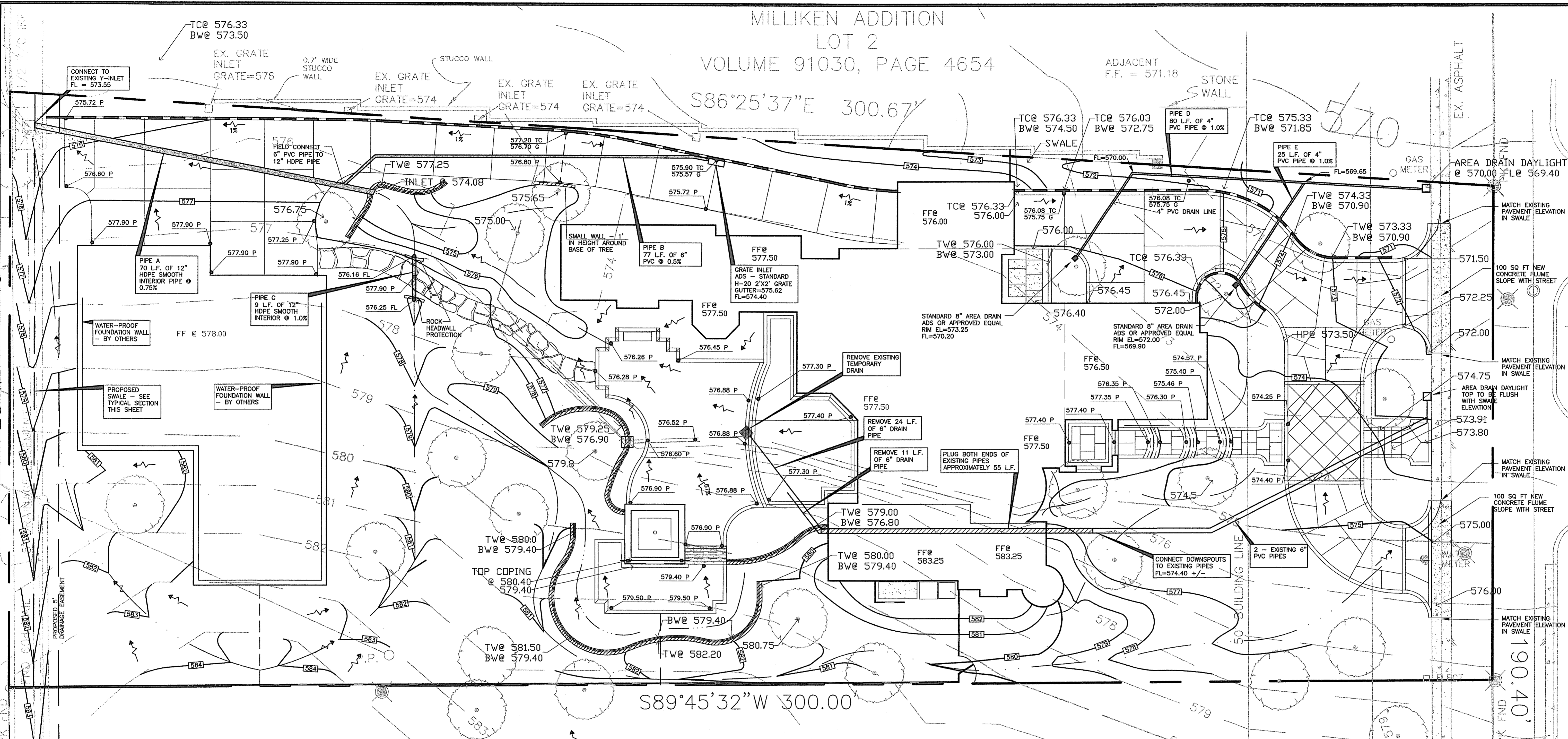
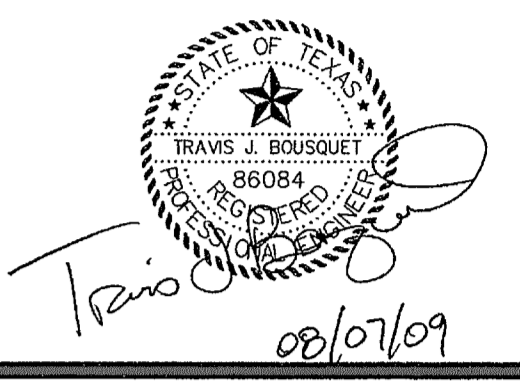


MILLIKEN ADDITION
 LOT 2
 VOLUME 91030, PAGE 4654



Engineer Information:
The Bousquet Group, Inc.
 PO Box 545
 Argyle, TX, 76226
 940.455.2177
 940.455.2254 fax

Texas Firm No. F-8942
 Professional of Record:



LOT 1B, MILLIKEN ADDITION
 VICTOR MEYER CUSTOM HOMES, LLC
 MICHAEL AND RACHEL HARDIN
 14905 LAKE FOREST DRIVE
 ADDISON, TEXAS

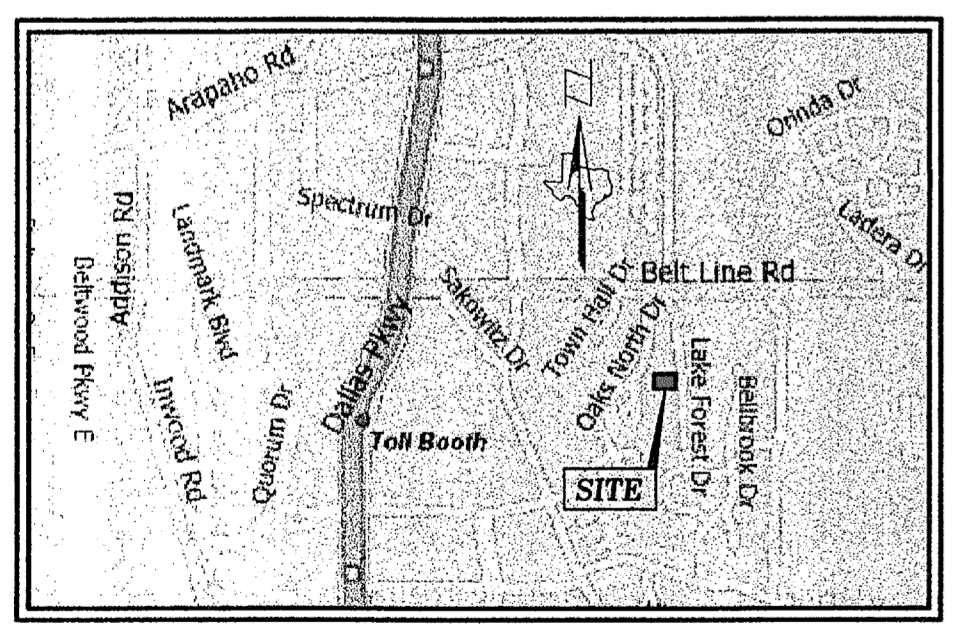
FOR PERMIT

Revisions:

#	Date Issued:	Description:

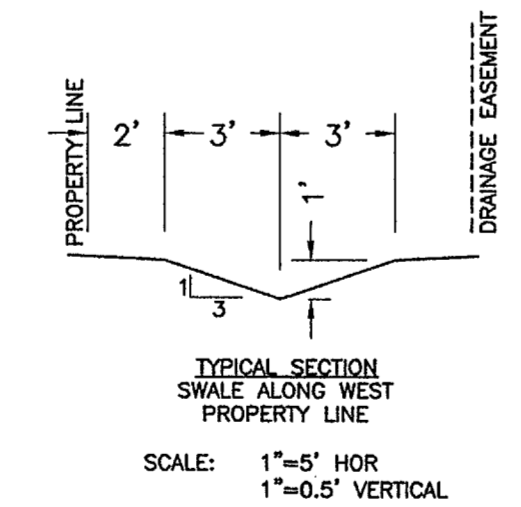
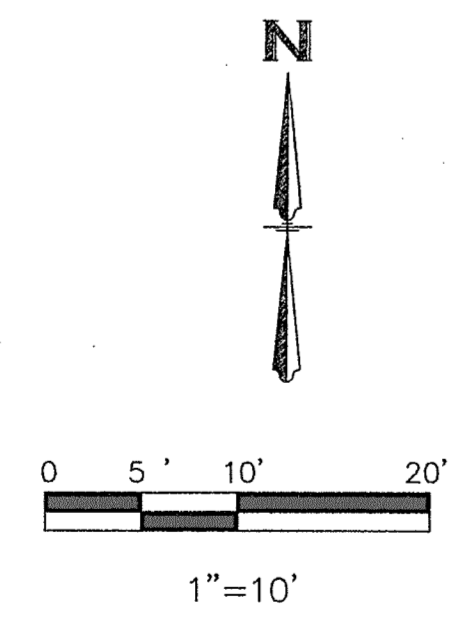
Sheet Title:
GRADING PLAN
 Date: July 23, 2009
 Project Number: 09015.0
 Drawn By: TJB

Sheet Number:
C-3.1



VICINITY MAP

BENCH MARKS
 BENCHMARK:
 SQUARE CUT ON CURB RETURN WEST SIDE OF MONFORT
 AND SAKOWITZ, NE CORNER
 ELEV=608.63



- GRADING NOTES:**
- GRADES SHOWN ARE PROPOSED FINISHED GRADES.
 - THE INFORMATION PERTAINING TO EXISTING CONDITIONS WAS TAKEN FROM A SURVEY PROVIDED BY DOUG CONNALLY AND ASSOCIATES.
 - THE LOCATION OF ALL EXISTING UTILITIES WERE OBTAINED FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY EXACT LOCATION AND DEPTH OF UTILITY PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
 - ANY DISCREPANCIES IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER AND ENGINEER PRIOR TO THE START OF CONSTRUCTION.
 - PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION SHALL BEGIN UNTIL ALL PERMITS HAVE BEEN RECEIVED.
 - CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE. CONTRACTOR SHALL REPAIR ANY DAMAGE DONE TO PRIVATE OR PUBLIC PROPERTY.
 - ACCESS TO UTILITIES, FIRE HYDRANTS, ETC. SHALL REMAIN UNDISTURBED AT ALL TIMES, UNLESS COORDINATED OTHERWISE.
 - THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT.
 - ALL SUBGRADE PREPARATION, PAVING, AND UTILITY TRENCHING MUST BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOILS INVESTIGATION. IF THERE IS A CONFLICT BETWEEN THE SOILS REPORT AND THE PLANS, THE MORE PROHIBITIVE OF THE TWO SHALL TAKE PRECEDENCE.
 - CONTRACTOR TO ENSURE COMPLIANCE WITH ANY AND ALL LAND DISTURBANCE NOTIFICATION REQUIREMENTS, AND THAT ALL REQUIRED EROSION CONTROL MEASURES ARE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE STATE, LOCAL, OR FEDERAL REQUIREMENTS.
 - REMOVE EXISTING TOPSOIL IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, PRIOR TO PLACEMENT OF ANY FILL MATERIAL.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRENCH SAFETY REQUIREMENTS IN ACCORDANCE WITH CITY STANDARDS, TEXAS STATE LAW, AND O.S.H.A. STANDARDS FOR ALL EXCAVATION IN EXCESS OF FIVE FEET IN DEPTH.
 - DRAINAGE SHOULD BE MAINTAINED AWAY FROM THE FOUNDATIONS, BOTH DURING AND AFTER CONSTRUCTION.

GRADING LEGEND (PROPOSED):

— 543 —	EXISTING CONTOUR
54.78	EXISTING SPOT ELEVATION
— 555 —	PROPOSED CONTOUR
55.25 G	PROPOSED SPOT ELEVATION
55.75 TC	G=UTTER
55.33 P	TC=TOP OF CURB
	P=TOP OF PAVEMENT OR SIDEWALK
TOW=477.50	RETAINING WALL ELEVATIONS
BW=470.50	TOW=TOP OF WALL
	BW=EXISTING OR PROPOSED GRADE
	AT LOW SIDE OF WALL - SEE
	RETAINING WALL DESIGN FOR
	FOOTING ELEVATIONS.
55.25 EG	EXISTING GRADE - PER CROSS ENGINEERING
3:1	GROUND SLOPE 3' HORIZ. TO 1'
↘	VERTICAL DRAINAGE SLOPE
—	PROPOSED STORM SEWER PIPE
—	PROPOSED DITCH-LINE

COORDINATING
 DETAIL NUMBER
 (SEE DETAIL SHEETS)

10A