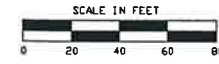


NOTE:  
 COURSES IN PARENTHESIS ARE FROM DEED.  
 BASIS FOR BEARINGS IS THE RECORDED  
 PLAT OF GATEWAY CENTRE ADDITION  
 RECORDED IN VOL. 79174, PG. 0351.

$\Delta = 23'23'35''$   
 $R = 686.30'$   
 $L = 280.81'$



**TRACT 1**  
 BEING A 0.1364 ACRE TRACT OF LAND SITUATED IN THE TOWN OF ADDISON, DALLAS COUNTY, TEXAS, IN THE G. W. FISHER SURVEY ABSTRACT NO. 482 AND BEING PART OF THE TRACT OF LAND CONVEYED TO HOPE INVESTMENTS, LTD. BY DEED RECORDED IN VOLUME 94015, PAGE 0725, DEED RECORDS OF DALLAS COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT AN "X" FOUND CUT IN A CONCRETE SIDEWALK, SAID POINT LYING AT THE INTERSECTION OF THE SOUTH LINE OF KELLER SPRINGS ROAD (60' R.O.W.) AND THE EAST LINE OF ADDISON ROAD (VAR. R.O.W.), SAID POINT ALSO BEING THE NORTHWEST CORNER OF THE HOPE INVESTMENTS, LTD. TRACT DESCRIBED ABOVE;

THENCE ALONG THE SOUTH LINE OF KELLER SPRINGS ROAD SOUTH 89° 42' 00" EAST A DISTANCE OF 431.93 FEET (CALLED SOUTH 89° 37' 15" EAST, 431.93 FEET BY DEED) TO A POINT FOR CORNER;

THENCE DEPARTING THE SOUTH LINE OF KELLER SPRINGS ROAD SOUTH 00° 16' 45" WEST A DISTANCE OF 12.0 FEET TO A POINT LYING IN THE PROPOSED SOUTH LINE OF KELLER SPRINGS ROAD;

THENCE ALONG THE PROPOSED SOUTH LINE OF KELLER SPRINGS ROAD NORTH 89° 44' 07" WEST A DISTANCE OF 285.95 FEET TO THE BEGINNING OF A TANGENT CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 11° 19' 58", A RADIUS OF 741.0 FEET, A CHORD BEARING OF SOUTH 84° 35' 55" WEST, AND A CHORD LENGTH OF 146.33 FEET;

THENCE ALONG SAID CURVE TO THE LEFT AN ARC DISTANCE OF 146.33 FEET TO A POINT LYING IN THE EAST LINE OF ADDISON ROAD;

THENCE ALONG THE EAST LINE OF ADDISON ROAD NORTH 00° 31' 09" WEST A DISTANCE OF 26.72 FEET (CALLED NORTH 00° 22' 45" WEST BY DEED) TO THE POINT OF BEGINNING AND CONTAINING APPROXIMATELY 5939.57 SQUARE FEET OR 0.1364 ACRES OF LAND.

**TRACT 2**  
 BEING A 0.0689 ACRE TRACT OF LAND SITUATED IN THE TOWN OF ADDISON, DALLAS COUNTY, TEXAS, IN THE G. W. FISHER SURVEY ABSTRACT NO. 482 AND BEING PART OF THE TRACT OF LAND CONVEYED TO HOPE INVESTMENTS, LTD. BY DEED RECORDED IN VOLUME 94015, PAGE 0722, DEED RECORDS OF DALLAS COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD FOUND LYING IN THE SOUTH LINE OF KELLER SPRINGS ROAD (60' R.O.W.) SAID POINT ALSO BEING THE NORTHEAST CORNER OF THE HOPE INVESTMENTS, LTD. TRACT DESCRIBED ABOVE, AND ALSO BEING THE NORTHEAST CORNER OF PARKWAY BUSINESS CENTER I ACCORDING TO THE PLAT RECORDED IN VOLUME 81237, PAGE 1939, DEED RECORDS OF DALLAS COUNTY, TEXAS, SAID POINT LYING AT THE BEGINNING OF A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 5° 31' 24", A RADIUS OF 992.0 FEET, A CHORD BEARING OF SOUTH 86° 46' 55" WEST, AND A CHORD LENGTH OF 95.59 FEET;

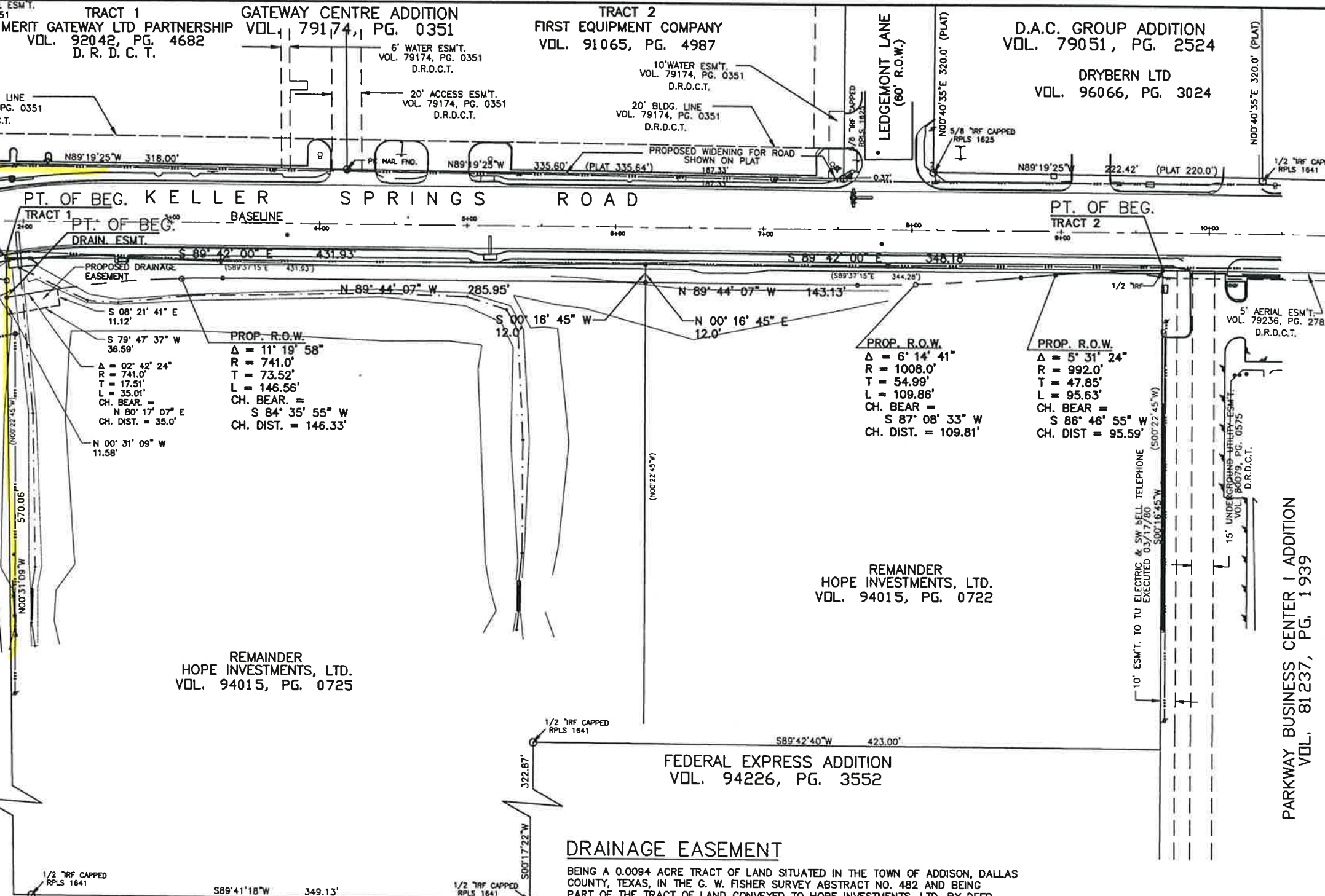
THENCE ALONG SAID CURVE TO THE LEFT AN ARC DISTANCE OF 97.74 FEET TO THE BEGINNING OF A TANGENT CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 6° 14' 41", A RADIUS OF 1008.0 FEET, A CHORD BEARING OF SOUTH 87° 08' 33" WEST, AND A CHORD LENGTH OF 109.81 FEET;

THENCE ALONG SAID CURVE TO THE RIGHT AN ARC DISTANCE OF 112.32 FEET TO A POINT FOR CORNER LYING IN THE PROPOSED SOUTH LINE OF KELLER SPRINGS ROAD;

THENCE ALONG THE PROPOSED SOUTH LINE OF KELLER SPRINGS ROAD NORTH 89° 44' 07" WEST A DISTANCE OF 143.13 FEET TO A POINT FOR CORNER;

THENCE NORTH 00° 16' 45" EAST A DISTANCE OF 12.0 FEET TO A POINT LYING IN THE SOUTH LINE OF KELLER SPRINGS ROAD;

THENCE ALONG THE SOUTH LINE OF KELLER SPRINGS ROAD SOUTH 89° 42' 00" EAST A DISTANCE OF 348.18 FEET (CALLED SOUTH 89° 37' 15" EAST A DISTANCE OF 348.23 FEET BY DEED) TO THE POINT OF BEGINNING AND CONTAINING APPROXIMATELY 3001.96 SQUARE FEET OR 0.0689 ACRES OF LAND.



STATE FARM SERVICE CENTER ADDITION  
 VOL. 95191, PG. 2567

**LEGEND**

	PROPOSED PAVING		POWER POLE
	EDGE OF ASPHALT		ANCHOR
	PROPERTY LINE		SIGN
	TAKE LINE		TREE
	EASEMENT LINE		LIGHT POLE
	CENTERLINE		WATER METER
	FENCE		FIRE HYDRANT
	OVERHEAD WIRE		WATER VALVE
	TREE LINE		GAS METER
	SURVEY LINE		CLEANOUT

THENCE ALONG SAID CURVE TO THE RIGHT AN ARC DISTANCE OF 35.01 FEET TO A POINT FOR CORNER;  
 THENCE SOUTH 08° 21' 41" EAST A DISTANCE OF 11.12 FEET TO A POINT FOR CORNER;  
 THENCE SOUTH 79° 47' 37" WEST A DISTANCE OF 36.59 FEET TO A POINT FOR CORNER LYING IN THE EAST LINE OF ADDISON ROAD;  
 THENCE ALONG THE EAST LINE OF ADDISON ROAD NORTH 00° 31' 09" WEST A DISTANCE OF 11.58 FEET TO THE POINT OF BEGINNING AND CONTAINING APPROXIMATELY 408.18 SQUARE FEET OR 0.0094 ACRES OF LAND.

**DRAINAGE EASEMENT**

BEING A 0.0094 ACRE TRACT OF LAND SITUATED IN THE TOWN OF ADDISON, DALLAS COUNTY, TEXAS, IN THE G. W. FISHER SURVEY ABSTRACT NO. 482 AND BEING PART OF THE TRACT OF LAND CONVEYED TO HOPE INVESTMENTS, LTD. BY DEED RECORDED IN VOLUME 94015, PAGE 0725, DEED RECORDS OF DALLAS COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT AN "X" FOUND CUT IN A CONCRETE SIDEWALK, SAID POINT LYING AT THE INTERSECTION OF THE SOUTH LINE OF KELLER SPRINGS ROAD (60' R.O.W.) AND THE EAST LINE OF ADDISON ROAD (VAR. R.O.W.), SAID POINT ALSO BEING THE NORTHWEST CORNER OF THE HOPE INVESTMENTS, LTD. TRACT DESCRIBED ABOVE;

THENCE ALONG THE EAST LINE OF ADDISON ROAD SOUTH 00° 31' 09" EAST A DISTANCE OF 26.72 FEET TO THE POINT OF BEGINNING, SAID POINT LYING IN THE PROPOSED SOUTH LINE OF KELLER SPRINGS ROAD AND LYING AT THE BEGINNING OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 02° 42' 24", A RADIUS OF 741.0 FEET, A CHORD BEARING OF NORTH 80° 17' 07" EAST, AND A CHORD LENGTH OF 35.0 FEET;

**RIGHT-OF-WAY MAP**  
**KELLER SPRINGS ROAD**  
**FROM ADDISON ROAD TO LEDGEMONT LANE**  
**DEPARTMENT OF PUBLIC WORKS**  
**TOWN OF ADDISON, TEXAS**

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NUMBER
PTG	PTG	5-98	1"=40' H	AB & A		