRICATING ANY FIRE PROTECTION EQUIPMENT. SHOP DRAWINGS SHALL INCLUDE: SPRINKLER DRAWINGS AND CALCULATIONS BEARING THE SEAL OF A REGISTERED PROFESSIONAL ENGINEER OR EQUIVALENT CONTRACTORS FIRE SPRINKLER CERTIFICATE SEAL AND APPROVAL STAMP OF LOCAL CODE AUTHORITY; SPRINKLER PIPING, SPRINKLER HEADS, HOSE RACKS, HYDRANTS AND VALVES; PUMPS, CONTROLLERS AND ACCESSORIES; TANKS AND ACCESSORIES. SHOP DRAWINGS SHALL BE SUBMITTED TO AND APPROVED BY THE OWNERS INSURANCE UNDERWRITER PRIOR TO BEING SUBMITTED TO THE ARCHITECT.
- CONTRACTOR SHALL COORDINATE THE ELECTRICAL CHARACTERISTICS AND REQUIREMENTS OF ALL FIRE PROTECTION EQUIPMENT WITH THE ELECTRICAL DRAWINGS AND SHALL FURNISH EQUIPMENT WIRING FOR THE VOLTAGES SHOWN THEREIN.
- ALL FIRE PROTECTION EQUIPMENT AND SYSTEMS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE.
- ALL PIPING ABOVE GRADE SHALL BE SUPPORTED BY THE BUILDING STRUCTURE AND SHALL NOT REST ON CEILING TILES OR CEILING STRUCTURE. PIPING HUNG FROM JOISTS SHALL BE HUNG FROM THE TOP CHORDS OF THE JOISTS.
- ALL SPRINKLER SYSTEMS SHALL BE DESIGNED TO THE AVAILABLE CITY WATER SUPPLY. CONTRACTOR SHALL HAVE CURRENT FLOW TEST PERFORMED PRIOR TO DESIGN.
- ALL SPRINKLER SYSTEM RISERS SHALL INCLUDE AN ALARM CHECK VALVE, WATER MOTOR GONG, FLOW SWITCH, ETC.
- HYDRAULIC CALCULATIONS SHALL INCLUDE AN ALLOWANCE FOR INSIDE AND OUTSIDE HOSE STREAMS.
- FIRE PROTECTION SUBCONTRACTOR SHALL FURNISH AND INSTALL 2A RATED 10 LB. FIRE EXTINGUISHERS FOR EVERY 3000 SQ. FT. OF FLOOR AREA. EXTINGUISHERS SHALL BE LOCATED TO MINIMIZE TRAVEL DISTANCE TO 75 FEET.
- ALL MAJOR VALVES SHALL HAVE U.L. LISTED SUPERVISORY SWITCHES COMPATIBLE WITH THE OWNERS CENTRAL ALARM SYSTEM. WIRING OF THE SWITCHES SHALL BE BY OTHERS.
- GROOVED (MECHANICAL) COUPLINGS SHALL NOT BE USED OVER OR NEAR ELECTRICAL SWITCHGEAR, PANELS, TRANSFORMERS, ETC.
- ALL SPRINKLER PIPING SHALL BE ROUTED TO MAINTAIN MINIMUM CLEAR HEIGHTS INDICATED ON ARCHITECTURAL DRAWINGS.
- ALL DRY PIPE SPRINKLER SYSTEMS (ATTICS AND GARAGES) SHALL BE COMPLETE WITH OS&Y GATE VALVES AND DRY PIPE VALVES, AIR COMPRESSORS, WATER MOTOR GONGS, ACCESSORIES AND PRESSURE SWITCHES COMPATIBLE WITH THE OWNERS CENTRAL ALARM SYSTEM. WIRING OF THE SWITCHES WILL BE BY OTHERS.
- ALL PIPING ON THE SYSTEM SIDES OF DRY PIPE OR PREACTION VALVES SHALL BE GALVANIZED CLASS 150 AND 300 MALLEABLE IRON THREADED FITTINGS, ANSI B16.1.

PLUMBING FIXTURE & CONNECTION SCHEDULE

FIXTURE #	DESCRIPTION	FIXTURE MFG.	WASTE	HOT WATER SUPPLY	COLD WATER SUPPLY	NOTES
WC-1	WATER CLOSET-PRIVATE	REFER TO INTERIORS PACKAGE	3"	---	1/2"	3, 4
WC-1H	WATER CLOSET-PRIVATE-HC	REFER TO INTERIORS PACKAGE	3"	---	1/2"	3, 4, 6
WC-2	WATER CLOSET-PUBLIC	REFER TO INTERIORS PACKAGE	3"	---	1/2"	3, 4
WC-2H	WATER CLOSET-PUBLIC-HC	REFER TO INTERIORS PACKAGE	3"	---	1/2"	3, 4, 6
L-1	COUNTERTOP LAVATORY	REFER TO INTERIORS PACKAGE	1 1/4"	1/2"	1/2"	2, 3, 4
L-1	COUNTERTOP LAVATORY-HC	REFER TO INTERIORS PACKAGE	1 1/4"	1/2"	1/2"	2, 3, 4
L-2	COUNTERTOP LAVATORY-HC PUBLIC	REFER TO INTERIORS PACKAGE	1 1/4"	1/2"	1/2"	2, 3, 4
UR-1	URINAL-HC	REFER TO INTERIORS PACKAGE	2"	---	3/4"	
BT-1	GARDEN TUB/SHOWER	REFER TO INTERIORS PACKAGE	1 1/2"	1/2"	1/2"	1,8
BT-2H	STANDARD TUB/SHOWER - HC	REFER TO INTERIORS PACKAGE	1 1/2"	1/2"	1/2"	1,8
SH-1	SHOWER	REFER TO INTERIORS PACKAGE				8
SH-2	SHOWER	REFER TO INTERIORS PACKAGE				8
KS-1	KITCHEN SINK W/DISPOSAL	REFER TO INTERIORS PACKAGE	1 1/2"	1/2"	1/2"	3, 4, 5, 7
S-1	LEASING SINK	REFER TO INTERIORS PACKAGE	1 1/2"	1/2"	1/2"	3, 4, 5, 7
S-2	BLENDHOSE SINK	REFER TO INTERIORS PACKAGE	1 1/2"	1/2"	1/2"	3, 4, 5, 7
EW-1	BI-LEVEL ELEC. WATER COOLER-HC	REFER TO INTERIORS PACKAGE	1 1/4"	---	1/2"	2, 3, 4
WM-1	WASHER BOX	REFER TO INTERIORS PACKAGE				
IM-1	ICE MAKER SUPPLY	REFER TO INTERIORS PACKAGE	2"	1/2"	1/2"	---
MS-1	MAINTENANCE SINK	REFER TO INTERIORS PACKAGE	1 1/2"	1/2"	1/2"	3,4,5

- NOTES:
- PROVIDE OATEY MODEL 46100 TUB DRAIN.
 - PROVIDE 1-1/4" x 1-1/2" PVC TRAP WITH UNION.
 - PROVIDE OATEY 3/8" CLADFLEX RISERS.
 - PROVIDE BRASS CRAFT CHROME PLATED 1/2" x 3/8" COMPRESSION STOPS.
 - PROVIDE 1-1/2" x 1-1/2" PVC TRAP WITH UNION.
 - FLUSH LEVER SHALL BE LOCATED ON THE APPROACH SIDE OF THE TANK AT ACCESSIBLE INSTALLATIONS.
 - PROVIDE 3-1/2" DRAIN ASSEMBLY WITH STAINLESS BASKET STRAINER AND WASTE PIPING FOR CONNECTION AT DISPOSAL.
 - PROVIDE 1/2" COPPER RISER FROM SHOWER/TUB VALVE TO SHOWER HEAD.

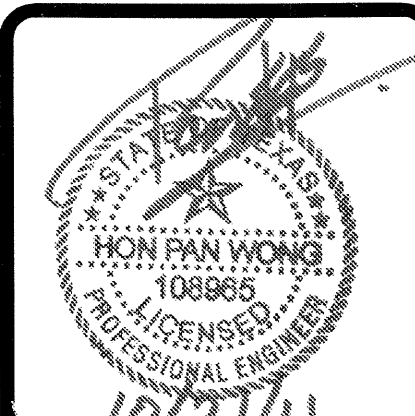
WATER HEATER SCHEDULE

SYMBOL	MANUFACTURER/ MODEL NO.	STORAGE CAPACITY GALLONS	GPH REC. @ 90°F RISE	OUTLET TEMPERATURE	ELECTRICAL CRITERIA		GAS CRITERIA		NOTES
					KW INPUT	BTU INPUT	FLUE SIZE		
EW-1	STATE E56 50 DOLS	50	21	120°F	6.0	N/A	N/A	1-5	
EW-1T	STATE E56 52 DORT	50	21	120°F	6.0	N/A	N/A	1-5	
EW-2	STATE E56 50 DOLS	50	27	120°F	6.0	N/A	N/A	1-5	
EW-2T	STATE E56 52 DOLS	50	27	120°F	6.0	N/A	N/A	1-5	
EW-3	EDMAX EX48	---	37°F RISE @ 1.0 GPM	104°F	4.8	N/A	N/A	1-5	

- NOTES:
- PROVIDE EXPANSION TANK SIZED PER THE WATER HEATER MANUFACTURER'S RECOMMENDATION OR EXPANSION VALVE AS ALLOWED BY LOCAL OFFICIALS.
 - T&P RELIEF VALVE.
 - PROVIDE HEAT TRAP FITTINGS ON HOT AND COLD WATER CONNECTIONS AND BALL VALVE ON COLD WATER SUPPLY TO HEATER.
 - ALL UNITS SHALL MEET 2003 INTERNATIONAL ENERGY CONSERVATION CODE REQUIREMENTS. THE WATER HEATER MANUFACTURER SHALL PROVIDE HEATERS WITH INTEGRAL HEAT TRAPS ON THE COLD AND HOT WATER CONNECTIONS.
 - ROUTE DRAIN PAN AND T&P RELIEF TO DRAIN/EXTERIOR, SEE WATER HEATER DETAIL.
- APPROVED ALTERNATES: A.O. SMITH, RHEEM, LOCHINVAR

PUMP SCHEDULE

SYMBOL	SERVICE LOCATION	TYPE	FLOW (GPM)	HEAD (FEET)	RPM	HP	NOTES
SP-1, 2	ELEVATOR SUMP PUMP	SUBMERSIBLE	50	43'	3450	1/2	HYERS MODEL M60S SUBMERSIBLE PUMP WITH UNION, CHECK AND GATE VALVE ON DISCHARGE, MFS-20 MECHANICAL FLOAT SWITCH. (APPROX. 3'-0" SQUARE x 3'-0" DEEP SUMP PIT)



REVISIONS

NO.	DATE	REVISIONS
1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS



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DATE

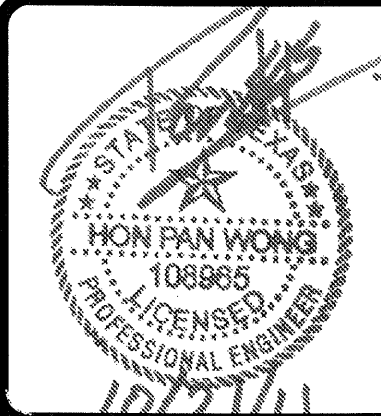
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PROJECT

11129

SHEET NUMBER

P-0.1



REVISIONS		
1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS

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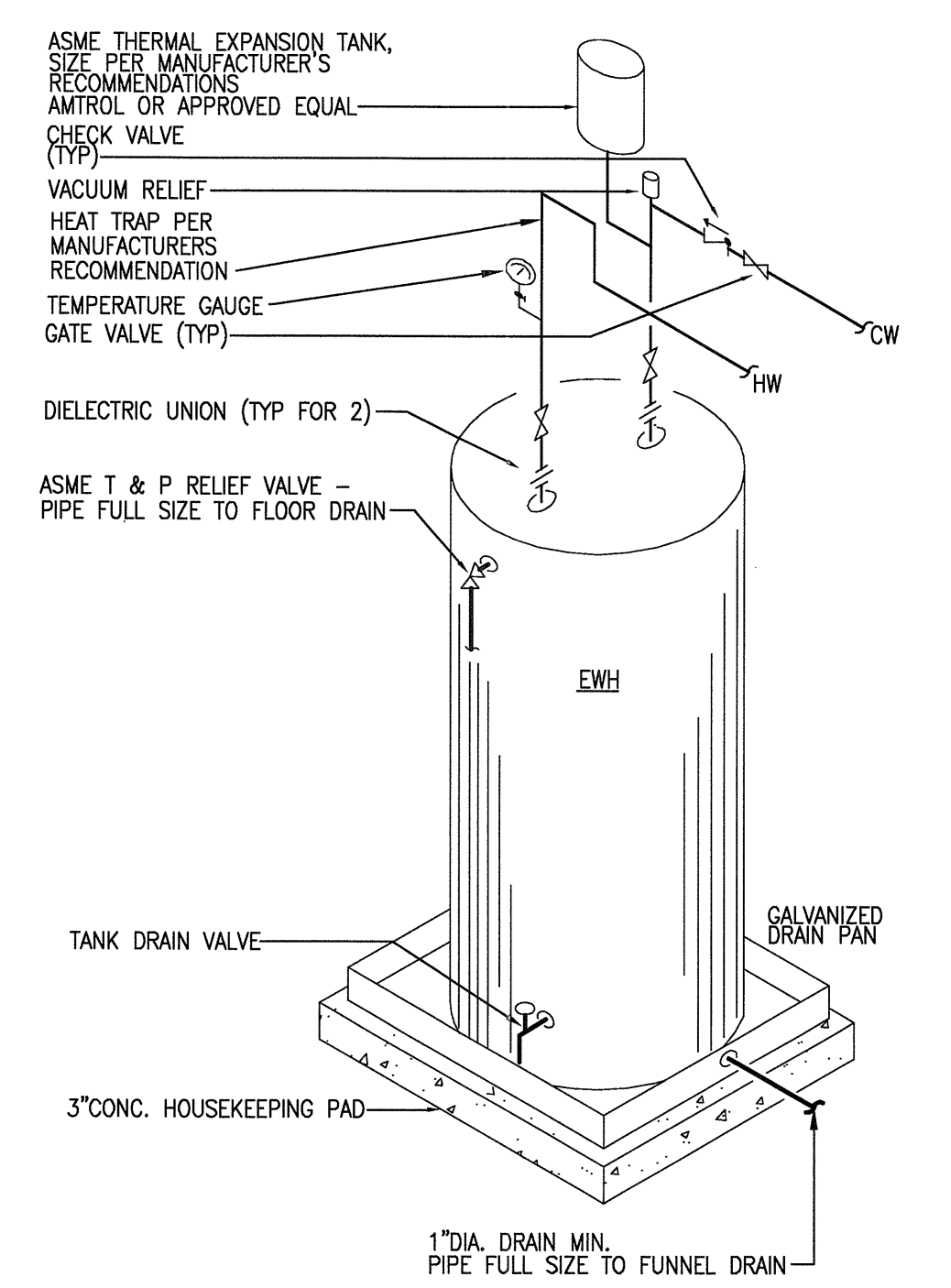
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PROJECT
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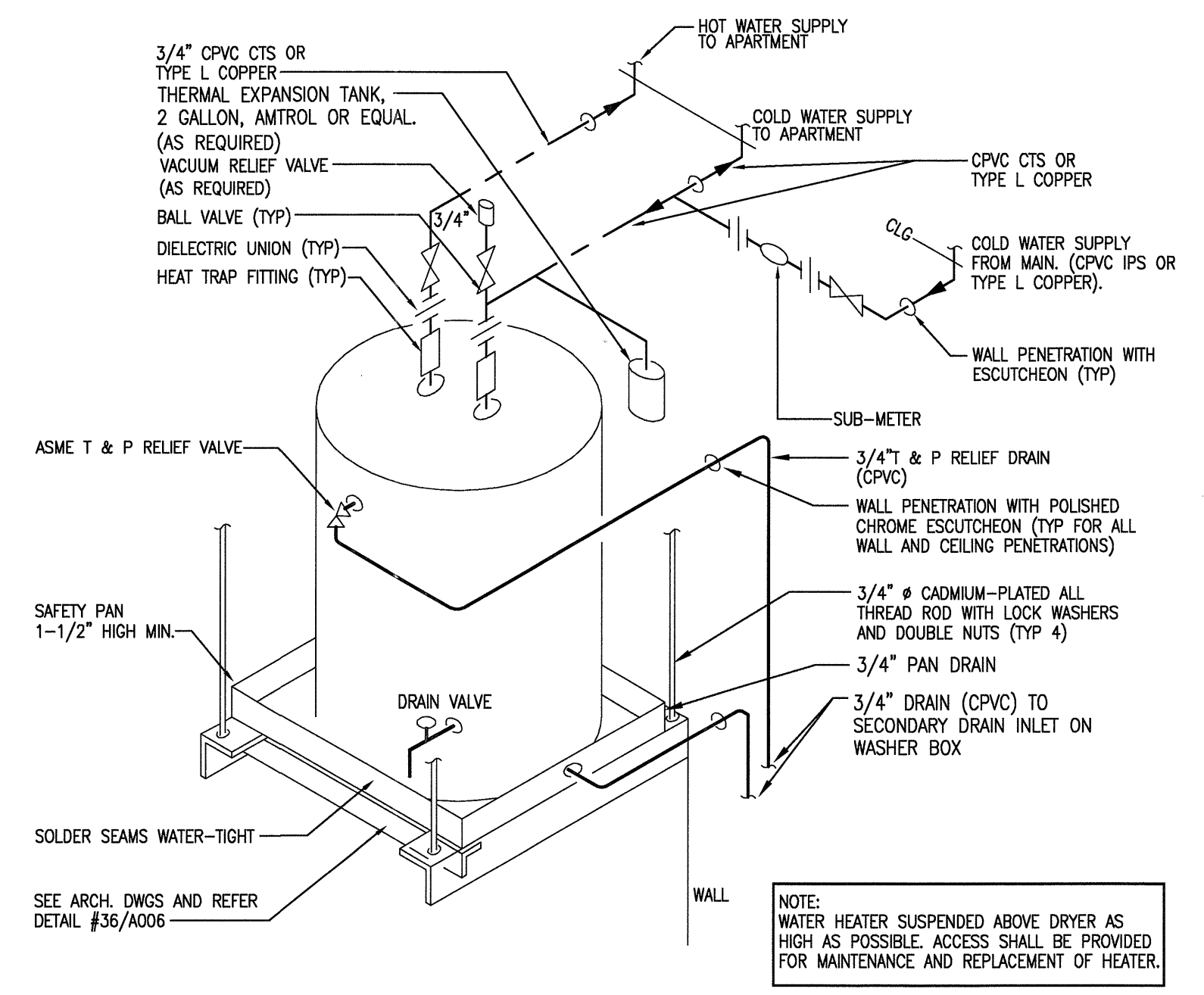
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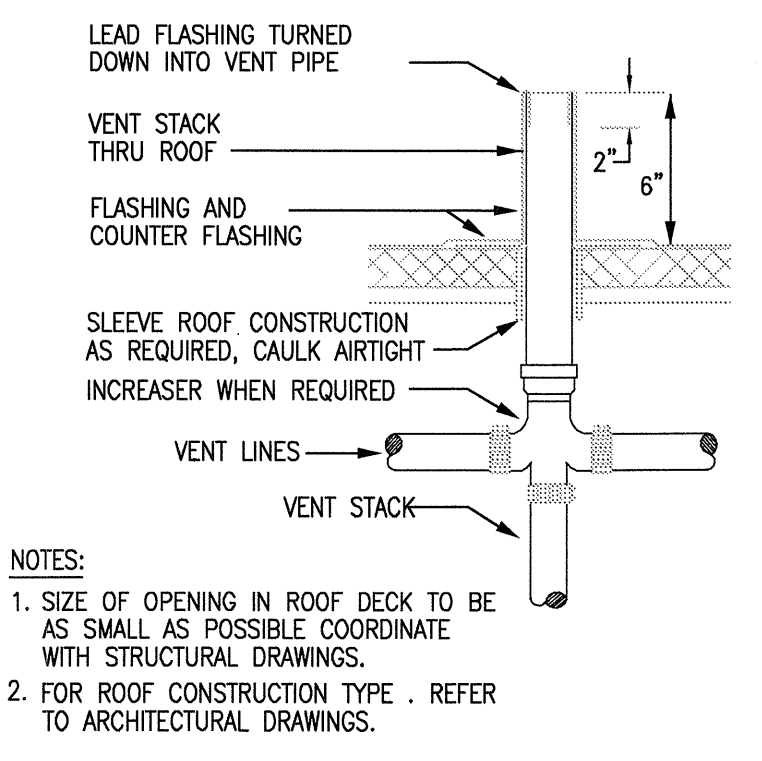
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 Project Number - 113-0355 Texas Firm Registration # F-4990
 Drawn By: CV Checked By: RC



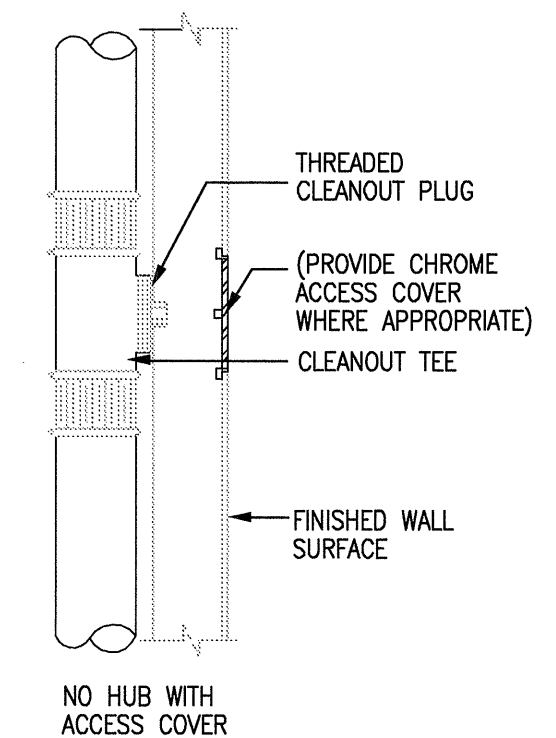
WATER HEATER - FLOOR MTD.
 NOT TO SCALE



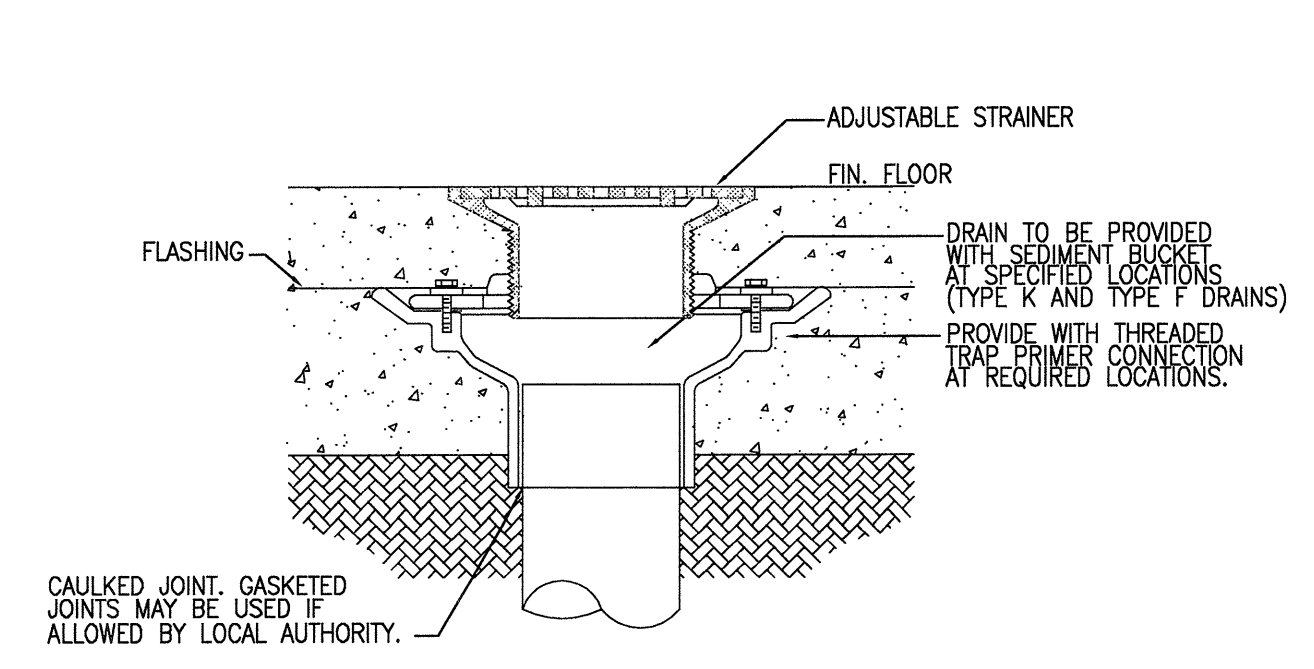
WATER HEATER - ABOVE DRYER
 NOT TO SCALE



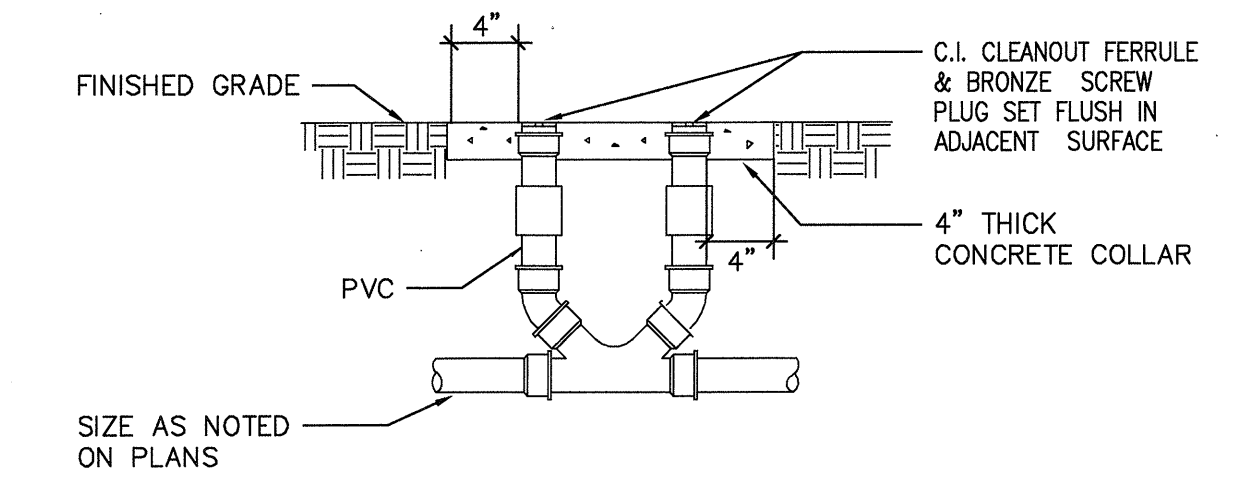
VENT STACK
 NOT TO SCALE



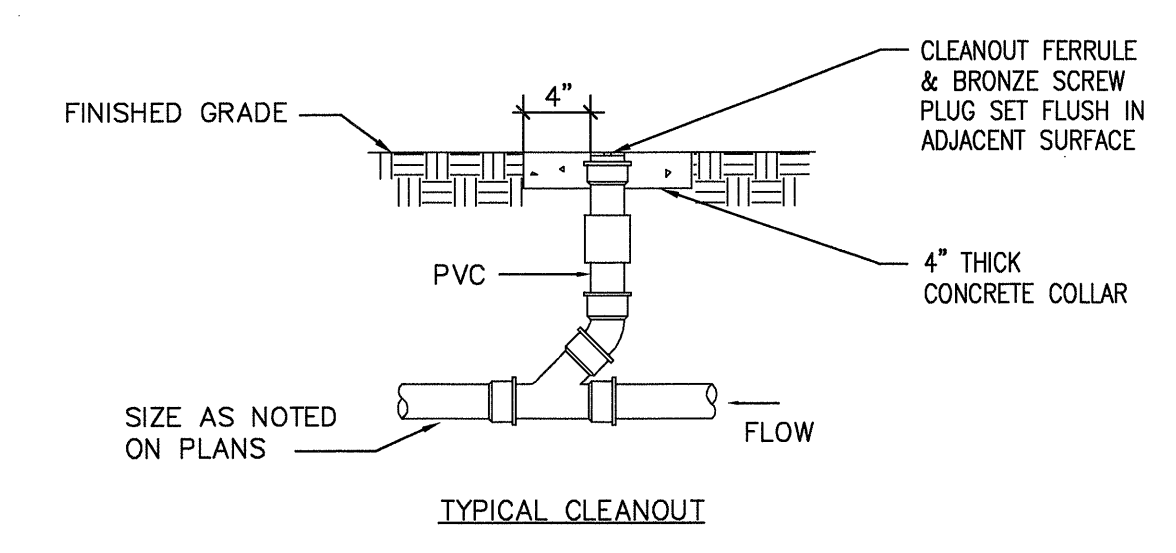
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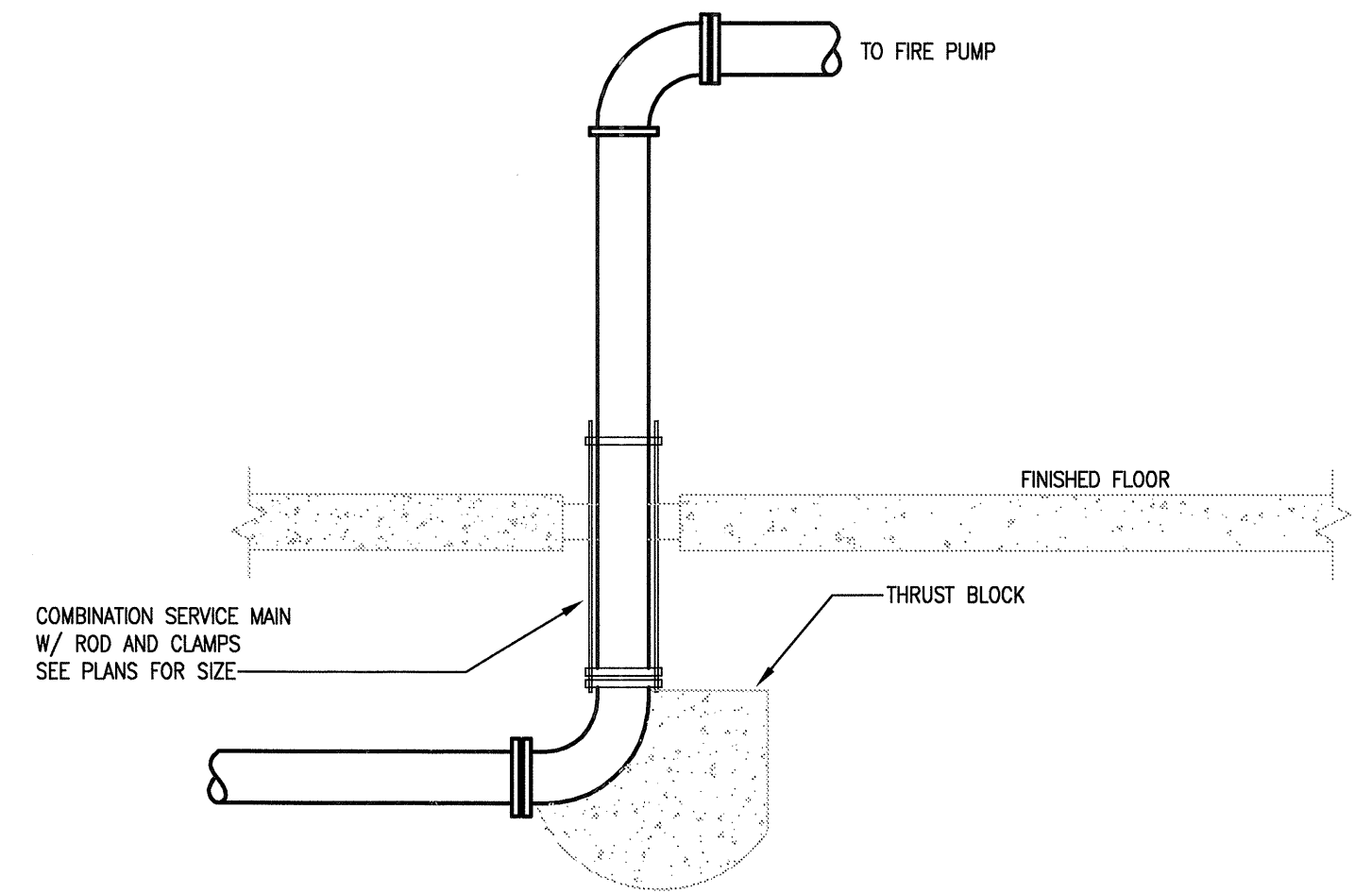
FLOOR DRAIN
 NOT TO SCALE



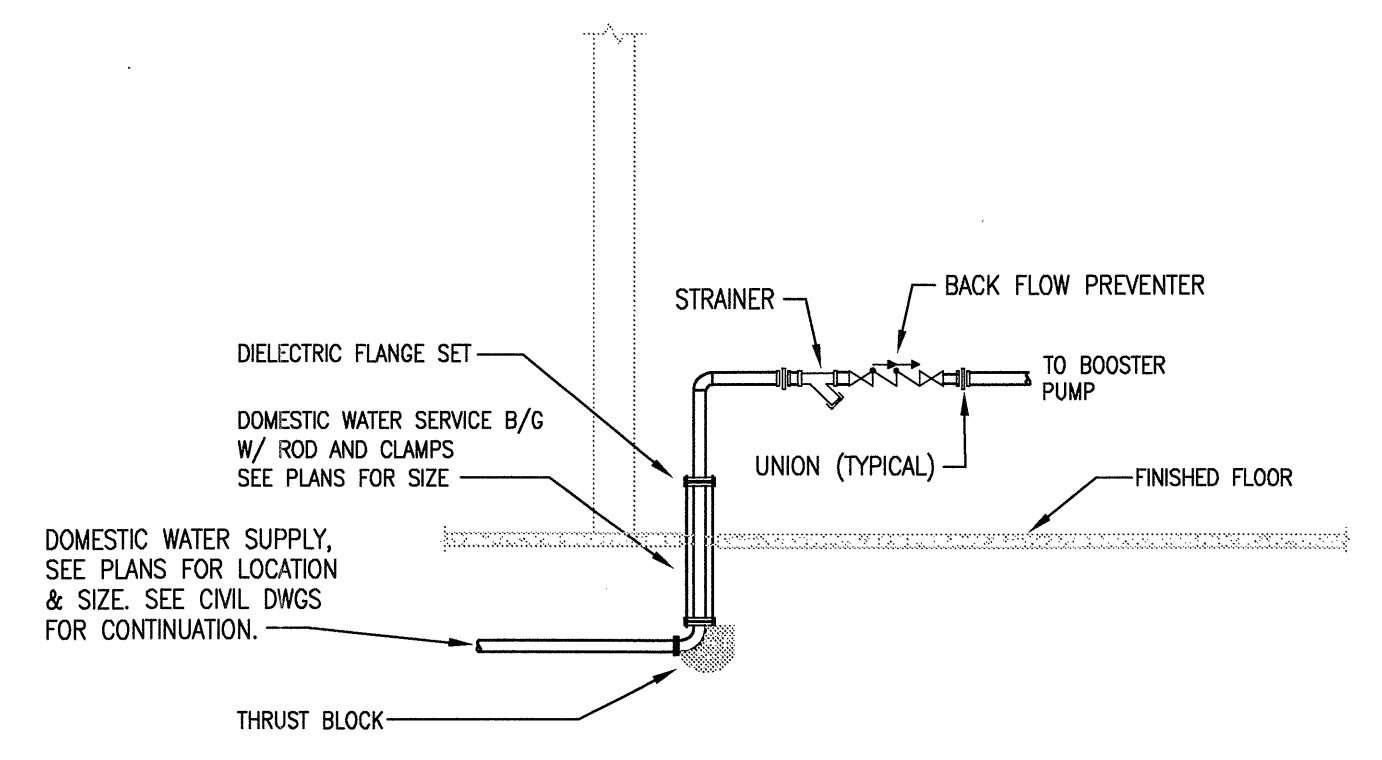
TWO WAY CLEANOUT
 NOT TO SCALE



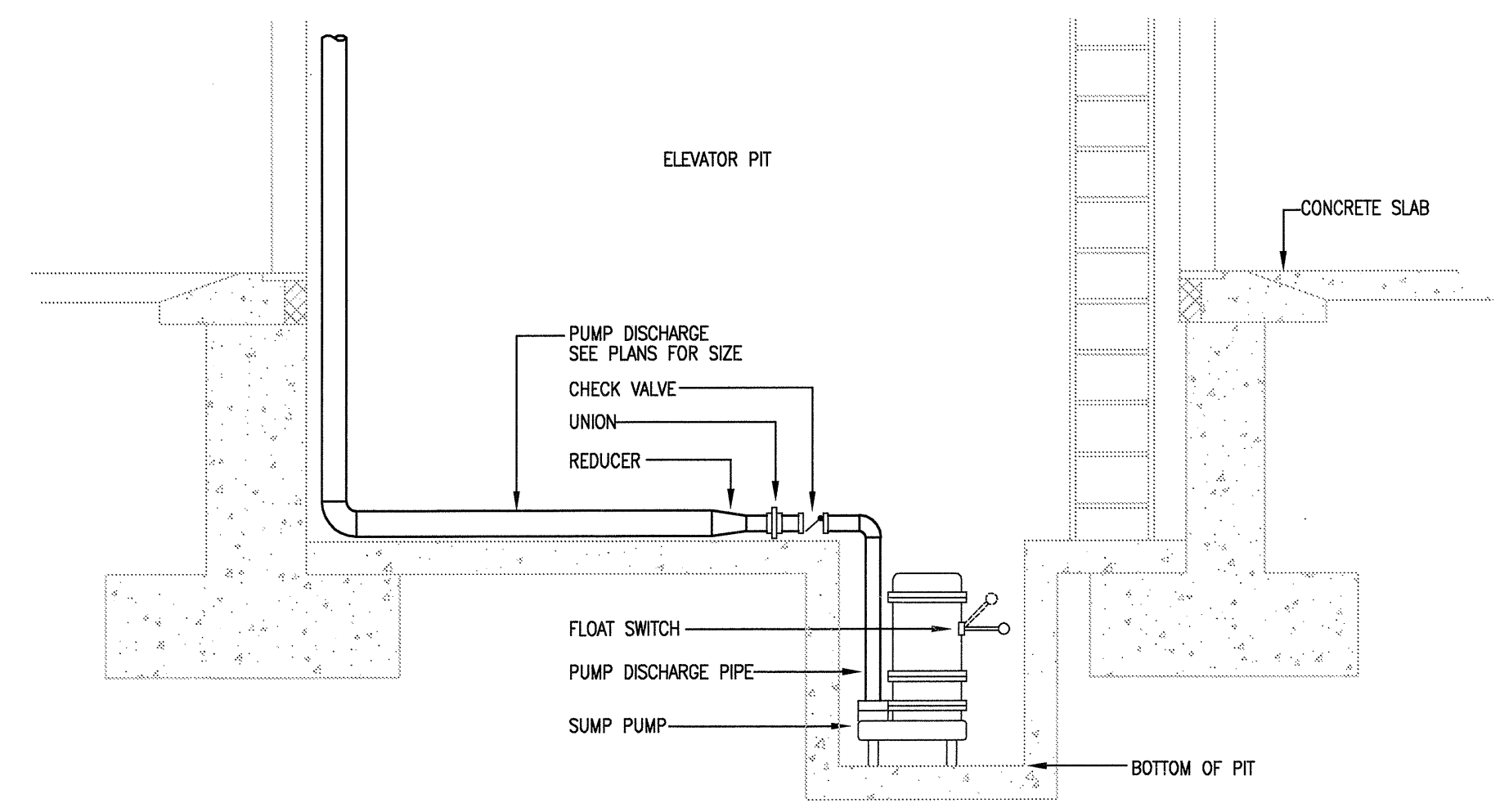
YARD CLEANOUT
 NOT TO SCALE



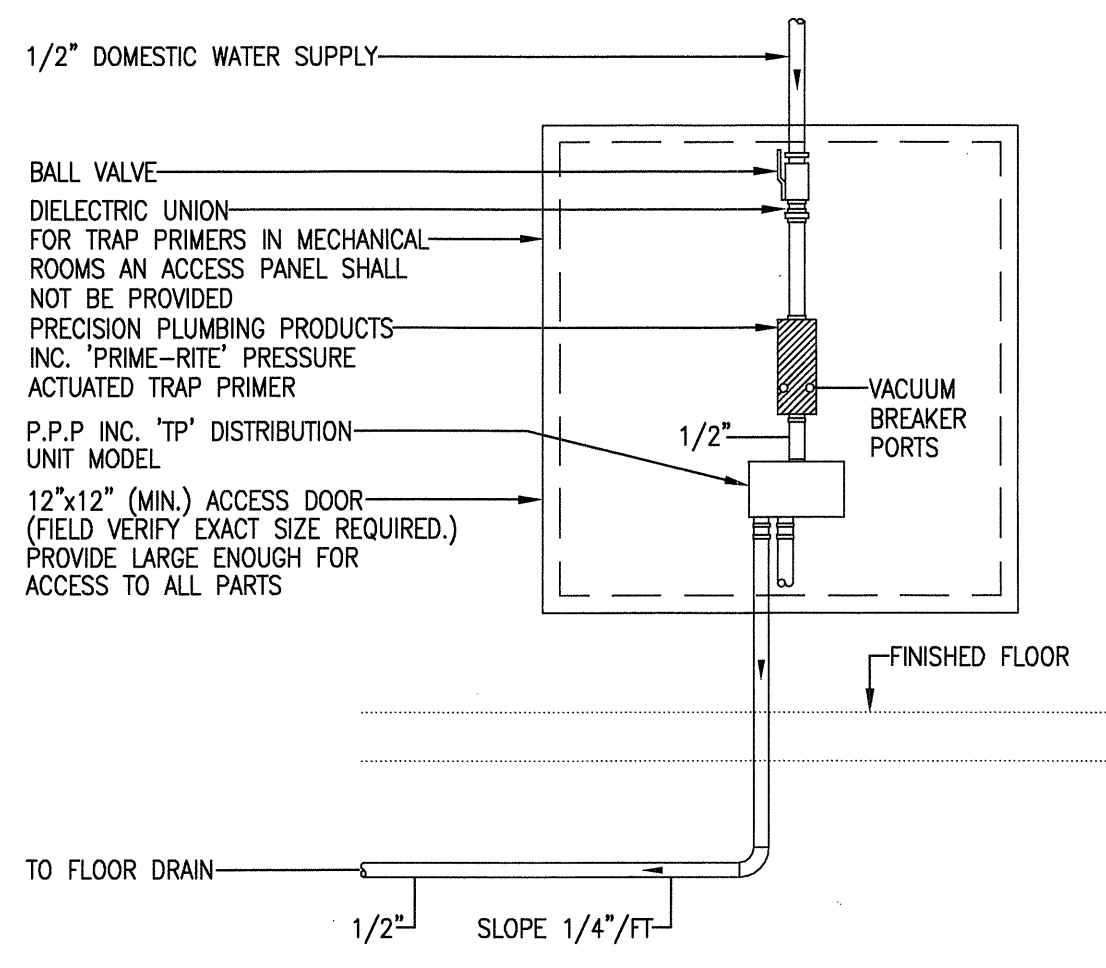
FIRE SERVICE ENTRANCE
 SCALE: NOT TO SCALE



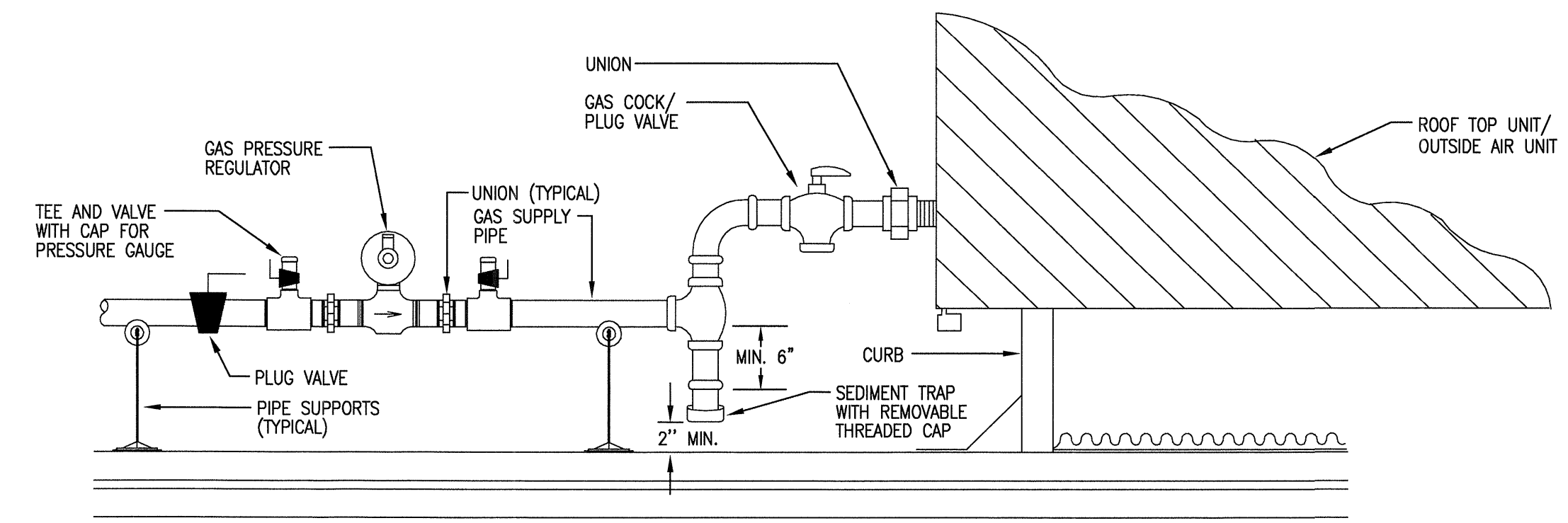
WATER SERVICE ENTRANCE
 SCALE: NOT TO SCALE



ELEVATOR SUMP PUMP
 NOT TO SCALE

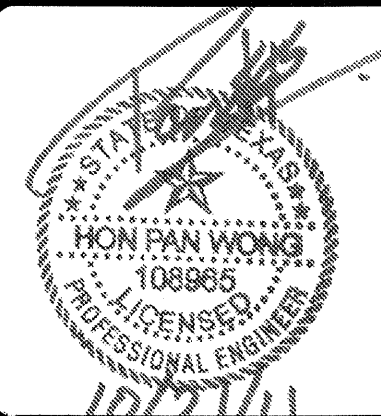


TRAP PRIMER
 NOT TO SCALE



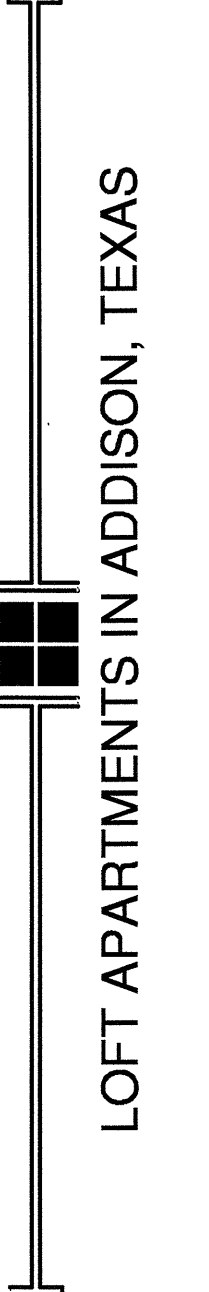
ROOF TOP UNIT GAS PIPING CONNECTION
 NOT TO SCALE

1
 3



REVISIONS		
1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS



LOFT APARTMENTS IN ADDISON, TEXAS

BGO
architects
4144 N. Central Expy.
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Dallas, TX 75204
214.520.8878
bgoarchitects.com

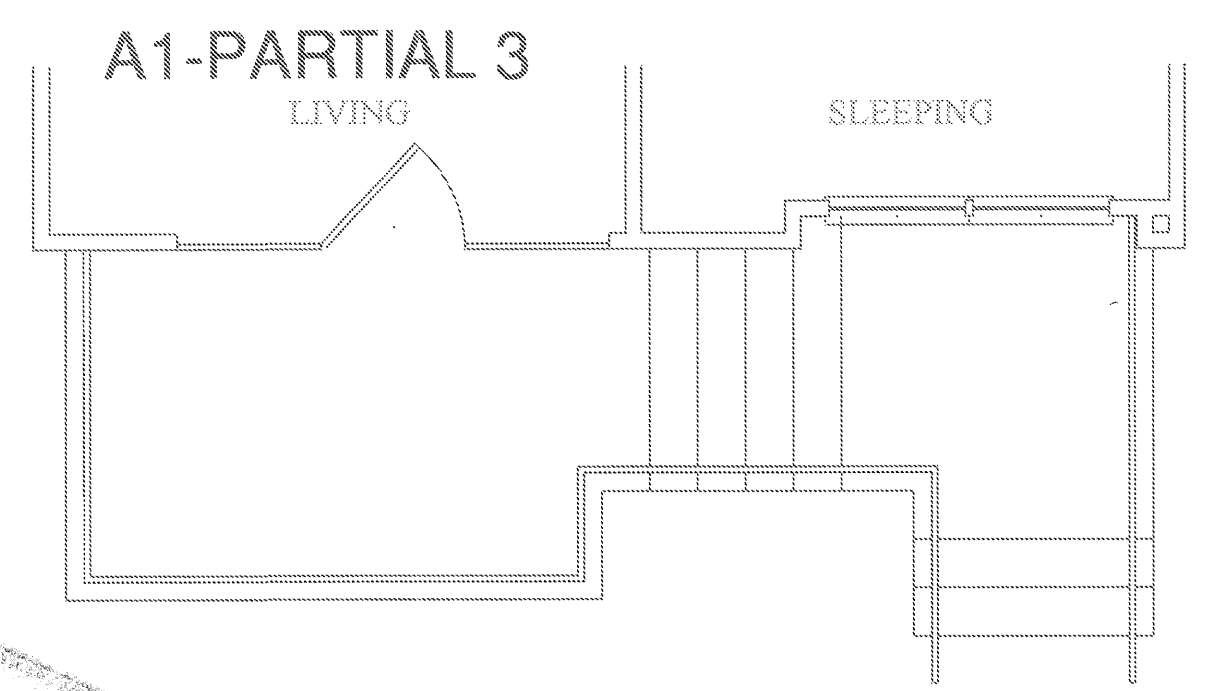
DATE
08-05-11

PROJECT
11129

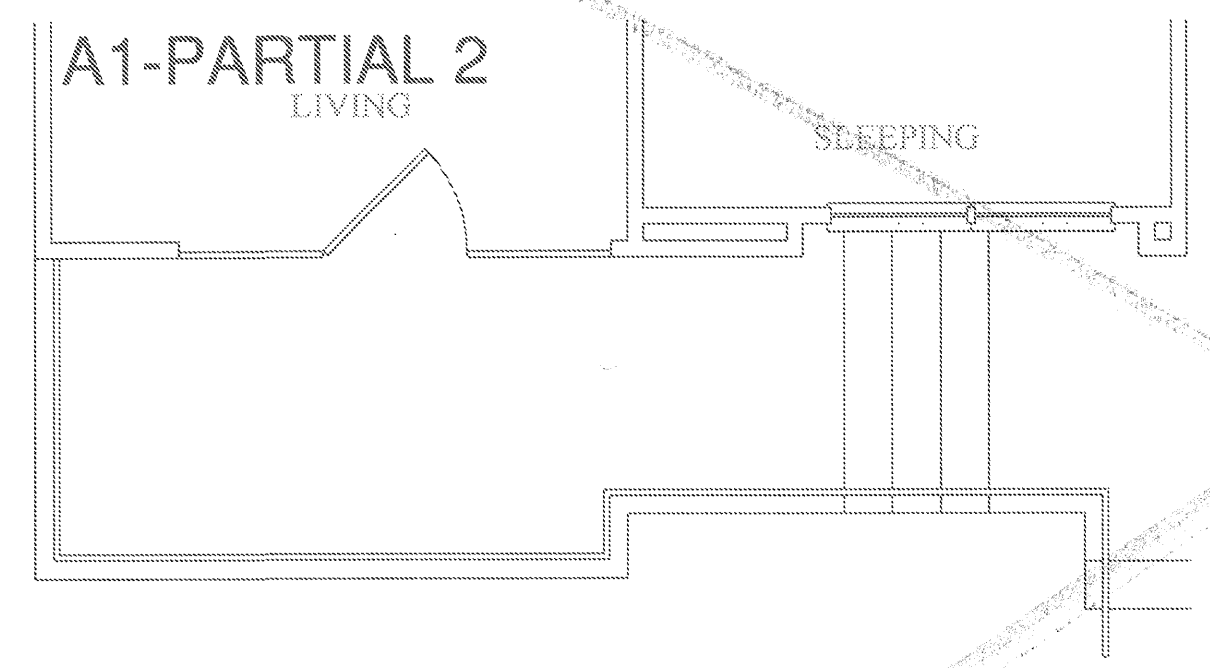
SHEET NUMBER
P-2.1

KEY NOTES:

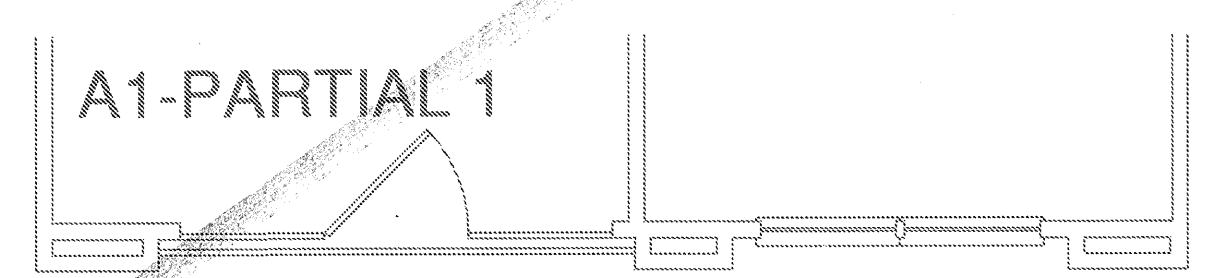
- 1 1/2" CW DOWN IN WALL TO WATER CLOSET.
- 2 1/2" H & CW DOWN IN WALL TO LAVATORY.
- 3 1/2" H & CW DOWN IN WALL TO BATHTUB/SHOWER. 3/4" H & CW DOWN IN WALL IF SERVING BATHTUB AND SHOWER.
- 4 1/2" H & CW TO SINK AND DISHWASHER. PROVIDE 1/2"x3/8" STOP ON CW. PROVIDE 1/2"x3/8"x3/8" STOP ON HW. 3/8" H & CW TO SINK FAUCET, 3/8" HW TO DISHWASHER.
- 5 DISPOSAL BELOW SINK WITH DISHWASHER WASTE CONNECTION. CONNECT DRAIN THRU AIR GAP TO DISPOSAL. DISPOSAL BY G.C. AND INSTALLED BY PLUMBING CONTRACTOR.
- 6 1/2" CW DOWN IN WALL TO ICE MAKER VALVE AND BOX.
- 7 WASHING MACHINE CONNECTION BOX 2" WASTE, 1/2" H & CW.
- 8 DOMESTIC WATER RISER. PROVIDE ISOLATION VALVE, REMOTE READ SUB-METER, AND PRV IF REQUIRED. REFER TO RISER DIAGRAM FOR SIZES.
- 9 ELECTRIC WATER HEATER. REFER TO DETAILS AND SCHEDULE.
- 10 3" SANITARY WASTE/VENT RISER PER IPC SEC 910.
- 11 3" SANITARY WASTE RISER.
- 12 3" SANITARY VENT RISER.
- 13 2" SANITARY WASTE RISER.
- 14 2" SANITARY VENT RISER.
- 15 1/2" H & CW DOWN IN WALL TO BELOW FLOOR TO SERVE ISLAND SINK.



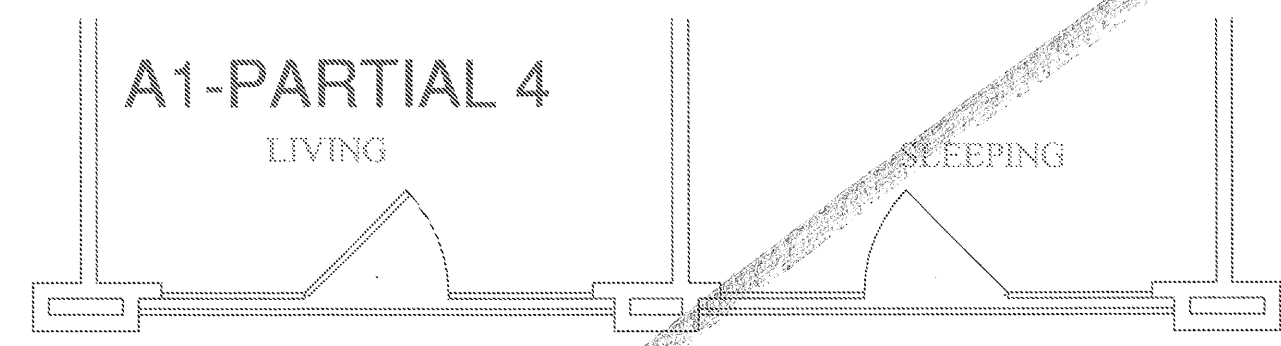
6 UNIT A1 - PARTIAL 3
SCALE: 1/4" = 1'-0" OCCURS AT: (1) TOTAL UNITS ON SITE



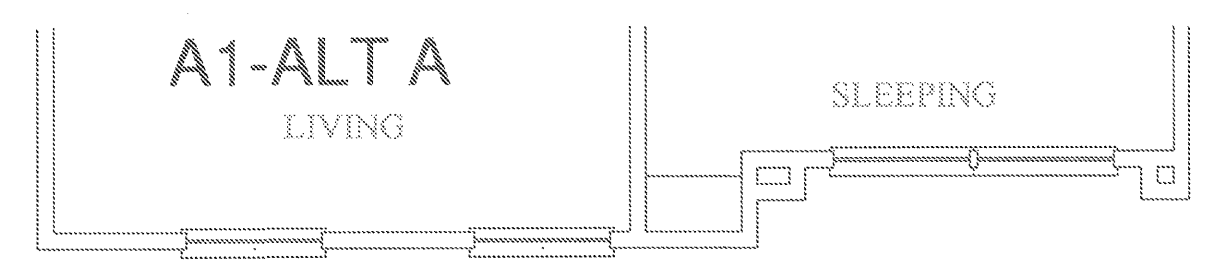
5 UNIT A1 - PARTIAL 2
SCALE: 1/4" = 1'-0" OCCURS AT: (5) TOTAL UNITS ON SITE



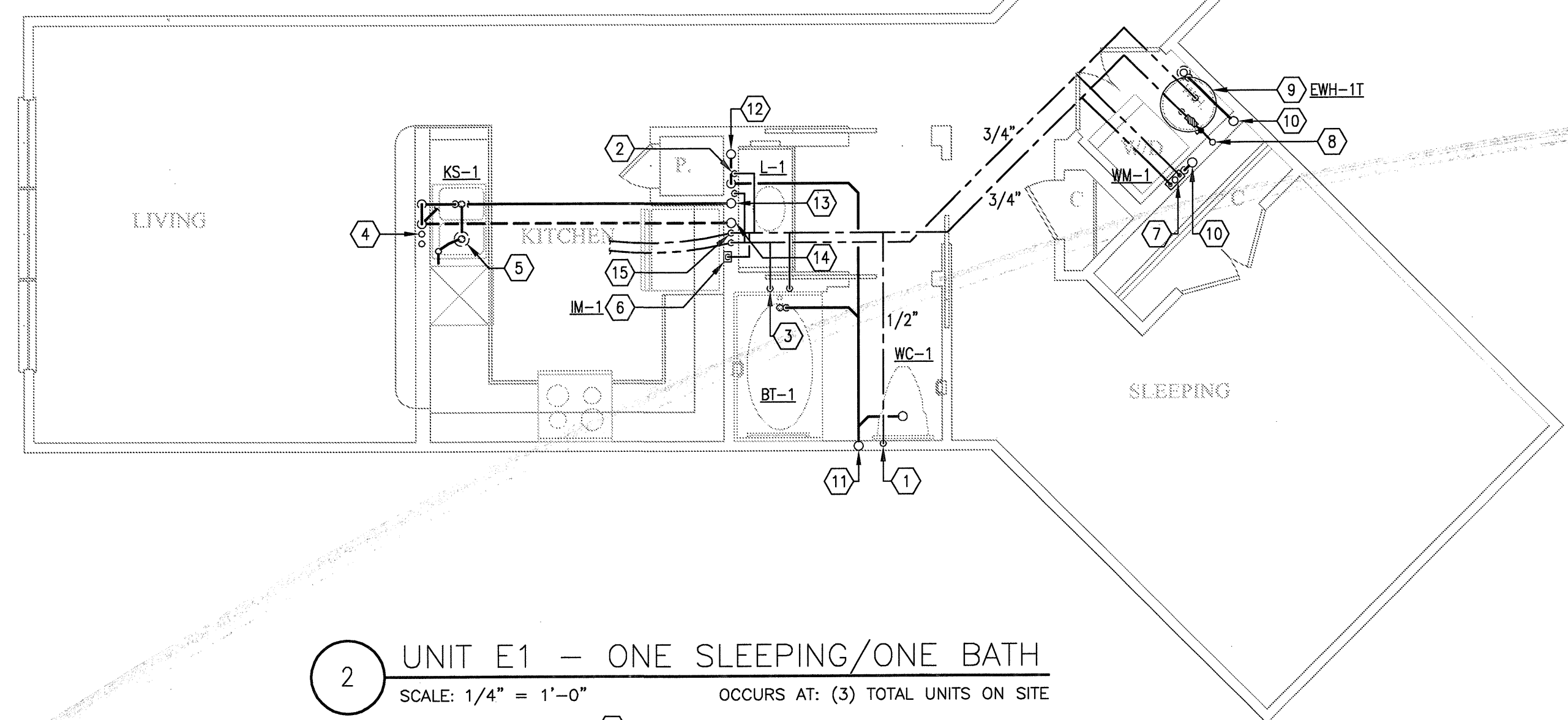
4 UNIT A1 - PARTIAL 1
SCALE: 1/4" = 1'-0" OCCURS AT: (8) TOTAL UNITS ON SITE



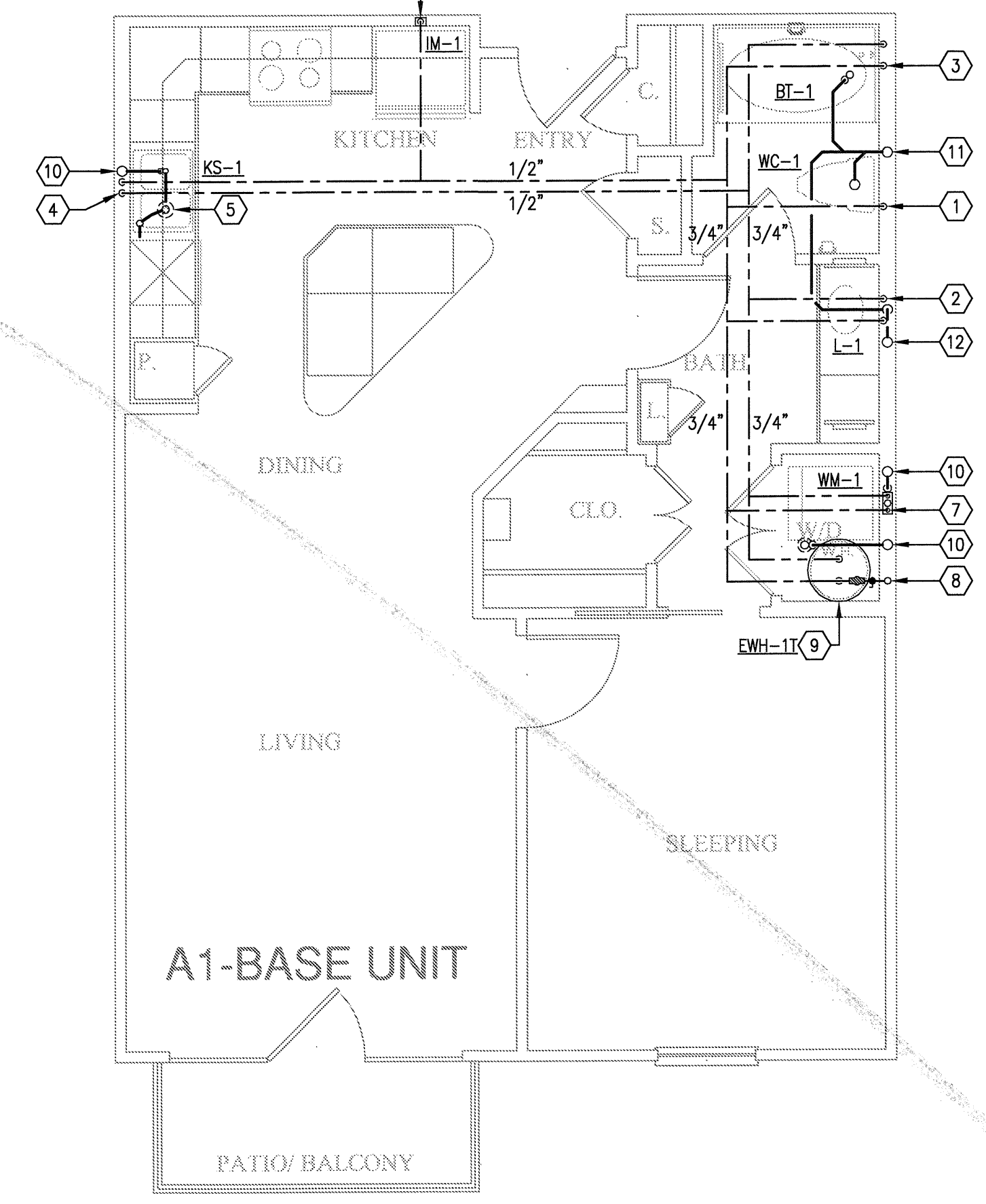
7 UNIT A1 - PARTIAL 4
SCALE: 1/4" = 1'-0" OCCURS AT: (3) TOTAL UNITS ON SITE



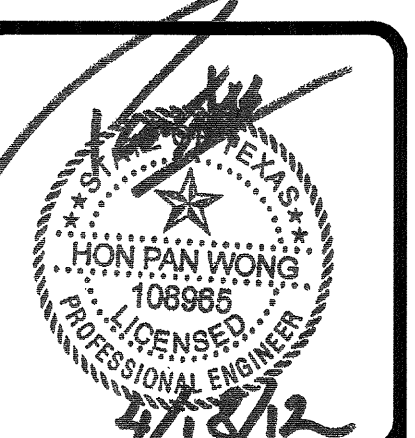
3 UNIT A1 - ALT A
SCALE: 1/4" = 1'-0" OCCURS AT: (18) TOTAL UNITS ON SITE



2 UNIT E1 - ONE SLEEPING/ONE BATH
SCALE: 1/4" = 1'-0" OCCURS AT: (3) TOTAL UNITS ON SITE



1 UNIT A1 - ONE SLEEPING/ONE BATH
SCALE: 1/4" = 1'-0" OCCURS AT: (19) TOTAL UNITS ON SITE



REVISIONS		
△ 9-2-2011	DESIGN REVISIONS	
△ 2	ANSI/FHA COMMENTS	
△ 9-13-2011	DESIGN REVISIONS	
△ 3	DESIGN REVISIONS	
△ 9-23-2011	CONSTRUCTION ISSUE	
△ 4	DESIGN REVISIONS	
△ 10-17-2011	DESIGN REVISIONS	
△ 5	DESIGN REVISIONS	
△ 12-21-2011	DESIGN REVISIONS	
△ 6	DESIGN REVISIONS	
△ 1-17-2012	TRANSFORMER REVISIONS	
△ 7	TRANSFORMER REVISIONS	
△ 2-15-2012	CLUBHOUSE REVISIONS	
△ 8	CLUBHOUSE REVISIONS	
△ 3-27-2012	COORDINATION	
△ 9	COORDINATION	

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS

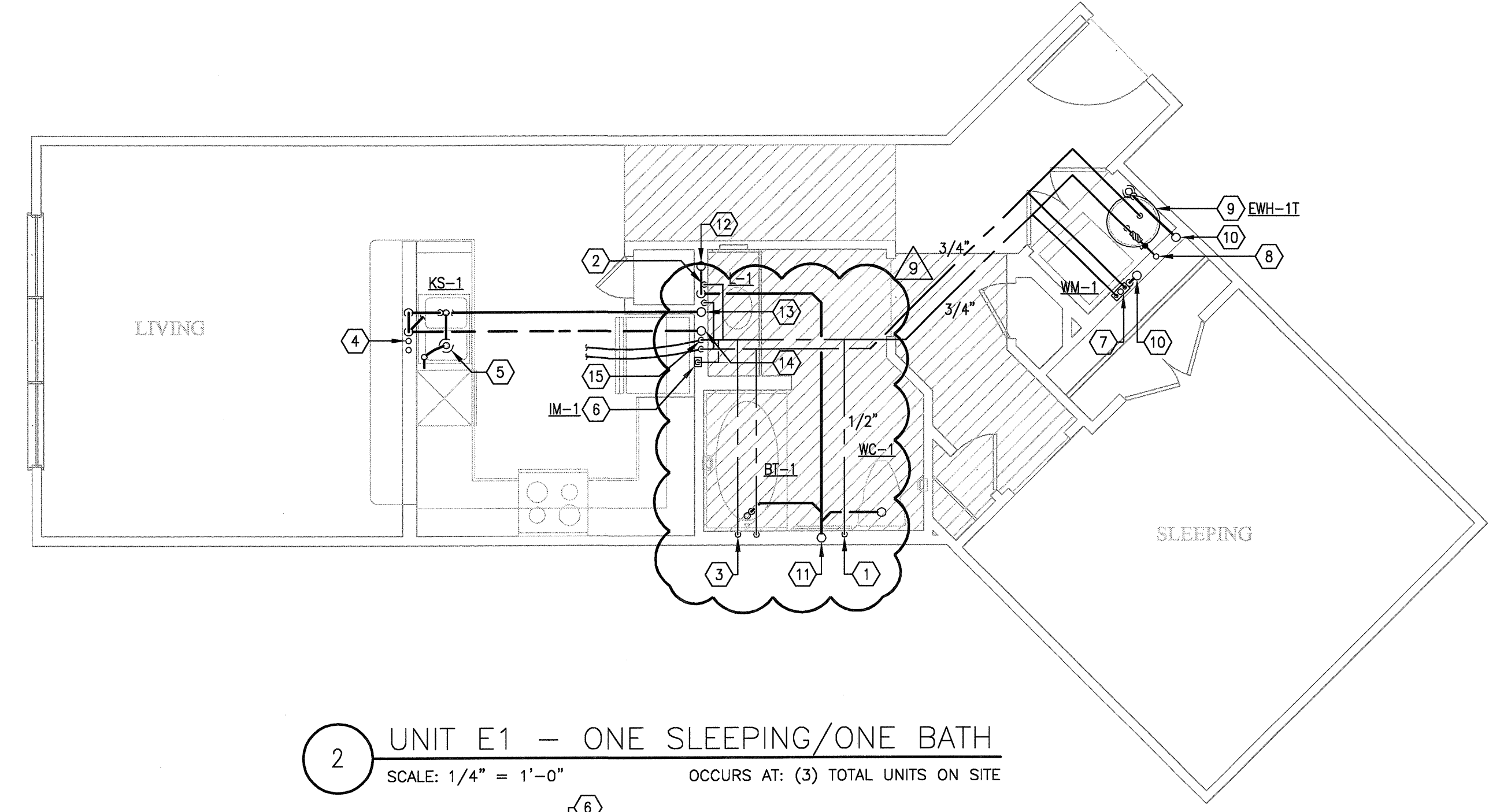
BGO architects
 4144 N. Central Expy. Suite 855
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 214.520.8878
 bgoarchitects.com

DATE
08-05-11

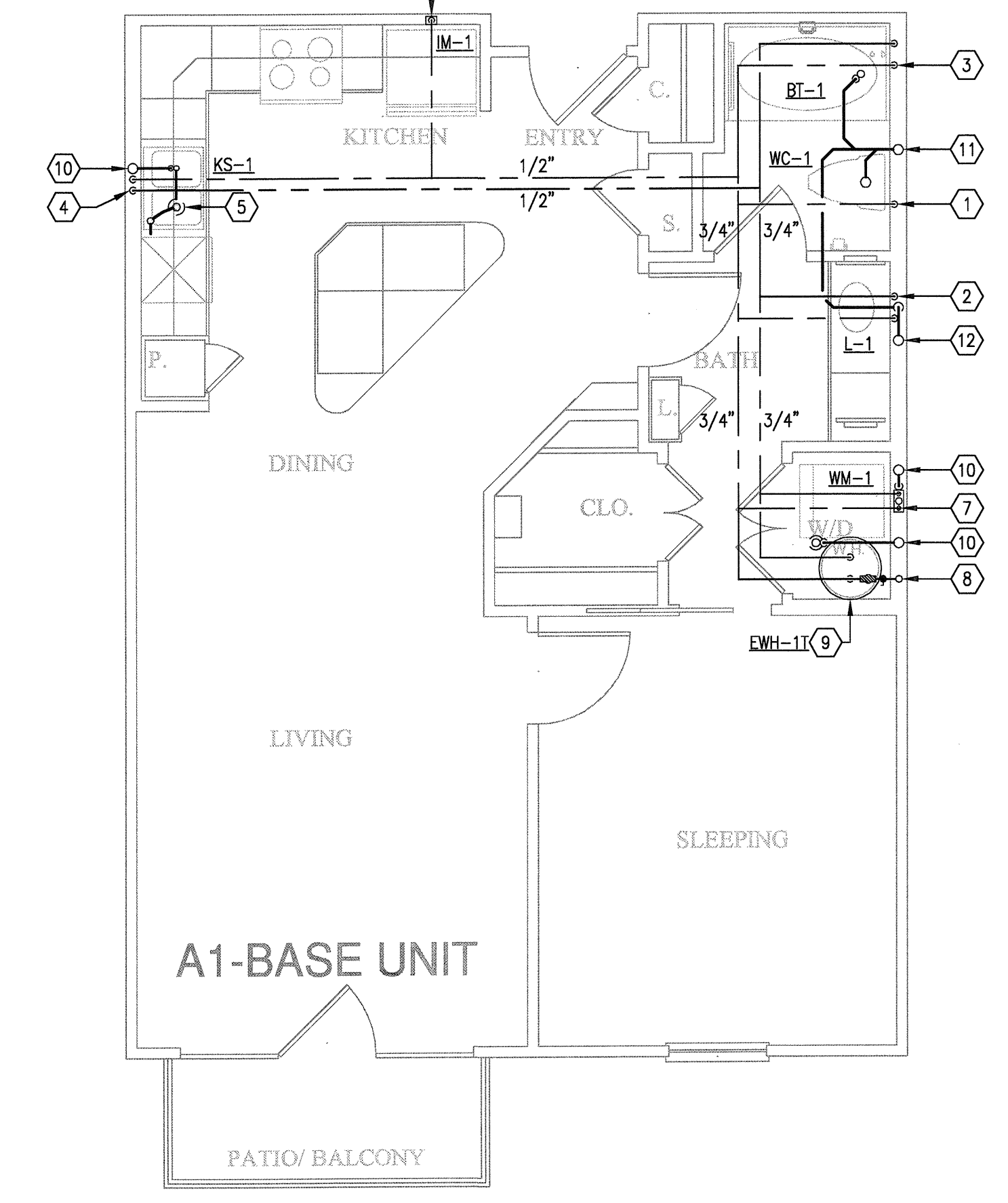
PROJECT
11129

SHEET NUMBER
P-2.1

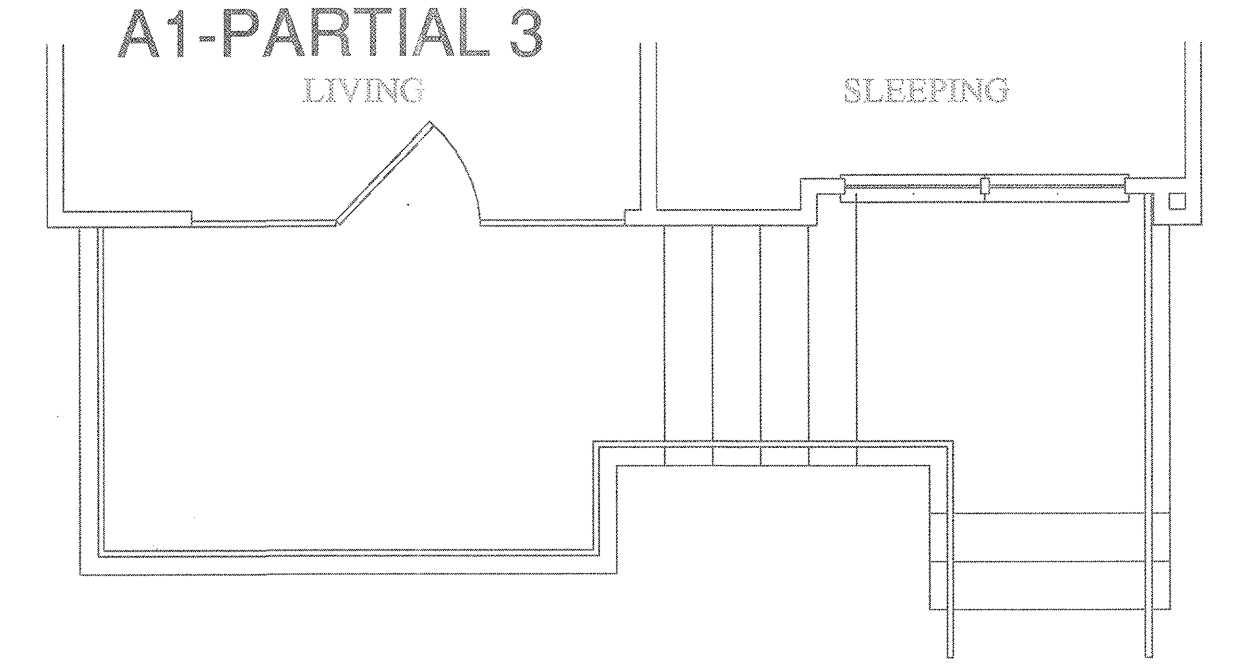
JSE Jordan & Skala Engineers
 14740 Midway Road, Suite 350
 Dallas, TX 75244-5138
 V: (469) 385-1616 F: (469) 385-1615
 Project Number - 113-0355 Texas Firm Registration # F-4990
 Drawn By: CV Checked By: RC



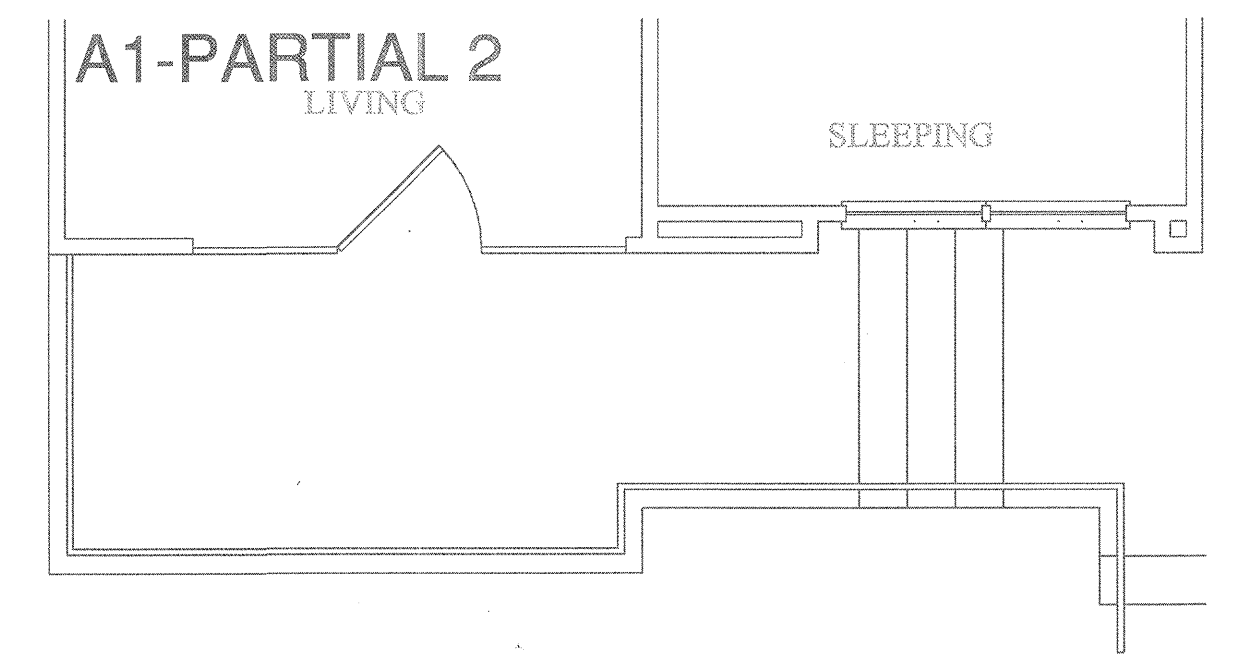
2 UNIT E1 - ONE SLEEPING/ONE BATH
 SCALE: 1/4" = 1'-0" OCCURS AT: (3) TOTAL UNITS ON SITE



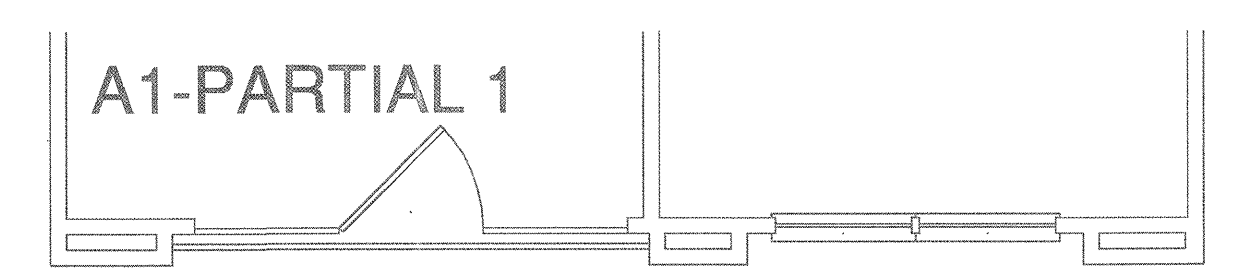
1 UNIT A1 - ONE SLEEPING/ONE BATH
 SCALE: 1/4" = 1'-0" OCCURS AT: (19) TOTAL UNITS ON SITE



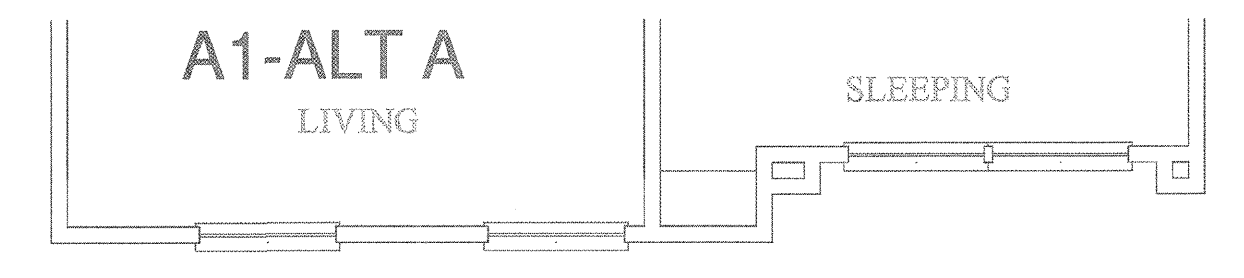
6 UNIT A1 - PARTIAL 3
 SCALE: 1/4" = 1'-0" OCCURS AT: (1) TOTAL UNITS ON SITE



5 UNIT A1 - PARTIAL 2
 SCALE: 1/4" = 1'-0" OCCURS AT: (5) TOTAL UNITS ON SITE

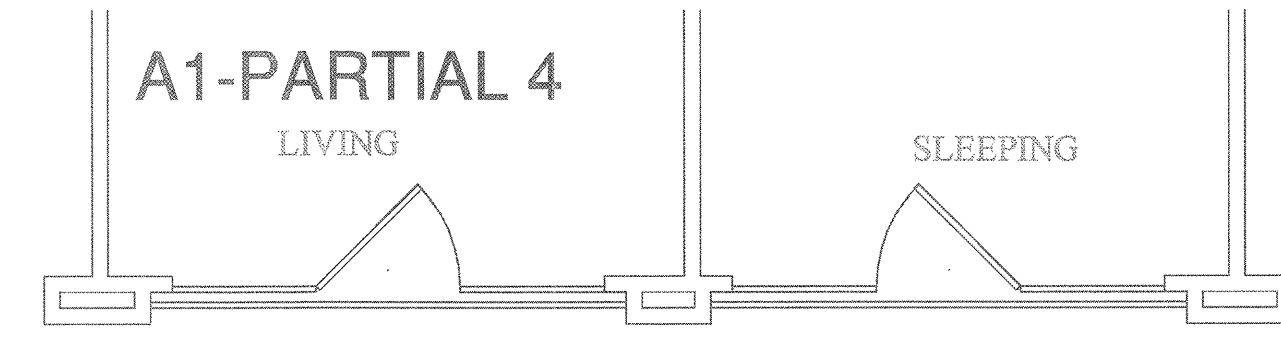


4 UNIT A1 - PARTIAL 1
 SCALE: 1/4" = 1'-0" OCCURS AT: (8) TOTAL UNITS ON SITE

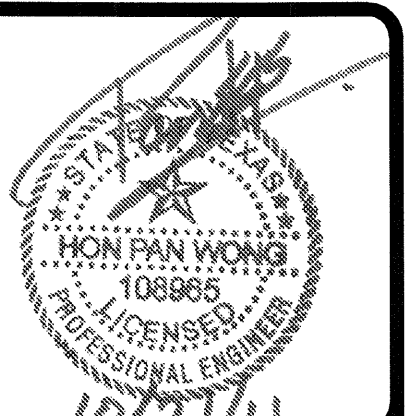


3 UNIT A1 - ALT A
 SCALE: 1/4" = 1'-0" OCCURS AT: (18) TOTAL UNITS ON SITE

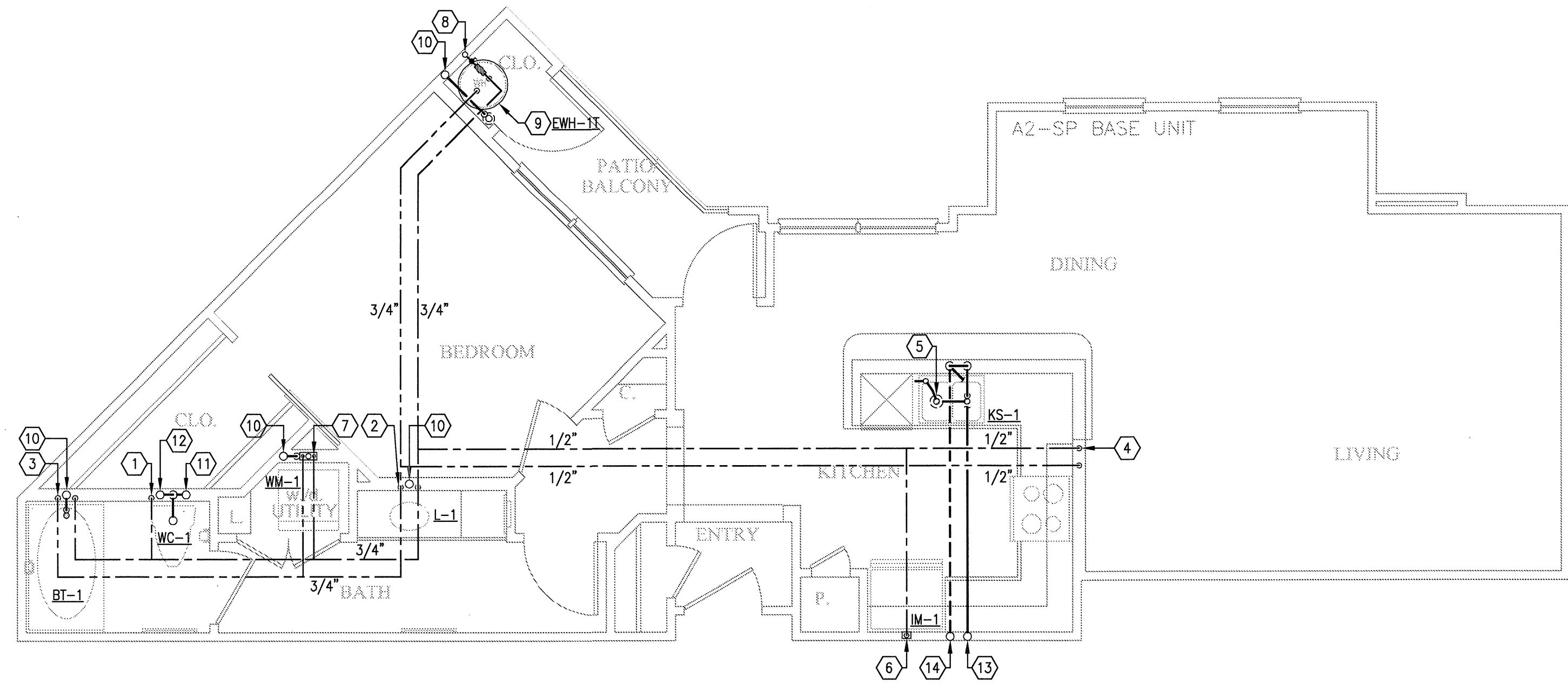
- KEY NOTES:**
- ① 1/2" CW DOWN IN WALL TO WATER CLOSET.
 - ② 1/2" H & CW DOWN IN WALL TO LAVATORY.
 - ③ 1/2" H & CW DOWN IN WALL TO BATHTUB/SHOWER. 3/4" H & CW DOWN IN WALL IF SERVING BATHTUB AND SHOWER.
 - ④ 1/2" H & CW TO SINK AND DISHWASHER. PROVIDE 1/2"x3/8" STOP ON CW. PROVIDE 1/2"x3/8"x3/8" STOP ON HW. 3/8" H & CW TO SINK FAUCET, 3/8" HW TO DISHWASHER.
 - ⑤ DISPOSAL BELOW SINK WITH DISHWASHER WASTE CONNECTION. CONNECT DRAIN THRU AIR GAP TO DISPOSAL. DISPOSAL BY G.C. AND INSTALLED BY PLUMBING CONTRACTOR.
 - ⑥ 1/2" CW DOWN IN WALL TO ICE MAKER VALVE AND BOX.
 - ⑦ WASHING MACHINE CONNECTION BOX 2" WASTE, 1/2" H & CW.
 - ⑧ DOMESTIC WATER RISER. PROVIDE ISOLATION VALVE, REMOTE READ SUB-METER, AND PRV IF REQUIRED. REFER TO RISER DIAGRAM FOR SIZES.
 - ⑨ ELECTRIC WATER HEATER. REFER TO DETAILS AND SCHEDULE.
 - ⑩ 3" SANITARY WASTE/VENT RISER PER IPC SEC 910.
 - ⑪ 3" SANITARY WASTE RISER.
 - ⑫ 3" SANITARY VENT RISER.
 - ⑬ 2" SANITARY WASTE RISER.
 - ⑭ 2" SANITARY VENT RISER.
 - ⑮ 1/2" H & CW DOWN IN WALL TO BELOW FLOOR TO SERVE ISLAND SINK.



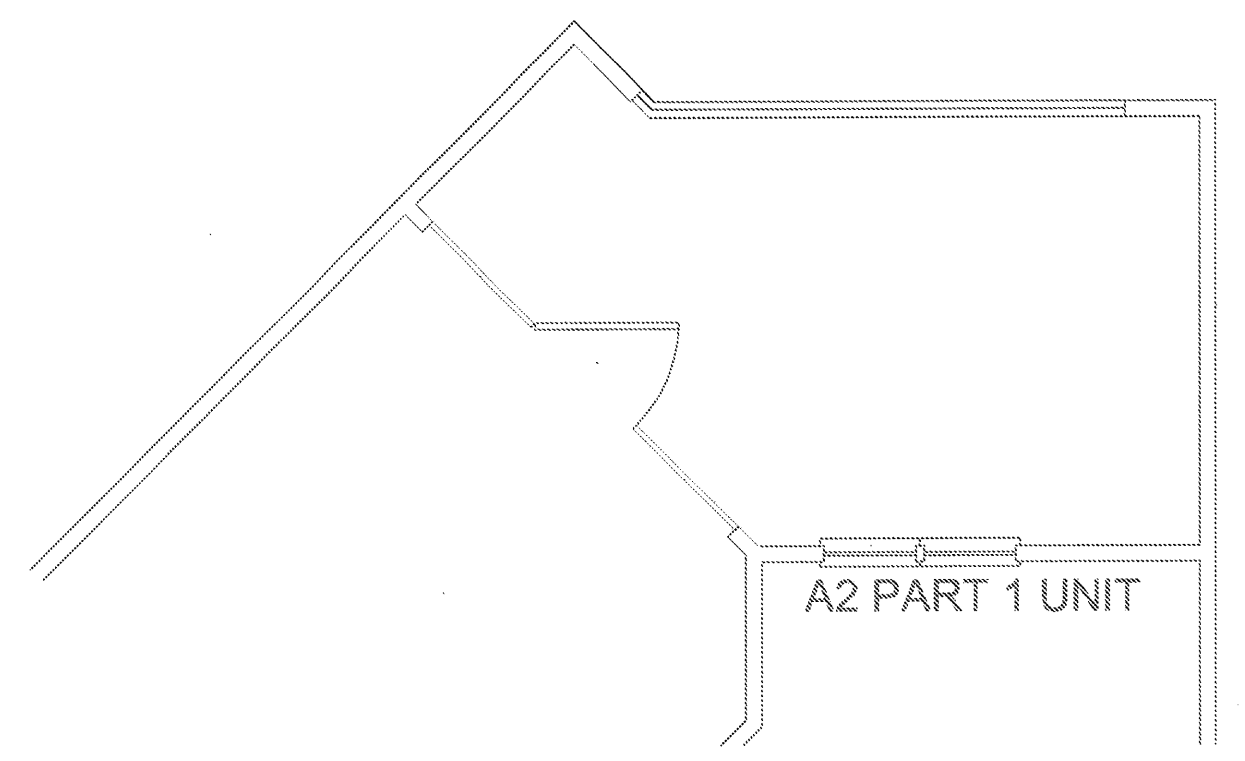
7 UNIT A1 - PARTIAL 4
 SCALE: 1/4" = 1'-0" OCCURS AT: (3) TOTAL UNITS ON SITE



REVISIONS		
1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE



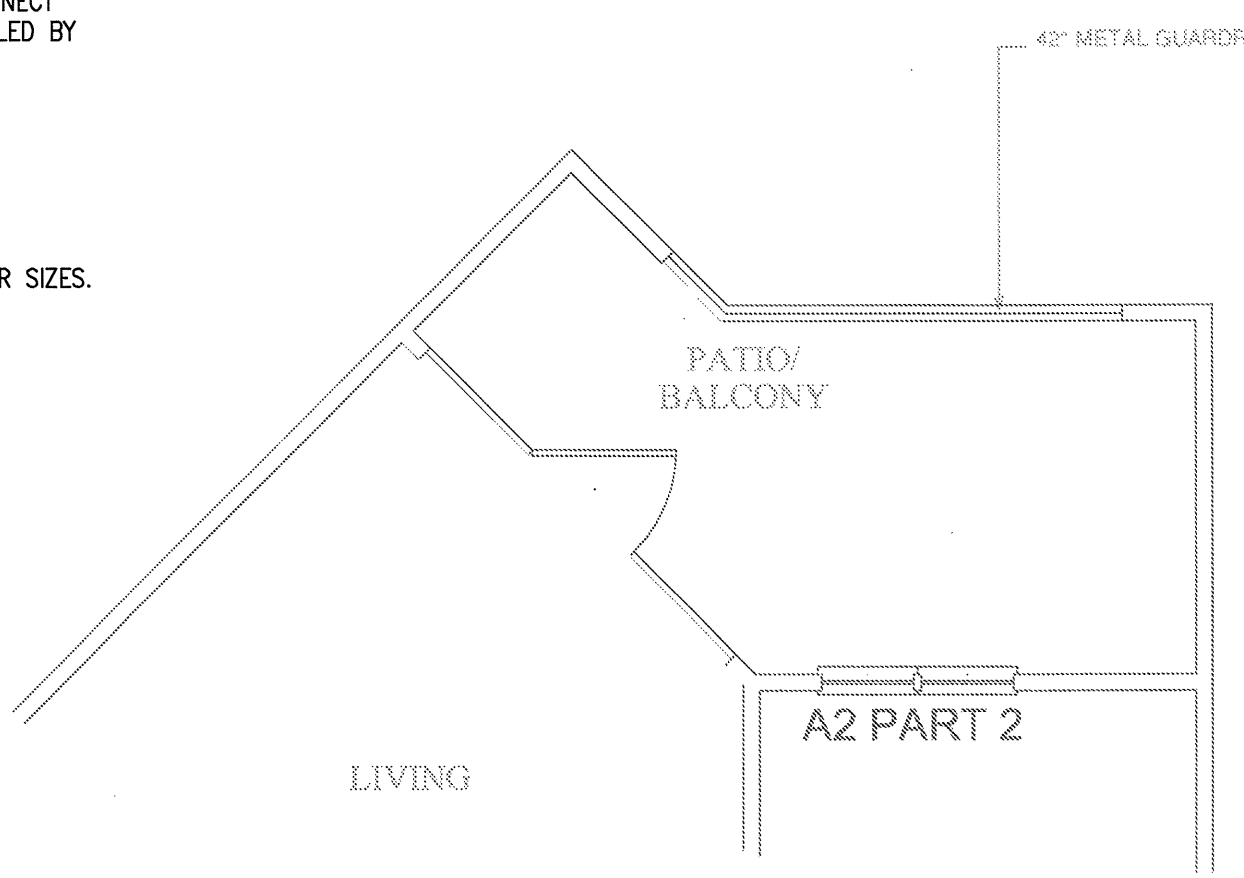
4 UNIT A2-SP - ONE BEDROOM/ONE BATH
SCALE: 1/4" = 1'-0" OCCURS AT: (3) TOTAL UNITS ON SITE



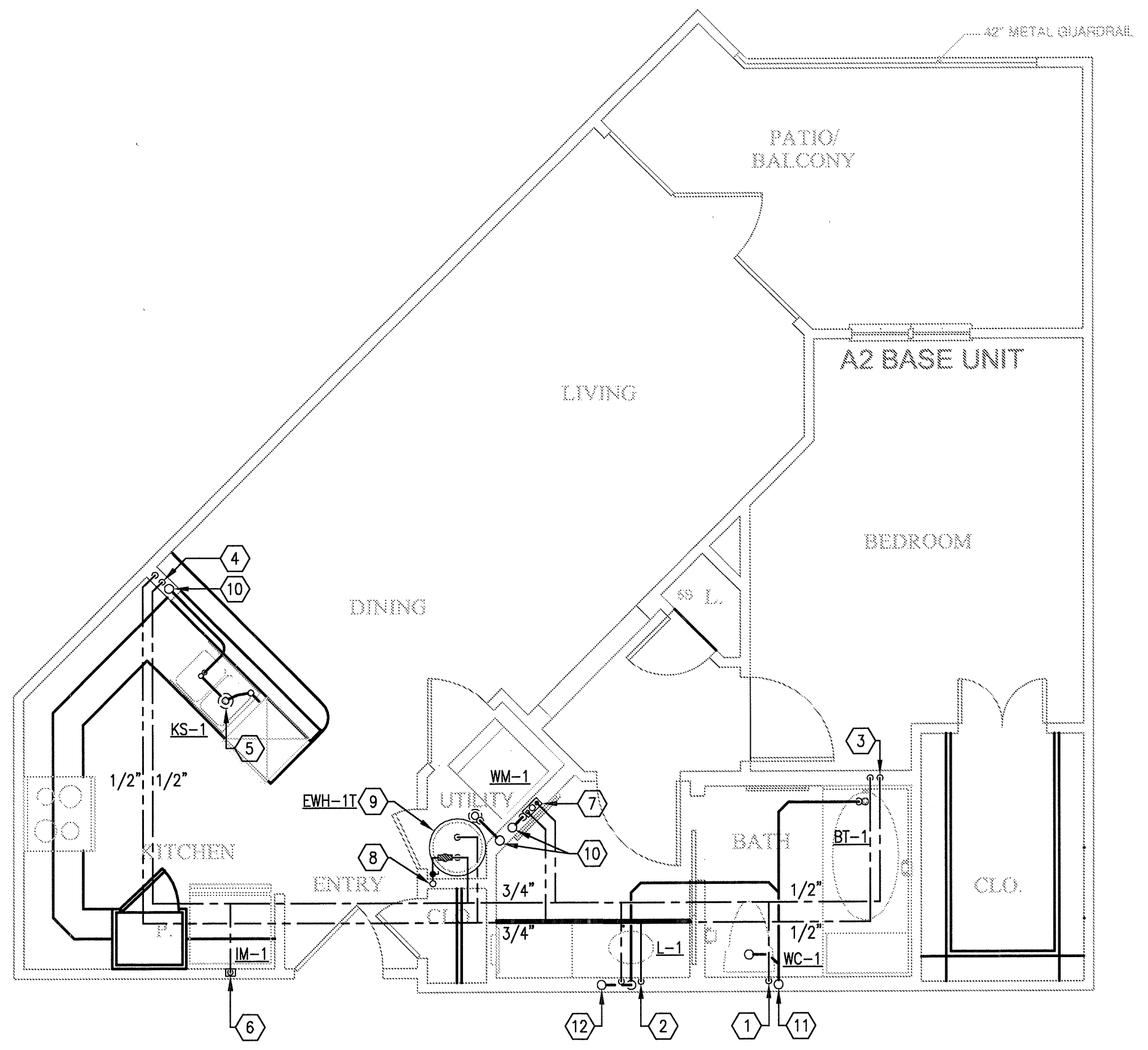
2 UNIT A2 - PART 1
SCALE: 1/4" = 1'-0" OCCURS AT: (3) TOTAL UNITS ON SITE

KEY NOTES:

- 1 1/2" CW DOWN IN WALL TO WATER CLOSET.
- 2 1/2" H & CW DOWN IN WALL TO LAVATORY.
- 3 1/2" H & CW DOWN IN WALL TO BATHTUB/SHOWER. 3/4" H & CW DOWN IN WALL IF SERVING BATHTUB AND SHOWER.
- 4 1/2" H & CW TO SINK AND DISHWASHER. PROVIDE 1/2"x3/8" STOP ON CW. PROVIDE 1/2"x3/8"x3/8" STOP ON HW. 3/8" H & CW TO SINK FAUCET, 3/8" HW TO DISHWASHER.
- 5 DISPOSAL BELOW SINK WITH DISHWASHER WASTE CONNECTION. CONNECT DRAIN THRU AIR GAP TO DISPOSAL. DISPOSAL BY G.C. AND INSTALLED BY PLUMBING CONTRACTOR.
- 6 1/2" CW DOWN IN WALL TO ICE MAKER VALVE AND BOX.
- 7 WASHING MACHINE CONNECTION BOX 2" WASTE, 1/2" H & CW.
- 8 DOMESTIC WATER RISER. PROVIDE ISOLATION VALVE, REMOTE READ SUB-METER, AND PRV IF REQUIRED. REFER TO RISER DIAGRAM FOR SIZES.
- 9 ELECTRIC WATER HEATER. REFER TO DETAILS AND SCHEDULE.
- 10 3" SANITARY WASTE/VENT RISER PER IPC SEC 910.
- 11 3" SANITARY WASTE RISER.
- 12 3" SANITARY VENT RISER.
- 13 2" SANITARY WASTE RISER.
- 14 2" SANITARY VENT RISER.



3 UNIT A2 - PART 2
SCALE: 1/4" = 1'-0" OCCURS AT: (3) TOTAL UNITS ON SITE



1 UNIT A2 - ONE BEDROOM/ONE BATH
SCALE: 1/4" = 1'-0" OCCURS AT: (59) UNITS/(65) TOTAL UNITS ON SITE

KELLER SPRINGS LOFTS
 LOFT APARTMENTS IN ADDISON, TEXAS

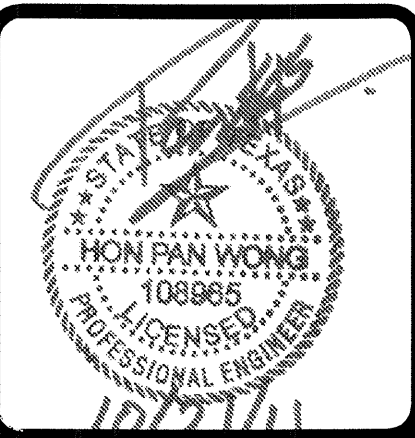
BGO
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 4144 N. Central Expy.
 Suite 855
 Dallas, TX 75204
 214.520.8878
 bgoarchitects.com

DATE
 08-05-11

PROJECT
 11129

SHEET NUMBER
P-2.2

JSE Jordan & Skala Engineers
 14240 Midway Road, Suite 350
 Dallas, TX 75244-5138
 Tel: (469) 385-1616 Fax: (469) 385-1615
 Project Number - 113-0555 Texas Firm Registration # F-4990
 Drawn By: CV Checked By: RC



REVISIONS		
1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS
LOFT APARTMENTS IN ADDISON, TEXAS



4144 N. Central Expy.
Suite 855
Dallas, TX 75204
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DATE
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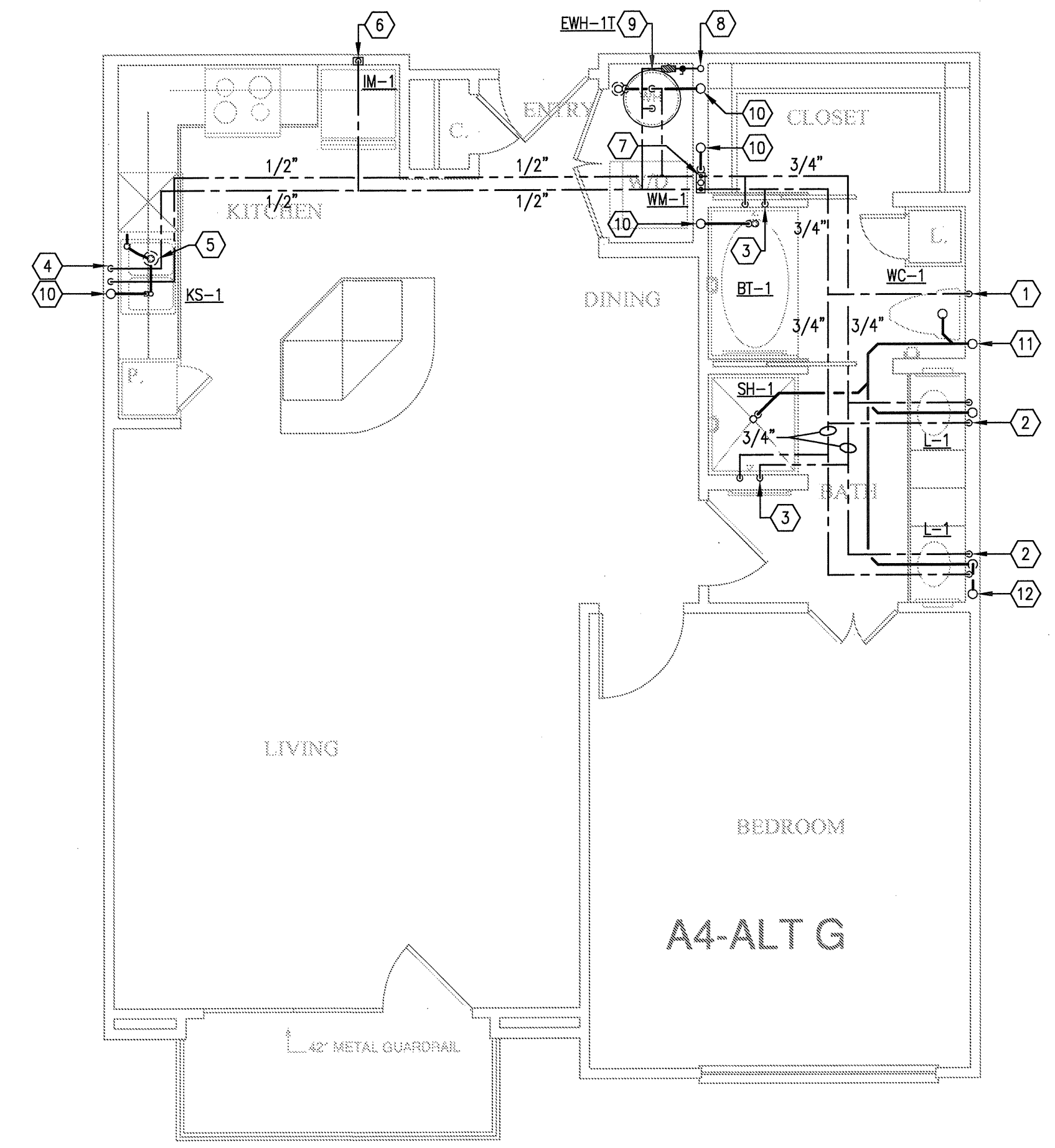
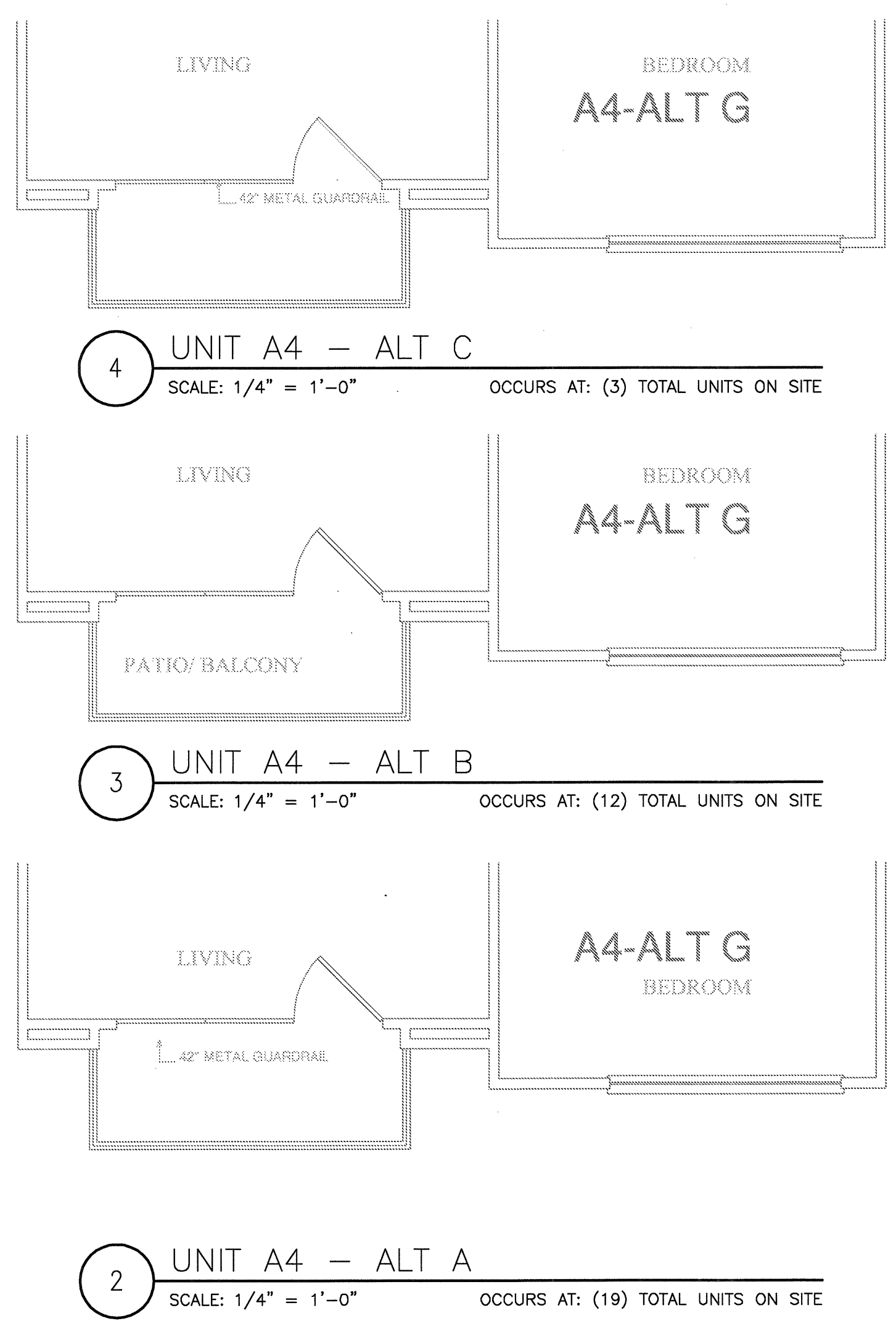
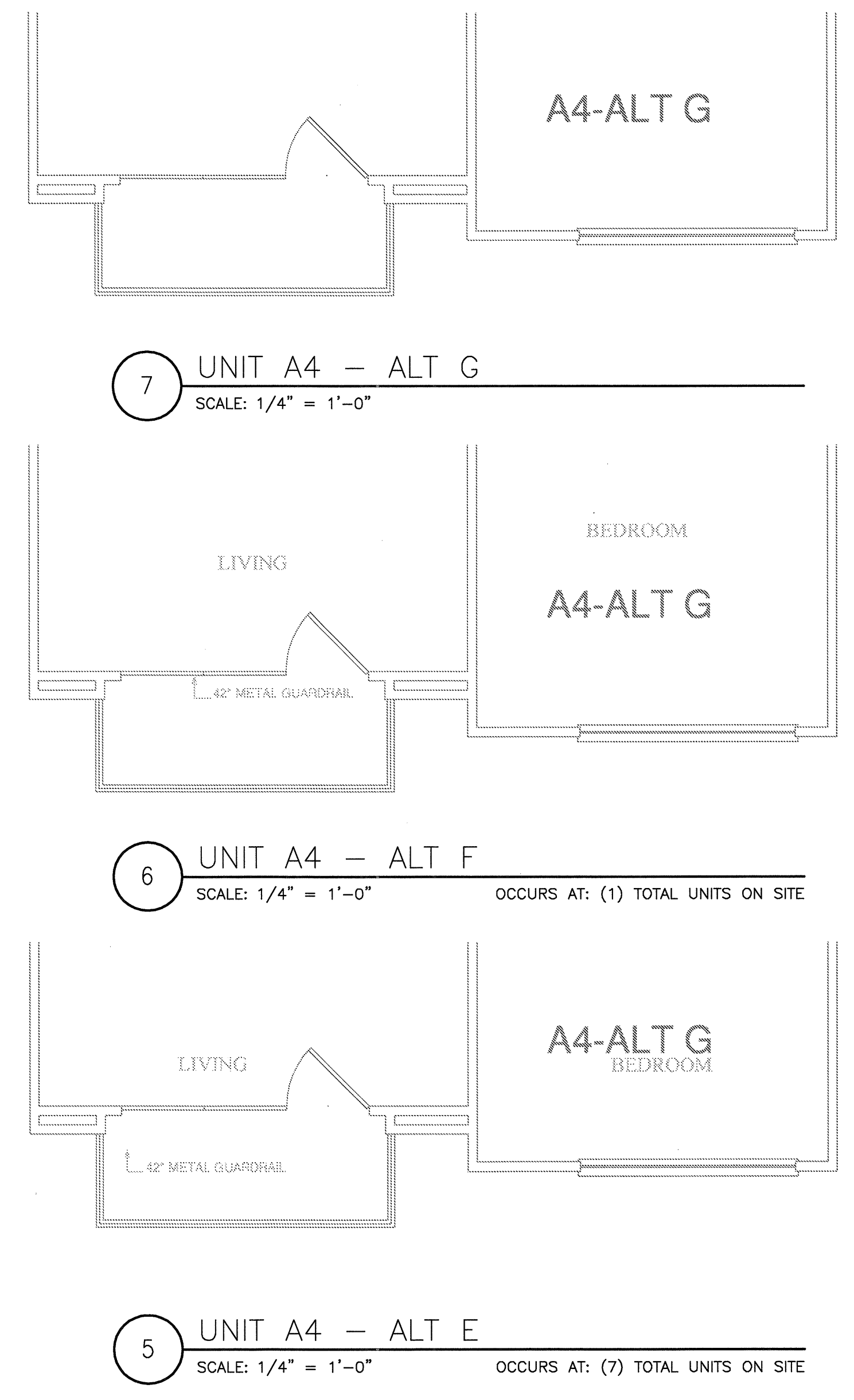
PROJECT
11129

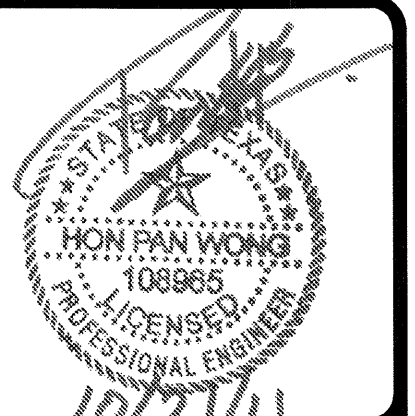
SHEET NUMBER

P-2.4

KEY NOTES:

- 1 1/2" CW DOWN IN WALL TO WATER CLOSET.
- 2 1/2" H & CW DOWN IN WALL TO LAVATORY.
- 3 1/2" H & CW DOWN IN WALL TO BATHTUB/SHOWER. 3/4" H & CW DOWN IN WALL IF SERVING BATHTUB AND SHOWER.
- 4 1/2" H & CW TO SINK AND DISHWASHER. PROVIDE 1/2"x3/8" STOP ON CW. PROVIDE 1/2"x3/8"x3/8" STOP ON HW. 3/8" H & CW TO SINK FAUCET. 3/8" HW TO DISHWASHER.
- 5 DISPOSAL BELOW SINK WITH DISHWASHER WASTE CONNECTION. CONNECT DRAIN THRU AIR GAP TO DISPOSAL. DISPOSAL BY G.C. AND INSTALLED BY PLUMBING CONTRACTOR.
- 6 1/2" CW DOWN IN WALL TO ICE MAKER VALVE AND BOX.
- 7 WASHING MACHINE CONNECTION BOX 2" WASTE, 1/2" H & CW.
- 8 DOMESTIC WATER RISER. PROVIDE ISOLATION VALVE, REMOTE READ SUB-METER, AND PRV IF REQUIRED. REFER TO RISER DIAGRAM FOR SIZES.
- 9 ELECTRIC WATER HEATER. REFER TO DETAILS AND SCHEDULE.
- 10 3" SANITARY WASTE/VENT RISER PER IPC SEC 910.
- 11 3" SANITARY WASTE RISER.
- 12 3" SANITARY VENT RISER.





REVISIONS	
1	9-2-2011 DESIGN REVISIONS
2	9-13-2011 ANSI/FHA COMMENTS
3	9-23-2011 DESIGN REVISIONS
4	10-17-2011 CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS

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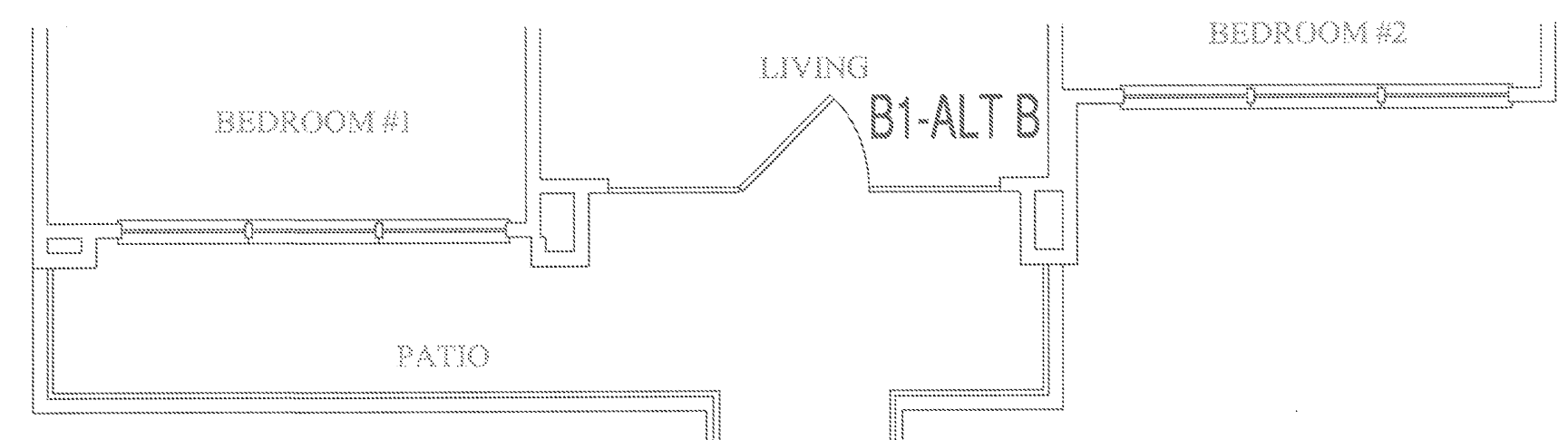
4144 N. Central Expy.
Suite 855
Dallas, TX 75204
214.520.8878
bgoarchitects.com

DATE
08-05-11

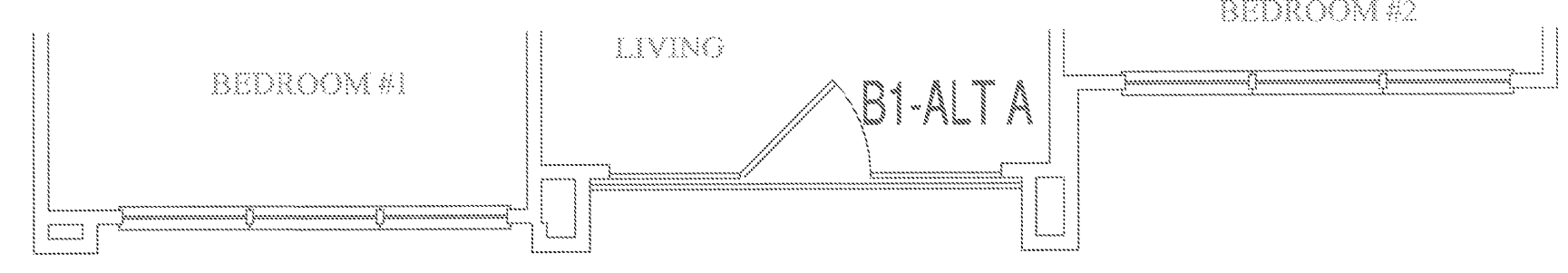
PROJECT
11129

SHEET NUMBER
P-2.5

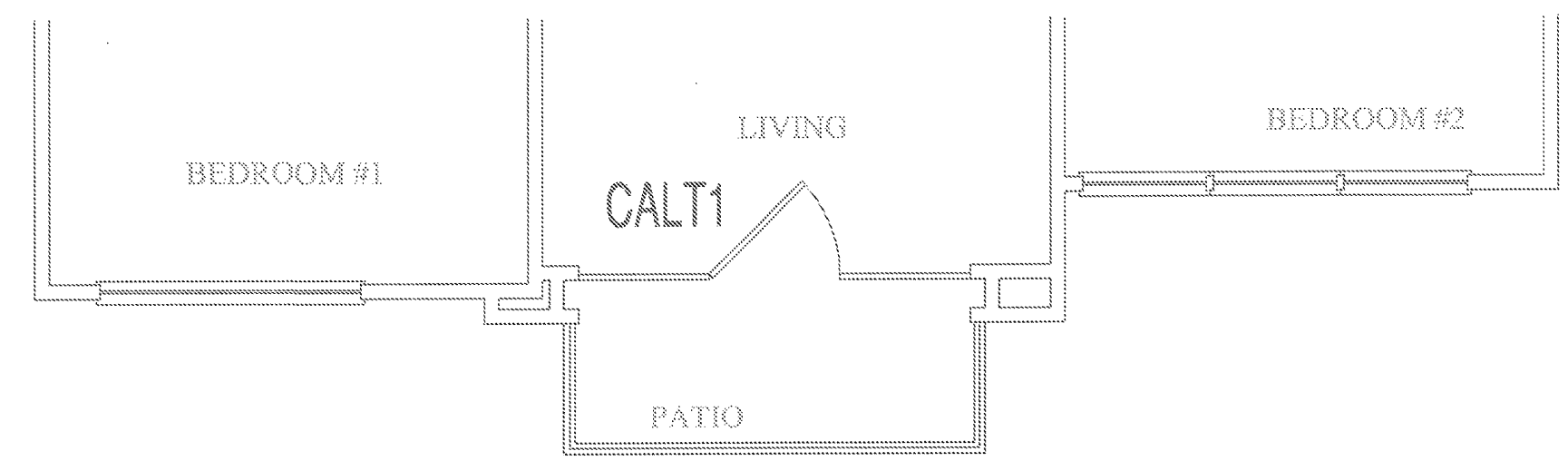
JSE Jordan & Skala Engineers
14240 Midway Road, Suite 350
Dallas, TX 75244-5118
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: CV Checked By: RC



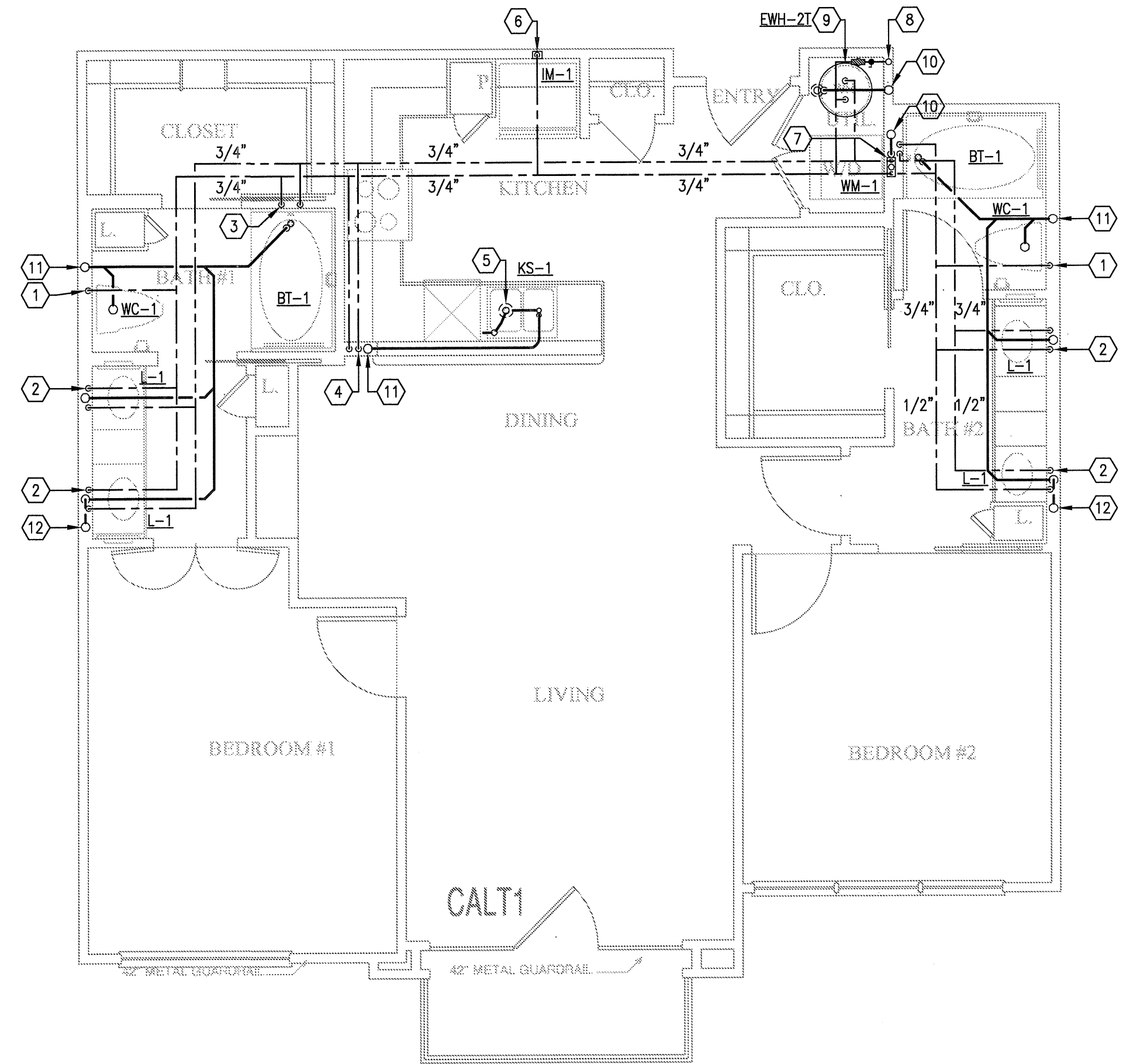
4 UNIT B1 - ALT B
SCALE: 1/4" = 1'-0" OCCURS AT: (1) TOTAL UNITS ON SITE



3 UNIT B1 - ALT A
SCALE: 1/4" = 1'-0" OCCURS AT: (3) TOTAL UNITS ON SITE



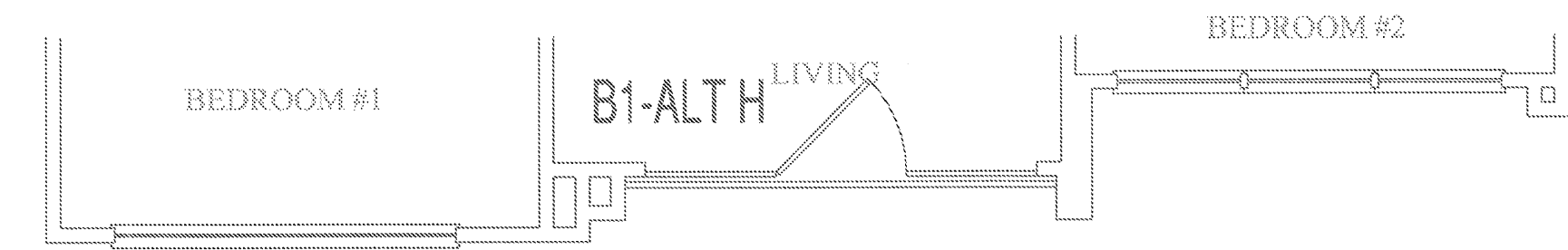
2 UNIT B1 - PARTIAL 2
SCALE: 1/4" = 1'-0" OCCURS AT: (5) TOTAL UNITS ON SITE



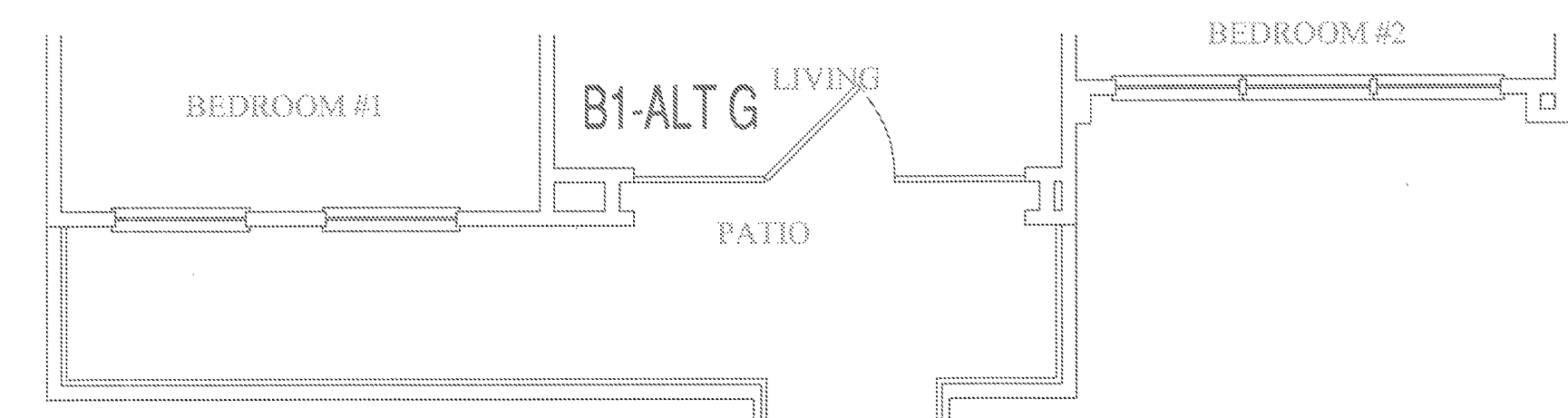
1 UNIT B1 - TWO BEDROOM/TWO BATH (PARTIAL 1)
SCALE: 1/4" = 1'-0" OCCURS AT: (3) TOTAL UNITS ON SITE

KEY NOTES:

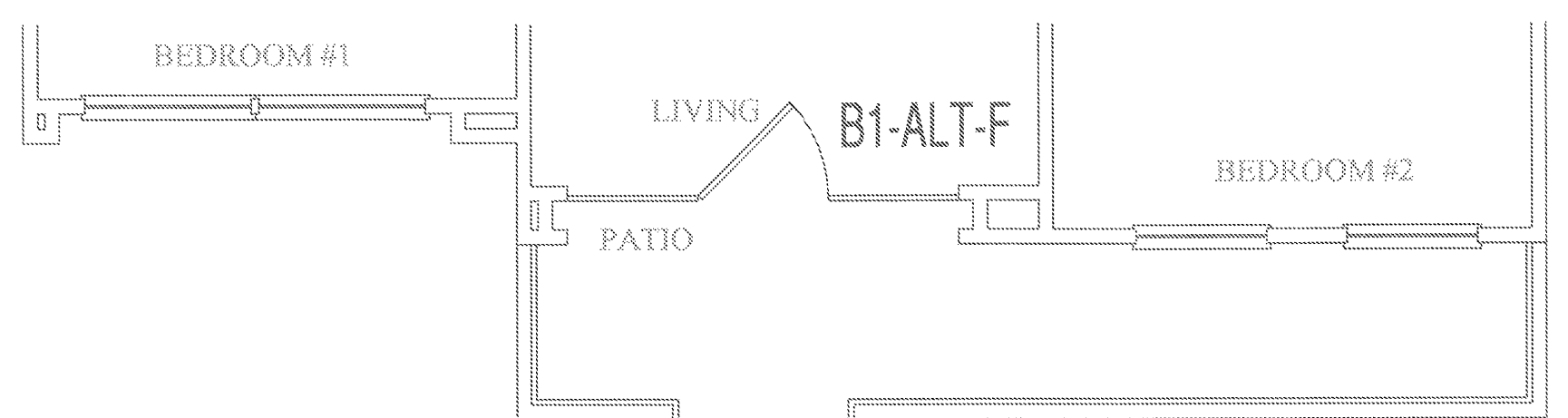
- 1 1/2" CW DOWN IN WALL TO WATER CLOSET.
- 2 1/2" H & CW DOWN IN WALL TO LAVATORY.
- 3 1/2" H & CW DOWN IN WALL TO BATHTUB/SHOWER. 3/4" H & CW DOWN IN WALL IF SERVING BATHTUB AND SHOWER.
- 4 1/2" H & CW TO SINK AND DISHWASHER. PROVIDE 1/2"x3/8" STOP ON CW. PROVIDE 1/2"x3/8"x3/8" STOP ON HW. 3/8" H & CW TO SINK FAUCET, 3/8" HW TO DISHWASHER.
- 5 DISPOSAL BELOW SINK WITH DISHWASHER WASTE CONNECTION. CONNECT DRAIN THRU AIR GAP TO DISPOSAL. DISPOSAL BY G.C. AND INSTALLED BY PLUMBING CONTRACTOR.
- 6 1/2" CW DOWN IN WALL TO ICE MAKER VALVE AND BOX.
- 7 WASHING MACHINE CONNECTION BOX 2" WASTE, 1/2" H & CW.
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- 9 ELECTRIC WATER HEATER. REFER TO DETAILS AND SCHEDULE.
- 10 3" SANITARY WASTE/VENT RISER PER IPC SEC 910.
- 11 3" SANITARY WASTE RISER.
- 12 3" SANITARY VENT RISER.



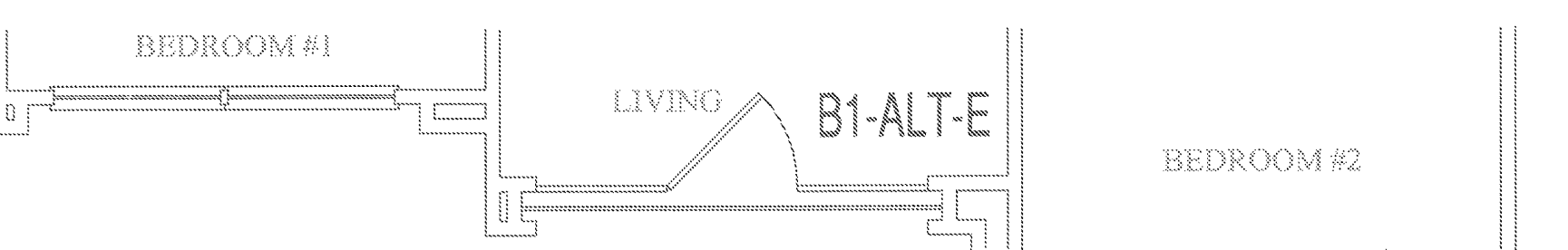
9 UNIT B1 - ALT H
SCALE: 1/4" = 1'-0" OCCURS AT: (3) TOTAL UNITS ON SITE



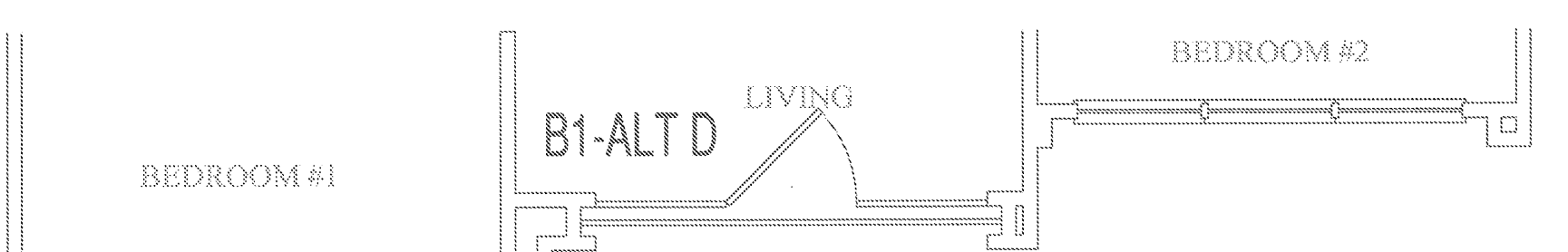
8 UNIT B1 - ALT G
SCALE: 1/4" = 1'-0" OCCURS AT: (2) TOTAL UNITS ON SITE



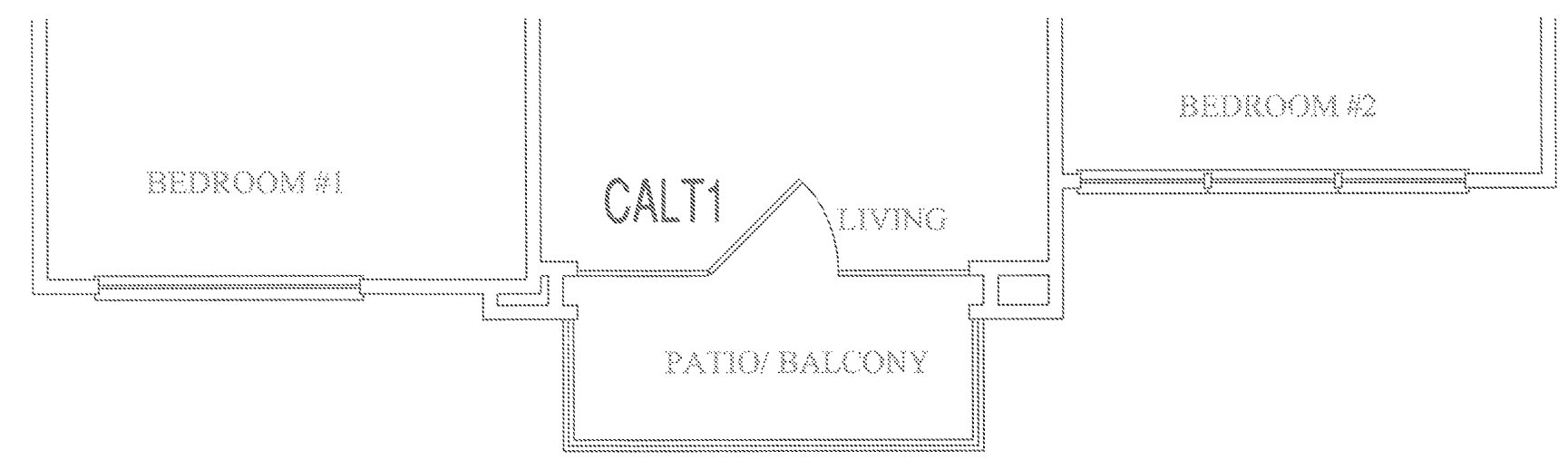
7 UNIT B1 - ALT F
SCALE: 1/4" = 1'-0" OCCURS AT: (2) TOTAL UNITS ON SITE



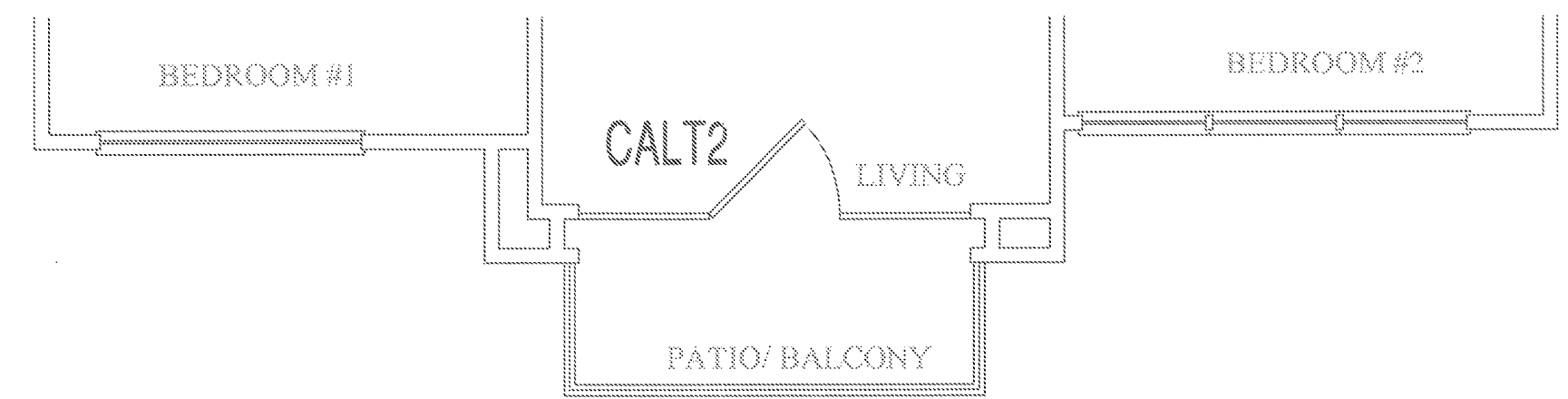
6 UNIT B1 - ALT E
SCALE: 1/4" = 1'-0" OCCURS AT: (6) TOTAL UNITS ON SITE



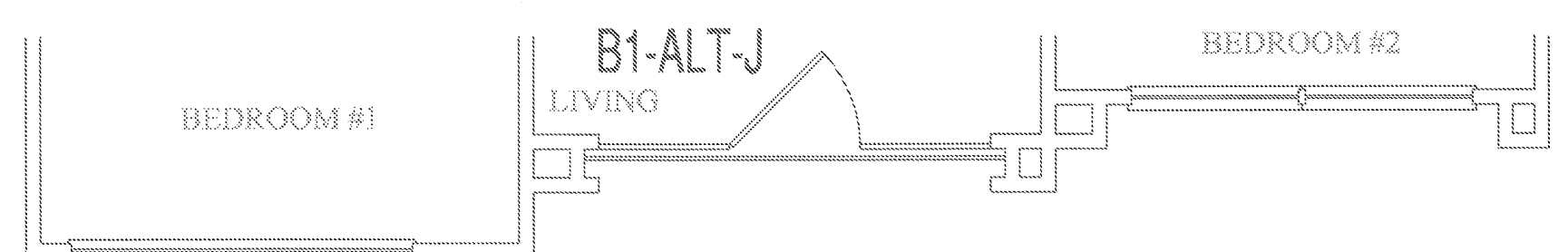
5 UNIT B1 - ALT D
SCALE: 1/4" = 1'-0" OCCURS AT: (6) TOTAL UNITS ON SITE



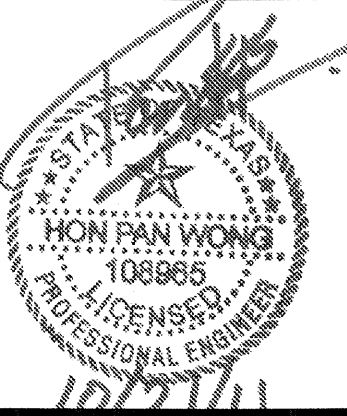
12 UNIT B1 - ALT L
SCALE: 1/4" = 1'-0" OCCURS AT: (3) TOTAL UNITS ON SITE



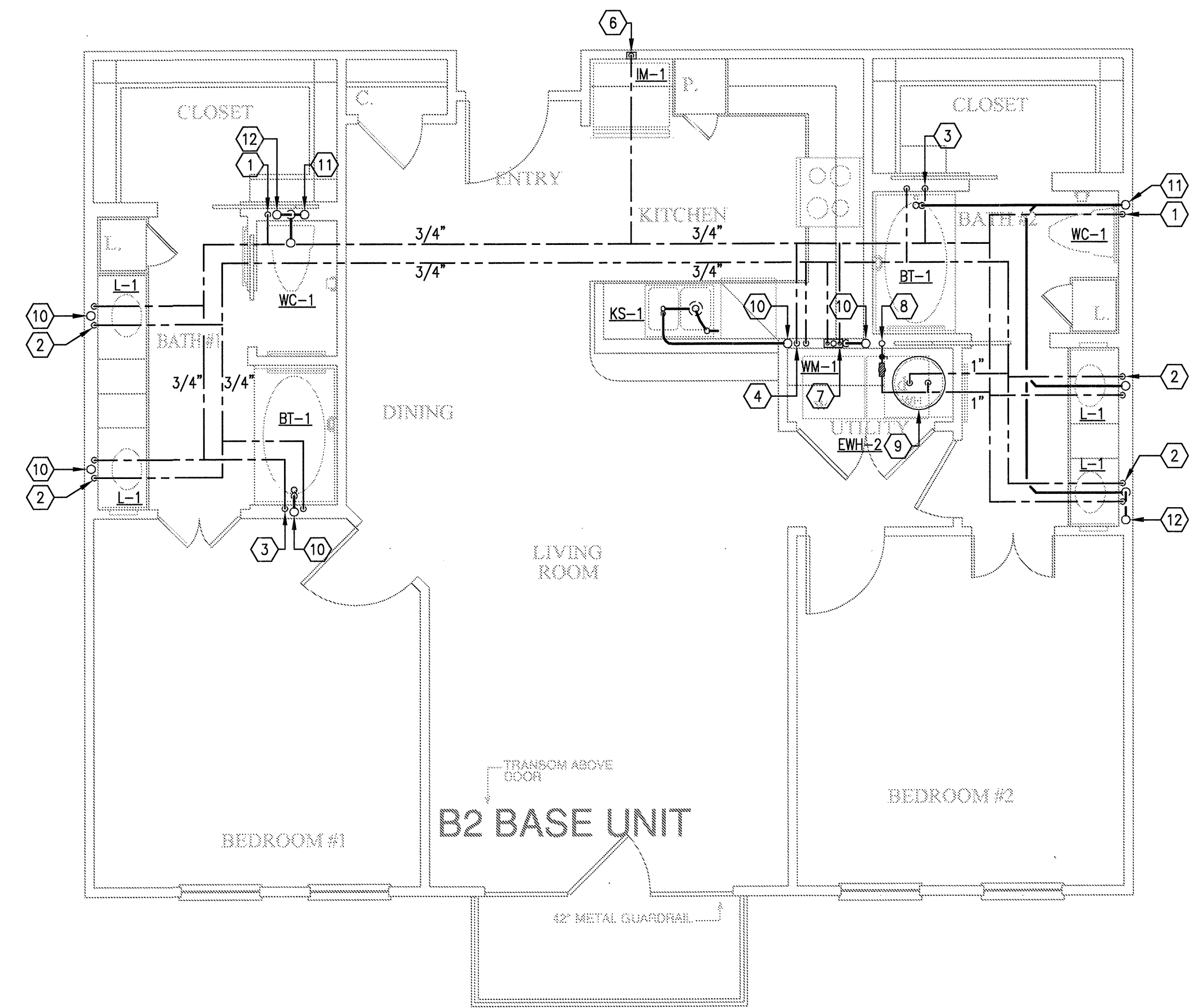
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10 UNIT B1 - ALT J
SCALE: 1/4" = 1'-0" OCCURS AT: (15) TOTAL UNITS ON SITE



REVISIONS		
1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE



KEY NOTES:

- 1 1/2" CW DOWN IN WALL TO WATER CLOSET.
- 2 1/2" H & CW DOWN IN WALL TO LAVATORY.
- 3 1/2" H & CW DOWN IN WALL TO BATHTUB/SHOWER. 3/4" H & CW DOWN IN WALL IF SERVING BATHTUB AND SHOWER.
- 4 1/2" H & CW TO SINK AND DISHWASHER. PROVIDE 1/2"x3/8" STOP ON CW. PROVIDE 1/2"x3/8"x3/8" STOP ON HW. 3/8" H & CW TO SINK FAUCET, 3/8" HW TO DISHWASHER.
- 5 DISPOSAL BELOW SINK WITH DISHWASHER WASTE CONNECTION. CONNECT DRAIN THRU AIR GAP TO DISPOSAL. DISPOSAL BY G.C. AND INSTALLED BY PLUMBING CONTRACTOR.
- 6 1/2" CW DOWN IN WALL TO ICE MAKER VALVE AND BOX.
- 7 WASHING MACHINE CONNECTION BOX 2" WASTE, 1/2" H & CW.
- 8 DOMESTIC WATER RISER. PROVIDE ISOLATION VALVE, REMOTE READ SUB-METER, AND PRV IF REQUIRED. REFER TO RISER DIAGRAM FOR SIZES.
- 9 ELECTRIC WATER HEATER. REFER TO DETAILS AND SCHEDULE.
- 10 3" SANITARY WASTE/VENT RISER PER IPC SEC 910.
- 11 3" SANITARY WASTE RISER.
- 12 3" SANITARY VENT RISER.

1 UNIT B2 -- TWO BEDROOM/TWO BATH
 SCALE: 1/4" = 1'-0" OCCURS AT: (3) TOTAL UNITS ON SITE

KELLER SPRINGS LOFTS
 LOFT APARTMENTS IN ADDISON, TEXAS

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08-05-11

PROJECT
11129

SHEET NUMBER

P-2.6



REVISIONS		
1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS

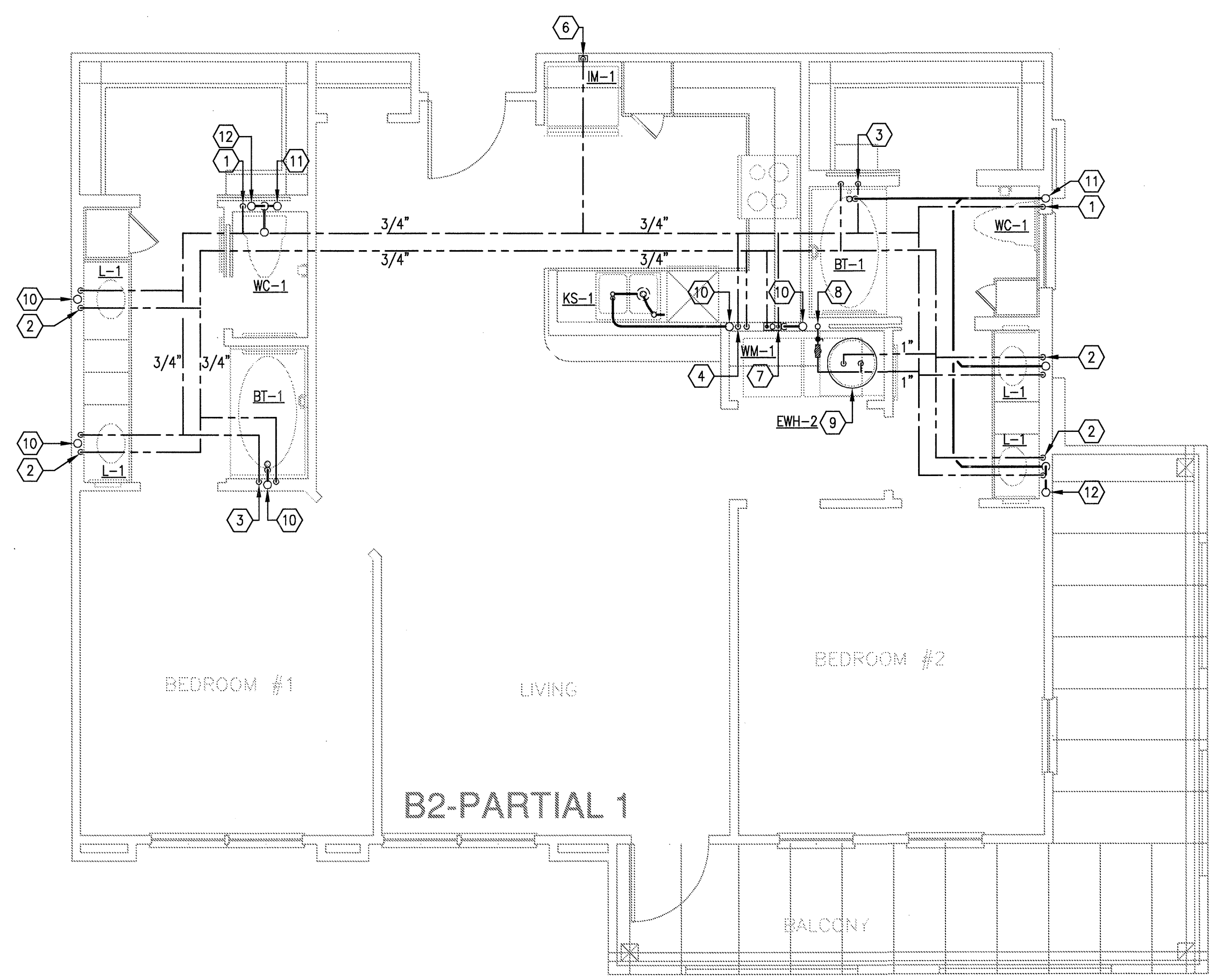
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08-05-11

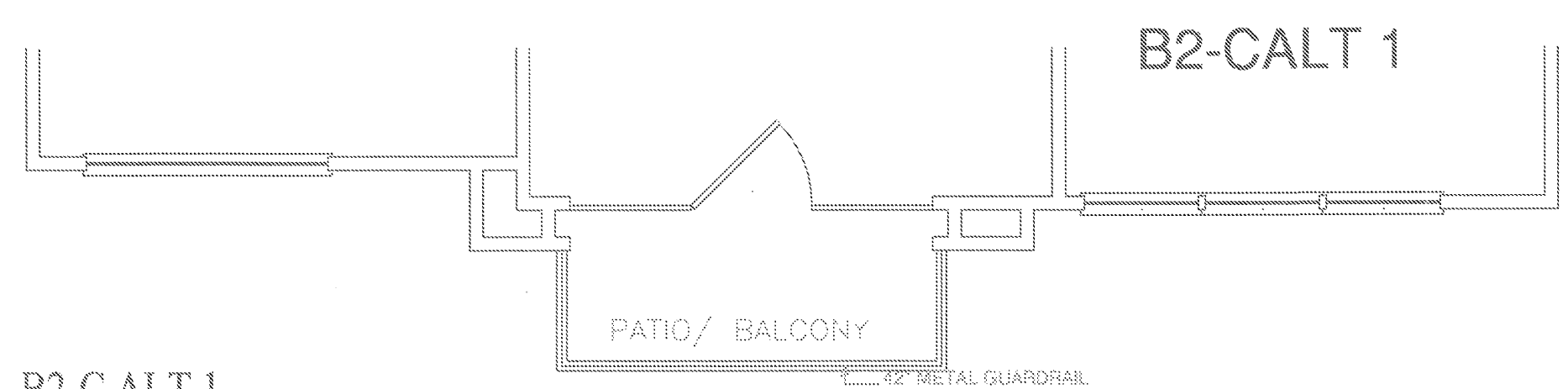
PROJECT
11129

SHEET NUMBER

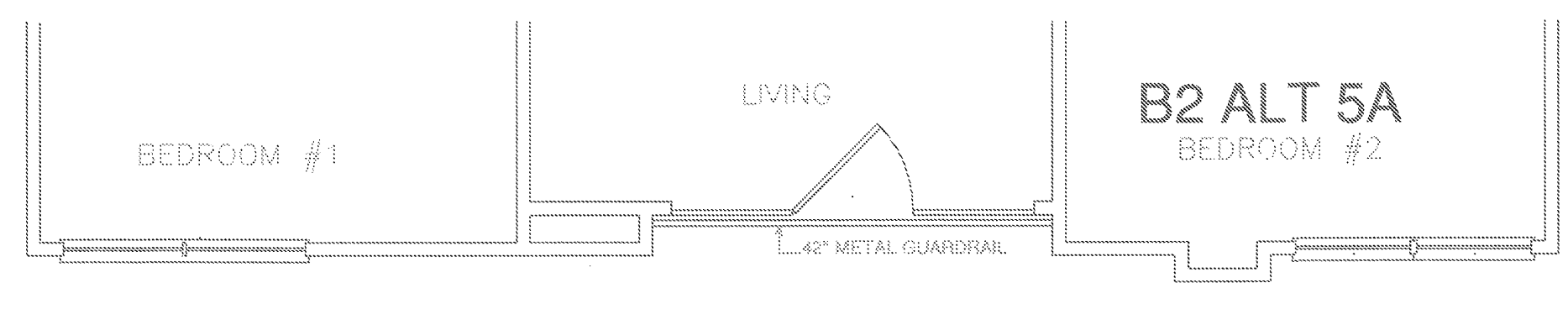
P-2.7



7 UNIT B2 - PARTIAL 1
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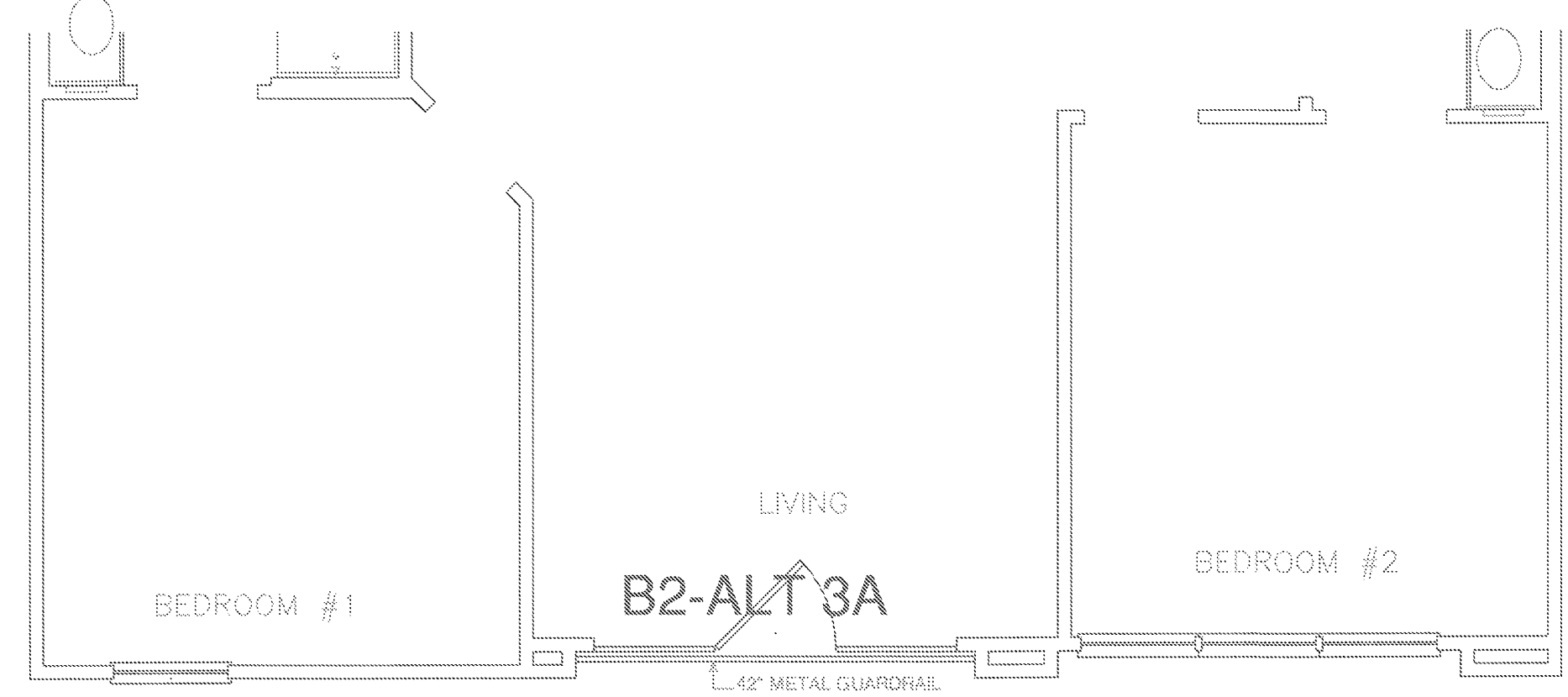
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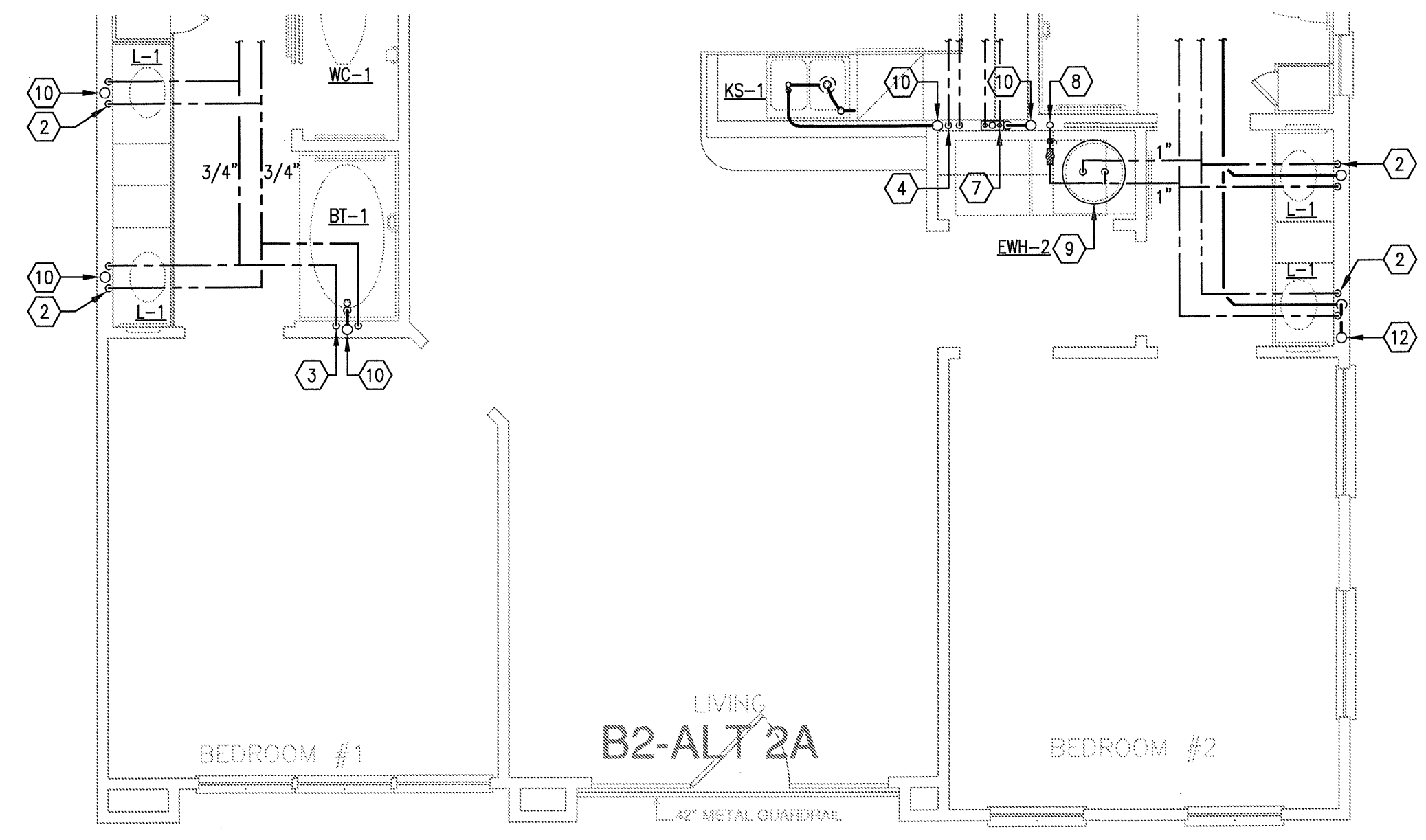
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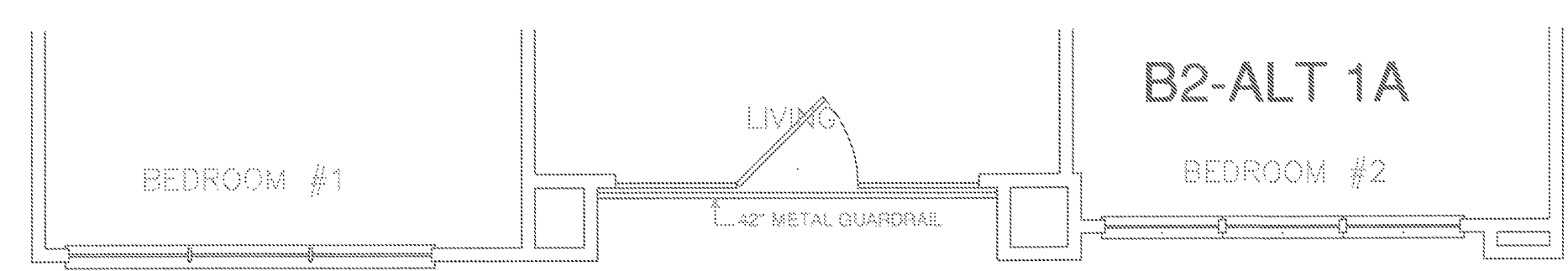
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SCALE: 1/4" = 1'-0" OCCURS AT: (1) TOTAL UNITS ON SITE



3 UNIT B2 - ALT 3A
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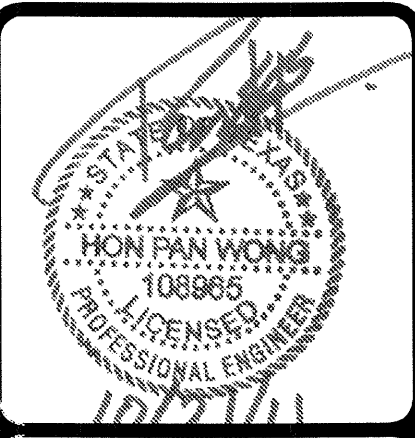


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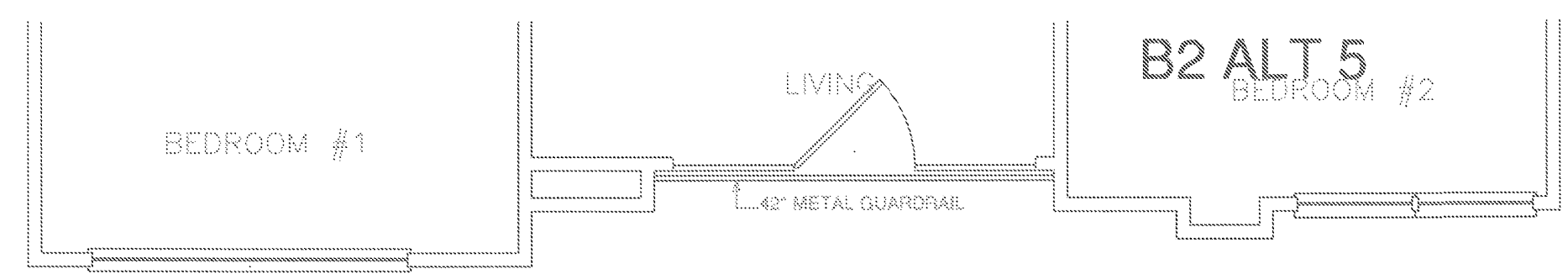


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SCALE: 1/4" = 1'-0" OCCURS AT: (2) TOTAL UNITS ON SITE

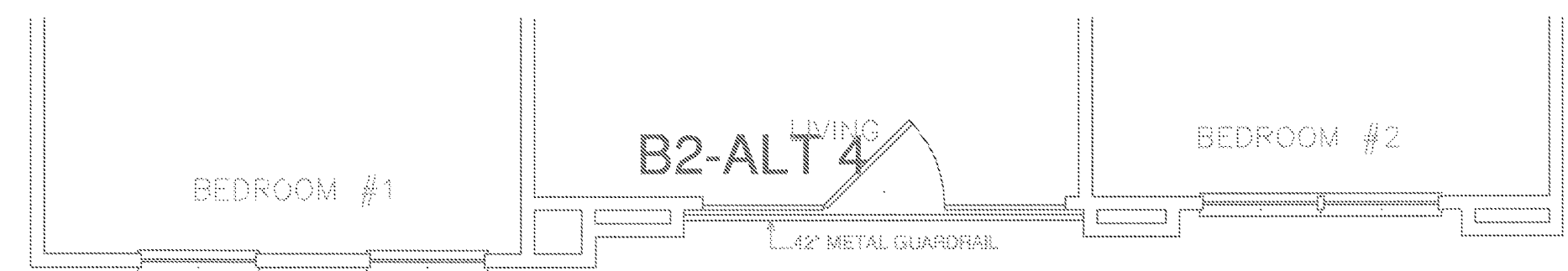
- KEY NOTES:**
- 1 1/2" CW DOWN IN WALL TO WATER CLOSET.
 - 2 1/2" H & CW DOWN IN WALL TO LAVATORY.
 - 3 1/2" H & CW DOWN IN WALL TO BATHTUB/SHOWER. 3/4" H & CW DOWN IN WALL IF SERVING BATHTUB AND SHOWER.
 - 4 1/2" H & CW TO SINK AND DISHWASHER. PROVIDE 1/2"x3/8" STOP ON CW. PROVIDE 1/2"x3/8"x3/8" STOP ON HW. 3/8" H & CW TO SINK FAUCET, 3/8" HW TO DISHWASHER.
 - 5 DISPOSAL BELOW SINK WITH DISHWASHER WASTE CONNECTION. CONNECT DRAIN THRU AIR GAP TO DISPOSAL. DISPOSAL BY G.C. AND INSTALLED BY PLUMBING CONTRACTOR.
 - 6 1/2" CW DOWN IN WALL TO ICE MAKER VALVE AND BOX.
 - 7 WASHING MACHINE CONNECTION BOX 2" WASTE, 1/2" H & CW.
 - 8 DOMESTIC WATER RISER. PROVIDE ISOLATION VALVE, REMOTE READ SUB-METER, AND PRV IF REQUIRED. REFER TO RISER DIAGRAM FOR SIZES.
 - 9 ELECTRIC WATER HEATER. REFER TO DETAILS AND SCHEDULE.
 - 10 3" SANITARY WASTE/VENT RISER PER IPC SEC 910.
 - 11 3" SANITARY WASTE RISER.
 - 12 3" SANITARY VENT RISER.



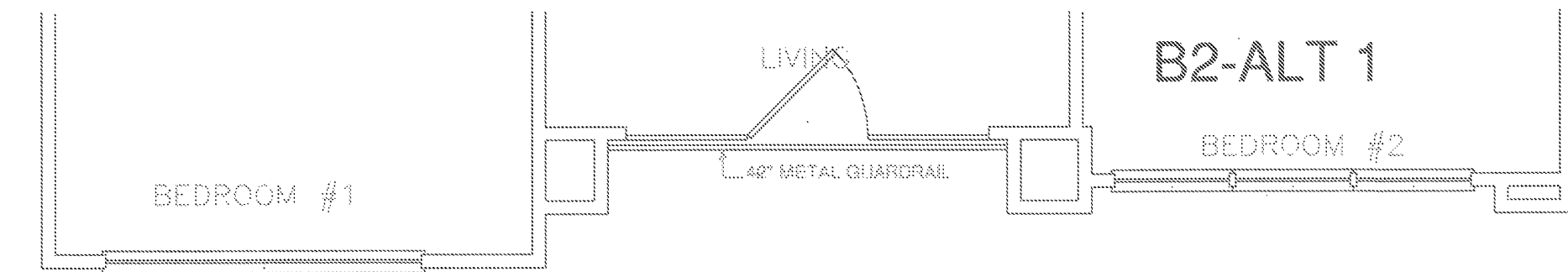
REVISIONS	
1	9-2-2011 DESIGN REVISIONS
2	9-13-2011 ANSI/FHA COMMENTS
3	9-23-2011 DESIGN REVISIONS
4	10-17-2011 CONSTRUCTION ISSUE



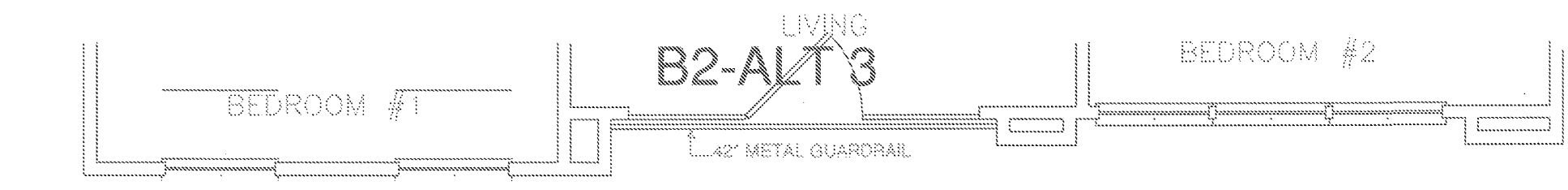
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SCALE: 1/4" = 1'-0" OCCURS AT: (3) TOTAL UNITS ON SITE



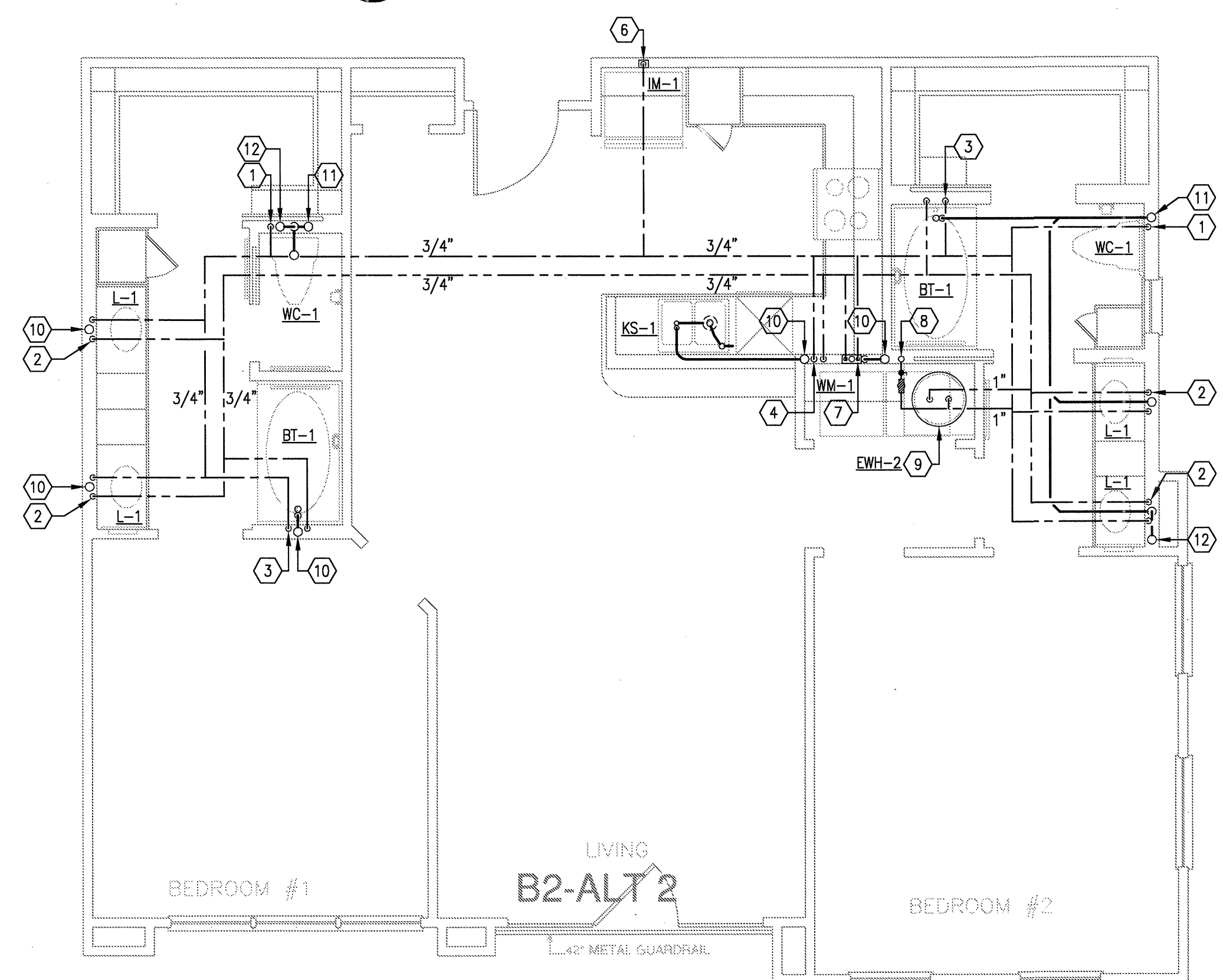
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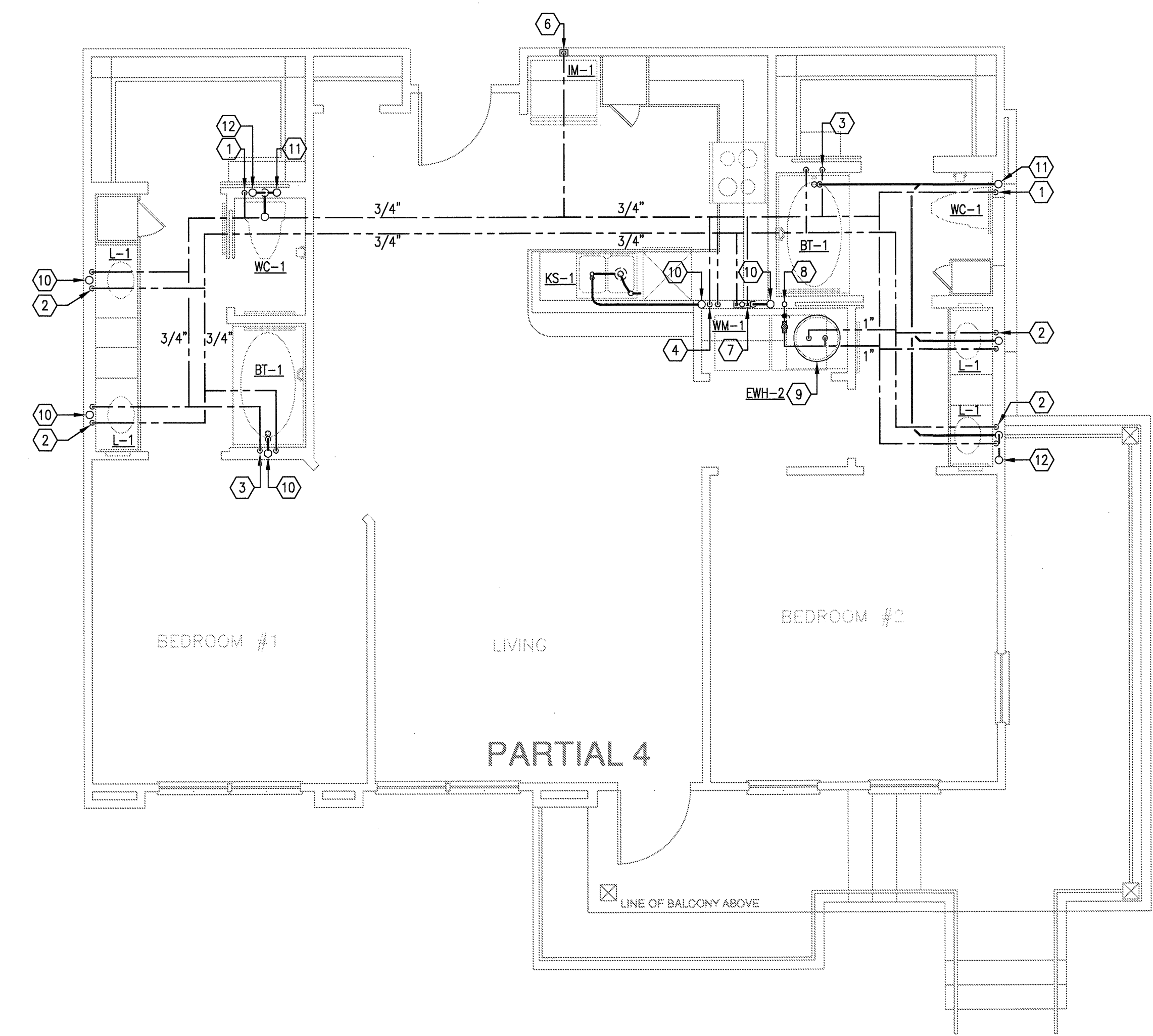
2 UNIT B2 - ALT 1
SCALE: 1/4" = 1'-0" OCCURS AT: (6) TOTAL UNITS ON SITE



4 UNIT B2 - ALT 3
SCALE: 1/4" = 1'-0" OCCURS AT: (3) TOTAL UNITS ON SITE



3 UNIT B2 - ALT 2
SCALE: 1/4" = 1'-0" OCCURS AT: (3) TOTAL UNITS ON SITE



1 UNIT B2 - PARTIAL 4
SCALE: 1/4" = 1'-0" OCCURS AT: (1) TOTAL UNITS ON SITE

KEY NOTES:

- 1 1/2" CW DOWN IN WALL TO WATER CLOSET.
- 2 1/2" H & CW DOWN IN WALL TO LAVATORY.
- 3 1/2" H & CW DOWN IN WALL TO BATHTUB/SHOWER. 3/4" H & CW DOWN IN WALL IF SERVING BATHTUB AND SHOWER.
- 4 1/2" H & CW TO SINK AND DISHWASHER. PROVIDE 1/2"x3/8" STOP ON CW. PROVIDE 1/2"x3/8"x3/8" STOP ON HW. 3/8" H & CW TO SINK FAUCET, 3/8" HW TO DISHWASHER.
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- 6 1/2" CW DOWN IN WALL TO ICE MAKER VALVE AND BOX.
- 7 WASHING MACHINE CONNECTION BOX 2" WASTE, 1/2" H & CW.
- 8 DOMESTIC WATER RISER. PROVIDE ISOLATION VALVE, REMOTE READ SUB-METER, AND PRV IF REQUIRED. REFER TO RISER DIAGRAM FOR SIZES.
- 9 ELECTRIC WATER HEATER. REFER TO DETAILS AND SCHEDULE.
- 10 3" SANITARY WASTE/VENT RISER PER IPC SEC 910.
- 11 3" SANITARY WASTE RISER.
- 12 3" SANITARY VENT RISER.

KELLER SPRINGS LOFTS
 LOFT APARTMENTS IN ADDISON, TEXAS

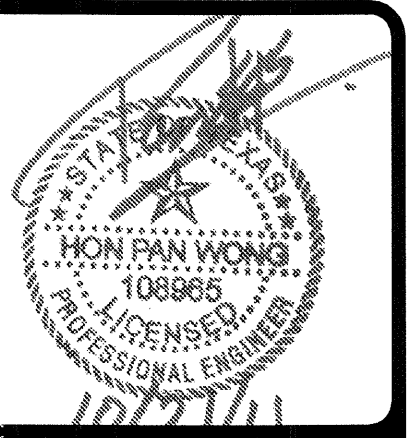
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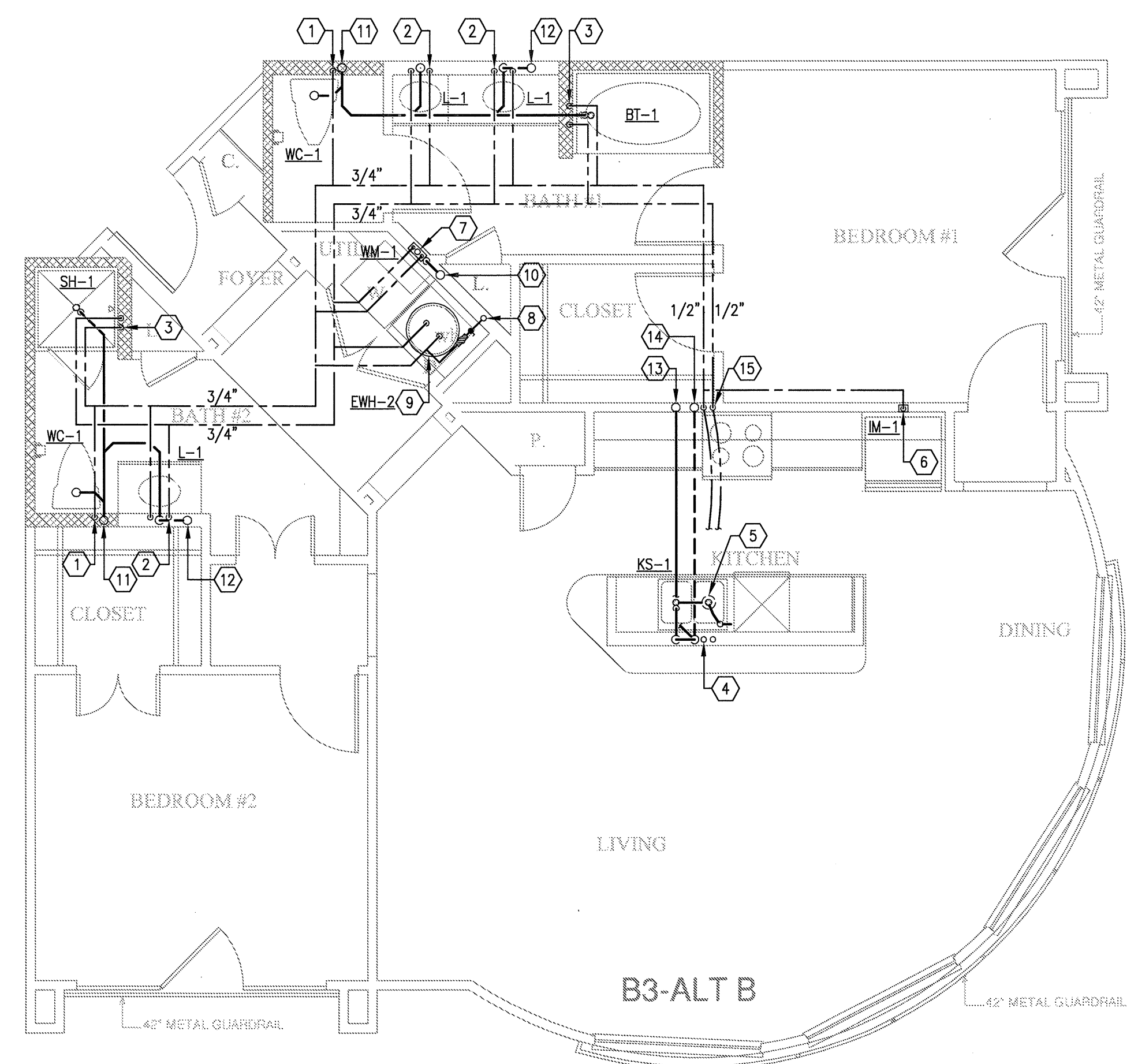
PROJECT
 11129

SHEET NUMBER

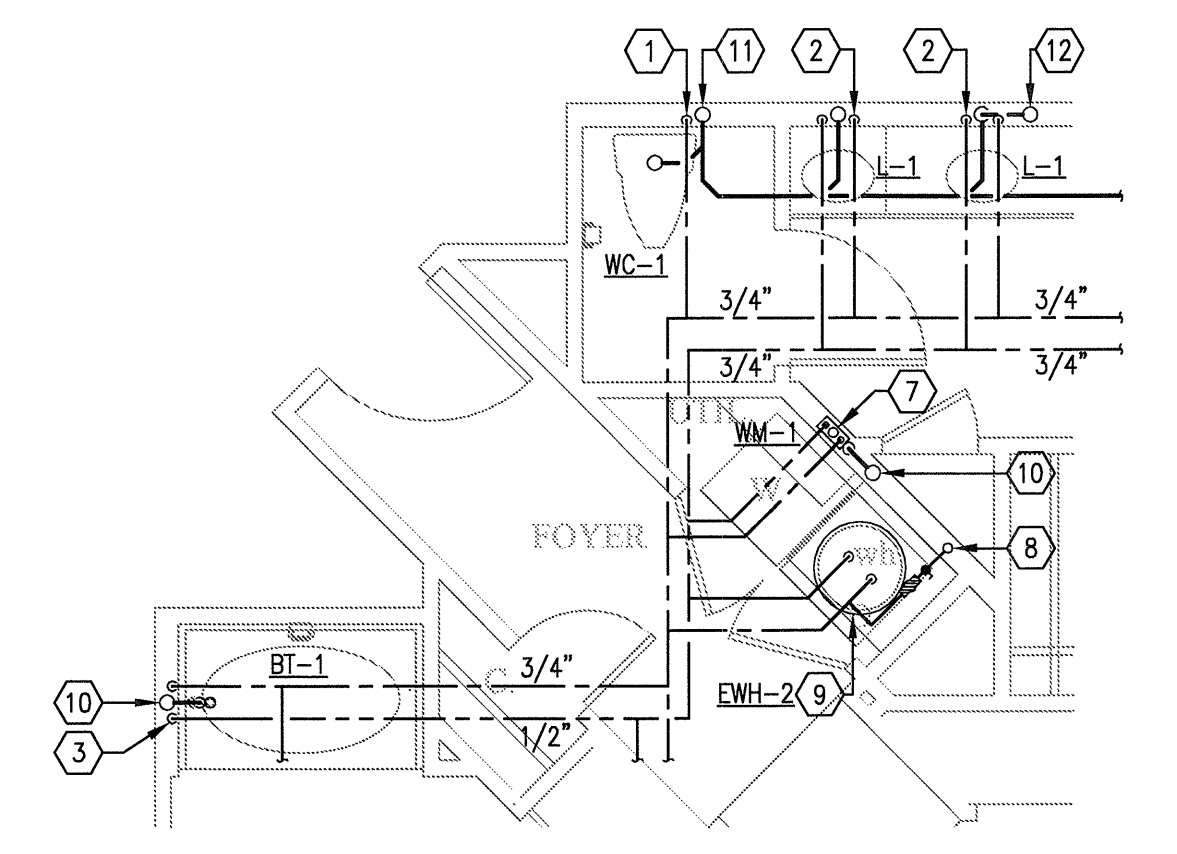
P-2.8



REVISIONS	
1	9-2-2011 DESIGN REVISIONS
2	9-13-2011 ANS/FHA COMMENTS
3	9-23-2011 DESIGN REVISIONS
4	10-17-2011 CONSTRUCTION ISSUE

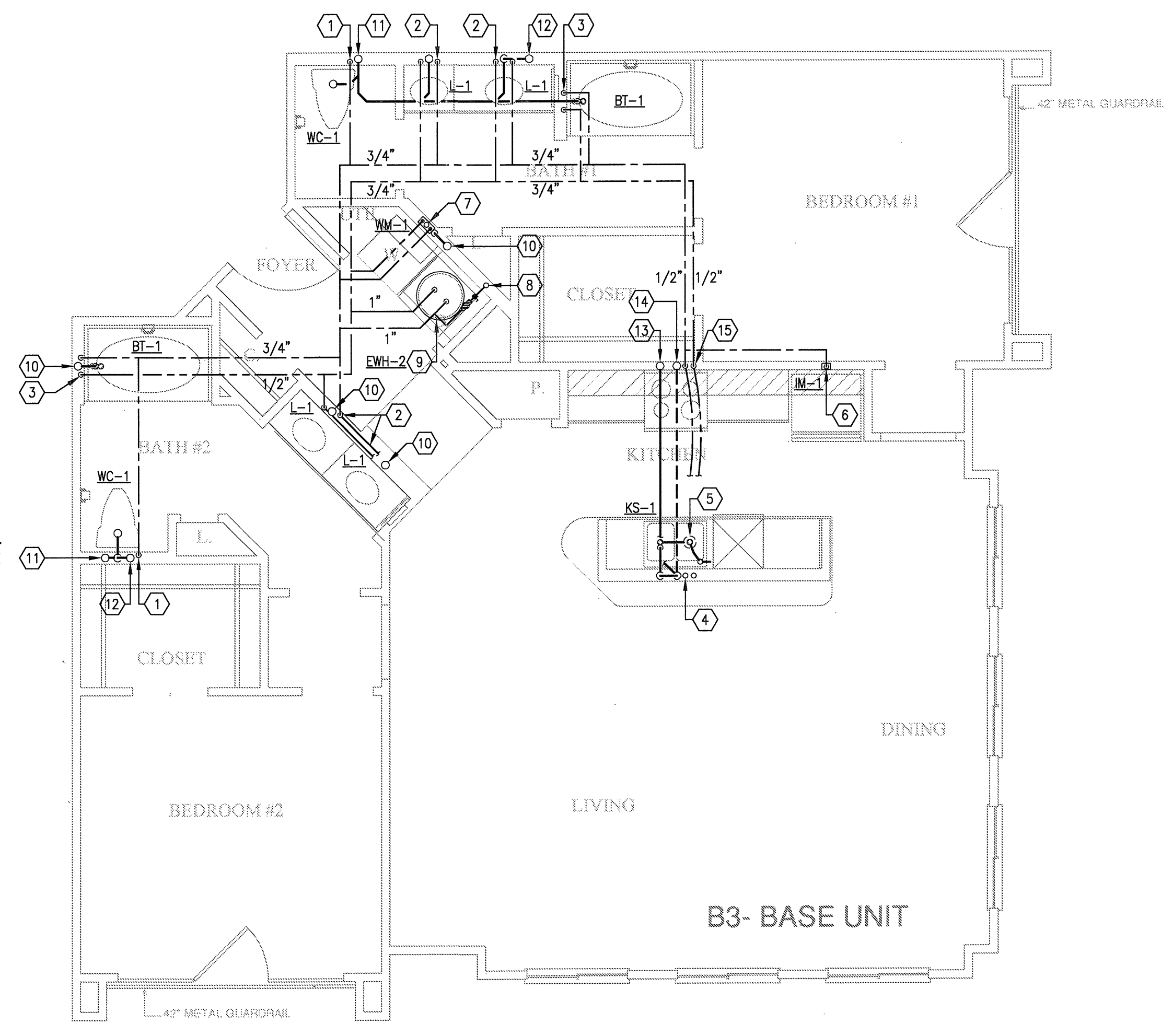


3 UNIT B3 - ALT B
SCALE: 1/4" = 1'-0"
OCCURS AT: (3) TOTAL UNITS ON SITE



2 UNIT B3 - ALT A
SCALE: 1/4" = 1'-0"
OCCURS AT: (3) TOTAL UNITS ON SITE

- KEY NOTES:**
- 1 1/2" CW DOWN IN WALL TO WATER CLOSET.
 - 2 1/2" H & CW DOWN IN WALL TO LAVATORY.
 - 3 1/2" H & CW DOWN IN WALL TO BATHTUB/SHOWER. 3/4" H & CW DOWN IN WALL IF SERVING BATHTUB AND SHOWER.
 - 4 1/2" H & CW TO SINK AND DISHWASHER. PROVIDE 1/2"x3/8" STOP ON CW. PROVIDE 1/2"x3/8"x3/8" STOP ON HW. 3/8" H & CW TO SINK FAUCET, 3/8" HW TO DISHWASHER.
 - 5 DISPOSAL BELOW SINK WITH DISHWASHER WASTE CONNECTION. CONNECT DRAIN THRU AIR GAP TO DISPOSAL. DISPOSAL BY G.C. AND INSTALLED BY PLUMBING CONTRACTOR.
 - 6 1/2" CW DOWN IN WALL TO ICE MAKER VALVE AND BOX.
 - 7 WASHING MACHINE CONNECTION BOX 2" WASTE, 1/2" H & CW.
 - 8 DOMESTIC WATER RISER. PROVIDE ISOLATION VALVE, REMOTE READ SUB-METER, AND PRV IF REQUIRED. REFER TO RISER DIAGRAM FOR SIZES.
 - 9 ELECTRIC WATER HEATER. REFER TO DETAILS AND SCHEDULE.
 - 10 3" SANITARY WASTE/VENT RISER PER IPC SEC 910.
 - 11 3" SANITARY WASTE RISER.
 - 12 3" SANITARY VENT RISER.
 - 13 2" SANITARY WASTE RISER.
 - 14 2" SANITARY VENT RISER.
 - 15 1/2" H & CW DOWN IN WALL TO BELOW FLOOR TO SERVE ISLAND SINK.



1 UNIT B3 - TWO BEDROOM/TWO BATH
SCALE: 1/4" = 1'-0"
OCCURS AT: (3) TOTAL UNITS ON SITE

KELLER SPRINGS LOFTS
LOFT APARTMENTS IN ADDISON, TEXAS

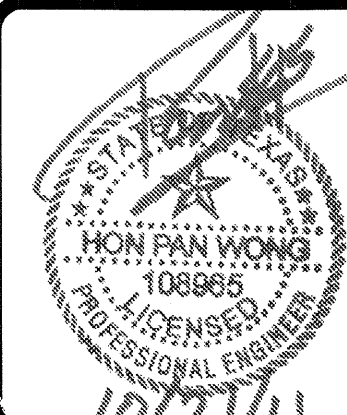
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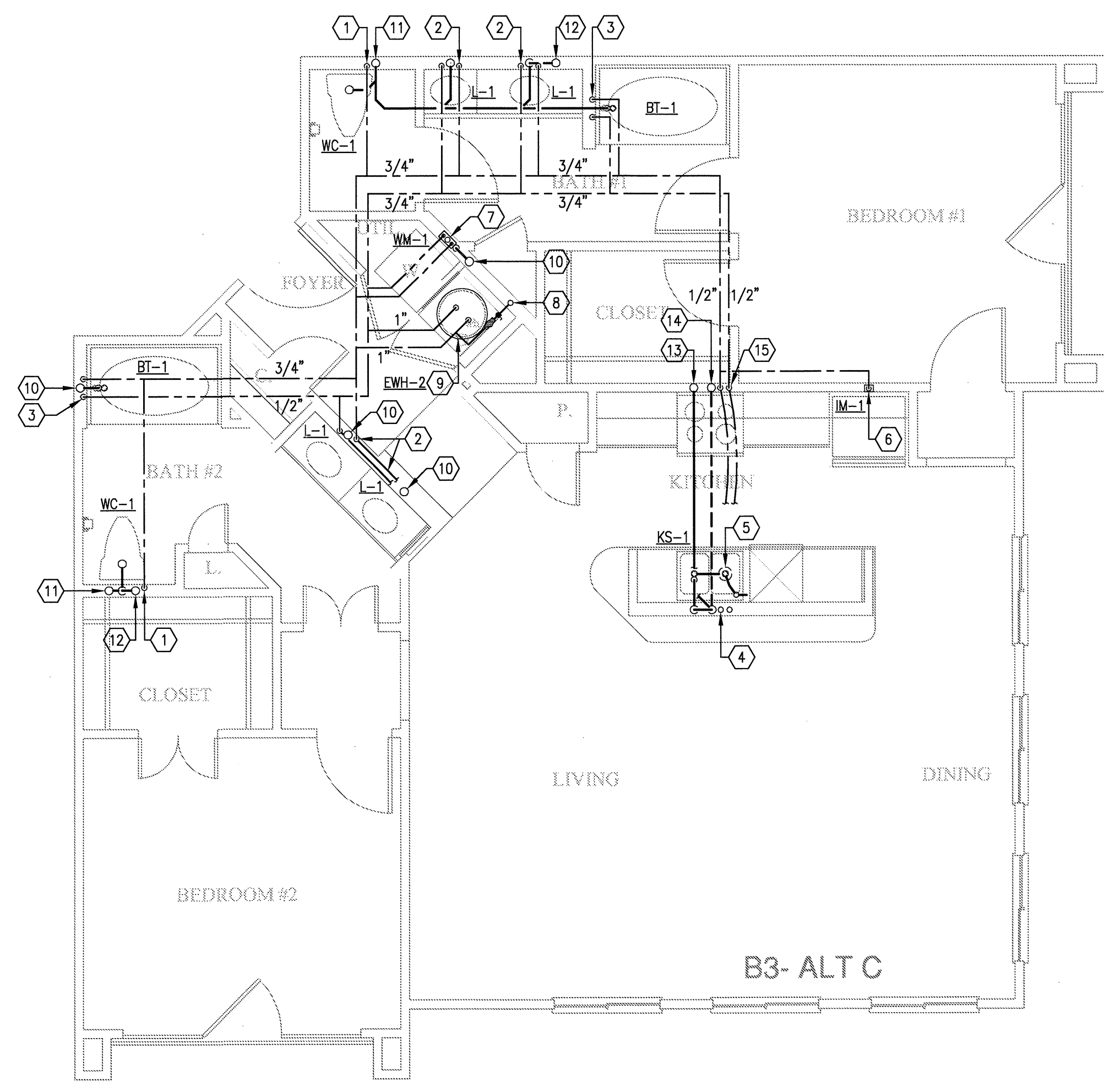
PROJECT
11129

SHEET NUMBER
P-2.9

JSE Jordan & Skala Engineers
14240 Midway Road, Suite 850
Dallas, TX 75244-5138
V: (972) 385-1616 F: (972) 385-1615
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: CV Checked By: RC



REVISIONS	
1	9-2-2011 DESIGN REVISIONS
2	9-13-2011 ANS/FHA COMMENTS
3	9-23-2011 DESIGN REVISIONS
4	10-17-2011 CONSTRUCTION ISSUE



KEY NOTES:

- 1 1/2" CW DOWN IN WALL TO WATER CLOSET.
- 2 1/2" H & CW DOWN IN WALL TO LAVATORY.
- 3 1/2" H & CW DOWN IN WALL TO BATHTUB/SHOWER. 3/4" H & CW DOWN IN WALL IF SERVING BATHTUB AND SHOWER.
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- 6 1/2" CW DOWN IN WALL TO ICE MAKER VALVE AND BOX.
- 7 WASHING MACHINE CONNECTION BOX 2" WASTE, 1/2" H & CW.
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- 11 3" SANITARY WASTE RISER.
- 12 3" SANITARY VENT RISER.
- 13 2" SANITARY WASTE RISER.
- 14 2" SANITARY VENT RISER.
- 15 1/2" H & CW DOWN IN WALL TO BELOW FLOOR TO SERVE ISLAND SINK.

1 UNIT B3-1 - TWO BEDROOM/TWO BATH
 SCALE: 1/4" = 1'-0" OCCURS AT: (1) TOTAL UNITS ON SITE

KELLER SPRINGS LOFTS
 LOFT APARTMENTS IN ADDISON, TEXAS

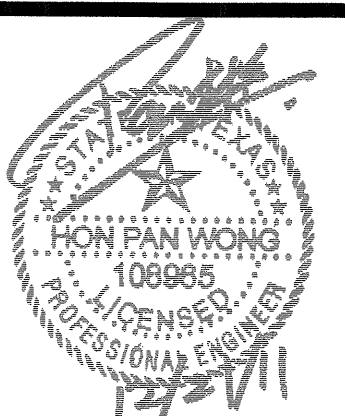
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PROJECT
 11129

SHEET NUMBER

P-2.10



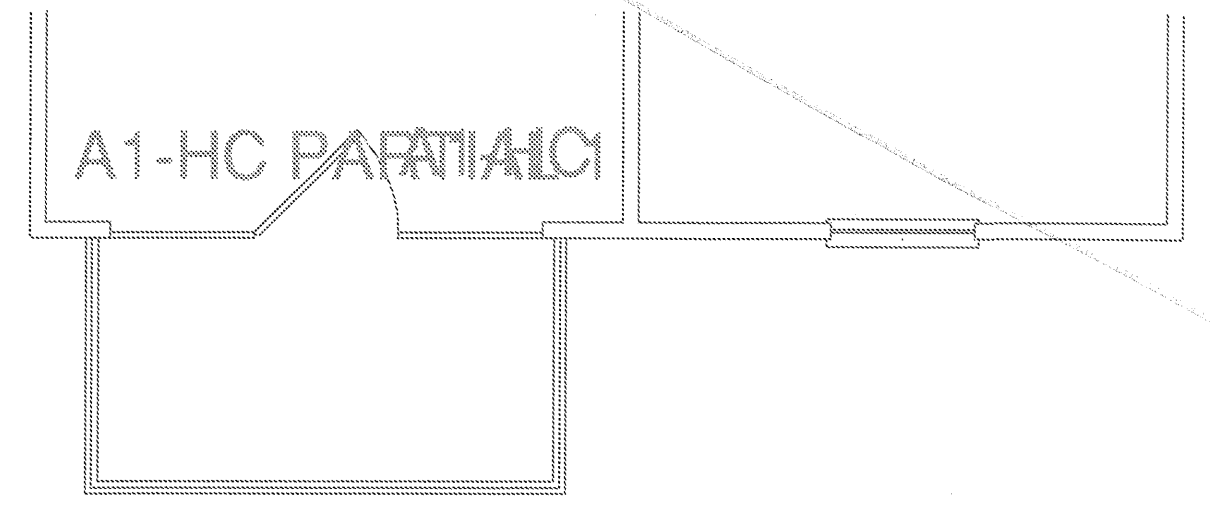
REVISIONS	
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2	9-13-2011 ANSI/FHA COMMENTS
3	9-23-2011 DESIGN REVISIONS
4	10-17-2011 CONSTRUCTION ISSUE
5	12-21-2011 DESIGN REVISIONS

KELLER SPRINGS LOFTS

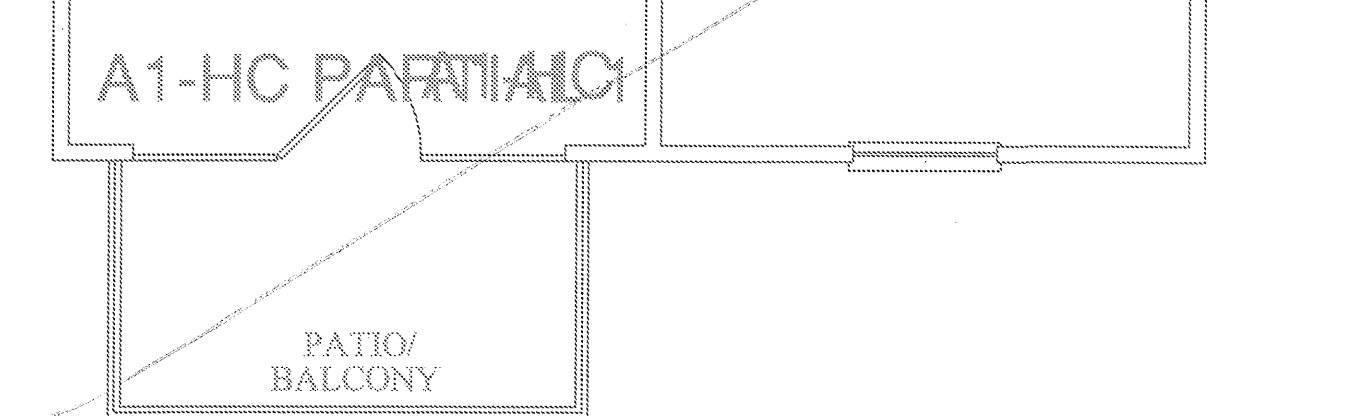
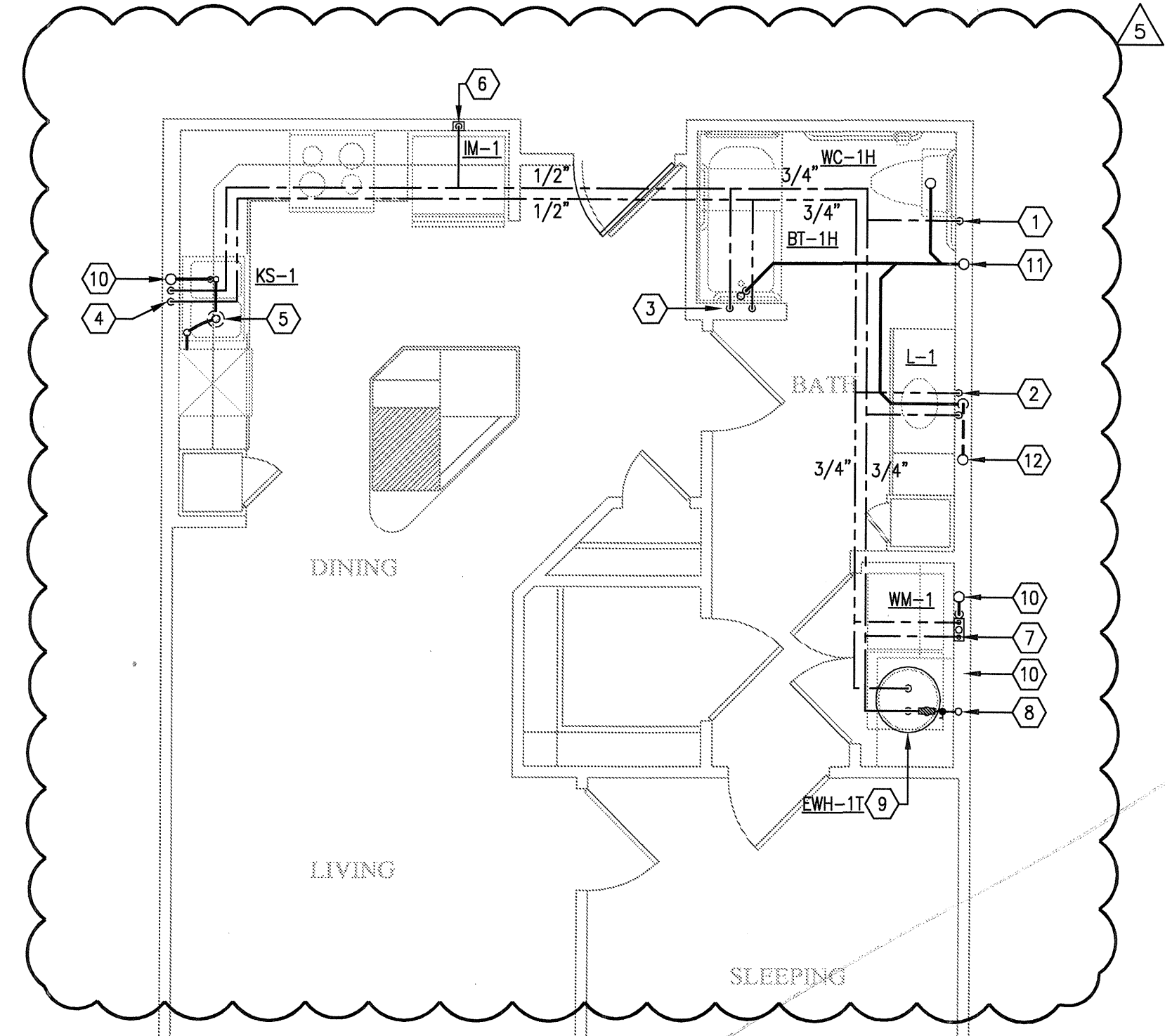
LOFT APARTMENTS IN ADDISON, TEXAS

KEY NOTES:

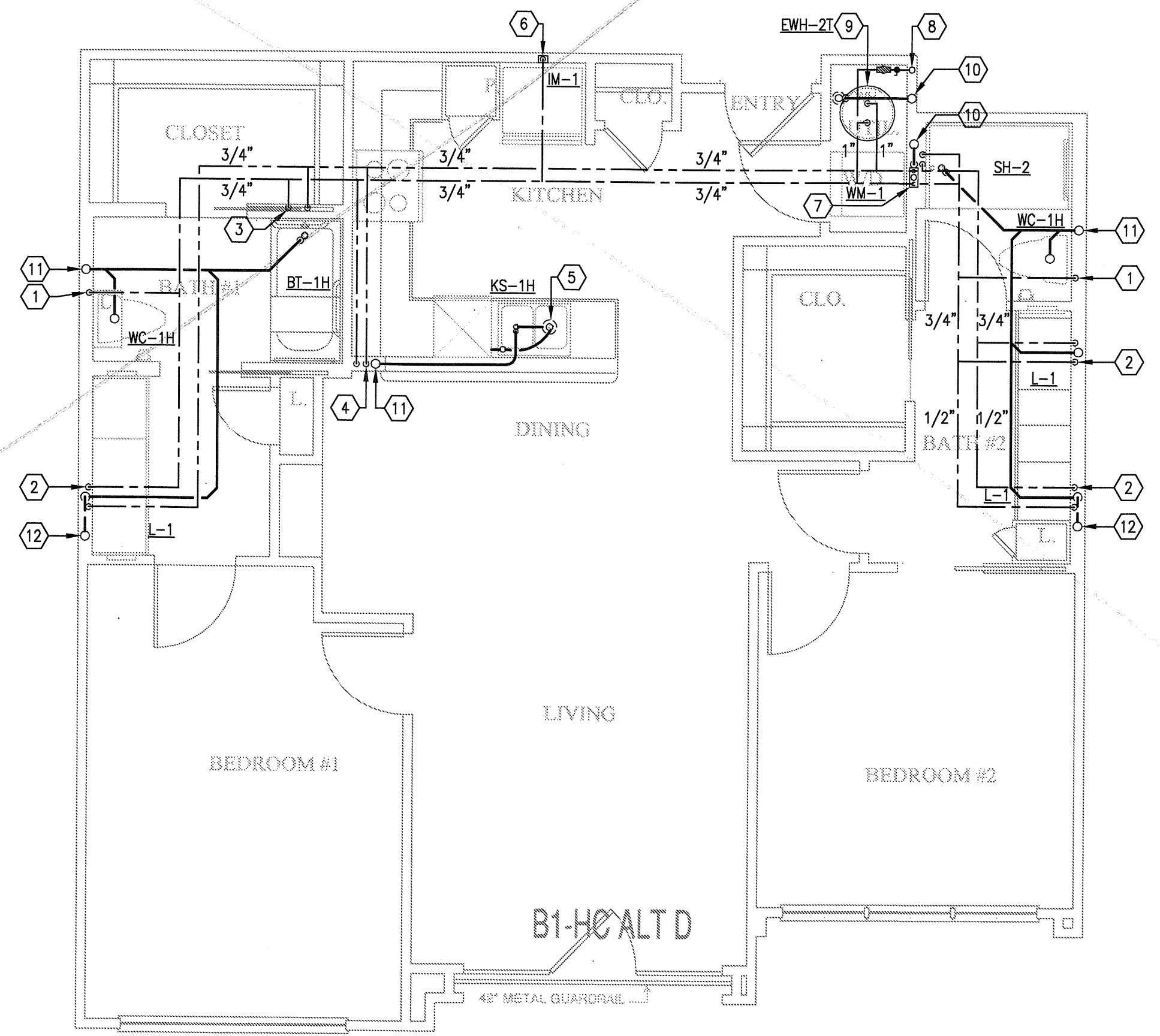
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3 UNIT A1-HC - PARTIAL 1
SCALE: 1/4" = 1'-0" OCCURS AT: (1) TOTAL UNITS ON SITE



2 UNIT A1-HC - ONE SLEEPING/ONE BATH
SCALE: 1/4" = 1'-0" OCCURS AT: (1) TOTAL UNITS ON SITE



1 UNIT B1-HC-ALT D - TWO BEDROOM/TWO BATH
SCALE: 1/4" = 1'-0" OCCURS AT: (3) TOTAL UNITS ON SITE

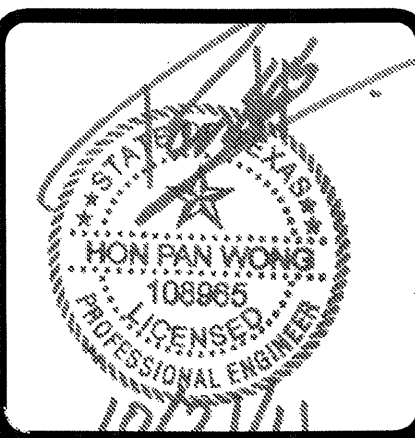
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DATE
08-05-11

PROJECT
11129

SHEET NUMBER
P-2.11

JSE Jordan & Skala Engineers
14240 Ardmore Road, Suite 330
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V: (469) 385-1616 F: (469) 385-1615
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: CV Checked By: RC

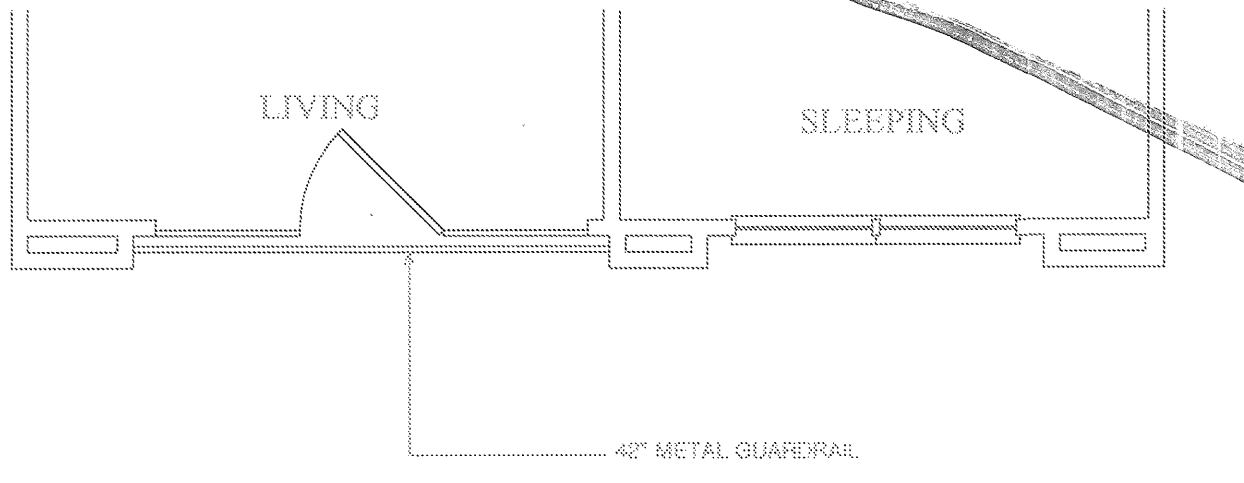


REVISIONS		
1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE

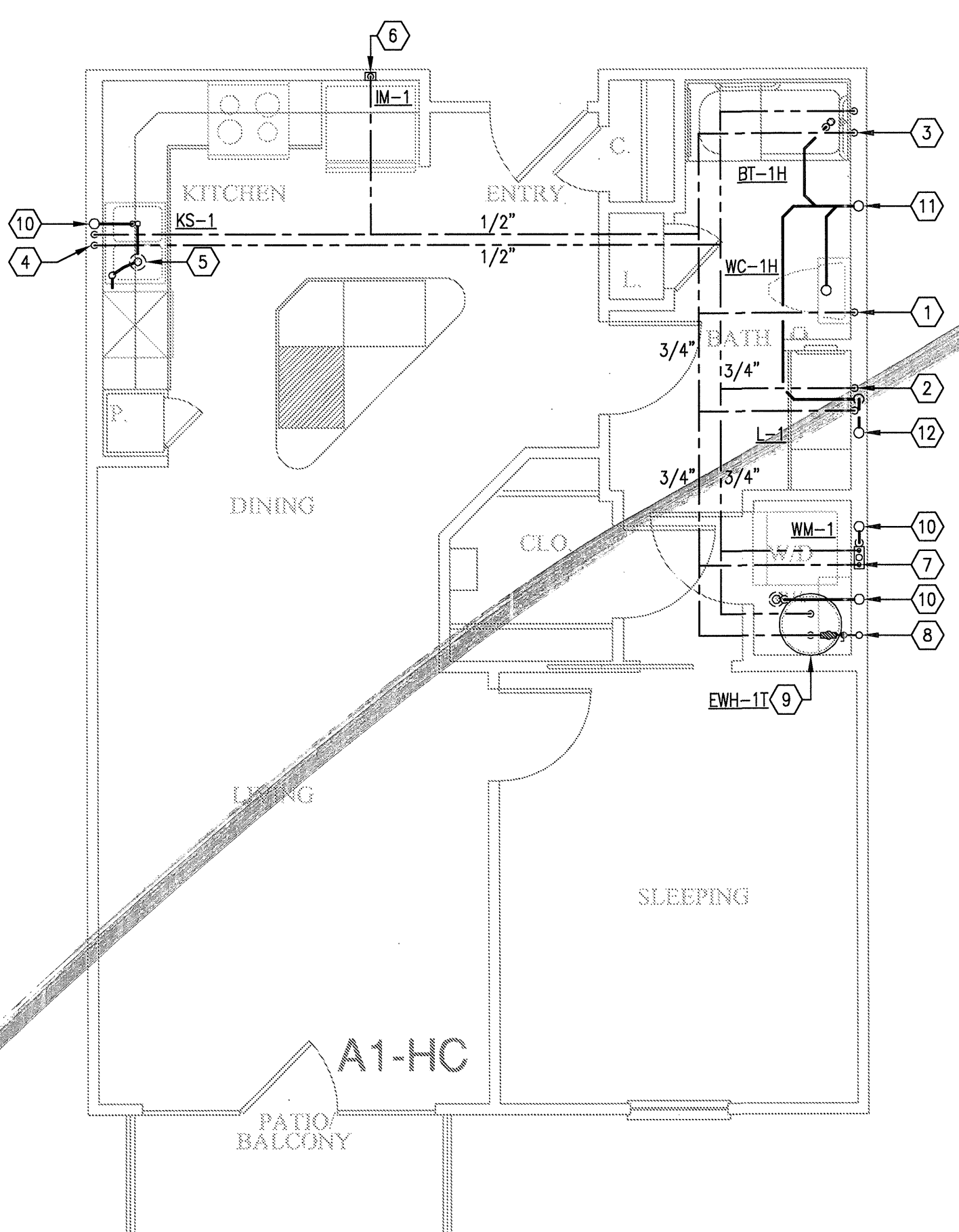
KELLER SPRINGS LOFTS
 LOFT APARTMENTS IN ADDISON, TEXAS

KEY NOTES:

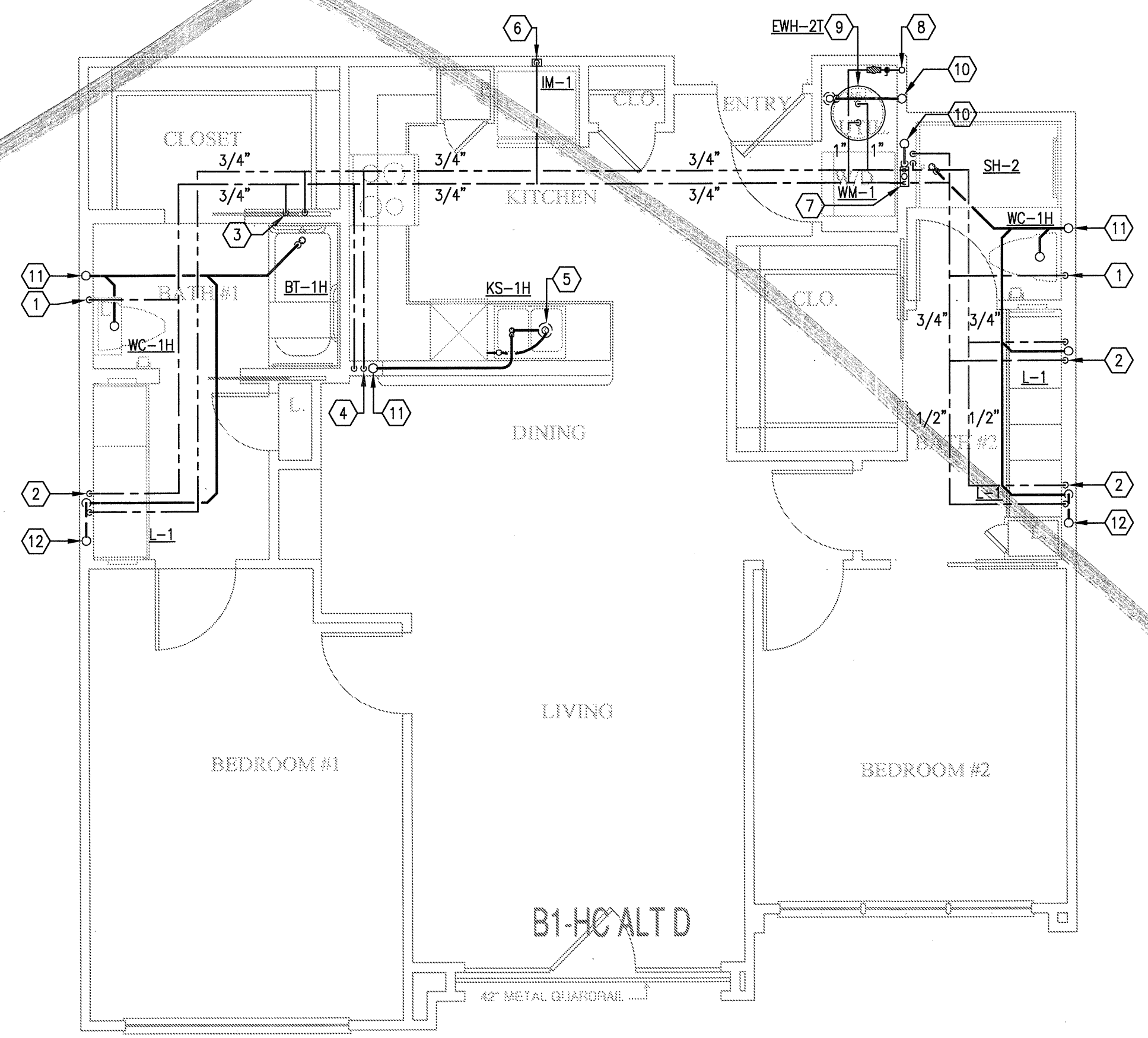
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- 4 1/2" H & CW TO SINK AND DISHWASHER. PROVIDE 1/2"x3/8" STOP ON CW. PROVIDE 1/2"x3/8"x3/8" STOP ON HW. 3/8" H & CW TO SINK FAUCET, 3/8" HW TO DISHWASHER.
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- 6 1/2" CW DOWN IN WALL TO ICE MAKER VALVE AND BOX.
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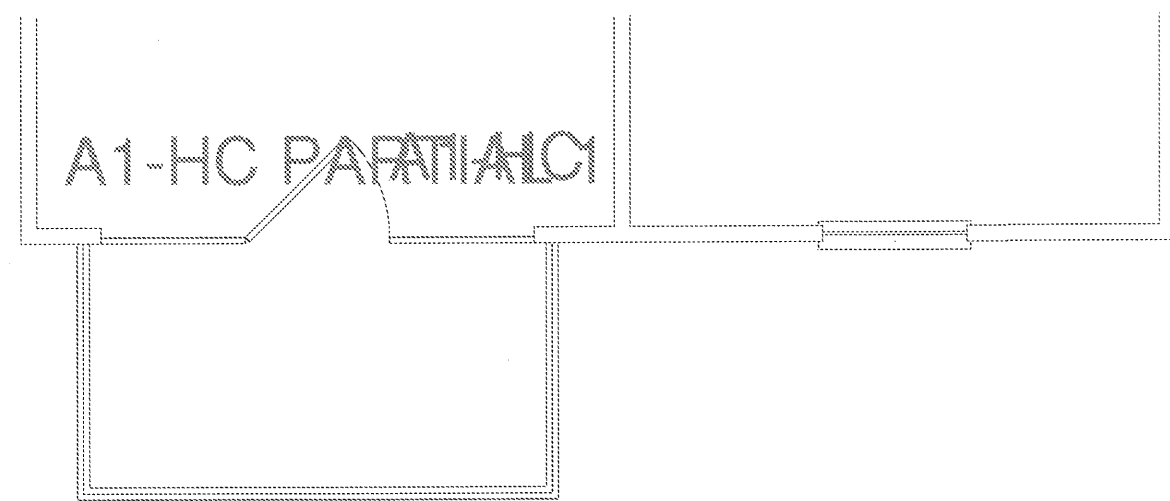
3 UNIT A1-HC - PARTIAL 1
 SCALE: 1/4" = 1'-0" OCCURS AT: (1) TOTAL UNITS ON SITE



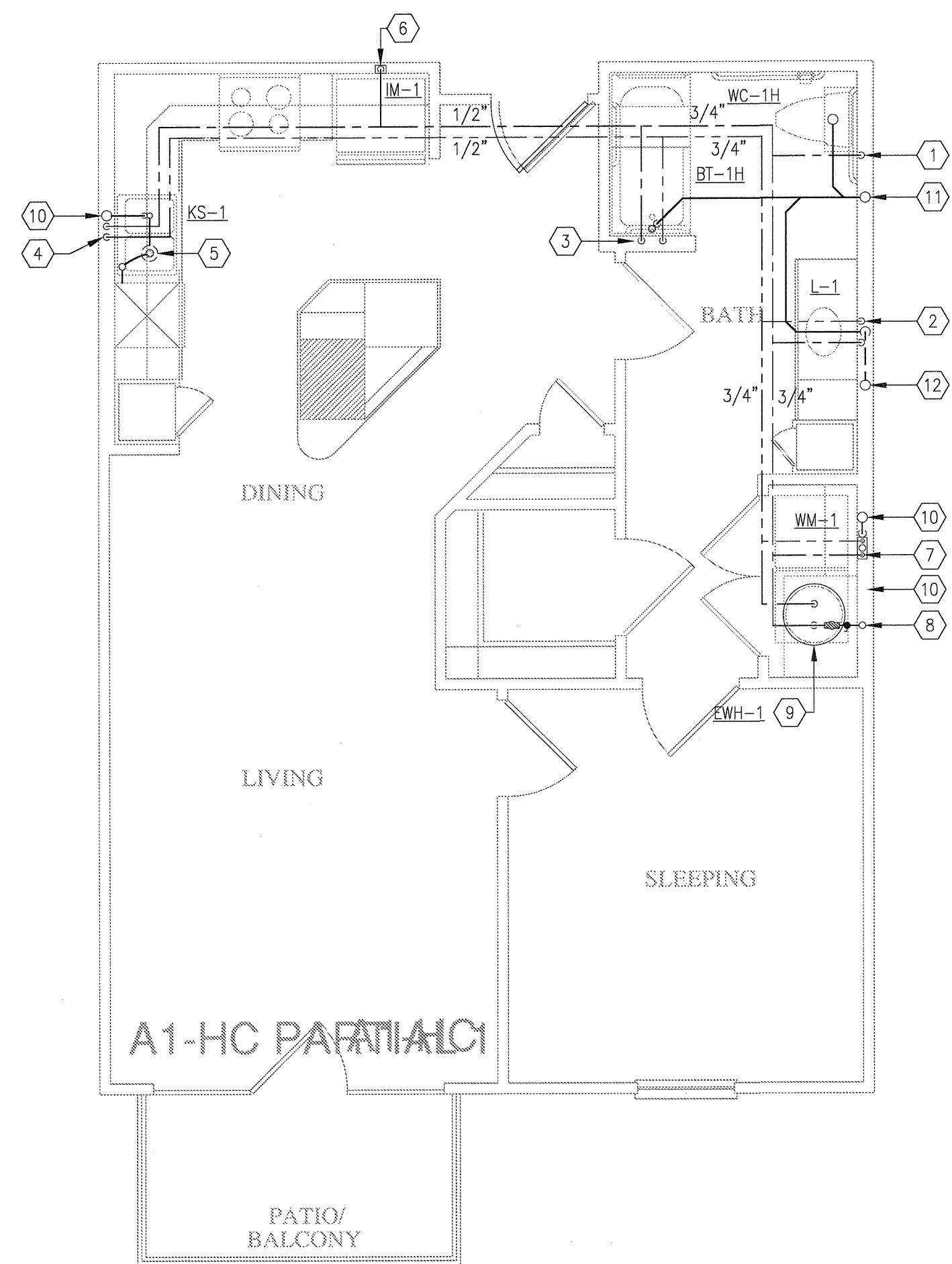
2 UNIT A1-HC - ONE SLEEPING/ONE BATH
 SCALE: 1/4" = 1'-0" OCCURS AT: (1) TOTAL UNITS ON SITE



1 UNIT B1-HC-ALT D - TWO BEDROOM/TWO BATH
 SCALE: 1/4" = 1'-0" OCCURS AT: (3) TOTAL UNITS ON SITE



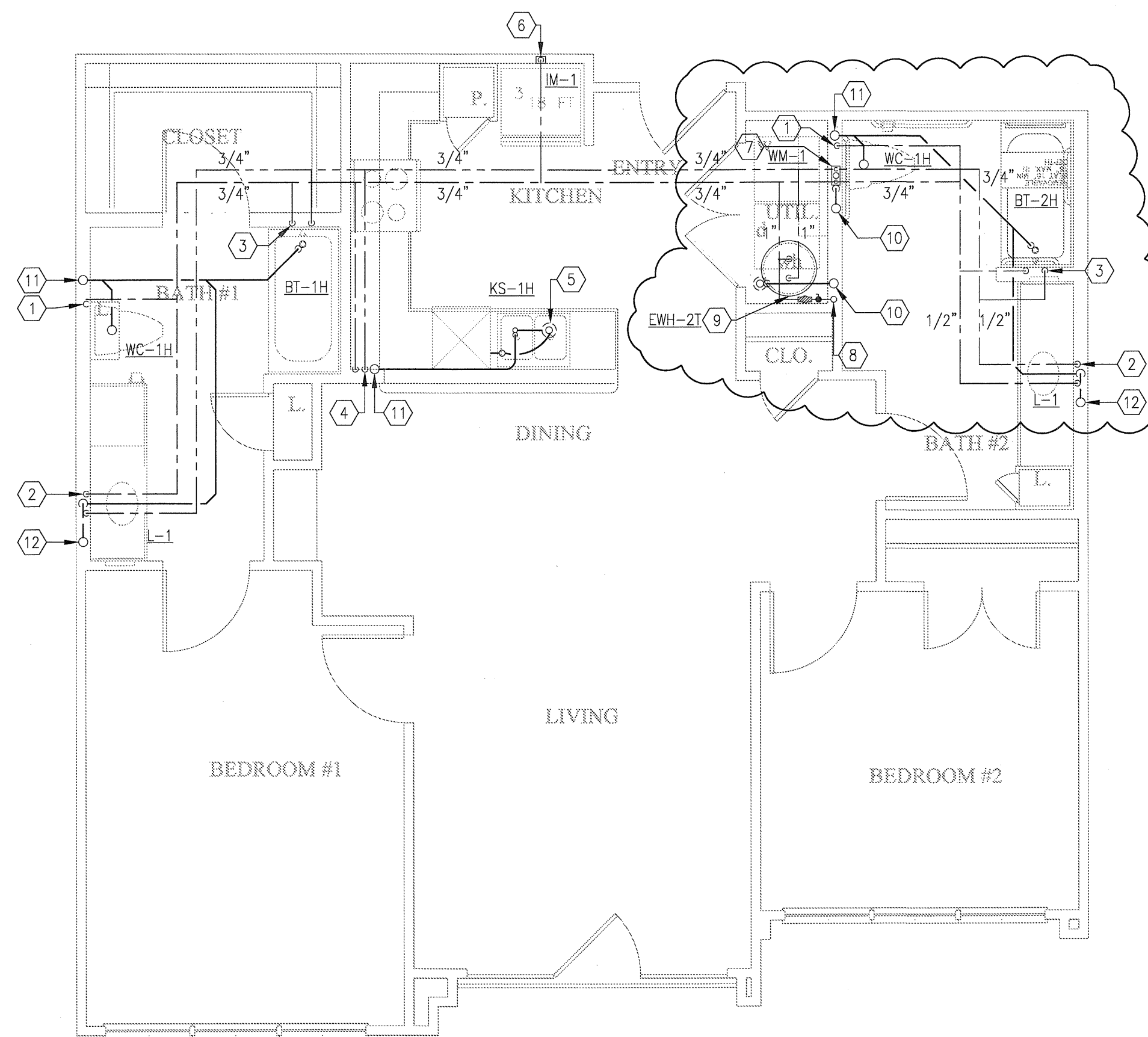
3 UNIT A1-HC - PARTIAL 1
SCALE: 1/4" = 1'-0" OCCURS AT: (1) TOTAL UNITS ON SITE



2 UNIT A1-HC - ONE SLEEPING/ONE BATH
SCALE: 1/4" = 1'-0" OCCURS AT: (1) TOTAL UNITS ON SITE

KEY NOTES:

- 1 1/2" CW DOWN IN WALL TO WATER CLOSET.
- 2 1/2" H & CW DOWN IN WALL TO LAVATORY.
- 3 1/2" H & CW DOWN IN WALL TO BATHTUB/SHOWER. 3/4" H & CW DOWN IN WALL IF SERVING BATHTUB AND SHOWER.
- 4 1/2" H & CW TO SINK AND DISHWASHER. PROVIDE 1/2"x3/8" STOP ON CW. PROVIDE 1/2"x3/8"x3/8" STOP ON HW. 3/8" H & CW TO SINK FAUCET. 3/8" HW TO DISHWASHER.
- 5 DISPOSAL BELOW SINK WITH DISHWASHER WASTE CONNECTION. CONNECT DRAIN THRU AIR GAP TO DISPOSAL. DISPOSAL BY G.C. AND INSTALLED BY PLUMBING CONTRACTOR.
- 6 1/2" CW DOWN IN WALL TO ICE MAKER VALVE AND BOX.
- 7 WASHING MACHINE CONNECTION BOX 2" WASTE, 1/2" H & CW.
- 8 DOMESTIC WATER RISER. PROVIDE ISOLATION VALVE, REMOTE READ SUB-METER, AND PRV IF REQUIRED. REFER TO RISER DIAGRAM FOR SIZES.
- 9 ELECTRIC WATER HEATER. REFER TO DETAILS AND SCHEDULE.
- 10 3" SANITARY WASTE/VENT RISER PER IPC SEC 910.
- 11 3" SANITARY WASTE RISER.
- 12 3" SANITARY VENT RISER.



1 UNIT B1-HC-ALT D - TWO BEDROOM/TWO BATH
SCALE: 1/4" = 1'-0" OCCURS AT: (3) TOTAL UNITS ON SITE

REVISIONS

1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS DESIGN REVISIONS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE DESIGN REVISIONS
5	12-21-2011	DESIGN REVISIONS
6	1-17-2012	DESIGN REVISIONS
7	2-15-2012	TRANSFORMER REVISIONS
8	3-27-2012	CLUBHOUSE REVISIONS
9	4-17-2012	COORDINATION

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS

10	5-15-2012	COORDINATION
11	5-30-2012	SITE COORDINATION
12	6-01-12	LIGHTING REVISIONS
13	6-29-12	SITE COORDINATION

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architects

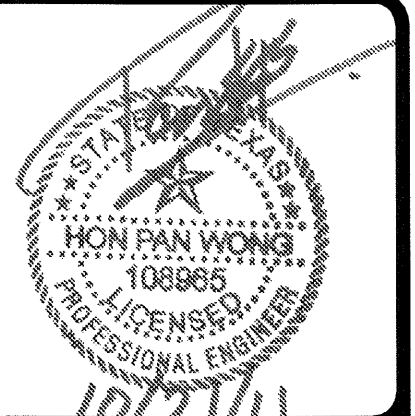
4144 N. Central Expy.
Suite 855
Dallas, TX 75204
214.520.8878
bgoarchitects.com

DATE
08-05-11

PROJECT
11129

SHEET NUMBER

P-2.11



REVISIONS

9-2-2011	DESIGN REVISIONS
9-13-2011	ANSI/FHA COMMENTS
9-23-2011	DESIGN REVISIONS
10-17-2011	CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS



4144 N. Central Expy.
Suite 855
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214.520.8878
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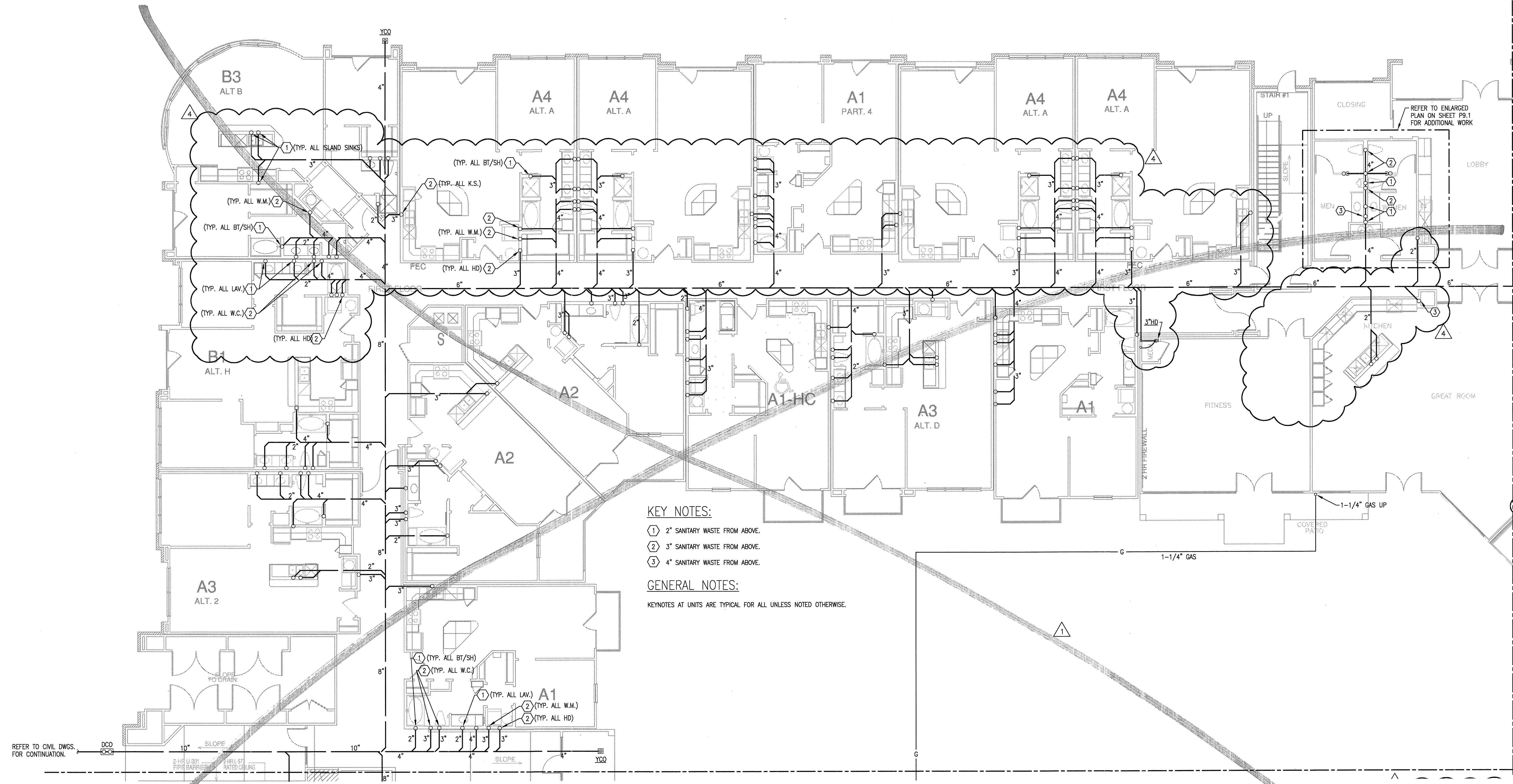
DATE
08-05-11

PROJECT
11129

SHEET NUMBER
P-3.0A



JSE Jordan & Skala Engineers
14225 Midway Road, Suite 350
Dallas, TX 75244-5138
V: (469) 385-1616 F: (469) 385-1615
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: CV Checked By: RC



KEY NOTES:

- ① 2" SANITARY WASTE FROM ABOVE.
- ② 3" SANITARY WASTE FROM ABOVE.
- ③ 4" SANITARY WASTE FROM ABOVE.

GENERAL NOTES:

KEYNOTES AT UNITS ARE TYPICAL FOR ALL UNLESS NOTED OTHERWISE.

1 DIVISION 'A' UNDERFLOOR PLAN
SCALE: 1/8" = 1'-0"

REFER TO CIVIL DWGS. FOR CONTINUATION.

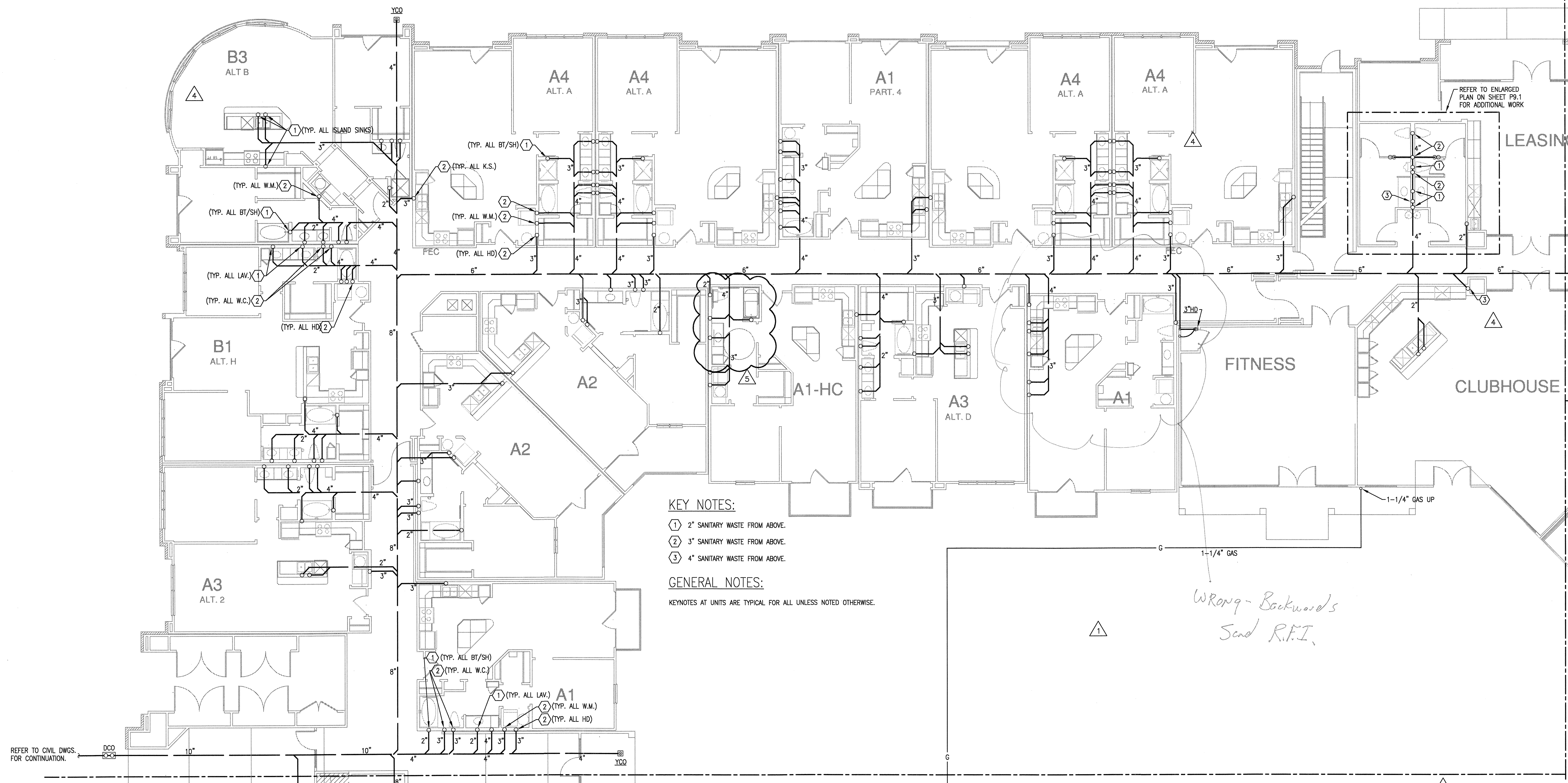
REFER TO ENLARGED PLAN ON SHEET P9.1 FOR ADDITIONAL WORK



REVISIONS		
△ 1	9-2-2011	DESIGN REVISIONS
△ 2	9-13-2011	ANSI/FHA COMMENTS
△ 3	9-23-2011	DESIGN REVISIONS
△ 4	10-17-2011	CONSTRUCTION ISSUE
△ 5	12-21-2011	DESIGN REVISIONS

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS

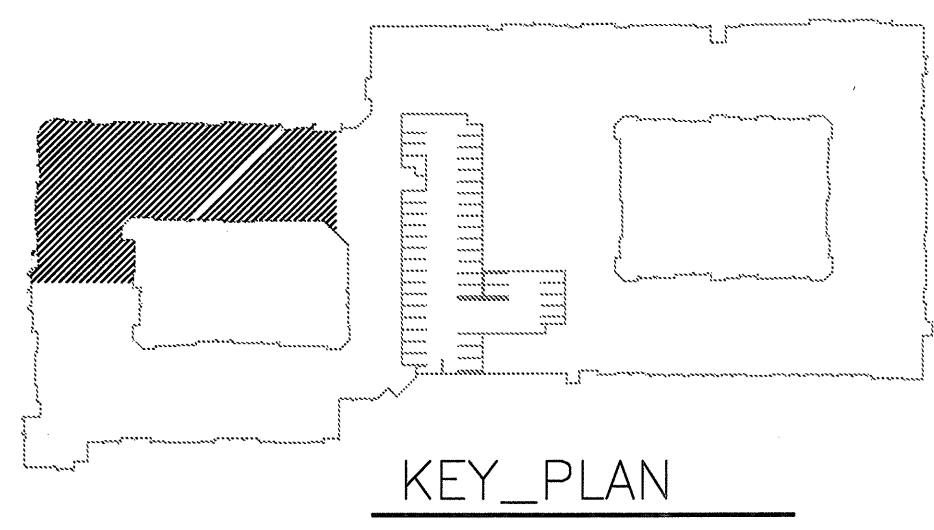


KEY NOTES:
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 ③ 4" SANITARY WASTE FROM ABOVE.

GENERAL NOTES:
 KEYNOTES AT UNITS ARE TYPICAL FOR ALL UNLESS NOTED OTHERWISE.

Wrong - Backward's Sand R.I.T.

REFER TO CIVIL DWGS. FOR CONTINUATION.



1 DIVISION 'A' UNDERFLOOR PLAN
 SCALE: 1/8" = 1'-0"

USE Jordan & Skala Engineers
 14240 Midway Road, Suite 350
 Dallas, TX 75244-5138
 V: (469) 383-1616, F: (469) 383-1615
 Project Number - 113-0355 Texas Firm Registration # F-4990
 Drawn By: CV Checked By: BC

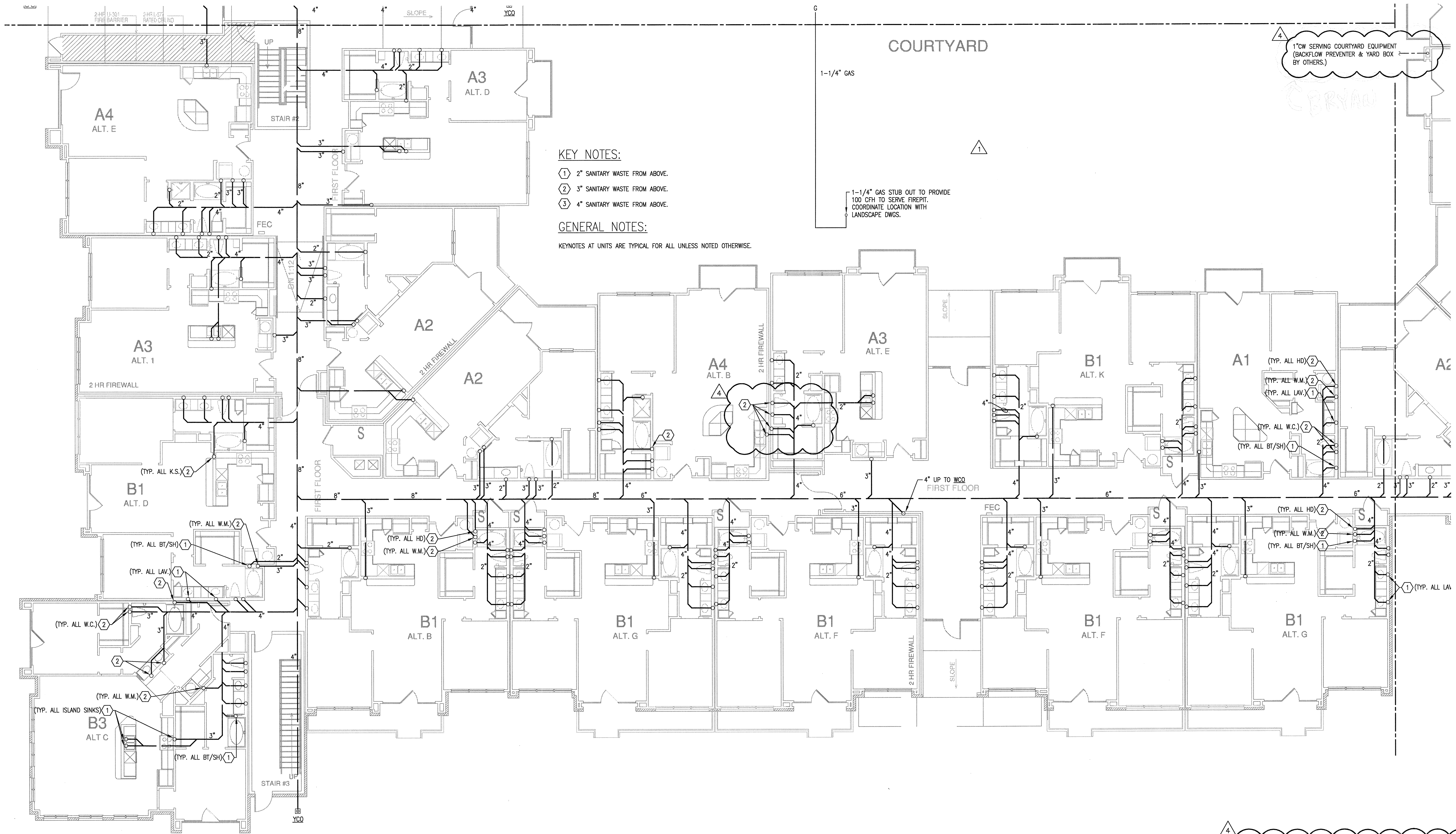
BGO architects
 4144 N. Central Expy.
 Suite 855
 Dallas, TX 75204
 214-520-8878
 bgoarchitects.com

DATE
 08-05-11

PROJECT
 11129

SHEET NUMBER

P-3.0A



KEY NOTES:

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- ② 3" SANITARY WASTE FROM ABOVE.
- ③ 4" SANITARY WASTE FROM ABOVE.

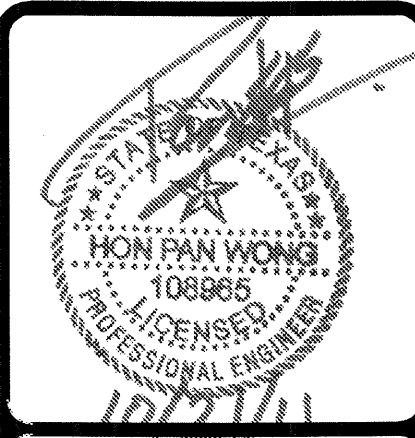
GENERAL NOTES:

KEYNOTES AT UNITS ARE TYPICAL FOR ALL UNLESS NOTED OTHERWISE.

COURTYARD

④ 1" CW SERVING COURTYARD EQUIPMENT (BACKFLOW PREVENTER & YARD BOX BY OTHERS.)

1-1/4" GAS
1-1/4" GAS STUB OUT TO PROVIDE 100 CFH TO SERVE FIREPT. COORDINATE LOCATION WITH LANDSCAPE DWGS.



REVISIONS

NO.	DATE	DESCRIPTION
①	9-2-2011	DESIGN REVISIONS
②	9-13-2011	ANSI/FHA COMMENTS
③	9-23-2011	DESIGN REVISIONS
④	10-17-2011	CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS



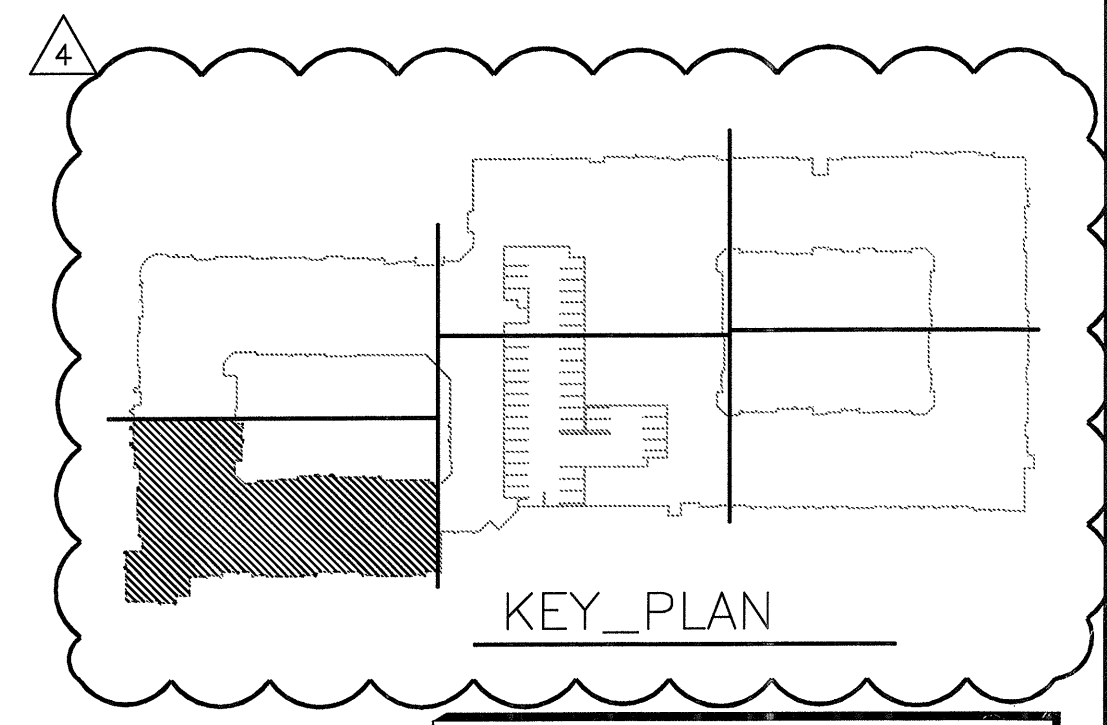
4144 N. Central Expy.
Suite 855
Dallas, TX 75204
214.520.8878
bgoarchitects.com

DATE
08-05-11

PROJECT
11129

SHEET NUMBER

P-3.0B



1 DIVISION 'B' UNDERFLOOR PLAN
SCALE: 1/8" = 1'-0"

JSE Jordan & Skala Engineers
14240 Midway Road, Suite 310
Dallas, TX 75244-5138
P: (469) 385-1616 F: (469) 385-1615
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: CV Checked By: RC

EMBREY BUILDERS, LLC.
 1020 N. E. Loop 410, Suite 700
 San Antonio, TX 78209
 Ph: (210) 824-6044 Fax: (210) 824-7656

RFI

To: Jordan & Skala Engineers, Inc. RFI #: 37
 14240 Midway Road, Suite 350 Date: 1/23/2012
 Dallas, TX 75244 Job: EB-02 Keller Springs Lofts
 Ph: 469/385-1616 Fax: 469/385-1615 Phone: 877-777-5115

CC:
 Subject: 6" main sanitary trunk line
 Drawing: P-3.0C P-3.0E Spec Section:
 Cost Impact: None Schedule Impact: None

Request: Date Required: 1/25/2012
 On sheet P-3.0C the main sanitary trunk line is shown running in the center of the corridors. It is 6" running north along the east side of the garage. It joins another 6" running east along the north side of the garage. So we have a 6" joining with another 6" but there is no designation as to the size of the line after that until it meets the 10" that leaves the building. Sheet P-3.0E gives no designation to the size of this line either. I feel this may be an oversight and the intention would be to have the line enlarge to an 8" after the (2) 6" lines merge. Please advise and respond as we are going to be installing these lines in the next two days.

Requested by: Bryan Plickler
 Embrey Partners, Ltd.

Response:
 The line should increase to an 8" once the two 6" lines come together as mentioned above.

Russell Cox - Jordan & Skala

Answered by _____
 Company _____ Date _____

EMBREY BUILDERS, LLC.
 1020 N. E. Loop 410, Suite 700
 San Antonio, TX 78209
 Ph: (210) 824-6044 Fax: (210) 824-7656

RFI

To: Jordan & Skala Engineers, Inc. RFI #: 61
 14240 Midway Road, Suite 350 Date: 2/7/2012
 Dallas, TX 75244 Job: EB-02 Keller Springs Lofts
 Ph: 469/385-1616 Fax: 469/385-1615 Phone: 877-777-5115

CC: David Gallagher (Embrey Build (Embrey Construction LLC))
 Subject: Pool and fountain equipment drain requirements
 Drawing: landscape 5C Spec Section:
 Cost Impact: None Schedule Impact: None

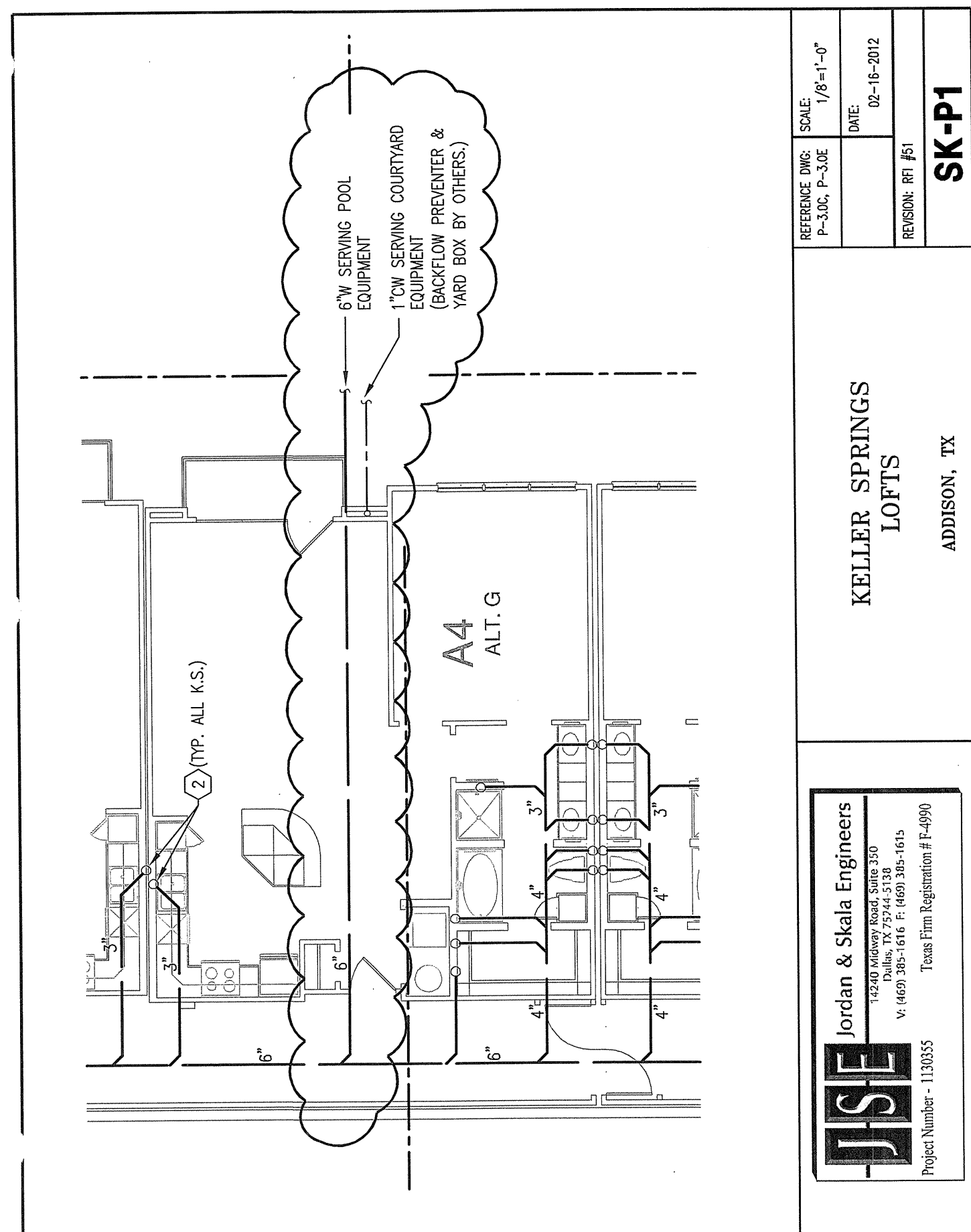
Request: Date Required: 2/14/2012
 Jordan and Skala,
 In discussing the courtyards fountain and pool equipment requirements with our pool contractor, it has come to our attention that since the pool equipment will have a chlorinated filter system, by code, we are required to run that into the sanitary sewer. The fact that the fountain equipment is run with a non-chlorinated system, the pool contractor believes that the fountain equipment can be run into the existing storm sewer system in the fountain courtyard. Therefore we need Jordan and Skala to revise the plans accordingly.
 Please reference landscape sheet 5C of 9 for pool equipment location.

Requested by: Bryan Plickler
 Embrey Partners, Ltd.

Response:
 A 6" sanitary waste line has been routed to pool equipment area for pool drainage. See attached sketch.

Russell Cox

Answered by _____
 Company _____ Date: 2-16-2012



KELLER SPRINGS LOFTS ADDISON, TX	<table border="1" style="border-collapse: collapse;"> <tr> <td style="font-size: 8px;">REFERENCE DWG:</td> <td style="font-size: 8px;">SCALE:</td> </tr> <tr> <td style="font-size: 8px;">P-3.0C, P-3.0E</td> <td style="font-size: 8px;">1/8"=1'-0"</td> </tr> <tr> <td style="font-size: 8px;">DATE:</td> <td style="font-size: 8px;">DATE:</td> </tr> <tr> <td style="font-size: 8px;">REASON: RT #51</td> <td style="font-size: 8px;">02-16-2012</td> </tr> </table> <p style="text-align: center; font-weight: bold; font-size: 12px;">SK-P1</p>	REFERENCE DWG:	SCALE:	P-3.0C, P-3.0E	1/8"=1'-0"	DATE:	DATE:	REASON: RT #51	02-16-2012
REFERENCE DWG:	SCALE:								
P-3.0C, P-3.0E	1/8"=1'-0"								
DATE:	DATE:								
REASON: RT #51	02-16-2012								

EMBREY BUILDERS, LLC.
 1020 N. E. Loop 410, Suite 700
 San Antonio, TX 78209
 Ph: (210) 824-6044 Fax: (210) 824-7856

RFI

To: Jordan & Skala Engineers, Inc. RFI #: 51
 14240 Midway Road, Suite 350 Date: 2/7/2012
 Dallas, TX 75244 Job: EB-02 Keller Springs Lofts
 Ph: 469/385-1616 Fax: 469/385-1615 Phone: 877-777-5115

CC: David Gallagher (Embrey Build (Embrey Construction LLC))

Subject: Pool and fountain equipment drain requirements

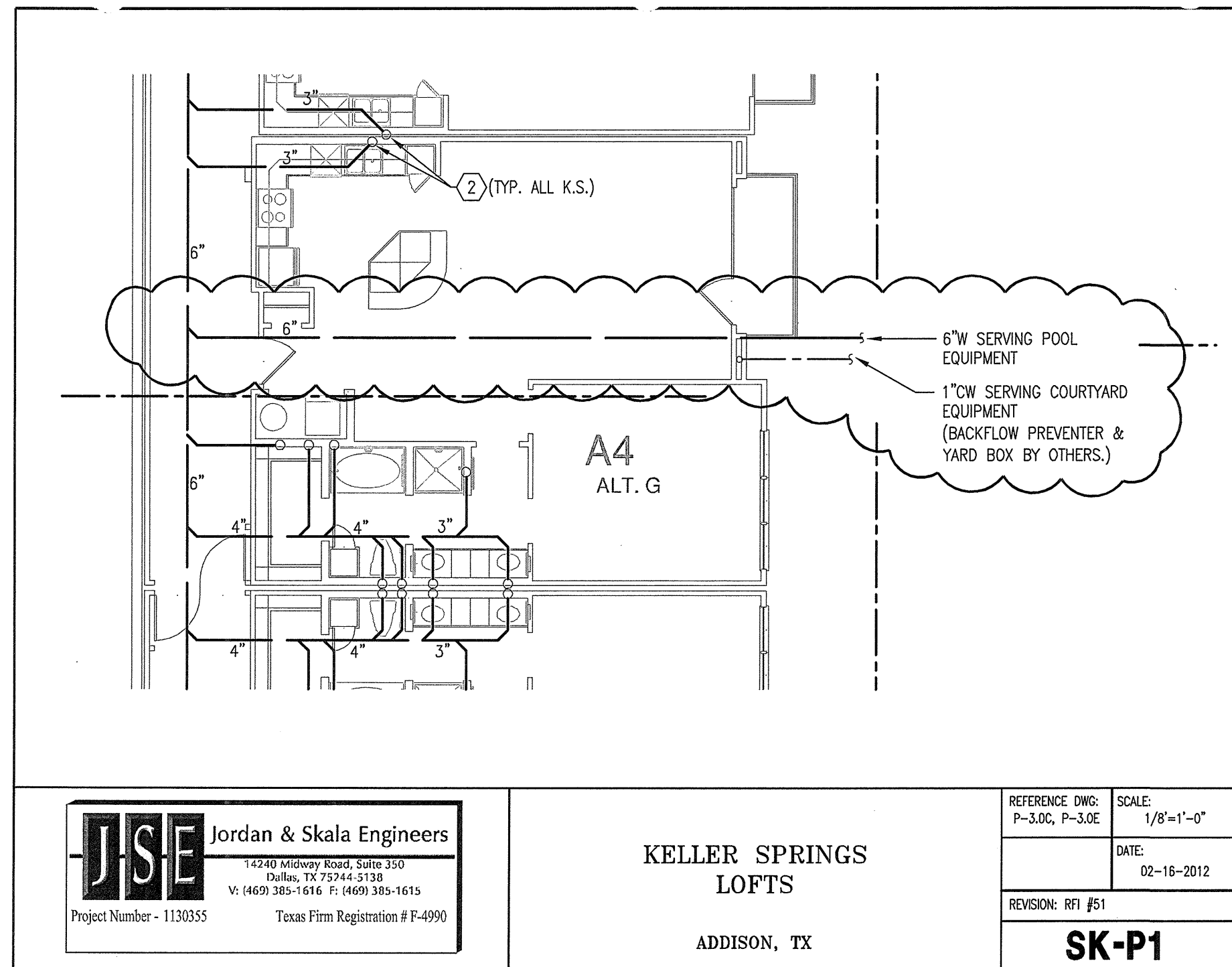
Drawing: landscape 5C Spec Section:
 Cost Impact: None Schedule Impact: None

Request: Date Required: 2/14/2012
 Jordan and Skala,
 In discussing the courtyards fountain and pool equipment requirements with our pool contractor, it has come to our attention that since the pool equipment will have a chlorinated filter system, by code, we are required to run that into the sanitary sewer. The fact that the fountain equipment is run with a non-chlorinated system, the pool contractor believes that the fountain equipment can be run into the existing storm sewer system in the fountain courtyard. Therefore we need Jordan and Skala to revise the plans accordingly. Please reference landscape sheet 5C of 9 for pool equipment location.

Requested by: Bryan Pickler
 Embrey Partners, Ltd.

Response:
 A 6" sanitary waste line has been routed to pool equipment area for pool drainage. See attached sketch.

Russell Cox
 Answered by: _____ Date: 2-16-2012
 Company: _____ Date: _____



JSE Jordan & Skala Engineers
 14240 Midway Road, Suite 350
 Dallas, TX 75244
 V: (469) 385-1616 F: (469) 385-1615
 Project Number - 1130355 Texas Firm Registration # F-4990

**KELLER SPRINGS
 LOFTS**
 ADDISON, TX

REFERENCE DWG: SCALE: 1/8"=1'-0"
 P-3.0C, P-3.0E
 DATE: 02-16-2012
 REVISION: RFI #51
SK-P1

EMBREY BUILDERS, LLC.
 1020 N. E. Loop 410, Suite 700
 San Antonio, TX 78209
 Ph: (210) 824-6044 Fax: (210) 824-7856

RFI

To: Jordan & Skala Engineers, Inc. RFI #: 37
 14240 Midway Road, Suite 350 Date: 1/23/2012
 Dallas, TX 75244 Job: EB-02 Keller Springs Lofts
 Ph: 469/385-1616 Fax: 469/385-1615 Phone: 877-777-5115

CC:

Subject: 6" main sanitary trunk line

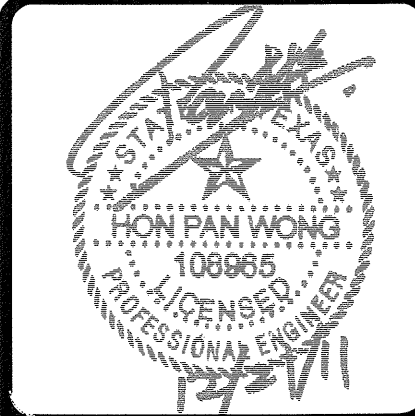
Drawing: P-3.0C P-3.0E Spec Section:
 Cost Impact: None Schedule Impact: None

Request: Date Required: 1/25/2012
 On sheet P-3.0C the main sanitary trunk line is shown running in the center of the corridors. It is 6" running north along the east side of the garage. It joins another 6" running east along the north side of the garage. So we have a 6" joining with another 6" but there is no designation as to the size of the line after that until it meets the 10" that leaves the building. Sheet P-3.0E gives no designation to the size of this line either. I feel this may be an oversight and the intention would be to have the line enlarge to an 8" after the (2) 6" lines merge. Please advice and respond as we are going to be installing these lines in the next two days.

Requested by: Bryan Pickler
 Embrey Partners, Ltd.

Response:
 The line should increase to an 8" once the two 6" lines come together as mentioned above.
 Russell Cox - Jordan & Skala

Answered by: _____
 Company: _____ Date: _____



REVISIONS	
①	9-2-2011 DESIGN REVISIONS
②	9-13-2011 ANSI/FHA COMMENTS
③	9-23-2011 DESIGN REVISIONS
④	10-17-2011 CONSTRUCTION ISSUE
⑤	12-21-2011 DESIGN REVISIONS

KELLER SPRINGS LOFTS
LOFT APARTMENTS IN ADDISON, TEXAS

BGO architects
4144 N. Central Expy.
Suite 855
Dallas, TX 75204
214.520.8878
bgoarchitects.com

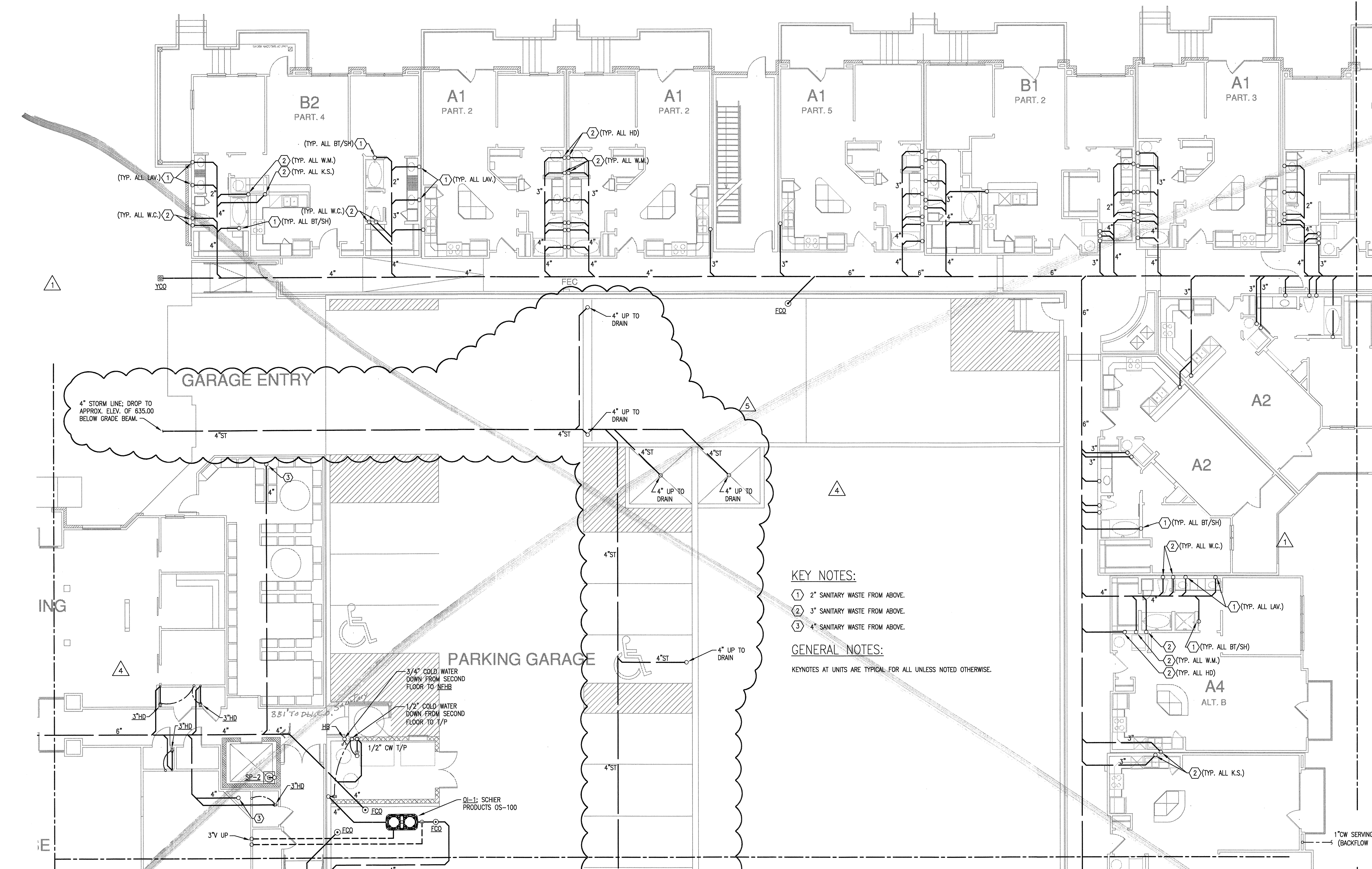
DATE
08-05-11

PROJECT
11129

SHEET NUMBER

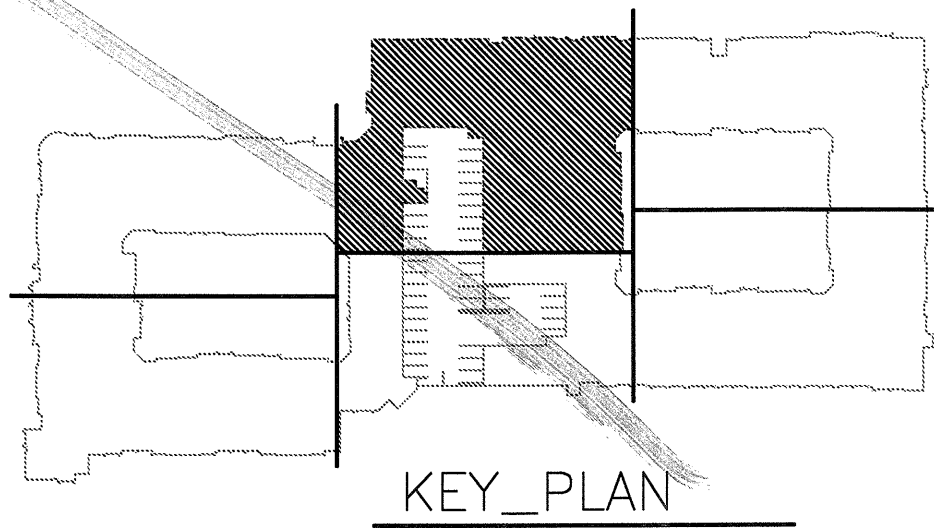
P-3.0C

JSE Jordan & Skala Engineers
14240 Midway Road, Suite 330
Dallas, TX 75244-5138
V: (469) 385-1616 F: (469) 385-1615
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: CV Checked By: RC

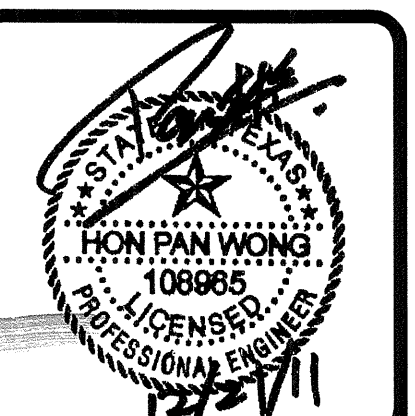


KEY NOTES:
① 2" SANITARY WASTE FROM ABOVE.
② 3" SANITARY WASTE FROM ABOVE.
③ 4" SANITARY WASTE FROM ABOVE.

GENERAL NOTES:
KEYNOTES AT UNITS ARE TYPICAL FOR ALL UNLESS NOTED OTHERWISE.



1 DIVISION 'C' UNDERFLOOR PLAN
SCALE: 1/8" = 1'-0"



REVISIONS		
1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE
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KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS



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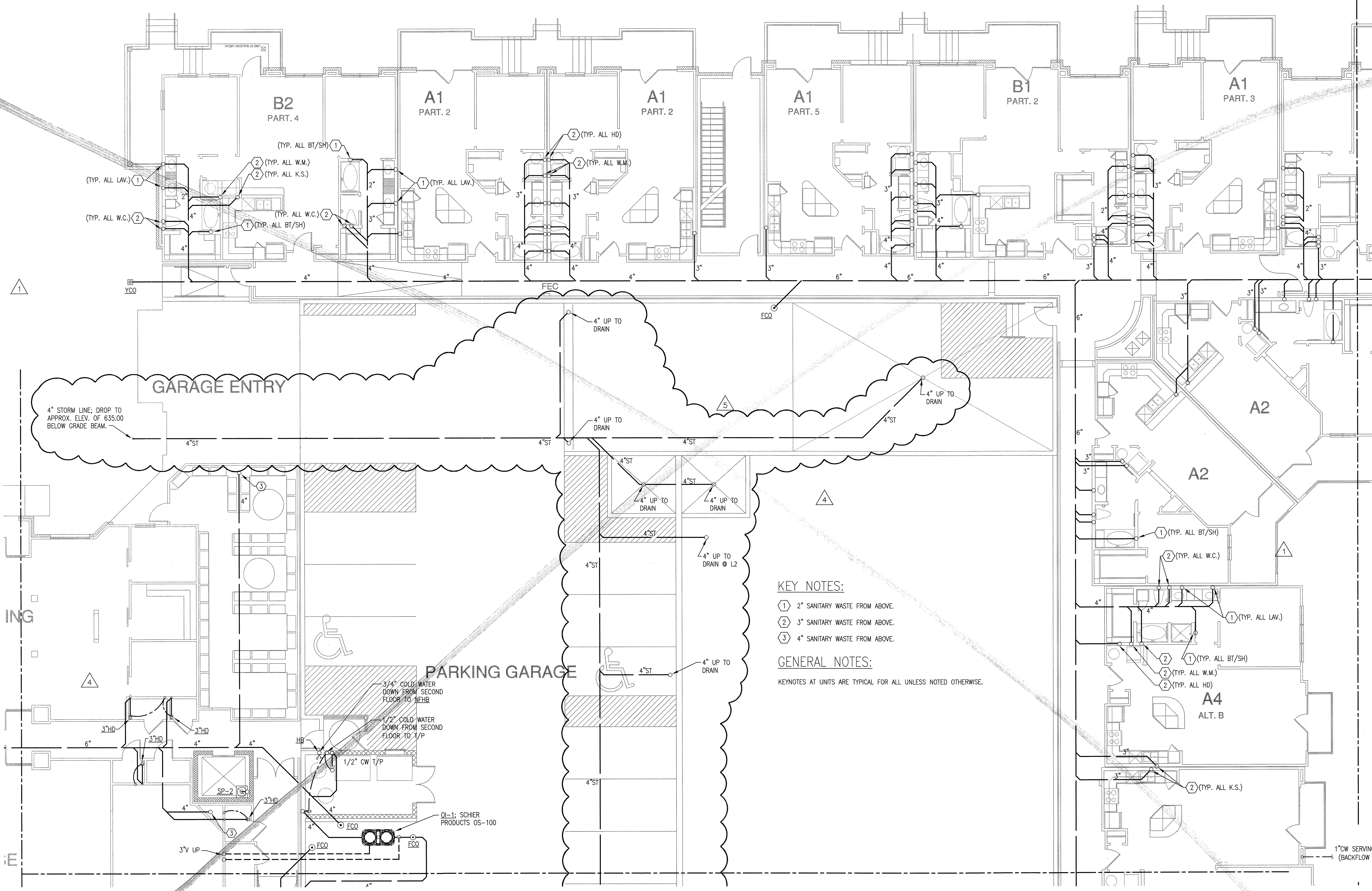
DATE
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SHEET NUMBER
P-3.0C

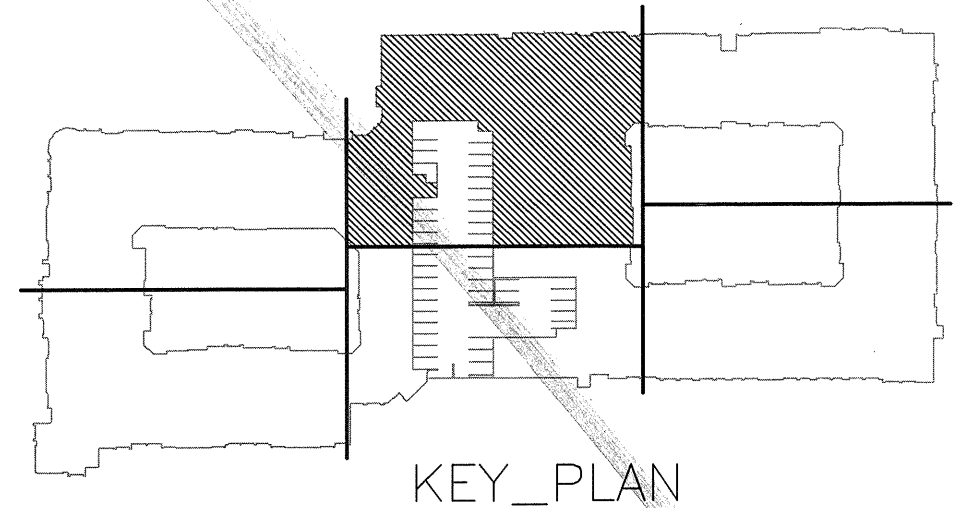


JSE Jordan & Skala Engineers
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KEY_PLAN

1 DIVISION 'C' UNDERFLOOR PLAN
SCALE: 1/8" = 1'-0"



REVISIONS

9-2-2011	DESIGN REVISIONS
9-13-2011	ANSI/FHA COMMENTS
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KELLER SPRINGS LOFTS
 LOFT APARTMENTS IN ADDISON, TEXAS

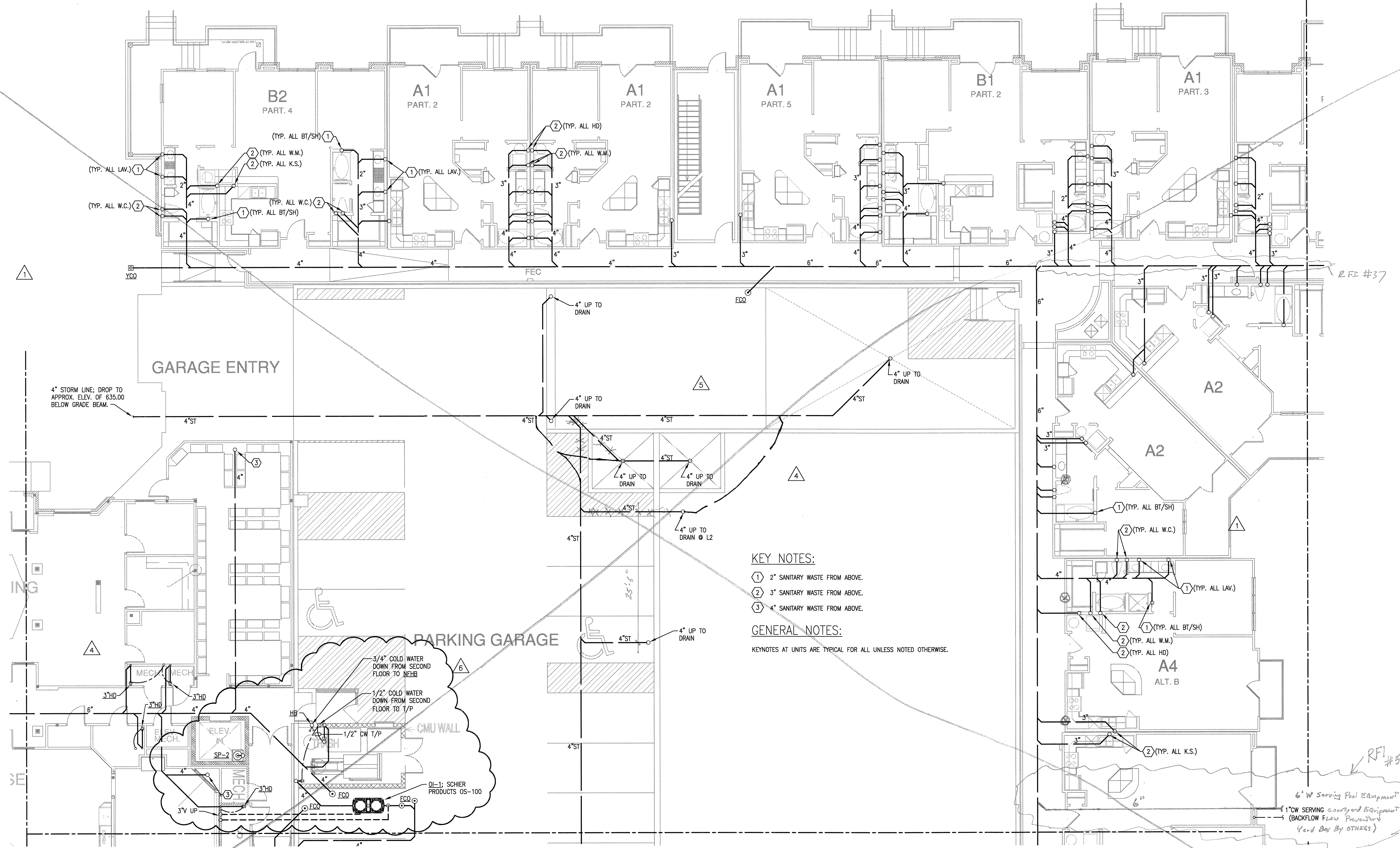
BGO architects
 4144 N. Central Expy.
 Suite 855
 Dallas, TX 75204
 214.520.8878
 bgoarchitects.com

DATE
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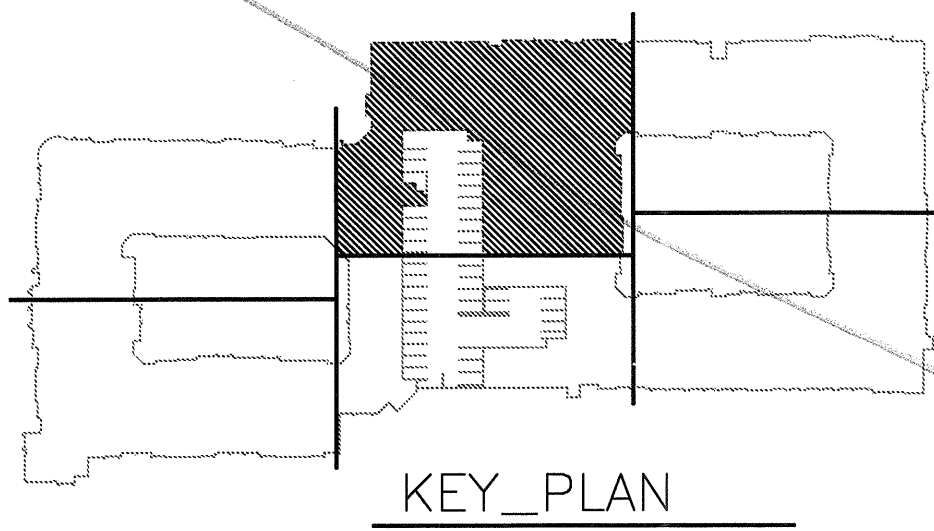
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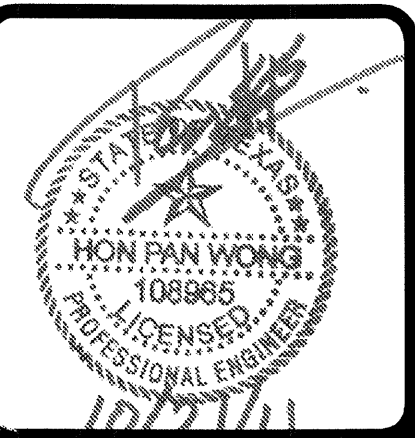
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JSE Jordan & Skala Engineers
 14240 Midway Road, Suite 330
 Dallas, TX 75244-5138
 Project Number - 113-0355
 Drawn By: CV
 Texas Firm Registration # F-4990
 Checked By: RC

1 DIVISION 'C' UNDERFLOOR PLAN
 SCALE: 1/8" = 1'-0"



REVISIONS		
1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS
 LOFT APARTMENTS IN ADDISON, TEXAS



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 Suite 855
 Dallas, TX 75204
 214.520.8878
 bgoarchitects.com

DATE
 08-05-11

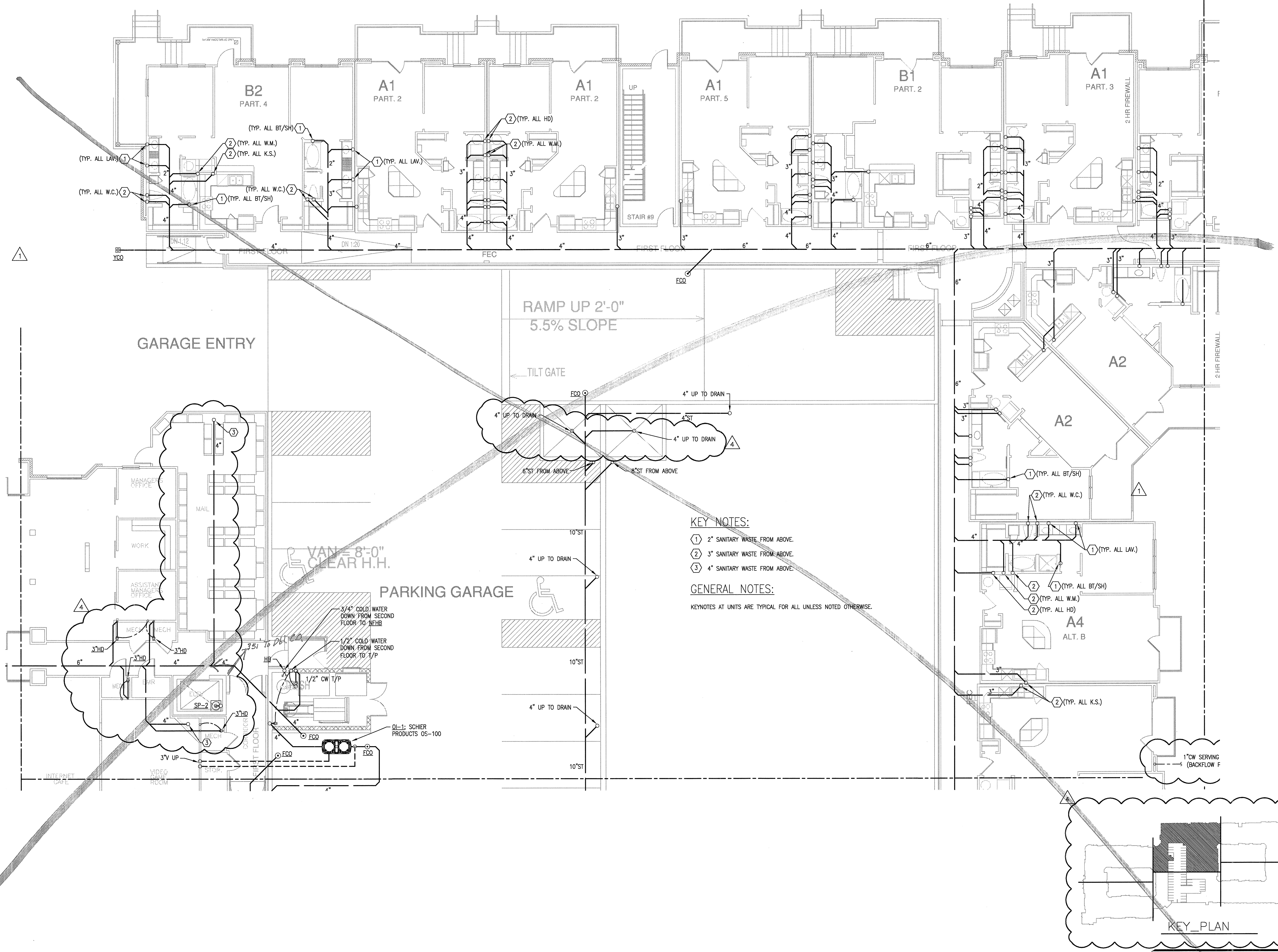
PROJECT
 11129

SHEET NUMBER

P-3.0C



JSE Jordan & Skala Engineers
 14240 Midway Road, Suite 350
 Dallas, TX 75244-5138
 V: (469) 385-1676 F: (469) 385-1615
 Project Number - 113-0355 Texas Firm Registration # F-4990
 Drawn By: CV Checked By: RC



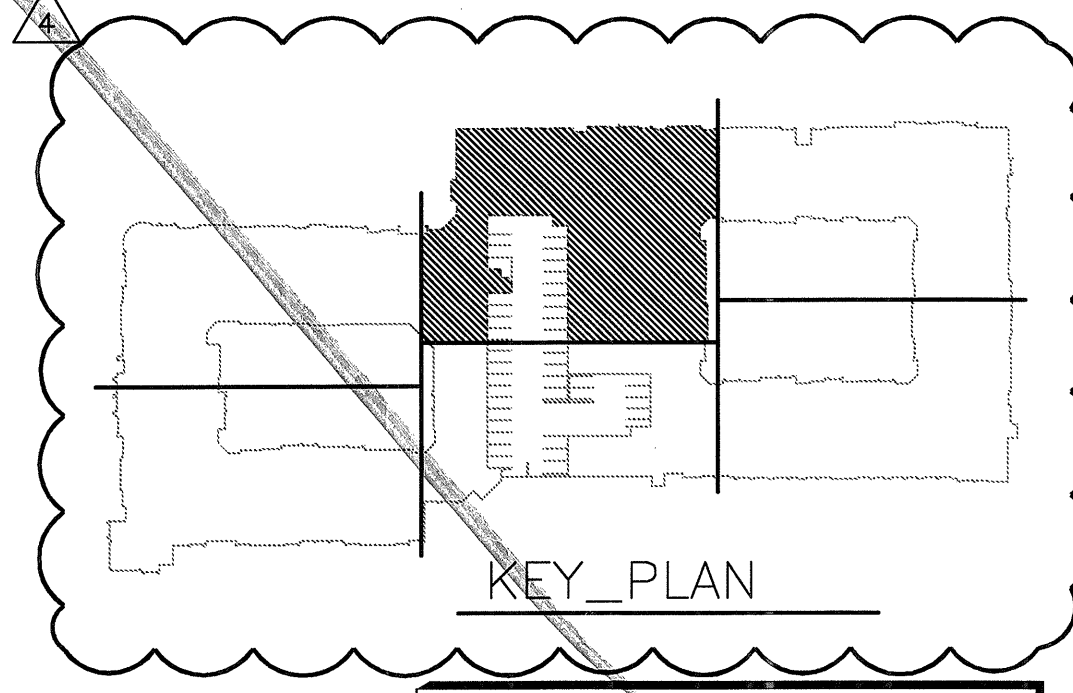
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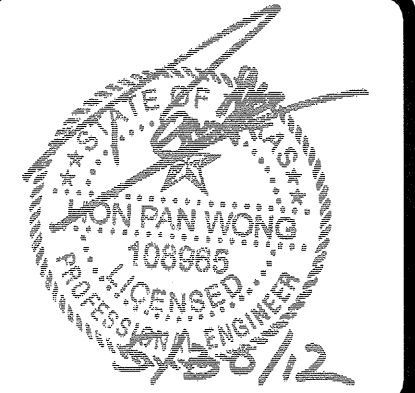
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KEYNOTES AT UNITS ARE TYPICAL FOR ALL UNLESS NOTED OTHERWISE.

1 DIVISION 'C' UNDERFLOOR PLAN
 SCALE: 1/8" = 1'-0"





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5	12-21-2011	DESIGN REVISIONS
6	1-17-2012	DESIGN REVISIONS TRANSFORMER
7	2-15-2012	REVISIONS CLUBHOUSE
8	3-27-2012	REVISIONS
9	4-17-2012	COORDINATION

KELLER SPRINGS LOFTS
LOFT APARTMENTS IN ADDISON, TEXAS

10	5-15-2012	COORDINATION
11	5-30-2012	SITE COORDINATION

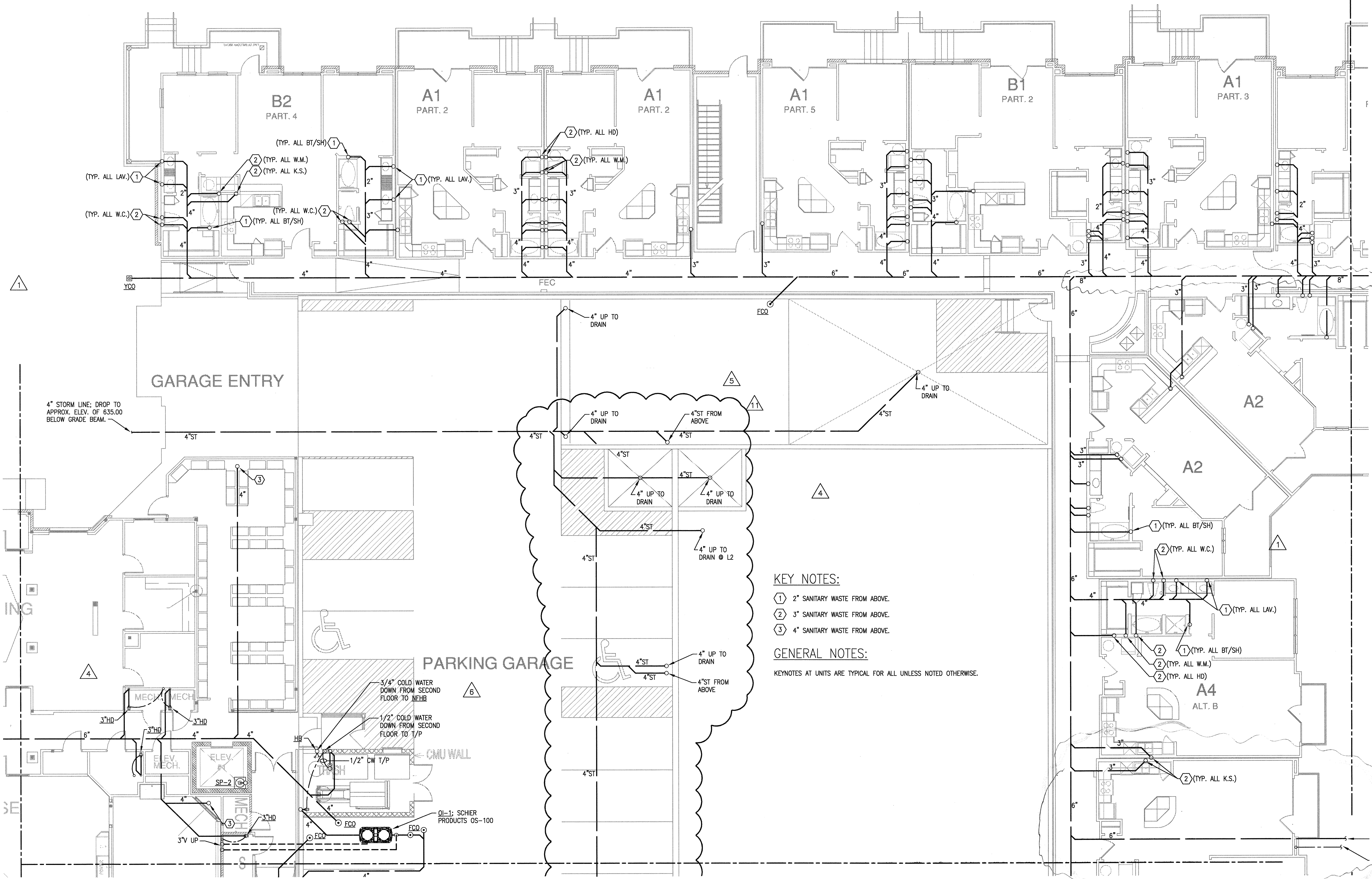
BGO architects
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Dallas, TX 75204
214.520.8878
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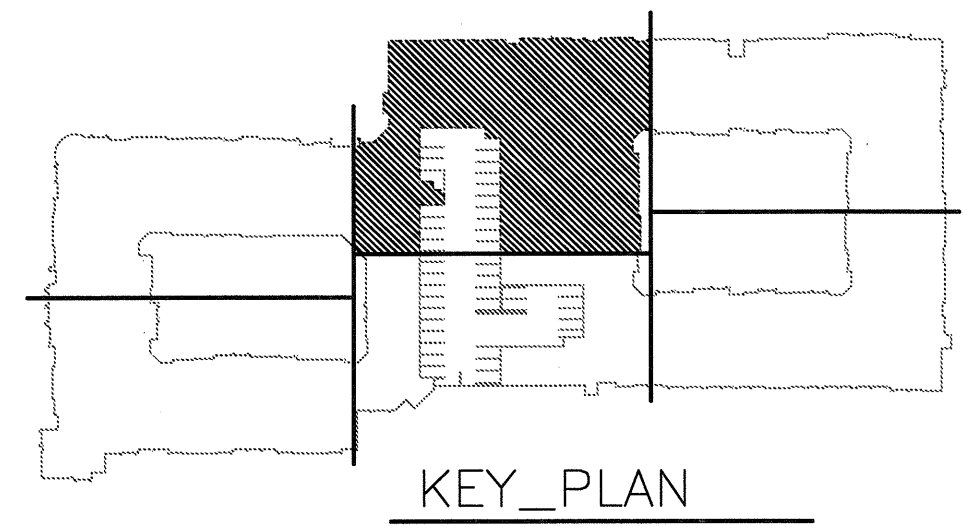
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P-3.0C



KEY NOTES:
 ① 2" SANITARY WASTE FROM ABOVE.
 ② 3" SANITARY WASTE FROM ABOVE.
 ③ 4" SANITARY WASTE FROM ABOVE.

GENERAL NOTES:
 KEYNOTES AT UNITS ARE TYPICAL FOR ALL UNLESS NOTED OTHERWISE.



1 DIVISION 'C' UNDERFLOOR PLAN
SCALE: 1/8" = 1'-0"

JSE Jordan & Skala Engineers
17835 N. Dallas Parkway, Suite 320
Dallas, TX 75287-4857
P: 469.385.1616 Web: www.jordanaskala.com
Project Number - 113-0555 Texas Firm Registration # F-4990
Drawn By: CV Checked By: RC

EMBREY BUILDERS, LLC.
 1020 N. E. Loop 410, Suite 700
 San Antonio, TX 78209
 Ph: (210) 824-6044 Fax: (210) 824-7856

RFI

To: Trent Perkins
 Parkin Perkins Olsen
 9330 LBJ Freeway, Suite 1055
 Dallas, TX 75243
 Ph: (214)221-2220 Fax: (214)221-2252

RFI #: 11
 Date: 12/14/2011
 Job: EB-02 Keller Springs Lofts
 Phone: 877-777-5115

CC: David Gallagher (Embrey Build (Embrey Construction LLC))

Subject: Detail for 15" leave out

Drawing: P-3.0D
 Cost Impact: None

Spec Section:
 Schedule Impact: None

Request:
 Trent please provide structural detail for a 15" leave out for stem wall

Date Required: 12/21/2011

Requested by: Trent Perkins
 Parkin Perkins Olsen

Response:

Please provide additional information including purpose of "leave-out" and horizontal/vertical location of "leave-out".

Trent Perkins, P.E.
 Answered by: PPO Consulting Engineering, Inc.
 Date: 12-14-2011

Page 1 of 1

EMBREY BUILDERS, LLC.
 1020 N. E. Loop 410, Suite 700
 San Antonio, TX 78209
 Ph: (210) 824-6044 Fax: (210) 824-7856

RFI

To: Jordan & Skala Engineers, Inc.
 14240 Midway Road, Suite 350
 Dallas, TX 75244
 Ph: 469/385-1616 Fax: 469/385-1615

RFI #: 33
 Date: 1/16/2012
 Job: EB-02 Keller Springs Lofts
 Phone: 877-777-5115

CC: David Gallagher (Embrey Build (Embrey Construction LLC))

Subject: Purposed relocation of oil separator

Drawing: P-3.0D
 Cost Impact: None

Spec Section:
 Schedule Impact: None

Request:
 Sheet P-3.0D shows the OS-100 (oil separator) located in the resident walkway from the garage to the building. I believe this will almost certainly be a tripping hazard, and purpose we move its location to the trash compactor room. I have an attached detail showing the location my plumber and myself think would be an alternative location. Please review and advise

Date Required: 1/23/2012

Requested by: Bryan Pickler
 Embrey Partners, Ltd.

Response:

JSE takes no exception to the proposed re-location of the oil separator. New location will be reflected on Design Revision plans dated 01-17-2012 (Delta 6).
 Russell Cox - Jordan & Skala

Answered by
 Company

Date

Page 1 of 1

EMBREY BUILDERS, LLC.
 1020 N. E. Loop 410, Suite 700
 San Antonio, TX 78209
 Ph: (210) 824-6044 Fax: (210) 824-7856

RFI

To: Trent Perkins
 Parkin Perkins Olsen
 9330 LBJ Freeway, Suite 1055
 Dallas, TX 75243
 Ph: (214)221-2220 Fax: (214)221-2252

RFI #: 31
 Date: 1/10/2012
 Job: EB-02 Keller Springs Lofts
 Phone: 877-777-5115

CC: Jordan & Skala Engineers, Inc. (Dallas)

Subject: Detail for 12 sleeve penetration and elevation

Drawing: P3.0D
 Cost Impact: None

Spec Section:
 Schedule Impact: None

Request:
 Trent we need a detail for (2) 12" drain sleeves that penetrate the southern beam wall of the garage Ref P 3.0D attached.

Date Required: 1/17/2012

The structural engineer wants sleeves in the middle third of the beam wall. Top of Beam Wall = 639'-7 1/4" and beam is 4' deep 635' 7 1/4". Middle of the beam = 637' 7 1/4" - 6" (12 x 12") = 637'-1 1/4". So the bottom of the two 12" sleeves should be at 637'-1 1/4" or 637'-10. This should give us plenty of fall as the original flow line of the 12" on CS was 636'-22" just inside the building. Ref CS. Can both PPO and Jordan & Skala concur and reflect it on their plans and detail?

Requested by: Bryan Pickler
 Embrey Partners, Ltd.

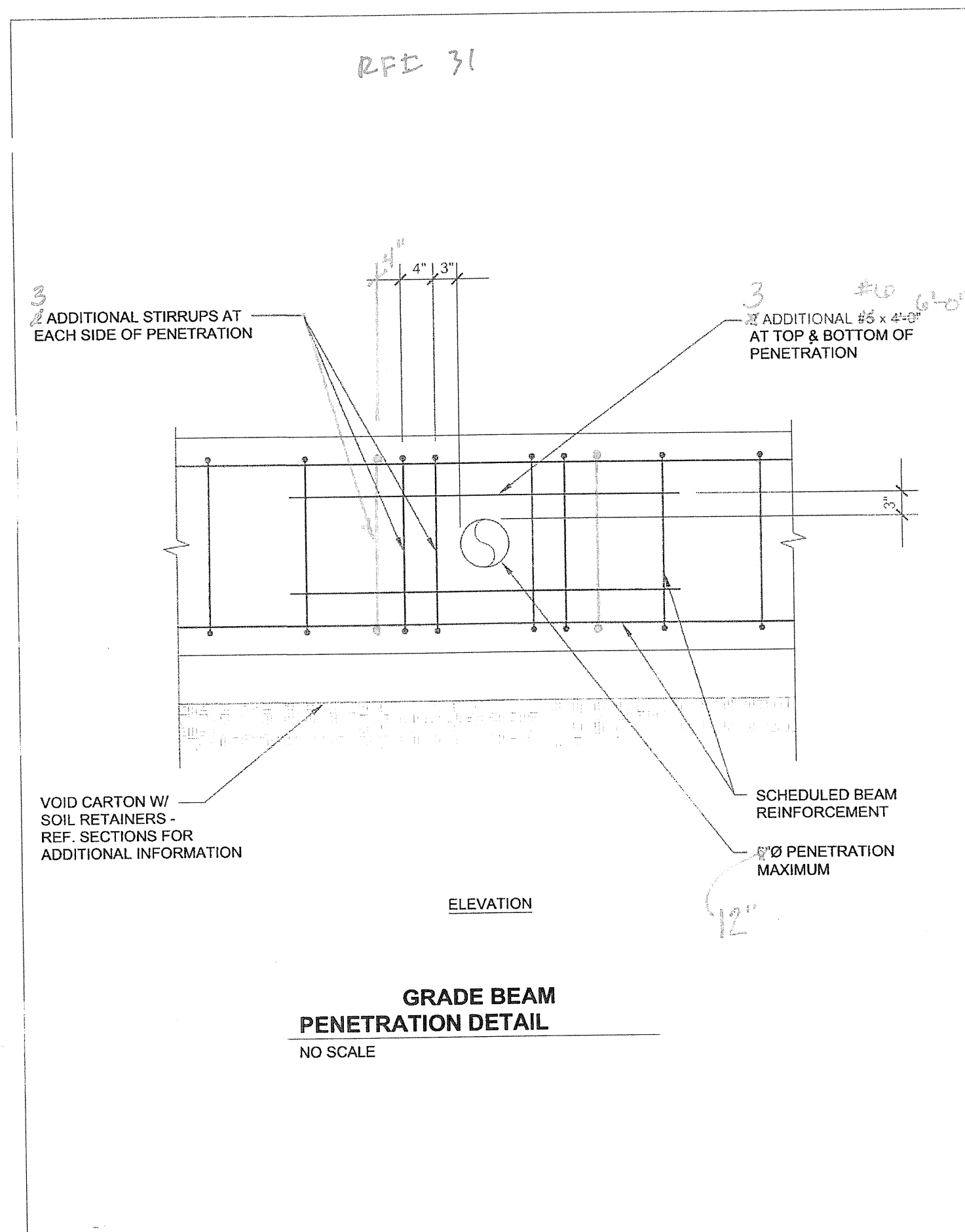
Response:

Please see attached for a grade beam penetration detail that will accommodate the above mentioned 12 inch diameter penetrations. If the center line of either of the penetrations is closer than 2'-0" to grid line B, notify PPO for an alternate solution.

If you have questions or require additional information regarding this matter, please do not hesitate to contact us.

Brandt Parkey
 Answered by: Parkin-Perkins-Olsen
 Date: 01/13/2012

Page 1 of 1



EMBREY BUILDERS, LLC.
 1020 N. E. Loop 410, Suite 700
 San Antonio, TX 78209
 Ph: (210) 824-6044 Fax: (210) 824-7656

RFI

To: Trent Perkins
 Parkin Perkins Olsen
 9330 LBJ Freeway, Suite 1055
 Dallas, TX 75243
 Ph: (214)221-2220 Fax: (214)221-2252

RFI #: 31
 Date: 1/10/2012
 Job: EB-02 Keller Springs Lofts
 Phone: 877-777-5115

CC: Jordan & Skala Engineers, Inc. (Dallas)
 Subject: Detail for 12 sleeve penetration and elevation

Drawing: P3.0D
 Cost Impact: None
 Spec Section:
 Schedule Impact: None

Request: Date Required: 1/17/2012
 Trent we need a detail for (2) 12" drain sleeves that penetrate the southern beam wall of the garage Ref P 3.0D attached.
 The structural engineer wants sleeves in the middle third of the beam wall. Top of Beam Wall = 639'-7 1/4" and beam is 4' deep 637'-7 1/4". Middle of the beam = 637'-7 1/4" - 6" (1/2 x 12") = 637'-1 1/4". So the bottom of the two 12" sleeves should be at 637'-1 1/4" or 637.10. This should give us plenty of fall as the original flow line of the 15" on C8 was 636.22 just inside the building. Ref C8. Can both PPO and Jordan & Skala concur and reflect it on their plans and detail?

Requested by: Bryan Pickler
 Embrey Partners, Ltd.

Response:
 Please see attached for a grade beam penetration detail that will accommodate the above mentioned 12 inch diameter penetrations. If the center line of either of the penetrations is closer than 2'-6" to grid line B, notify PPO for an alternate solution.
 If you have questions or require additional information regarding this matter, please do not hesitate to contact us.

Brandt Parkey
 Answered by: Parkin-Perkins-Olsen
 Company: Date: 01/13/2012

EMBREY BUILDERS, LLC.
 1020 N. E. Loop 410, Suite 700
 San Antonio, TX 78209
 Ph: (210) 824-6044 Fax: (210) 824-7656

RFI

To: Trent Perkins
 Parkin Perkins Olsen
 9330 LBJ Freeway, Suite 1055
 Dallas, TX 75243
 Ph: (214)221-2220 Fax: (214)221-2252

RFI #: 31
 Date: 1/10/2012
 Job: EB-02 Keller Springs Lofts
 Phone: 877-777-5115

CC: Jordan & Skala Engineers, Inc. (Dallas)
 Subject: Detail for 12 sleeve penetration and elevation

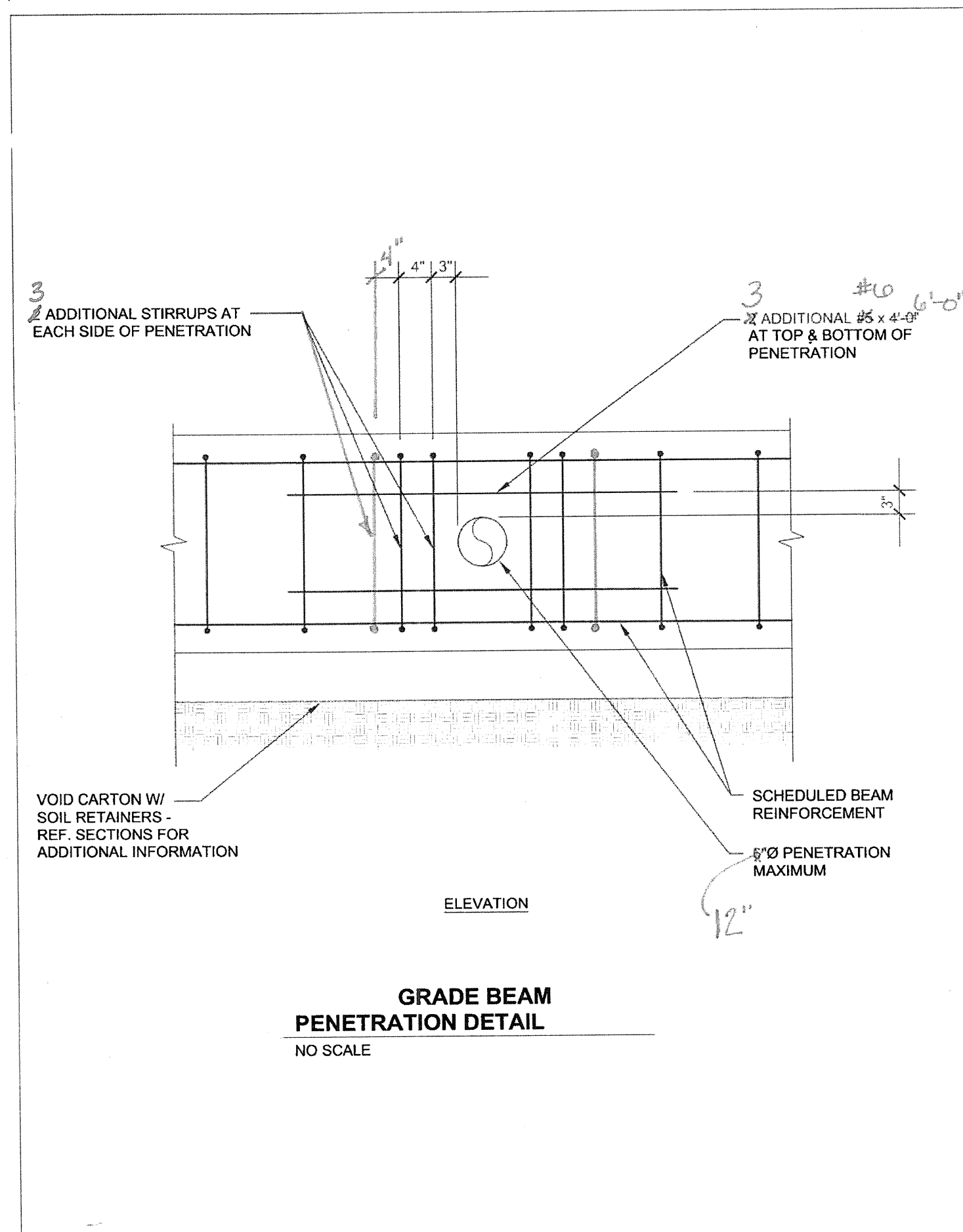
Drawing: P3.0D
 Cost Impact: None
 Spec Section:
 Schedule Impact: None

Request: Date Required: 1/17/2012
 Trent we need a detail for (2) 12" drain sleeves that penetrate the southern beam wall of the garage Ref P 3.0D attached.
 The structural engineer wants sleeves in the middle third of the beam wall. Top of Beam Wall = 639'-7 1/4" and beam is 4' deep 637'-7 1/4". Middle of the beam = 637'-7 1/4" - 6" (1/2 x 12") = 637'-1 1/4". So the bottom of the two 12" sleeves should be at 637'-1 1/4" or 637.10. This should give us plenty of fall as the original flow line of the 15" on C8 was 636.22 just inside the building. Ref C8. Can both PPO and Jordan & Skala concur and reflect it on their plans and detail?

Requested by: Bryan Pickler
 Embrey Partners, Ltd.

Response:
 Plumbing plans have been updated to reflect to elevation of 637.10 at the garage beam wall.

Russell Cox
 Answered by: Jordan & Skala
 Company: Date: 1-12-2012



EMBREY BUILDERS, LLC.
 1020 N. E. Loop 410, Suite 700
 San Antonio, TX 78209
 Ph: (210) 824-6044 Fax: (210) 824-7656

RFI

To: Jordan & Skala Engineers, Inc.
 14240 Midway Road, Suite 350
 Dallas, TX 75244
 Ph: 469/385-1616 Fax: 469/385-1615

RFI #: 33
 Date: 1/16/2012
 Job: EB-02 Keller Springs Lofts
 Phone: 877-777-5115

CC: David Gallagher (Embrey Build (Embrey Construction LLC))

Subject: Purposed relocation of oil Separator

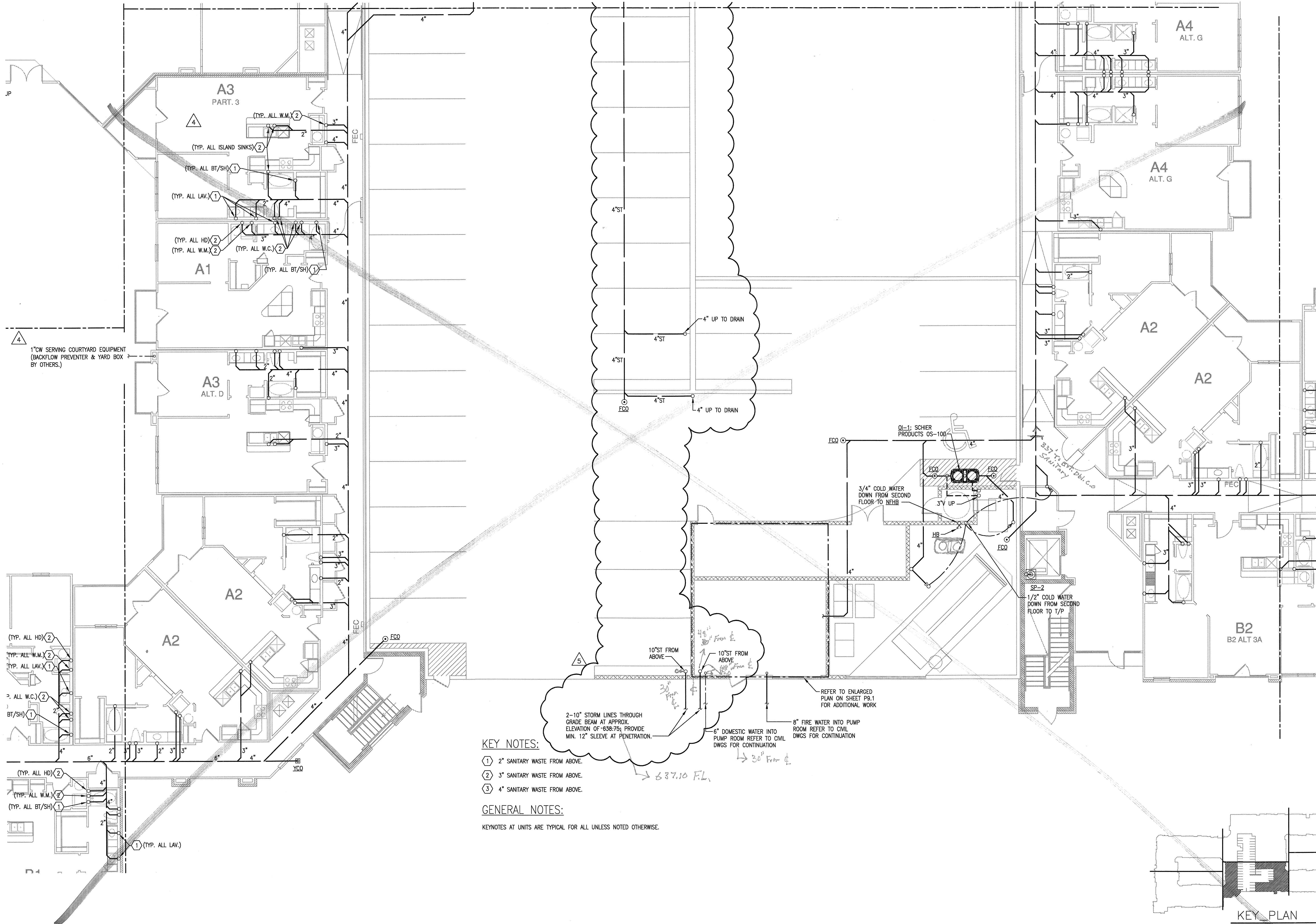
Drawing: P-3.0D
 Cost Impact: None
 Spec Section:
 Schedule Impact: None

Request: Date Required: 1/23/2012
 Sheet P-3.0D shows the OS-100 (oil separator) located in the resident walkway from the garage to the building. I believe this will almost certainly be a tripping hazard, and purpose we move its location to the trash compactor room. I have an attached detail showing the location my plumber and myself think would be an alternative location. Please review and advise.

Requested by: Bryan Pickler
 Embrey Partners, Ltd.

Response:
 JSE takes no exception to the proposed re-location of the oil separator. New location will be reflected on Design Revision plans dated 01-17-2012 (Delta 6).
 Russell Cox - Jordan & Skala

Answered by: _____
 Company: _____ Date: _____



- KEY NOTES:**
- ① 2" SANITARY WASTE FROM ABOVE.
 - ② 3" SANITARY WASTE FROM ABOVE.
 - ③ 4" SANITARY WASTE FROM ABOVE.

GENERAL NOTES:
 KEYNOTES AT UNITS ARE TYPICAL FOR ALL UNLESS NOTED OTHERWISE.

1 DIVISION 'D' UNDERFLOOR PLAN
 SCALE: 1/8" = 1'-0"



REVISIONS

9-2-2011	DESIGN REVISIONS
9-13-2011	ANSI/FHA COMMENTS
9-23-2011	DESIGN REVISIONS
10-17-2011	CONSTRUCTION ISSUE
12-21-2011	DESIGN REVISIONS

KELLER SPRINGS LOFTS
 LOFT APARTMENTS IN ADDISON, TEXAS



4144 N. Central Expy.
 Suite 855
 Dallas, TX 75204
 214.520.8878
 bgoarchitects.com

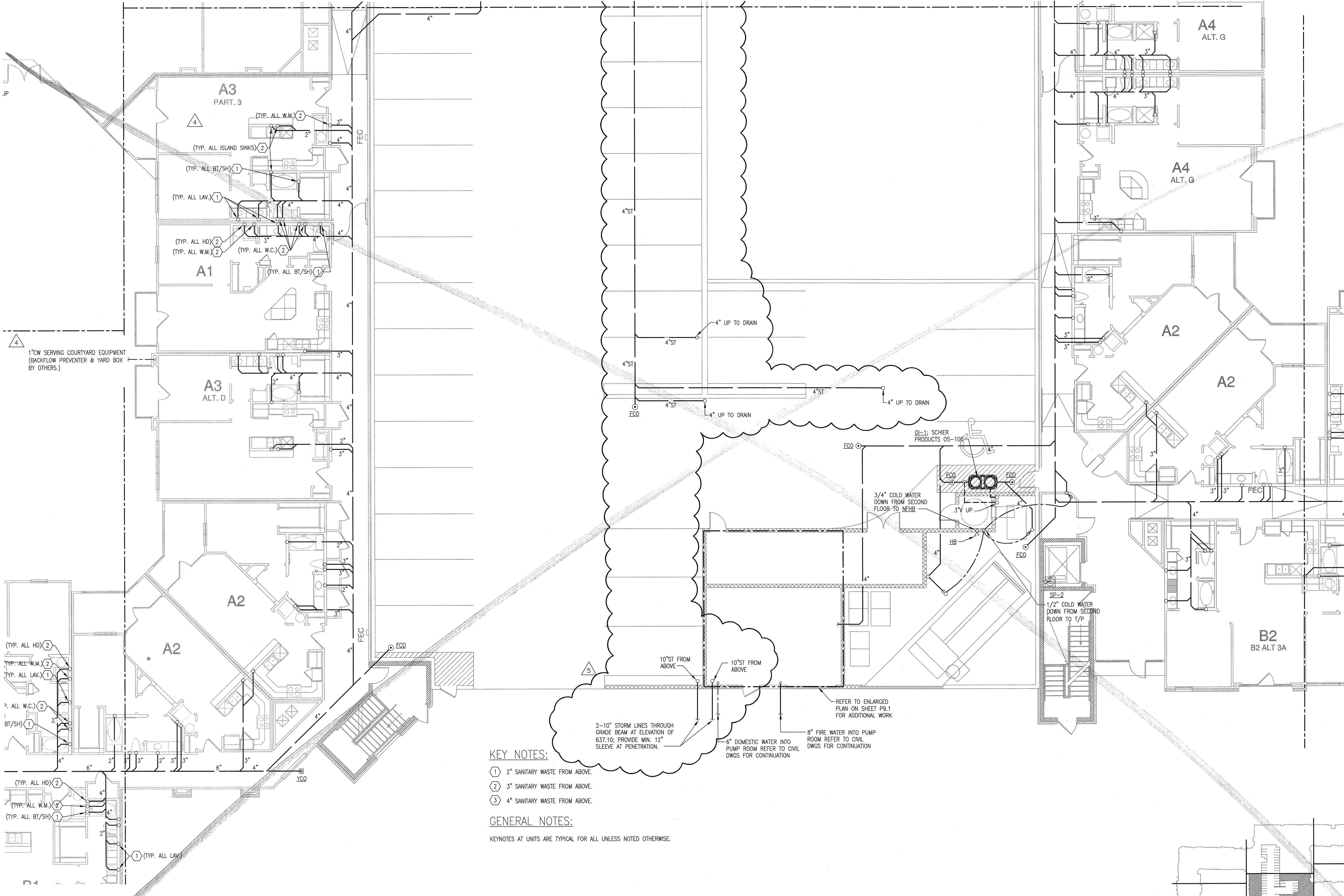
DATE
 08-05-11

PROJECT
 11129

SHEET NUMBER

P-3.0D





KEY NOTES:

- ① 2" SANITARY WASTE FROM ABOVE.
- ② 3" SANITARY WASTE FROM ABOVE.
- ③ 4" SANITARY WASTE FROM ABOVE.

GENERAL NOTES:

KEYNOTES AT UNITS ARE TYPICAL FOR ALL UNLESS NOTED OTHERWISE.

2-10" STORM LINES THROUGH GRADE BEAM AT ELEVATION OF 637.10; PROVIDE MIN. 12" SLEEVE AT PENETRATION.

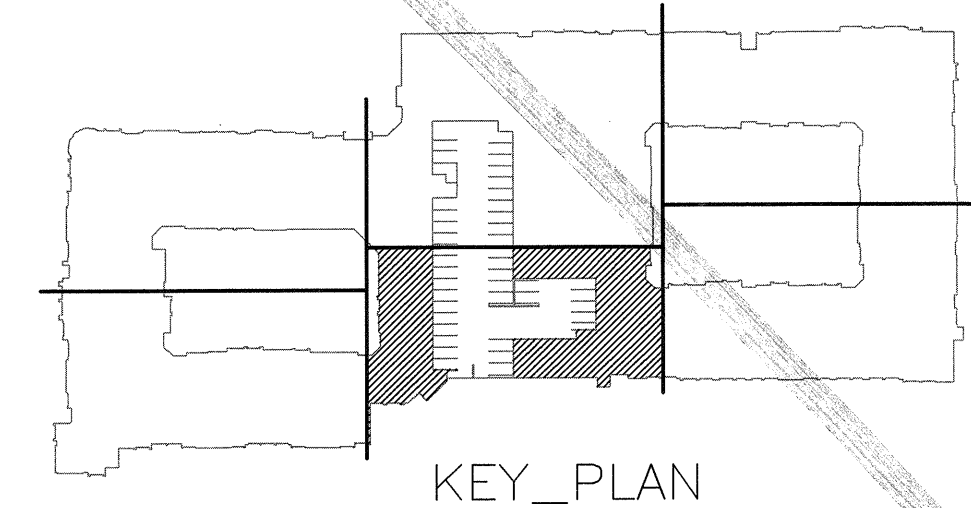
10" ST FROM ABOVE

10" ST FROM ABOVE

6" DOMESTIC WATER INTO PUMP ROOM REFER TO CIVIL DWGS FOR CONTINUATION

8" FIRE WATER INTO PUMP ROOM REFER TO CIVIL DWGS FOR CONTINUATION

REFER TO ENLARGED PLAN ON SHEET P9.1 FOR ADDITIONAL WORK



KEY_PLAN

1 DIVISION 'D' UNDERFLOOR PLAN
SCALE: 1/8" = 1'-0"



REVISIONS		
1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE
5	12-21-2011	DESIGN REVISIONS

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS

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architects
4144 N. Central Expy.
Suite 855
Dallas, TX 75204
214.520.8878
bgoarchitects.com

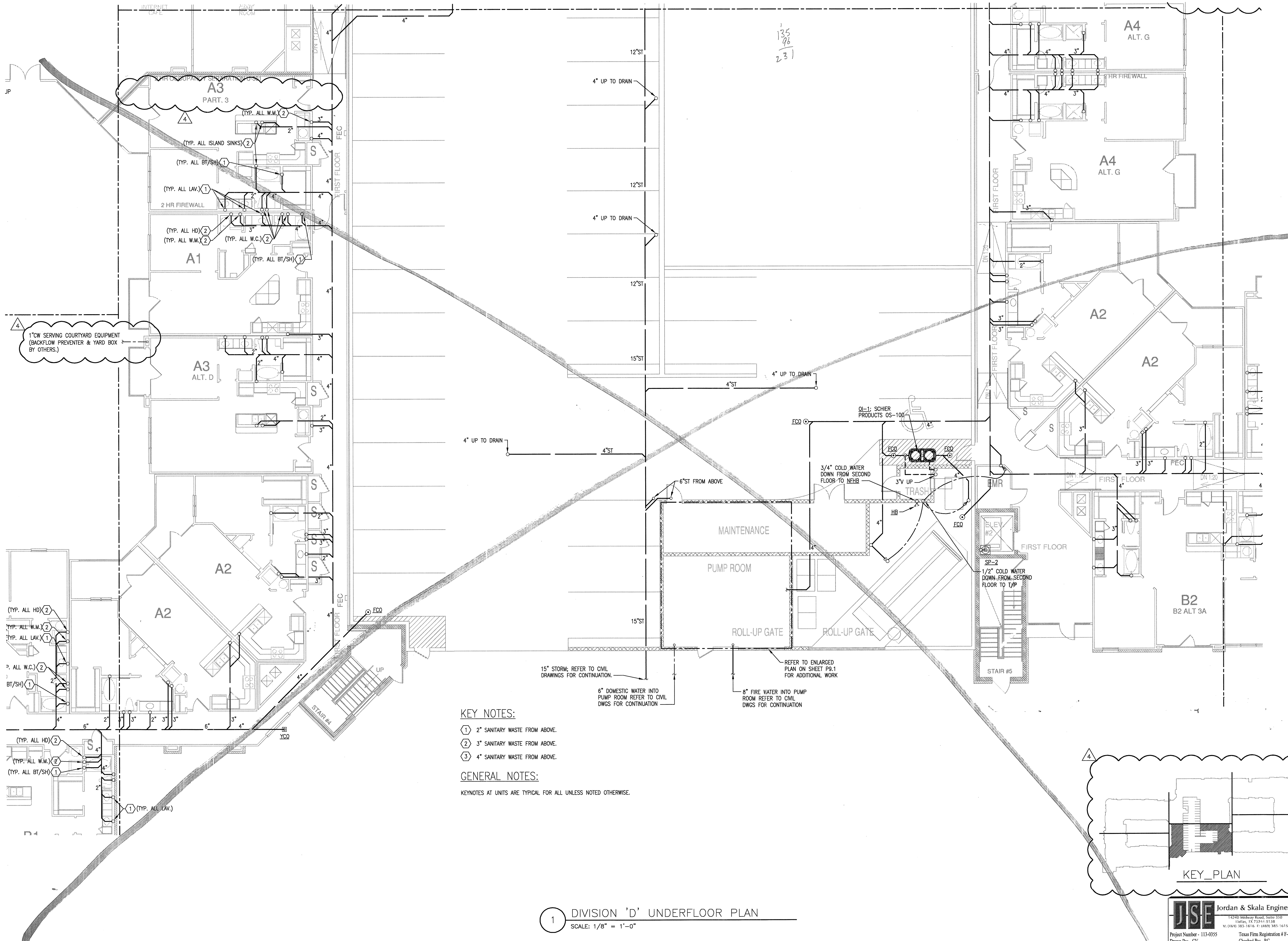
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PROJECT
11129

SHEET NUMBER

P-3.0D

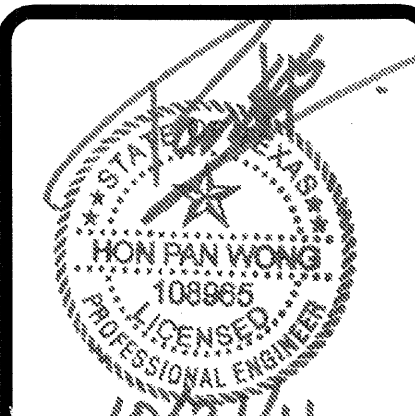
JSE Jordan & Skala Engineers
14510 Midway Road, Suite 370
Dallas, TX 75244-5138
v: (469) 385-1616 f: (469) 385-1615
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: CV Checked By: RC



- KEY NOTES:**
- ① 2" SANITARY WASTE FROM ABOVE.
 - ② 3" SANITARY WASTE FROM ABOVE.
 - ③ 4" SANITARY WASTE FROM ABOVE.

GENERAL NOTES:
 KEYNOTES AT UNITS ARE TYPICAL FOR ALL UNLESS NOTED OTHERWISE.

1 DIVISION 'D' UNDERFLOOR PLAN
 SCALE: 1/8" = 1'-0"



REVISIONS

①	9-2-2011	DESIGN REVISIONS
②	9-13-2011	ANSI/FHA COMMENTS
③	9-23-2011	DESIGN REVISIONS
④	10-17-2011	CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS
 LOFT APARTMENTS IN ADDISON, TEXAS



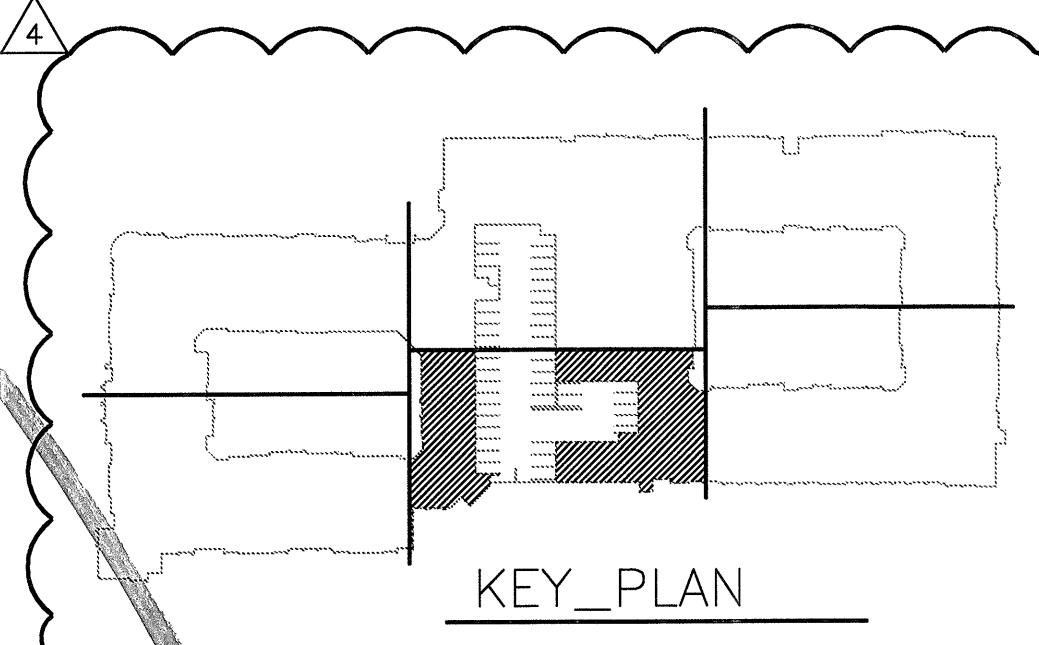
4144 N. Central Expy.
 Suite 855
 Dallas, TX 75204
 214.520.8878
 bgoarchitects.com

DATE
 08-05-11

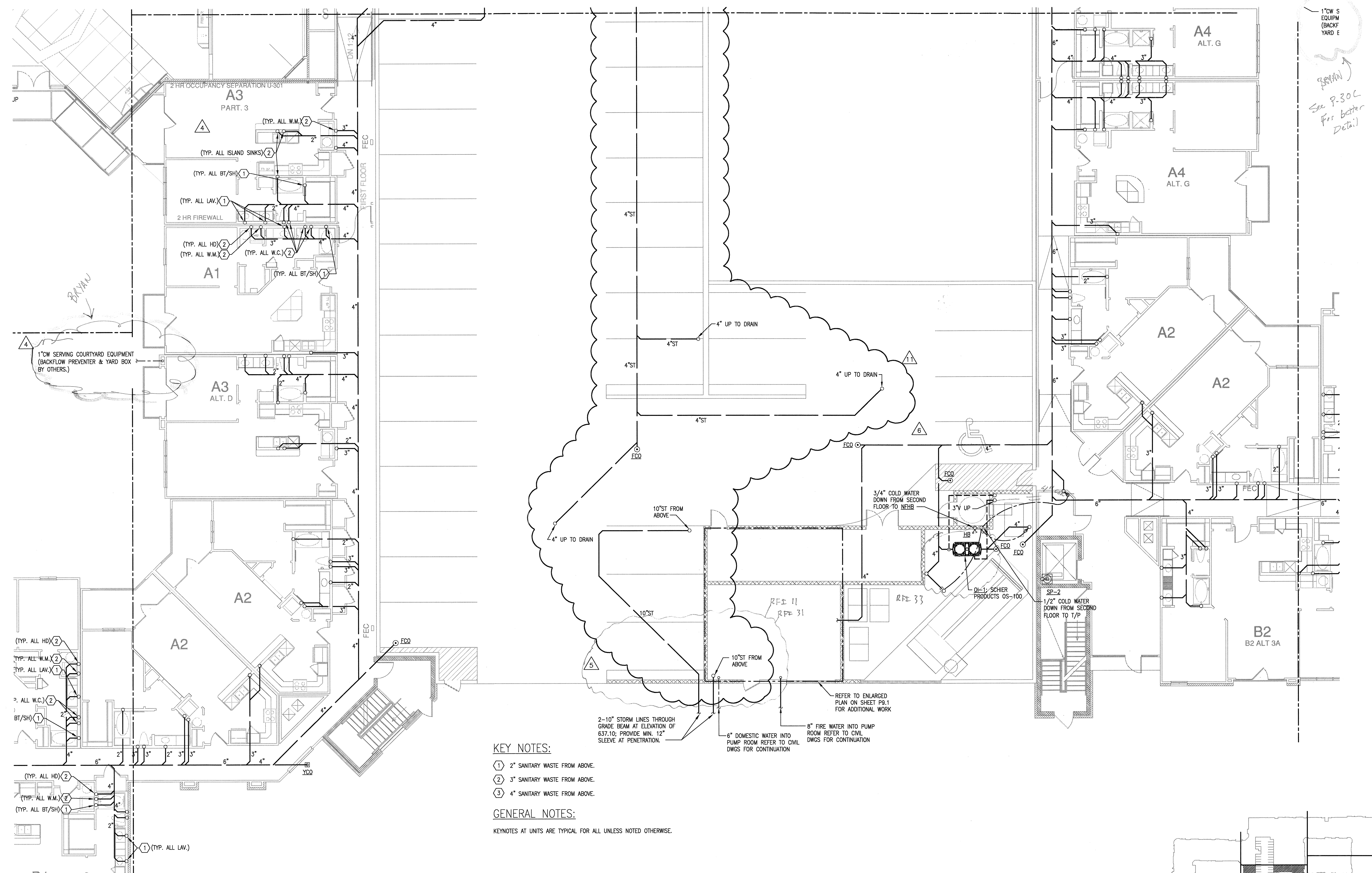
PROJECT
 11129

SHEET NUMBER

P-3.0D



JSE Jordan & Skala Engineers
 14240 Midway Road, Suite 350
 14069, TX 75244-5139
 V: (646) 385-1616 F: (646) 385-1615
 Project Number - 113-0355 Texas Firm Registration # F-4990
 Drawn By: CV Checked By: RC



KEY NOTES:

- ① 2" SANITARY WASTE FROM ABOVE.
- ② 3" SANITARY WASTE FROM ABOVE.
- ③ 4" SANITARY WASTE FROM ABOVE.

GENERAL NOTES:

KEYNOTES AT UNITS ARE TYPICAL FOR ALL UNLESS NOTED OTHERWISE.

2-10" STORM LINES THROUGH GRADE BEAM AT ELEVATION OF 637.10; PROVIDE MIN. 12" SLEEVE AT PENETRATION.

6" DOMESTIC WATER INTO PUMP ROOM REFER TO CIVIL DWGS FOR CONTINUATION

8" FIRE WATER INTO PUMP ROOM REFER TO CIVIL DWGS FOR CONTINUATION

REFER TO ENLARGED PLAN ON SHEET P-3.1 FOR ADDITIONAL WORK

3/4" COLD WATER DOWN FROM SECOND FLOOR TO NEHB

1/2" COLD WATER DOWN FROM SECOND FLOOR TO T/P

1" CW S EQUIPN (BACKFLW YARD E)
 BRYAN
 See P-3.0C For better Detail



REVISIONS		
1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE
5	12-21-2011	DESIGN REVISIONS
6	1-17-2012	DESIGN REVISIONS
7	2-15-2012	TRANSFORMER REVISIONS
8	3-27-2012	CLUBHOUSE REVISIONS
9	4-17-2012	COORDINATION

KELLER SPRINGS LOFTS
 LOFT APARTMENTS IN ADDISON, TEXAS

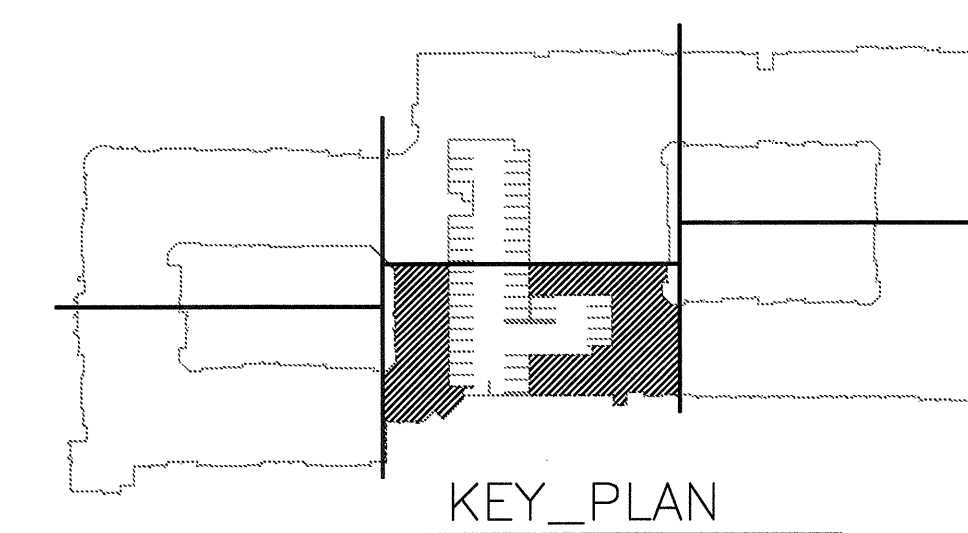
5-15-2012	COORDINATION
5-30-2012	SITE COORDINATION
11	COORDINATION

BGO architects
 4144 N. Central Expy. Suite 855
 Dallas, TX 75204
 214.520.8878
 bgoarchitects.com

DATE
 08-05-11

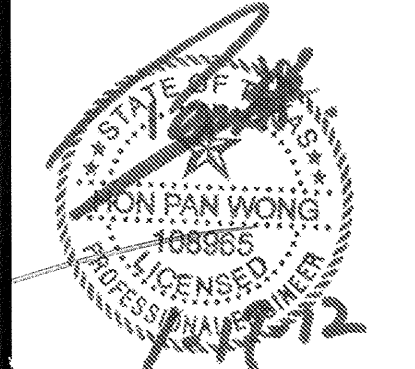
PROJECT
 11129

SHEET NUMBER
 P-3.0D



JSE Jordan & Skala Engineers
 17833 N. Dallas Parkway, Suite 370
 Dallas, TX 75288-6857
 Project Number - 113-0355 Texas Firm Registration # F-4990
 Drawn By: CV Checked By: RC

1 DIVISION 'D' UNDERFLOOR PLAN
 SCALE: 1/8" = 1'-0"



REVISIONS		
1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE
5	12-21-2011	DESIGN REVISIONS
6	1-17-2012	DESIGN REVISIONS

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS



4144 N. Central Expy.
Suite 855
Dallas, TX 75204
214.520.8878
bgoarchitects.com

DATE
08-05-11

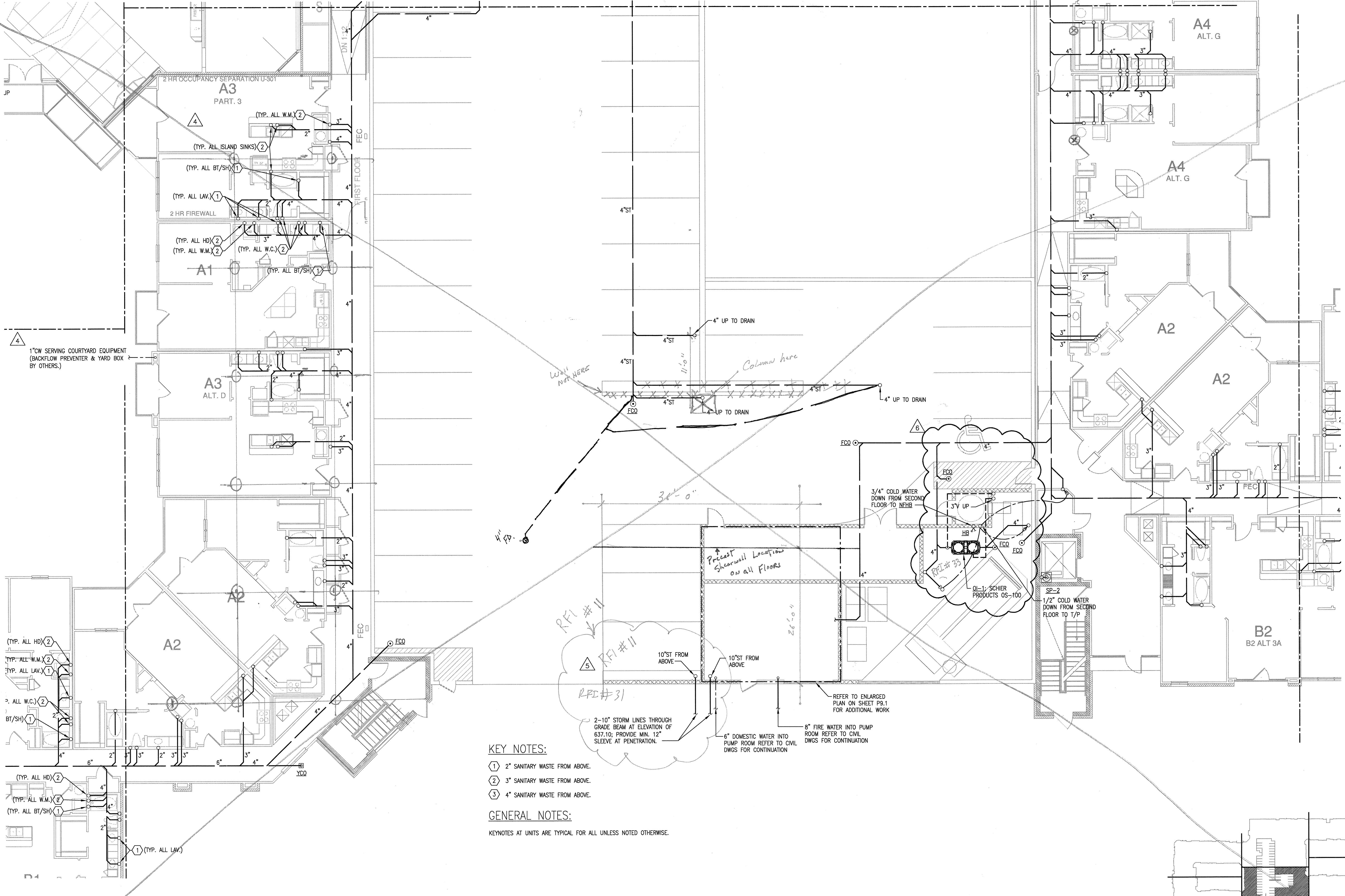
PROJECT
11129

SHEET NUMBER

P-3.0D



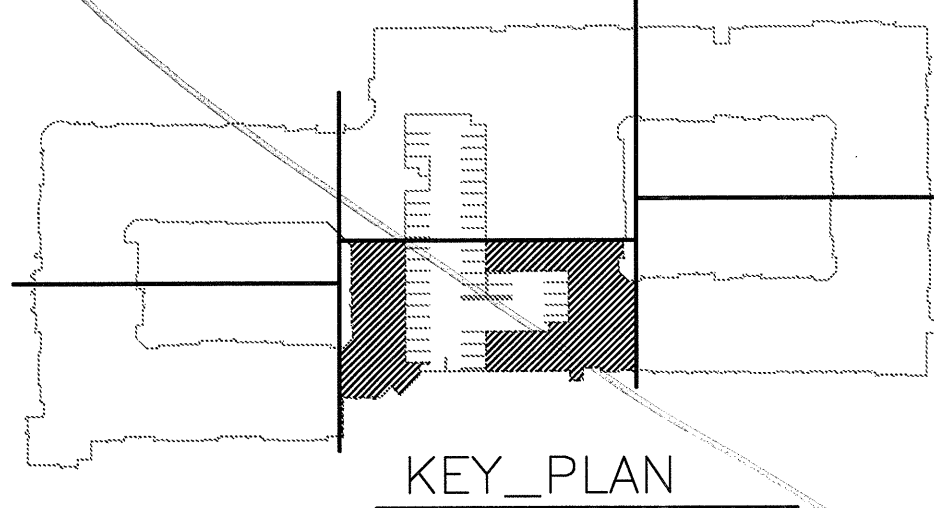
Project Number - 111-0355
Drawn By: CV
14240 Midway Road, Suite 330
Dallas, TX 75244-5138
Tel: (469) 385-1616 Fax: (469) 385-1615
Texas Firm Registration # F-4990
Checked By: RC

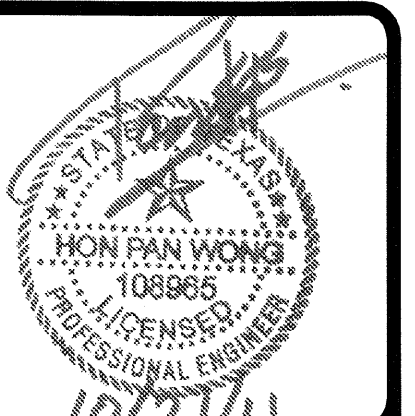


- KEY NOTES:**
- 1 2" SANITARY WASTE FROM ABOVE.
 - 2 3" SANITARY WASTE FROM ABOVE.
 - 3 4" SANITARY WASTE FROM ABOVE.

GENERAL NOTES:
KEYNOTES AT UNITS ARE TYPICAL FOR ALL UNLESS NOTED OTHERWISE.

1 DIVISION 'D' UNDERFLOOR PLAN
SCALE: 1/8" = 1'-0"





REVISIONS

1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS
 LOFT APARTMENTS IN ADDISON, TEXAS

BGO
 architects
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 214.520.8878
 bgoarchitects.com

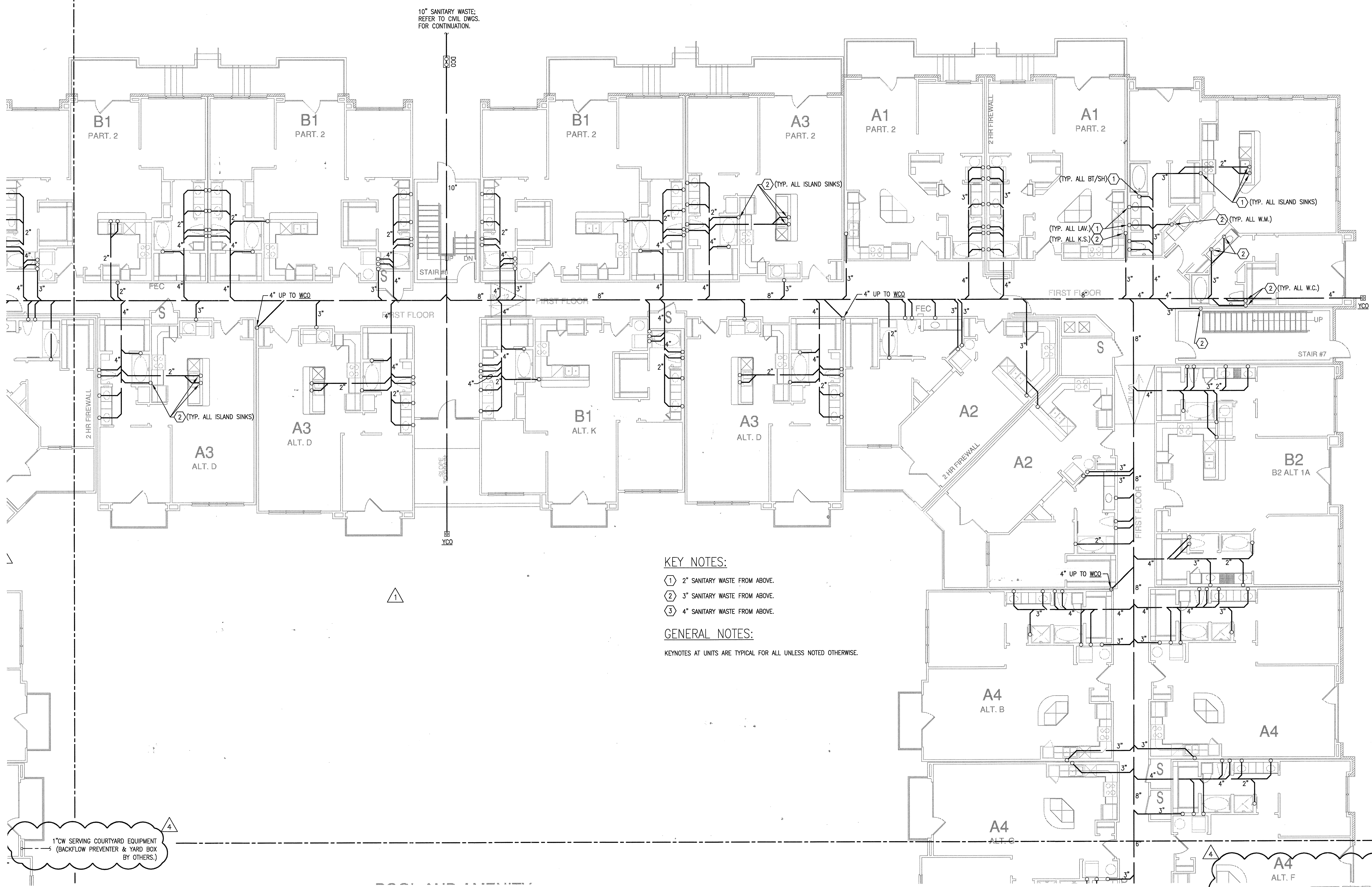
DATE
 08-05-11

PROJECT
 11129

SHEET NUMBER

P-3.0E

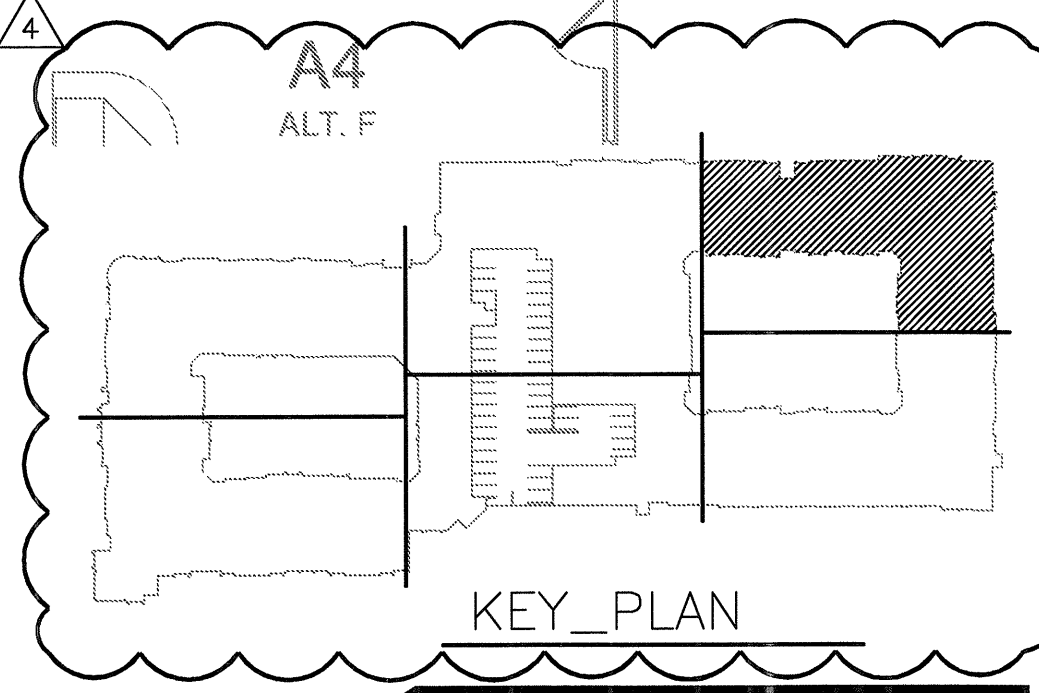
JSE Jordan & Skala Engineers
 14240 Midway Road, Suite 350
 Dallas, TX 75244-5138
 V: (469) 383-1616 F: (469) 383-1615
 Project Number - 113-0355 Texas Firm Registration # F-4990
 Drawn By: CV Checked By: RC



KEY NOTES:
 ① 2" SANITARY WASTE FROM ABOVE.
 ② 3" SANITARY WASTE FROM ABOVE.
 ③ 4" SANITARY WASTE FROM ABOVE.

GENERAL NOTES:
 KEYNOTES AT UNITS ARE TYPICAL FOR ALL UNLESS NOTED OTHERWISE.

1" CW SERVING COURTYARD EQUIPMENT
 (BACKFLOW PREVENTER & YARD BOX
 BY OTHERS.)



1 DIVISION 'E' UNDERFLOOR PLAN
 SCALE: 1/8" = 1'-0"

1/2 SERVING COURTYARD EQUIPMENT
(CHECKFLOW PREVENTER & YARD BOX
BY OTHERS.)

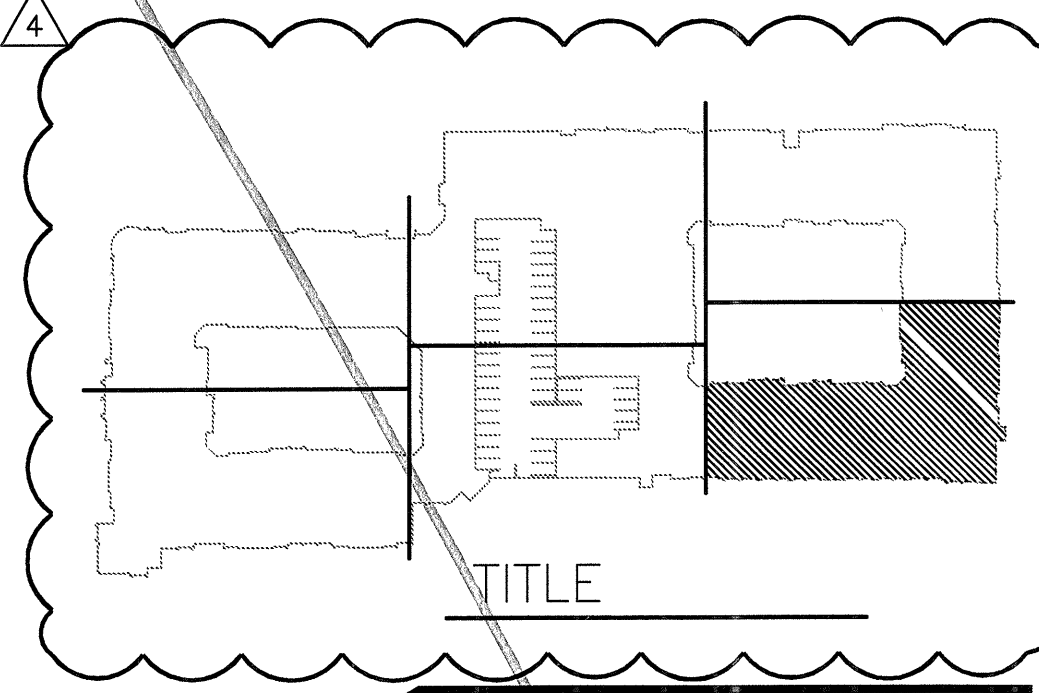
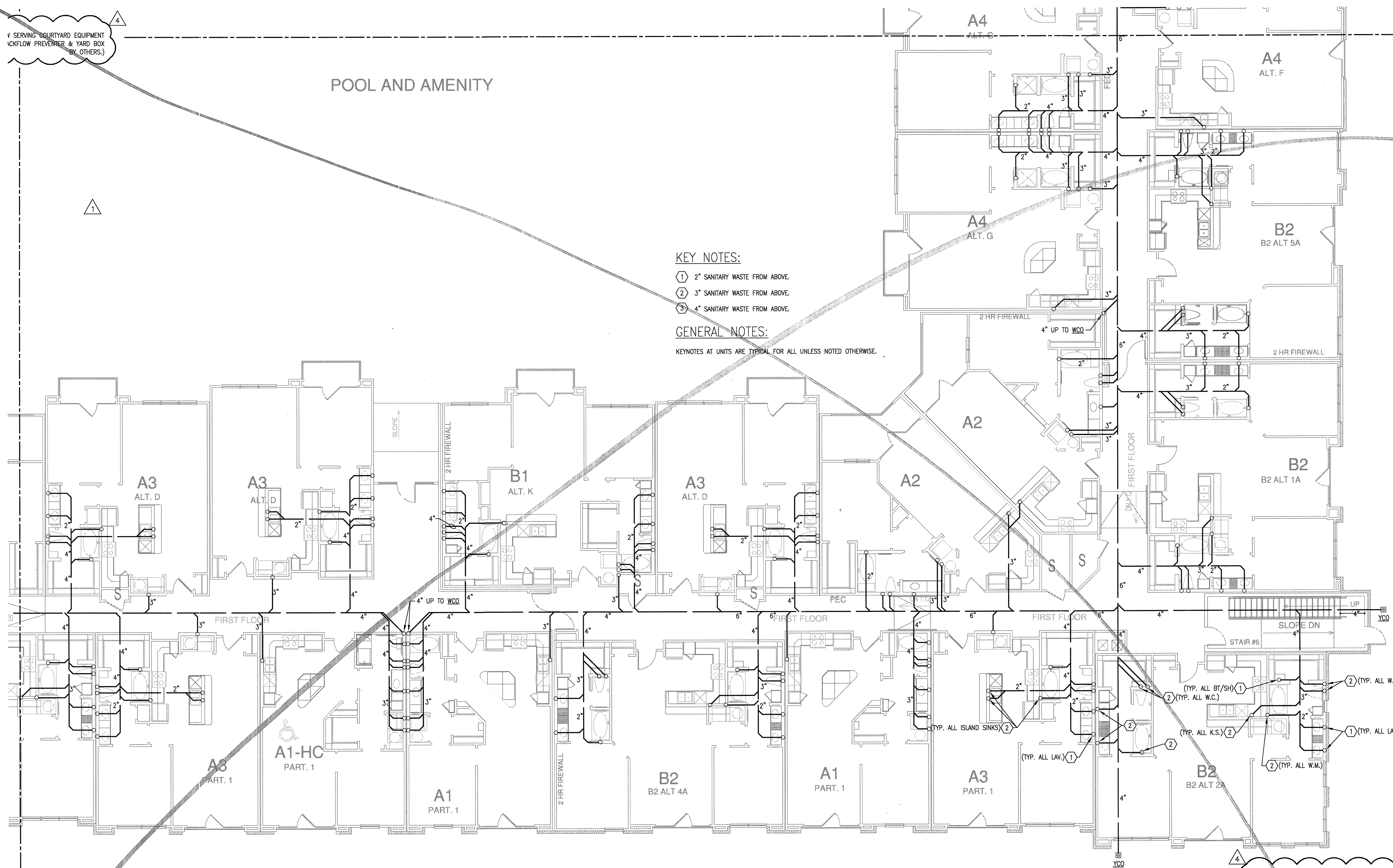
POOL AND AMENITY

KEY NOTES:

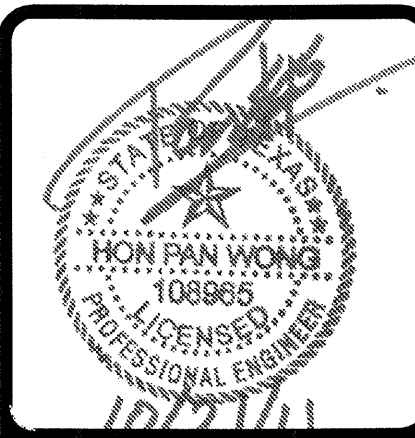
- ① 2" SANITARY WASTE FROM ABOVE.
- ② 3" SANITARY WASTE FROM ABOVE.
- ③ 4" SANITARY WASTE FROM ABOVE.

GENERAL NOTES:

KEYNOTES AT UNITS ARE TYPICAL FOR ALL UNLESS NOTED OTHERWISE.



1 DIVISION 'F' UNDERFLOOR PLAN
SCALE: 1/8" = 1'-0"



REVISIONS		
①	9-2-2011	DESIGN REVISIONS
②	9-13-2011	ANSI/FHA COMMENTS
③	9-23-2011	DESIGN REVISIONS
④	10-17-2011	CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS
 LOFT APARTMENTS IN ADDISON, TEXAS

BGO
 architects
 4144 N. Central Expy.
 Suite 855
 Dallas, TX 75204
 214.520.8878
 bgearchitects.com

DATE
08-05-11

PROJECT
11129

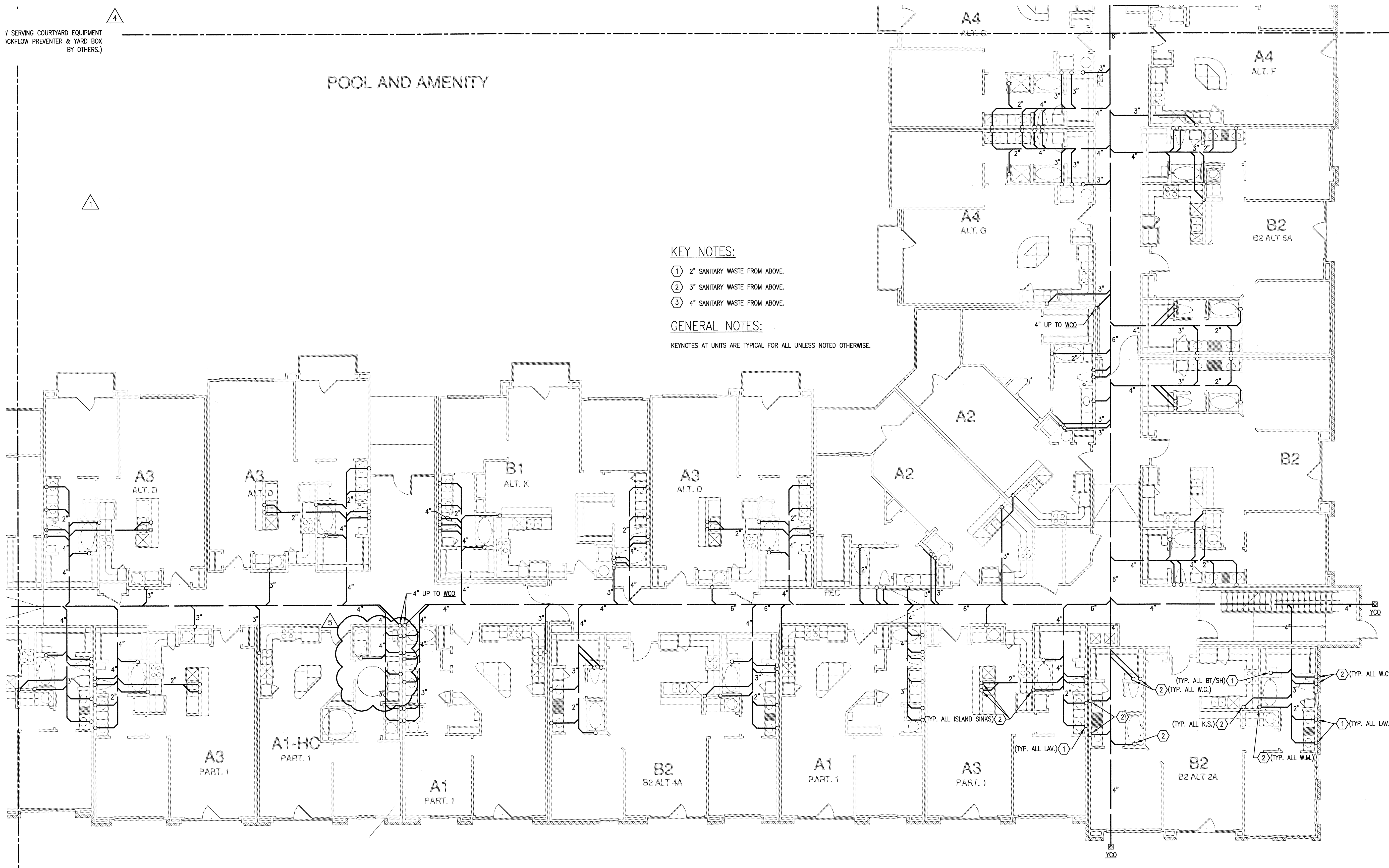
SHEET NUMBER

P-3.OF

JSE Jordan & Skala Engineers
 14240 Midway Road, Suite 350
 Dallas, TX 75244-5139
 V: (646) 385-1616 F: (646) 385-1615
 Project Number - 113-0355 Texas Firm Registration # F-4990
 Drawn By: CV Checked By: RC

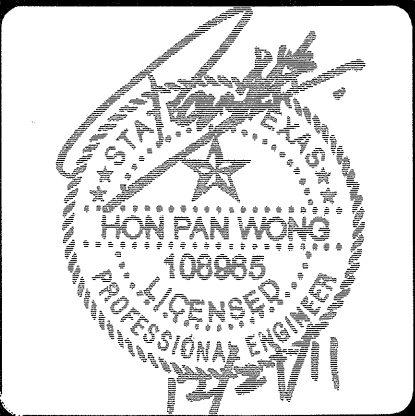
4
SERVING COURTYARD EQUIPMENT
(BACKFLOW PREVENTER & YARD BOX
BY OTHERS.)

POOL AND AMENITY



KEY NOTES:
 ① 2" SANITARY WASTE FROM ABOVE.
 ② 3" SANITARY WASTE FROM ABOVE.
 ③ 4" SANITARY WASTE FROM ABOVE.

GENERAL NOTES:
 KEYNOTES AT UNITS ARE TYPICAL FOR ALL UNLESS NOTED OTHERWISE.



REVISIONS

①	9-2-2011	DESIGN REVISIONS
②	9-13-2011	ANSI/FHA COMMENTS
③	9-23-2011	DESIGN REVISIONS
④	10-17-2011	CONSTRUCTION ISSUE
⑤	12-21-2011	DESIGN REVISIONS

KELLER SPRINGS LOFTS
 LOFT APARTMENTS IN ADDISON, TEXAS

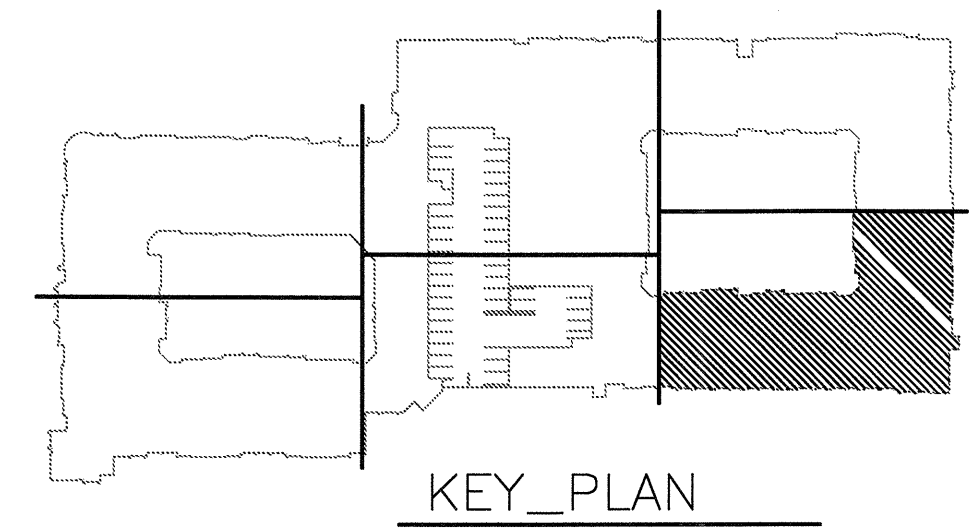
BGO architects
 4144 N. Central Expy.
 Suite 855
 Dallas, TX 75204
 214.520.8878
 bgoarchitects.com

DATE
 08-05-11

PROJECT
 11129

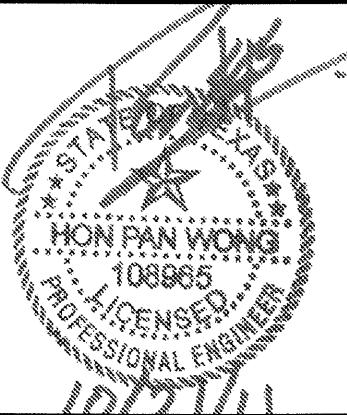
SHEET NUMBER

P-3.0F



1 DIVISION 'F' UNDERFLOOR PLAN
 SCALE: 1/8" = 1'-0"

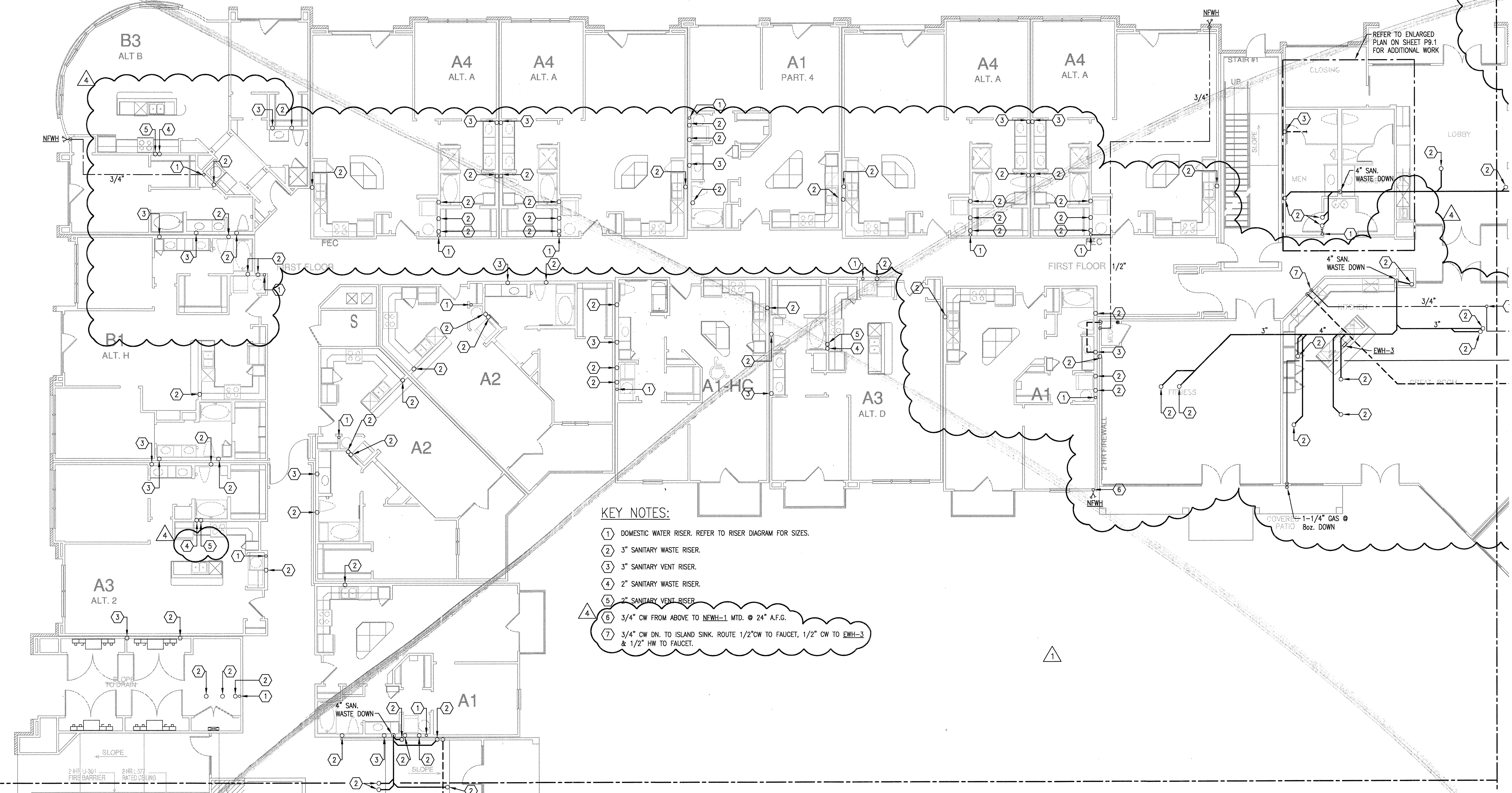
JSE Jordan & Skala Engineers
 14240 Midway Road, Suite 310
 Dallas, TX 75244-5138
 Tel: (469) 385-1616 F: (469) 385-1615
 Project Number - 113-035 Texas Firm Registration # F-4990
 Drawn By: CV Checked By: RC



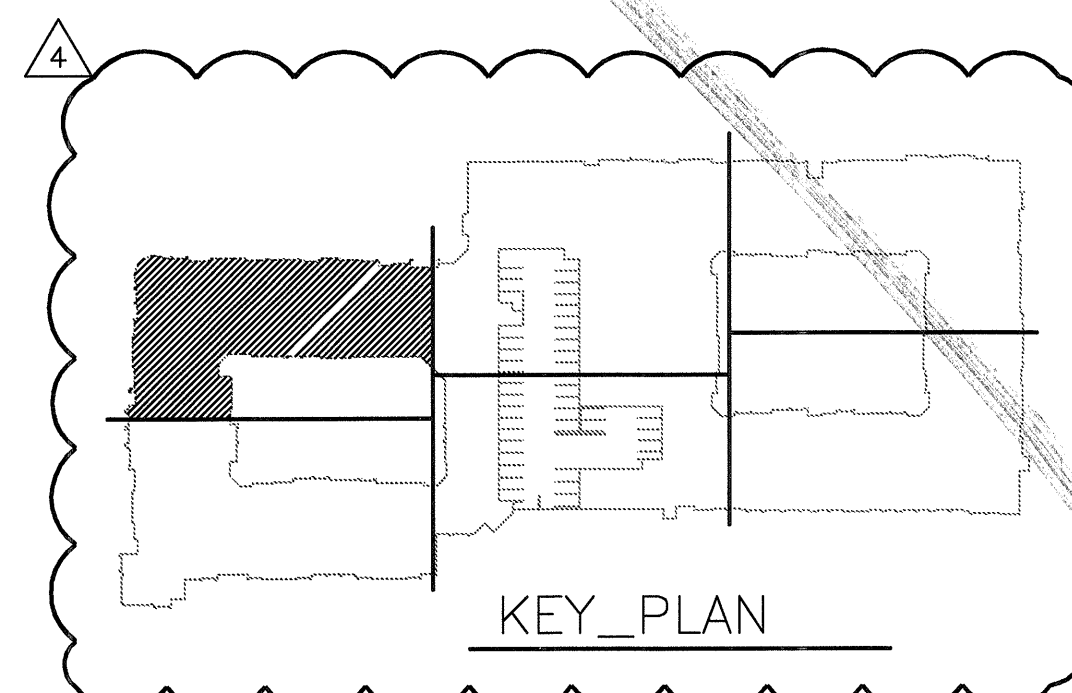
REVISIONS	
1	9-2-2011 DESIGN REVISIONS
2	9-13-2011 ANSI/FHA COMMENTS
3	9-23-2011 DESIGN REVISIONS
4	10-17-2011 CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS



- KEY NOTES:**
- 1 DOMESTIC WATER RISER. REFER TO RISER DIAGRAM FOR SIZES.
 - 2 3" SANITARY WASTE RISER.
 - 3 3" SANITARY VENT RISER.
 - 4 2" SANITARY WASTE RISER.
 - 5 2" SANITARY VENT RISER.
 - 6 3/4" CW FROM ABOVE TO NEWH-1 MTD. @ 24" A.F.G.
 - 7 3/4" CW DN. TO ISLAND SINK. ROUTE 1/2" CW TO FAUCET, 1/2" CW TO EWH-3 & 1/2" HW TO FAUCET.



1 DIVISION 'A' FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

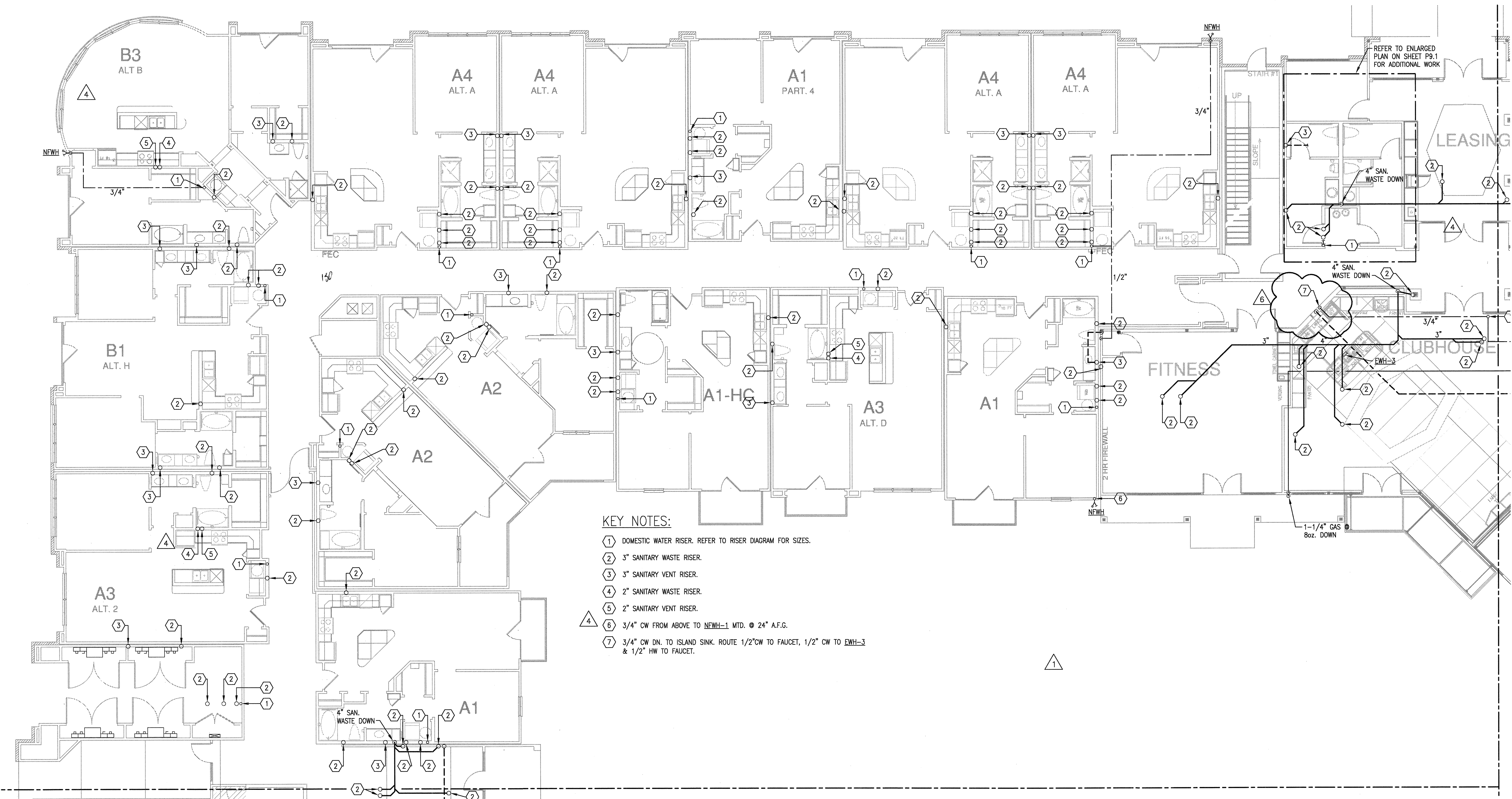
JSE Jordan & Skala Engineers
14240 Midway Road, Suite 350
Dallas, TX 75244-5138
V: (469) 383-1616 F: (469) 383-1615
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: CV Checked By: RC

BGO architects
4144 N. Central Expy.
Suite 855
Dallas, TX 75204
214.520.8878
bgoarchitects.com

DATE	08-05-11
PROJECT	11129
SHEET NUMBER	P-3.1A



REVISIONS		
1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE
5	12-21-2011	DESIGN REVISIONS
6	1-17-2012	DESIGN REVISIONS



- KEY NOTES:**
- 1 DOMESTIC WATER RISER. REFER TO RISER DIAGRAM FOR SIZES.
 - 2 3" SANITARY WASTE RISER.
 - 3 3" SANITARY VENT RISER.
 - 4 2" SANITARY WASTE RISER.
 - 5 2" SANITARY VENT RISER.
 - 6 3/4" CW FROM ABOVE TO NEWH-1 MTD. @ 24" A.F.G.
 - 7 3/4" CW DN. TO ISLAND SINK. ROUTE 1/2" CW TO FAUCET, 1/2" CW TO EWH-3 & 1/2" HW TO FAUCET.

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS

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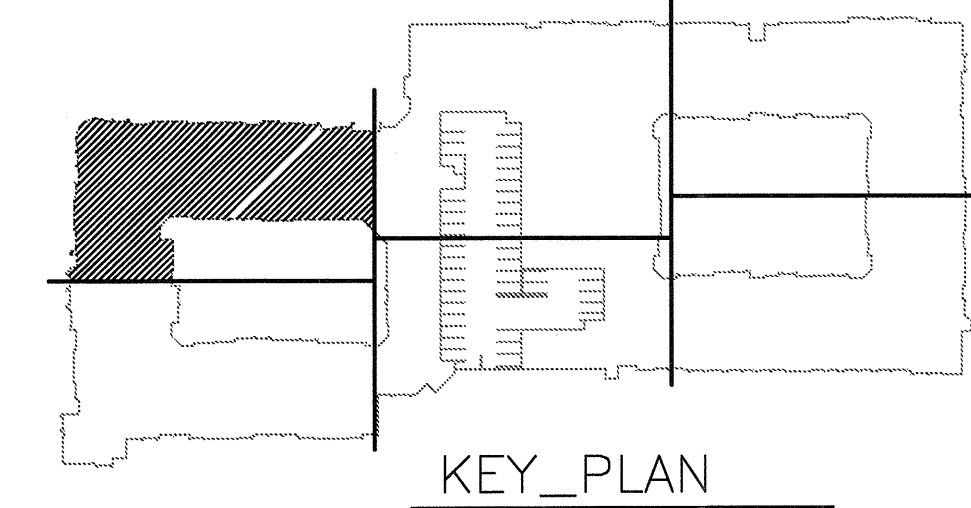
4144 N. Central Expy.
Suite 855
Dallas, TX 75204
214.520.8878
bgoarchitects.com

DATE
08-05-11

PROJECT
11129

SHEET NUMBER

P-3.1A

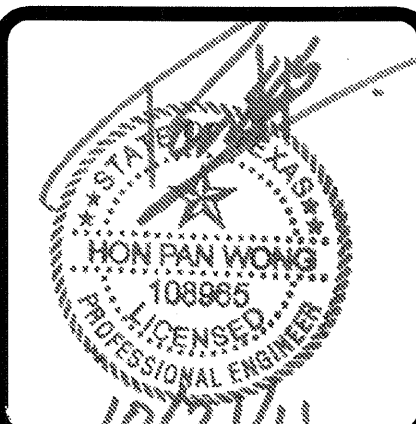


1 DIVISION 'A' FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

JSE Jordan & Skala Engineers

14240 Midway Road, Suite 350
Dallas, TX 75244-5138
V: (469) 385-1616 F: (469) 385-1615

Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: CV Checked By: RC



REVISIONS		
1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS

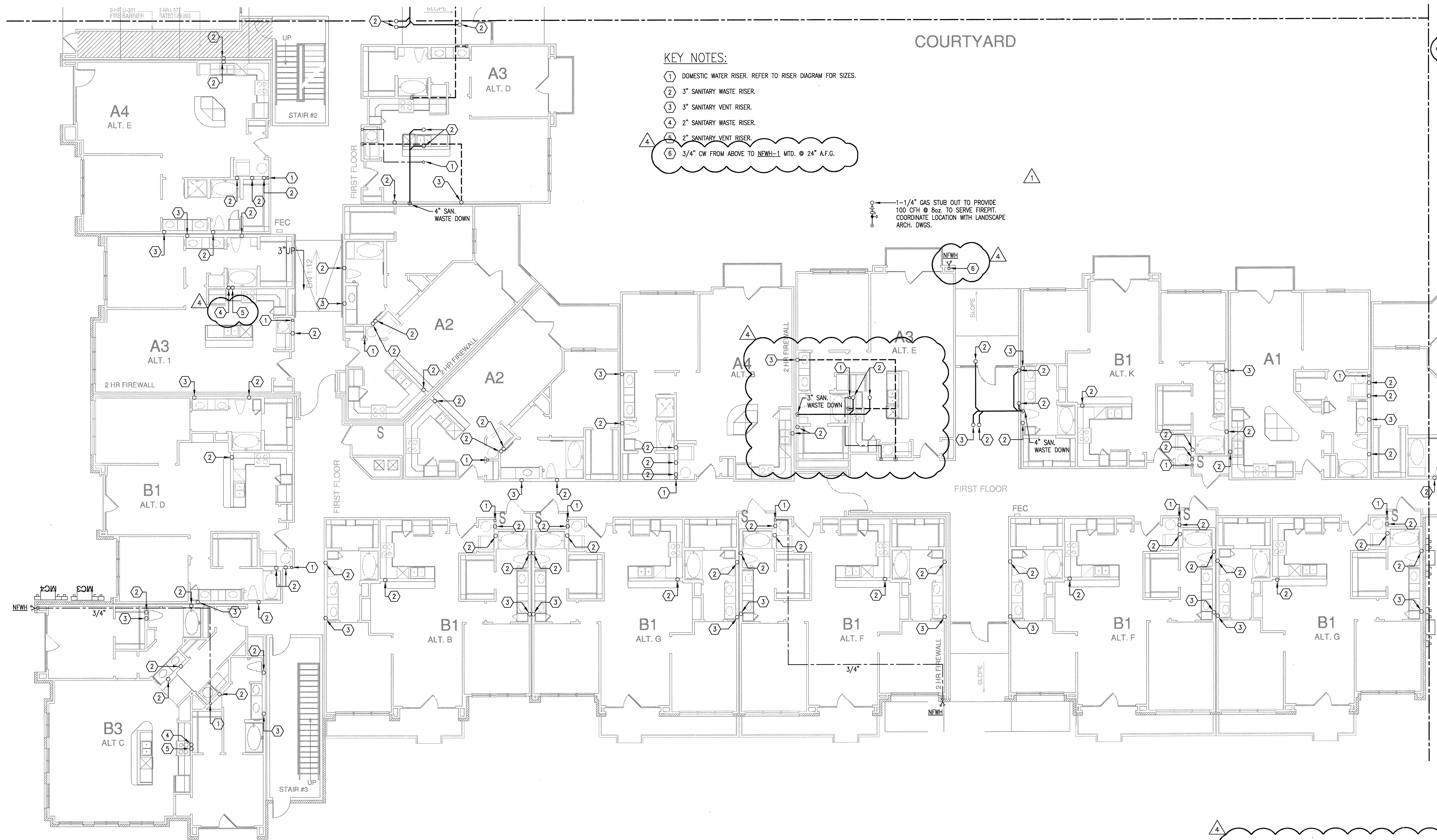
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architects
4144 N. Central Expy.
Suite 855
Dallas, TX 75204
214.520.8878
bgoarchitects.com

DATE
08-05-11

PROJECT
11129

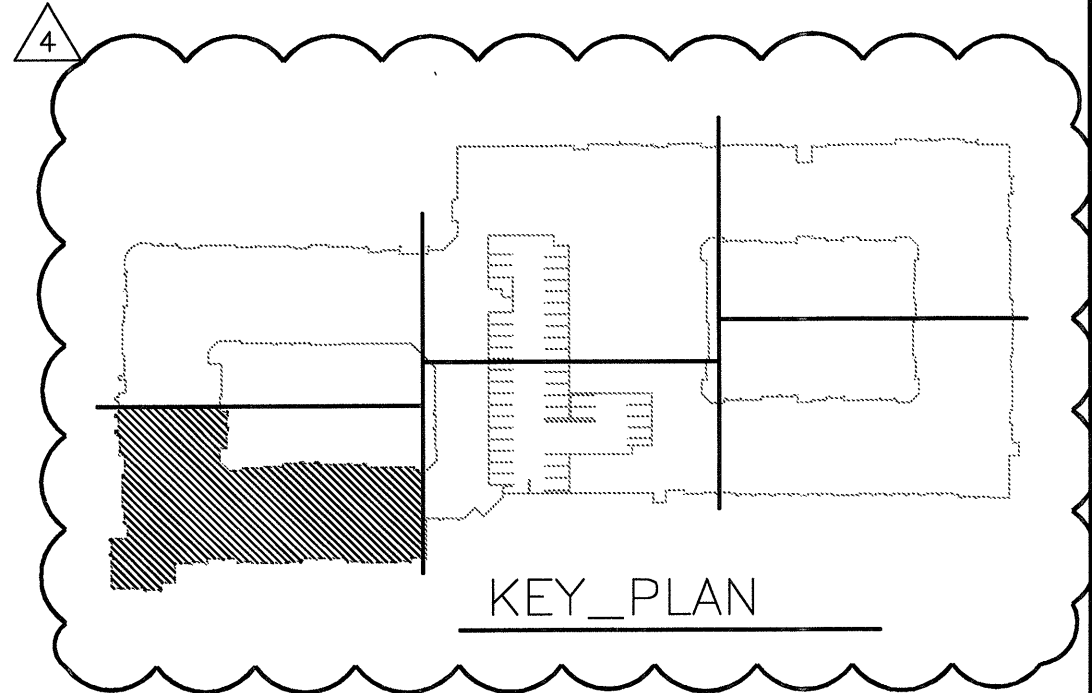
SHEET NUMBER

P-3.1B



- KEY NOTES:**
- 1 DOMESTIC WATER RISER. REFER TO RISER DIAGRAM FOR SIZES.
 - 2 3" SANITARY WASTE RISER.
 - 3 3" SANITARY VENT RISER.
 - 4 2" SANITARY WASTE RISER.
 - 5 2" SANITARY VENT RISER.
 - 6 3/4" CW FROM ABOVE TO NEWH-1 MTD. @ 24" A.F.G.

1-1/4" GAS STUB OUT TO PROVIDE 100 CFH @ 8oz. TO SERVE FIREPIT. COORDINATE LOCATION WITH LANDSCAPE ARCH. DWGS.



1 DIVISION 'B' FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

JSE Jordan & Skala Engineers
14240 Midway Road, Suite 330
Dallas, TX 75244-5138
V: (469) 385-1616 F: (469) 385-1615
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: CV Checked By: RC

EMBREY BUILDERS, LLC.
1020 N. E. Loop 410, Suite 700
San Antonio, TX 78209
Ph: (210) 824-6044 Fax: (210) 824-7656

RFI

To: Jordan & Skala Engineers, Inc.
14240 Midway Road, Suite 350
Dallas, TX 75244
Ph: 469/385-1616 Fax: 469/385-1615

RFI #: 73
Date: 3/12/2012
Job: EB-02 Keller Springs Lofts
Phone: 877-777-5115

CC: David Gallagher (Embrey Builders LLC)

Subject: Proper location of gas meter

Drawing: C10 P-3.1C **Spec Section:**
Cost Impact: None **Schedule Impact:** None

Request: **Date Required:** 3/12/2012
The location for the gas meter appears to have changed from its original location reflected on C 10 on the Civil Plans. The new location appears on the Jordan Skala SK-P1 dated 01-19-2012. It is on a completely different part of the building from C 10 and slightly different than P-3.1C. Attached is SK # 1 which is where it's located on C 10. SK # 2 reflects where I feel it is intended to be located. SK-P1 is the revised sketch by Jordan Skala locating it where we believe it is supposed to go. I need confirmation that it does go the way I show it on SK #2 and as shown on SK-P1. Like I said, I need the surveyors to stake the proper location tomorrow.

Requested by: Bryan Pickler
Embrey Partners, Ltd.

Response:
The gas meter should be located in the spots shown on SK#2 and SK-P1.

Heath Parnell

Answered by JSE	3-12-2012
Company	Date

Page 1 of 1

Embrey Builders, LLC
1020 N. E. Loop 410, Suite 700
San Antonio, TX 78209
Ph: (210) 824-6044 Fax: (210) 824-7656

RFI

To: Heath Parnell
Jordan & Skala Engineers, Inc.
14240 Midway Road, Suite 350
Dallas, TX 75244
Ph: 469/385-1616 Fax: 469/385-1615

RFI #: 184
Date: 8/23/2012
Job: EB-02 Keller Springs Lofts
Phone: 877-777-5115

CC:

Subject: New route of the domestic water line from the garage

Drawing: P-3.1C P-3.1D **Spec Section:**
Cost Impact: None **Schedule Impact:** None

Request: **Date Required:** 8/24/2012
We are requesting approval to run the domestic water shown on P-3.2D (2nd level) on the 1st level which is reflected on the attached sketches using sheet P-3.1D. Embrey working with our plumbing contractor (Performance Mechanical) has come up with a working location sketch that we feel will work best. Please review the self-explanatory sketches and approve our new route so we can proceed.

Requested by: Bryan Pickler
Embrey Partners, Ltd.

Response:
the proposed revision is acceptable

Answered by: Heath Parnell
Jordan & Skala Engineers, Inc. **Answered date:** August 24, 2012

Page 1 of 1

EMBREY BUILDERS, LLC.

1020 N. E. Loop 410, Suite 700
San Antonio, TX 78209
Ph: (210) 824-6044 Fax: (210) 824-7656

RFI

To: Jordan & Skala Engineers, Inc.
14240 Midway Road, Suite 350
Dallas, TX 75244
Ph: 469/385-1616 Fax: 469/385-1615

RFI #: 73
Date: 3/12/2012
Job: EB-02 Keller Springs Lofts
Phone: 877-777-5115

CC: David Gallagher (Embrey Builders LLC)

Subject: Proper location of gas meter

Drawing: C10 P-3.1C
Cost Impact: None

Spec Section:
Schedule Impact: None

Request: **Date Required: 3/12/2012**
The location for the gas meter appears to have changed from its original location reflected on C 10 on the Civil Plans. The new location appears on the Jordan Skala SK-P1 dated 01-19-2012. It is on a completely different part of the building from C 10 and slightly different than P-3.1C. Attached is SK # 1 which is where it's located on C 10. SK # 2 reflects where I feel it is intended to be located. SK-P1 is the revised sketch by Jordan Skala locating it where we believe it is supposed to go. I need confirmation that it does go the way I show it on SK #2 and as shown on SK-P1. Like I said, I need the surveyors to stake the proper location tomorrow.

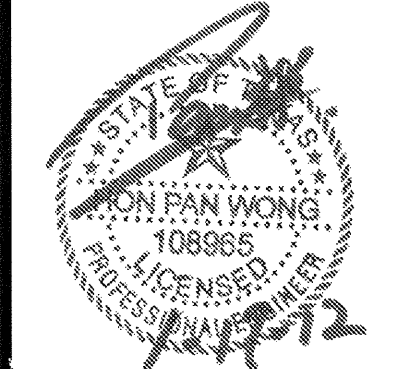
Requested by: Bryan Pickler
Embrey Partners, Ltd.

Response:
The gas meter should be located in the spots shown on SK#2 and SK-P1.

Heath Parnell

Answered by: JSS 3-12-2012

Company: Date



REVISIONS		
1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE
5	12-21-2011	DESIGN REVISIONS
6	1-17-2012	DESIGN REVISIONS

KELLER SPRINGS LOFTS
 LOFT APARTMENTS IN ADDISON, TEXAS



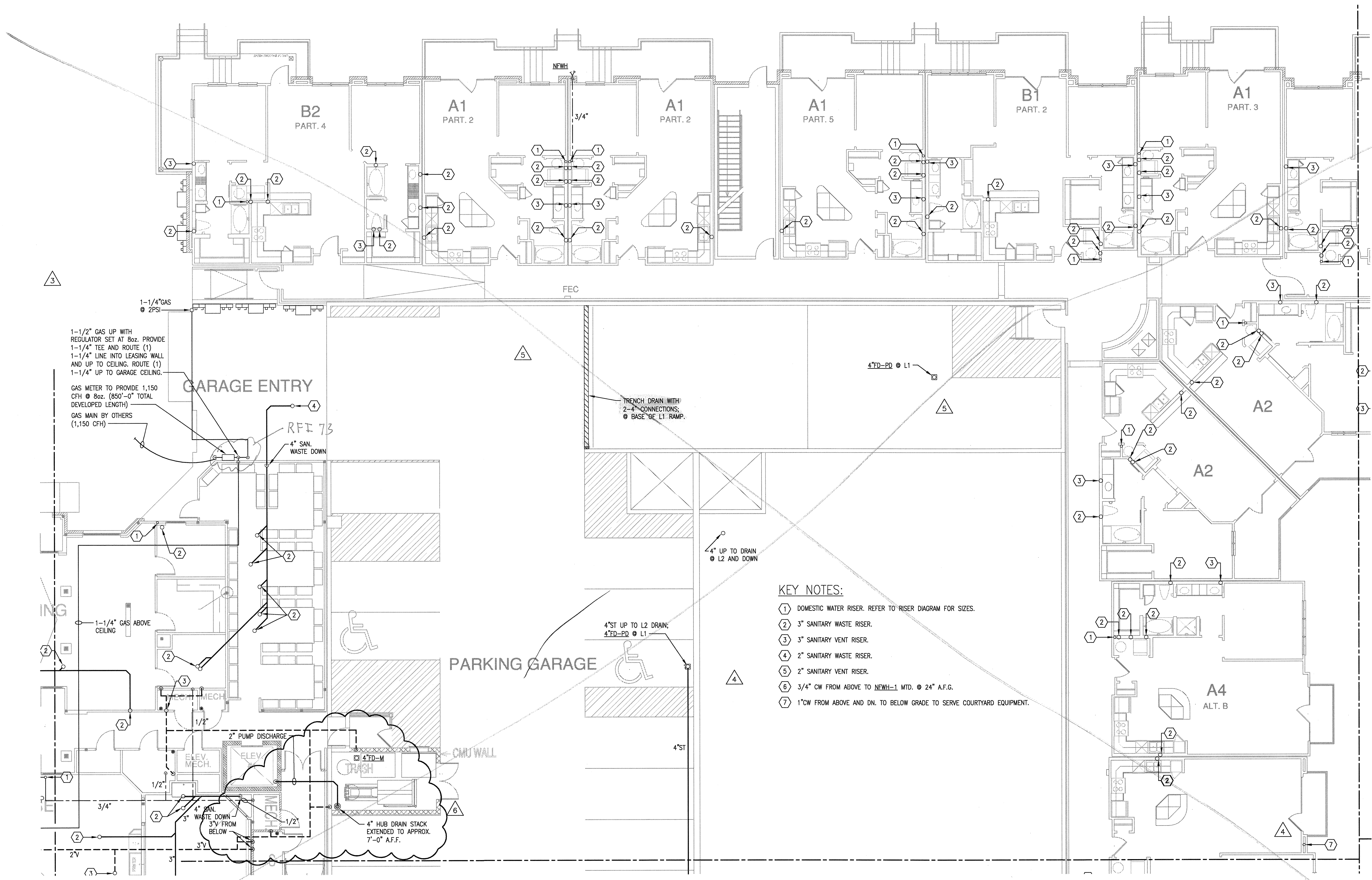
4144 N. Central Expy.
 Suite 855
 Dallas, TX 75204
 214.520.8878
 bgoarchitects.com

DATE
 08-05-11

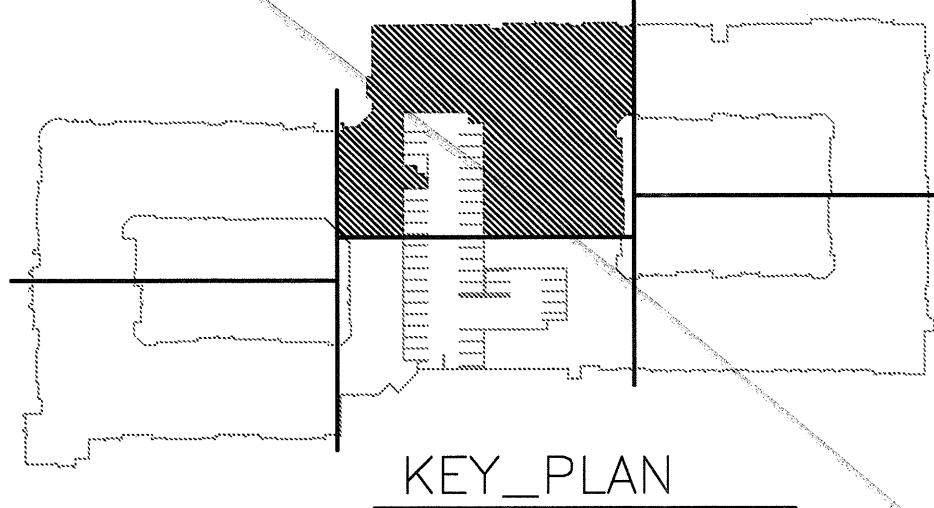
PROJECT
 11129

SHEET NUMBER

P-3.1C



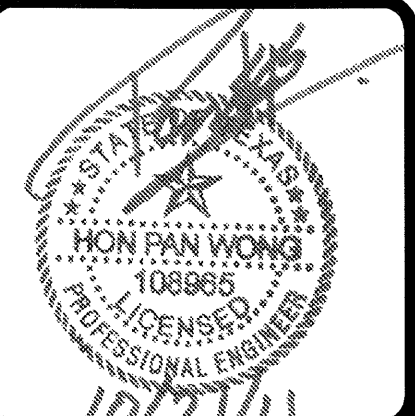
- KEY NOTES:**
- 1 DOMESTIC WATER RISER. REFER TO RISER DIAGRAM FOR SIZES.
 - 2 3" SANITARY WASTE RISER.
 - 3 3" SANITARY VENT RISER.
 - 4 2" SANITARY WASTE RISER.
 - 5 2" SANITARY VENT RISER.
 - 6 3/4" CW FROM ABOVE TO NEWH-1 MTD. @ 24" A.F.G.
 - 7 1" CW FROM ABOVE AND DN. TO BELOW GRADE TO SERVE COURTYARD EQUIPMENT.



KEY_PLAN

1 DIVISION 'C' FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"

USE Jordan & Skala Engineers
 14240 Midway Road, Suite 330
 Dallas, TX 75244-5139
 Tel: (469) 385-1616, Fax: (469) 385-1615
 Project Number - 113-0355 Texas Firm Registration # F-4990
 Drawn By: CV Checked By: RC



REVISIONS	
1	9-2-2011 DESIGN REVISIONS
2	9-13-2011 ANSI/FHA COMMENTS
3	9-23-2011 DESIGN REVISIONS
4	10-17-2011 CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS



4144 N. Central Expy.
Suite 855
Dallas, TX 75204
214.520.8878
bgoarchitects.com

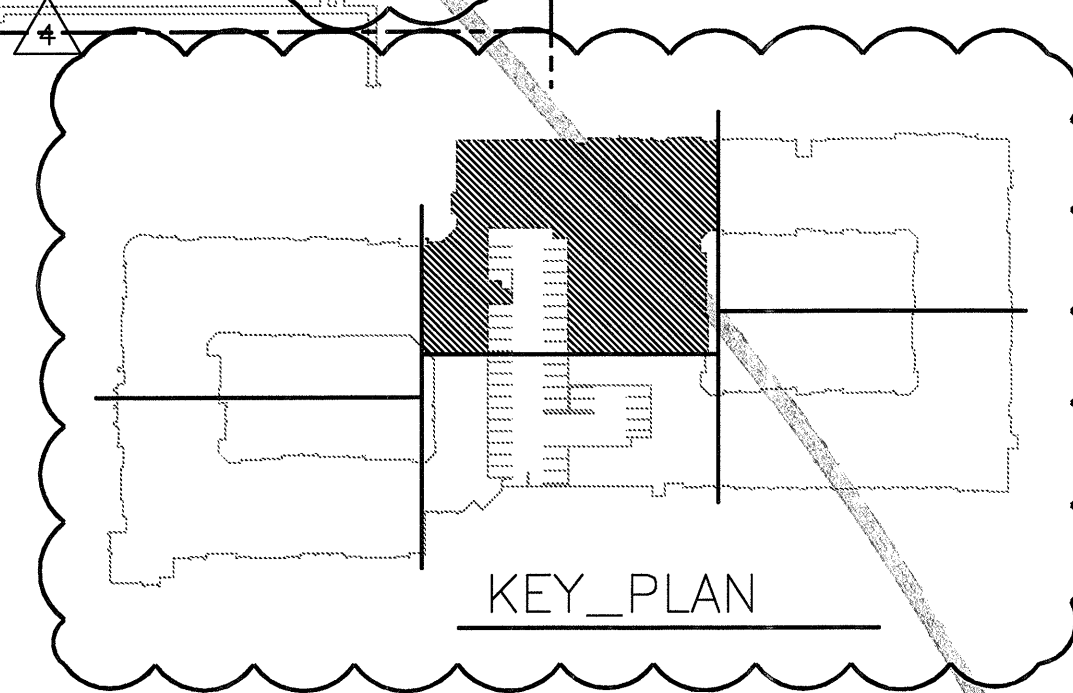
DATE
08-05-11

PROJECT
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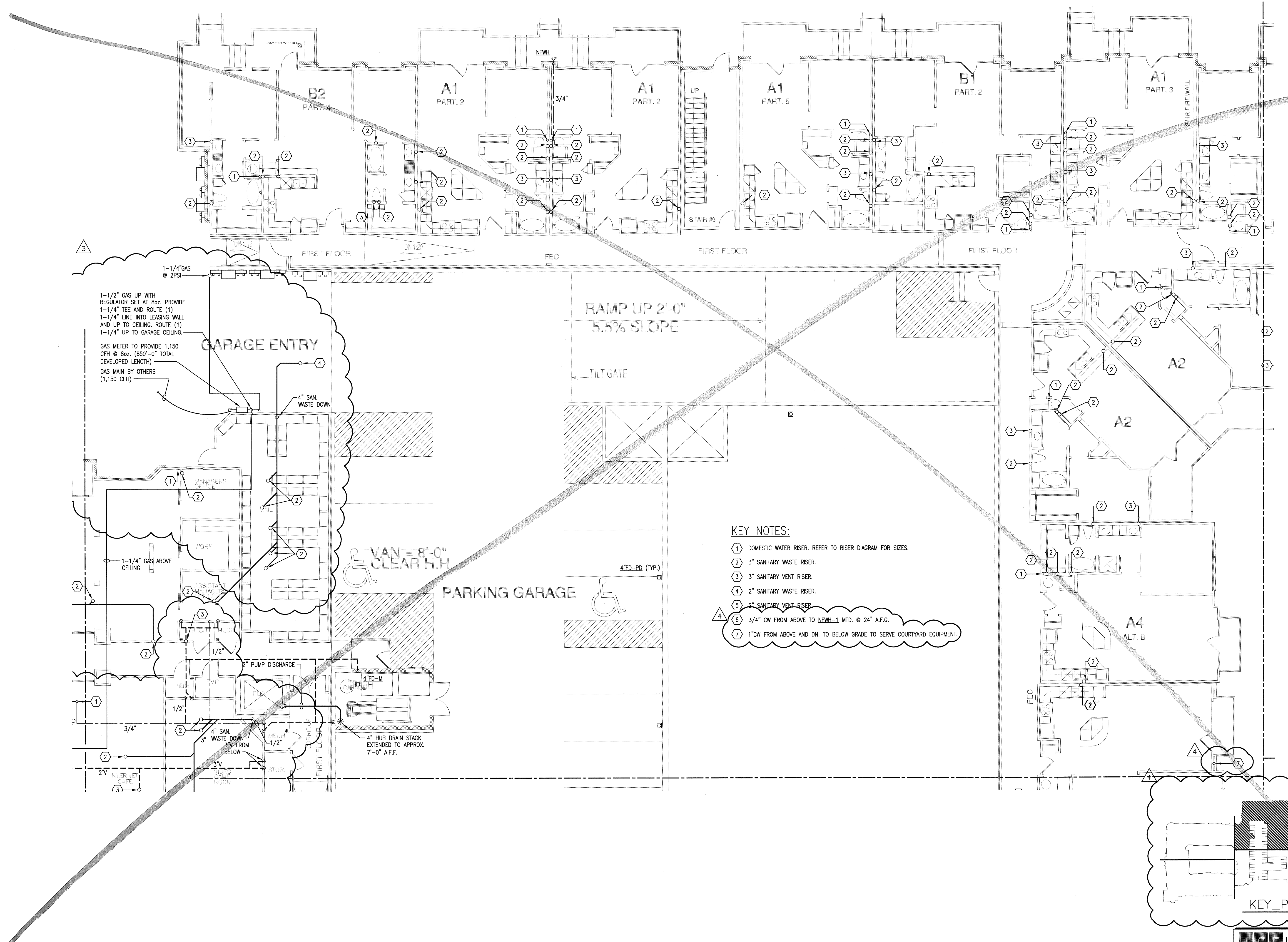
SHEET NUMBER

P-3.1C

JSE Jordan & Skala Engineers
14240 Ardmore Road, Suite 350
Dallas, TX 75244-5338
P: (469) 385-1615 F: (469) 385-1615
Project Number - 113-0355 Texas Firm Registration # F-4900
Drawn By: CV Checked By: RC



- KEY NOTES:**
- 1 DOMESTIC WATER RISER. REFER TO RISER DIAGRAM FOR SIZES.
 - 2 3" SANITARY WASTE RISER.
 - 3 3" SANITARY VENT RISER.
 - 4 2" SANITARY WASTE RISER.
 - 5 2" SANITARY VENT RISER.
 - 6 3/4" CW FROM ABOVE TO NEWH-1 MTD. @ 24" A.F.G.
 - 7 1" CW FROM ABOVE AND DN. TO BELOW GRADE TO SERVE COURTYARD EQUIPMENT.



1 DIVISION 'C' FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



REVISIONS		
1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS DESIGN REVISIONS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE DESIGN REVISIONS
5	12-21-2011	DESIGN REVISIONS
6	1-17-2012	DESIGN REVISIONS TRANSFORMER
7	2-15-2012	REVISIONS CLUBHOUSE
8	3-27-2012	REVISIONS
9	4-17-2012	COORDINATION

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS

10	5-15-2012	COORDINATION
11	5-30-2012	SITE COORDINATION

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architects

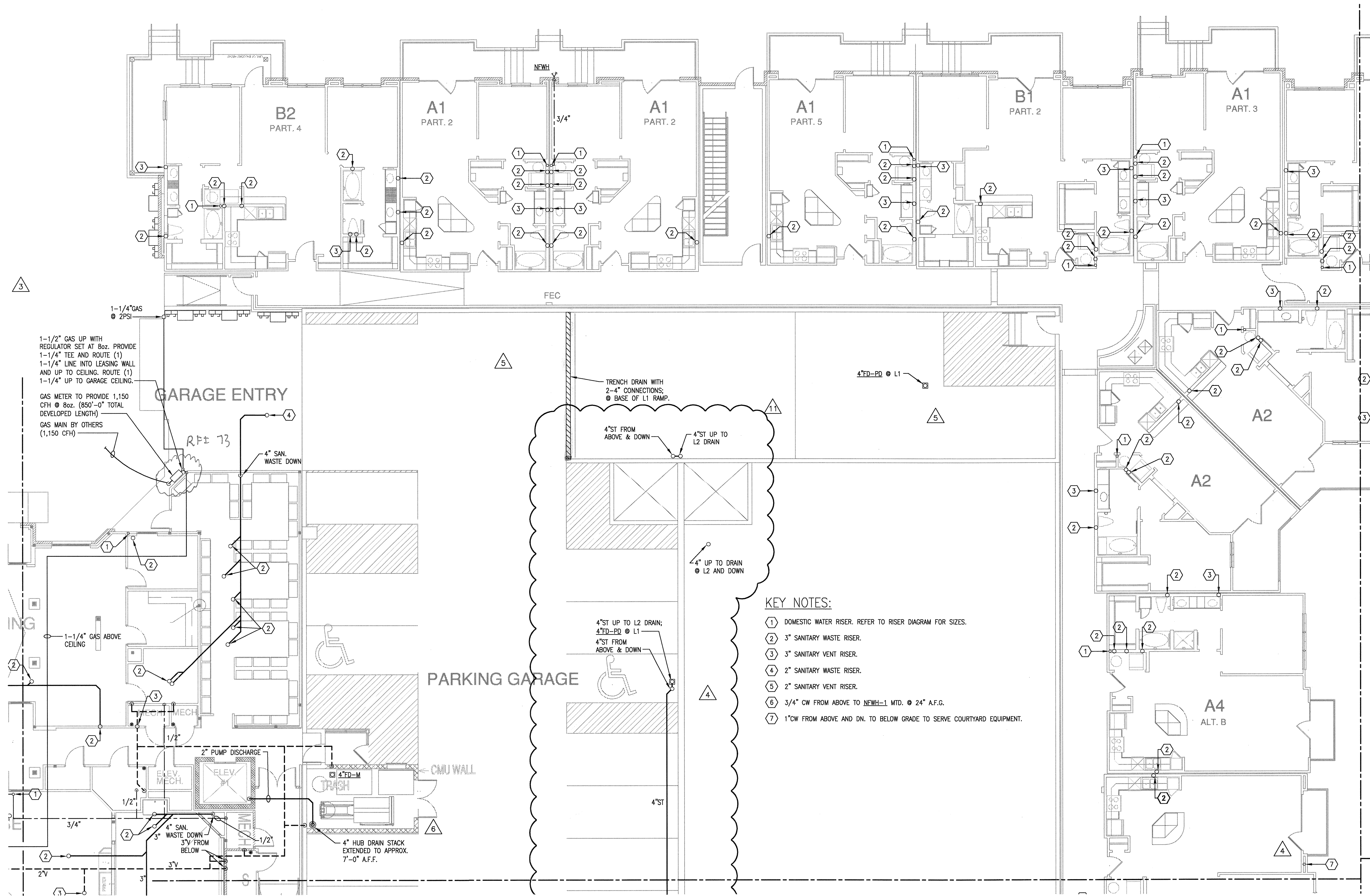
4144 N. Central Expy.
Suite 855
Dallas, TX 75204
214.520.8878
bgoarchitects.com

DATE
08-05-11

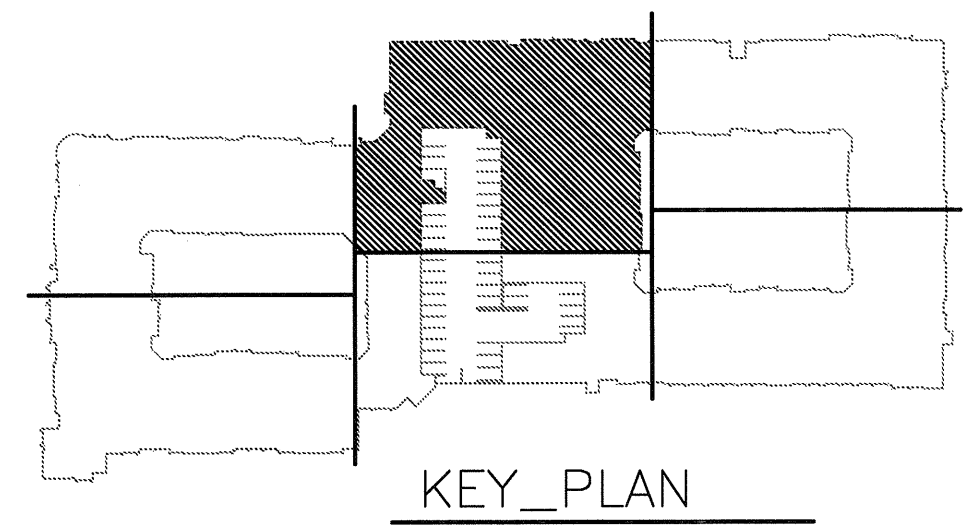
PROJECT
11129

SHEET NUMBER

P-3.1C



- KEY NOTES:**
- ① DOMESTIC WATER RISER. REFER TO RISER DIAGRAM FOR SIZES.
 - ② 3\"/>



1 DIVISION 'C' FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

JSE Jordan & Skala Engineers
17833 N. Dallas Parkway, Suite 320
Dallas, TX 75247-4837
V: (469) 385-1616; W: www.jordanaskala.com
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: CV Checked By: RC



REVISIONS		
1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE
5	12-21-2011	DESIGN REVISIONS

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS



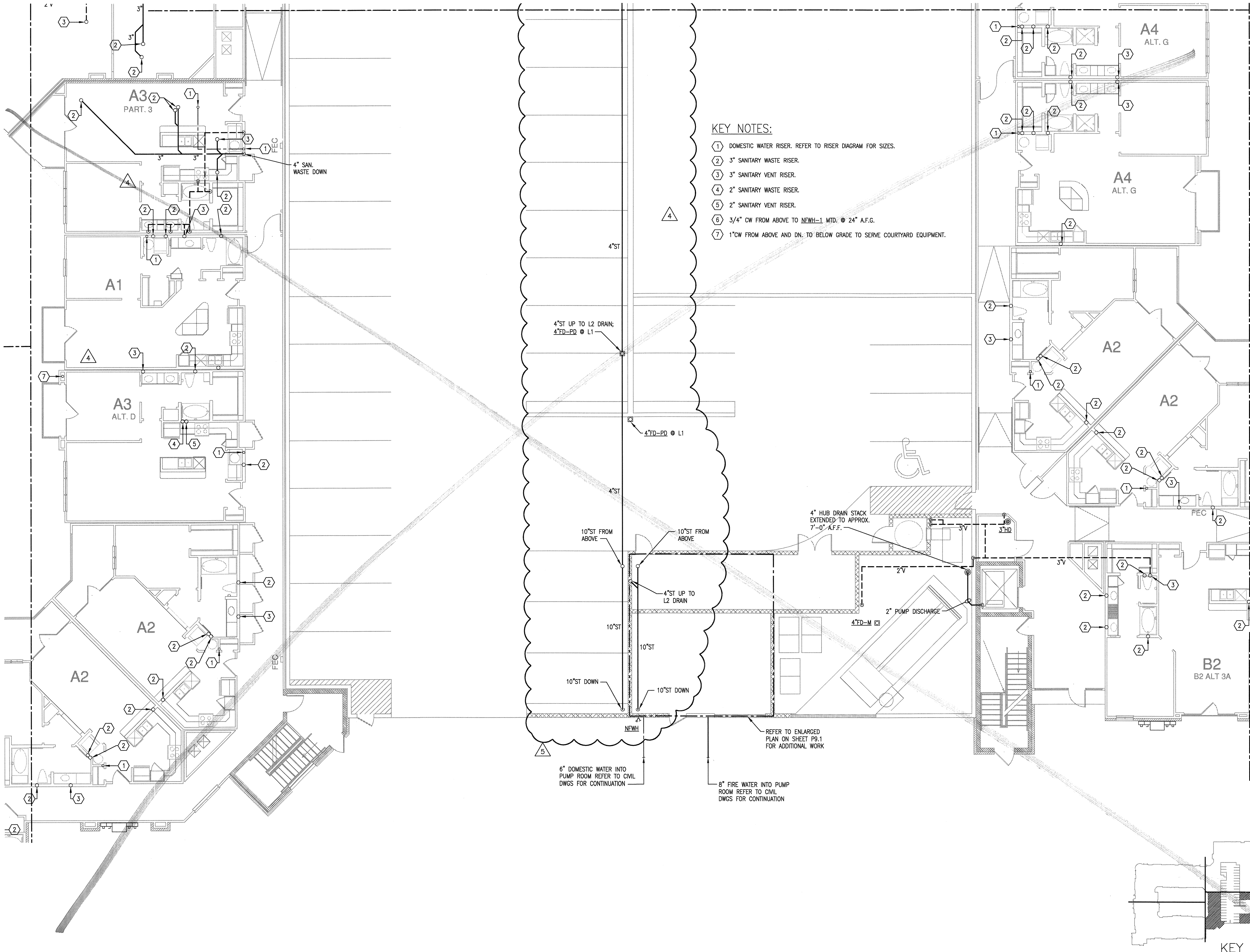
4144 N. Central Expy.
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214.520.8878
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DATE
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PROJECT
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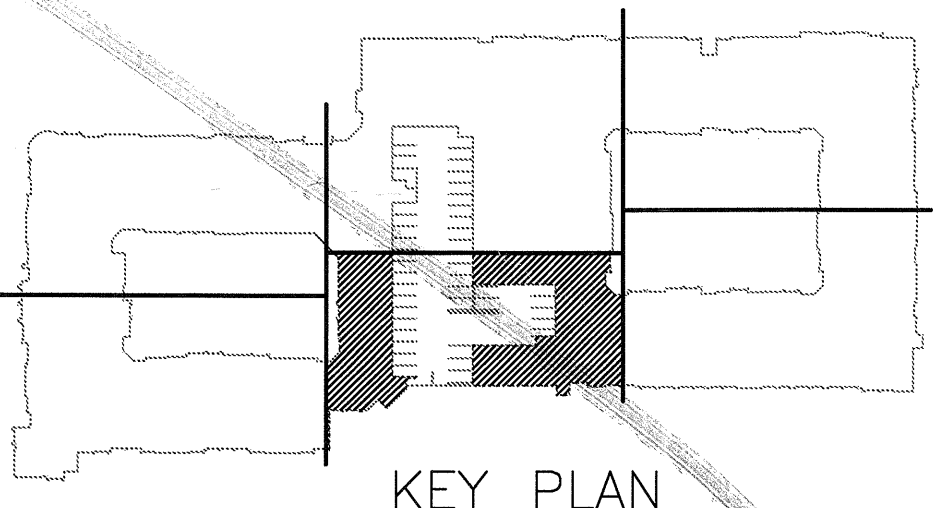
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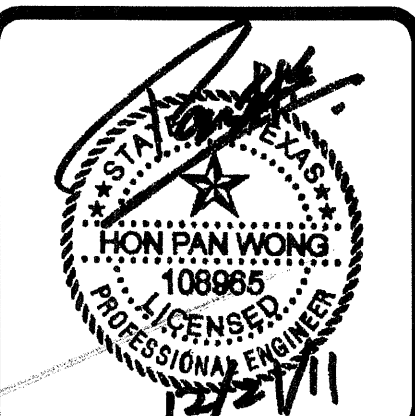


- KEY NOTES:**
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 - 2 3" SANITARY WASTE RISER.
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 - 6 3/4" CW FROM ABOVE TO NEWH-1 MTD. @ 24" A.F.G.
 - 7 1" CW FROM ABOVE AND DN. TO BELOW GRADE TO SERVE COURTYARD EQUIPMENT.

1 DIVISION 'D' FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

JSE Jordan & Skala Engineers
14240 Midway Road, Suite 330
Dallas, TX 75244-9138
V: (469) 385-1616, F: (469) 385-1615
Project Number - 113-035 Texas Firm Registration # F-4990
Drawn By: CV Checked By: RC





REVISIONS		
1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE
5	12-21-2011	DESIGN REVISIONS

KELLER SPRINGS LOFTS
 LOFT APARTMENTS IN ADDISON, TEXAS

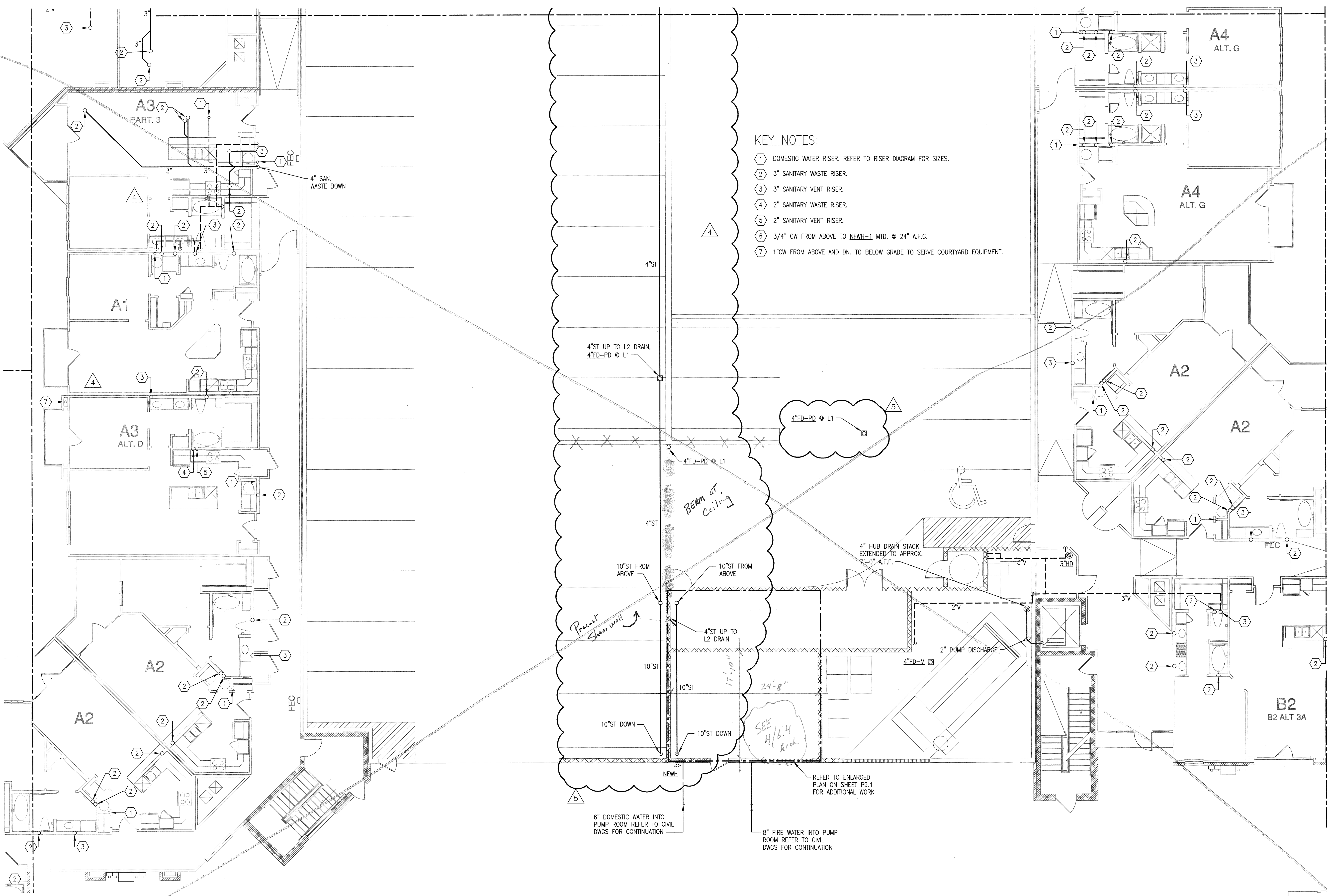
BGO architects
 4144 N. Central Expy.
 Suite 855
 Dallas, TX 75204
 214.520.8878
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DATE
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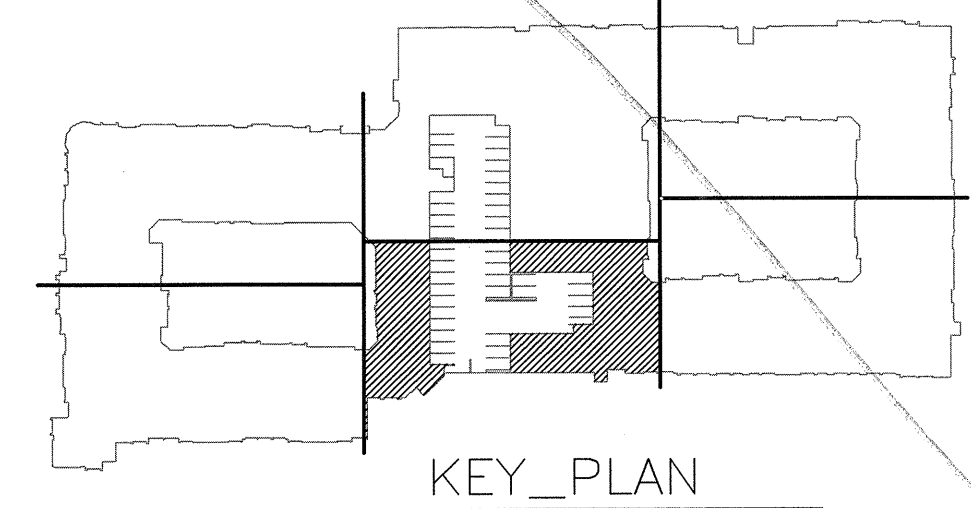
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SHEET NUMBER

P-3.1D

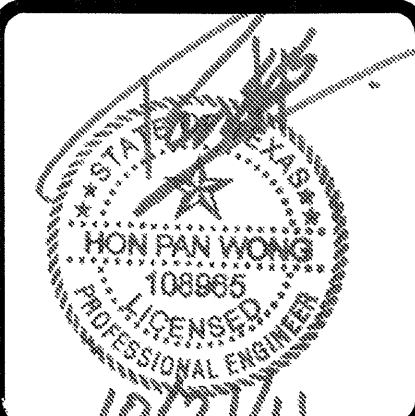


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1 DIVISION 'D' FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"

JSE Jordan & Skala Engineers
 14240 Midway Road, Suite 350
 Dallas, TX 75244-5138
 V: (469) 383-1424 F: (469) 383-1615
 Project Number - 113-0355 Texas Firm Registration # F-4990
 Drawn By: CV Checked By: RC



REVISIONS

1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS

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Dallas, TX 75204
214.520.8878
bgoarchitects.com

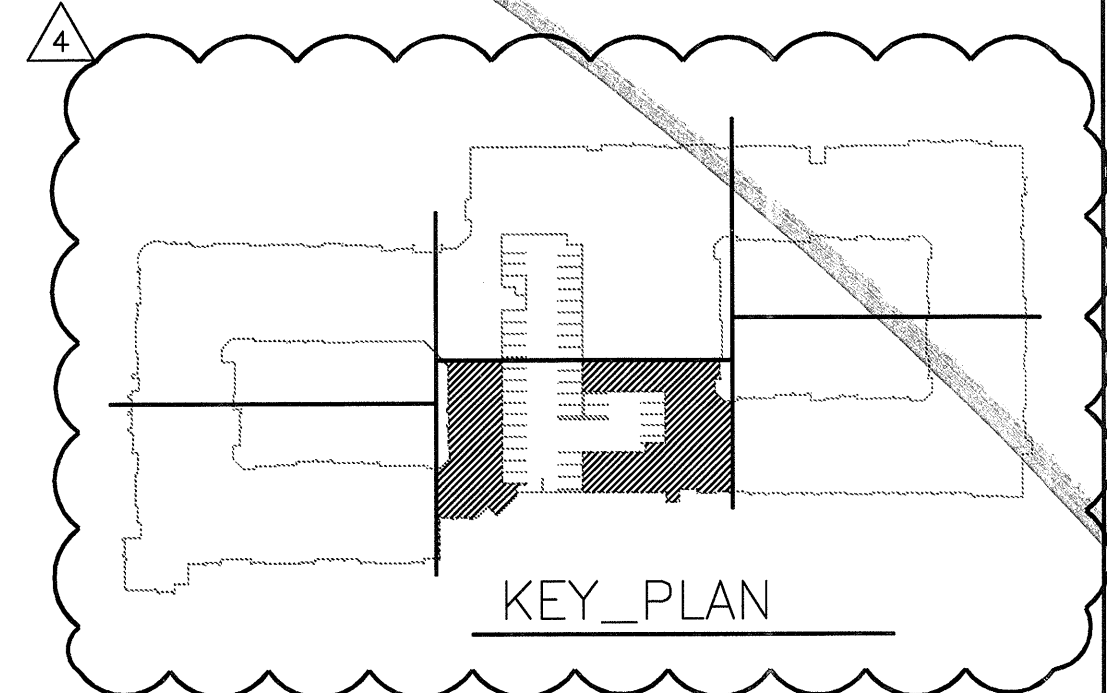
DATE
08-05-11

PROJECT
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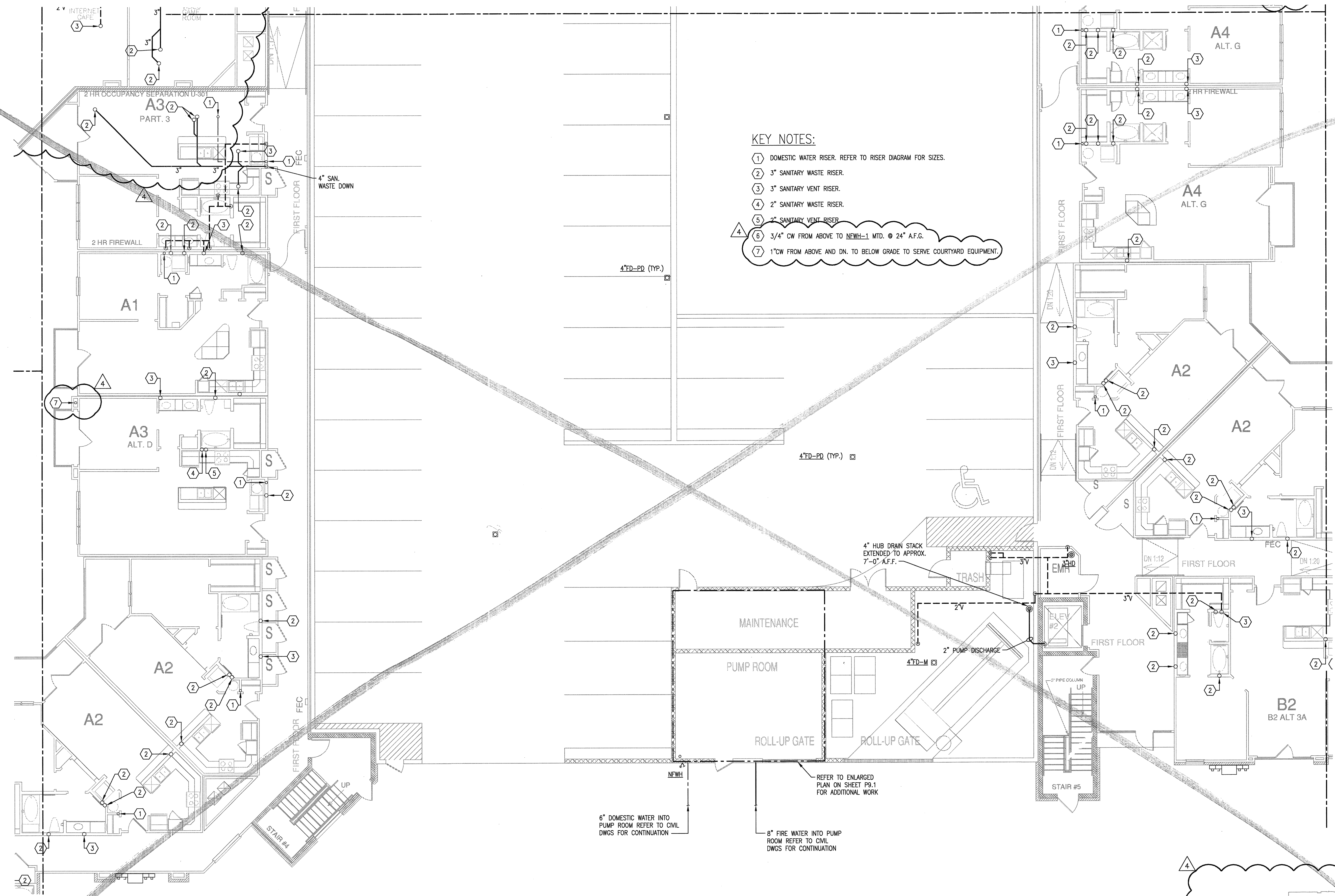
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P-3.1D

JSE Jordan & Skala Engineers
1425 Midway Road, Suite 350
Dallas, TX 75244-5138
v: (469) 385-1616, f: (469) 385-1615
Project Number - 113-0355
Drawn By: CV
Texas Firm Registration # F-4990
Checked By: RC



- KEY NOTES:**
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6" DOMESTIC WATER INTO PUMP ROOM REFER TO CIVIL DWGS FOR CONTINUATION

8" FIRE WATER INTO PUMP ROOM REFER TO CIVIL DWGS FOR CONTINUATION

REFER TO ENLARGED PLAN ON SHEET P9.1 FOR ADDITIONAL WORK

1 DIVISION 'D' FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



REVISIONS

1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS DESIGN
3	9-23-2011	REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE
5	12-21-2011	DESIGN REVISIONS
6	1-17-2012	DESIGN REVISIONS
7	2-15-2012	TRANSFORMER REVISIONS
8	3-27-2012	CLUBHOUSE REVISIONS
9	4-17-2012	COORDINATION

KELLER SPRINGS LOFTS
 LOFT APARTMENTS IN ADDISON, TEXAS

10	5-15-2012	COORDINATION
11	5-30-2012	SITE COORDINATION

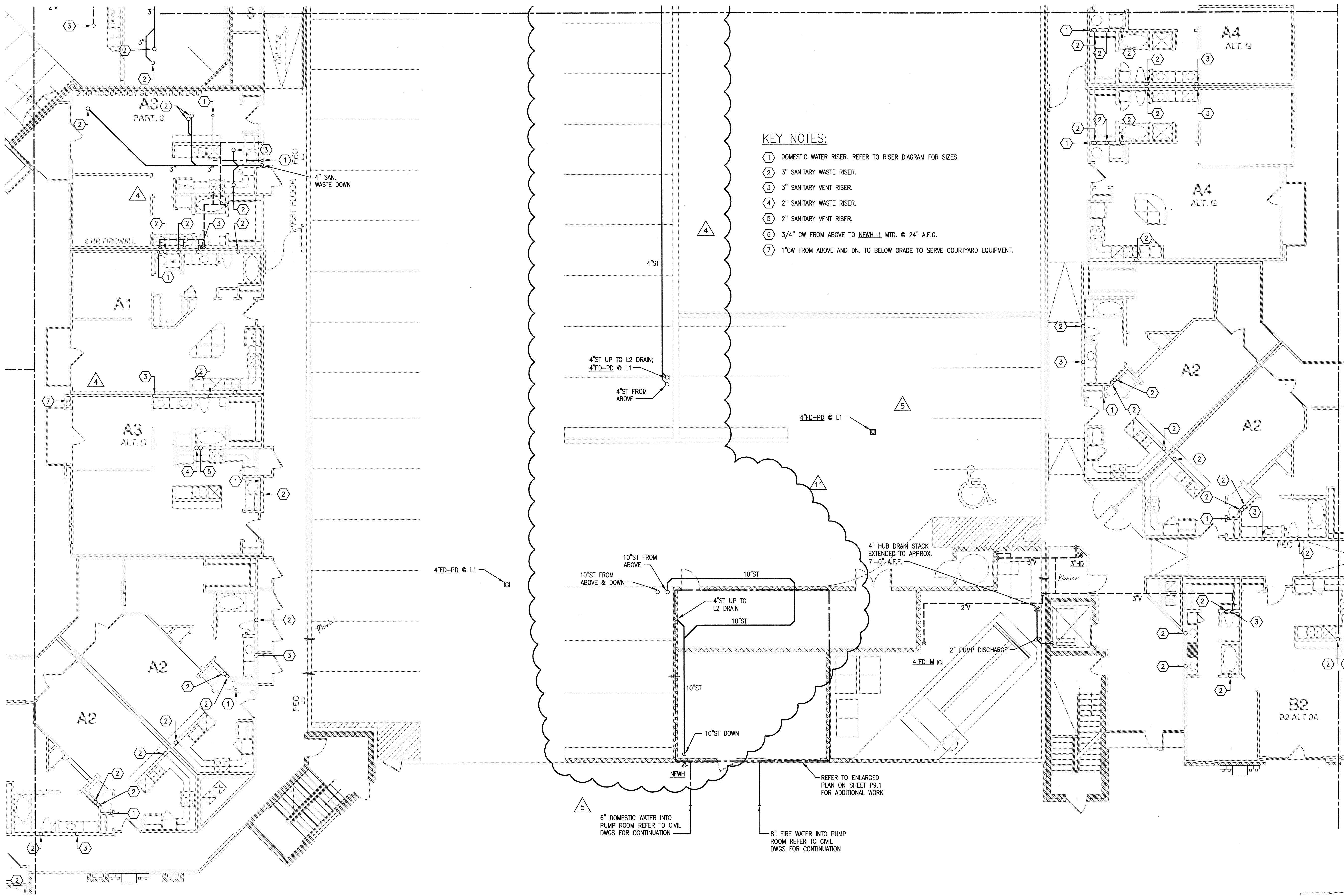


4144 N. Central Expy.
 Suite 855
 Dallas, TX 75204
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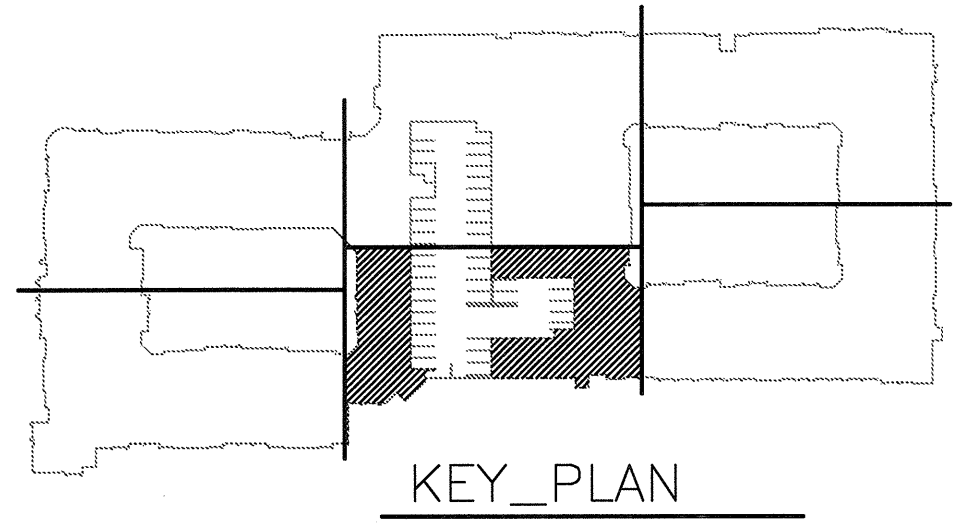
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SHEET NUMBER
P-3.1D

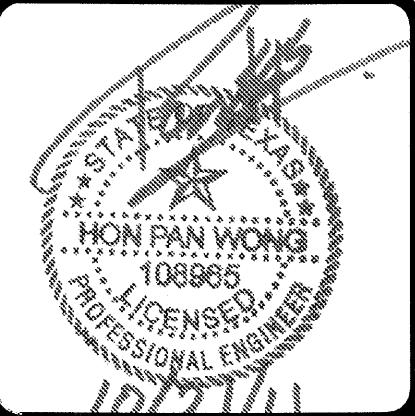


- KEY NOTES:**
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 - 6 3/4" CW FROM ABOVE TO NEWH-1 MTD. @ 24" A.F.G.
 - 7 1" CW FROM ABOVE AND DN. TO BELOW GRADE TO SERVE COURTYARD EQUIPMENT.

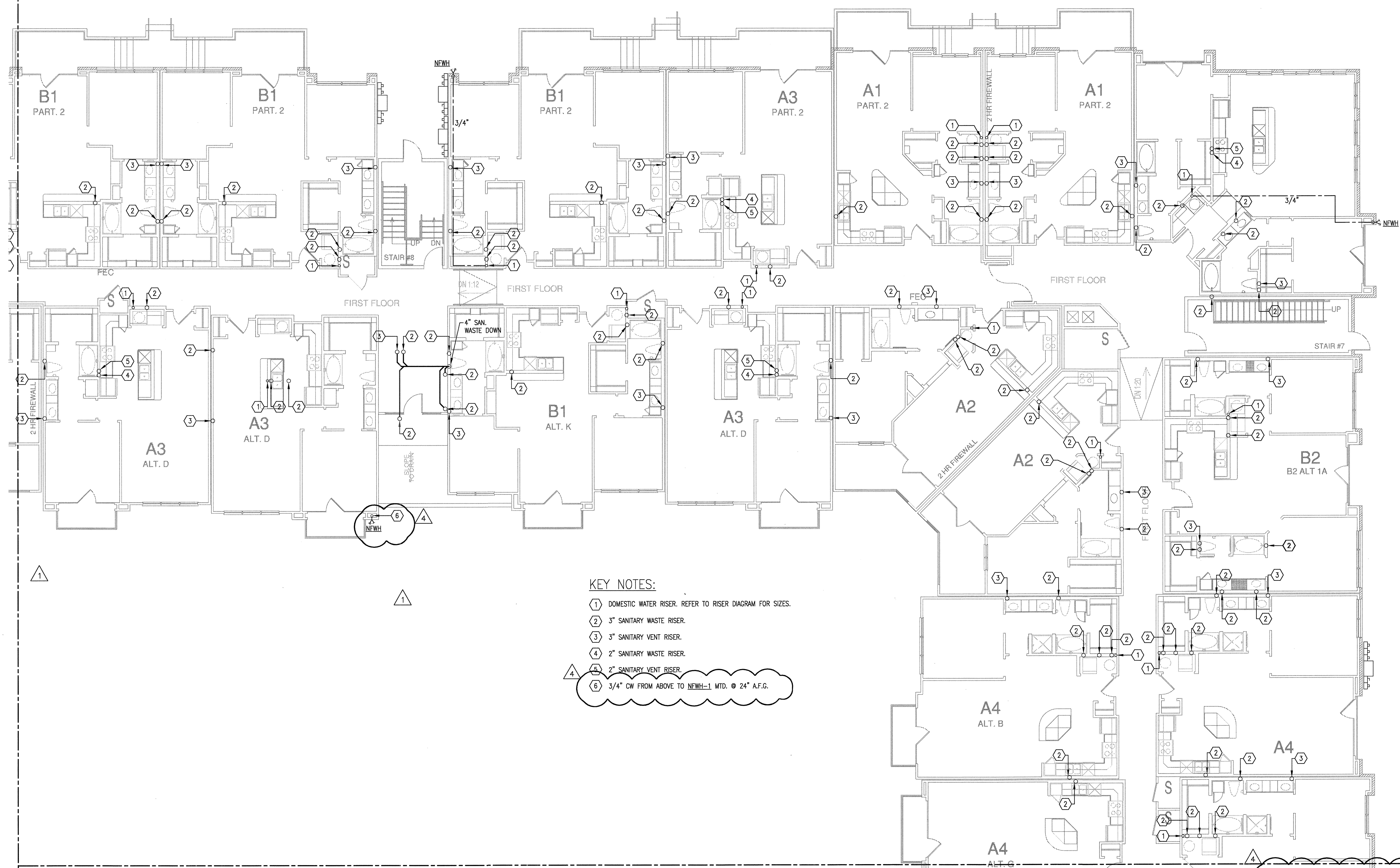
1 DIVISION 'D' FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"



JSE Jordan & Skala Engineers
 17835 N. Dallas Parkway, Suite 330
 Dallas, TX 75297-4857
 V: (469) 385-1616 Web: www.jordanskala.com
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REVISIONS		
1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE



- KEY NOTES:**
- 1 DOMESTIC WATER RISER. REFER TO RISER DIAGRAM FOR SIZES.
 - 2 3" SANITARY WASTE RISER.
 - 3 3" SANITARY VENT RISER.
 - 4 2" SANITARY WASTE RISER.
 - 5 2" SANITARY VENT RISER.
 - 6 3/4" CW FROM ABOVE TO NEWH-1 MTD. @ 24" A.F.G.

KELLER SPRINGS LOFTS
LOFT APARTMENTS IN ADDISON, TEXAS

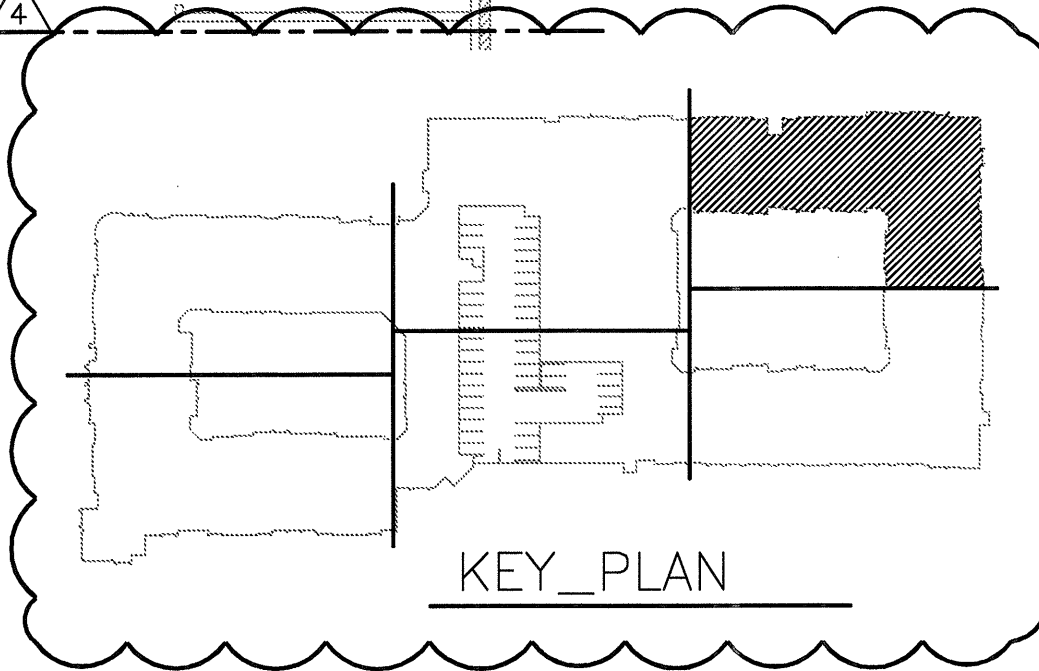
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SHEET NUMBER

P-3.1E



1 DIVISION 'E' FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

JSE Jordan & Skala Engineers
14240 Midway Road, Suite 350
Dallas, TX 75244-5138
V: (972) 385-1828 F: (972) 385-1615
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: CV Checked By: RC



REVISIONS		
1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE

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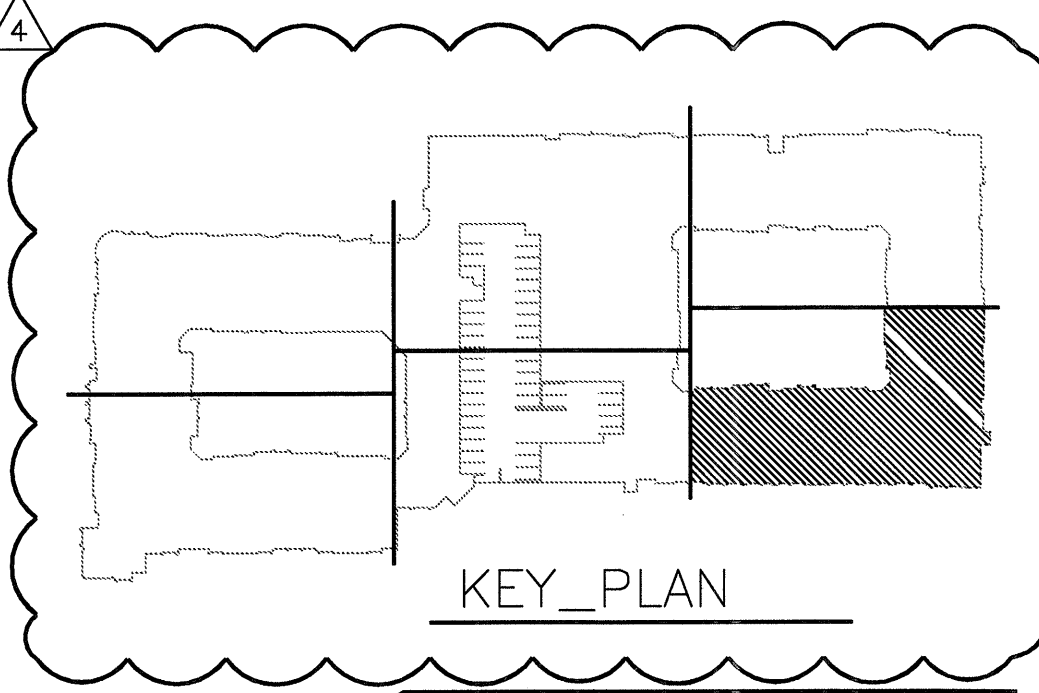
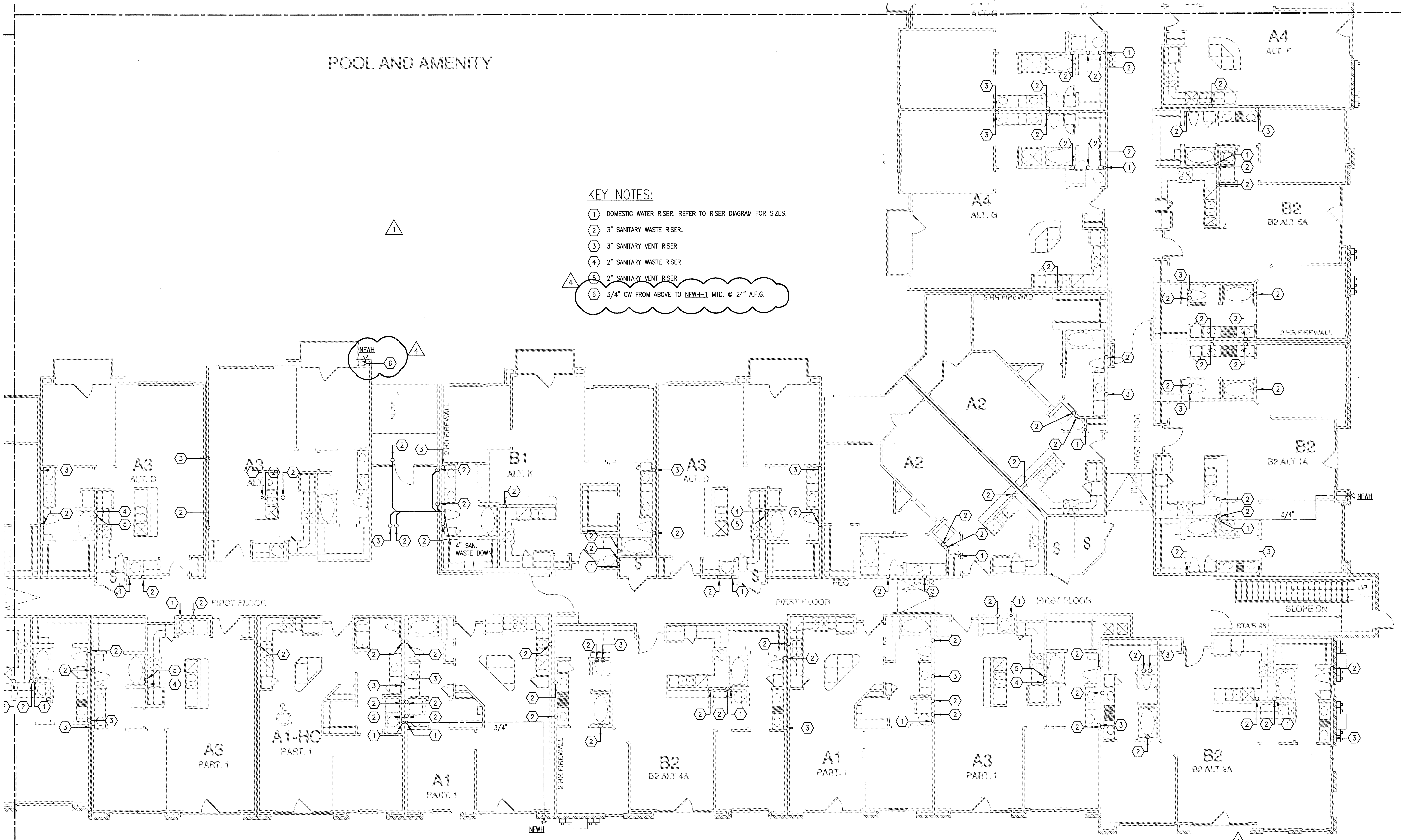
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JSE Jordan & Skala Engineers
14240 Midway Road, Suite 330
Dallas, TX 75244-5138
Tel: (469) 385-1616, Fax: (469) 385-1615
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: CV Checked By: RC

POOL AND AMENITY

KEY NOTES:

- 1 DOMESTIC WATER RISER. REFER TO RISER DIAGRAM FOR SIZES.
- 2 3" SANITARY WASTE RISER.
- 3 3" SANITARY VENT RISER.
- 4 2" SANITARY WASTE RISER.
- 5 2" SANITARY VENT RISER.
- 6 3/4" CW FROM ABOVE TO NEWH-1 MTD. @ 24" A.F.C.



1 DIVISION 'F' FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



REVISIONS

1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS

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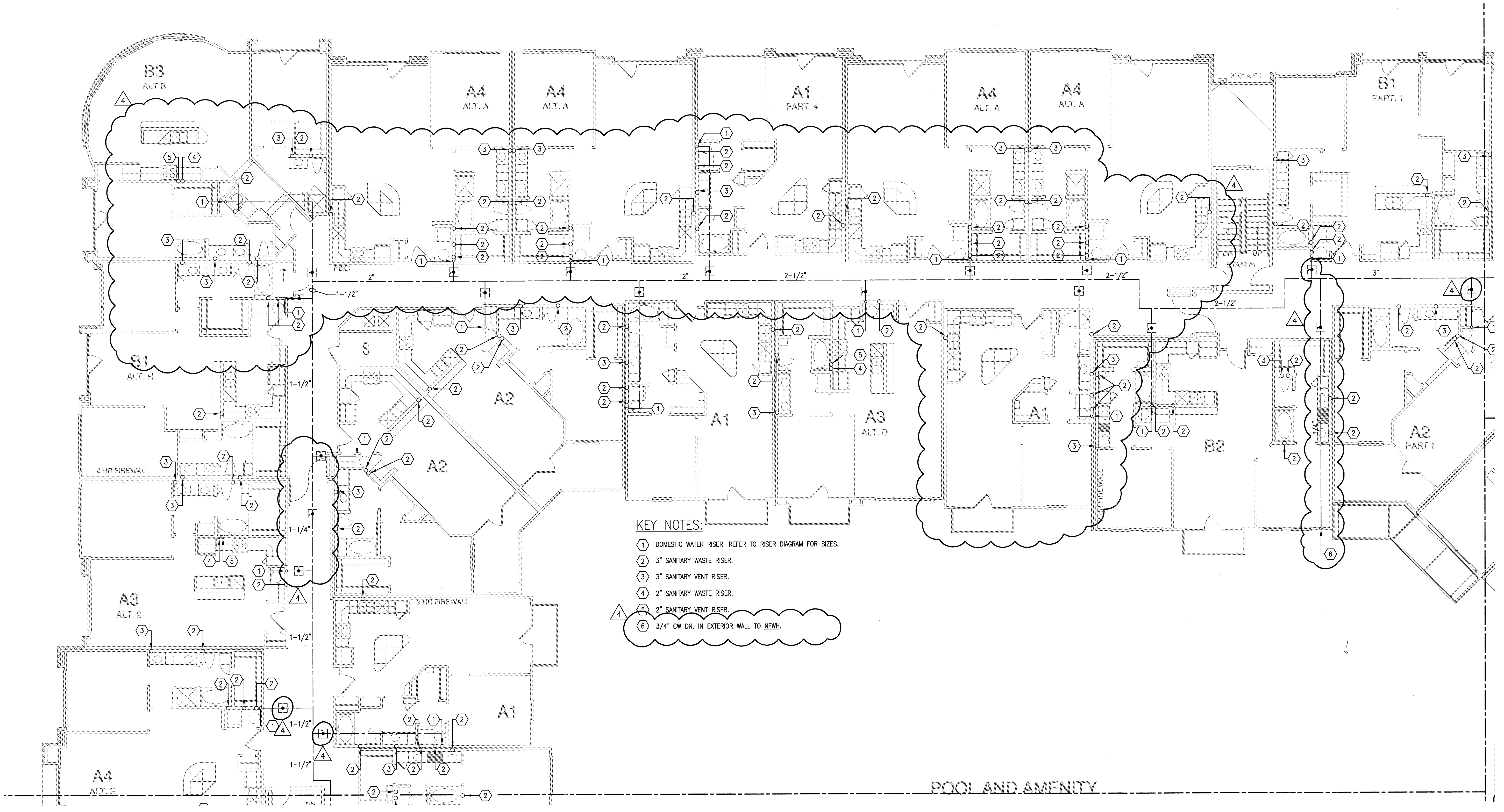
DATE
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PROJECT
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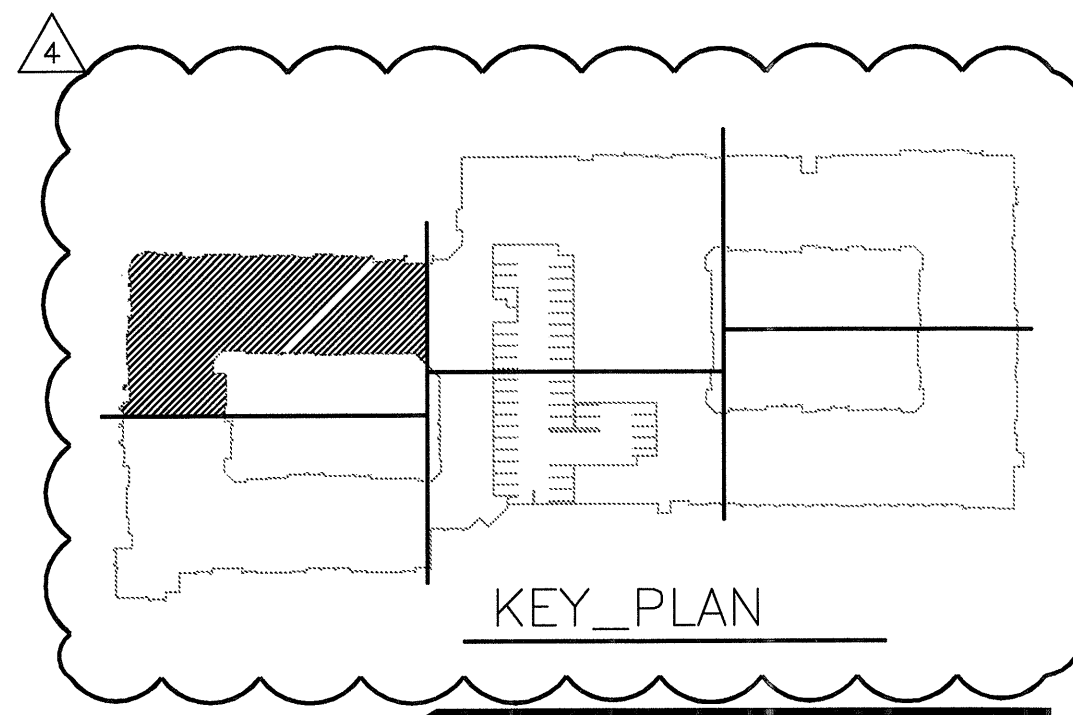
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P-3.2A

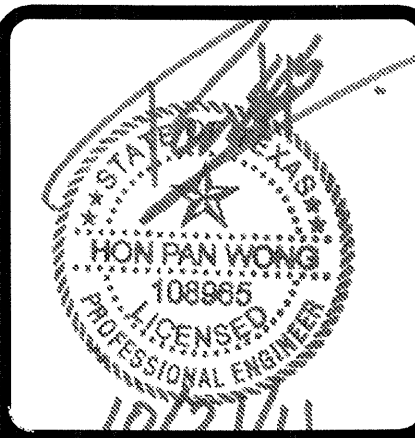
JSE Jordan & Skala Engineers
14240 Address Road, Suite 350
Dallas, TX 75244-5138
V: (972) 385-7676 F: (972) 385-1615
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: CV Checked By: RC



- KEY NOTES:**
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 - 3 3" SANITARY VENT RISER.
 - 4 2" SANITARY WASTE RISER.
 - 5 2" SANITARY VENT RISER.
 - 6 3/4" CW DN. IN EXTERIOR WALL TO NEWHL.



1 DIVISION 'A' SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



REVISIONS		
1	9-2-2011	DESIGN REVISIONS
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3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS
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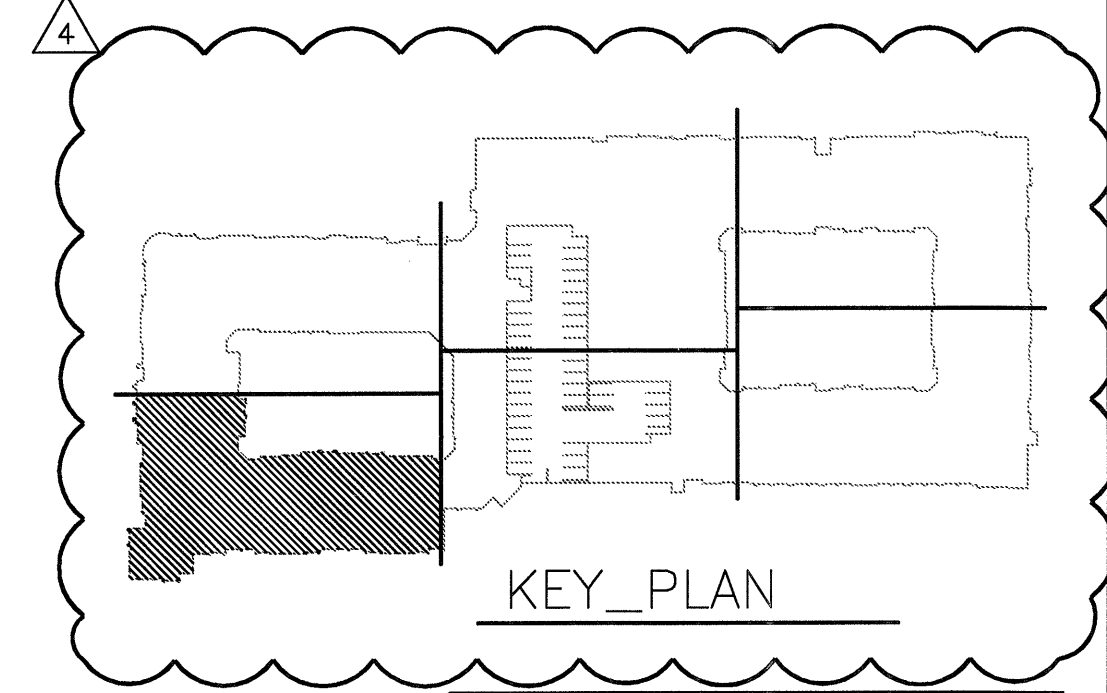
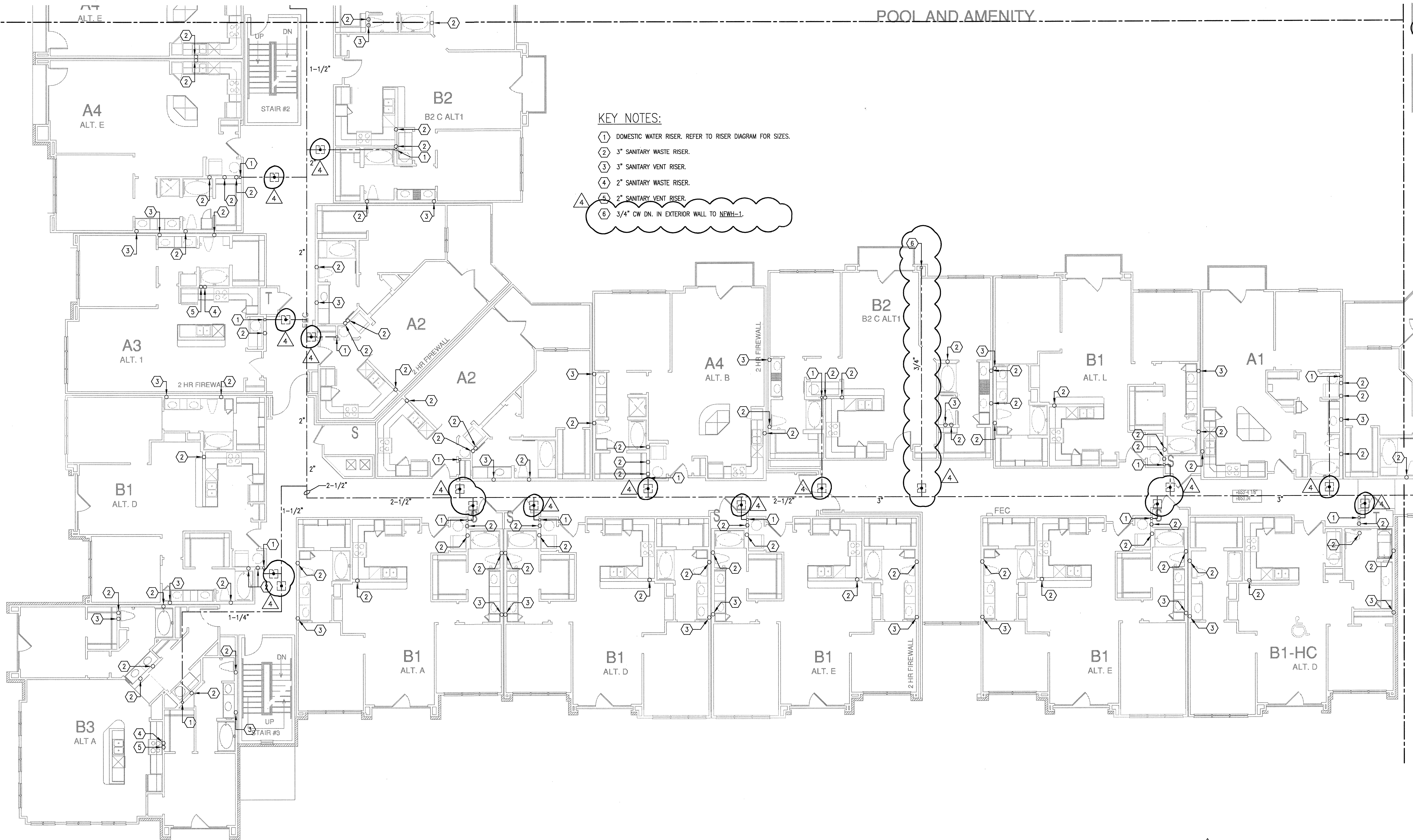
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P-3.2B

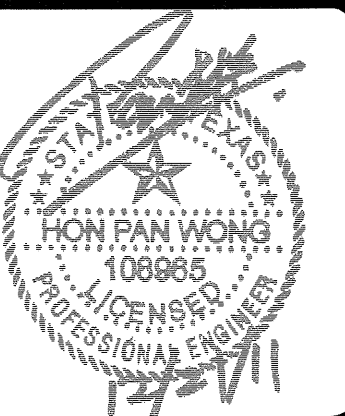
POOL AND AMENITY

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 - 2 3" SANITARY WASTE RISER.
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 - 6 3/4" CW DN. IN EXTERIOR WALL TO NEWH-1.



1 DIVISION 'B' SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

JSE Jordan & Skala Engineers
14240 Midway Road, Suite 350
Dallas, TX 75244-5138
Tel: (646) 385-1616 Fax: (646) 385-1615
Project Number - 113-0355 Texas Firm Registration # F-4990
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△ 9-13-2011	ANSI/FHA COMMENTS	
△ 9-23-2011	DESIGN REVISIONS	
△ 10-17-2011	CONSTRUCTION ISSUE	
△ 12-21-2011	DESIGN REVISIONS	

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS

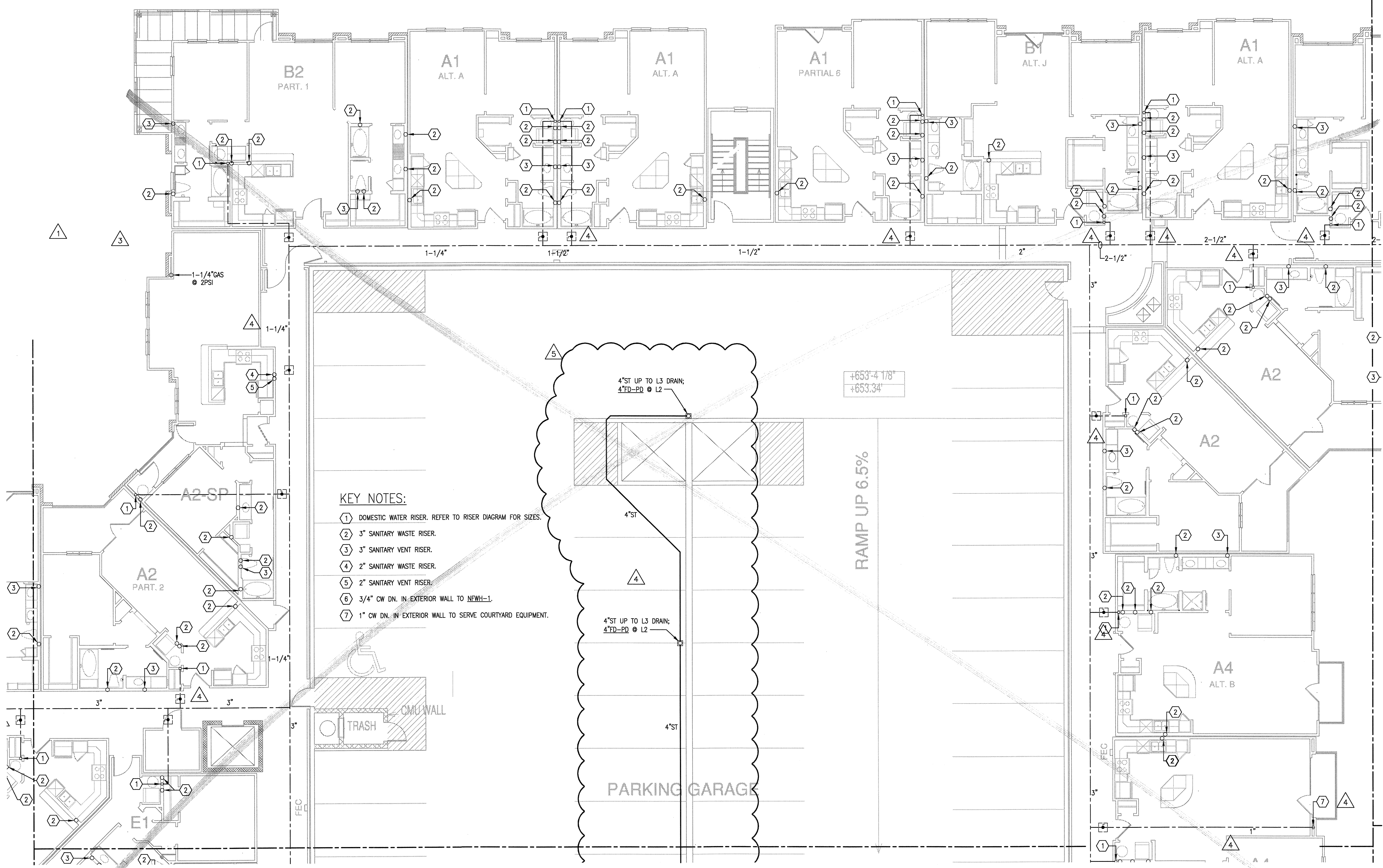
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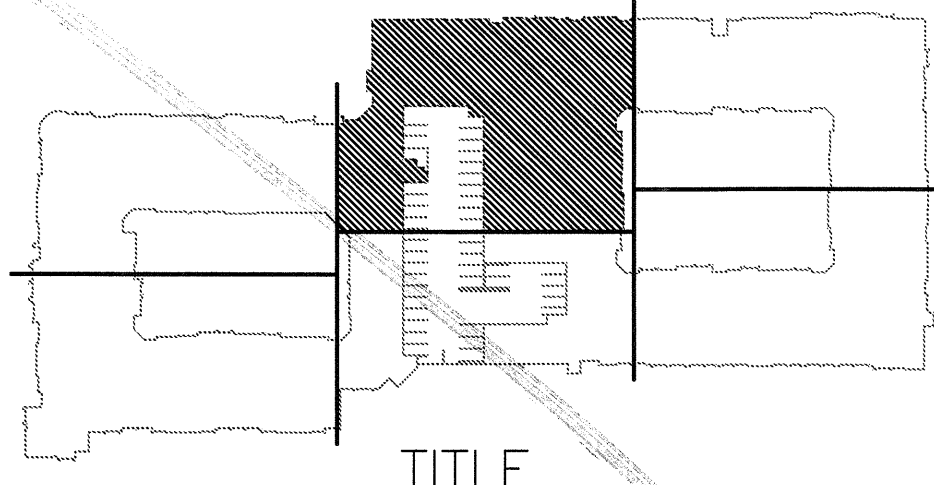
PROJECT
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SHEET NUMBER

P-3.2C



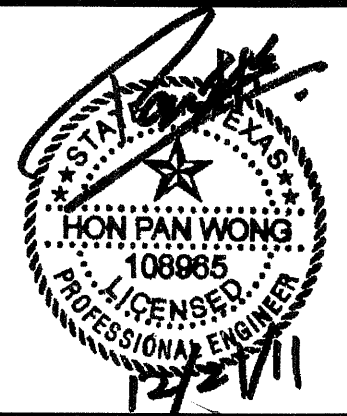
- KEY NOTES:**
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 - ③ 3" SANITARY VENT RISER.
 - ④ 2" SANITARY WASTE RISER.
 - ⑤ 2" SANITARY VENT RISER.
 - ⑥ 3/4" CW DN. IN EXTERIOR WALL TO NFWH-1.
 - ⑦ 1" CW DN. IN EXTERIOR WALL TO SERVE COURTYARD EQUIPMENT.



TITLE

1 DIVISION 'C' SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"

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REVISIONS		
1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE
5	12-21-2011	DESIGN REVISIONS

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS



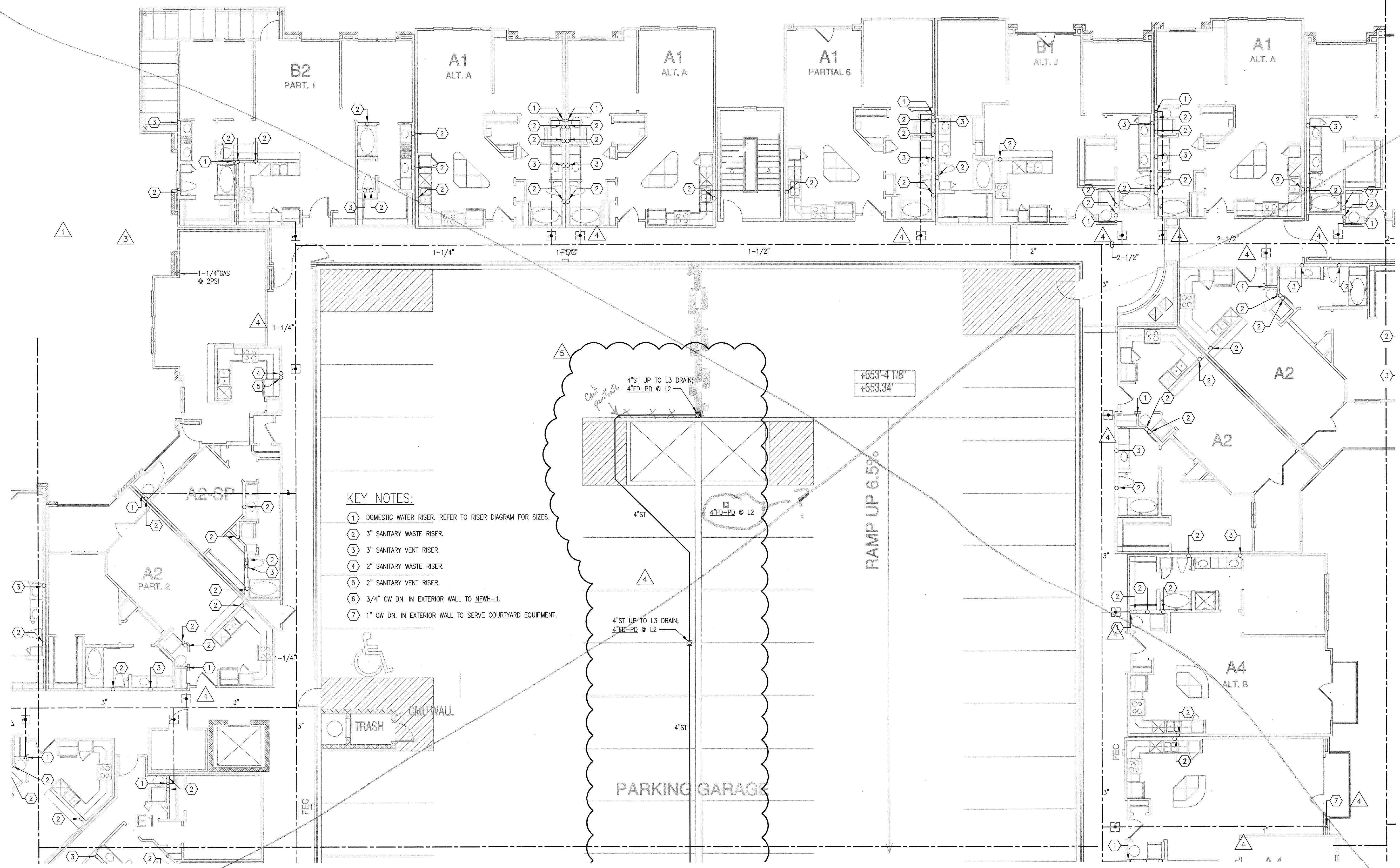
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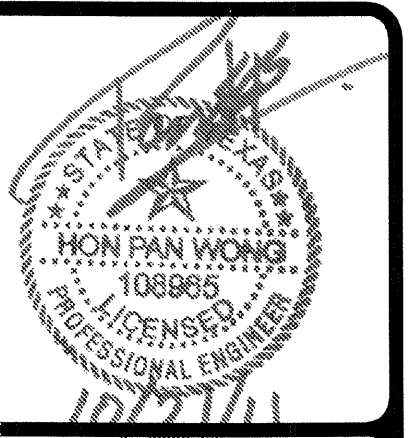
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14240 Midway Road, Suite 330
Dallas, TX 75244-3138
V: (469) 385-1616 F: (469) 385-1615
Project Number - 113-0355 Texas Firm Registration # F-4990
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- KEY NOTES:**
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 - 3 3" SANITARY VENT RISER.
 - 4 2" SANITARY WASTE RISER.
 - 5 2" SANITARY VENT RISER.
 - 6 3/4" CW DN. IN EXTERIOR WALL TO NEWH-1.
 - 7 1" CW DN. IN EXTERIOR WALL TO SERVE COURTYARD EQUIPMENT.

1 DIVISION 'C' SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



REVISIONS

1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS

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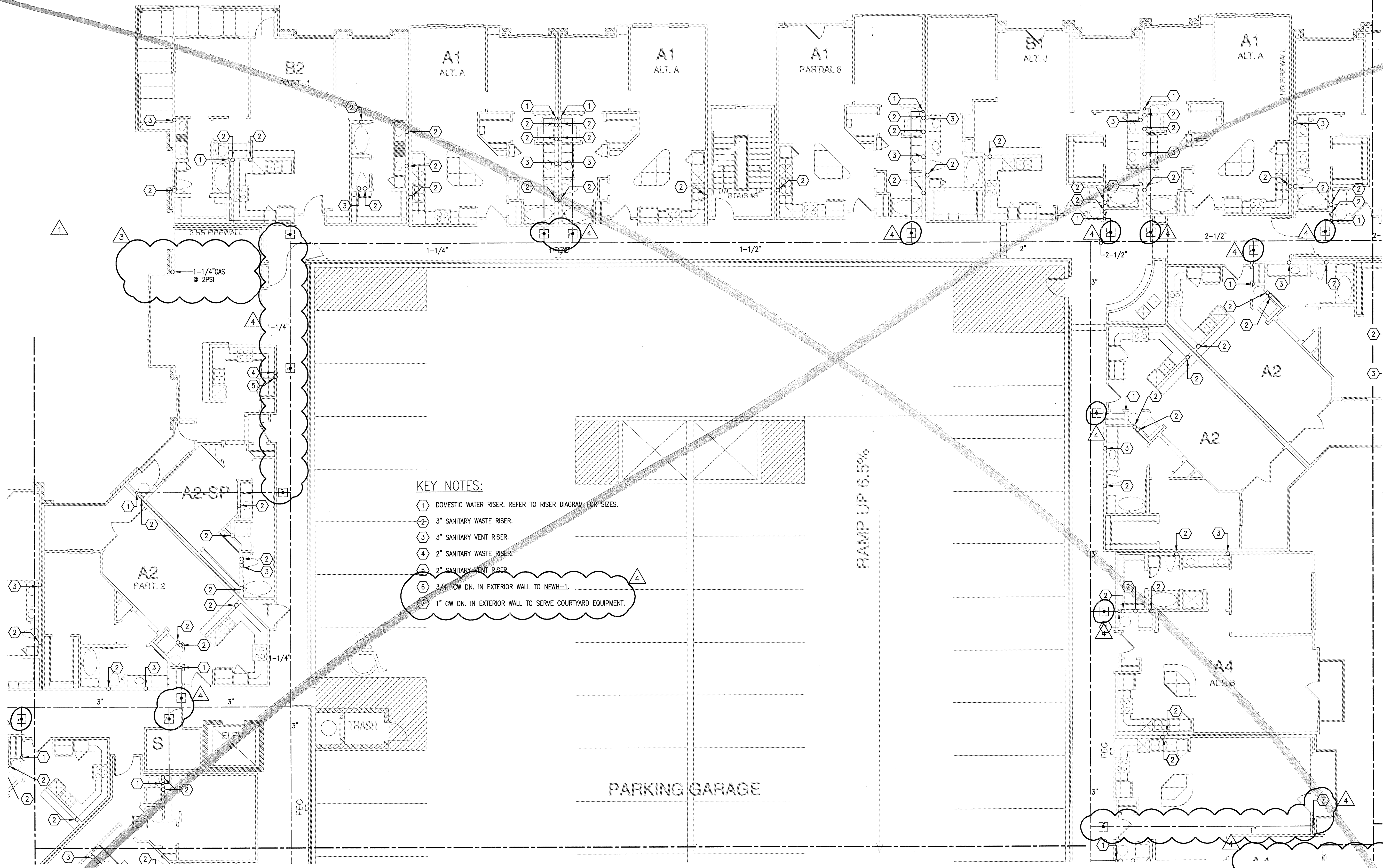
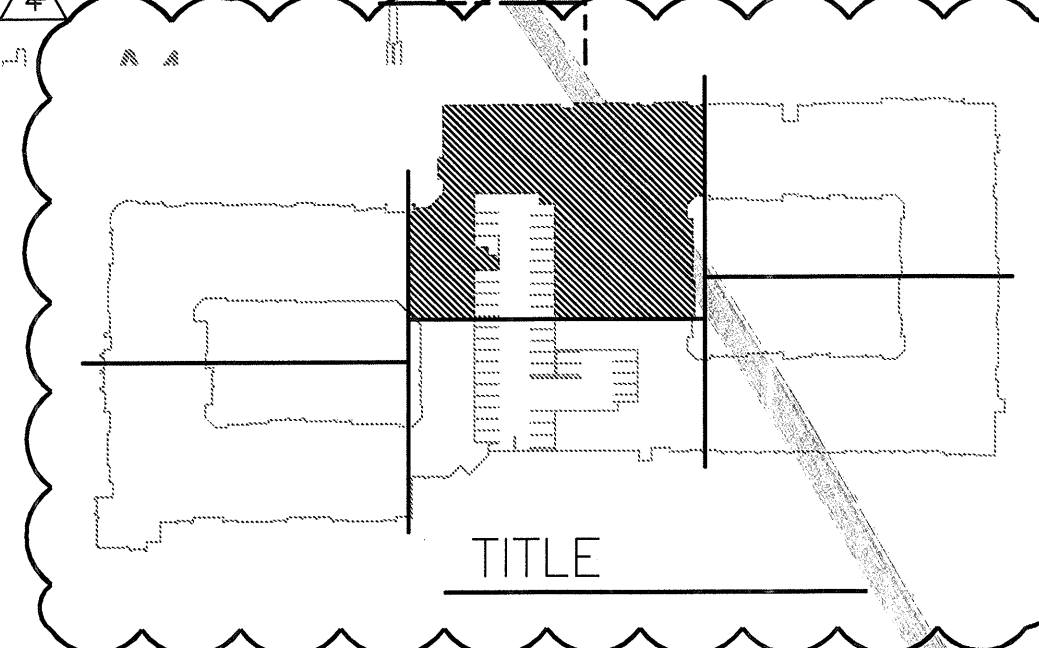
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PROJECT
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SHEET NUMBER
P-3.2C

JSE Jordan & Skala Engineers
14240 Midway Road, Suite 350
Dallas, TX 75244-5138
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: CV Checked By: RC



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1 DIVISION 'C' SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



REVISIONS		
△ 9-2-2011	DESIGN REVISIONS	
△ 9-13-2011	ANSI/FHA COMMENTS DESIGN REVISIONS	
△ 9-23-2011	DESIGN REVISIONS	
△ 10-17-2011	CONSTRUCTION ISSUE	
△ 12-21-2011	DESIGN REVISIONS	
△ 1-17-2012	DESIGN REVISIONS	
△ 2-15-2012	TRANSFORMER REVISIONS	
△ 3-27-2012	CLUBHOUSE REVISIONS	
△ 4-17-2012	COORDINATION	

KELLER SPRINGS LOFTS
LOFT APARTMENTS IN ADDISON, TEXAS

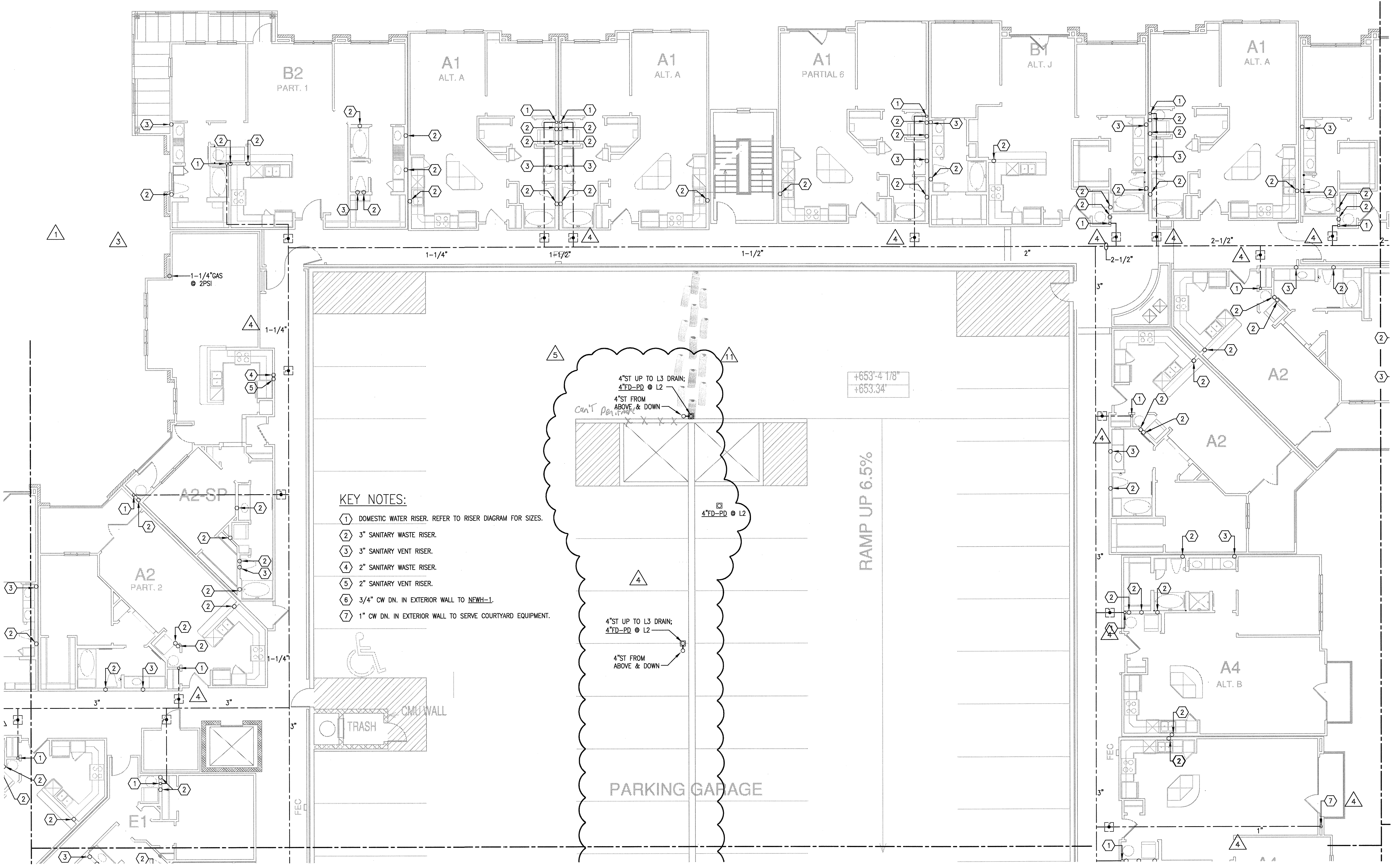
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△ 5-30-2012	SITE COORDINATION

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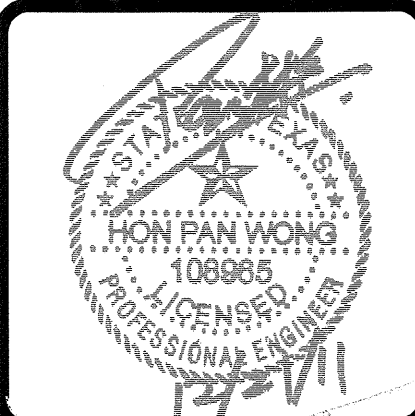
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P-3.2C



- KEY NOTES:**
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1 DIVISION 'C' SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

JSE Jordan & Skala Engineers
17855 N. Dallas Parkway, Suite 320
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REVISIONS	
△ 9-2-2011	DESIGN REVISIONS
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△ 12-21-2011	DESIGN REVISIONS

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS



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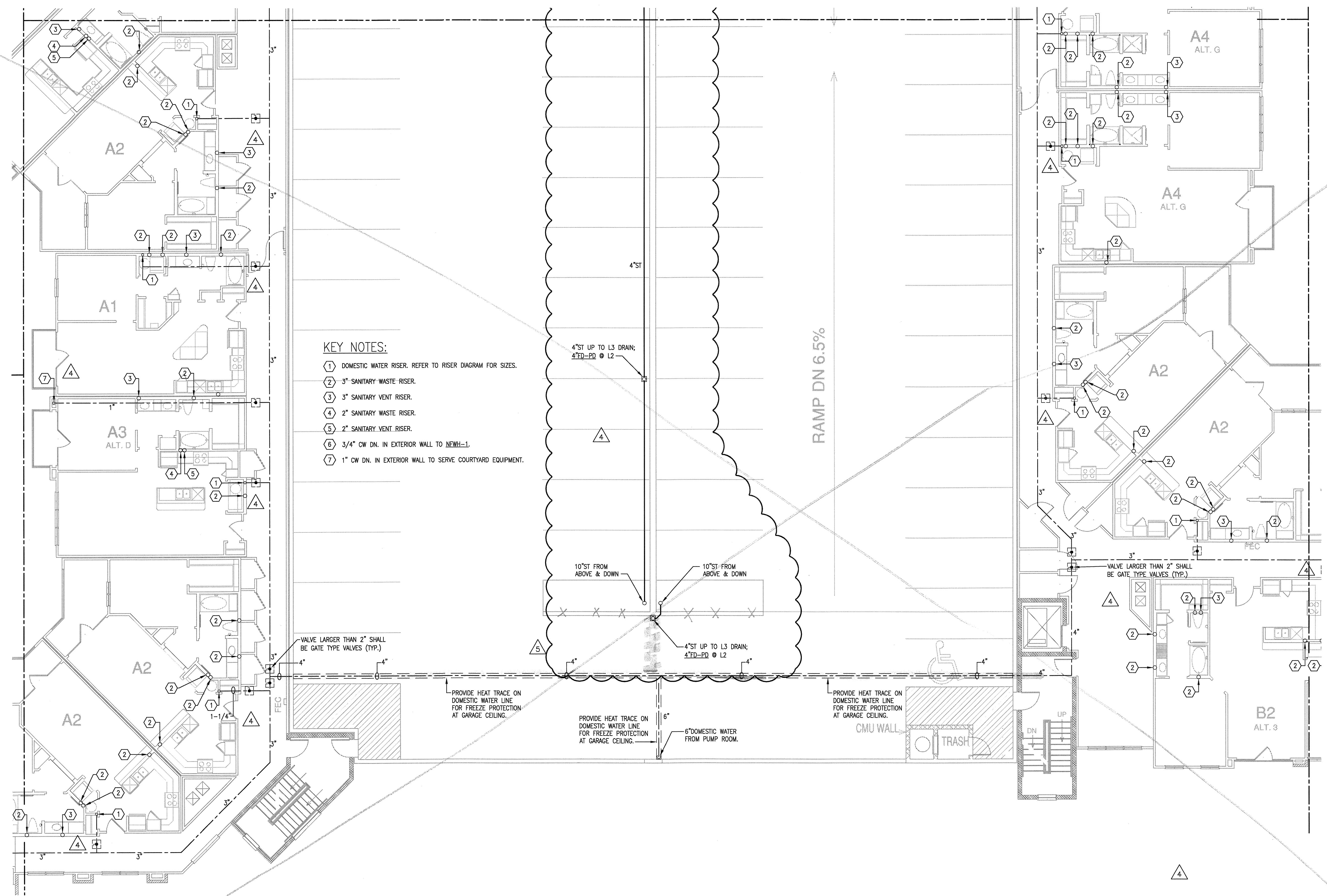
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SHEET NUMBER

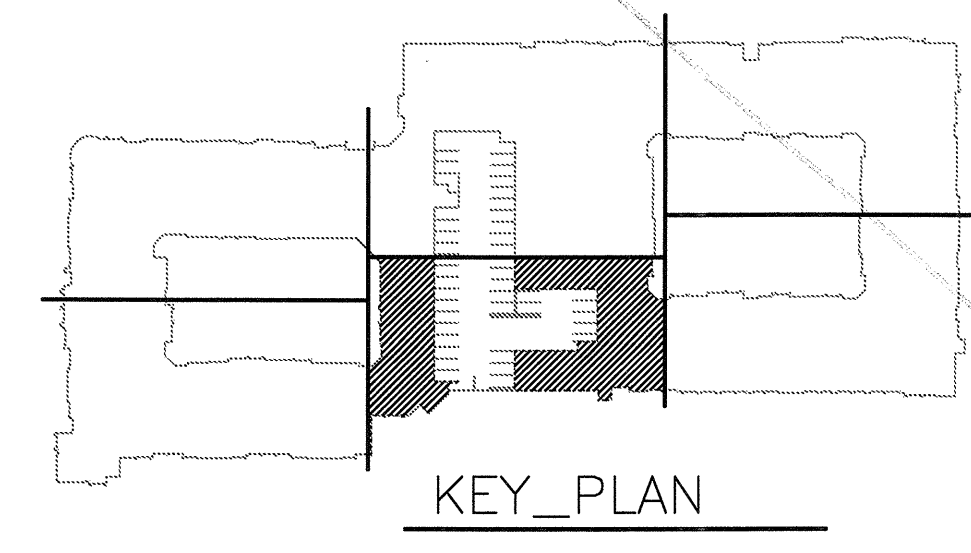
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JSE Jordan & Skala Engineers
14240 Midway Road, Suite 330
Dallas, TX 75244-5138
V: (469) 385-1676 F: (469) 385-1615
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: CV Checked By: RC



- KEY NOTES:**
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1 DIVISION 'D' SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"





REVISIONS		
1	9-2-2011	DESIGN REVISIONS
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3	9-23-2011	DESIGN REVISIONS
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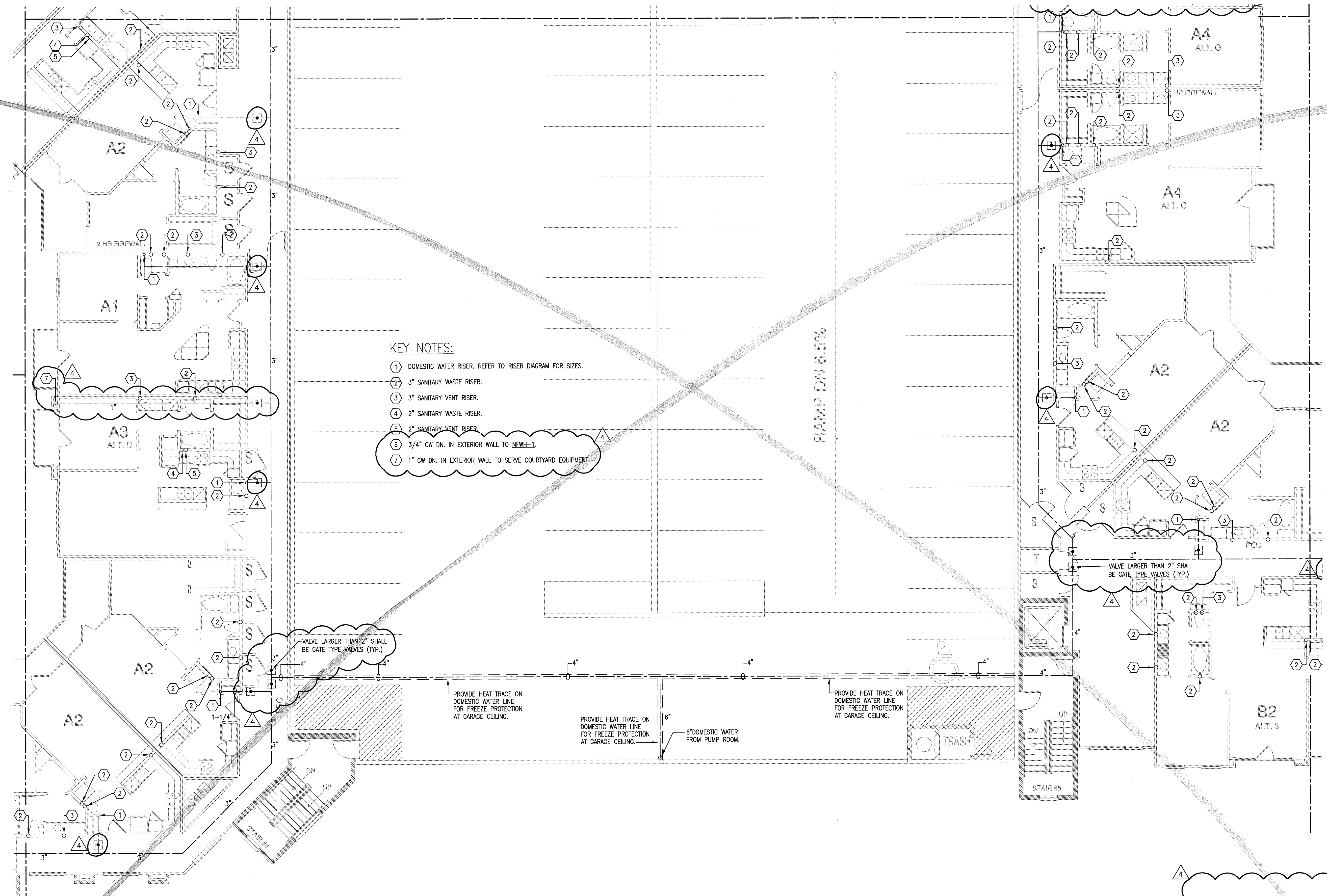
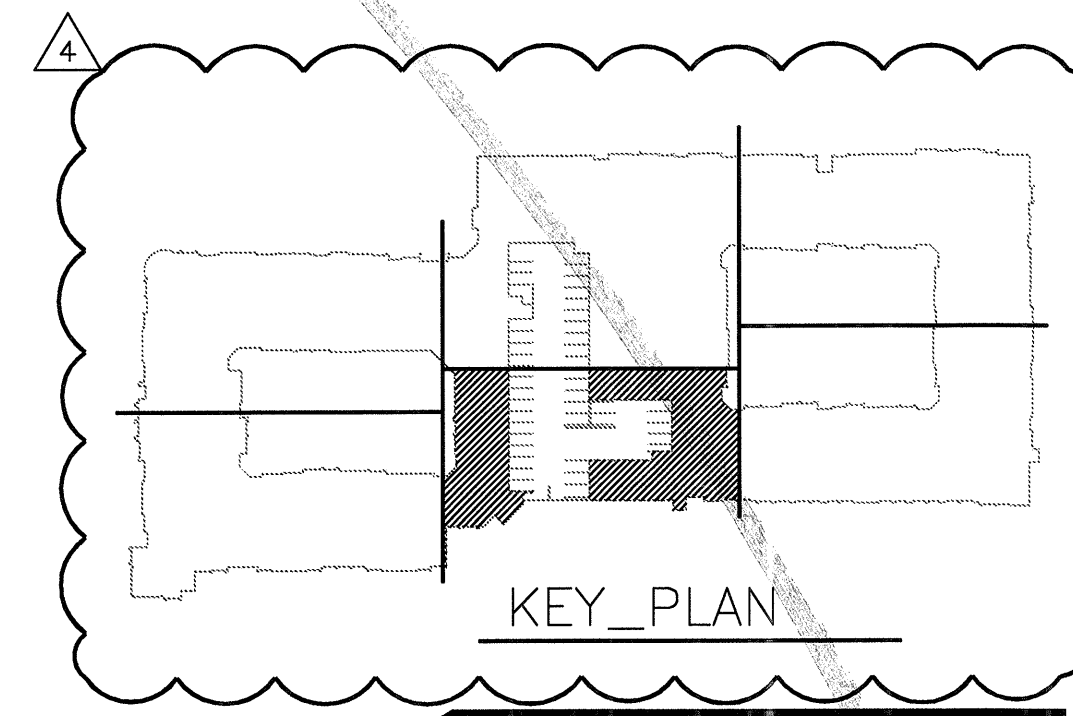
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08-05-11

PROJECT
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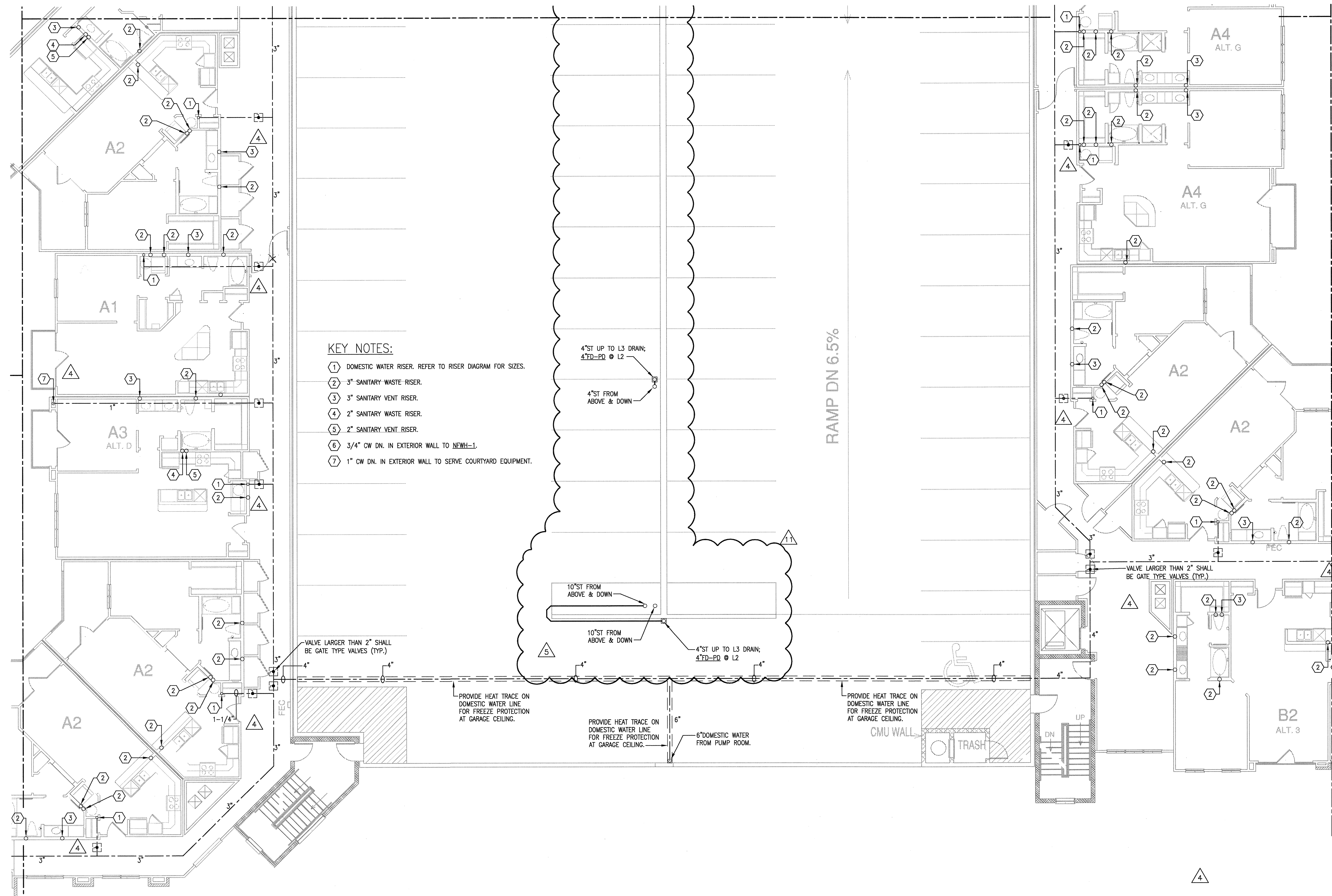
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14240 Midway Road, Suite 350
Dallas, TX 75244-5338
V: (469) 385-1616 F: (469) 385-1615
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: CV Checked By: RC



- KEY NOTES:**
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1 DIVISION 'D' SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



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REVISIONS		
①	9-2-2011	DESIGN REVISIONS
②	9-13-2011	ANSI/FHA COMMENTS
③	9-23-2011	DESIGN REVISIONS
④	10-17-2011	CONSTRUCTION ISSUE
⑤	12-21-2011	DESIGN REVISIONS
⑥	1-17-2012	DESIGN REVISIONS
⑦	2-15-2012	TRANSFORMER REVISIONS
⑧	3-27-2012	CLUBHOUSE REVISIONS
⑨	4-17-2012	COORDINATION

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS

⑩	5-15-2012	COORDINATION
⑪	5-30-2012	SITE COORDINATION

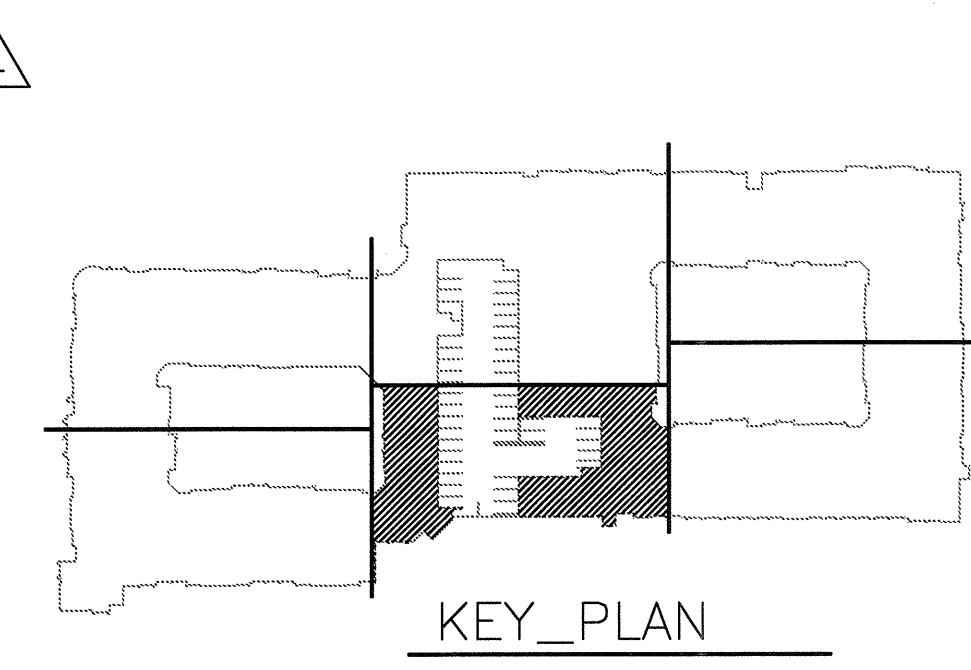


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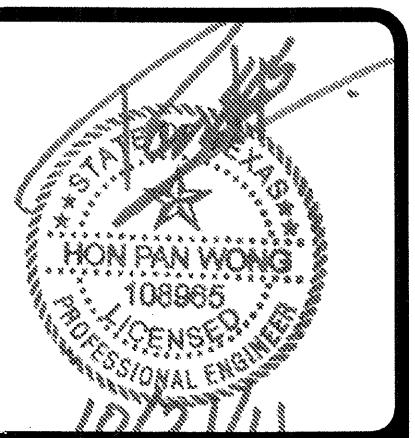
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17850 N. Dallas Parkway, Suite 320
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Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: CV Checked By: RC

1 DIVISION 'D' SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

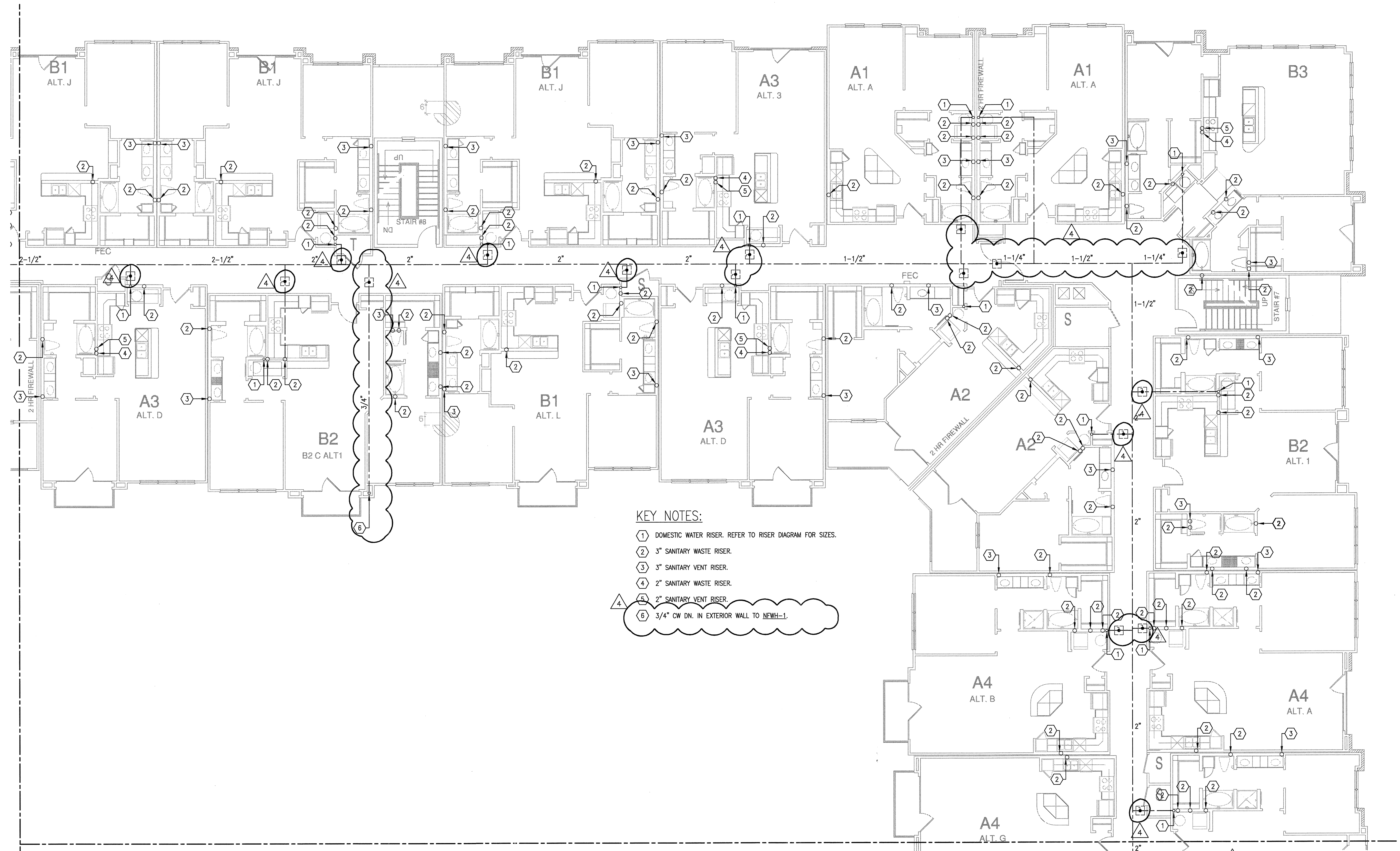


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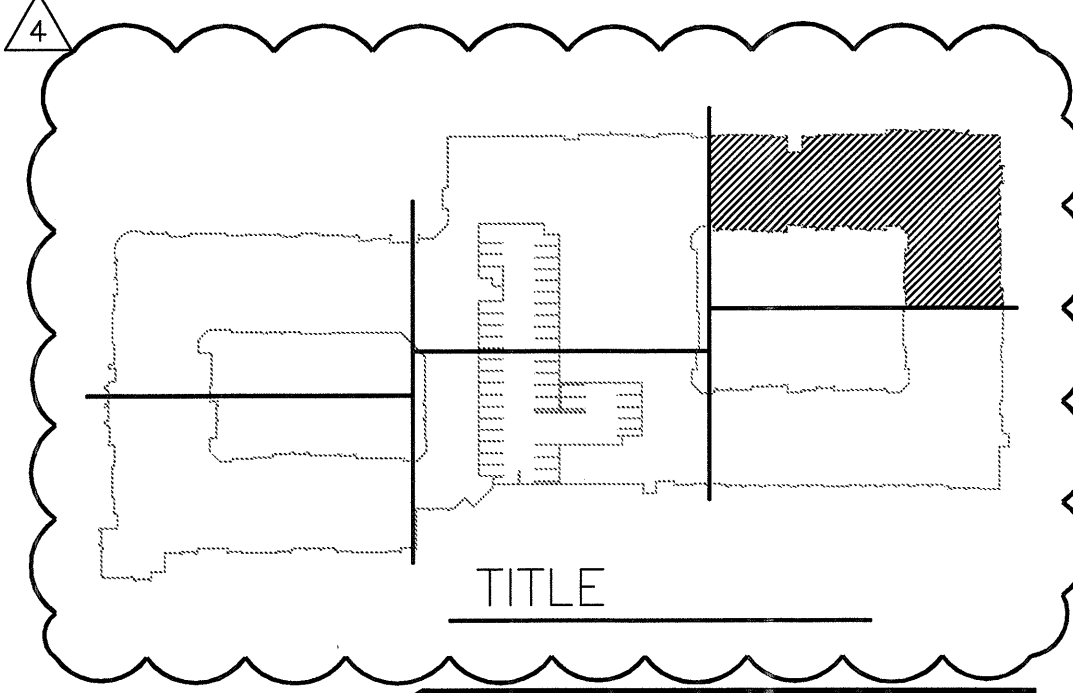
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KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS



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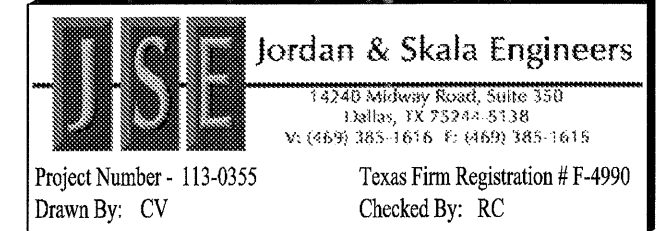
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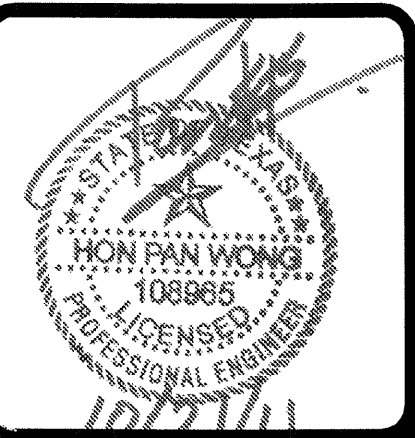
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PROJECT 11129

SHEET NUMBER

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REVISIONS

1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
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KELLER SPRINGS LOFTS
 LOFT APARTMENTS IN ADDISON, TEXAS

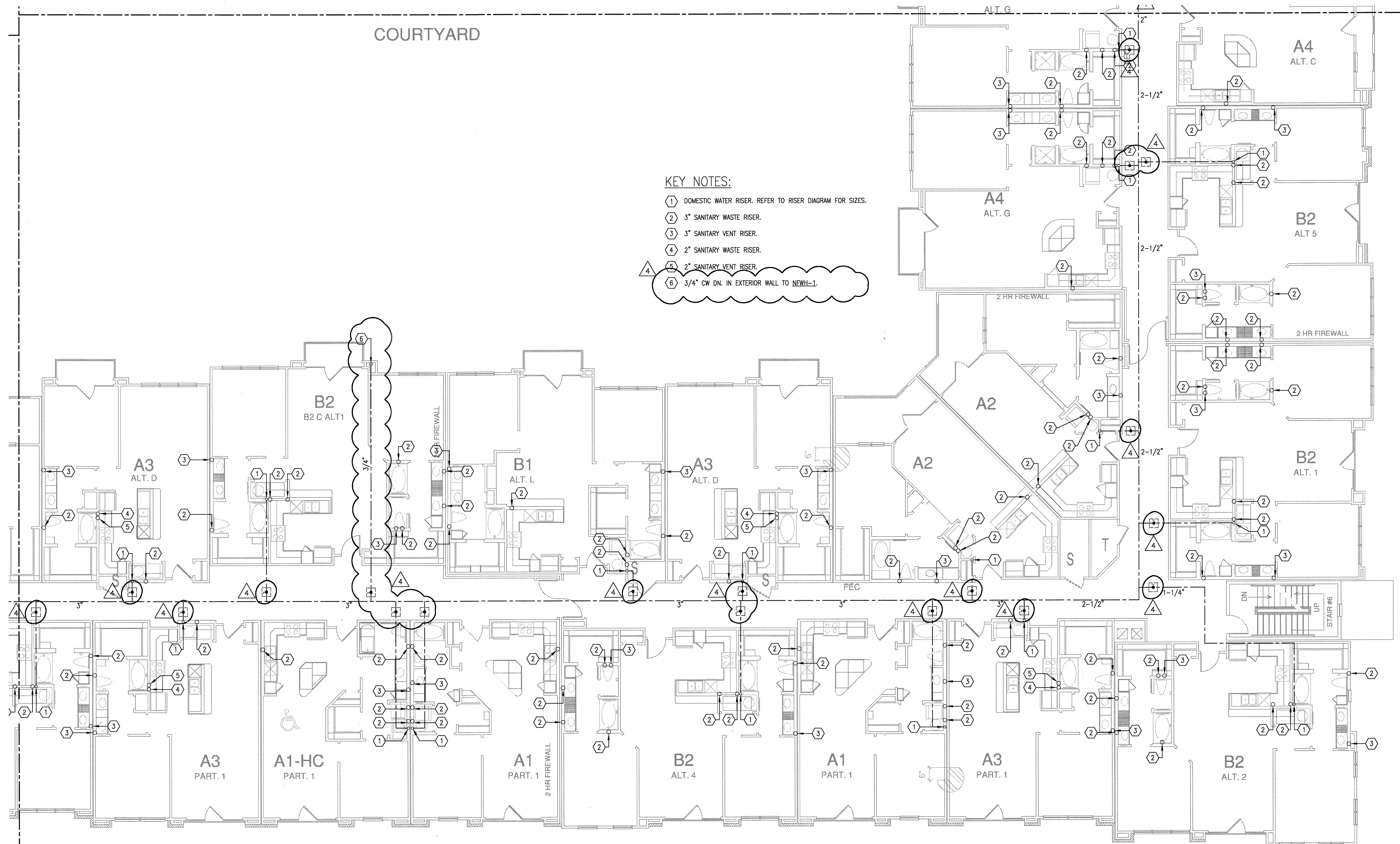
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DATE
 08-05-11

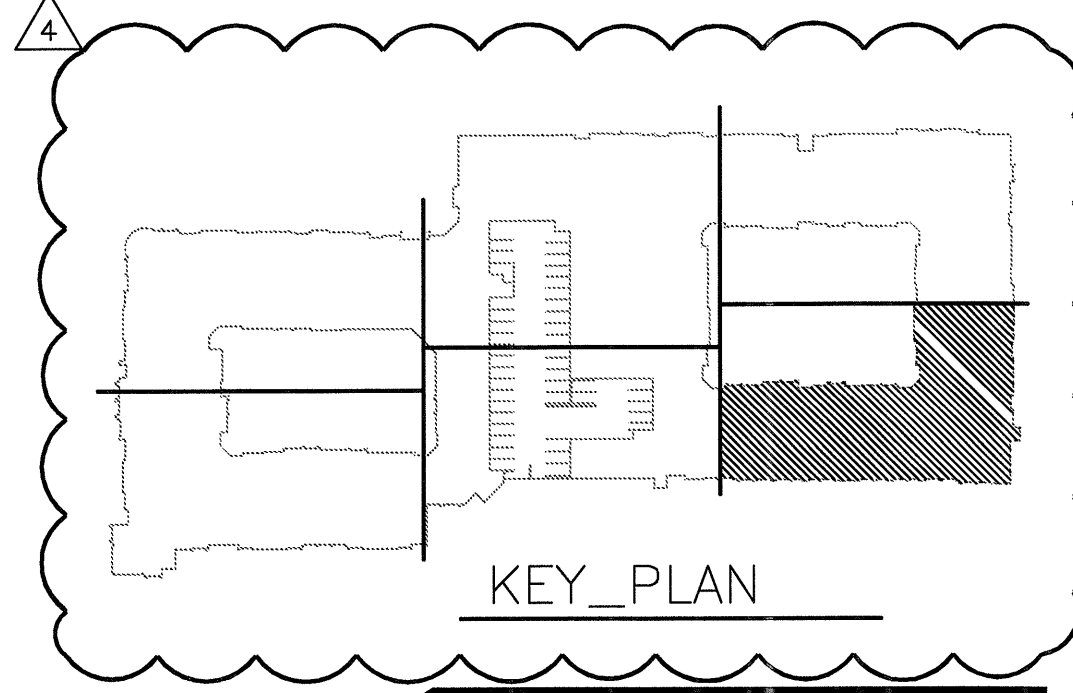
PROJECT
 11129

SHEET NUMBER

P-3.2F

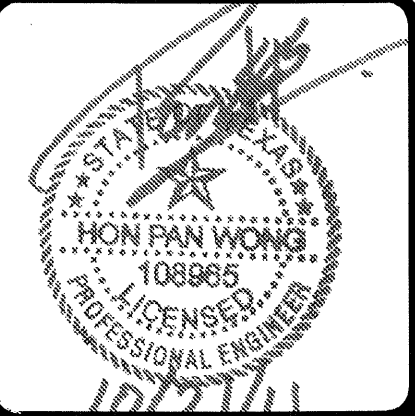


- KEY NOTES:**
- 1 DOMESTIC WATER RISER. REFER TO RISER DIAGRAM FOR SIZES.
 - 2 3" SANITARY WASTE RISER.
 - 3 3" SANITARY VENT RISER.
 - 4 2" SANITARY WASTE RISER.
 - 5 2" SANITARY VENT RISER.
 - 6 3/4" CW DN. IN EXTERIOR WALL TO NEWH-1.



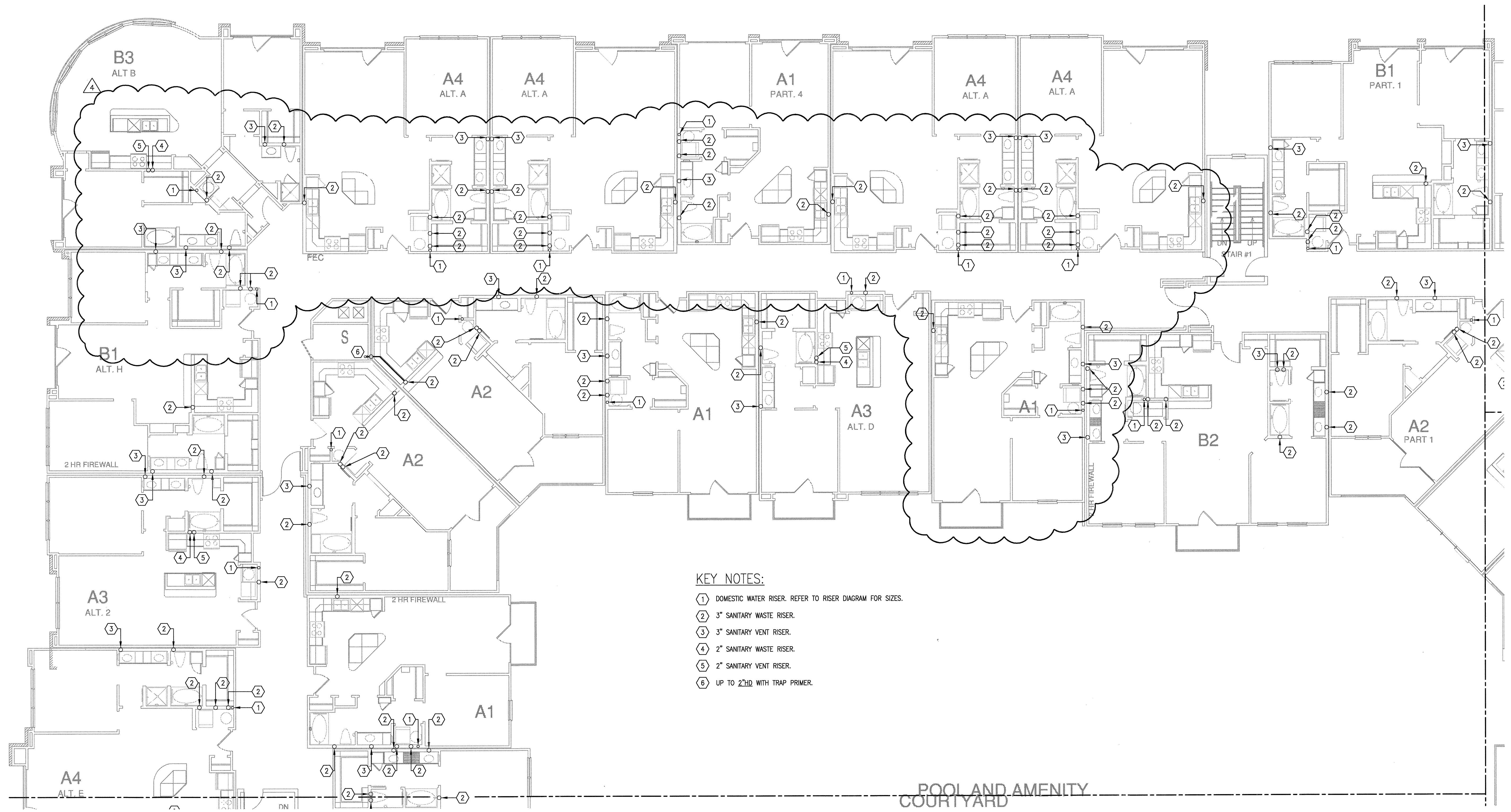
1 DIVISION 'F' SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"

JSE Jordan & Skala Engineers
 14240 Midway Road, Suite 350
 Dallas, TX 75244-5218
 V: (469) 383-1616 F: (469) 383-1615
 Project Number - 113-0355 Texas Firm Registration # F-4990
 Drawn By: CV Checked By: RC

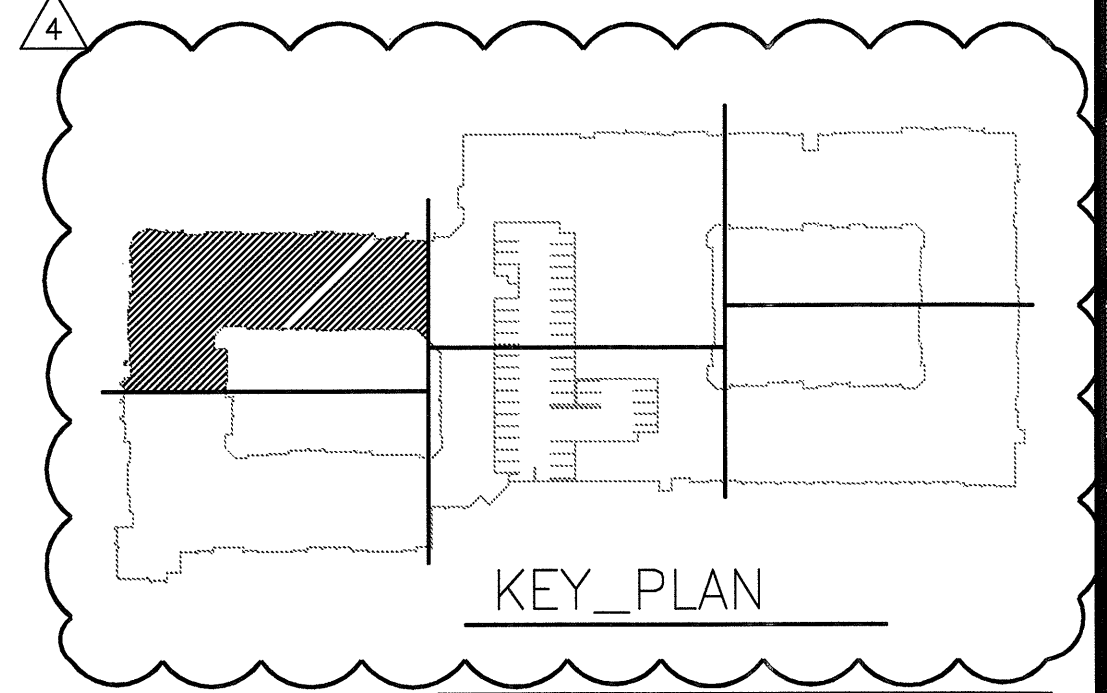


REVISIONS

1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE



- KEY NOTES:**
- 1 DOMESTIC WATER RISER. REFER TO RISER DIAGRAM FOR SIZES.
 - 2 3" SANITARY WASTE RISER.
 - 3 3" SANITARY VENT RISER.
 - 4 2" SANITARY WASTE RISER.
 - 5 2" SANITARY VENT RISER.
 - 6 UP TO 2ND WITH TRAP PRIMER.



KELLER SPRINGS LOFTS
LOFT APARTMENTS IN ADDISON, TEXAS

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08-05-11

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11129

SHEET NUMBER

P-3.3A

1 DIVISION 'A' THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

JSE Jordan & Skala Engineers
14240 Midway Road, Suite 350
Dallas, TX 75244-5138
V: (469) 383-1616, F: (469) 383-1615
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: CV Checked By: RC



REVISIONS		
1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE

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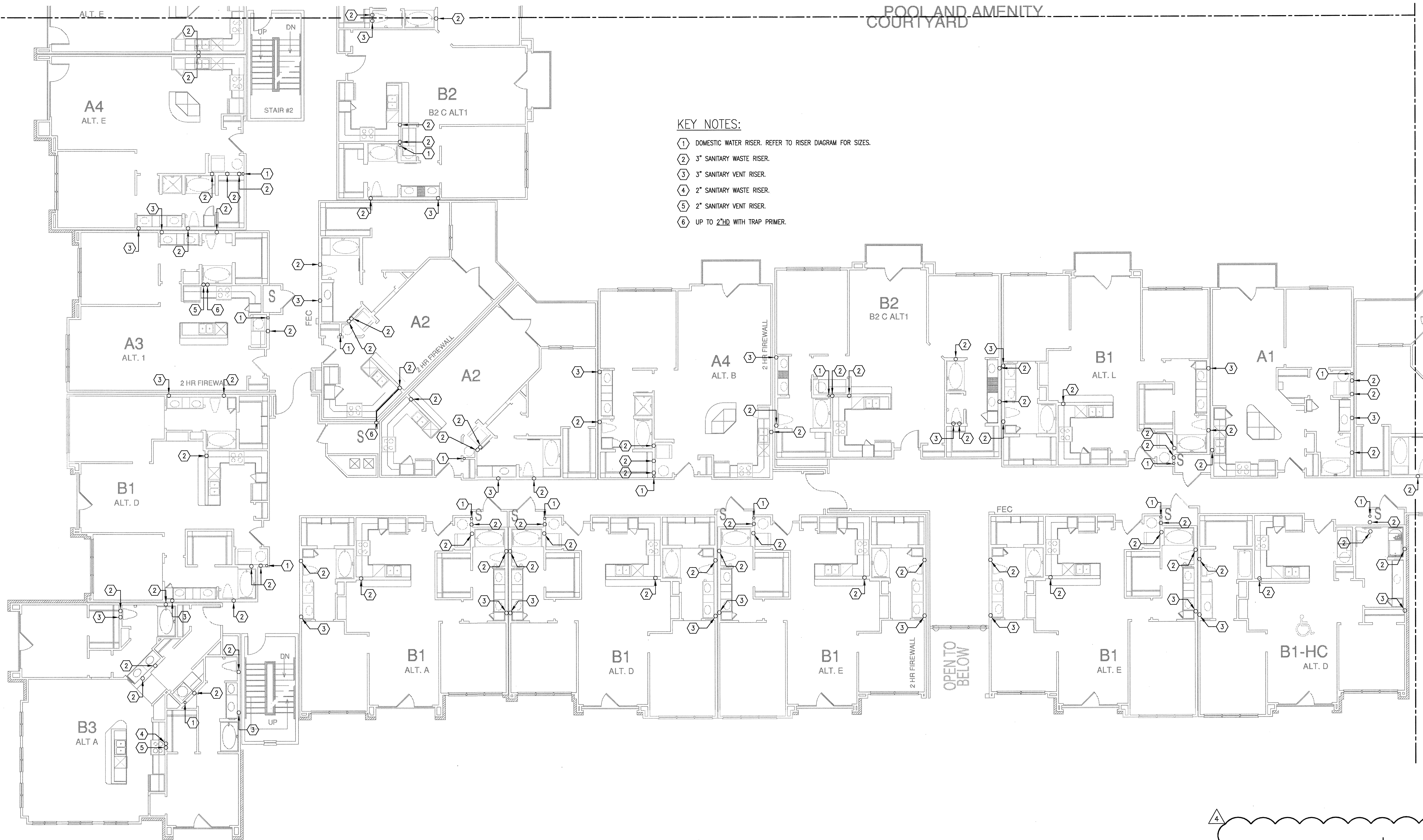
4144 N. Central Exp.
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08-05-11

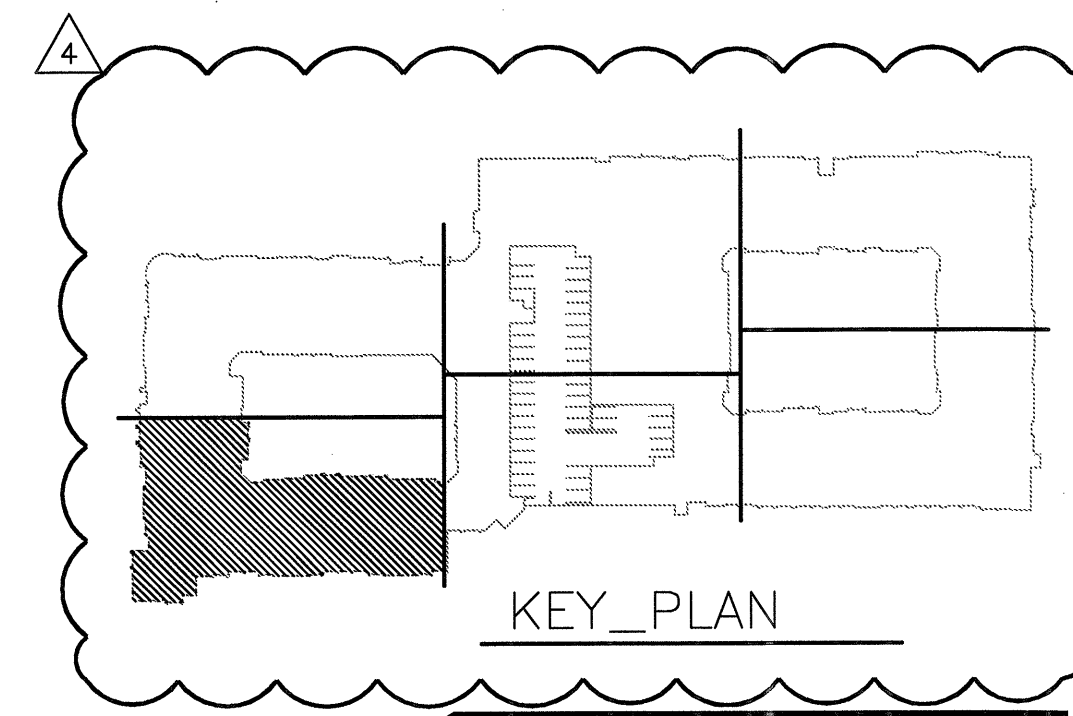
PROJECT
11129

SHEET NUMBER

P-3.3B



- KEY NOTES:**
- 1 DOMESTIC WATER RISER. REFER TO RISER DIAGRAM FOR SIZES.
 - 2 3" SANITARY WASTE RISER.
 - 3 3" SANITARY VENT RISER.
 - 4 2" SANITARY WASTE RISER.
 - 5 2" SANITARY VENT RISER.
 - 6 UP TO 2^{HR} WITH TRAP PRIMER.



1 DIVISION 'B' THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

JSE Jordan & Skala Engineers
14240 Midway Road, Suite 350
Dallas, TX 75244-5138
Tel: (666) 385-1616 Fax: (666) 385-1615
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: CV Checked By: RC



REVISIONS		
1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE
5	12-21-2011	DESIGN REVISIONS

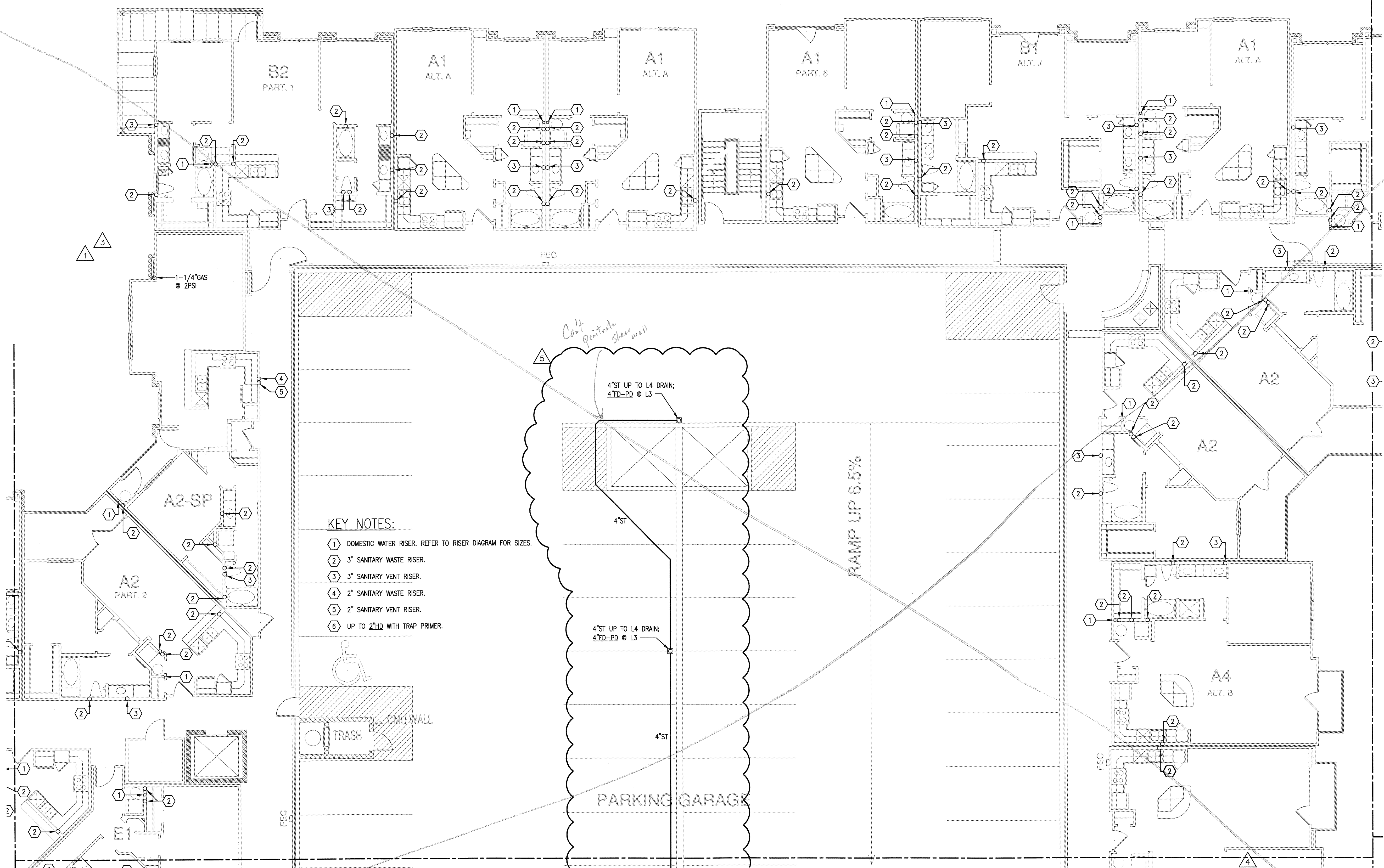
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Dallas, TX 75204
214.520.8878
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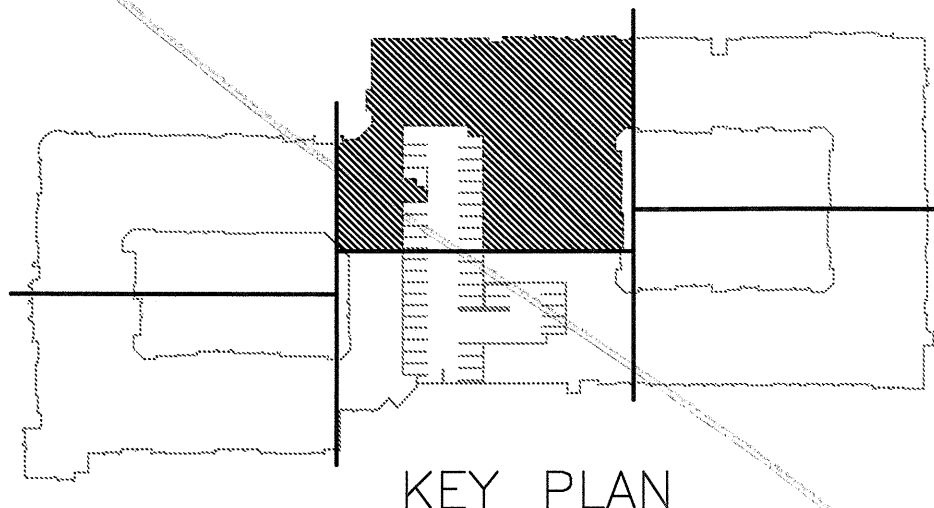
DATE
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PROJECT
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SHEET NUMBER
P-3.3C



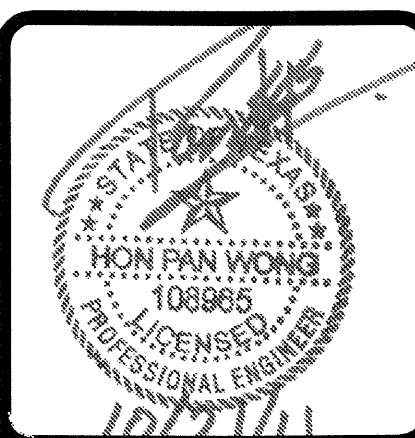
- KEY NOTES:**
- 1 DOMESTIC WATER RISER. REFER TO RISER DIAGRAM FOR SIZES.
 - 2 3" SANITARY WASTE RISER.
 - 3 3" SANITARY VENT RISER.
 - 4 2" SANITARY WASTE RISER.
 - 5 2" SANITARY VENT RISER.
 - 6 UP TO 2" HD WITH TRAP PRIMER.



KEY_PLAN

1 DIVISION 'C' THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

JSE Jordan & Skala Engineers
14240 Midway Road, Suite 330
Dallas, TX 75244-5138
P: (469) 385-1616 F: (469) 385-1615
Texas Firm Registration # F-4990
Project Number - 113-0355
Drawn By: CV Checked By: RC



REVISIONS		
1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS

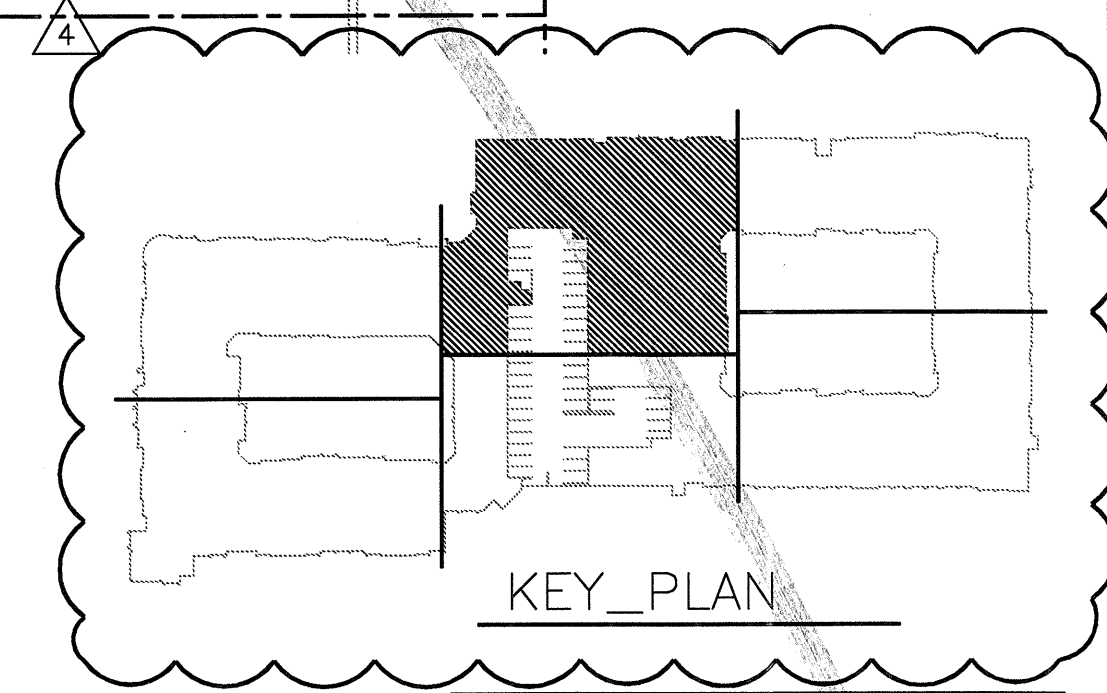
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4144 N. Central Expy.
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214.520.8878
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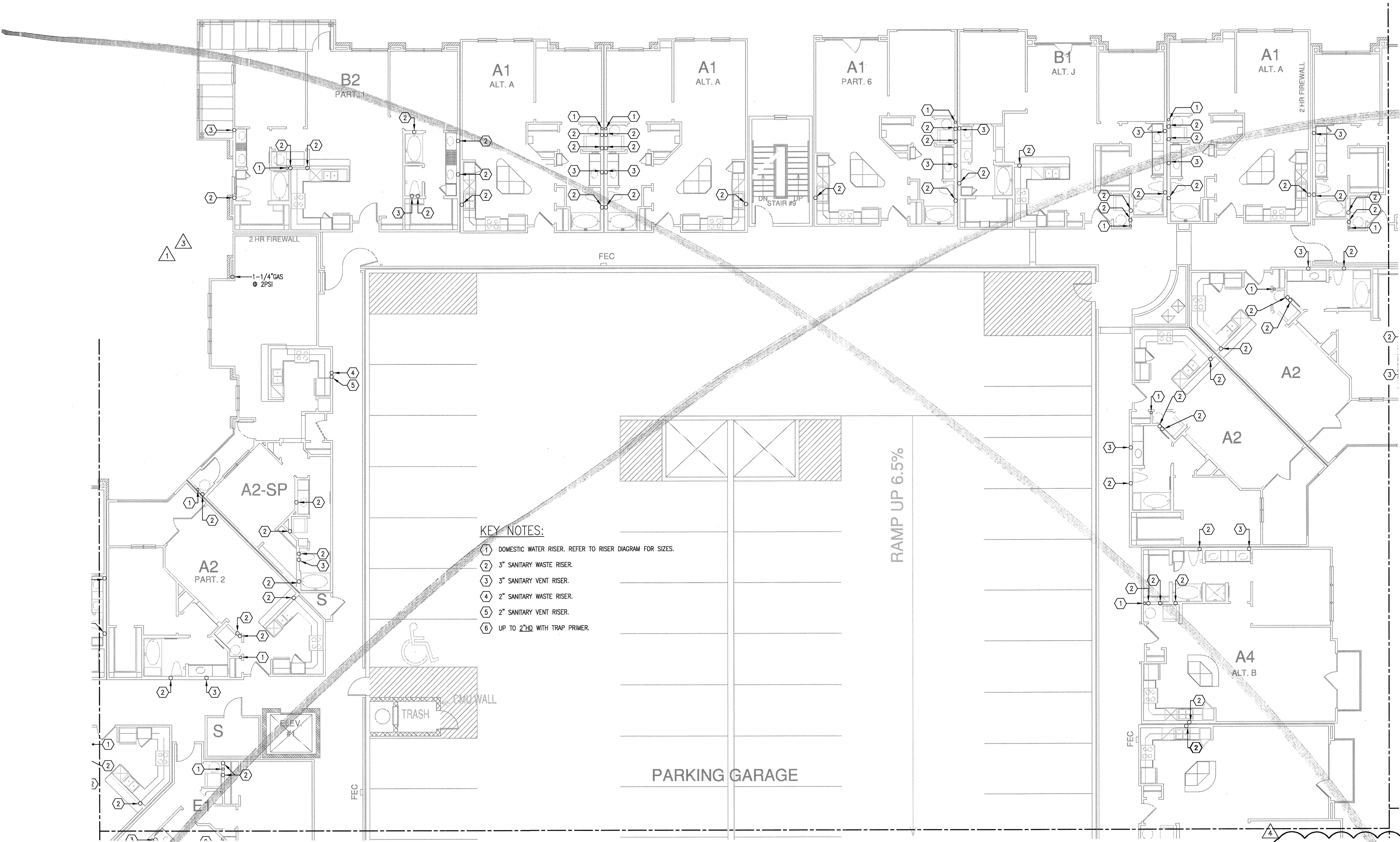
PROJECT
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SHEET NUMBER

P-3.3C

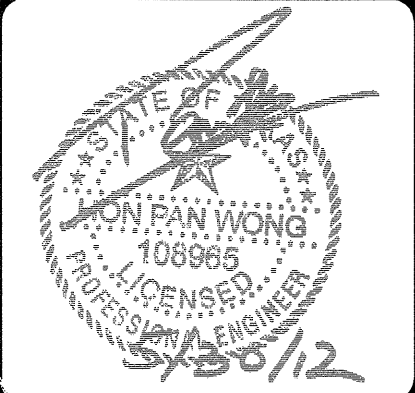


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V: (469) 383-1616, F: (469) 383-1615
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: CV Checked By: RC



- KEY NOTES:**
- 1 DOMESTIC WATER RISER. REFER TO RISER DIAGRAM FOR SIZES.
 - 2 3" SANITARY WASTE RISER.
 - 3 3" SANITARY VENT RISER.
 - 4 2" SANITARY WASTE RISER.
 - 5 2" SANITARY VENT RISER.
 - 6 UP TO 2" HD WITH TRAP PRIMER.

1 DIVISION 'C' THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"



REVISIONS		
1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE
5	12-21-2011	DESIGN REVISIONS
6	1-17-2012	DESIGN REVISIONS
7	2-15-2012	TRANSFORMER REVISIONS
8	3-27-2012	CLUBHOUSE REVISIONS
9	4-17-2012	COORDINATION

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 LOFT APARTMENTS IN ADDISON, TEXAS

10	5-15-2012	COORDINATION
11	5-30-2012	SITE COORDINATION

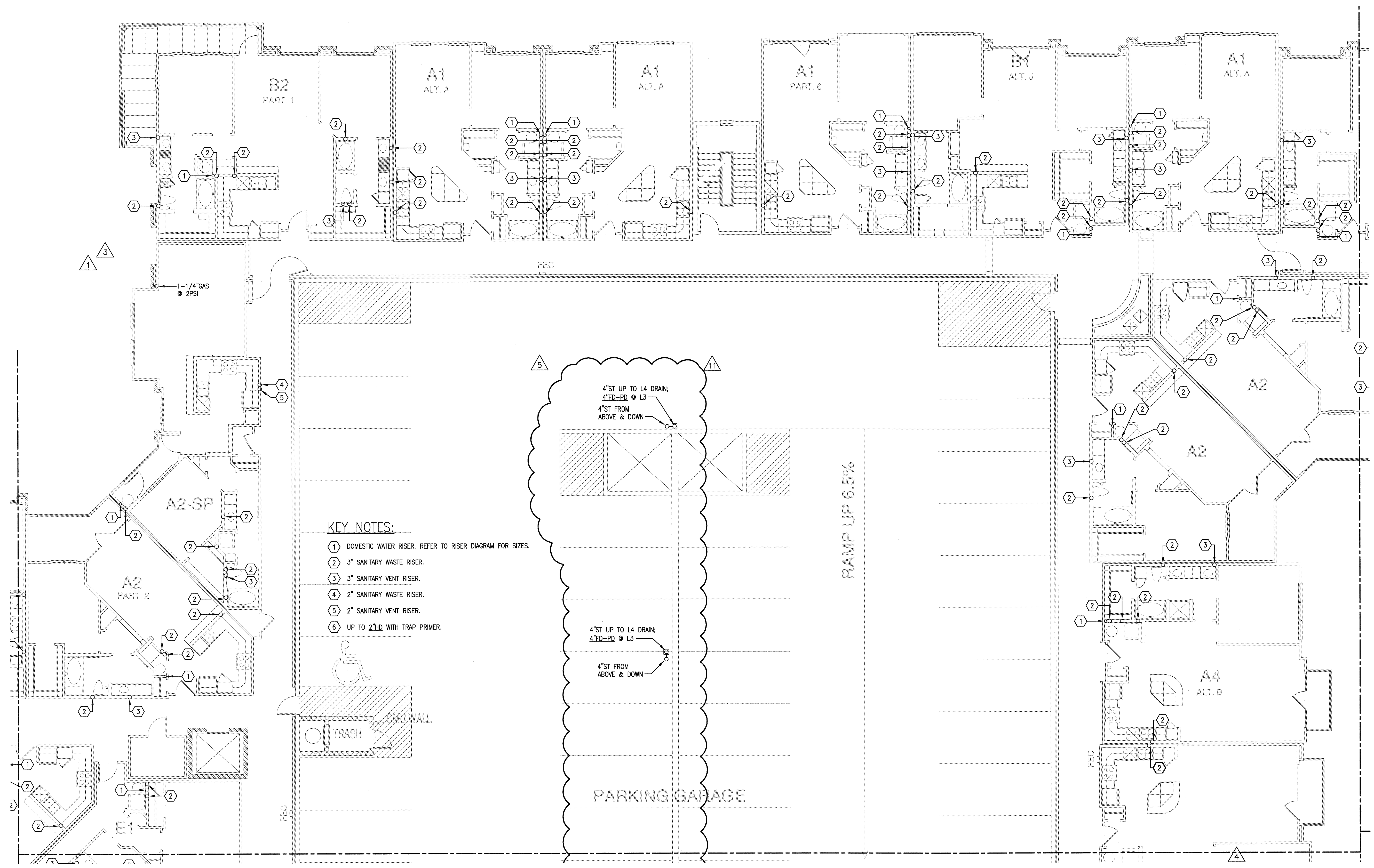
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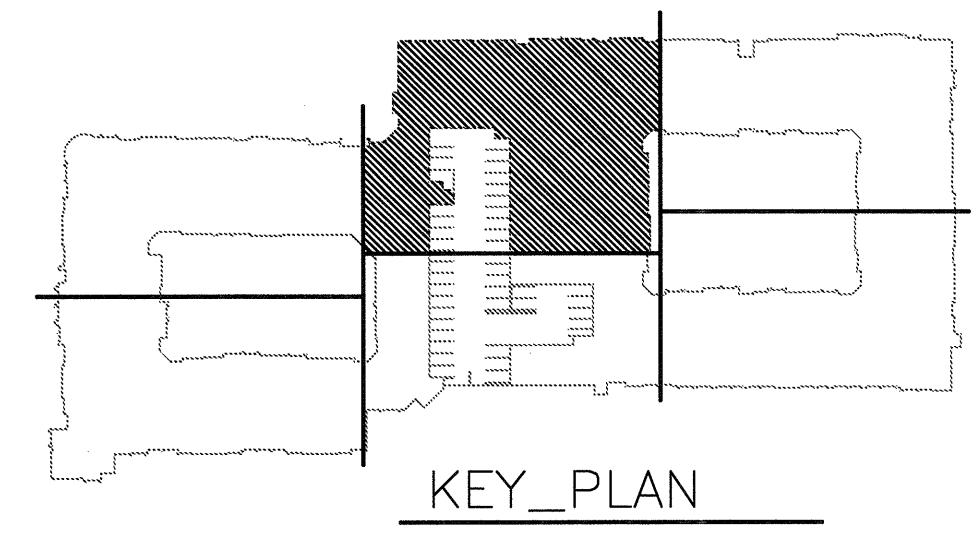
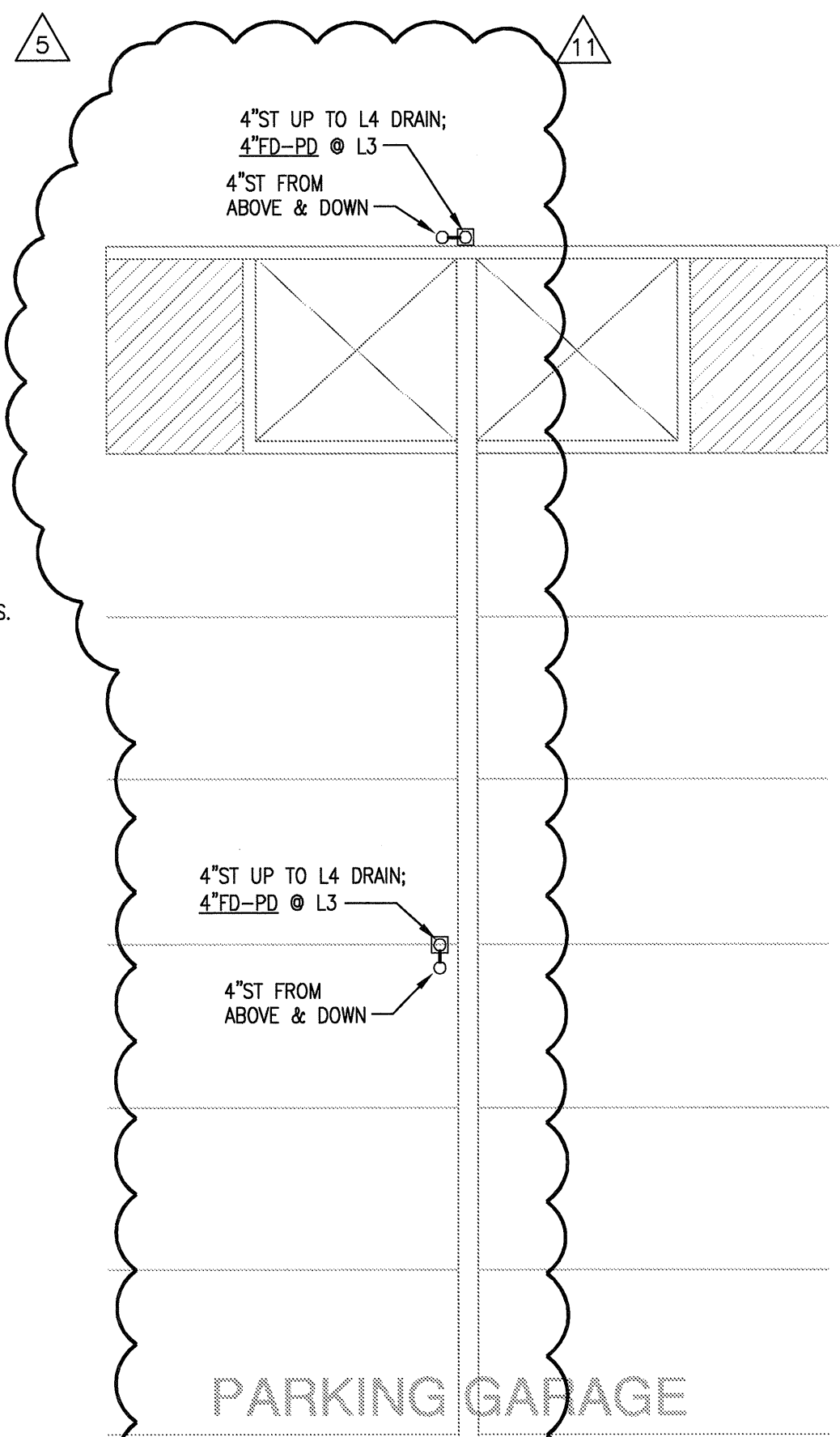
PROJECT
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SHEET NUMBER

P-3.3C



- KEY NOTES:**
- 1 DOMESTIC WATER RISER. REFER TO RISER DIAGRAM FOR SIZES.
 - 2 3" SANITARY WASTE RISER.
 - 3 3" SANITARY VENT RISER.
 - 4 2" SANITARY WASTE RISER.
 - 5 2" SANITARY VENT RISER.
 - 6 UP TO 2" HD WITH TRAP PRIMER.



1 DIVISION 'C' THIRD FLOOR PLAN
 SCALE: 1/8" = 1'-0"

JSE Jordan & Skala Engineers
 17855 N. Dallas Parkway, Suite 370
 Dallas, TX 75287-6857
 V: 469.985.1616 Web: www.jordanaskala.com
 Project Number - 113-0355 Texas Firm Registration # F-4990
 Drawn By: CV Checked By: RC



REVISIONS

1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE
5	12-21-2011	DESIGN REVISIONS

KELLER SPRINGS LOFTS
 LOFT APARTMENTS IN ADDISON, TEXAS

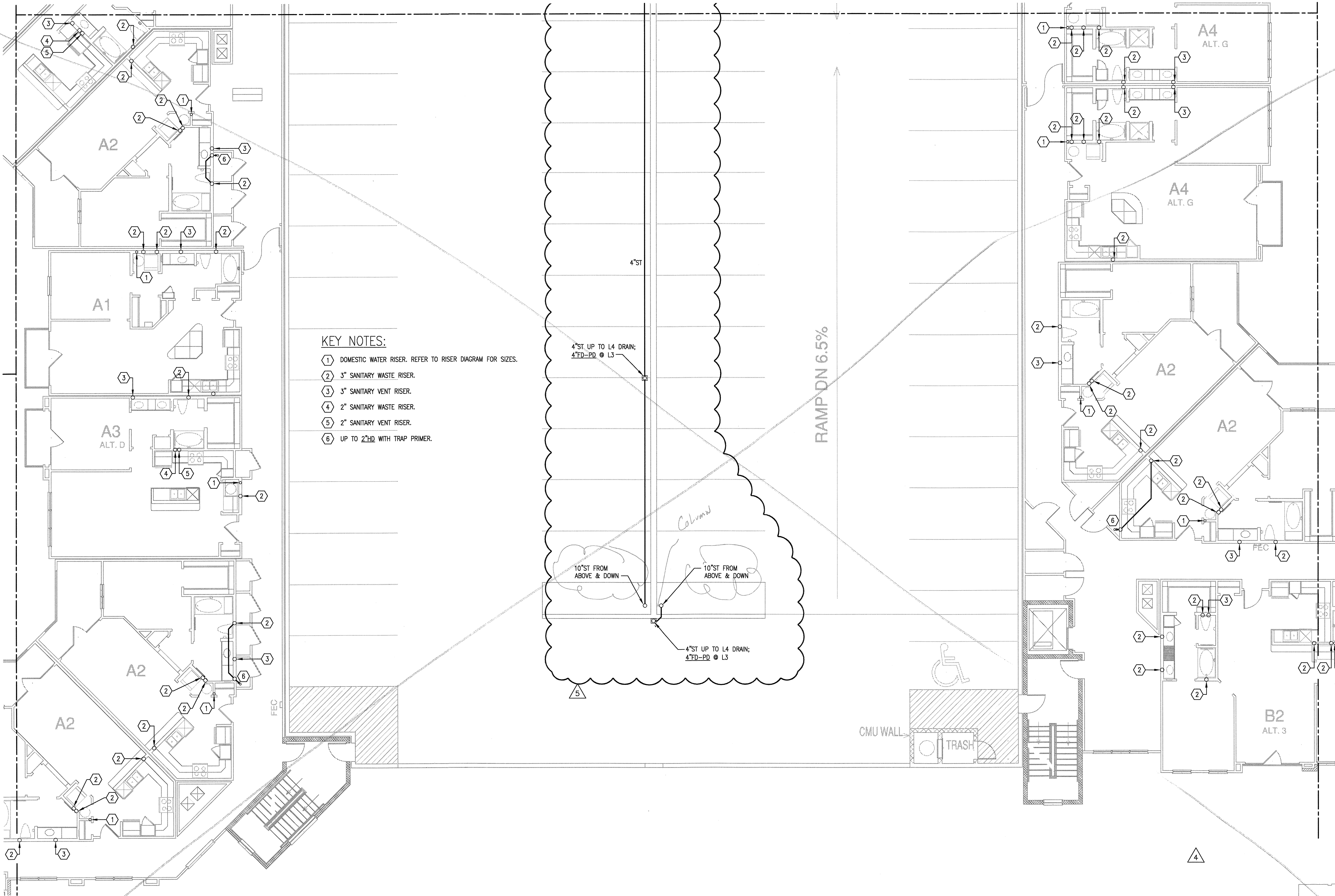
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 Suite 855
 Dallas, TX 75204
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DATE
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PROJECT
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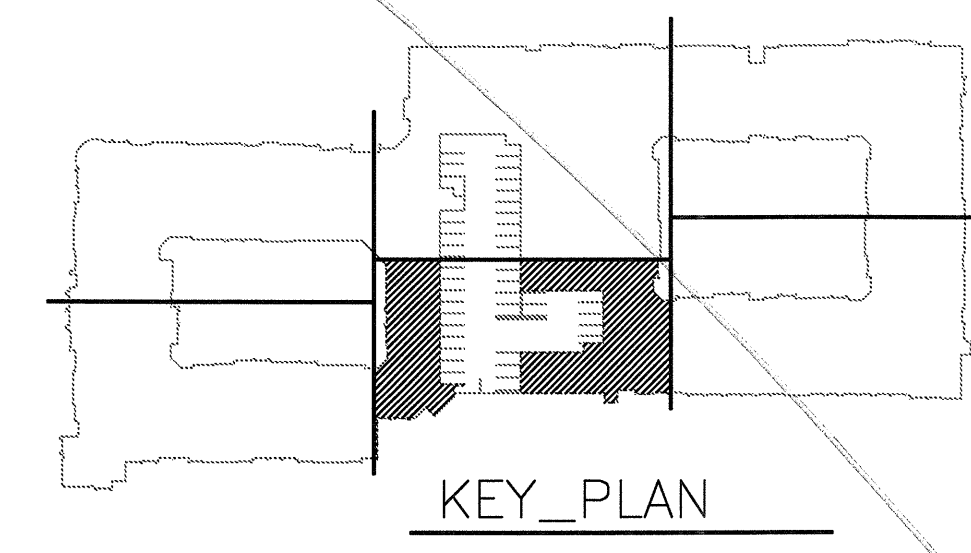
SHEET NUMBER
P-3.3D

JSE Jordan & Skala Engineers
 14240 Midway Road, Suite 350
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 Project Number - 113-0355 Texas Firm Registration # F-4990
 Drawn By: CV Checked By: RC



- KEY NOTES:**
- 1 DOMESTIC WATER RISER. REFER TO RISER DIAGRAM FOR SIZES.
 - 2 3" SANITARY WASTE RISER.
 - 3 3" SANITARY VENT RISER.
 - 4 2" SANITARY WASTE RISER.
 - 5 2" SANITARY VENT RISER.
 - 6 UP TO 2" ID WITH TRAP PRIMER.

1 DIVISION 'D' THIRD FLOOR PLAN
 SCALE: 1/8" = 1'-0"





REVISIONS

1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS
 LOFT APARTMENTS IN ADDISON, TEXAS

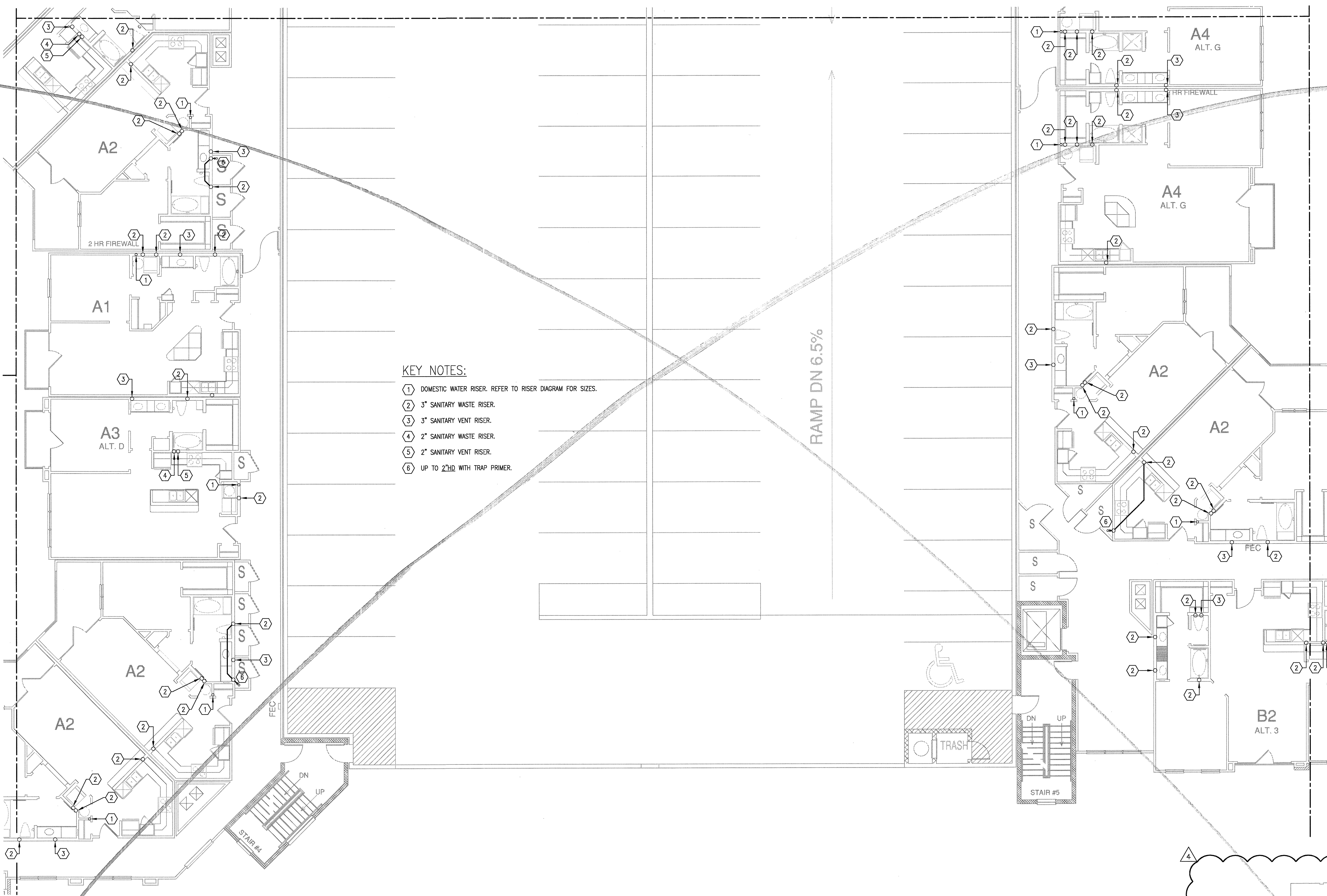
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 4144 N. Central Expy.
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 Dallas, TX 75204
 214.520.8878
 bgoarchitects.com

DATE
 08-05-11

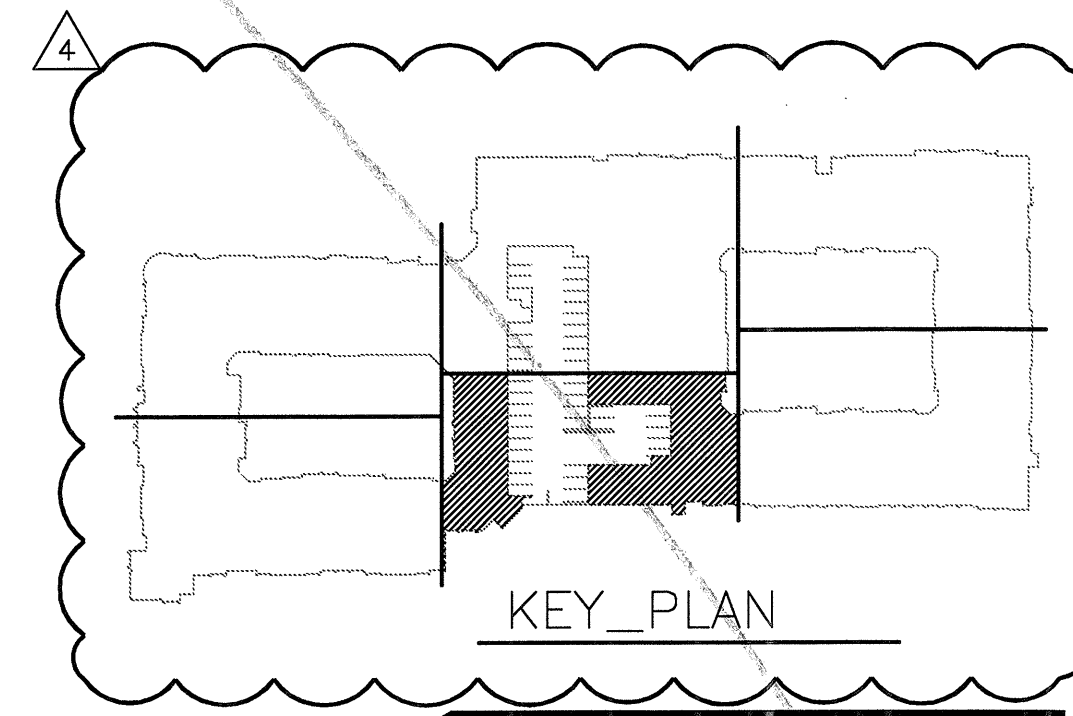
PROJECT
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SHEET NUMBER

P-3.3D



- KEY NOTES:**
- 1 DOMESTIC WATER RISER. REFER TO RISER DIAGRAM FOR SIZES.
 - 2 3" SANITARY WASTE RISER.
 - 3 3" SANITARY VENT RISER.
 - 4 2" SANITARY WASTE RISER.
 - 5 2" SANITARY VENT RISER.
 - 6 UP TO 2" HD WITH TRAP PRIMER.



1 DIVISION 'D' THIRD FLOOR PLAN
 SCALE: 1/8" = 1'-0"

JSE Jordan & Skala Engineers
 14340 Midway Road, Suite 350
 Dallas, TX 75244-5138
 V: (469) 385-1616, F: (469) 385-1615
 Project Number - 113-0355 Texas Firm Registration # F-4990
 Drawn By: CV Checked By: RC



REVISIONS

1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE
5	12-21-2011	DESIGN REVISIONS
6	1-17-2012	DESIGN REVISIONS
7	2-15-2012	TRANSFORMER REVISIONS
8	3-27-2012	CLUBHOUSE REVISIONS
9	4-17-2012	COORDINATION

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS

10	5-15-2012	COORDINATION
11	5-30-2012	SITE COORDINATION

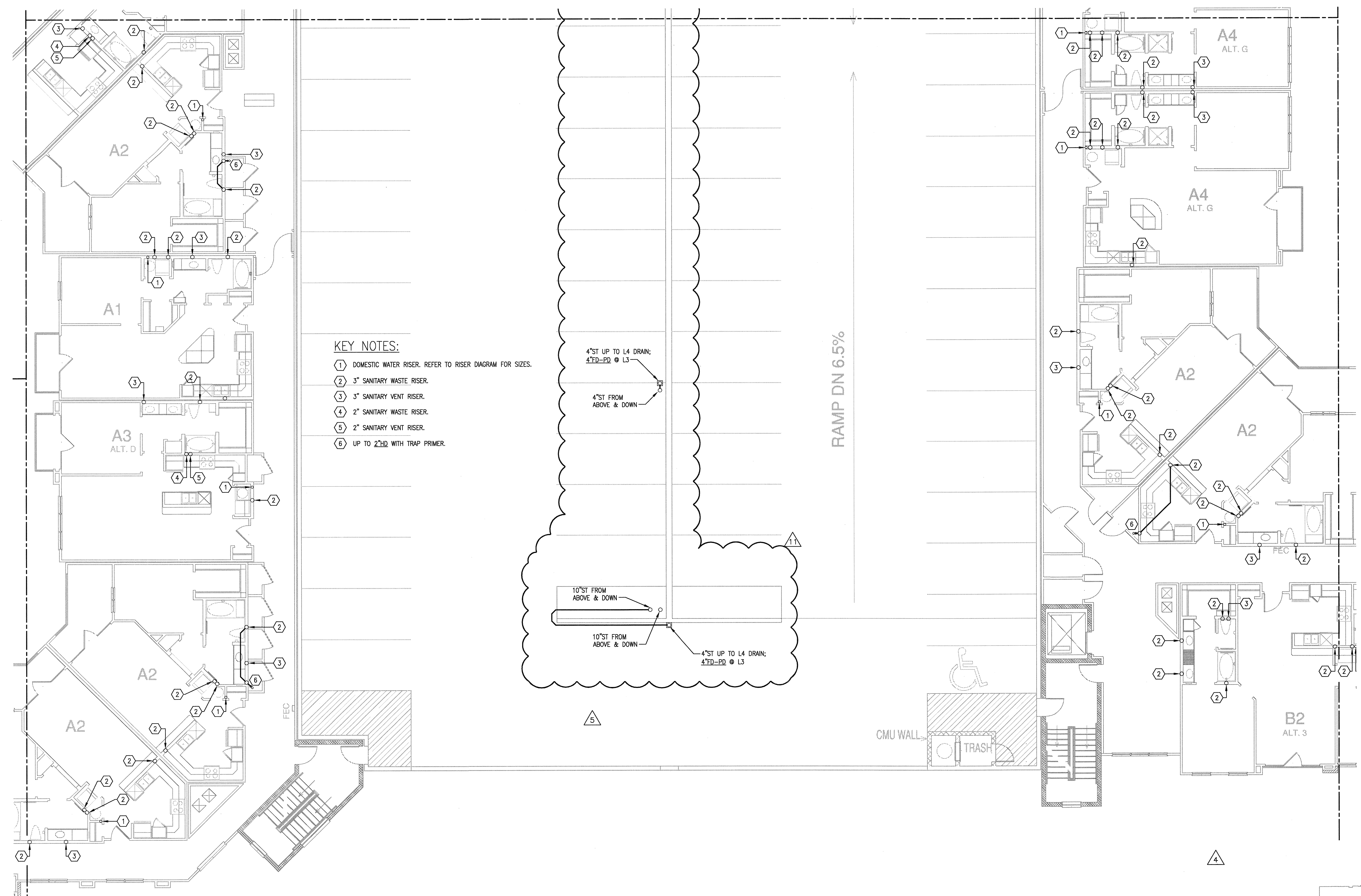


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Dallas, TX 75204
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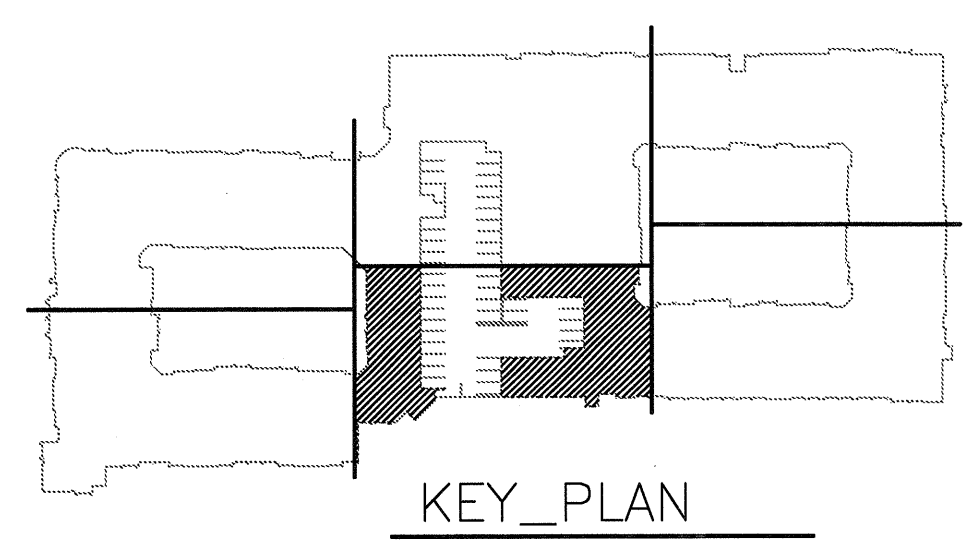
PROJECT
11129

SHEET NUMBER
P-3.3D

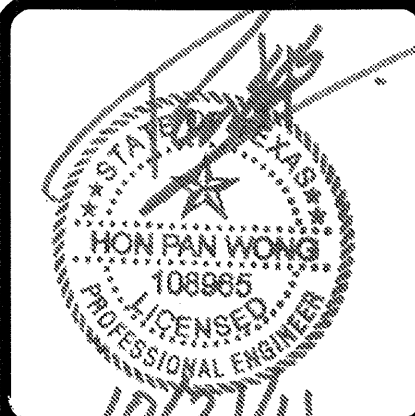


- KEY NOTES:**
- 1 DOMESTIC WATER RISER. REFER TO RISER DIAGRAM FOR SIZES.
 - 2 3" SANITARY WASTE RISER.
 - 3 3" SANITARY VENT RISER.
 - 4 2" SANITARY WASTE RISER.
 - 5 2" SANITARY VENT RISER.
 - 6 UP TO 2" HD WITH TRAP PRIMER.

1 DIVISION 'D' THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"



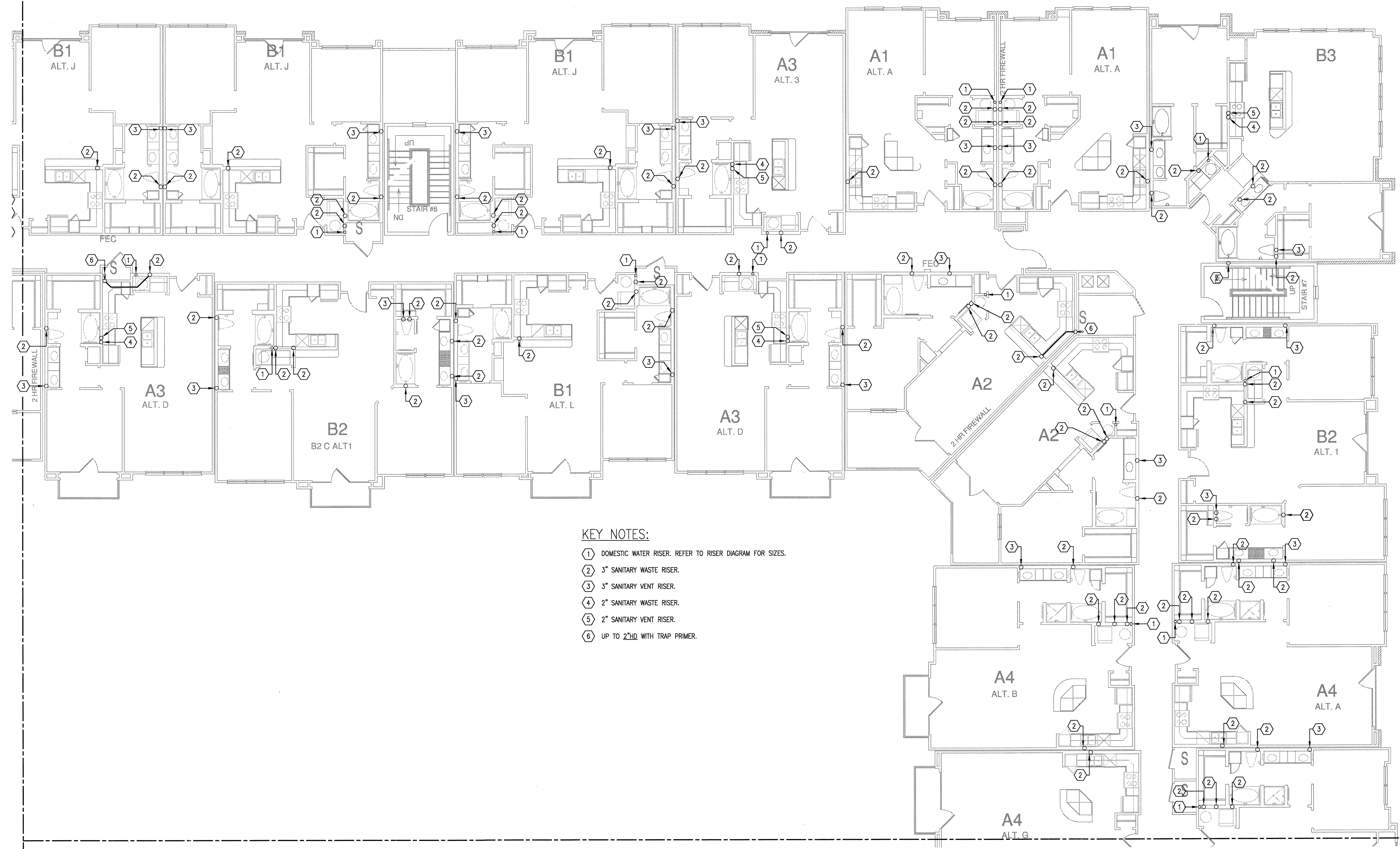
JSE Jordan & Skala Engineers
17833 N. Dallas Parkway, Suite 370
Dallas, TX 75247-4857
V: 469 385 1616 Web: www.jordanskala.com
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: CV Checked By: RC



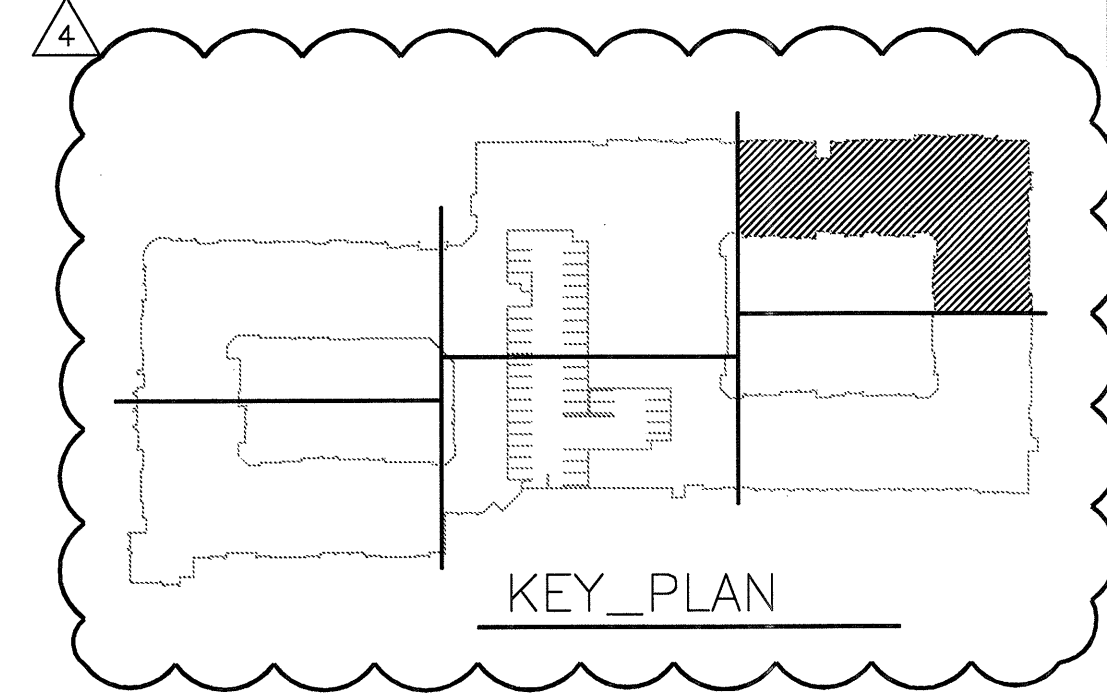
REVISIONS		
△ 9-2-2011	DESIGN REVISIONS	
△ 9-13-2011	ANSI/FHA COMMENTS	
△ 9-23-2011	DESIGN REVISIONS	
△ 10-17-2011	CONSTRUCTION ISSUE	

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS



- KEY NOTES:**
- ① DOMESTIC WATER RISER. REFER TO RISER DIAGRAM FOR SIZES.
 - ② 3" SANITARY WASTE RISER.
 - ③ 3" SANITARY VENT RISER.
 - ④ 2" SANITARY WASTE RISER.
 - ⑤ 2" SANITARY VENT RISER.
 - ⑥ UP TO 2^{1/2}" WITH TRAP PRIMER.



1 DIVISION 'E' THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

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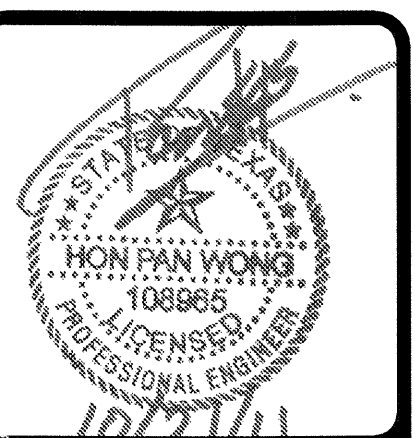
DATE
08-05-11

PROJECT
11129

SHEET NUMBER

P-3.3E

JSE Jordan & Skala Engineers
14240 Midway Road, Suite 330
Dallas, TX 75244-5138
Tel: (469) 383-1618, Fax: (469) 383-1615
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: CV Checked By: RC



REVISIONS

1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS
 LOFT APARTMENTS IN ADDISON, TEXAS

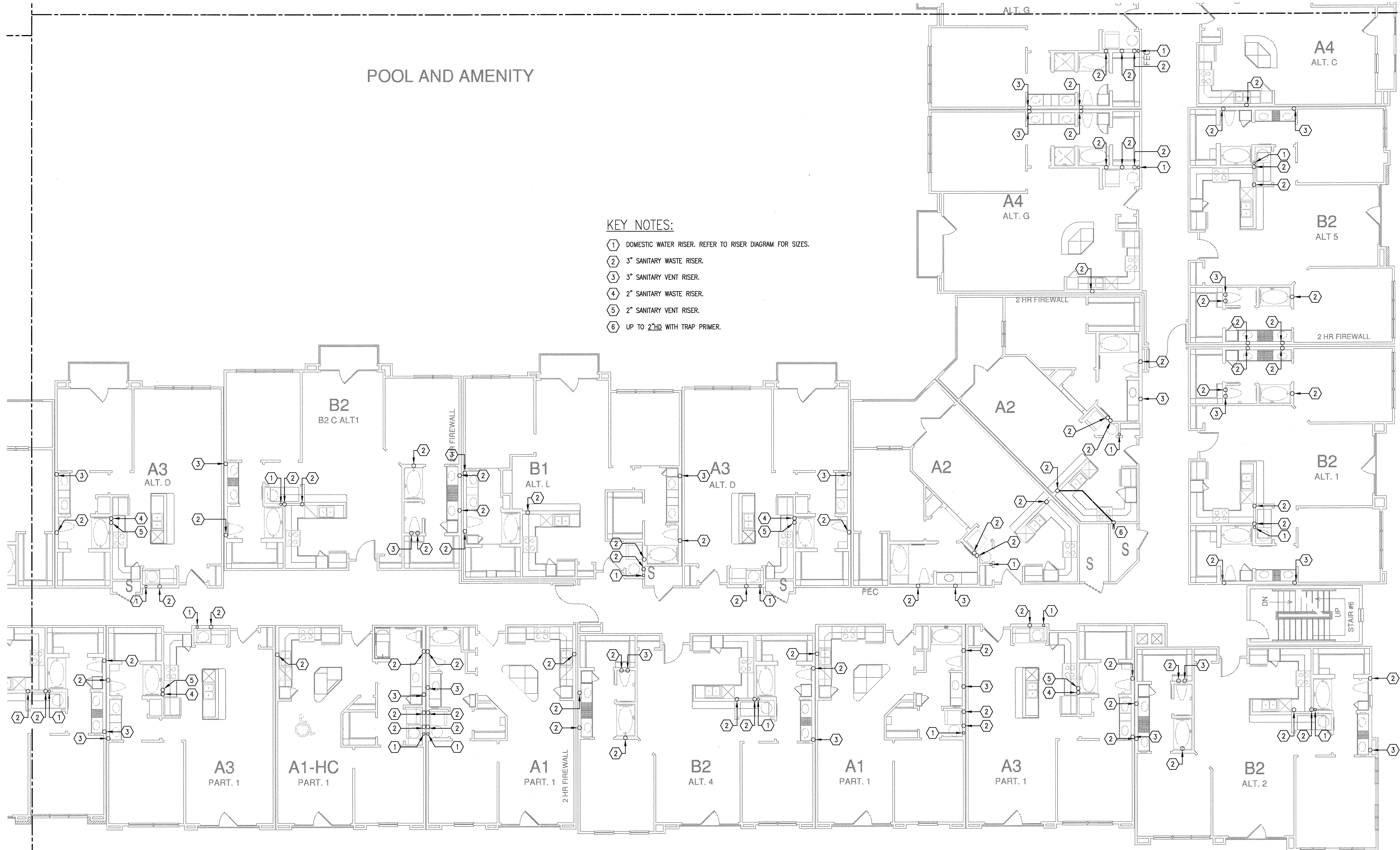
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 architects
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 Suite 855
 Dallas, TX 75204
 214.520.8878
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DATE
 08-05-11

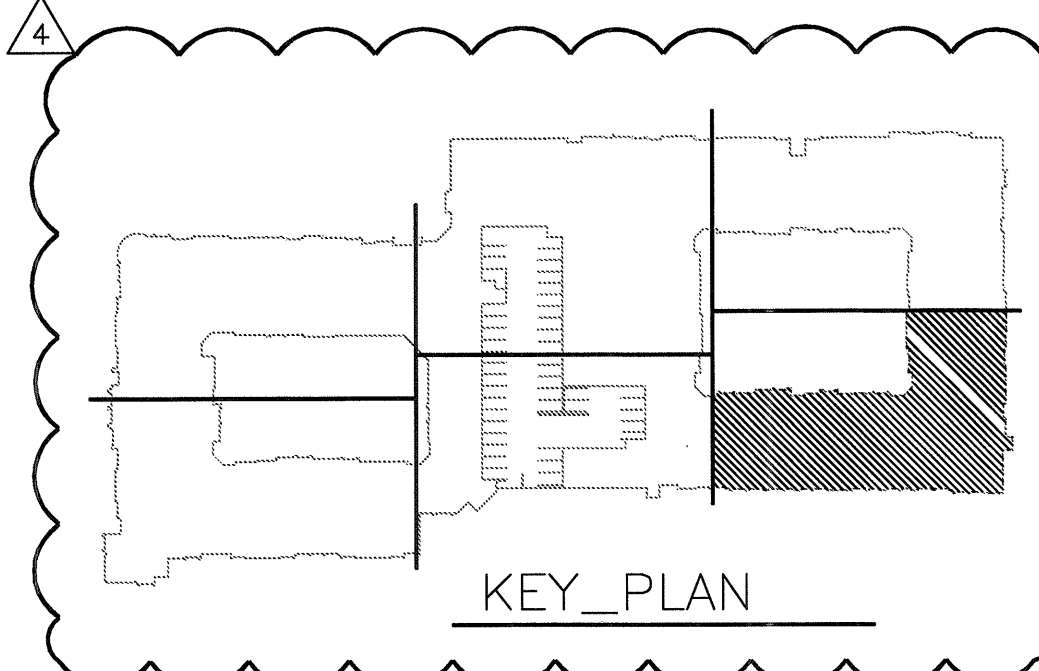
PROJECT
 11129

SHEET NUMBER
P-3.3F

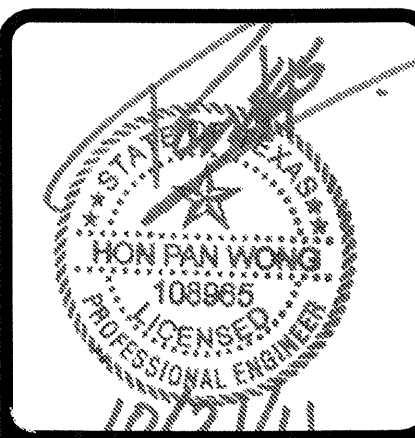
JSE Jordan & Skala Engineers
 14240 Midway Road, Suite 300
 Dallas, TX 75244-5138
 V: (469) 385-1616 F: (469) 385-1615
 Project Number - 113-0355 Texas Firm Registration # F-4990
 Drawn By: CV Checked By: RC



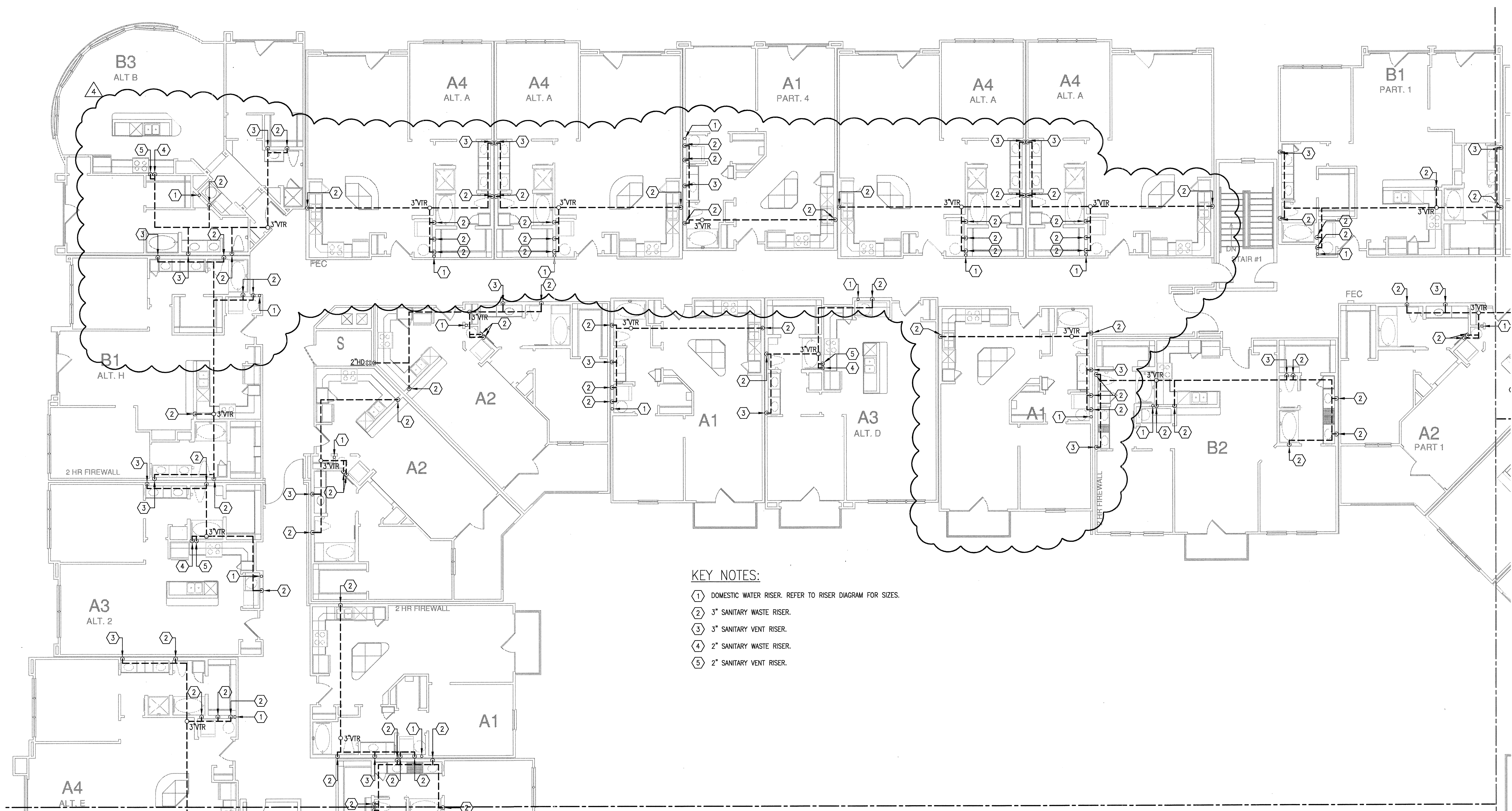
- KEY NOTES:**
- 1 DOMESTIC WATER RISER. REFER TO RISER DIAGRAM FOR SIZES.
 - 2 3" SANITARY WASTE RISER.
 - 3 3" SANITARY VENT RISER.
 - 4 2" SANITARY WASTE RISER.
 - 5 2" SANITARY VENT RISER.
 - 6 UP TO 2" HD WITH TRAP PRIMER.



1 DIVISION 'F' THIRD FLOOR PLAN
 SCALE: 1/8" = 1'-0"



REVISIONS	
1	9-2-2011 DESIGN REVISIONS
2	9-13-2011 ANSI/FHA COMMENTS
3	9-23-2011 DESIGN REVISIONS
4	10-17-2011 CONSTRUCTION ISSUE



- KEY NOTES:**
- 1 DOMESTIC WATER RISER. REFER TO RISER DIAGRAM FOR SIZES.
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 - 4 2" SANITARY WASTE RISER.
 - 5 2" SANITARY VENT RISER.

KELLER SPRINGS LOFTS
LOFT APARTMENTS IN ADDISON, TEXAS

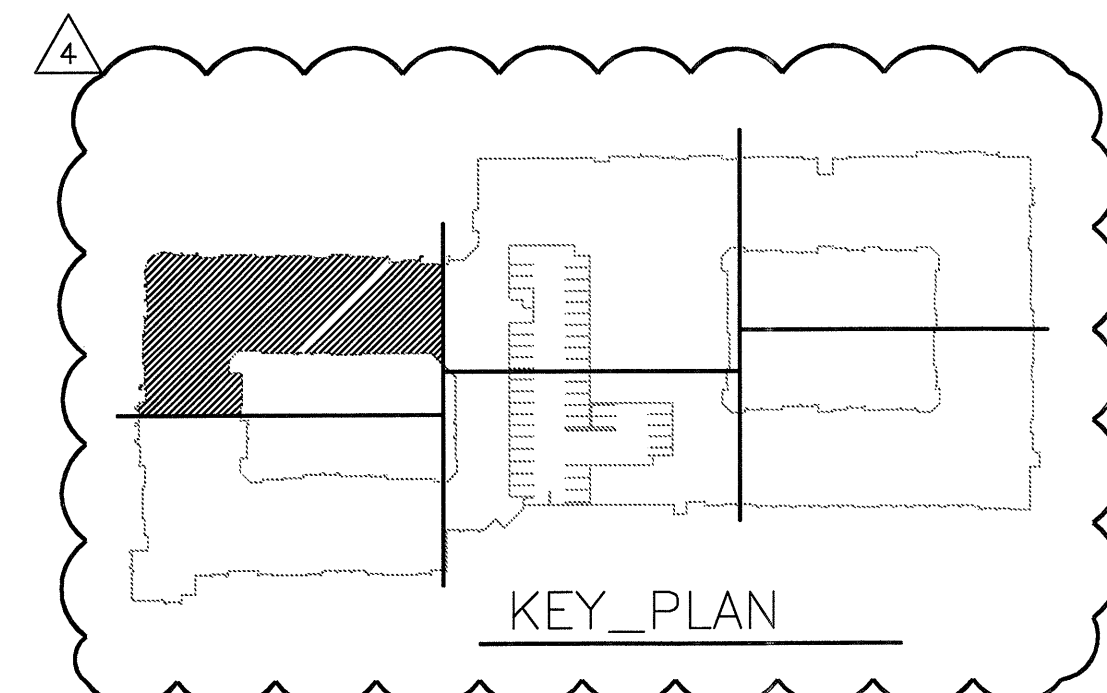
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4144 N. Central Expy.
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Dallas, TX 75204
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DATE
08-05-11

PROJECT
11129

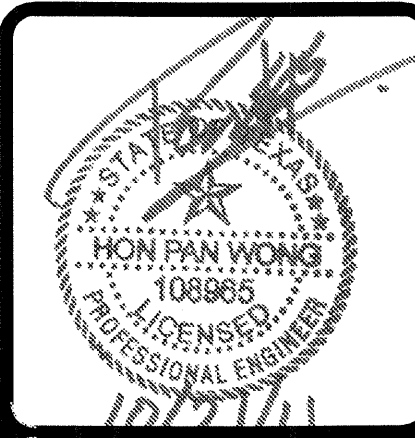
SHEET NUMBER

P-3.4A



1 DIVISION 'A' FOURTH FLOOR PLAN
SCALE: 1/8" = 1'-0"

JSE Jordan & Skala Engineers
14240 Midway Road, Suite 330
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Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: CV Checked By: RC



REVISIONS	
1	9-2-2011 DESIGN REVISIONS
2	9-13-2011 ANSI/FHA COMMENTS
3	9-23-2011 DESIGN REVISIONS
4	10-17-2011 CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS

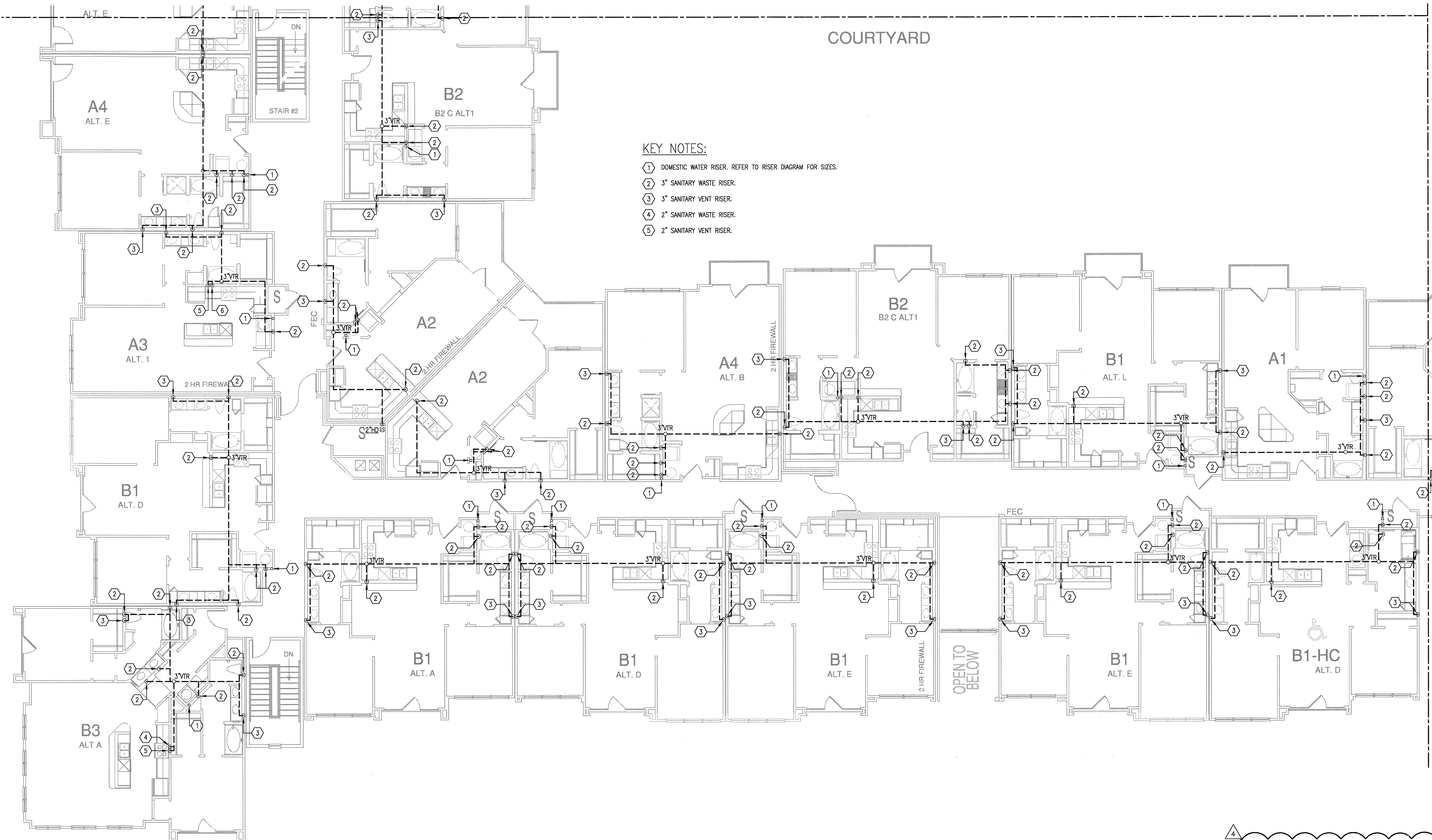
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Suite 855
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DATE
08-05-11

PROJECT
11129

SHEET NUMBER

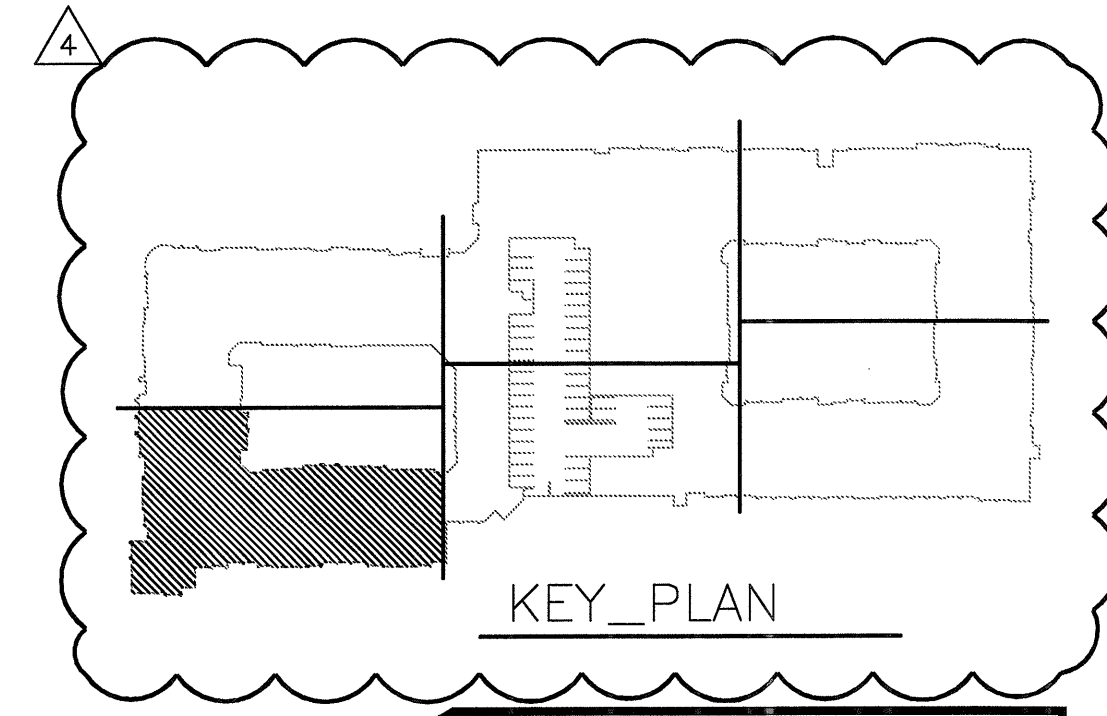
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KEY NOTES:

- 1 DOMESTIC WATER RISER. REFER TO RISER DIAGRAM FOR SIZES.
- 2 3" SANITARY WASTE RISER.
- 3 3" SANITARY VENT RISER.
- 4 2" SANITARY WASTE RISER.
- 5 2" SANITARY VENT RISER.

1 DIVISION 'B' FOURTH FLOOR PLAN
SCALE: 1/8" = 1'-0"



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Drawn By: CV Checked By: RC



REVISIONS		
△	9-2-2011	DESIGN REVISIONS
△	9-13-2011	ANSI/FHA COMMENTS
△	9-23-2011	DESIGN REVISIONS
△	10-17-2011	CONSTRUCTION ISSUE
△	12-21-2011	DESIGN REVISIONS

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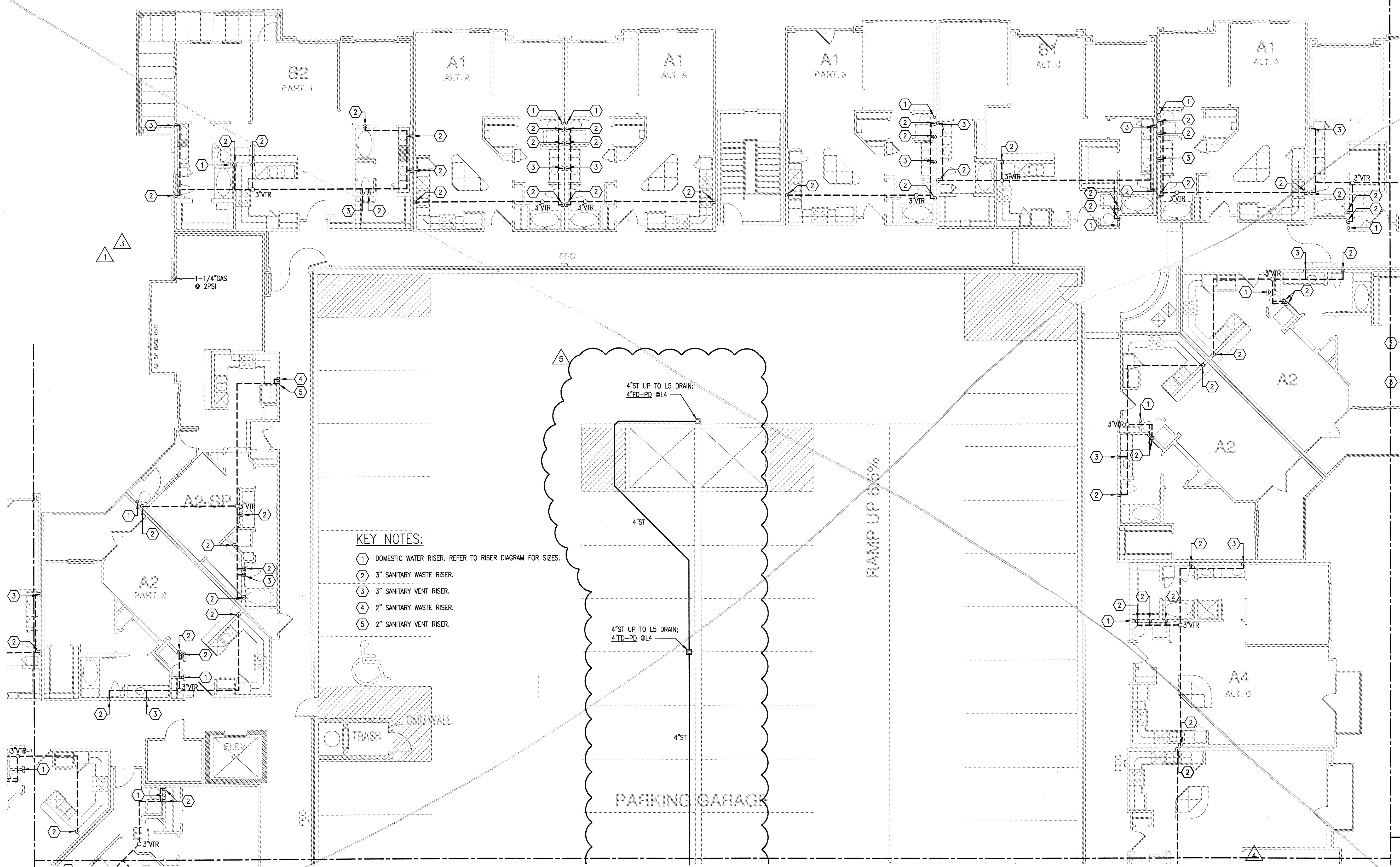
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PROJECT
11129

SHEET NUMBER

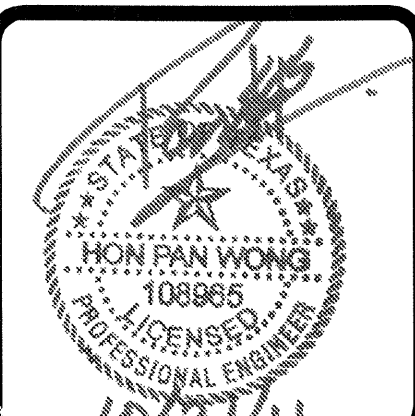
P-3.4C

JSE Jordan & Skala Engineers
14240 Midway Road, Suite 330
Dallas, TX 75244-5138
V: (469) 385-1616 F: (469) 385-1615
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: CV Checked By: RC



- KEY NOTES:**
- ① DOMESTIC WATER RISER. REFER TO RISER DIAGRAM FOR SIZES.
 - ② 3" SANITARY WASTE RISER.
 - ③ 3" SANITARY VENT RISER.
 - ④ 2" SANITARY WASTE RISER.
 - ⑤ 2" SANITARY VENT RISER.

1 DIVISION 'C' FOURTH FLOOR PLAN
SCALE: 1/8" = 1'-0"



REVISIONS	
1	9-2-2011 DESIGN REVISIONS
2	9-13-2011 ANSI/FHA COMMENTS
3	9-23-2011 DESIGN REVISIONS
4	10-17-2011 CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS



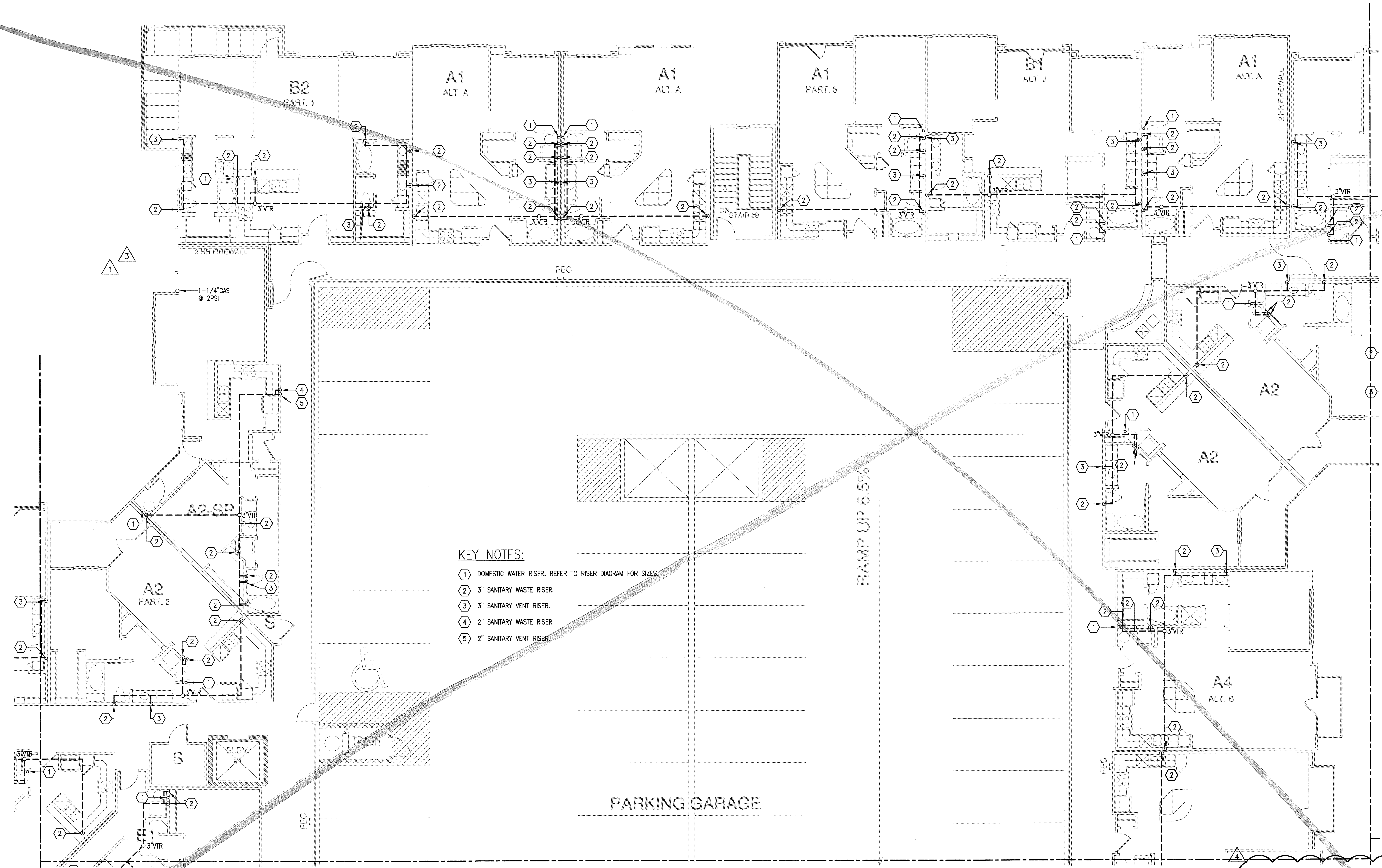
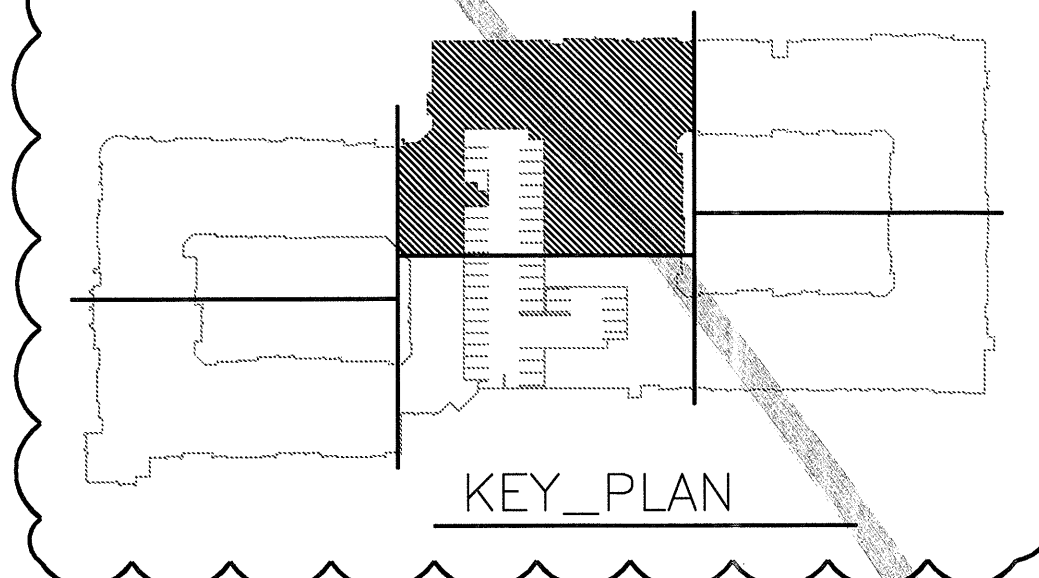
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 - 5 2" SANITARY VENT RISER.

1 DIVISION 'C' FOURTH FLOOR PLAN
SCALE: 1/8" = 1'-0"

JSE Jordan & Skala Engineers
14240 Wilshire Road, Suite 350
Dallas, TX 75244-5138
v: (469) 385-1616 f: (469) 385-1615
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: CV Checked By: RC



REVISIONS		
1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE
5	12-21-2011	DESIGN REVISIONS
6	1-17-2012	DESIGN REVISIONS
7	2-15-2012	TRANSFORMER REVISIONS
8	3-27-2012	CLUBHOUSE REVISIONS
9	4-17-2012	COORDINATION

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS

10	5-15-2012	COORDINATION
11	5-30-2012	SITE COORDINATION

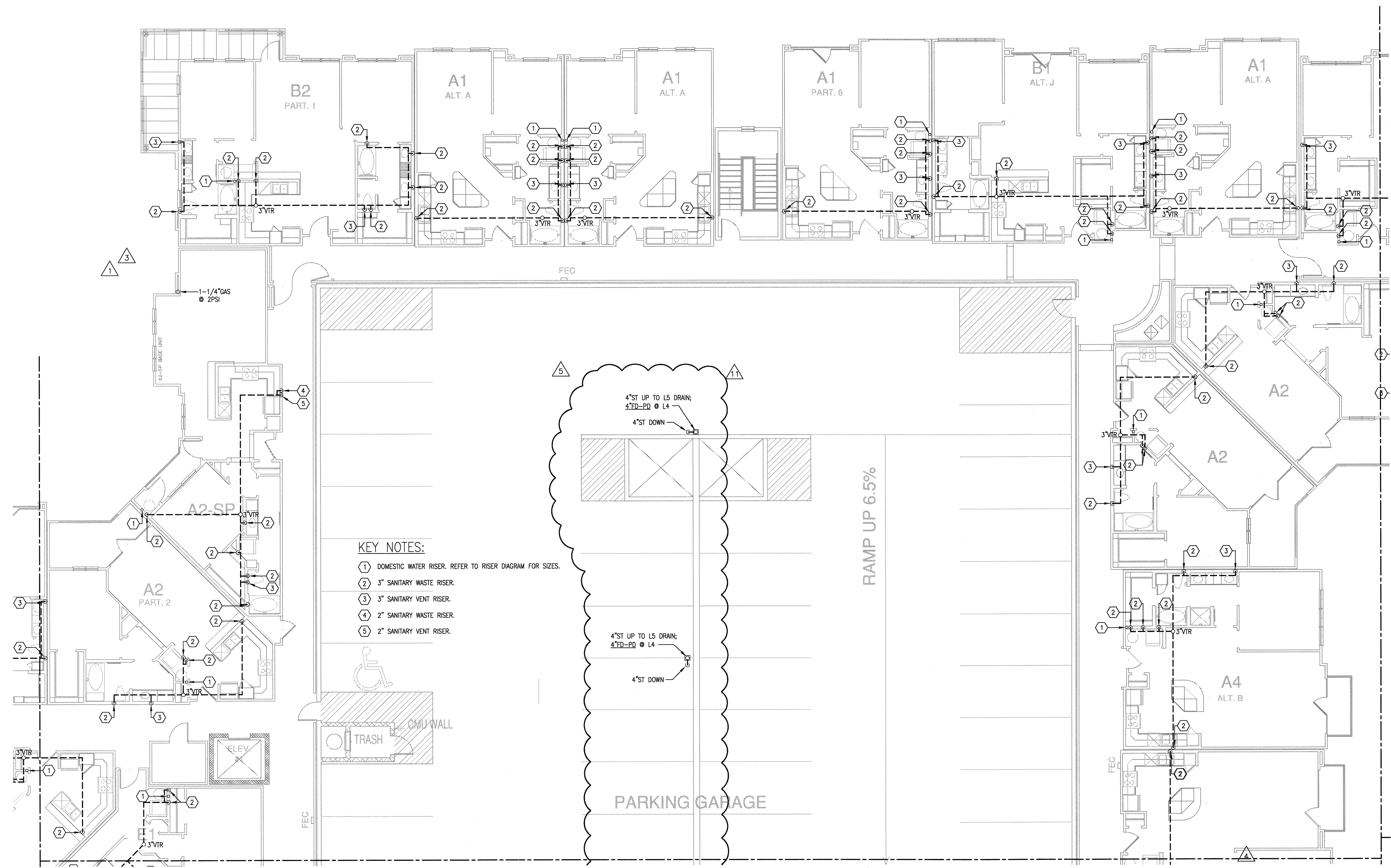
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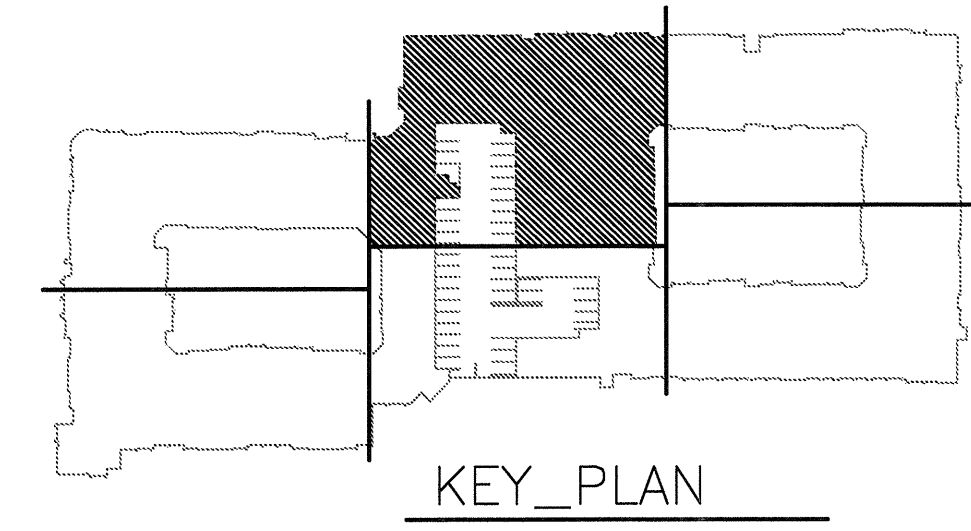
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SHEET NUMBER
P-3.4C



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17835 N. Dallas Parkway, Suite 330
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Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: CV Checked By: RC

1 DIVISION 'C' FOURTH FLOOR PLAN
SCALE: 1/8" = 1'-0"



REVISIONS	
△ 9-2-2011	DESIGN REVISIONS
△ 9-13-2011	ANSI/FHA COMMENTS
△ 9-23-2011	DESIGN REVISIONS
△ 10-17-2011	CONSTRUCTION ISSUE
△ 12-21-2011	DESIGN REVISIONS

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LOFT APARTMENTS IN ADDISON, TEXAS



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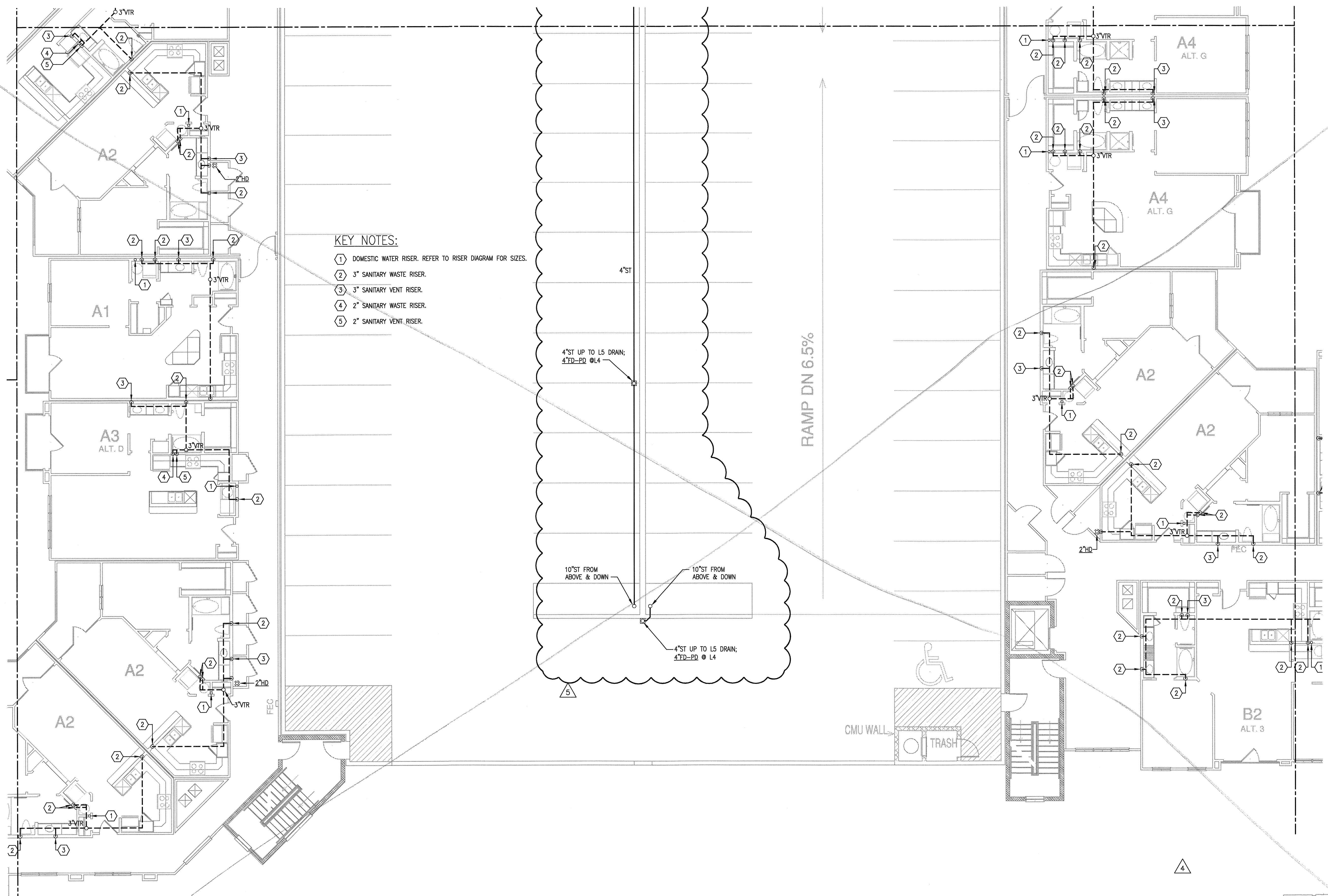
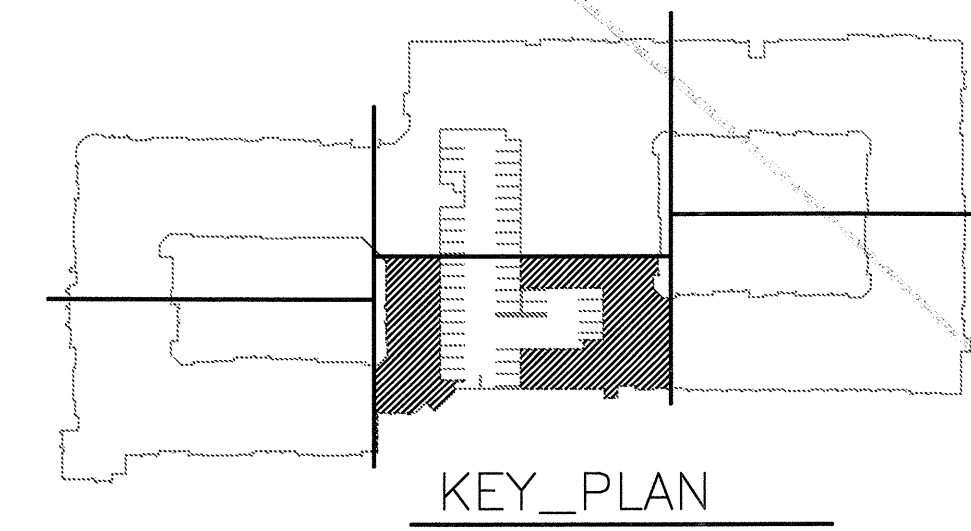
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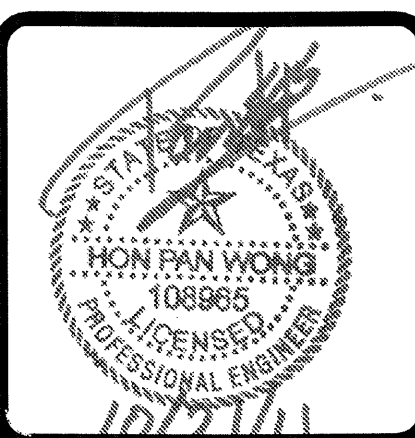
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 Project Number - 113-0355 Texas Firm Registration # F-4990
 Drawn By: CV Checked By: RC



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1 DIVISION 'D' FOURTH FLOOR PLAN
SCALE: 1/8" = 1'-0"



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3	9-23-2011 DESIGN REVISIONS
4	10-17-2011 CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS

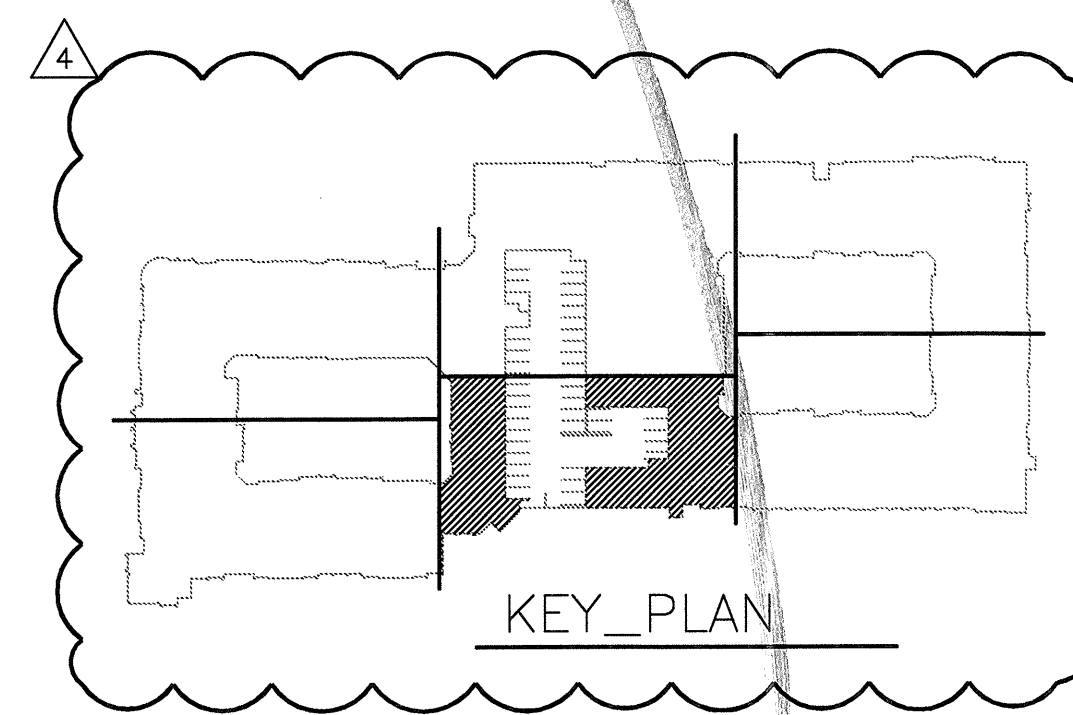
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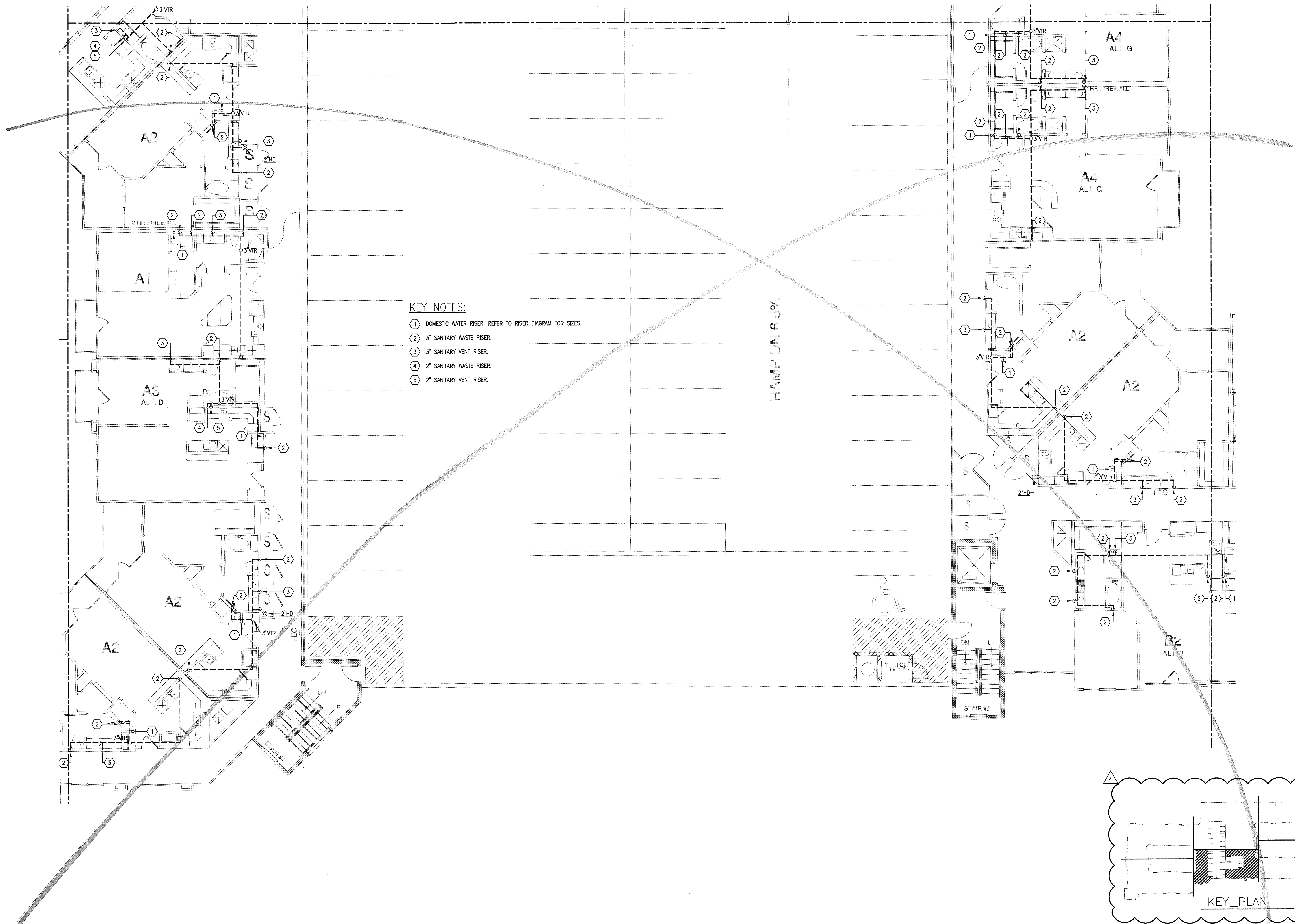
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SHEET NUMBER

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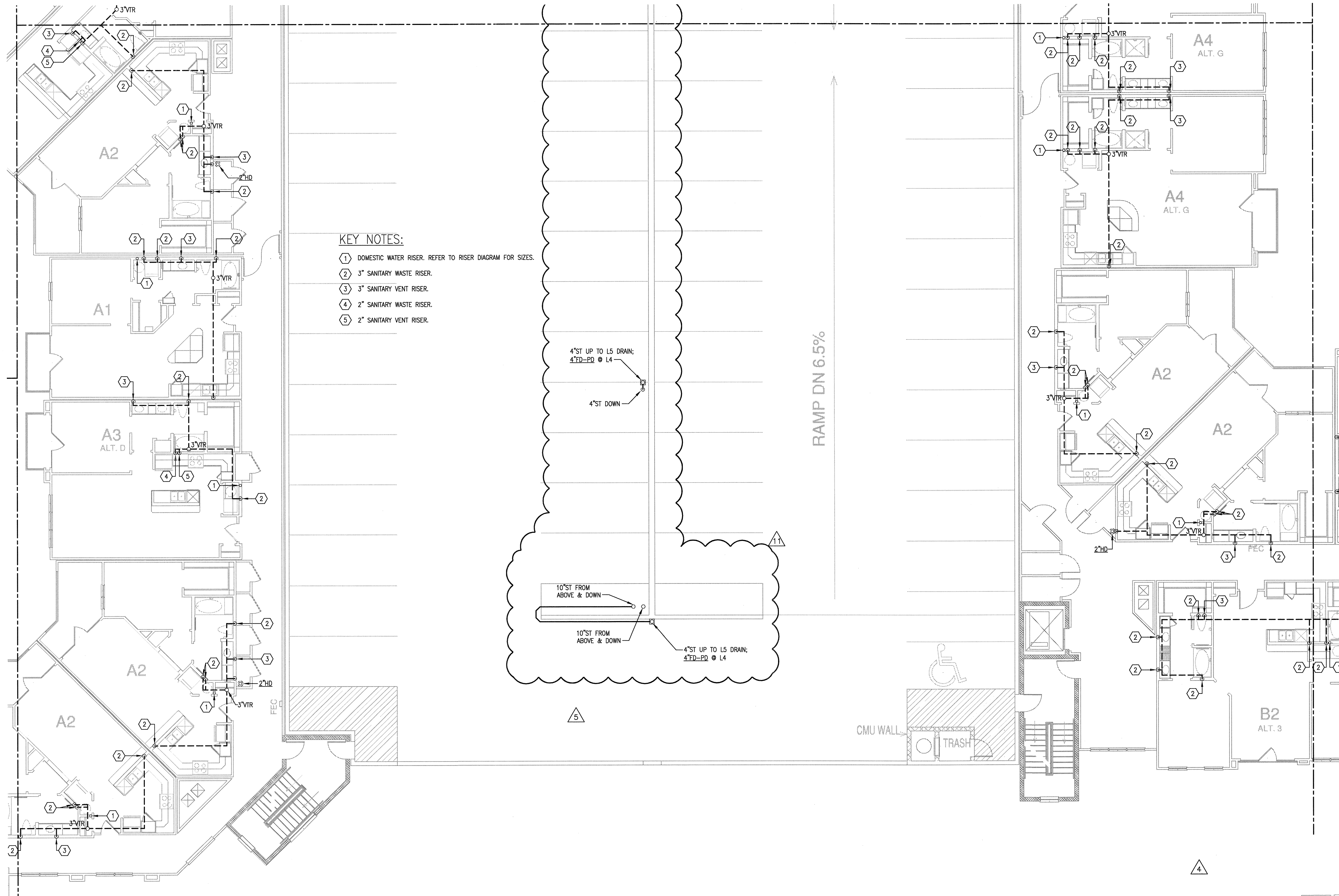


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Dallas, TX 75244-5138
Project Number - 113-0355 Texas Firm Registration # F-4990
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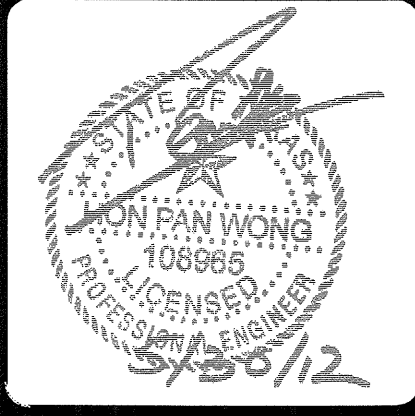


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1 DIVISION 'D' FOURTH FLOOR PLAN
SCALE: 1/8" = 1'-0"



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REVISIONS	
①	9-2-2011 DESIGN REVISIONS
②	9-13-2011 ANSI/FHA COMMENTS DESIGN REVISIONS
③	9-23-2011 DESIGN REVISIONS
④	10-17-2011 CONSTRUCTION ISSUE DESIGN REVISIONS
⑤	12-21-2011 DESIGN REVISIONS
⑥	1-17-2012 DESIGN REVISIONS
⑦	2-15-2012 TRANSFORMER REVISIONS
⑧	3-27-2012 CLUBHOUSE REVISIONS
⑨	4-17-2012 COORDINATION

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS

⑩	5-15-2012 COORDINATION
⑪	5-30-2012 SITE COORDINATION

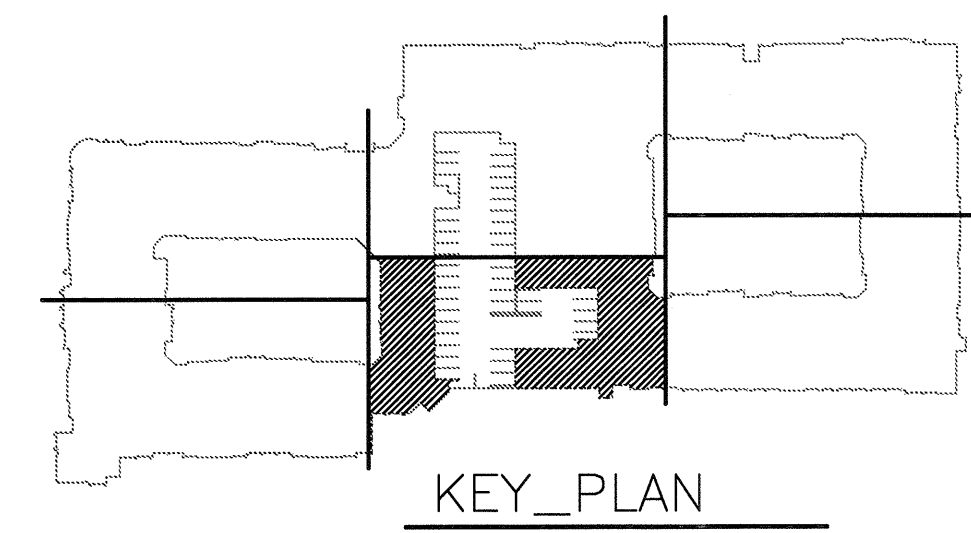
BGO architects

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DATE
08-05-11

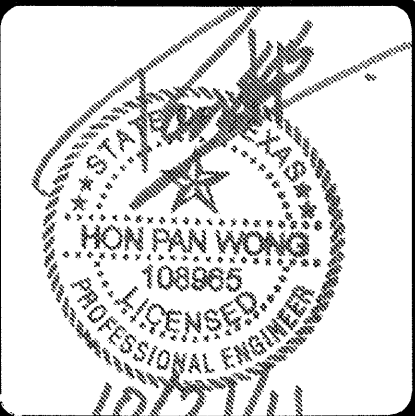
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SHEET NUMBER
P-3.4D

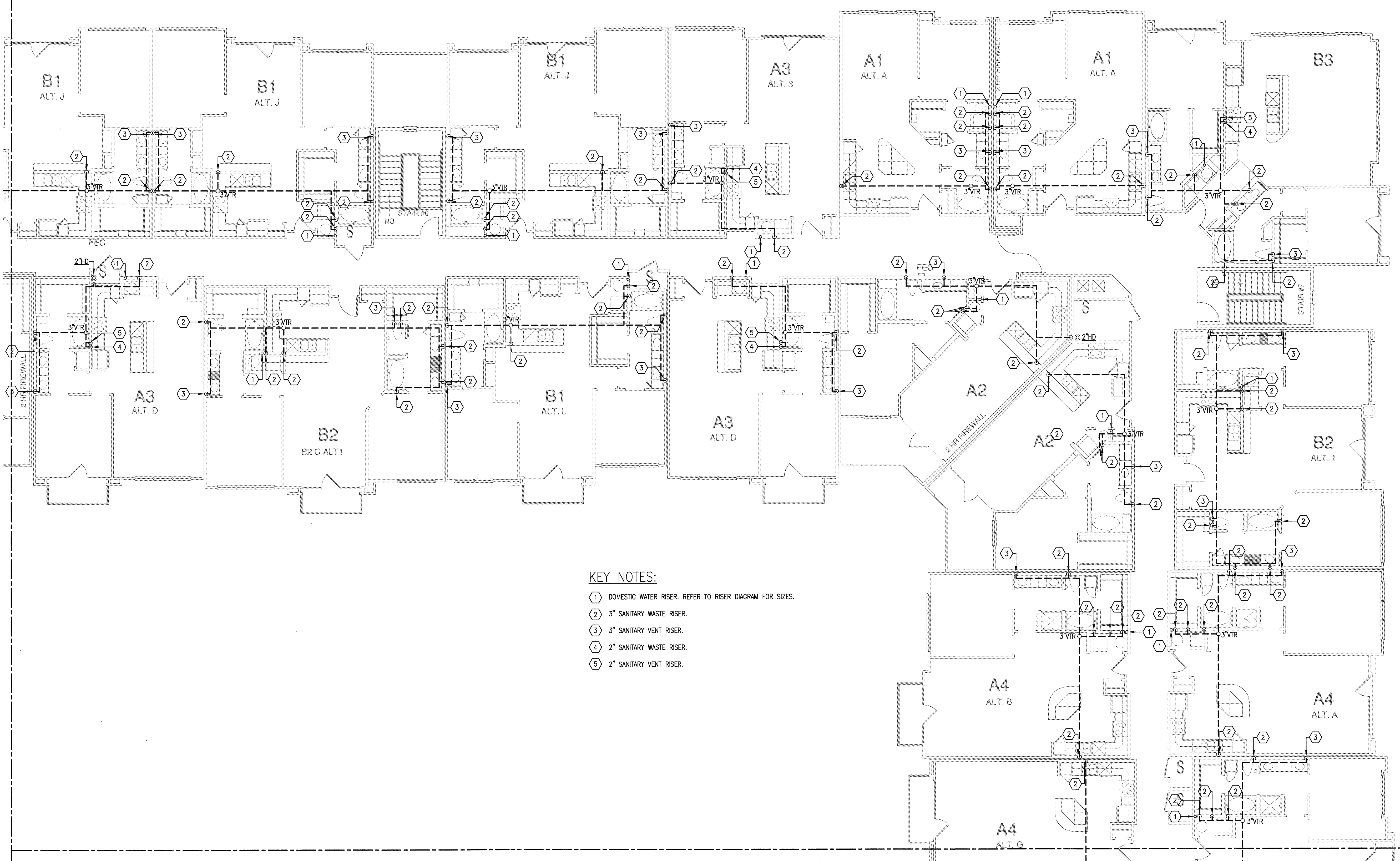


1 DIVISION 'D' FOURTH FLOOR PLAN
SCALE: 1/8" = 1'-0"

JSE Jordan & Skala Engineers
17855 N. Dallas Parkway, Suite 370
Dallas, TX 75287-6857
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: CV Checked By: RC



REVISIONS	
1	9-2-2011 DESIGN REVISIONS
2	9-13-2011 ANSI/FHA COMMENTS
3	9-23-2011 DESIGN REVISIONS
4	10-17-2011 CONSTRUCTION ISSUE



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KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS

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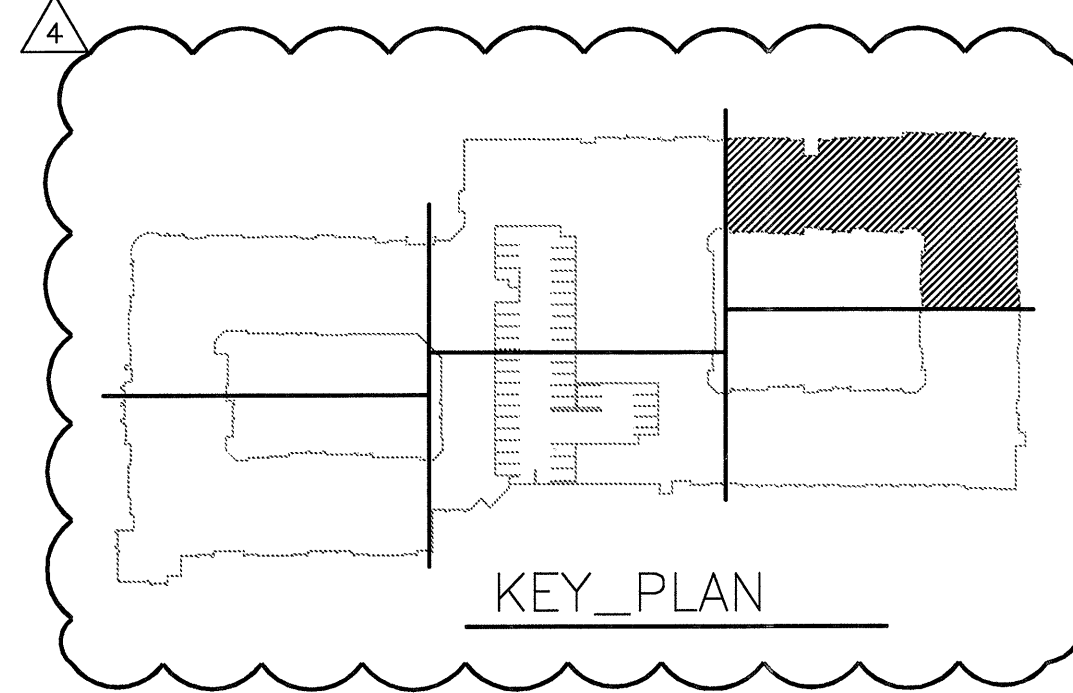
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Dallas, TX 75204
214.520.8878
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DATE
08-05-11

PROJECT
11129

SHEET NUMBER

P-3.4E



JSE Jordan & Skala Engineers

14240 Midway Road, Suite 350
Dallas, TX 75244-3138
V: (469) 385-1629 F: (469) 385-1615
Texas Firm Registration # F-4990
Checked By: RC

1 DIVISION 'E' FOURTH FLOOR PLAN
SCALE: 1/8" = 1'-0"

Project Number: 113-0355
Drawn By: CV

Embrey Builders, LLC

1020 N. E. Loop 410, Suite 700
San Antonio, TX 78209
Ph: (210) 824-6044 Fax: (210) 824-7656

RFI

To: Heath Parnell
Jordan & Skala Engineers, Inc.
14240 Midway Road, Suite 350
Dallas, TX 75244
Ph: 469/385-1616 Fax: 469/385-1615

RFI #: 201
Date: 10/23/2012
Job: EB-02 Keller Springs Lofts
Phone: 877-777-5115

CC: Walter Kilroy (BGO)

Subject: Roof drains for the radius tower

Drawing: P3.5A, 3.5A
Cost Impact: None

Spec Section:
Schedule Impact: None

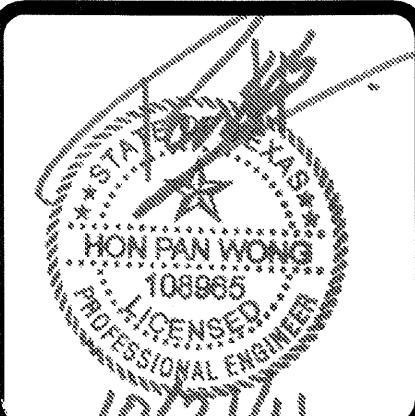
Request: **Date Required: 10/26/2012**
During an on-site meeting with Walter Kilroy and Ryan Faulds of BGO Architect it was determined that we would use a drain and overflow on top of the radius located on the northwest corner of the west building. The plans showed (2) scuppers with downspouts which would not work because of the exterior angle on the radius feature. It was decided that the drain line would be located inside the radius tower until it penetrated the side of the radius tower just about the stucco receiver and drain onto the main roof. We will properly slope the roof and build crickets for the water to enter the drain. Please size and detail the drain and drain lines Jordan & Skala deems appropriate for this task.

Requested by: Bryan Pickler
Embrey Partners, Ltd.

Response:
It is recommended that 4" drains and drain lines be used for the tower. Roof drain shall be Jay R. Smith #1015 or equal and overflow drain shall be Jay R. Smith #1080 or equal. provide downspout nozzle Jay R Smith #1770 or equal at discharge point.

Answered by: Heath Parnell
Jordan & Skala Engineers, Inc.

Answered date: October 24, 2012



REVISIONS	
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3	9-23-2011 DESIGN REVISIONS
4	10-17-2011 CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS
LOFT APARTMENTS IN ADDISON, TEXAS

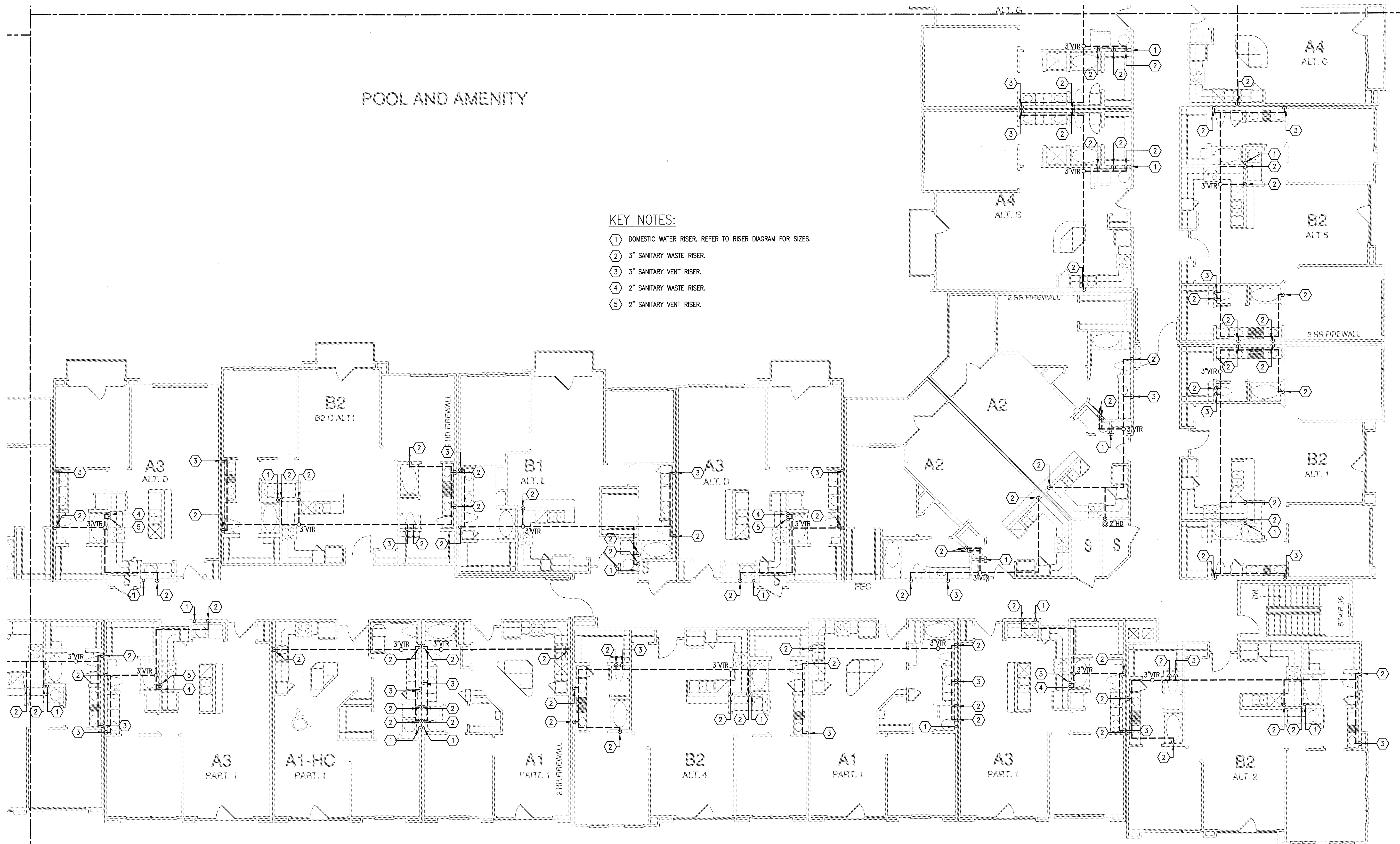
BGO architects
4144 N. Central Expy.
Suite 855
Dallas, TX 75204
214.520.8878
bgoarchitects.com

DATE
08-05-11

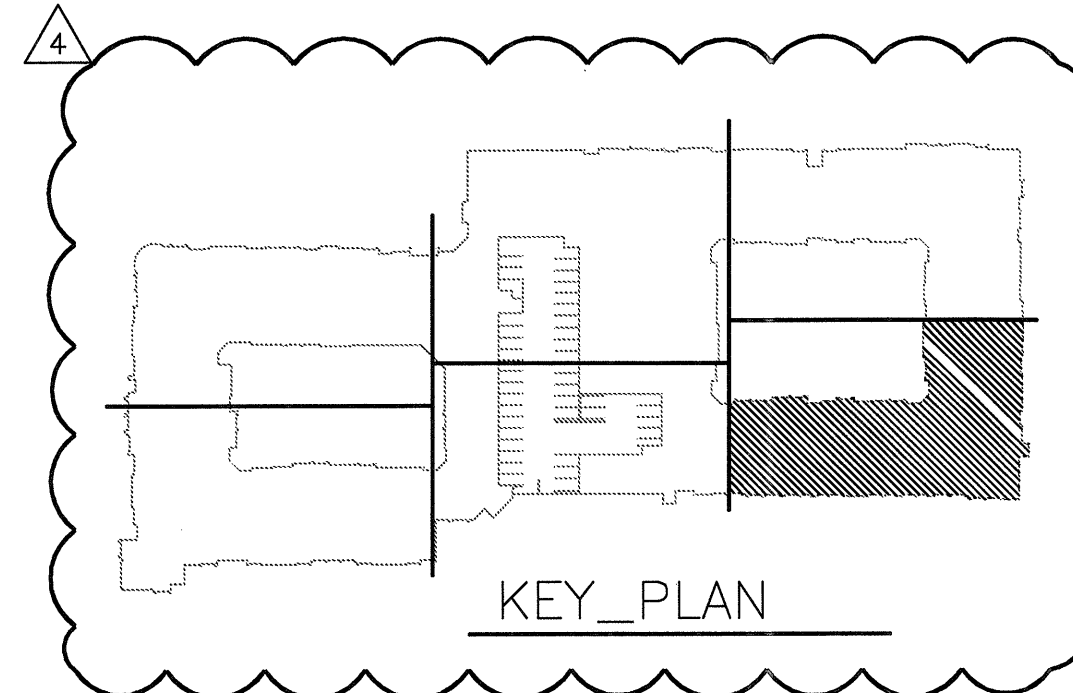
PROJECT
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SHEET NUMBER

P-3.4F

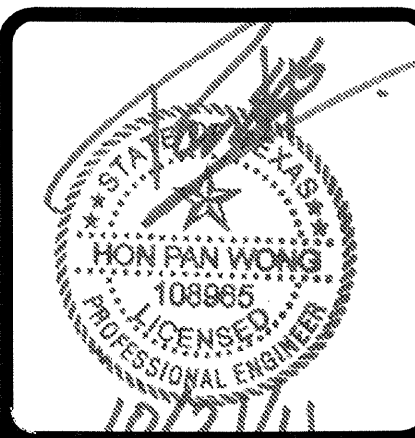


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1 DIVISION 'F' FOURTH FLOOR PLAN
SCALE: 1/8" = 1'-0"

JSE Jordan & Skala Engineers
14240 Midway Road, Suite 350
Dallas, TX 75244-5138
Tel: (972) 385-1416 Fax: (972) 385-1615
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: CV Checked By: RC



REVISIONS		
1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE

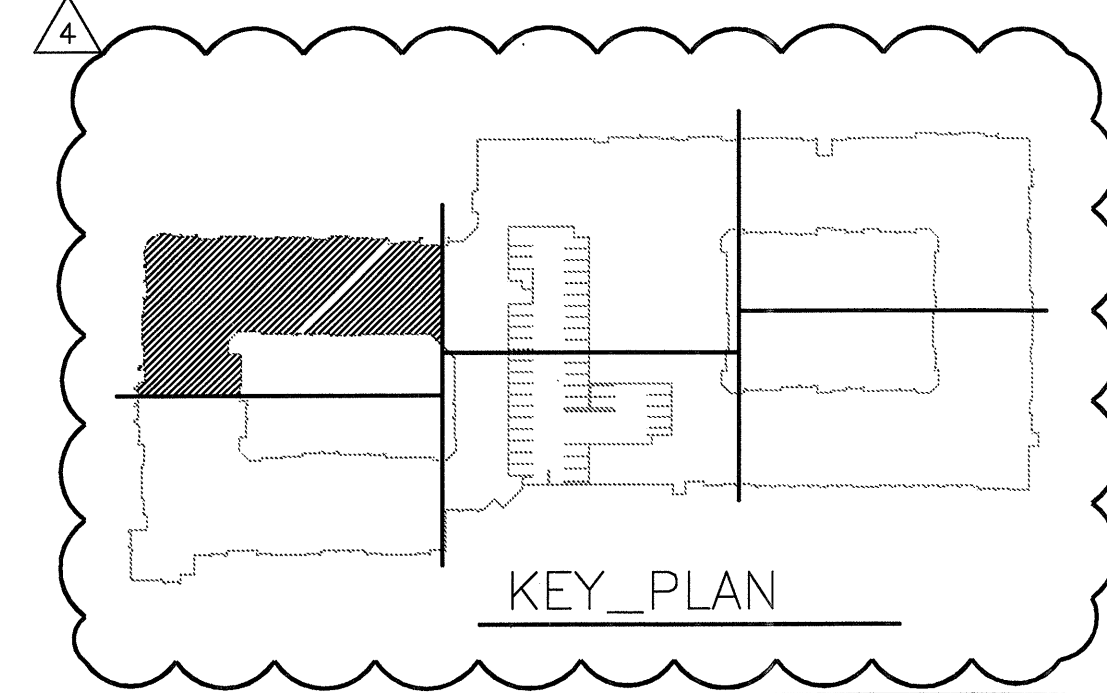
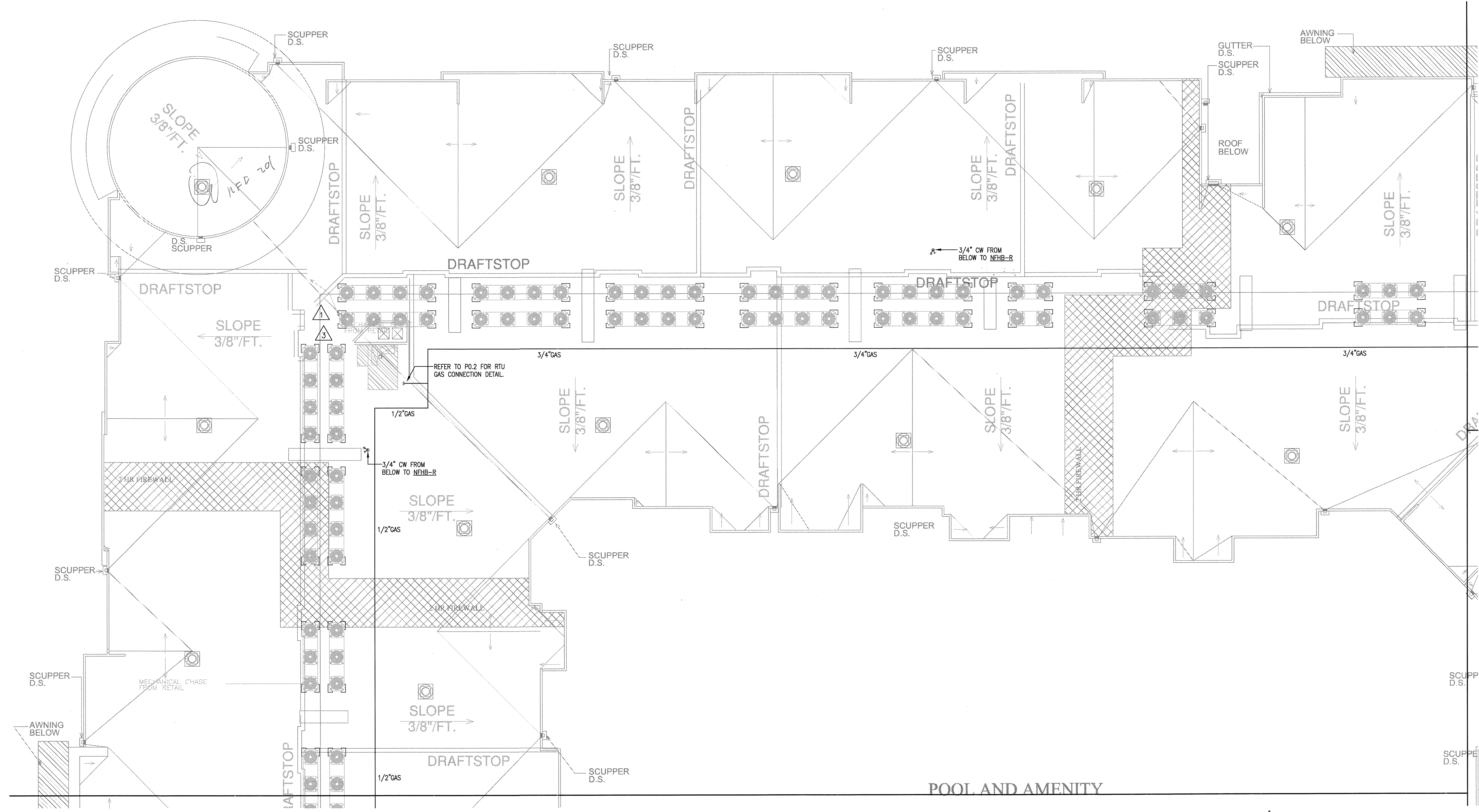
KELLER SPRINGS LOFTS
 LOFT APARTMENTS IN ADDISON, TEXAS

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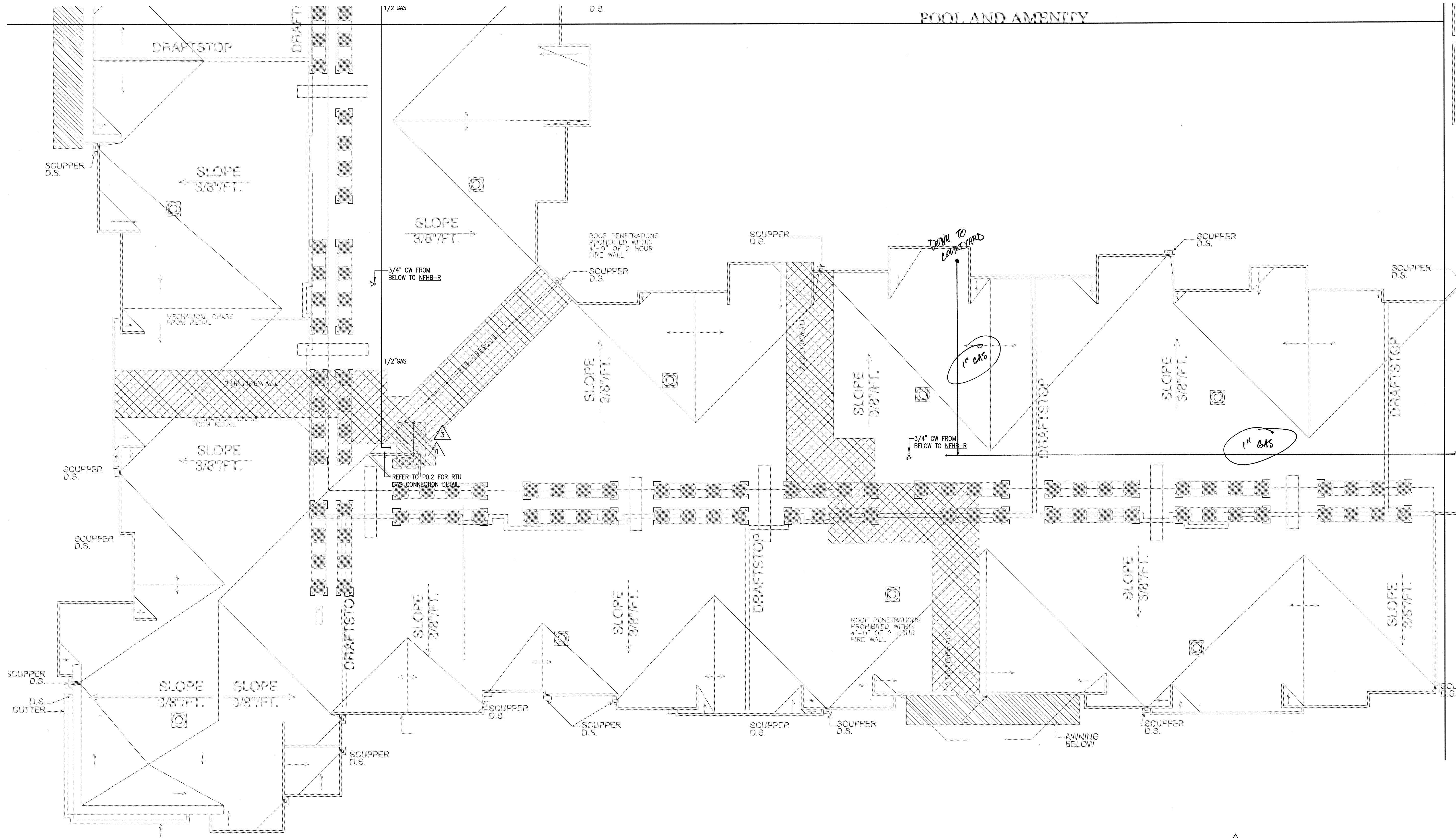
PROJECT
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SHEET NUMBER
P-3.5A



1 DIVISION 'A' ROOF PLAN
 SCALE: 1/8" = 1'-0"

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 Project Number - 113-0355 Texas Firm Registration # F-4990
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REVISIONS	
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3	9-23-2011 DESIGN REVISIONS
4	10-17-2011 CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS

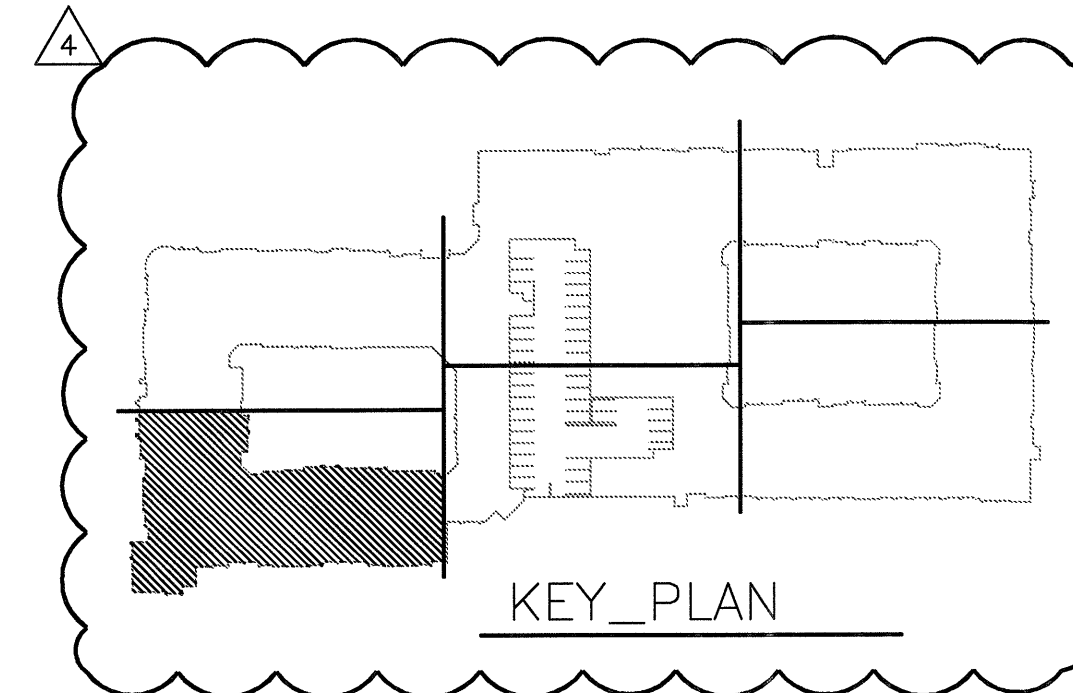


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DATE
08-05-11

PROJECT
11129

SHEET NUMBER
P-3.5B



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14240 Midway Road, Suite 350
Dallas, TX 75244-5138
Project Number - 113-0355
Drawn By: CV
Texas Firm Registration # F-4990
Checked By: RC

1 DIVISION 'B' ROOF PLAN
SCALE: 1/8" = 1'-0"



REVISIONS	
1	9-2-2011 DESIGN REVISIONS
2	9-13-2011 ANSI/FHA COMMENTS
3	9-23-2011 DESIGN REVISIONS
4	10-17-2011 CONSTRUCTION ISSUE
5	12-21-2011 DESIGN REVISIONS

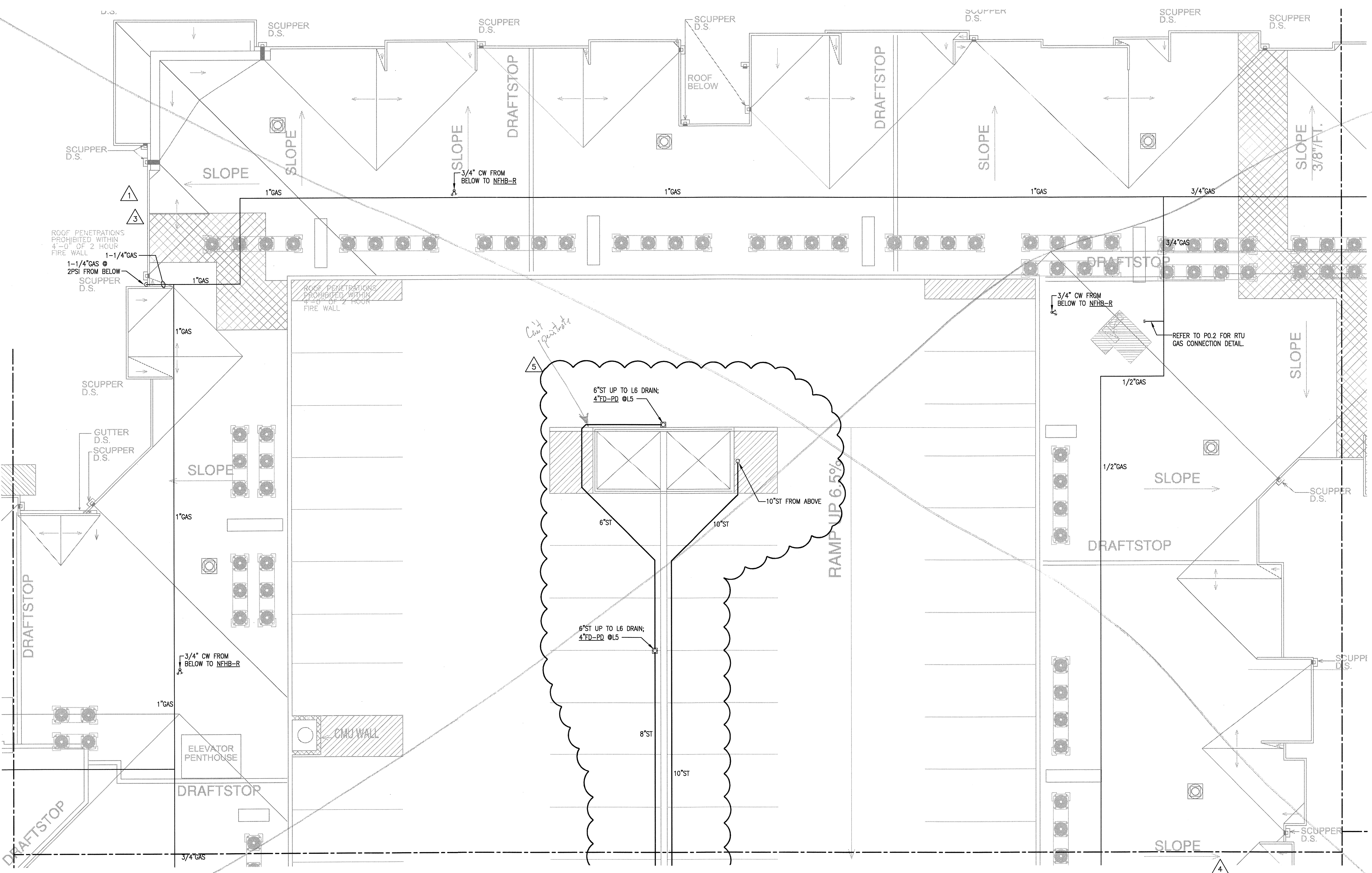
KELLER SPRINGS LOFTS
 LOFT APARTMENTS IN ADDISON, TEXAS

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DATE
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PROJECT
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SHEET NUMBER
P-3.5C



1 DIVISION 'C' ROOF PLAN
 SCALE: 1/8" = 1'-0"

JSE Jordan & Skala Engineers
 14240 Midway Road, Suite 330
 Dallas, TX 75244-5138
 Tel: (469) 385-1616, Fax: (469) 385-1615
 Project Number - 113-0355 Texas Firm Registration # F-4990
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REVISIONS		
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8	3-27-2012	CLUBHOUSE REVISIONS
9	4-17-2012	COORDINATION

KELLER SPRINGS LOFTS
 LOFT APARTMENTS IN ADDISON, TEXAS

10	5-15-2012	COORDINATION
11	5-30-2012	SITE COORDINATION



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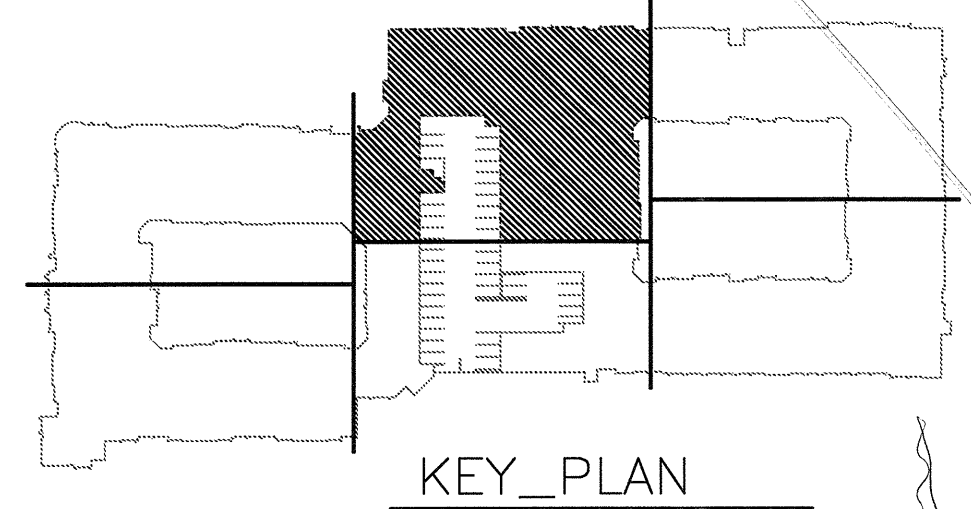
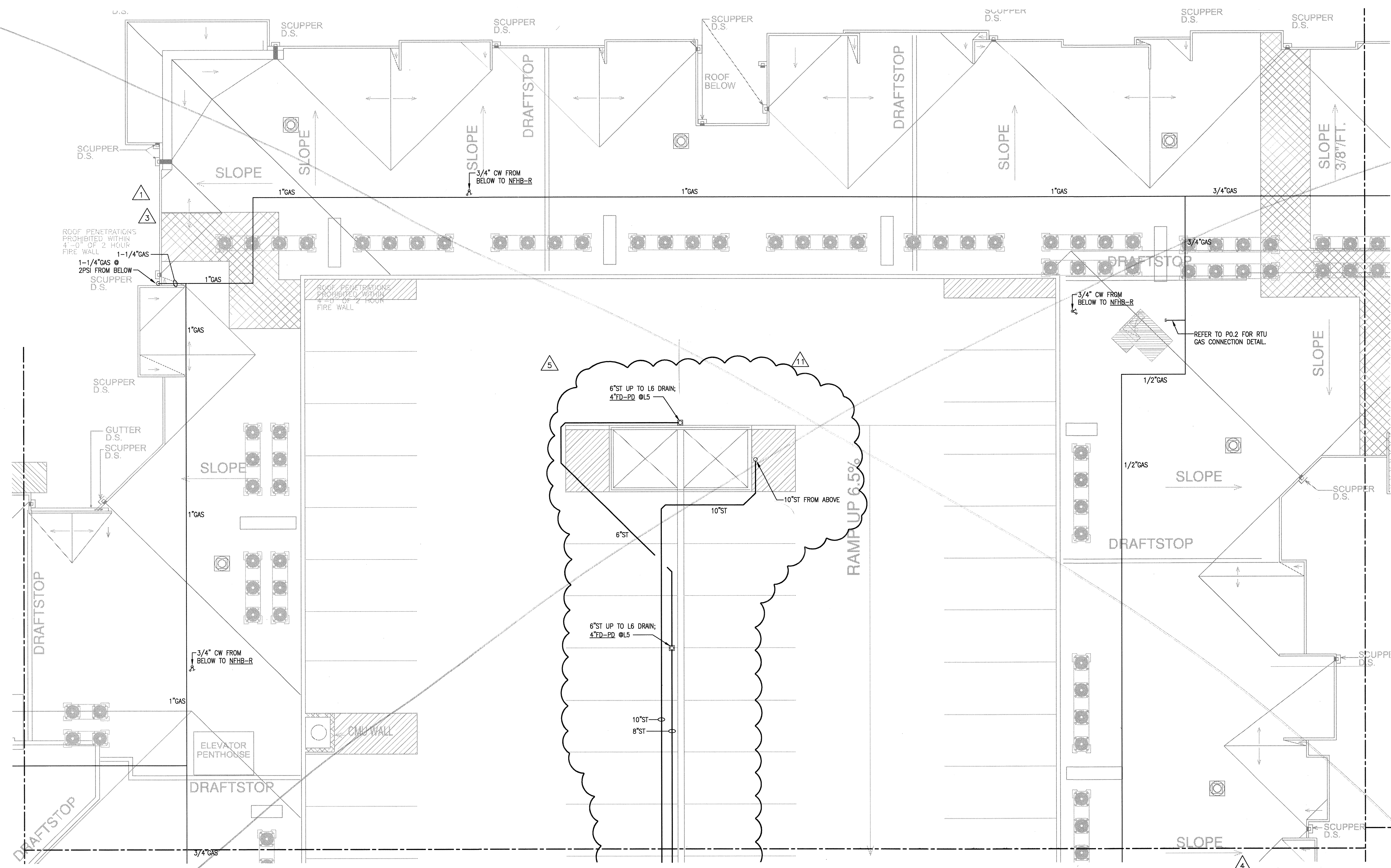
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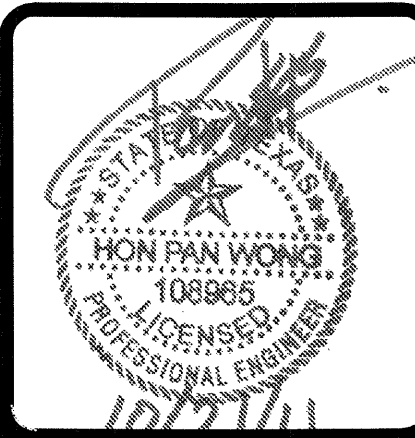
SHEET NUMBER
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17855 N. Dallas Parkway, Suite 320
 Dallas, TX 75247-6657
 Project Number - 113-0355 Texas Firm Registration # F-490
 Drawn By: CV Checked By: RC



1 DIVISION 'C' ROOF PLAN
 SCALE: 1/8" = 1'-0"



REVISIONS		
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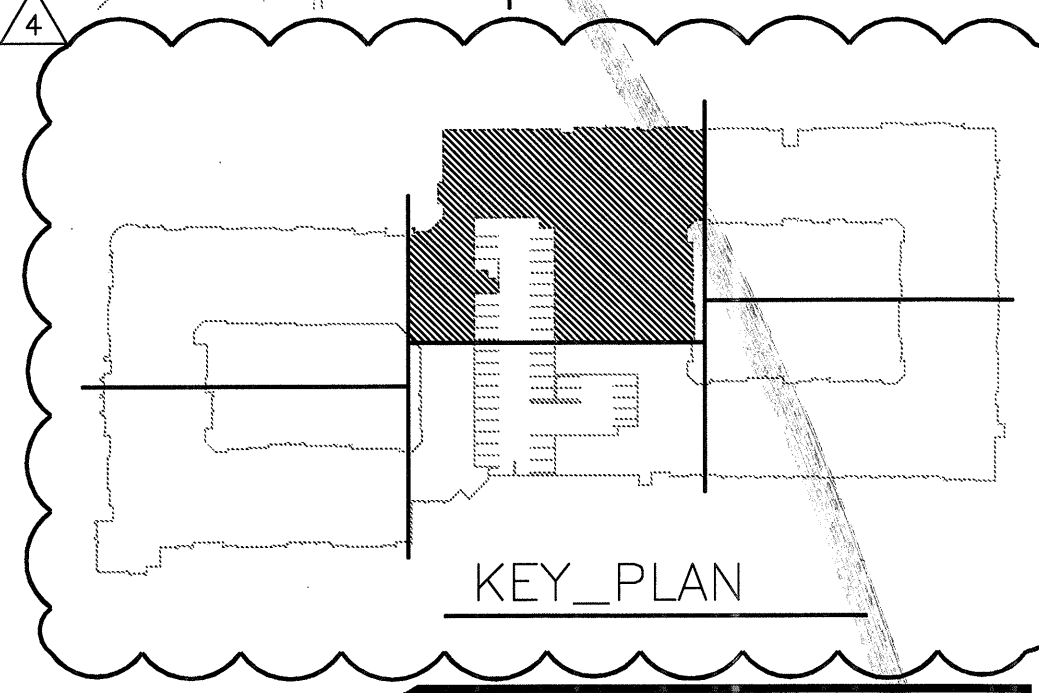
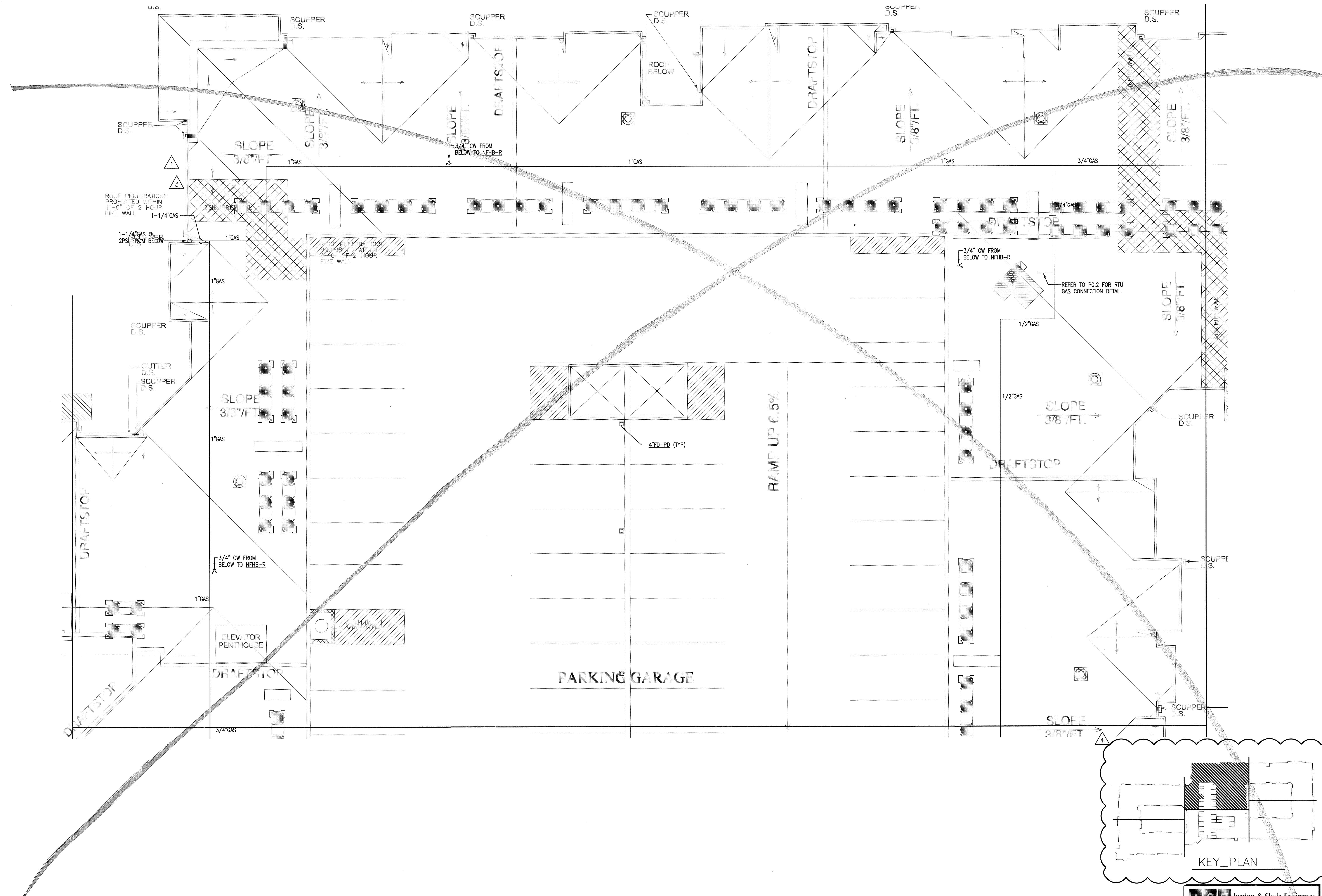
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 Dallas, TX 75204
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 bg architects.com

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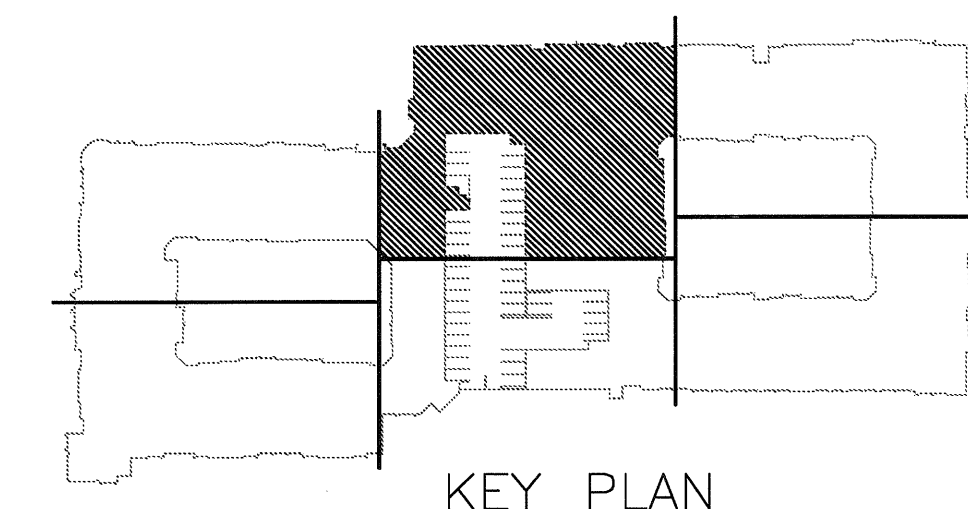
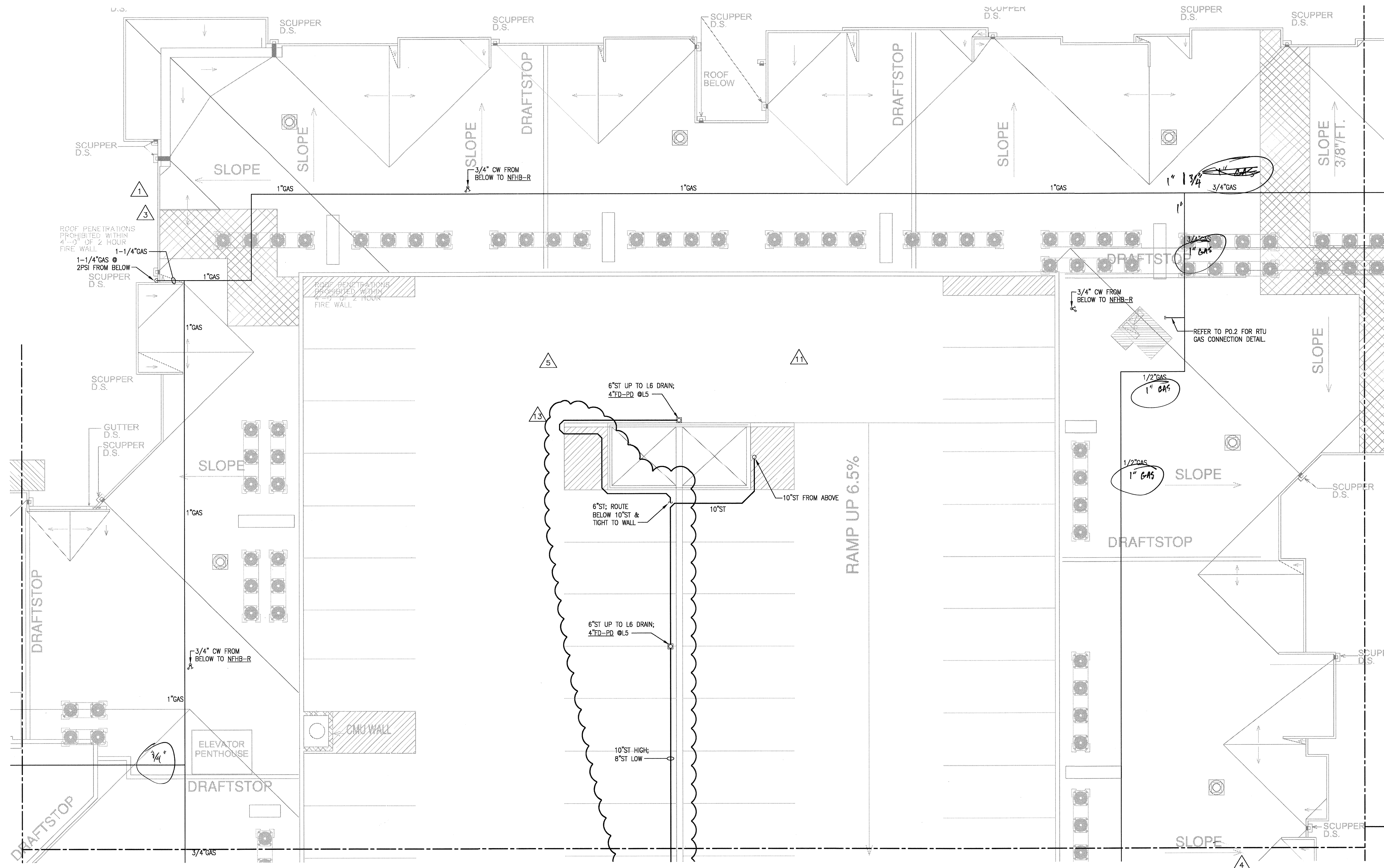
SHEET NUMBER

P-3.5C



1 DIVISION 'C' ROOF PLAN
 SCALE: 1/8" = 1'-0"

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 17835 N. Dallas Parkway, Suite 320
 Dallas, TX 75247-4857
 V: (469) 383-1616 Web: www.jordanskala.com
 Project Number - 113-0355 Texas Firm Registration # F-4990
 Drawn By: CV Checked By: RC

1 DIVISION 'C' ROOF PLAN
 SCALE: 1/8" = 1'-0"



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KELLER SPRINGS LOFTS
 LOFT APARTMENTS IN ADDISON, TEXAS

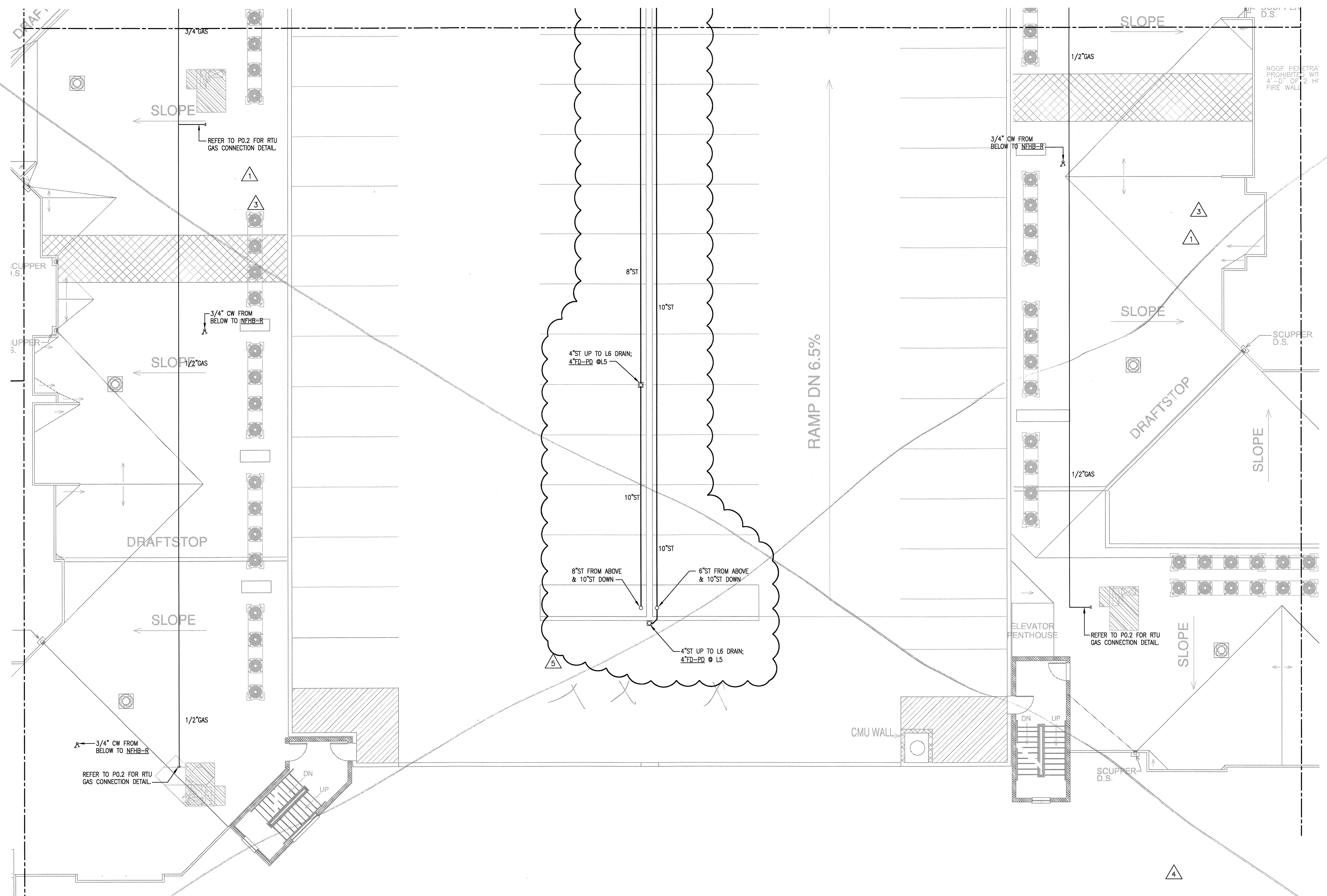
10	5-15-2012 COORDINATION
11	5-30-2012 SITE COORDINATION
12	6-01-12 LIGHTING REVISIONS
13	6-29-12 SITE COORDINATION

BGO architects
 4144 N. Central Expy. Suite 855
 Dallas, TX 75204
 214.520.8878
 bgoarchitects.com

DATE
 08-05-11

PROJECT
 11129

SHEET NUMBER
P-3.5C



REVISIONS	
1	9-2-2011 DESIGN REVISIONS
2	9-13-2011 ANSI/FHA COMMENTS
3	9-23-2011 DESIGN REVISIONS
4	10-17-2011 CONSTRUCTION ISSUE
5	12-21-2011 DESIGN REVISIONS

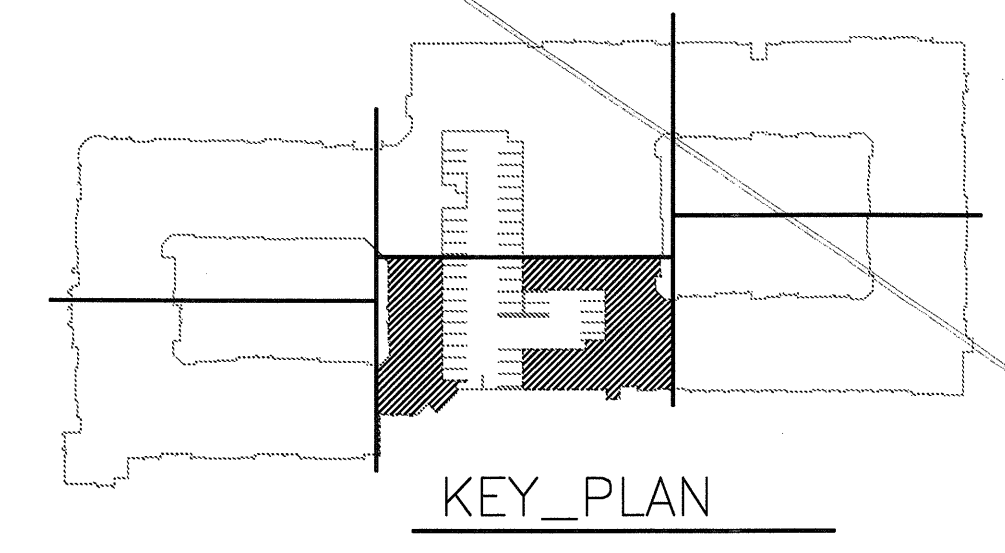
KELLER SPRINGS LOFTS
 LOFT APARTMENTS IN ADDISON, TEXAS

BGO architects
 4144 N. Central Expy. Suite 855
 Dallas, TX 75204
 214-520-8878
 bgoarchitects.com

DATE
 08-05-11

PROJECT
 11129

SHEET NUMBER
P-3.5D



1 DIVISION 'D' ROOF PLAN
 SCALE: 1/8" = 1'-0"

JSE Jordan & Skala Engineers
 14240 Midway Road, Suite 330
 Dallas, TX 75244-5138
 V: (469) 385-1616 F: (469) 385-1615
 Project Number - 113-0355 Texas Firm Registration # F-4990
 Drawn By: CV Checked By: RC



REVISIONS		
1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE
5	12-21-2011	DESIGN REVISIONS
6	1-17-2012	DESIGN REVISIONS
7	2-15-2012	TRANSFORMER REVISIONS
8	3-27-2012	CLUBHOUSE REVISIONS
9	4-17-2012	COORDINATION

KELLER SPRINGS LOFTS
 LOFT APARTMENTS IN ADDISON, TEXAS

10	5-15-2012	COORDINATION
11	5-30-2012	SITE COORDINATION



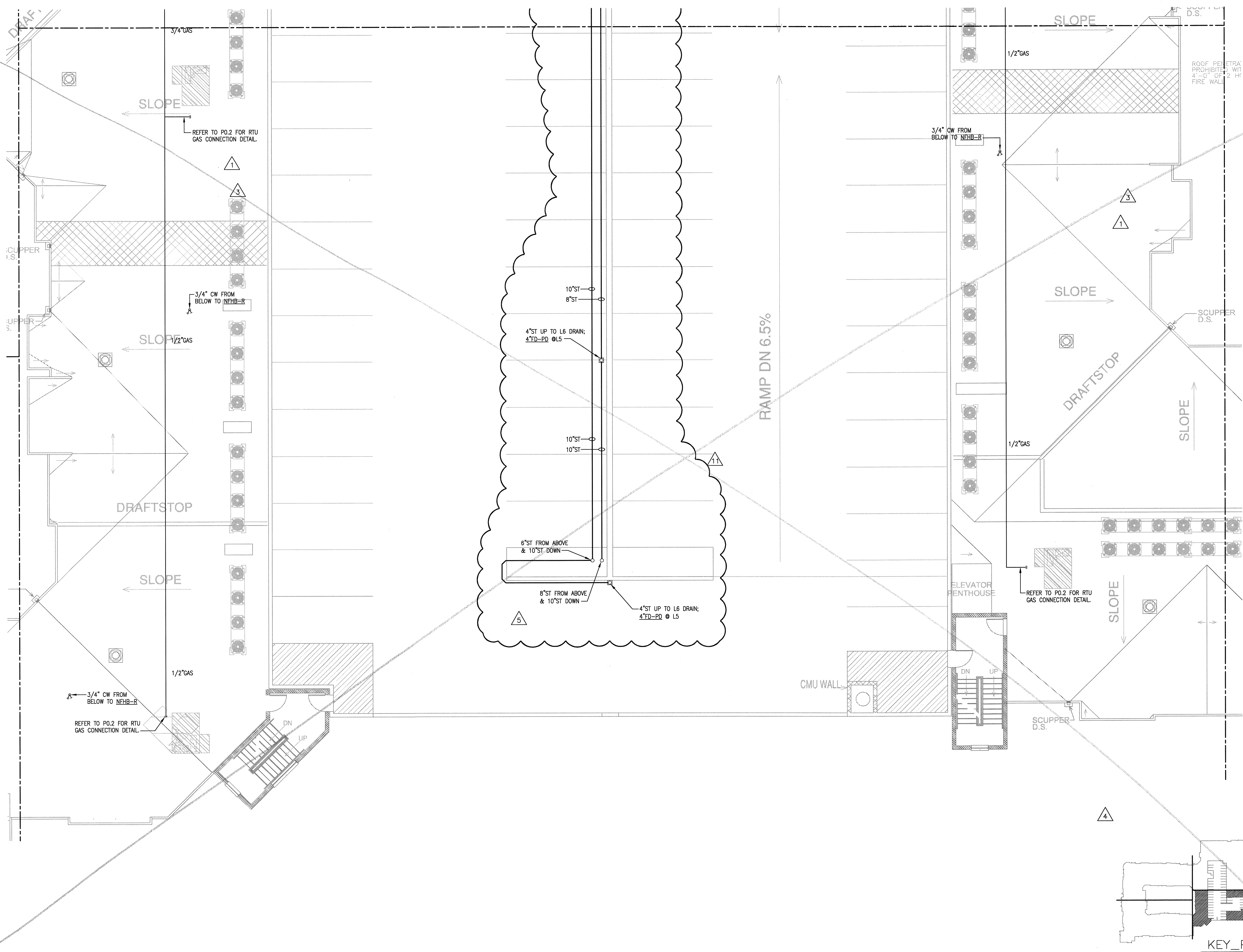
4144 N. Central Expy.
 Suite 855
 Dallas, TX 75204
 214.520.8878
 bgoarchitects.com

DATE
 08-05-11

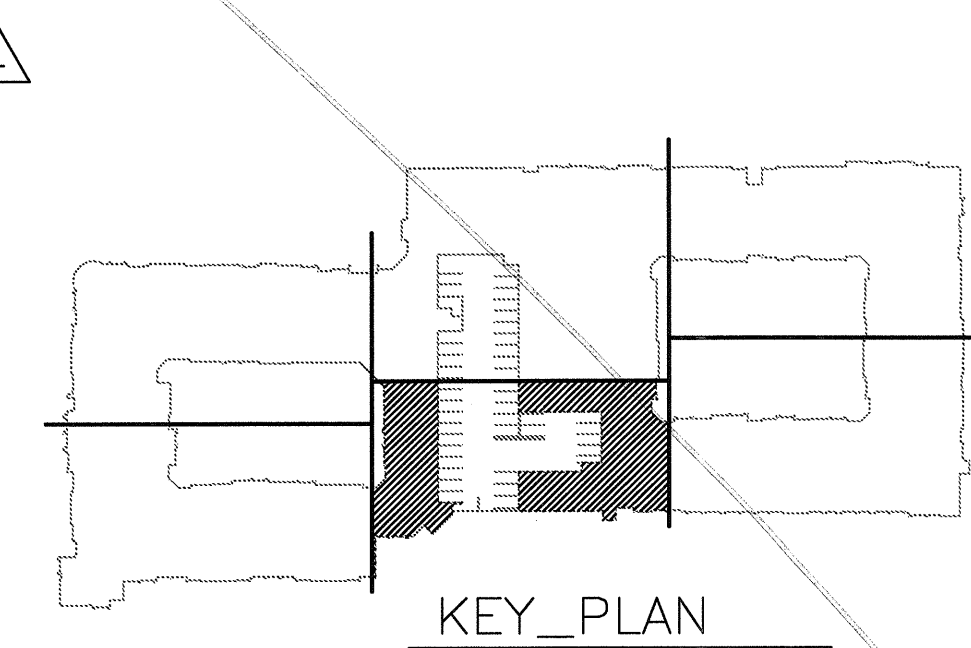
PROJECT
 11129

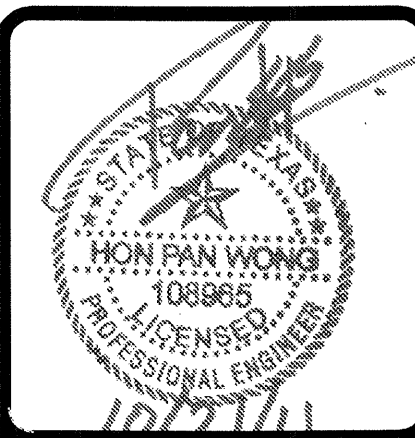
SHEET NUMBER
P-3.5D

JSE Jordan & Skala Engineers
 17855 N. Dallas Parkway, Suite 330
 Dallas, TX 75248-6857
 V: 469.385.1616 Web: www.jordanskala.com
 Project Number - 113-0355 Texas Firm Registration # F-4990
 Drawn By: CV Checked By: RC



1 DIVISION 'D' ROOF PLAN
 SCALE: 1/8" = 1'-0"





REVISIONS		
1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS
 LOFT APARTMENTS IN ADDISON, TEXAS

BGO architects
 4144 N. Central Expy.
 Suite 855
 Dallas, TX 75204
 214.520.8878
 bgoarchitects.com

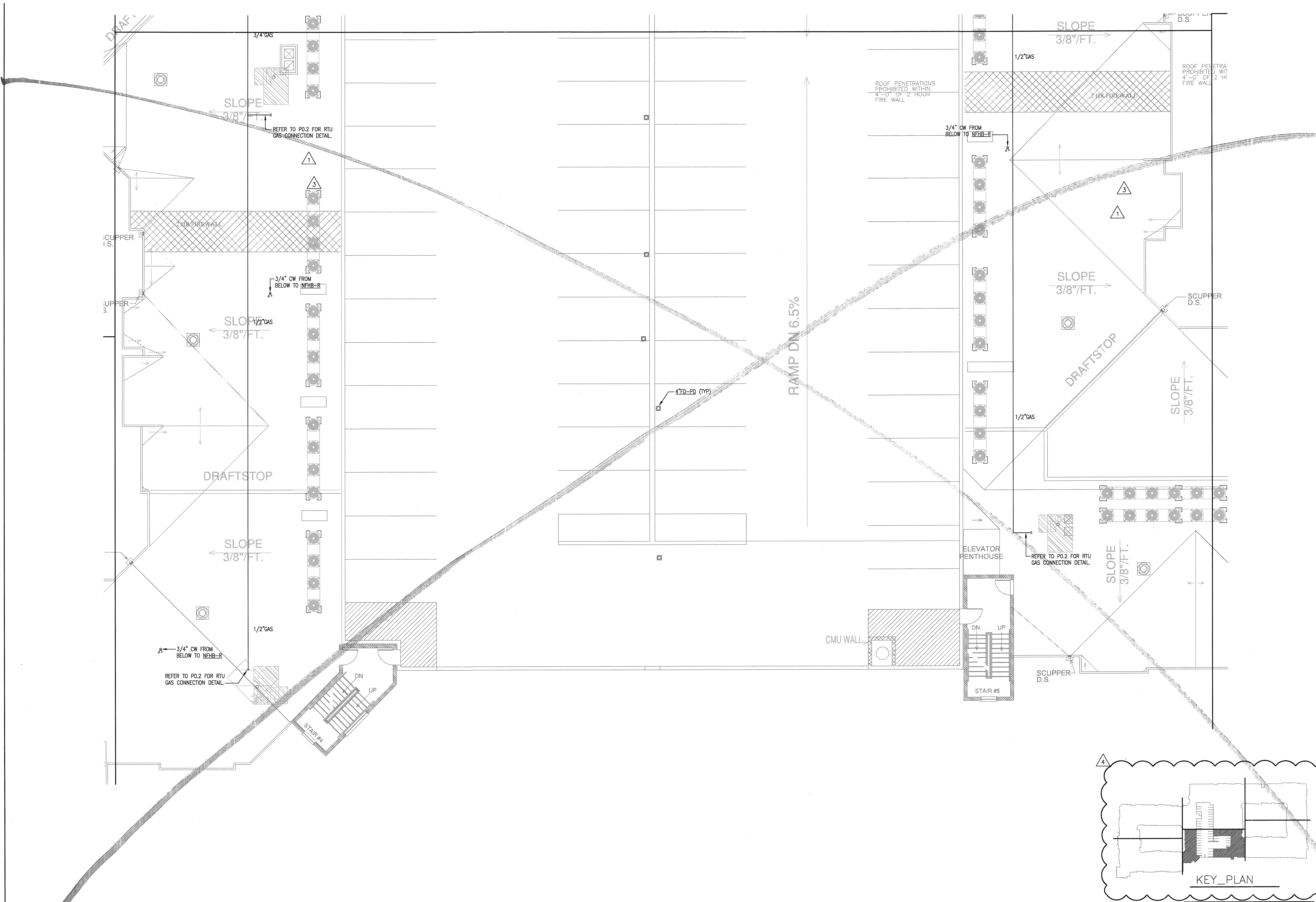
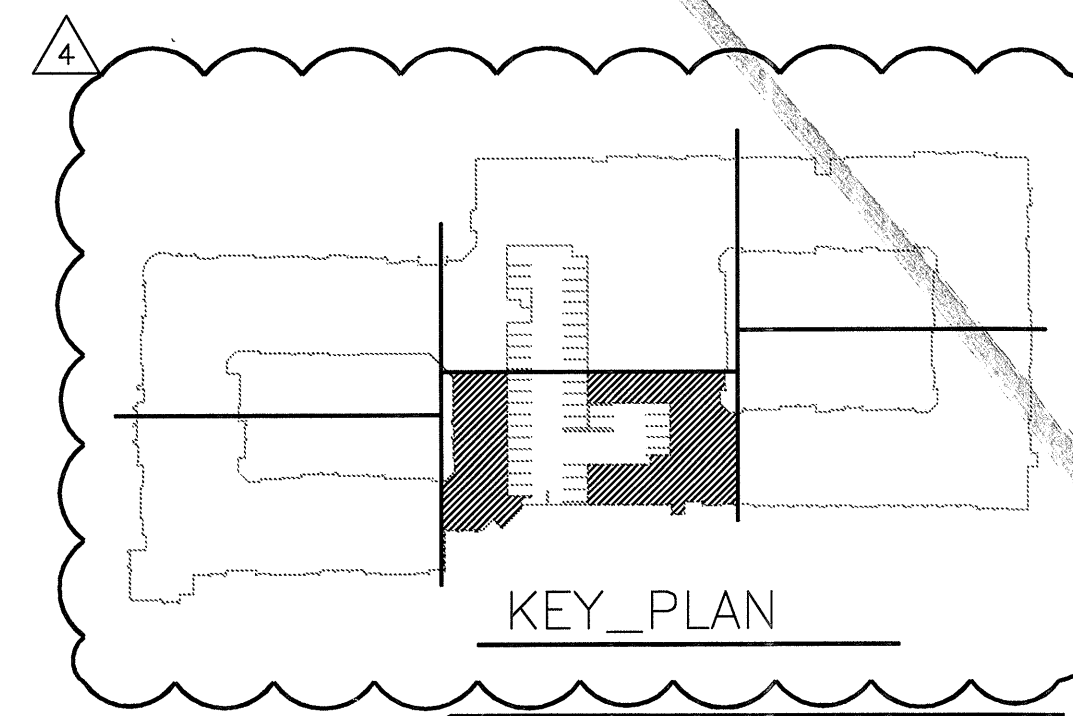
DATE
 08-05-11

PROJECT
 11129

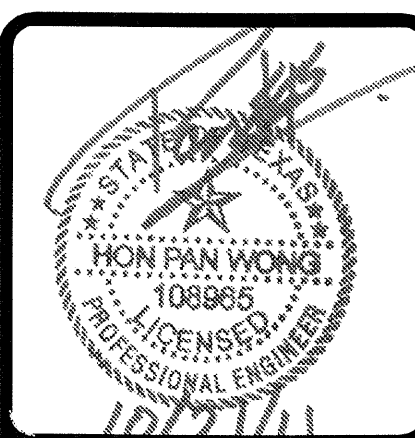
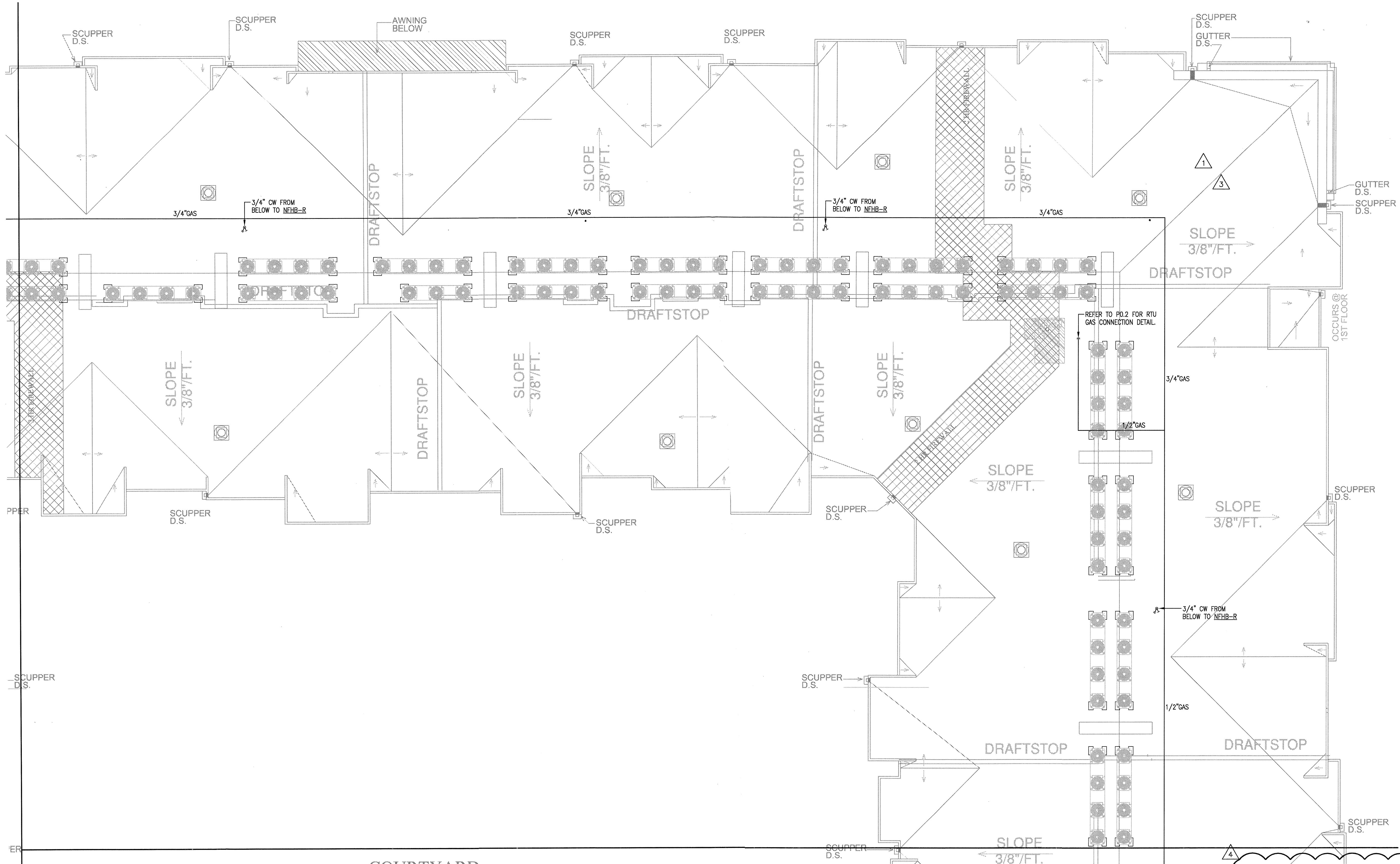
SHEET NUMBER

P-3.5D

JSE Jordan & Skala Engineers
 14240 Midway Road, Suite 350
 Dallas, TX 75244-5138
 V: (469) 383-1616, F: (469) 383-1615
 Project Number - 113-0355 Texas Firm Registration # F-4990
 Drawn By: CV Checked By: RC



1 DIVISION 'D' ROOF PLAN
 SCALE: 1/8" = 1'-0"



REVISIONS		
1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS
 LOFT APARTMENTS IN ADDISON, TEXAS

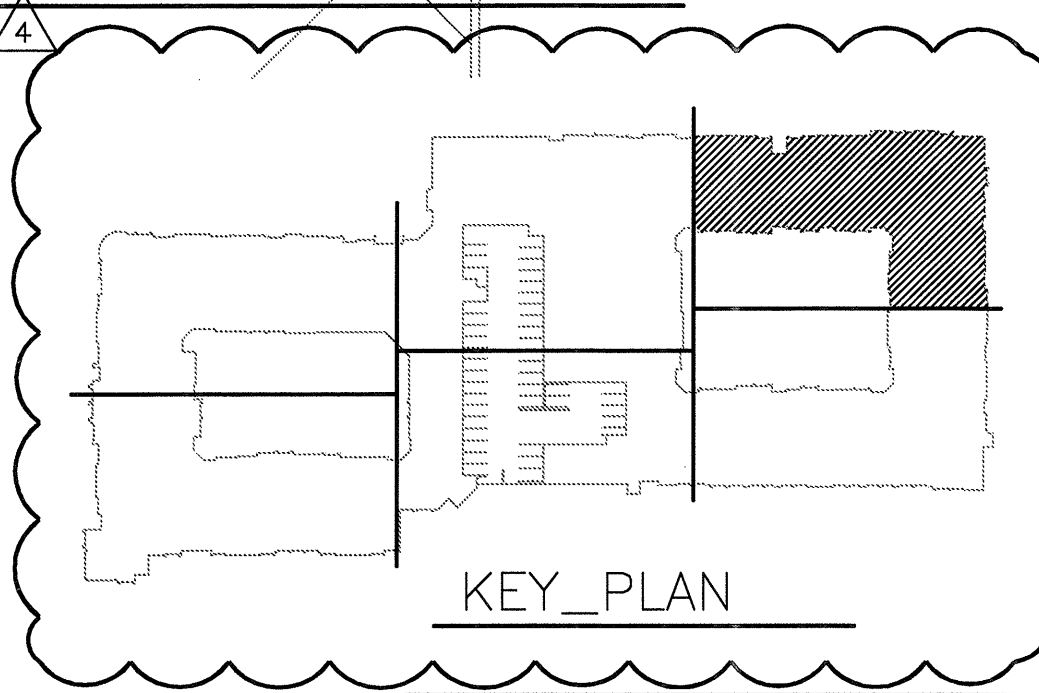
BGO
architects
 4144 N. Central Expy., Suite 855
 Dallas, TX 75204
 214.520.8878
 bgoarchitects.com

DATE
 08-05-11

PROJECT
 11129

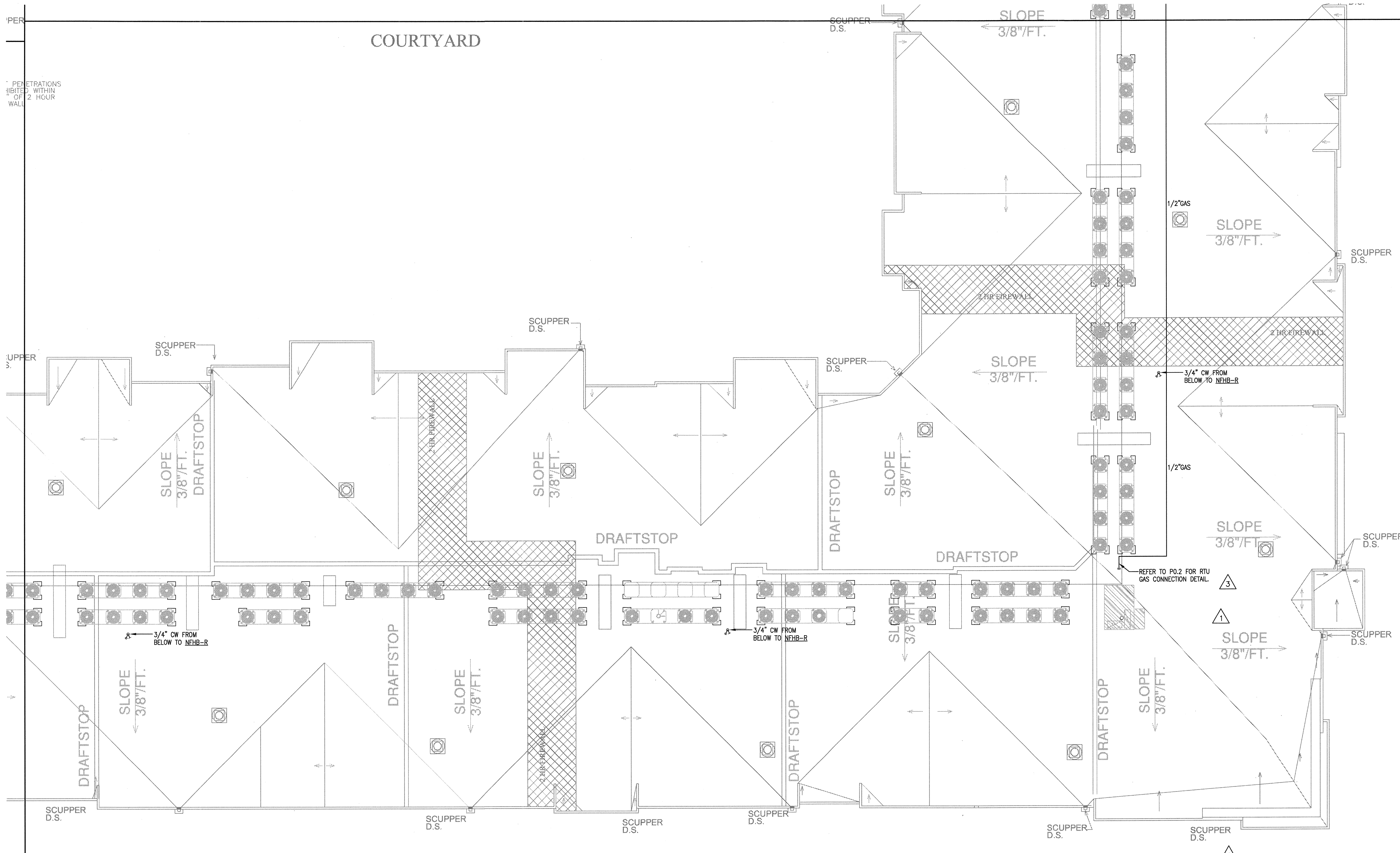
SHEET NUMBER

P-3.5E



JSE Jordan & Skala Engineers
 14240 Midway Road, Suite 330
 Dallas, TX 75244-5138
 Project Number - 113-0355
 Drawn By: CV
 Texas Firm Registration # F-4990
 Checked By: RC

1 DIVISION 'E' ROOF PLAN
 SCALE: 1/8" = 1'-0"



REVISIONS		
1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS
 LOFT APARTMENTS IN ADDISON, TEXAS

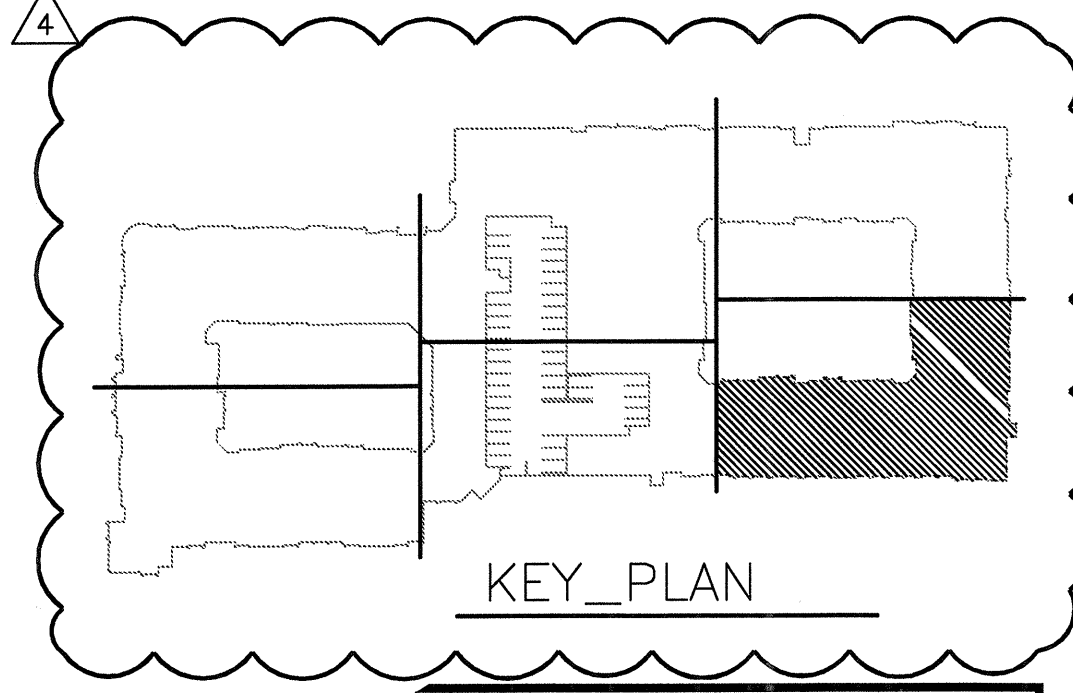
BGO architects
 4144 N. Central Expy. Suite 555
 Dallas, TX 75204
 214.520.8878
 bgoarchitects.com

DATE
 08-05-11

PROJECT
 11129

SHEET NUMBER

P-3.5F



1 DIVISION 'F' ROOF PLAN
 SCALE: 1/8" = 1'-0"

JSE Jordan & Skala Engineers
 14240 Midway Road, Suite 150
 Dallas, TX 75244-5138
 Tel: (469) 385-1616 Fax: (469) 385-1615
 Project Number - 113-0355 Texas Firm Registration # F-4990
 Drawn By: CV Checked By: RC

RFI

To: Heath Parnell
 Jordan & Skala Engineers, Inc.
 14240 Midway Road, Suite 350
 Dallas, TX 75244
 Ph: 469/385-1616 Fax: 469/385-1615

RFI #: 137
Date: 6/1/2012
Job: EB-02 Keller Springs Lofts
Phone: 877-777-5115

CC: Erik Earnshaw (Beeler Guest Owens Architects)

Subject: Trench Drain in Garage

Drawing: P-3.6
Cost Impact: None

Spec Section:
Schedule Impact: None

Request: **Date Required:** 6/11/2012
 The trench drain shown on P-3.6 scales to about 24 feet in length. The actual opening in the double tee is about 6'-3" x 10". Is the 6'-3" size enough to handle the water load coming down the ramp? What size drain (depth) would be needed to handle the water?

Requested by: David Miller
 Embrey Builders LLC

Response:

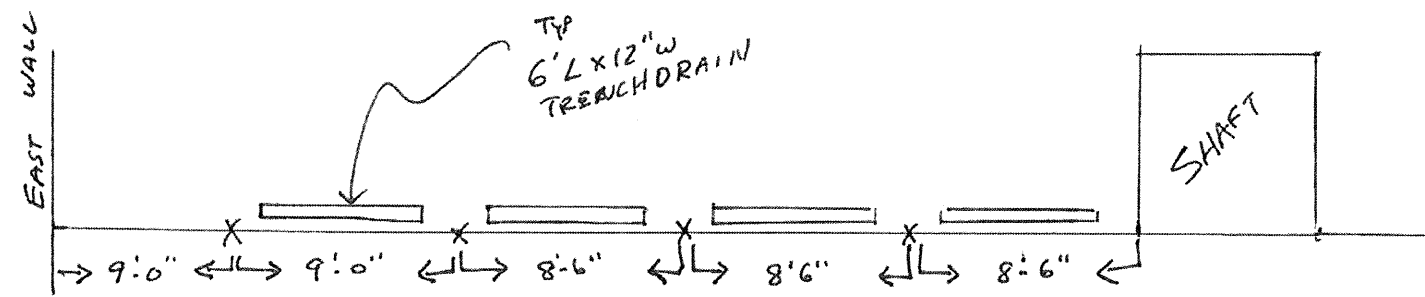
See the attached sketch sent for the latest trench drain layout and pipe sizing.

Heath Parnell

Answered by: Jordan & Skala 6/12/12
Company: Date

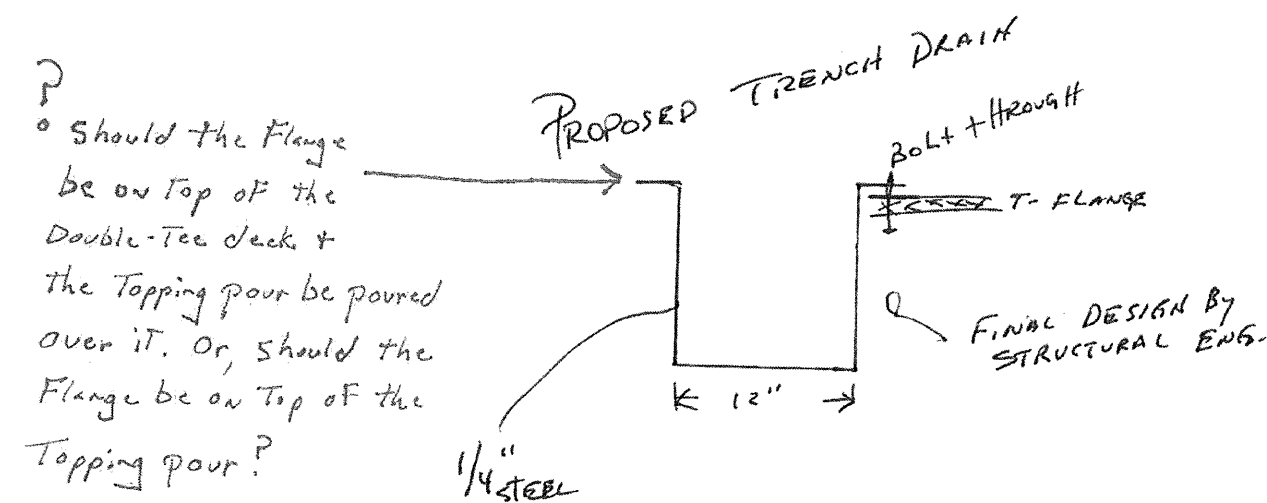
RFI 137

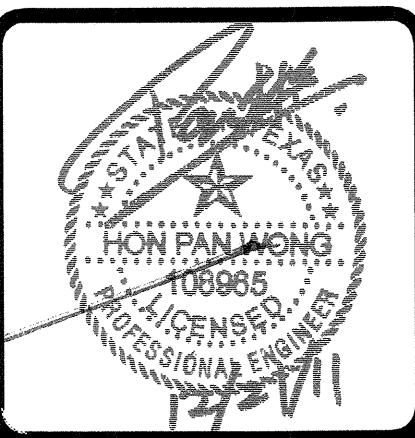
≡



X = CONNECTIONS

N

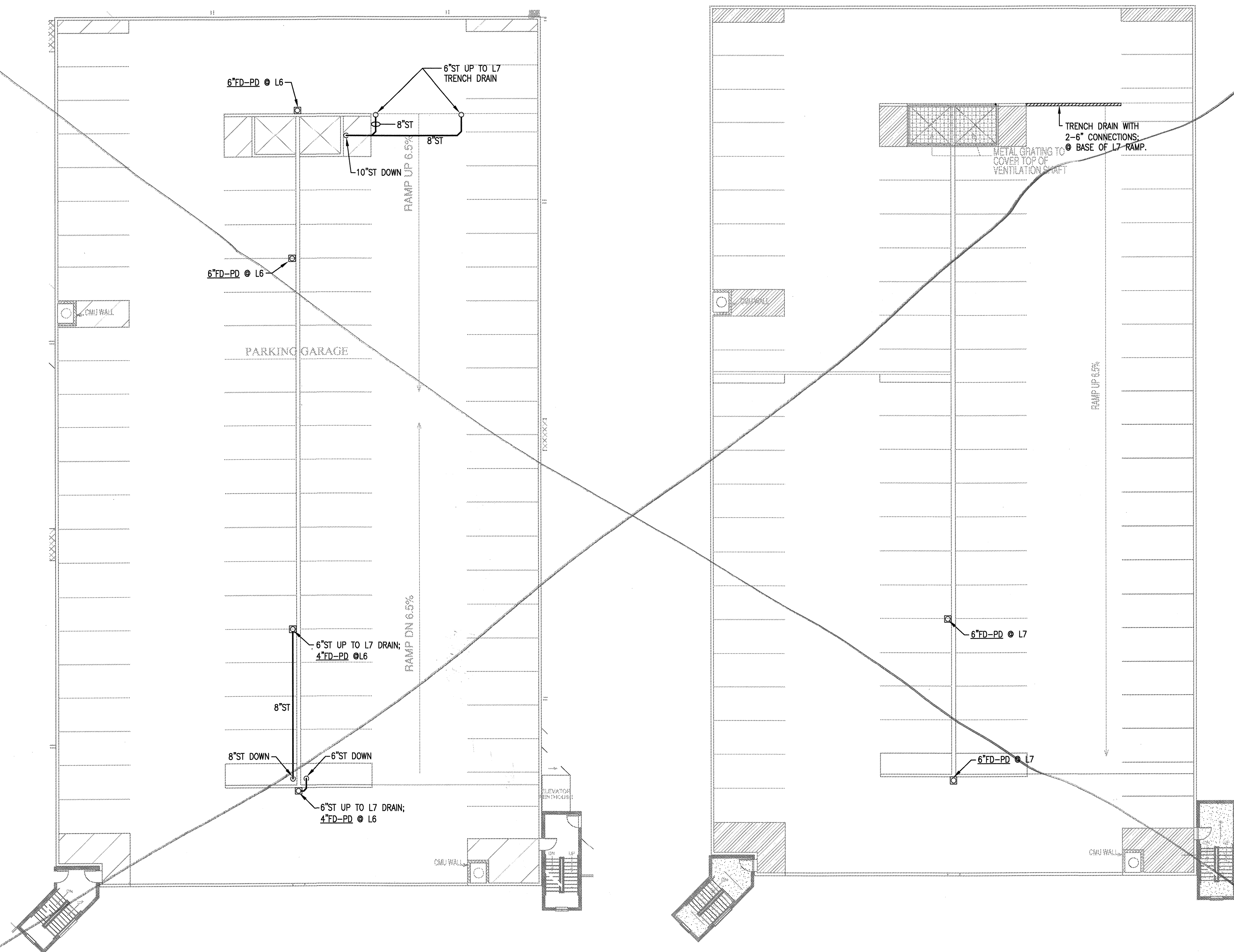




REVISIONS	
1	9-2-2011 DESIGN REVISIONS
2	9-13-2011 ANSI/FHA COMMENTS
3	9-23-2011 DESIGN REVISIONS
4	10-17-2011 CONSTRUCTION ISSUE
5	12-21-2011 DESIGN REVISIONS

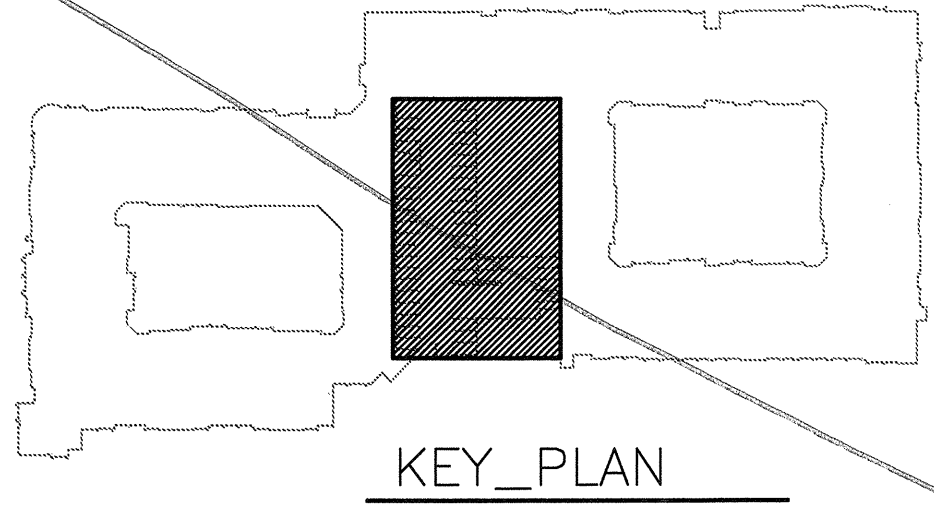
KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS



1 LEVEL 6 GARAGE
SCALE: 1/16" = 1'-0"

2 LEVEL 7 GARAGE
SCALE: 1/16" = 1'-0"



JSE Jordan & Skala Engineers
 14240 Midway Road, Suite 330
 Dallas, TX 75244-5138
 V: (469) 385-7616 F: (469) 385-7615
 Project Number - 113-0355 Texas Firm Registration # F-4990
 Drawn By: CV Checked By: RC

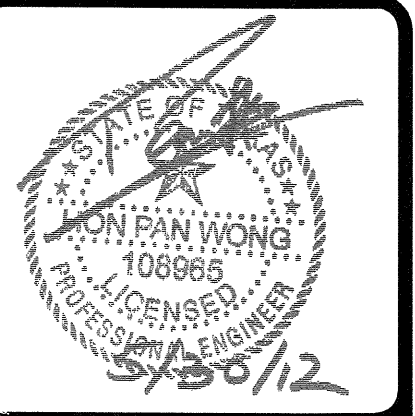
BGO architects
 4144 N. Central Expy.
 Suite 855
 Dallas, TX 75204
 214.520.8878
 bgoarchitects.com

DATE
08-05-11

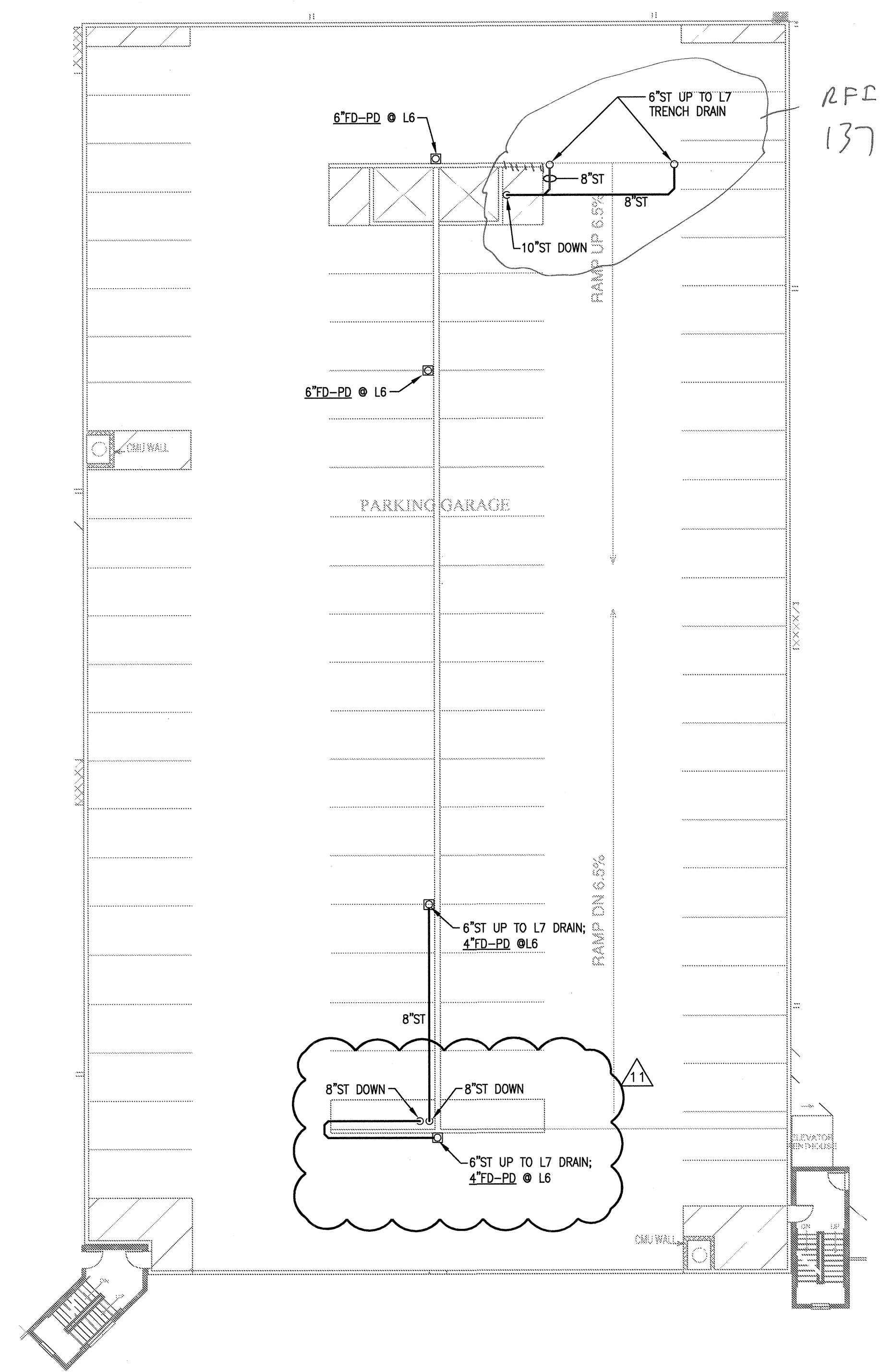
PROJECT
11129

SHEET NUMBER
5

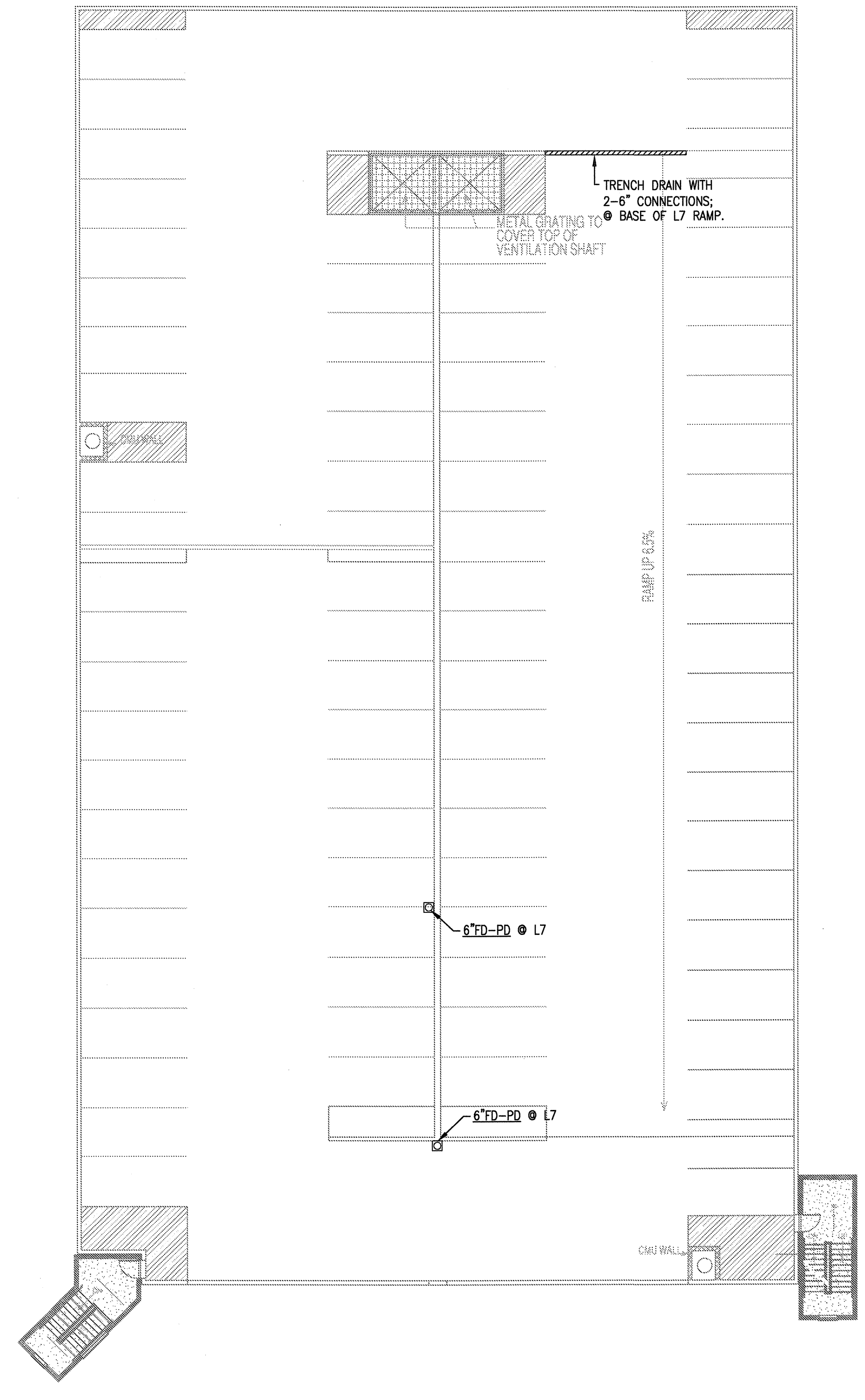
P-3.6



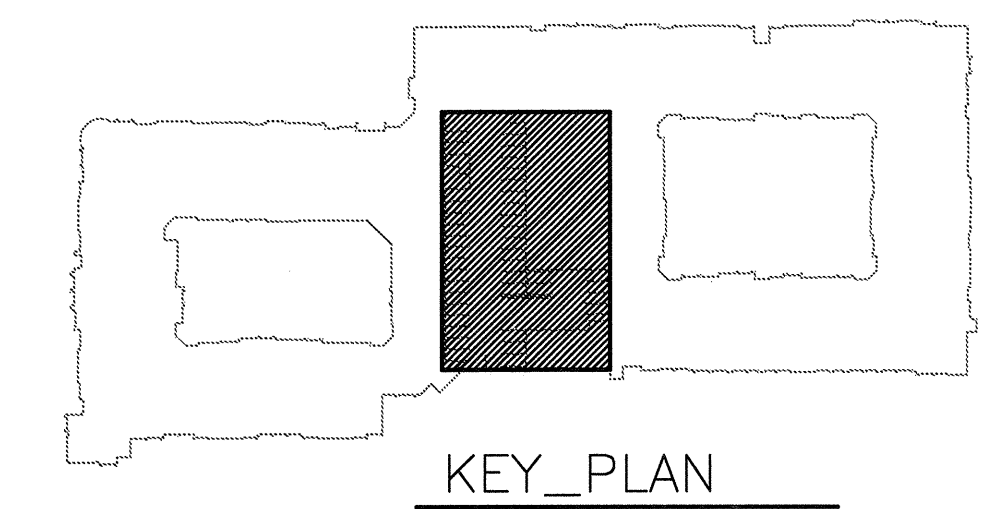
REVISIONS		
1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/PHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE
5	12-21-2011	DESIGN REVISIONS
6	1-17-2012	DESIGN REVISIONS
7	2-15-2012	TRANSFORMER REVISIONS
8	3-27-2012	CLUBHOUSE REVISIONS
9	4-17-2012	COORDINATION



1 LEVEL 6 GARAGE
SCALE: 1/16" = 1'-0"



2 LEVEL 7 GARAGE
SCALE: 1/16" = 1'-0"



JSE Jordan & Skala Engineers
17855 N. Dallas Parkway, Suite 320
Dallas, TX 75287-6557
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: CV Checked By: RC

KELLER SPRINGS LOFTS
LOFT APARTMENTS IN ADDISON, TEXAS

10	5-15-2012	COORDINATION
11	5-30-2012	SITE COORDINATION

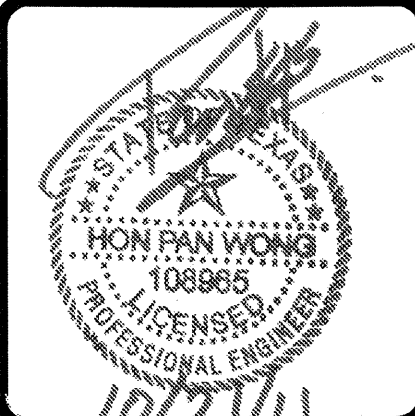
BGO architects
4144 N. Central Expy.
Suite 855
Dallas, TX 75204
214.520.8878
bgoarchitects.com

DATE
08-05-11

PROJECT
11129

SHEET NUMBER

P-3.6



REVISIONS

△ 9-2-2011	DESIGN REVISIONS
△ 9-13-2011	ANSI/FHA COMMENTS
△ 9-23-2011	DESIGN REVISIONS
△ 10-17-2011	CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS
LOFT APARTMENTS IN ADDISON, TEXAS

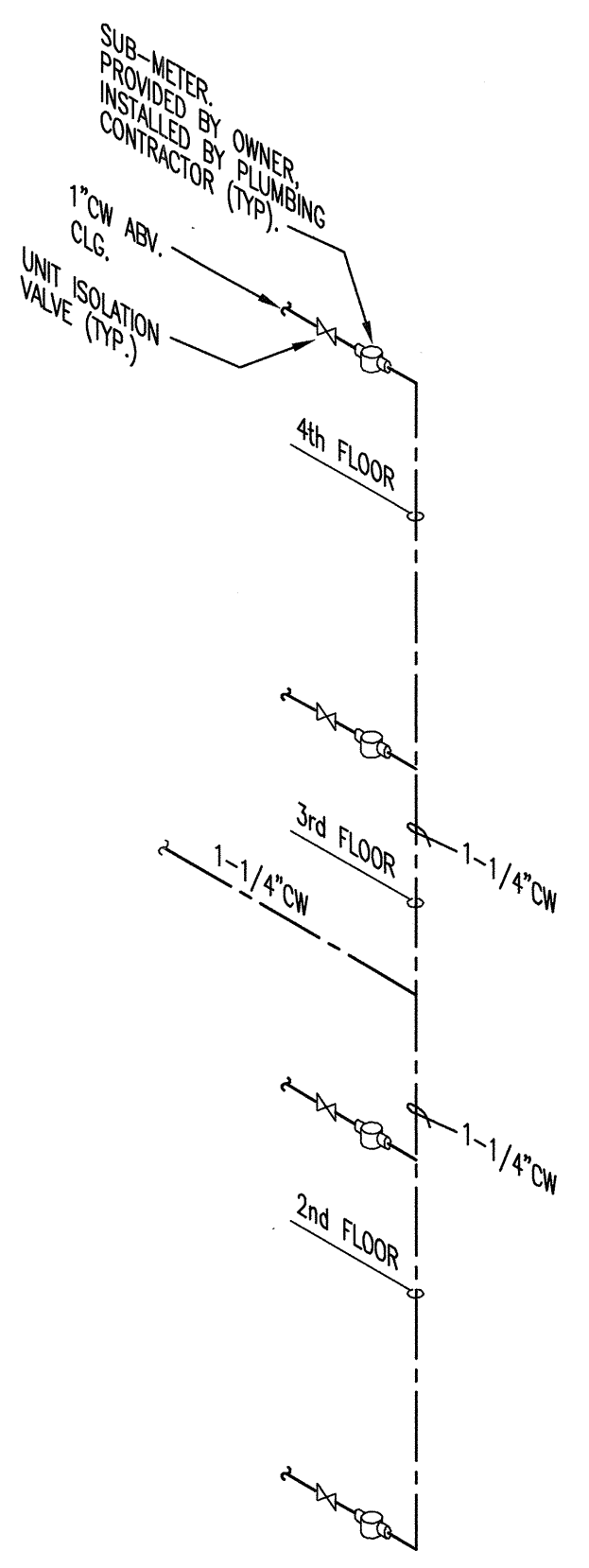
BGO architects
4144 N. Central Expy.
Suite 855
Dallas, TX 75204
214.520.8878
bgoarchitects.com

DATE
08-05-11

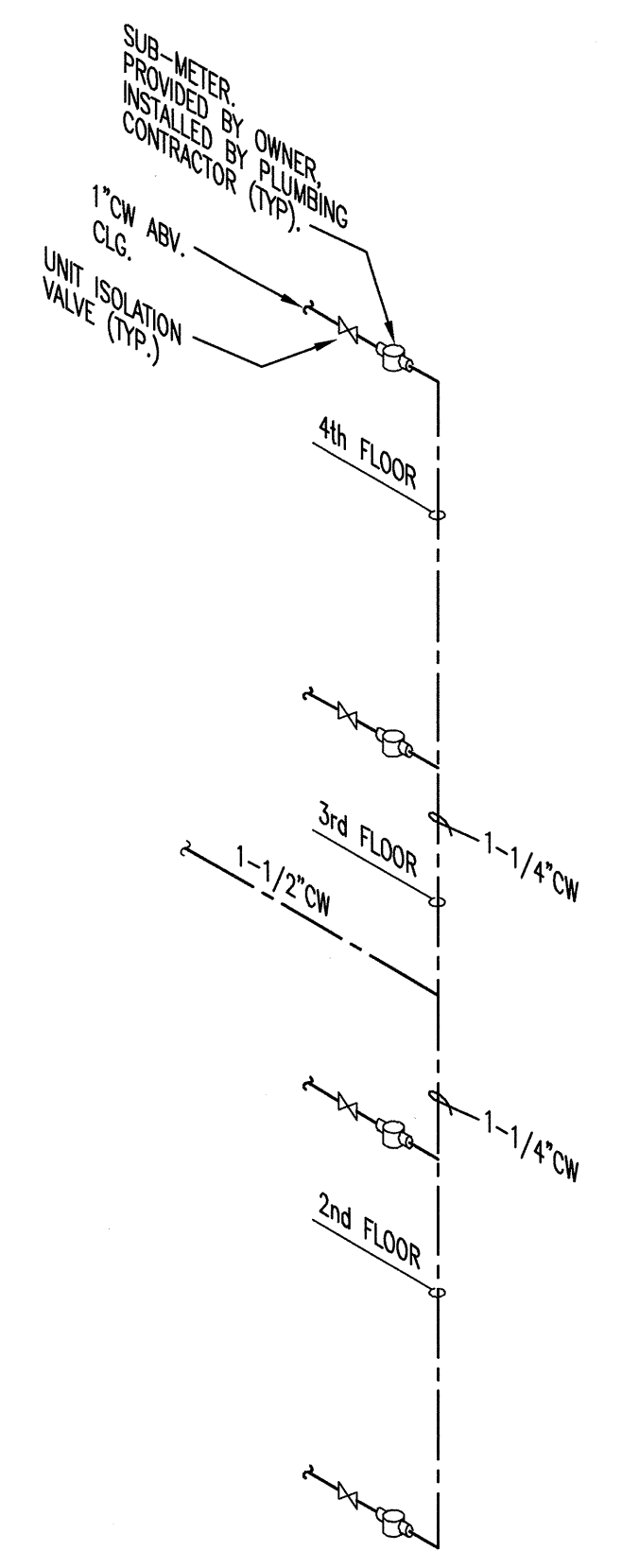
PROJECT
11129

SHEET NUMBER

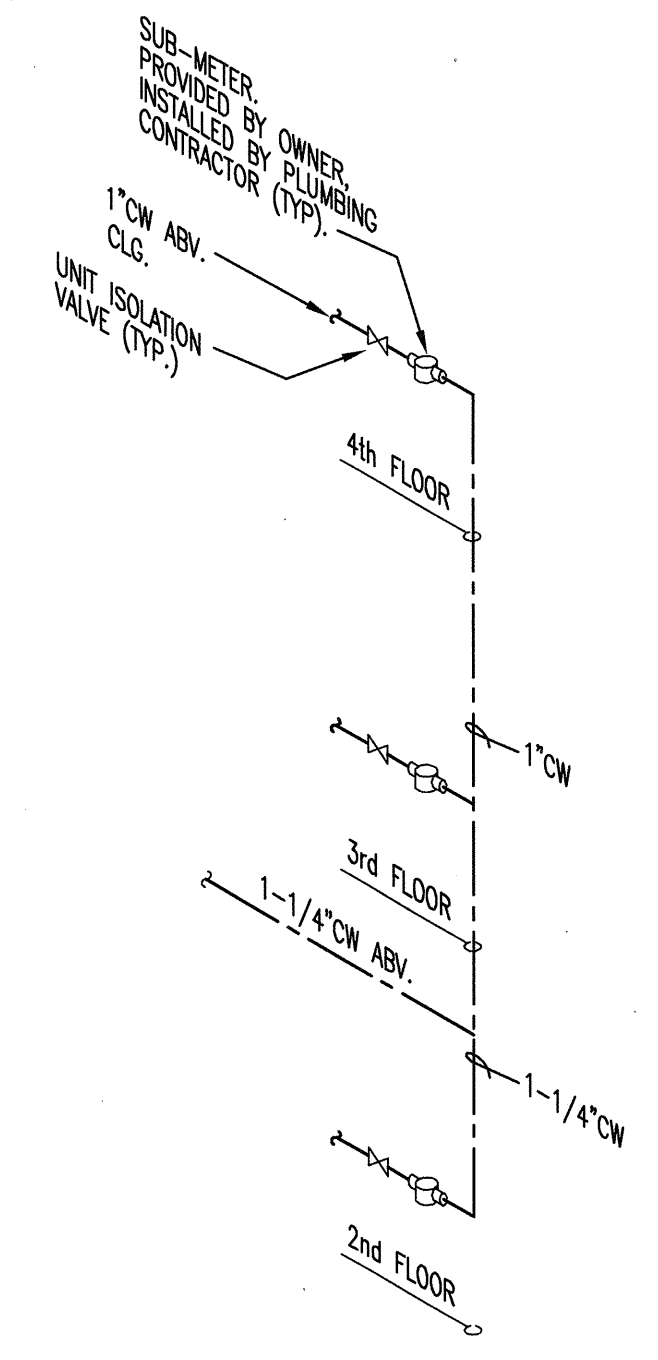
P-4.1



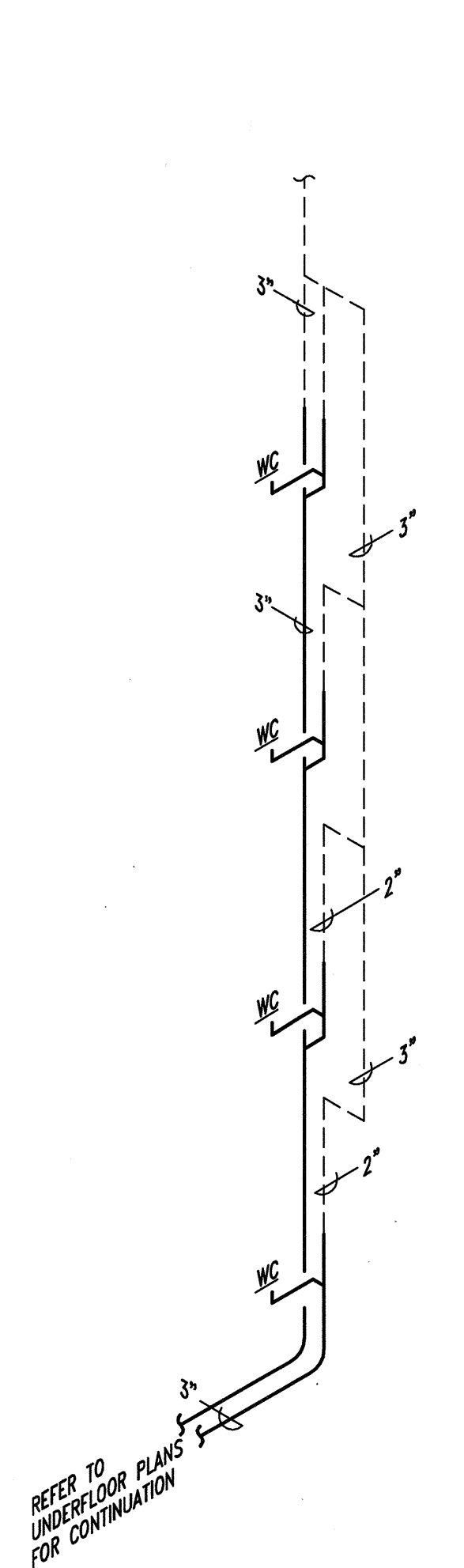
TYP. 1 BATHROOM/4 LEVEL WATER RISER
NOT TO SCALE



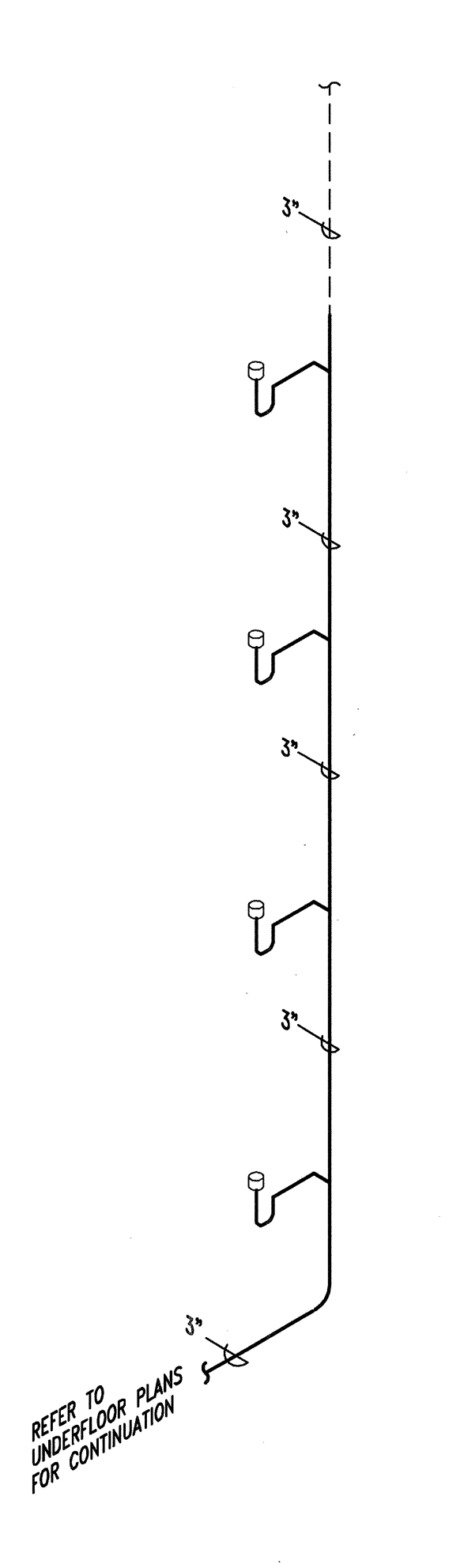
TYP. 2 BATHROOM/4 LEVEL WATER RISER
NOT TO SCALE



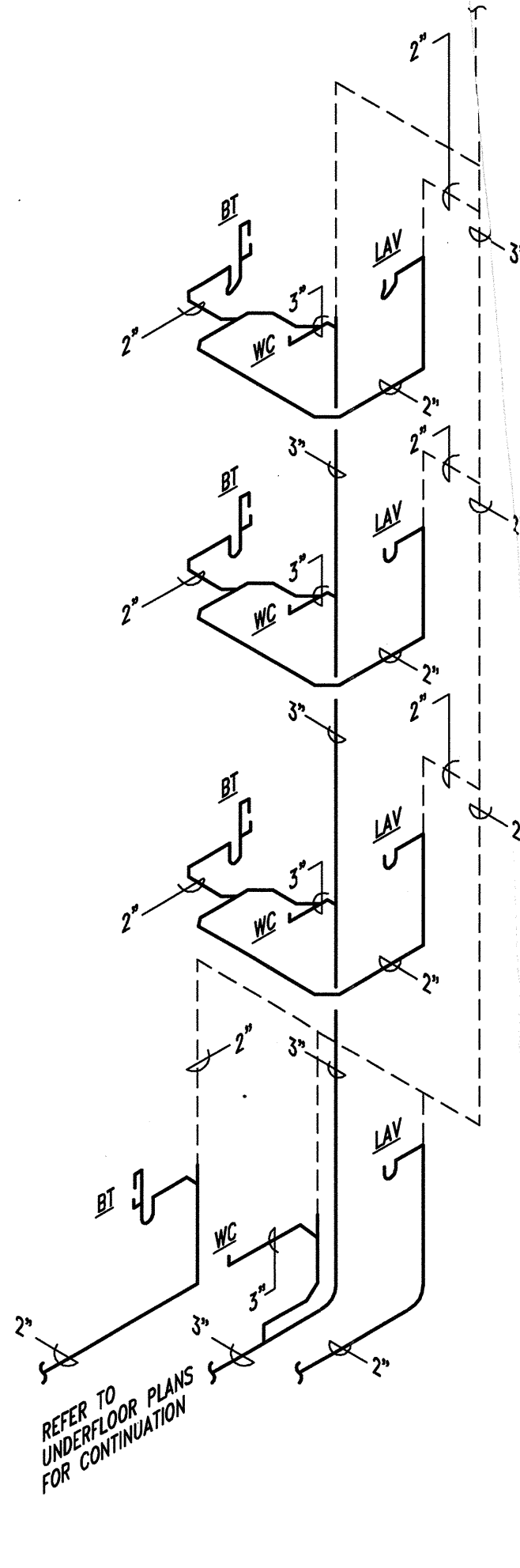
TYP. 1&2 BATHROOM/3 LEVEL WATER RISER
NOT TO SCALE



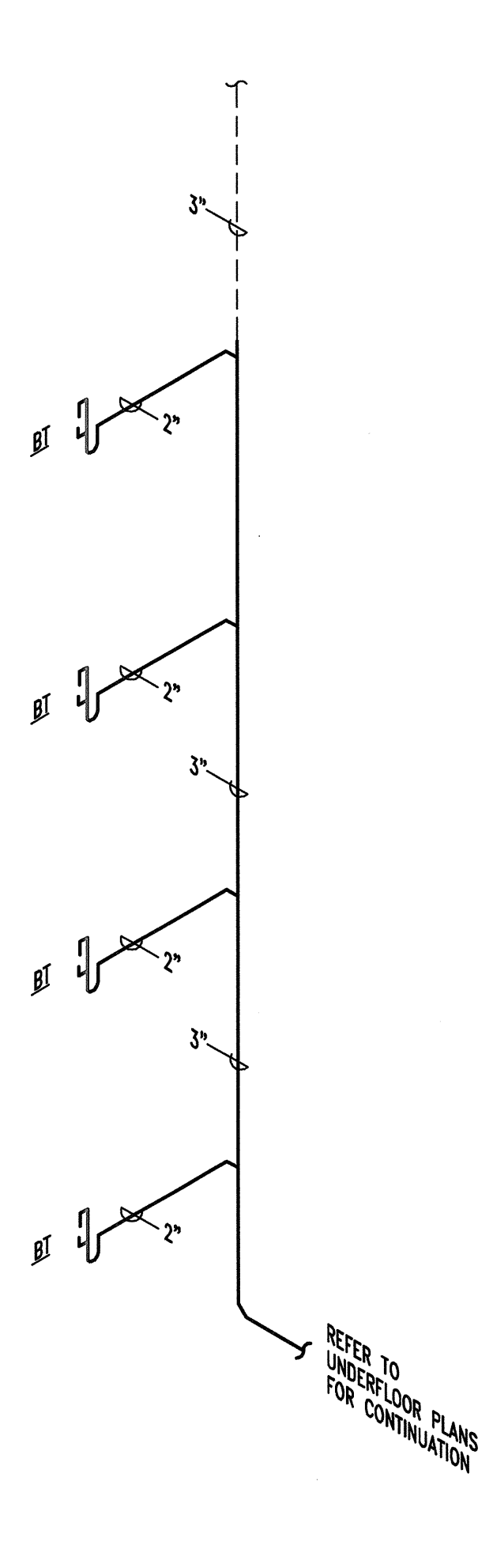
TYPICAL WC/LAV/LAV/WT VERTICAL WASTE & VENT STACK
4 D.F.U. TOTAL



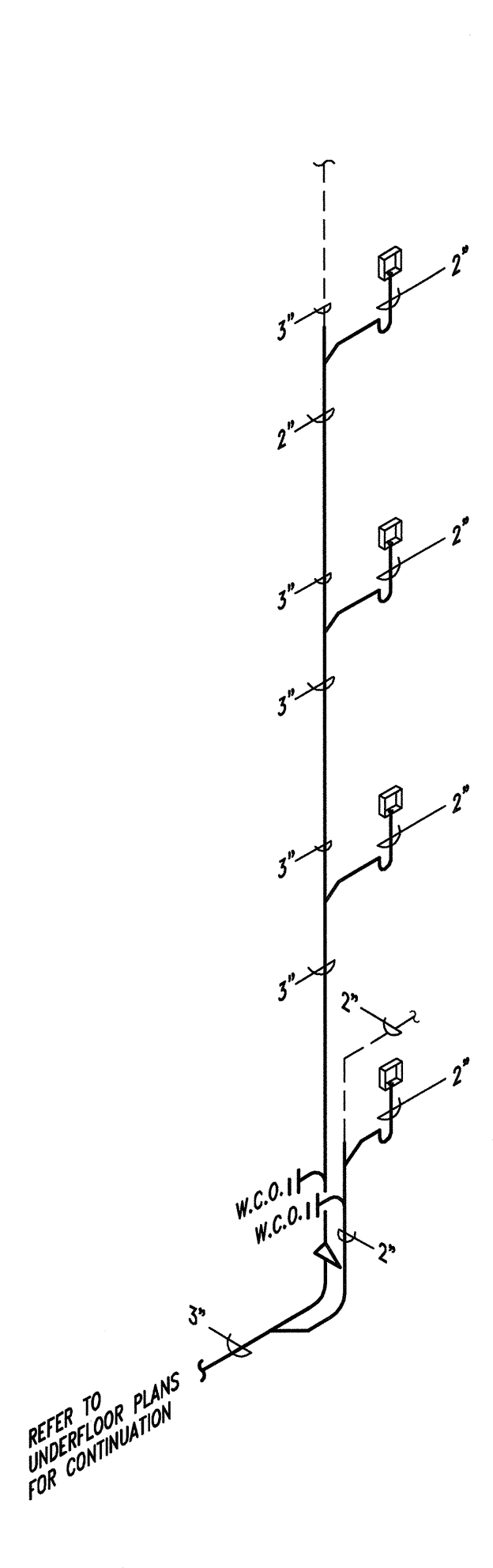
TYPICAL LAVATORY 4 LEVELS WASTE VENT STACK
4 DRAINAGE FIXTURE UNIT TOTAL



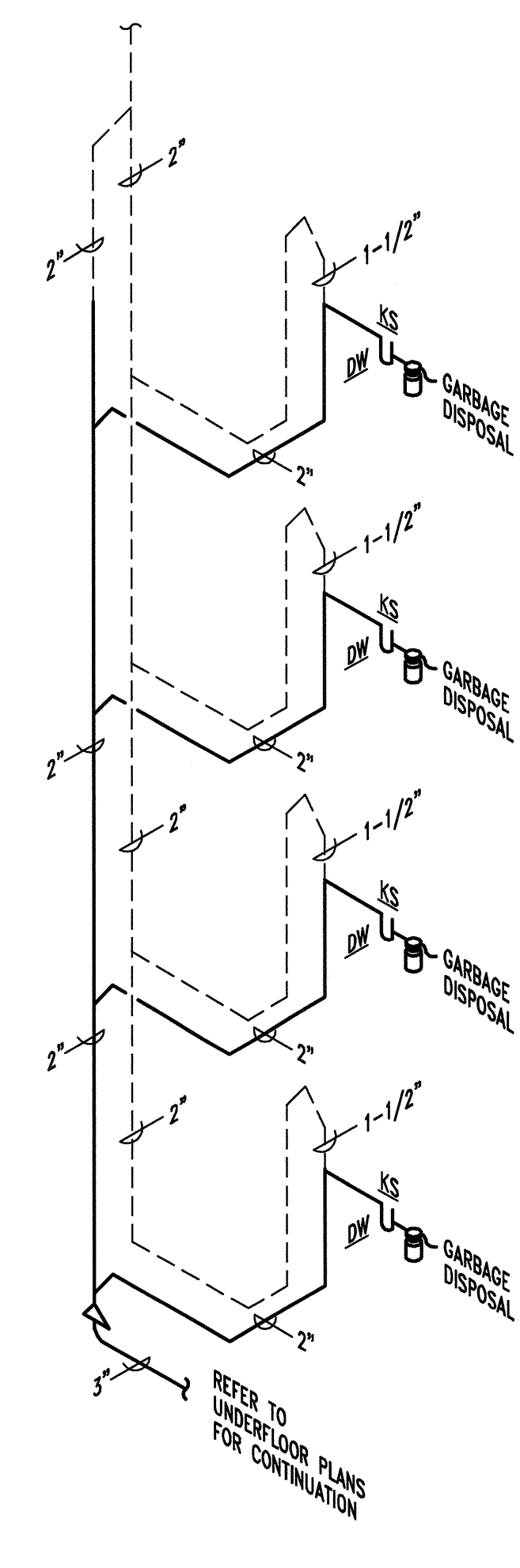
TYPICAL BATHROOM GROUP W/SHWR 4 LEVELS WET VENT STACK
20 DRAINAGE FIXTURE UNIT TOTAL



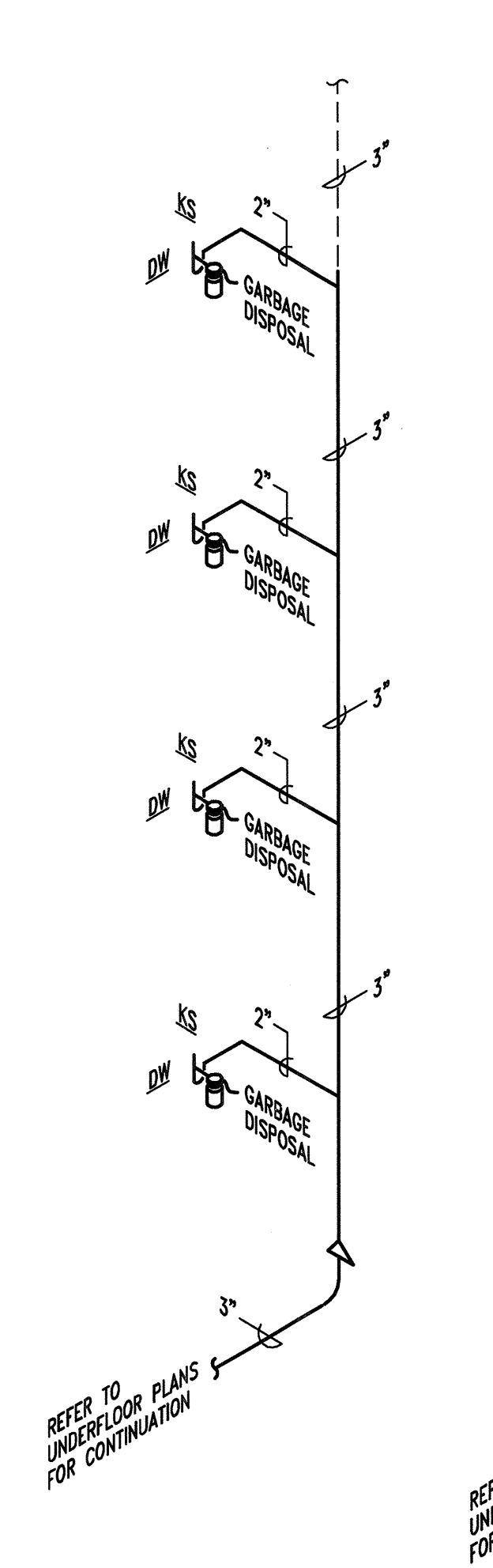
TYPICAL BATHTUB STACK 8 D.F.U. TOTAL



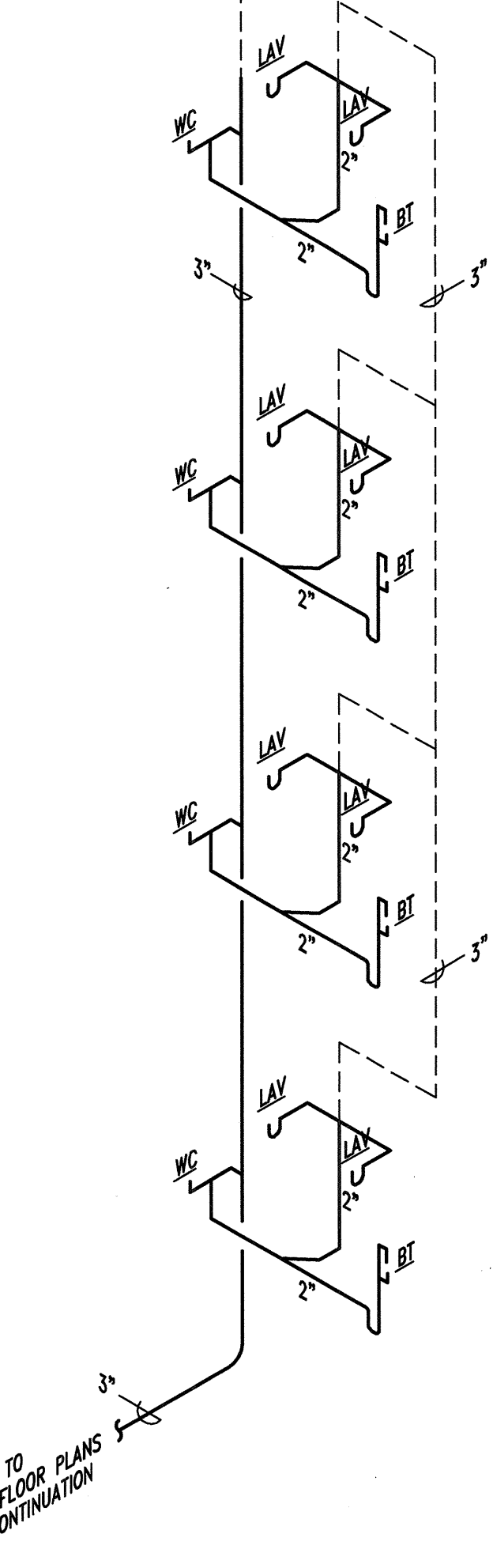
TYPICAL WASHING MACHINE BOX STACK 8 DRAINAGE FIXTURE UNIT TOTAL



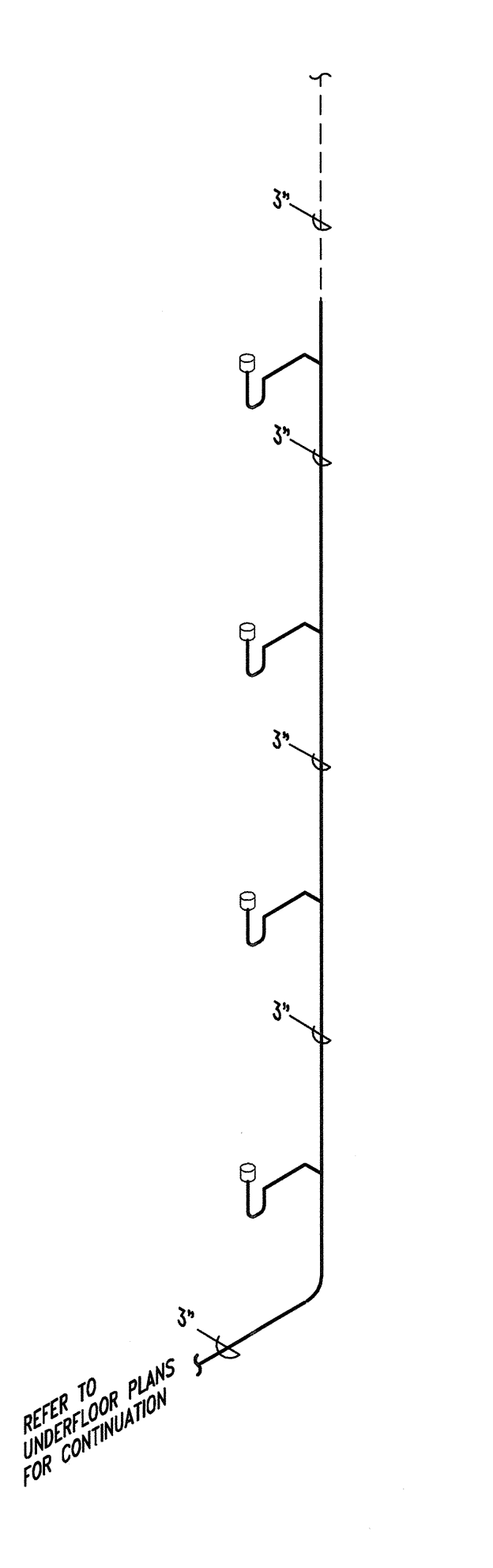
TYPICAL ISLAND KITCH. SK. STACK 8 D.F.U. TOTAL



TYPICAL KITCHEN SINK VERTICAL WET VENT STACK 8 DRAINAGE FIXTURE UNIT TOTAL



TYPICAL WC/LAV/LAV/WT VERTICAL WASTE & VENT STACK 4 D.F.U. TOTAL



TYPICAL HUB-DRAIN VERTICAL WASTE VENT STACK 4 D.F.U. TOTAL

EMBREY BUILDERS, LLC.
1020 N. E. Loop 410, Suite 700
San Antonio, TX 78209
Ph: (210) 824-6044 Fax: (210) 824-7656

RFI

To: Jordan & Skala Engineers, Inc. RFI #: 65
14240 Midway Road, Suite 350 Date: 2/23/2012
Dallas, TX 75244 Job: EB-02 Keller Springs Lofts
Ph: 469/385-1616 Fax: 469/385-1615 Phone: 877-777-5115

CC: Erik Earnshaw (BGO)

Subject: revised scale to coordinate with Architectural and Plumbing sheets

Drawing: 4/6.4, 3.1D, P-3.1D, P-9.1 Spec Section:
Cost Impact: None Schedule Impact: None

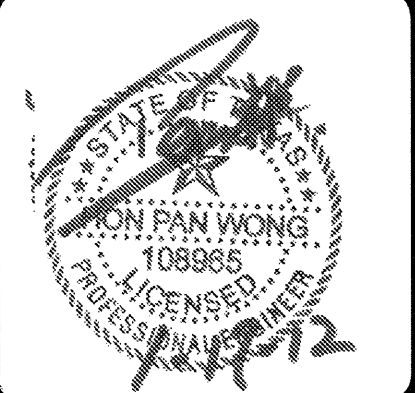
Request: Architectural 4/6.4 show inside dimensions for the Pump Room as 24'-6" X 17'-10"; sheet 3.1D and P3.1D scale out the same using the 1/8" scale. Going to P-9.1 (which my plumber did) and using the 1/2" scale that is called out, the room scales to 21'-0" X 15'-6". The detail and sheet needs to be revised to scale to the correct dimensions which are 24'-6" X 17'-10" this error has already created problems with my plumber who had to move his plumbing underground after using the detail on P-9.1. **Date Required:** 3/1/2012

Requested by: Bryan Pickler
Embrey Partners, Ltd.

Response:
See attached sheet P-9.1 for corrected plan scale.

Russell Cox
Answered by: Jordan & Skala Date: 3-01-2012
Company: Date:

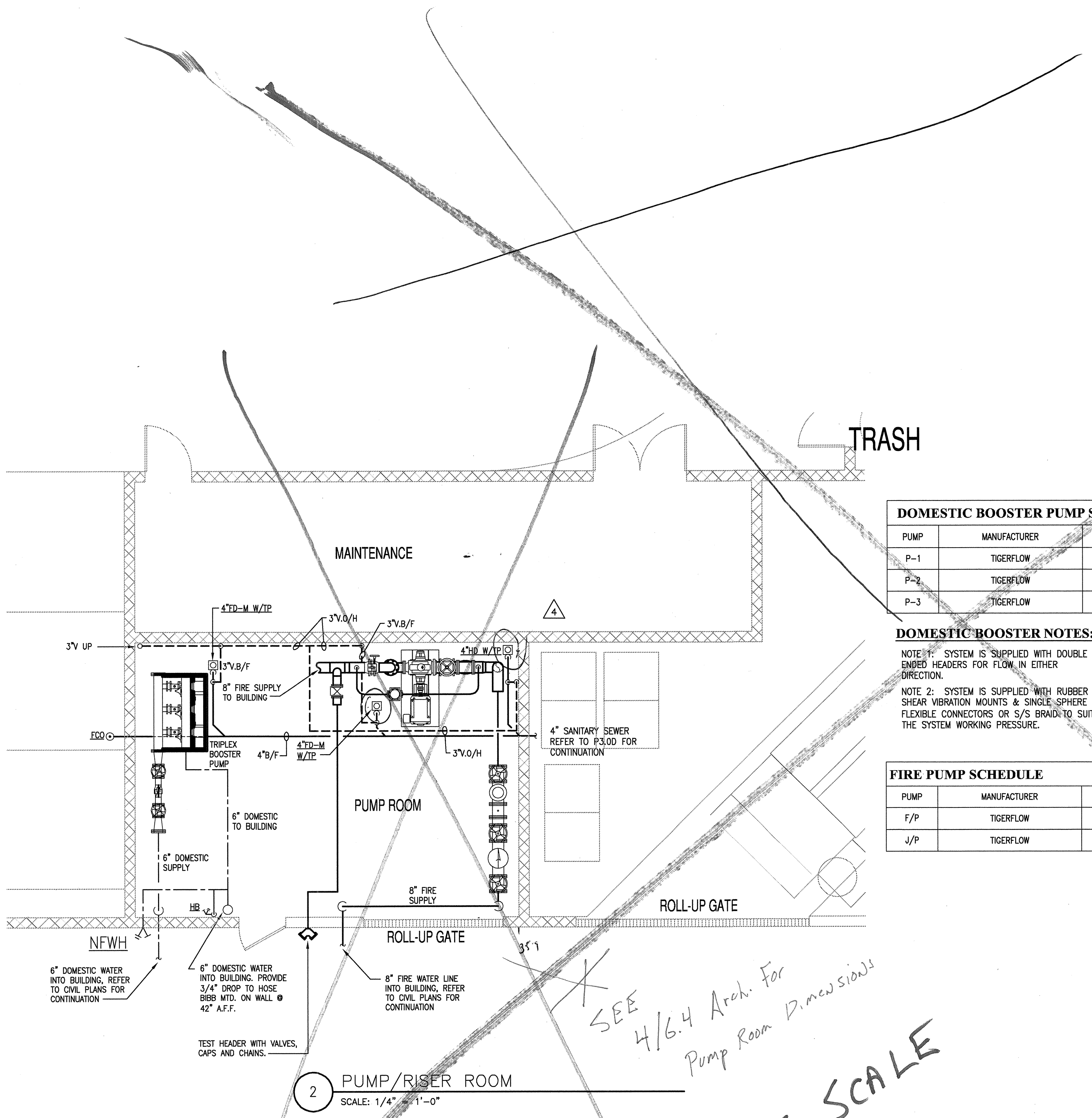
RECEIVED
MARCH 1 2012
KELLER SPRINGS LOFTS



REVISIONS

1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE
5	12-21-2011	DESIGN REVISIONS
6	1-17-2012	DESIGN REVISIONS

KELLER SPRINGS LOFTS
 LOFT APARTMENTS IN ADDISON, TEXAS



DOMESTIC BOOSTER PUMP SCHEDULE

PUMP	MANUFACTURER	MODEL NO.	GPM	HEAD	HP	SPEED	POWER
P-1	TIGERFLOW	--	187	92'	7.5	3500	208-60-3
P-2	TIGERFLOW	--	187	92'	7.5	3500	208-60-3
P-3	TIGERFLOW	--	187	92'	7.5	3500	208-60-3

DOMESTIC BOOSTER NOTES:
 NOTE 1: SYSTEM IS SUPPLIED WITH DOUBLE ENDED HEADERS FOR FLOW IN EITHER DIRECTION.
 NOTE 2: SYSTEM IS SUPPLIED WITH RUBBER IN SHEAR VIBRATION MOUNTS & SINGLE SPHERE FLEXIBLE CONNECTORS OR S/S BRAID TO SUIT THE SYSTEM WORKING PRESSURE.

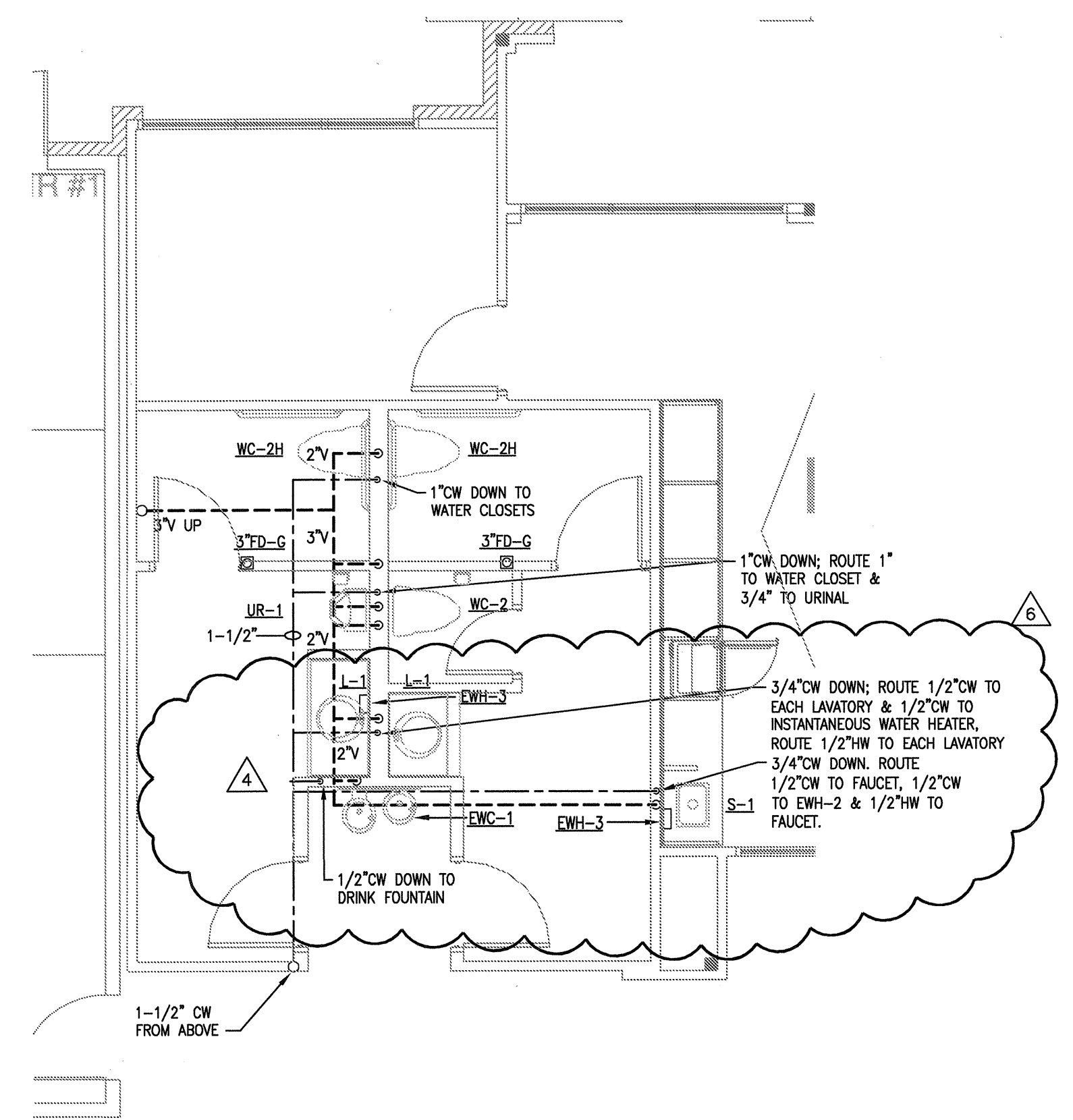
FIRE PUMP SCHEDULE

PUMP	MANUFACTURER	MODEL NO.	GPM	HEAD	HP	SPEED	POWER
F/P	TIGERFLOW	--	1000	207'	100	1750 MAX	208-60-3
J/P	TIGERFLOW	--	12	207'	1.5	3500	208-60-3

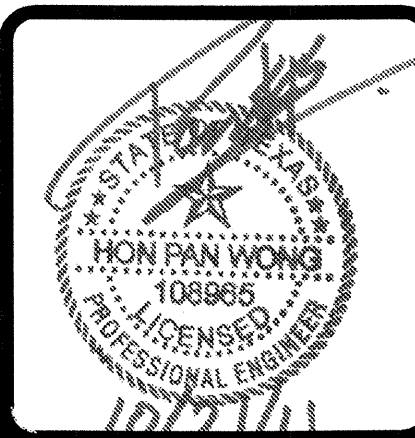
2 PUMP/RISER ROOM
 SCALE: 1/4" = 1'-0"

*WRONG = 21'-9" x 15'-6"
 Correct = 24'-8" x 17'-10"*

*SEE 4/6.4 Arch. For Pump Room Dimensions
 NOT TO SCALE*

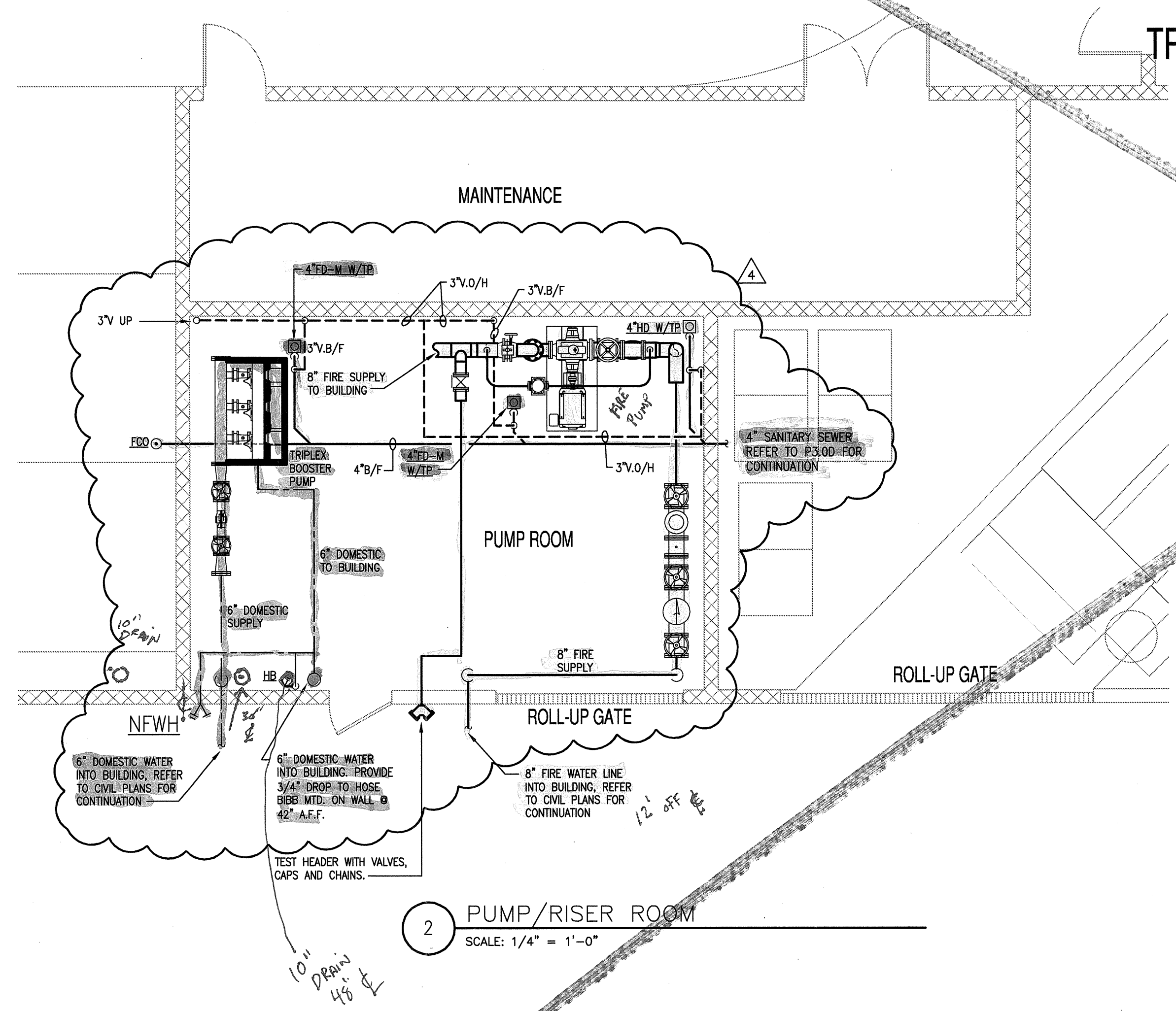


1 CLUBHOUSE RESTROOM
 SCALE: 1/4" = 1'-0"



REVISIONS	
1	9-2-2011 DESIGN REVISIONS
2	9-13-2011 ANSI/FHA COMMENTS
3	9-23-2011 DESIGN REVISIONS
4	10-17-2011 CONSTRUCTION ISSUE

KELLER SPRINGS LOFTS
 LOFT APARTMENTS IN ADDISON, TEXAS

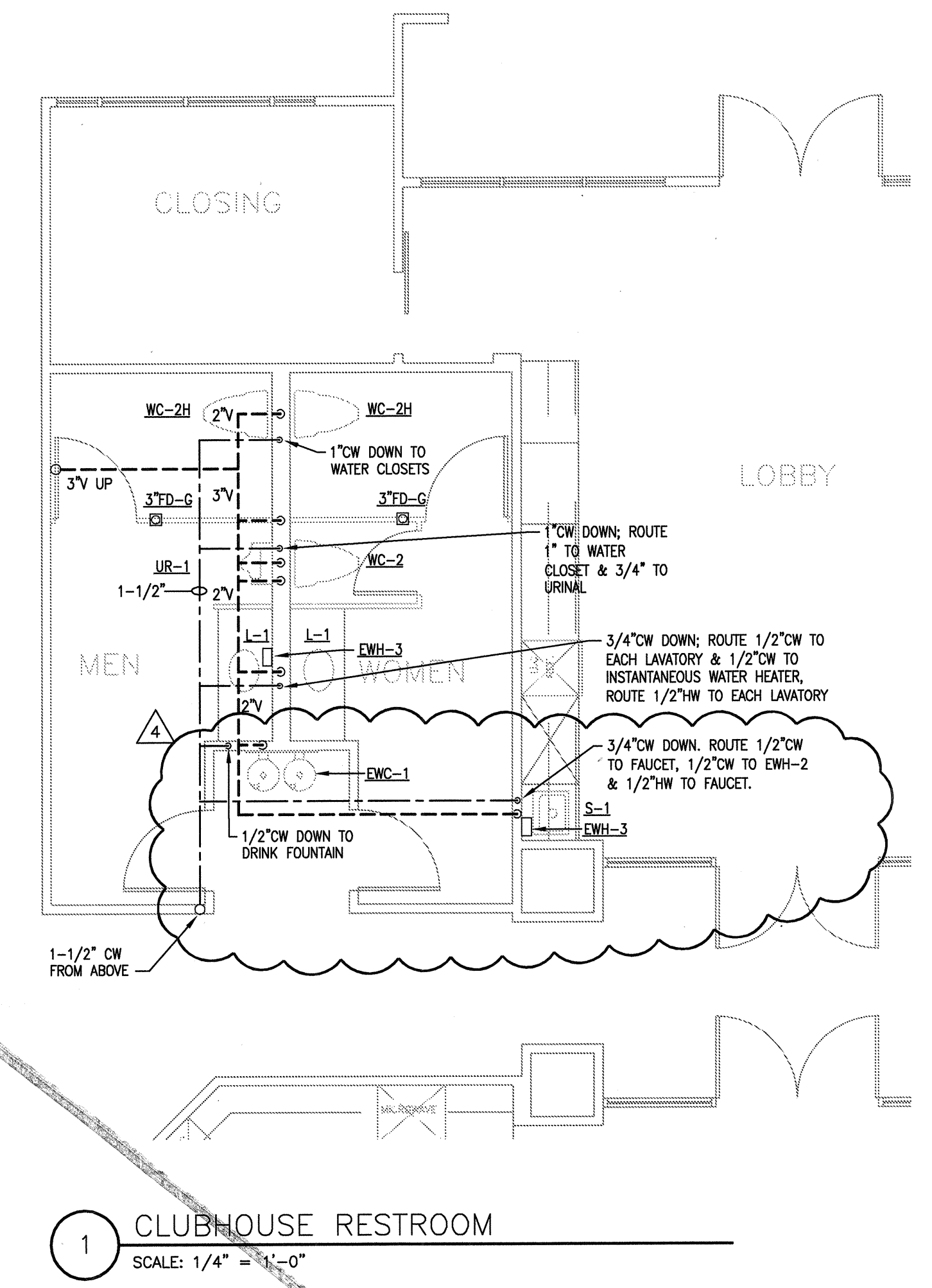


2 PUMP/RISER ROOM
SCALE: 1/4" = 1'-0"

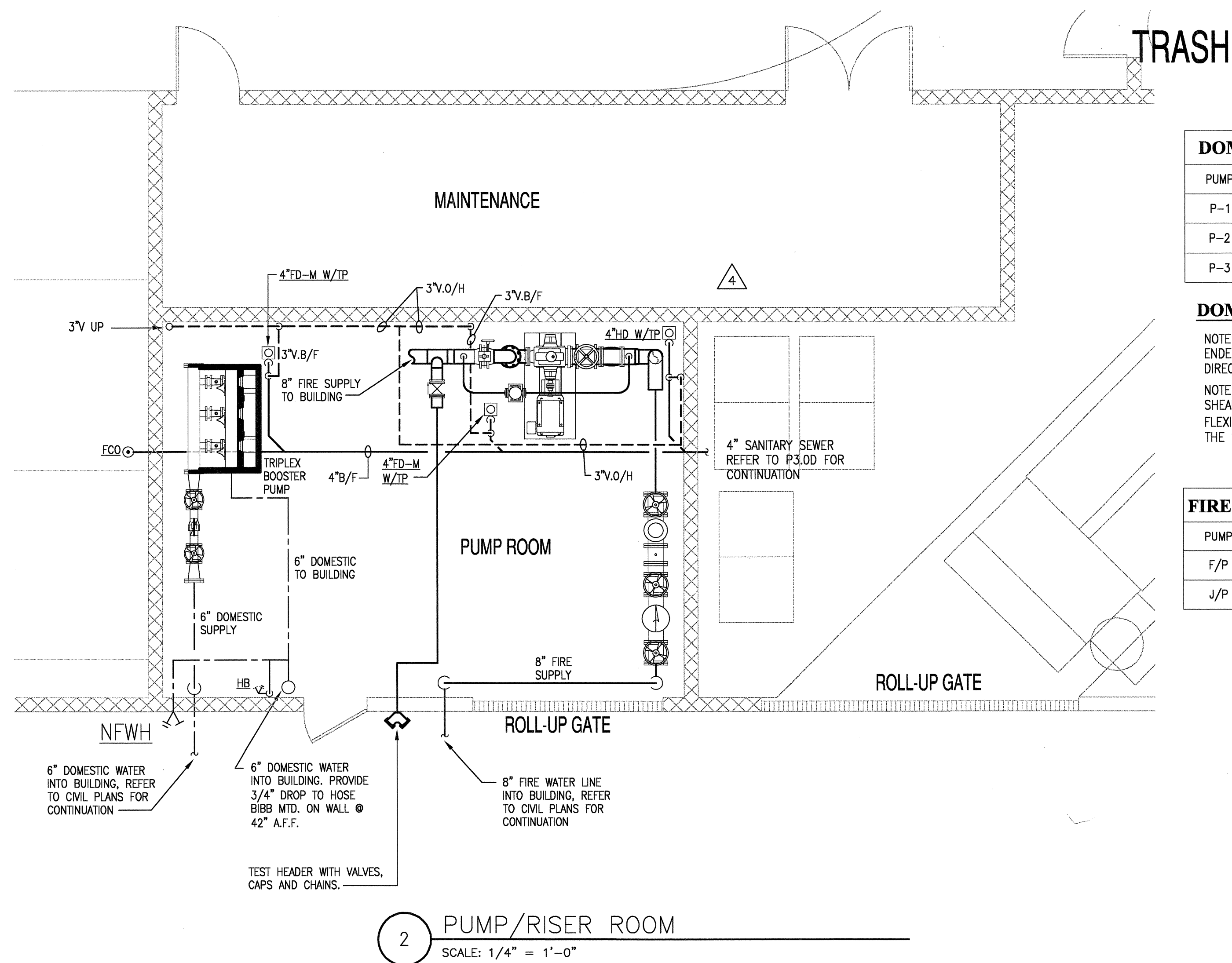
DOMESTIC BOOSTER PUMP SCHEDULE							
PUMP	MANUFACTURER	MODEL NO.	GPM	HEAD	HP	SPEED	POWER
P-1	TIGERFLOW	---	187	92'	7.5	3500	208-60-3
P-2	TIGERFLOW	---	187	92'	7.5	3500	208-60-3
P-3	TIGERFLOW	---	187	92'	7.5	3500	208-60-3

DOMESTIC BOOSTER NOTES:
 NOTE 1: SYSTEM IS SUPPLIED WITH DOUBLE ENDED HEADERS FOR FLOW IN EITHER DIRECTION.
 NOTE 2: SYSTEM IS SUPPLIED WITH RUBBER IN SHEAR VIBRATION MOUNTS & SINGLE SPHERE FLEXIBLE CONNECTORS OR S/S BRAD TO SUIT THE SYSTEM WORKING PRESSURE.

FIRE PUMP SCHEDULE							
PUMP	MANUFACTURER	MODEL NO.	GPM	HEAD	HP	SPEED	POWER
F/P	TIGERFLOW	---	1000	207'	100	1750 MAX	208-60-3
J/P	TIGERFLOW	---	12	207'	1.5	3500	208-60-3



1 CLUBHOUSE RESTROOM
SCALE: 1/4" = 1'-0"



DOMESTIC BOOSTER PUMP SCHEDULE

PUMP	MANUFACTURER	MODEL NO.	GPM	HEAD	HP	SPEED	POWER
P-1	TIGERFLOW	--	187	92'	7.5	3500	208-60-3
P-2	TIGERFLOW	--	187	92'	7.5	3500	208-60-3
P-3	TIGERFLOW	--	187	92'	7.5	3500	208-60-3

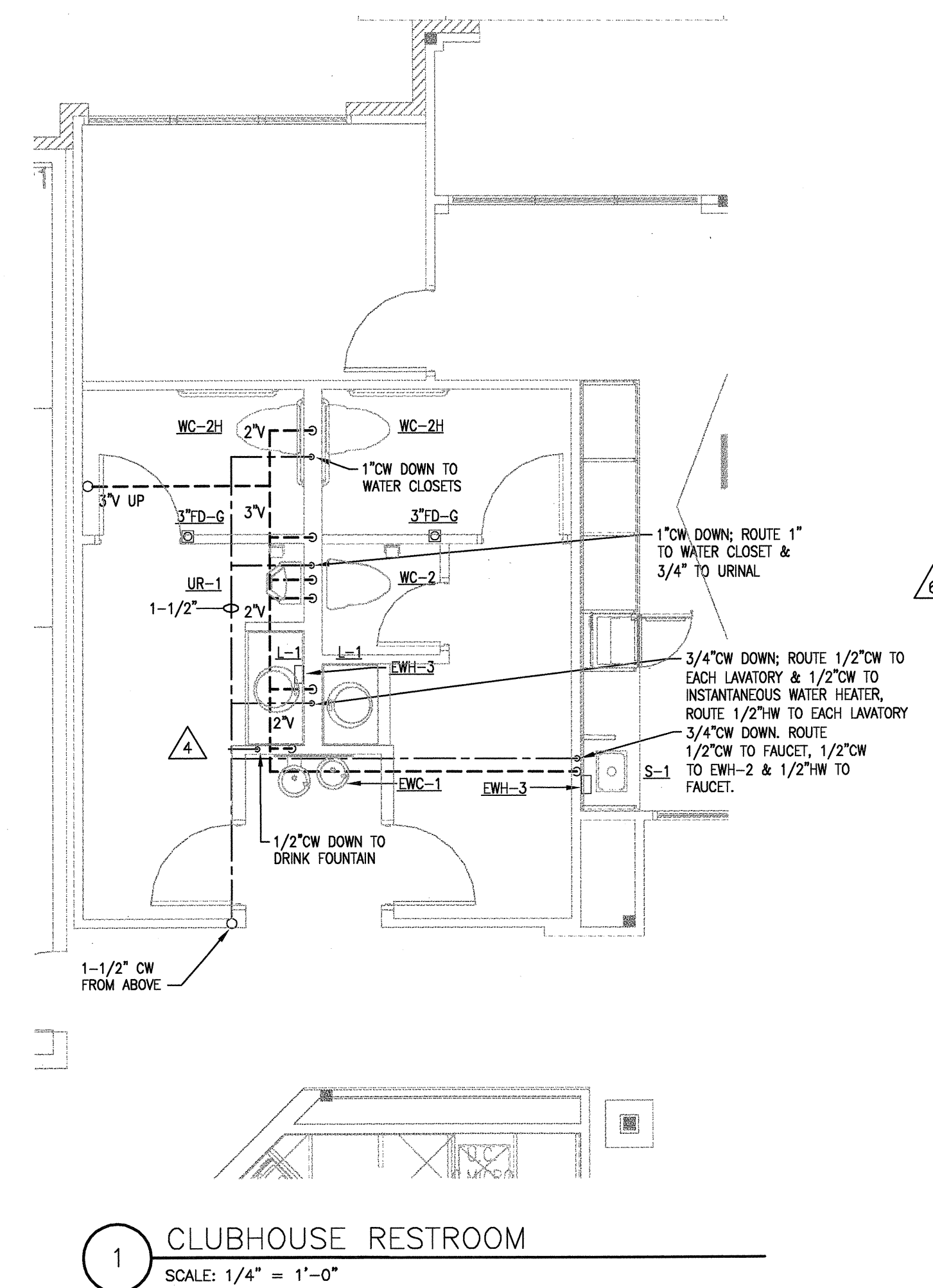
DOMESTIC BOOSTER NOTES:

NOTE 1: SYSTEM IS SUPPLIED WITH DOUBLE ENDED HEADERS FOR FLOW IN EITHER DIRECTION.

NOTE 2: SYSTEM IS SUPPLIED WITH RUBBER IN SHEAR VIBRATION MOUNTS & SINGLE SPHERE FLEXIBLE CONNECTORS OR S/S BRAID TO SUIT THE SYSTEM WORKING PRESSURE.

FIRE PUMP SCHEDULE

PUMP	MANUFACTURER	MODEL NO.	GPM	HEAD	HP	SPEED	POWER
F/P	TIGERFLOW	--	1000	207'	100	1750 MAX	208-60-3
J/P	TIGERFLOW	--	12	207'	1.5	3500	208-60-3



REVISIONS

NO.	DATE	DESCRIPTION
1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE
5	12-21-2011	DESIGN REVISIONS
6	1-17-2012	DESIGN REVISIONS
7	2-15-2012	TRANSFORMER REVISIONS

KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS



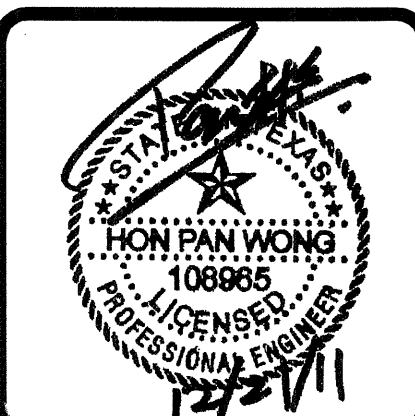
4144 N. Central Expy.
Suite 855
Dallas, TX 75204
214.520.8878
bgoarchitects.com

DATE
08-05-11

PROJECT
11129

SHEET NUMBER
P-9.1

JSE Jordan & Skala Engineers
14745 Midway Road, Suite 350
Dallas, TX 75244-5136
V: (469) 385-1616 F: (469) 385-1615
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: **MMK** Checked By: **MMK**



REVISIONS		
1	9-2-2011	DESIGN REVISIONS
2	9-13-2011	ANSI/FHA COMMENTS
3	9-23-2011	DESIGN REVISIONS
4	10-17-2011	CONSTRUCTION ISSUE
5	12-21-2011	DESIGN REVISIONS

KELLER SPRINGS LOFTS
LOFT APARTMENTS IN ADDISON, TEXAS



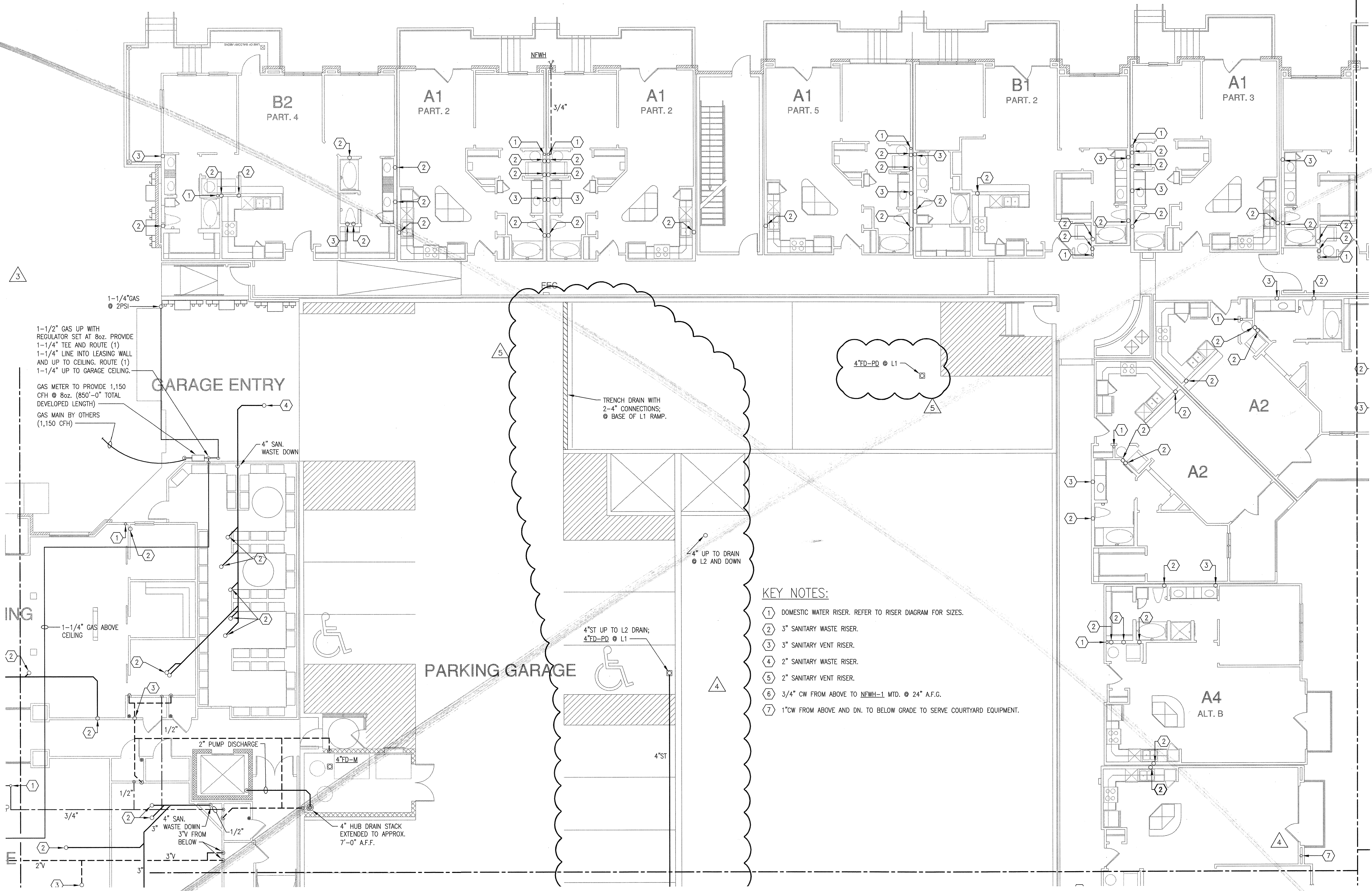
4144 N. Central Expy.
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08-05-11

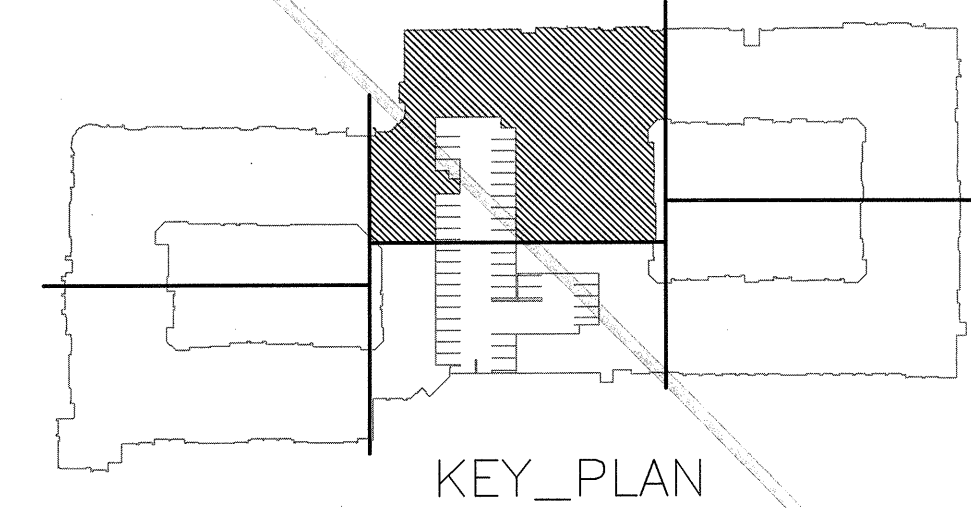
PROJECT
11129

SHEET NUMBER
P-3.1C

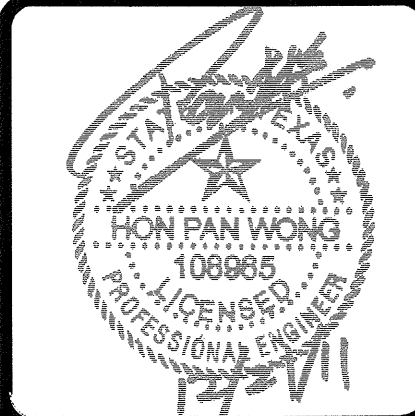
JSE Jordan & Skala Engineers
14240 Midway Road, Suite 350
Dallas, TX 75244-5138
V: (469) 385-1416 F: (469) 385-1615
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: CV Checked By: RC



- KEY NOTES:**
- 1 DOMESTIC WATER RISER. REFER TO RISER DIAGRAM FOR SIZES.
 - 2 3" SANITARY WASTE RISER.
 - 3 3" SANITARY VENT RISER.
 - 4 2" SANITARY WASTE RISER.
 - 5 2" SANITARY VENT RISER.
 - 6 3/4" CW FROM ABOVE TO NEWH-1 MTD. @ 24" A.F.G.
 - 7 1" CW FROM ABOVE AND DN. TO BELOW GRADE TO SERVE COURTYARD EQUIPMENT.

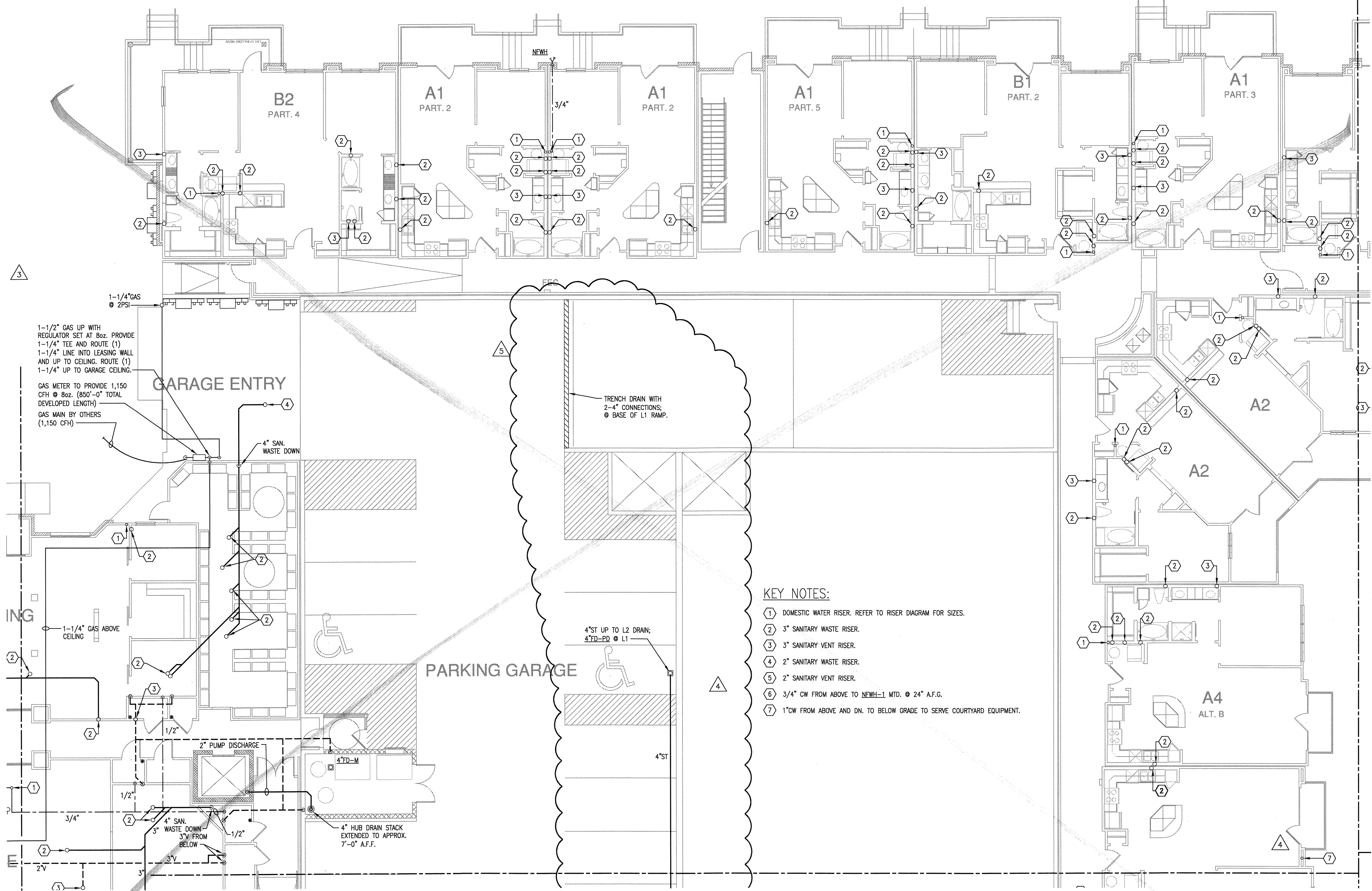


1 DIVISION 'C' FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

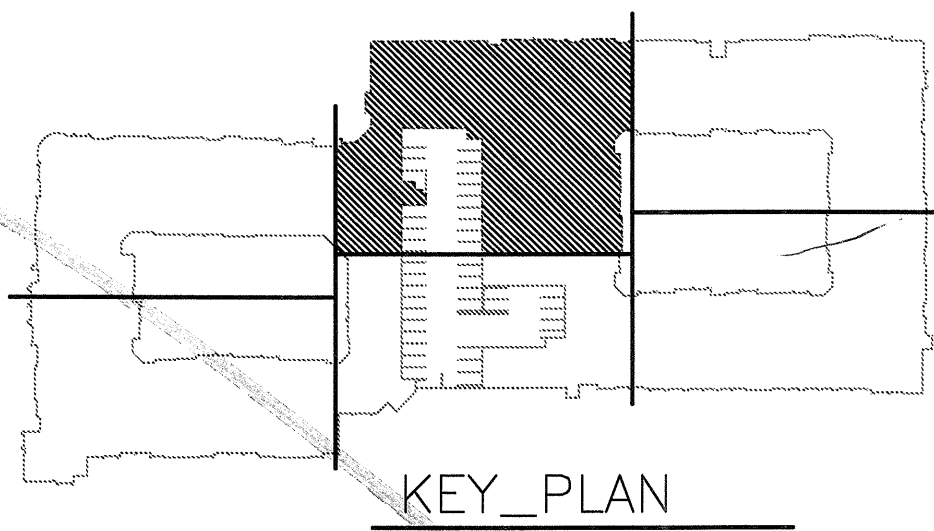


REVISIONS		
△	9-2-2011	DESIGN REVISIONS
△	9-13-2011	ANSI/FHA COMMENTS
△	9-23-2011	DESIGN REVISIONS
△	10-17-2011	CONSTRUCTION ISSUE
△	12-21-2011	DESIGN REVISIONS

KELLER SPRINGS LOFTS
LOFT APARTMENTS IN ADDISON, TEXAS



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 - ⑥ 3/4" CW FROM ABOVE TO NEWH-1 MTD. @ 24" A.F.G.
 - ⑦ 1" CW FROM ABOVE AND DN. TO BELOW GRADE TO SERVE COURTYARD EQUIPMENT.



1 DIVISION 'C' FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

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Project Number - 113-0355 Texas Firm Registration # F-4990
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DATE
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REVISIONS	
1	9-2-2011 DESIGN REVISIONS
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KELLER SPRINGS LOFTS

LOFT APARTMENTS IN ADDISON, TEXAS

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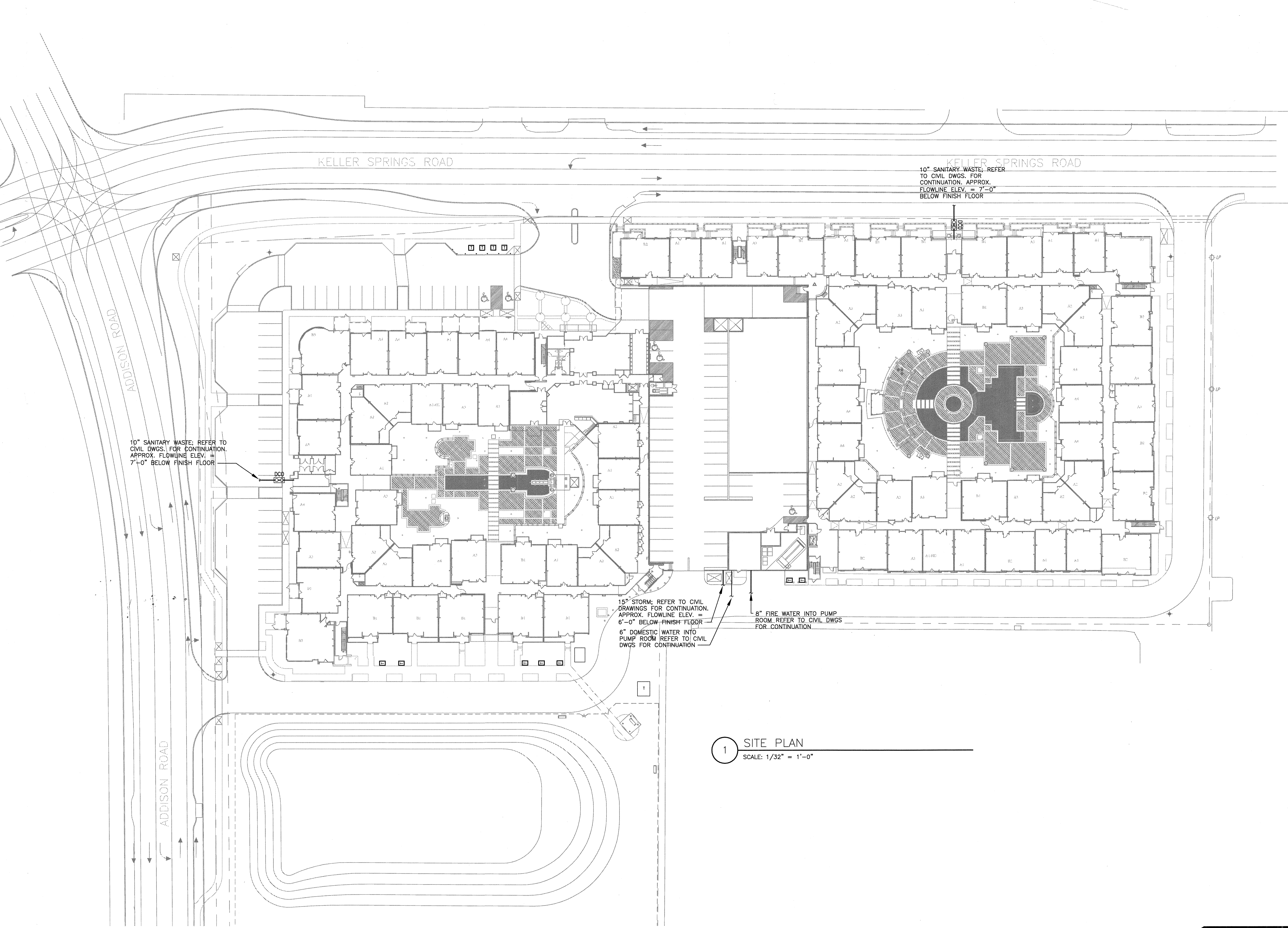
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V: (469) 385-1616 F: (469) 385-1615
Project Number - 113-0355 Texas Firm Registration # F-4990
Drawn By: CV Checked By: RC



1 SITE PLAN
SCALE: 1/32" = 1'-0"