

LOCATION MAP  
NTS

$\Delta = 04^{\circ}48'01''$   
 $R = 1323.24$   
 $L = 110.86$   
 $T = 55.46$   
 $LC = 110.83$   
 $CB = N 19^{\circ}09'58'' E$

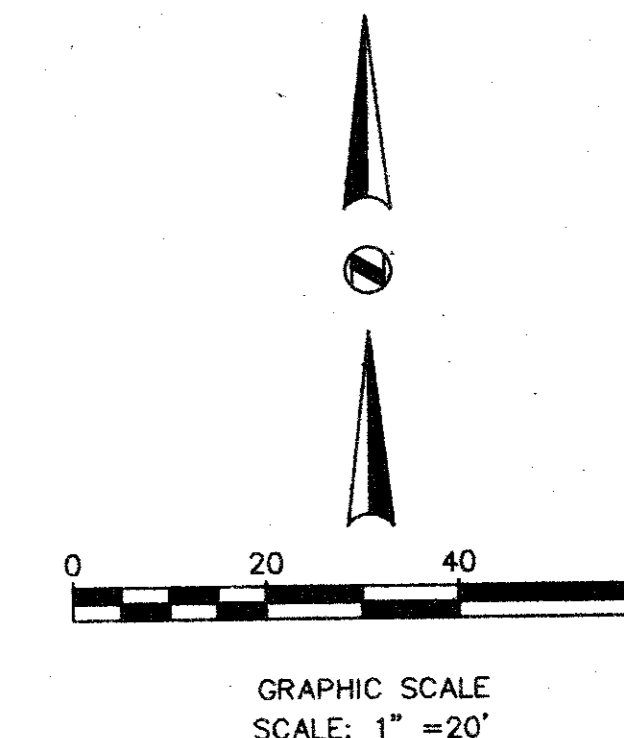
SAWCUT 18" FROM BACK OF CURB  
 EXPOSE EX. STEEL, OR INSTALL  
 24" NO. 6 SMOOTH DOWELS AT  
 2' CENTER-CENTER

MARSH LANE  
 (100' R.O.W.)

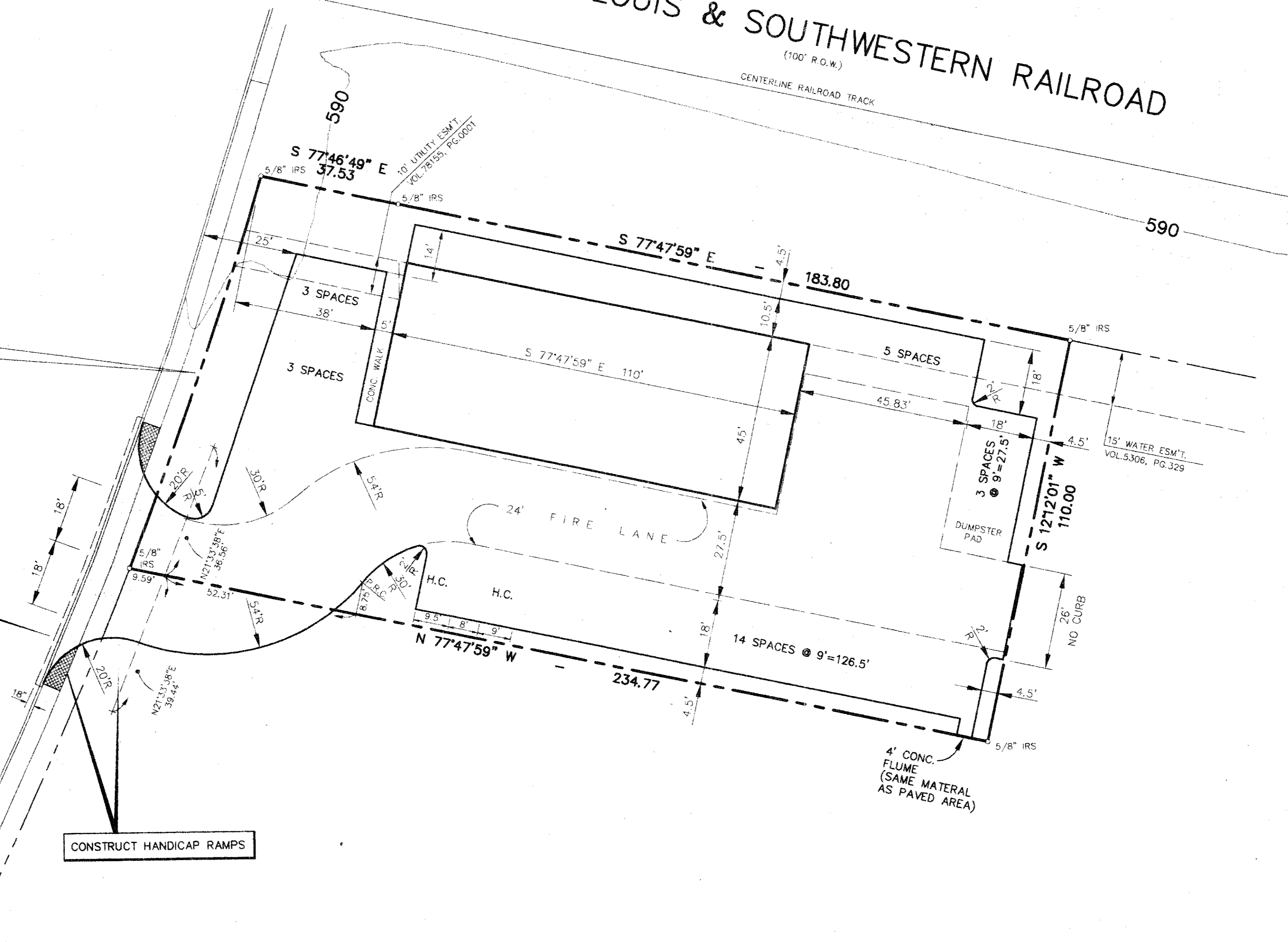
CONSTRUCT HANDICAP RAMPS

BLOCK 1  
 BELTLINE-MARSH BUSINESS PARK

ST. LOUIS & SOUTHWESTERN RAILROAD  
 (100' R.O.W.)  
 CENTERLINE RAILROAD TRACK



GRAPHIC SCALE  
 SCALE: 1" = 20'



**GENERAL NOTES**

1. ALL DIMENSIONS ARE FROM BACK OF CURB TO BACK OF CURB, UNLESS OTHERWISE SPECIFIED.
2. CONCRETE SHALL BE A MINIMUM 3000 PSI AT 28 DAYS.
3. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE TOWN OF ADDISON EXCEPT AS NOTED OTHERWISE.
4. REFER TO ARCHITECTURAL PLAN FOR ON-SITE PAVING DETAILS.

**LEGEND**

- IRS IRON ROD SET
- 6"-3000 PSI CONCRETE PAVEMENT REINF. w/ #3 BARS @ 18" O.C.E.W. OVER 6"-7% LIME STABILIZED BASE

**BENCHMARK:**

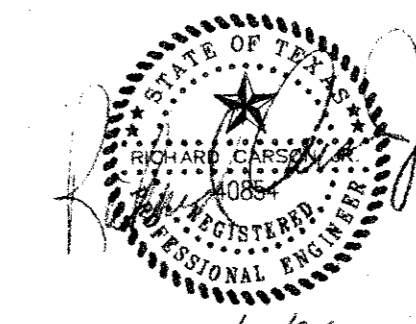
SQUARE CUT ON THE CENTERLINE OF A 20' CURB INLET AT THE NORTH SIDE OF REALTY ROAD, APPROXIMATELY 400' EAST OF MARSH LANE ELEV. 582.15

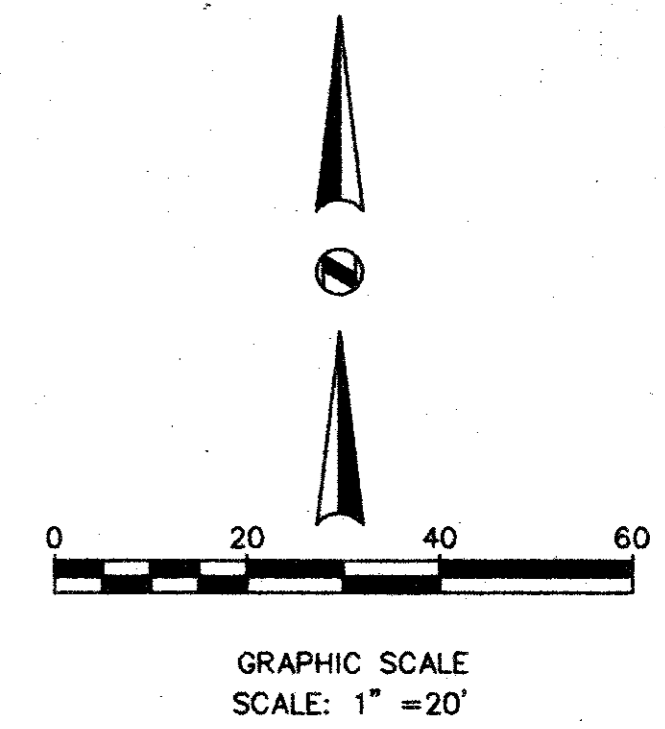
**HORIZONTAL CONTROL/PAVING PLAN**

PFLUGER ADDITION  
 TOWN OF ADDISON  
 COUNTY OF DALLAS, TEXAS

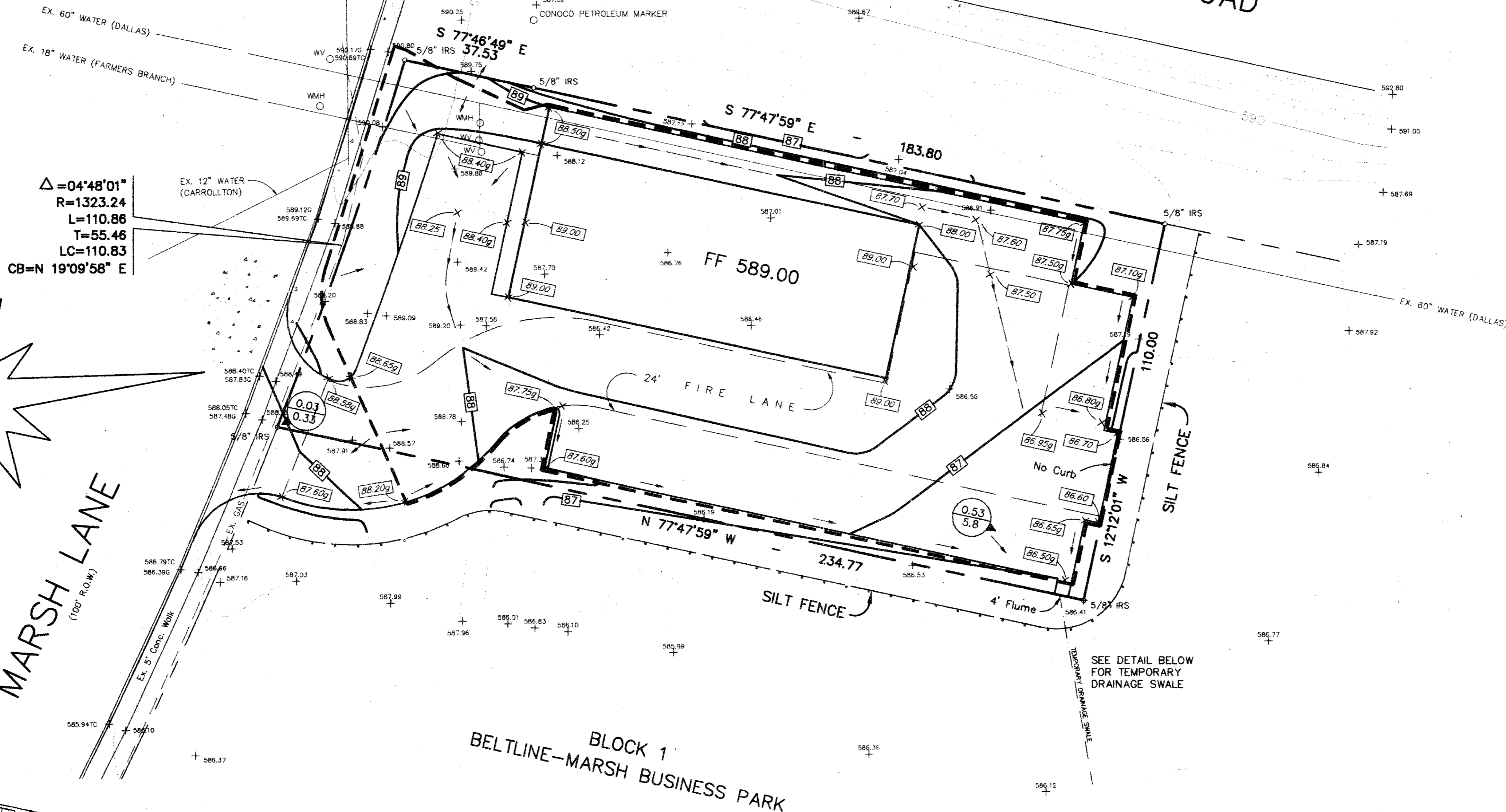
**BROCKETTE • DAVIS • DRAKE, inc.**  
 consulting engineers  
 Civil & Structural Engineering-Surveying  
 4144 North Central Expressway, Suite 1100 Dallas, Texas 75204  
 (214) 824-3647, fax (214) 824-7064

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
JR	SH	6/2/94	1"=20'	BDD	C94072	C1





ST. LOUIS & SOUTHWESTERN RAILROAD  
(100' R.O.W.)  
CENTERLINE RAILROAD TRACK

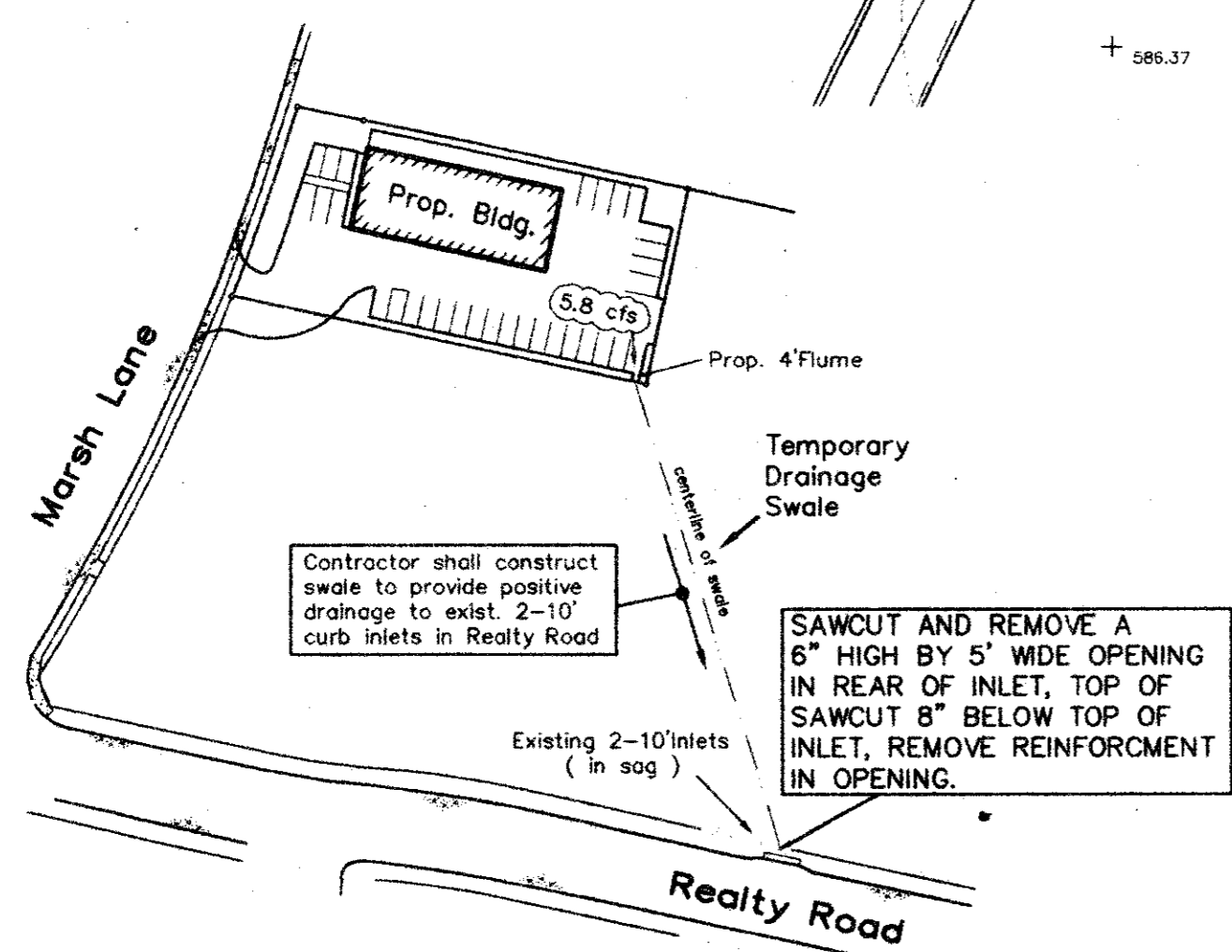


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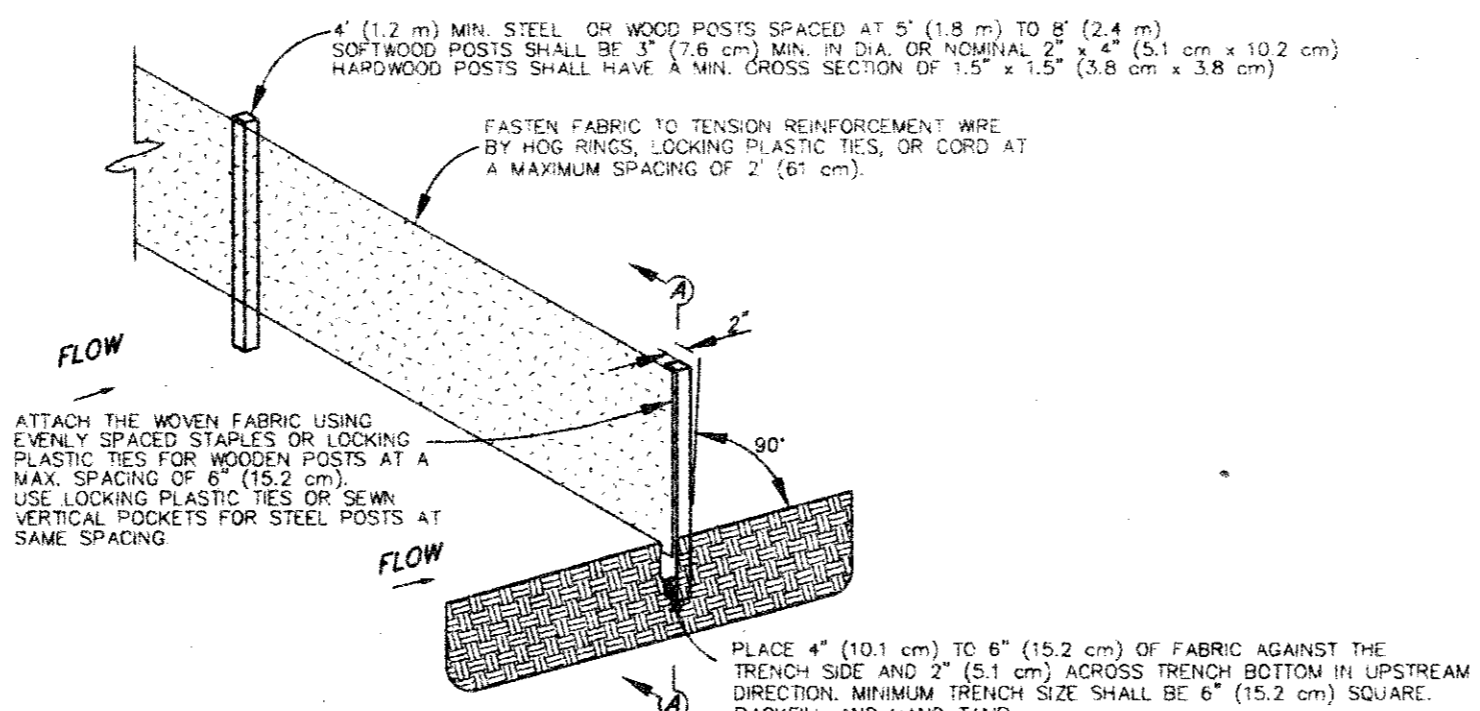
**CAUTION!!!**  
UNDERGROUND GAS LINE IN THIS AREA.  
CONTACT LONE STAR GAS BEFORE  
BEGINNING WORK IN THIS AREA.  
(214)487-3817

**General Notes**

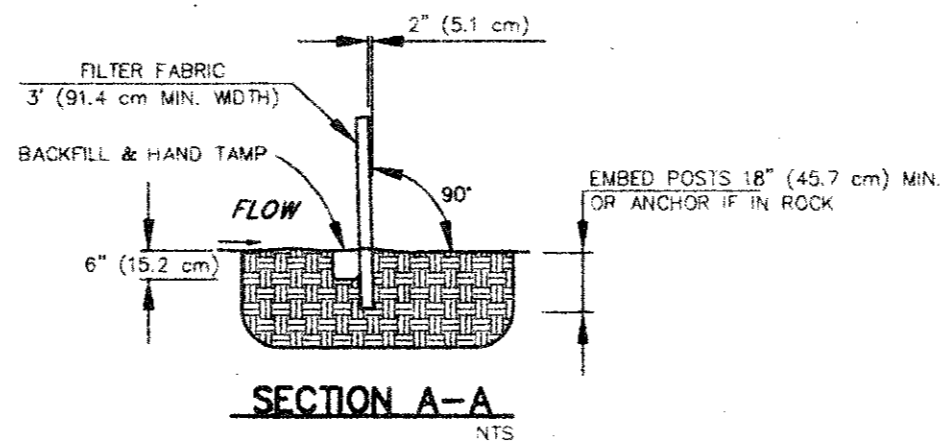
- A. Prior to final acceptance by the Town of Addison.
  - 1) A Texas Registered Professional engineer shall certify that the project was constructed in accordance with the plans and specifications approved by the Town of Addison.
  - 2) The owner shall provide 1 reproducible set of as-builts (sealed and certified by a Texas Registered Engineer) and 2 blue line sets.
  - 3) A one year 10% maintenance bond is required for the subdivision infrastructure.
  - 4) Contractor shall demonstrate that the water and sanitary sewer systems meet the proper pressure, bacteria and mandrel tests. In addition, the owner shall provide a VHS format video tape of the sanitary sewer.
- B. Prior to starting construction, the contractor shall contact the utility companies to locate existing facilities. These include but may not be limited to the following:
  - 1) Town of Addison
  - 2) Lone Star Gas
  - 3) Southwestern Bell
  - 4) Storer Cable
  - 5) Planned Cable Systems
  - 6) TU Electric
- C. Prior to beginning construction, the owner or his authorized representative shall conduct a Pre-Construction Conference between the Town of Addison, Consulting Engineer, Contractor(s), Utility companies and any other affected parties. Notify Bruce Ellis 450-2847 at least 48-hours prior to beginning of construction.
- D. Any existing pavement, curbs, and/or sidewalks damaged or removed will be repaired by the contractor at their expense.
- E. Lot pins shall be installed after construction and prior to final acceptance. Concrete monuments shall be placed as shown on the final plat and iron pins shall be placed at Block corners, curve points and angle points in public right-of-way. Concrete monuments shall be six (6) inches in diameter and twenty-four (24) inches long. An iron rod one-half inch in diameter embedded at least three (3) inches in the monument at the exact intersection point of the monument. The monuments shall be set at such an elevation that after construction, the top of the monument will be not less than twelve (12) inches below the ground surface.
- F. The contractor shall stamp a 2-inch "S" and 2-inch "W" in the curb at the location of the sewer service and water service lines, respectively.
- G. Contractor shall obtain a right-of-way permit by the Town of Addison for working within the public right-of-way.
- H. During construction, the owner shall provide a quality geotechnical lab to perform materials testing during the construction at the request of the Town of Addison.
- I. The contractor shall submit materials sheets to the Town of Addison for approval prior to incorporating materials into the job.
- J. The utility contractor shall submit to the Town of Addison for approval a trench safety plan sealed by a registered professional engineer for the installation of utilities greater than five (5) feet in depth.
- K. All construction shall conform to the Town of Addison and NCTCOG details and specifications.



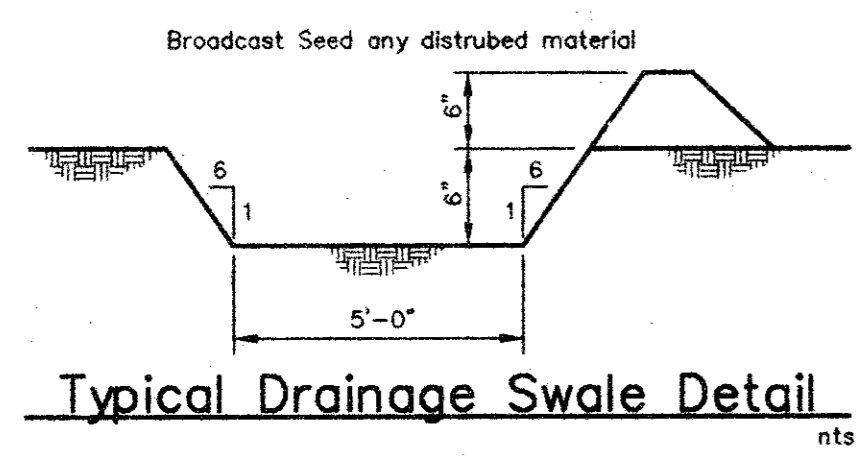
Temporary Drainage Swale Detail  
1"=100'



SILT FENCE (TYPE I)  
NTS



SECTION A-A  
NTS



Typical Drainage Swale Detail  
nts

**LEGEND**

- IRS IRON ROD SET
- WV EXISTING WATER VALVE
- WMH EXISTING WATER MANHOLE
- TC TOP OF CURB
- G, g GUTTER
- 590 EXISTING CONTOUR
- 90 PROPOSED CONTOUR
- 590.00 EXISTING ELEVATION
- 90.00 PROPOSED SPOT ELEVATION
- DRAINAGE DIVIDE
- - - SILT FENCE
- 0.00 DRAINAGE AREA IN ACRES
- 0.0 STORM RUNOFF IN C.F.S.

**DRAINAGE DESIGN CRITERIA**

C=0.95  
I=8.86 in/hr  
Q=C I A

**BENCHMARK:**

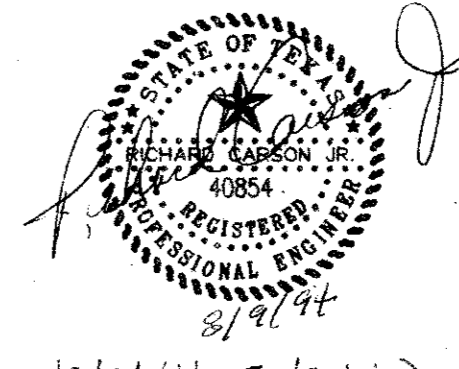
SQUARE CUT ON THE CENTERLINE OF A 20' CURB INLET AT THE NORTH SIDE OF REALTY ROAD, APPROXIMATELY 400' EAST OF MARSH LANE. ELEV. 582.15

**GRADING, DRAINAGE & EROSION CONTROL PLAN**  
PFLUGER ADDITION  
TOWN OF ADDISON  
COUNTY OF DALLAS, TEXAS

**BROCKETTE · DAVIS · DRAKE, inc.**  
consulting engineers

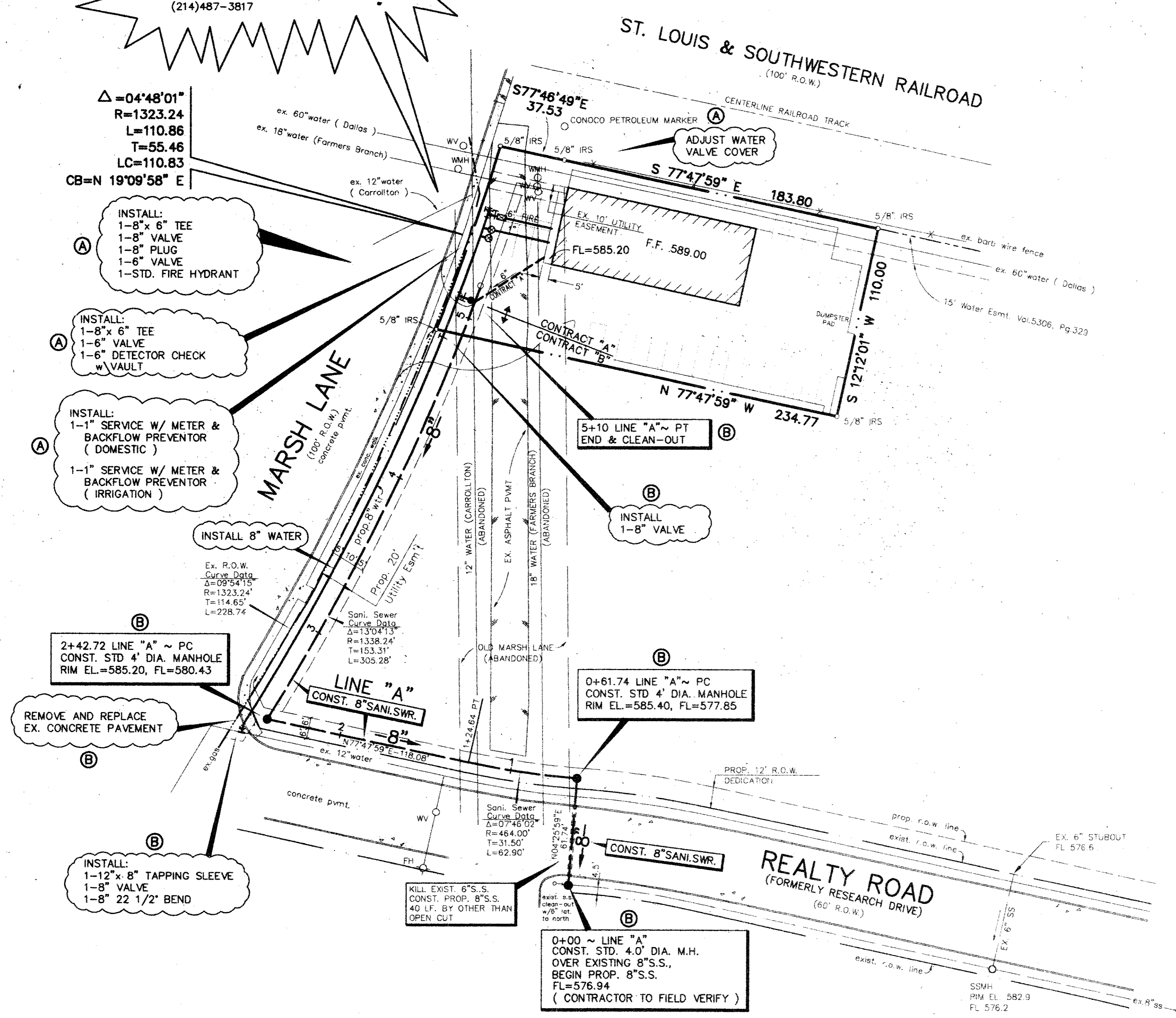
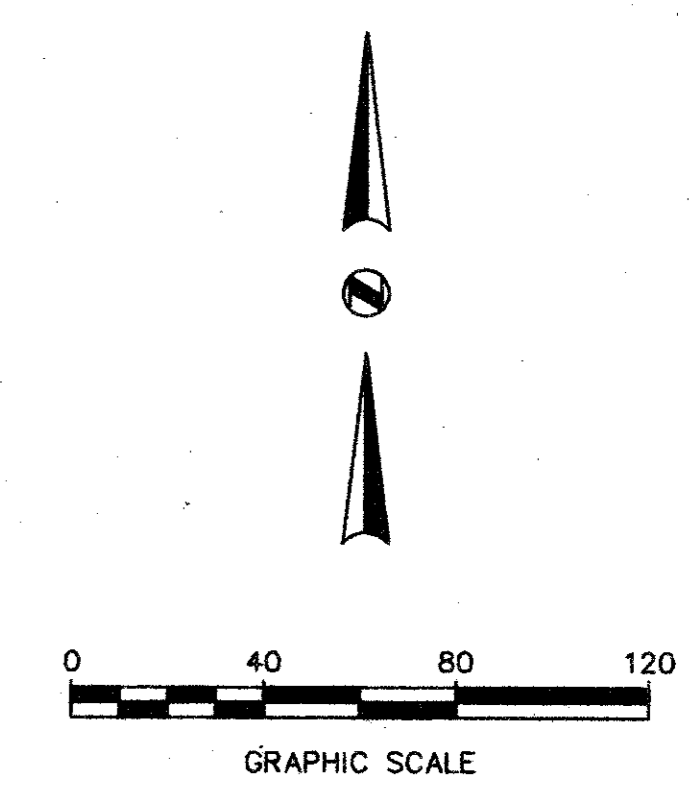
Civil & Structural Engineering - Surveying  
4144 North Central Expressway, Suite 1100 Dallas, Texas 75204  
(214)824-3647, fax (214) 824-7064

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
JR	BDD	7/18/94	1"=20'	BDD	C94072	C2



Revised 8/18/94 (HUST/OP/IND)

**CAUTION!!!**  
 UNDERGROUND GAS LINE IN THIS AREA.  
 CONTACT LONE STAR GAS BEFORE  
 BEGINNING WORK IN THIS AREA.  
 (214)487-3817



**WATER AND SANITARY SEWER GENERAL NOTES**

- All materials and construction shall conform to the Town of Addison Standards and Specifications except as noted herein or approved by the Town.
- Contractor shall be responsible for maintaining trench safety requirements in accordance with Town Standards, Texas State Law, and O.S.H.A. Standards for all excavation in excess of five feet in depth.
- The location of all utilities indicated on these plans are taken from existing public records. The exact location and elevation of all public utilities must be determined by the Contractor. It shall be the duty of the Contractor to ascertain whether any additional facilities other than those shown on the plans may be present.
- All ductile iron fittings shall be of the mechanical joint type or slip joint and shall be Class D, or Class 250 on sizes 12" and smaller in accordance with A.W.W.A. Specifications C-110-64 and C-111-64.
- All water mains shall have a minimum cover of 42", or sufficient cover to clear other utilities as measured from top of pipe to existing ground level or finished grade, whichever is greater.
- It shall be the responsibility of the Contractor to protect all public utilities in the construction of this project. All manholes, clean-outs, valve-boxes, fire hydrants, etc. must be adjusted to proper line and grade by the Contractor prior to and after the placing of permanent paving. Utilities must be maintained to proper line and grade during construction of the paving for this development.
- Grassy areas affected by construction shall be sodded with similar material.

**LEGEND**

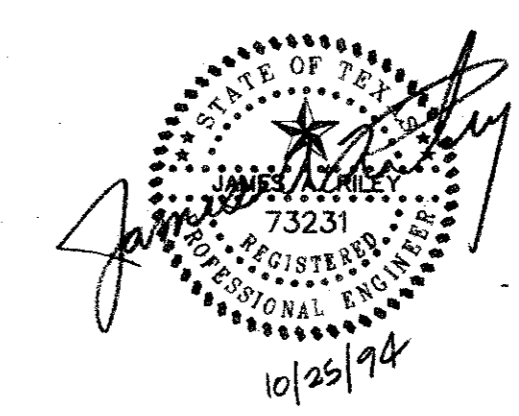
IRS	IRON ROD SET
WV	EXISTING WATER LINE
WMH	EXISTING WATER MANHOLE
FH	EXISTING FIRE HYDRANT
SSMH	EXISTING SAN. SEWER MANHOLE
SSCO	PROPOSED SAN. SEWER CLEANOUT
---	EXISTING SANITARY SEWER LINE
---	EXISTING WATER LINE
---	PROPOSED SANITARY SEWER LINE
---	PROPOSED WATER LINE

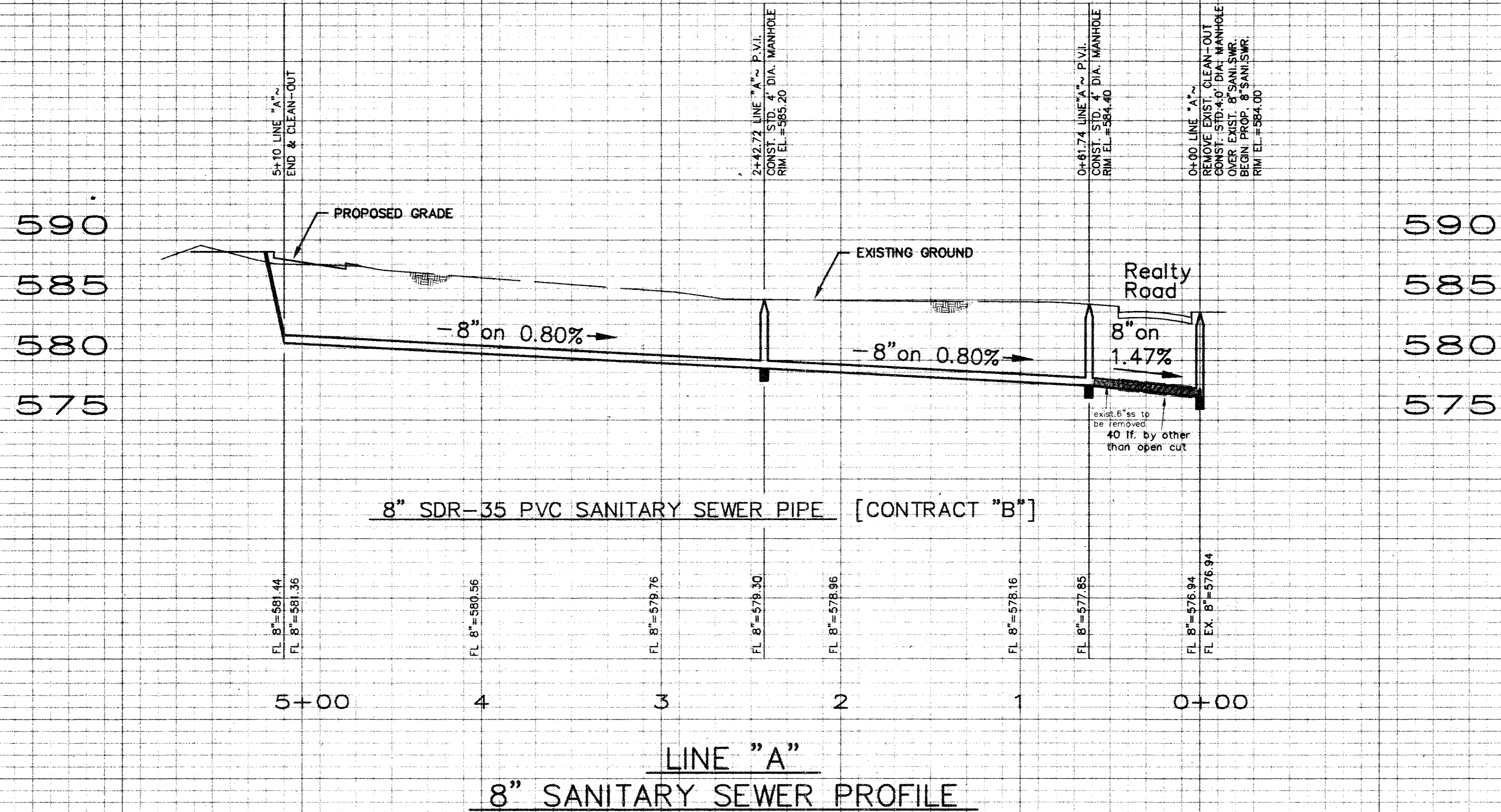
**WATER & SANITARY SEWER PLAN**  
 PFLUGER ADDITION  
 TOWN OF ADDISON  
 COUNTY OF DALLAS, TEXAS

**BROCKETTE · DAVIS · DRAKE, inc.**  
**consulting engineers**  
 Civil & Structural Engineering · Surveying  
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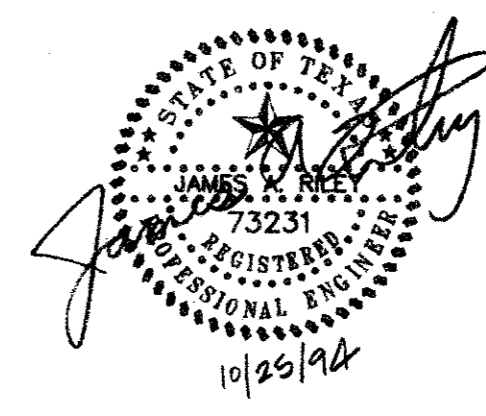
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
JAR	BDD	7/15/94	1"=40'	BDD	C94072	C3

**BENCHMARK:**  
 SQUARE CUT ON THE CENTERLINE OF A 20' CURB INLET AT THE NORTH SIDE OF REALTY ROAD, APPROXIMATELY 400' EAST OF MARSH LANE ELEV. 582.15

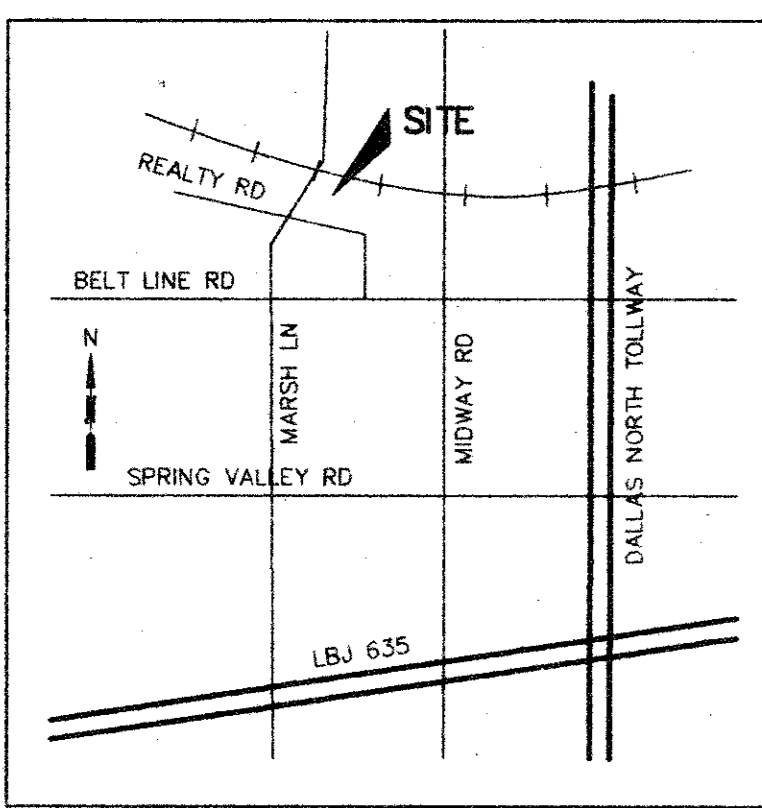
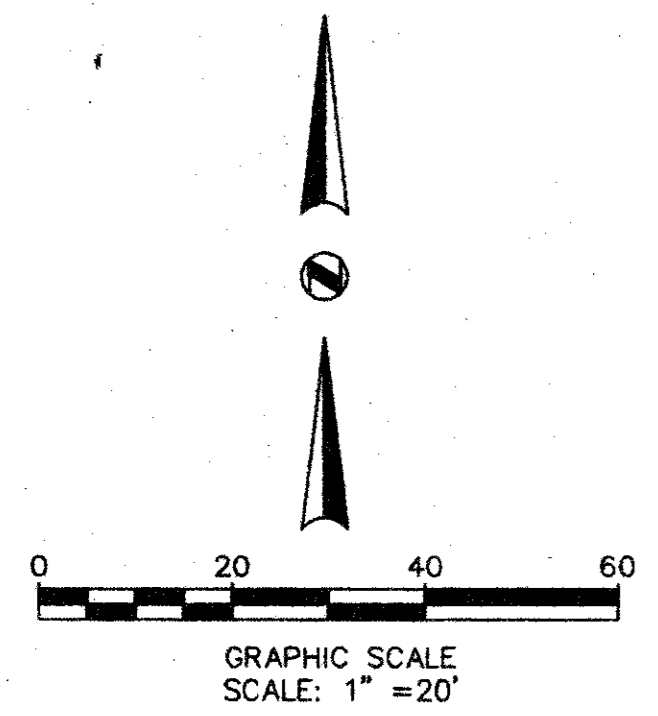




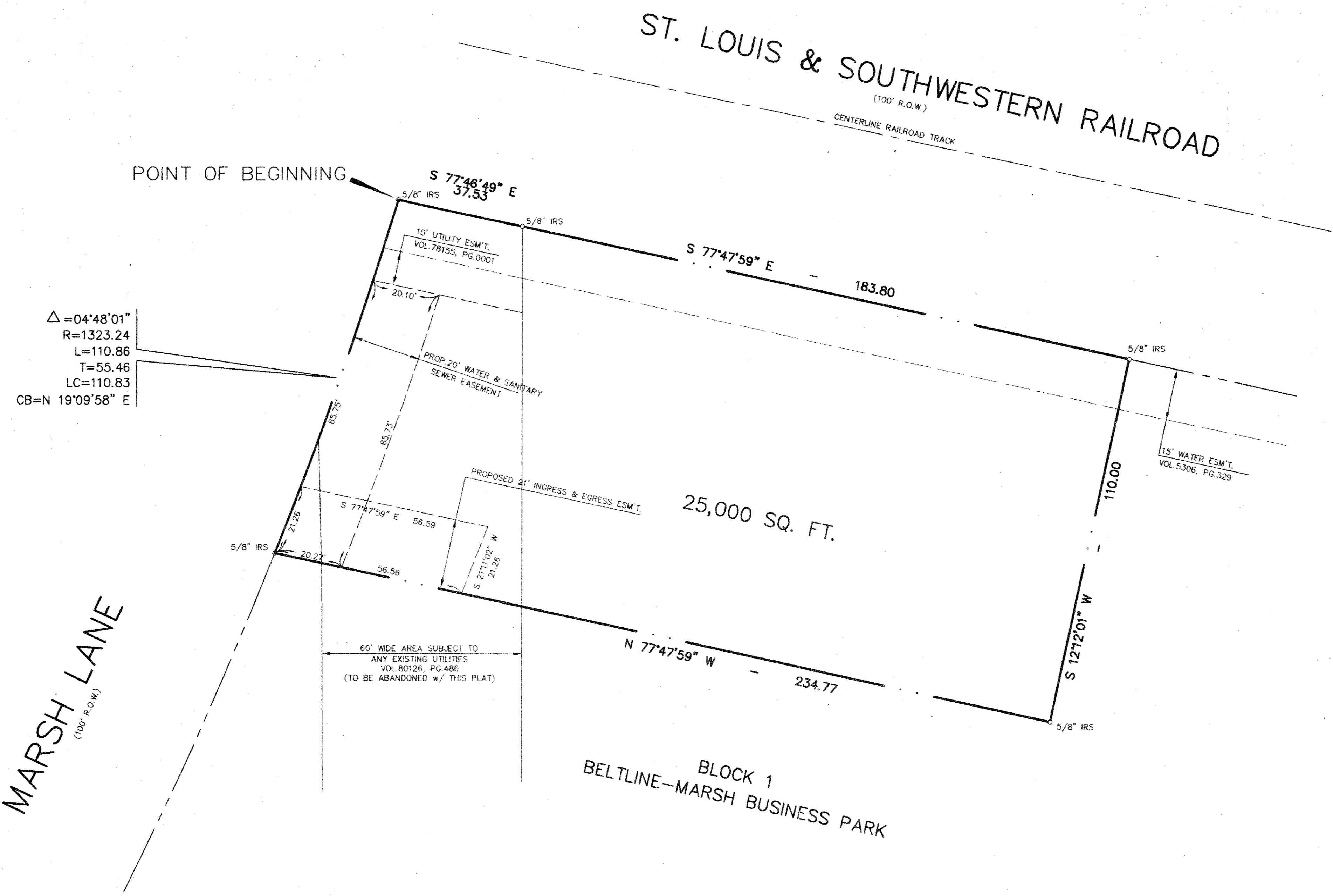
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 ELEV. 582.15



<b>SANITARY SEWER PROFILE</b>						
PFLUGER ADDITION						
TOWN OF ADDISON						
COUNTY OF DALLAS, TEXAS						
<input type="checkbox"/> BROCKETTE • DAVIS • DRAKE , inc. <input type="checkbox"/> consulting engineers Civil & Structural Engineering • Surveying 4144 North Central Expressway, Suite 1100 Dallas, Texas 75204 (214) 824-3647, fax (214) 824-7064						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
JAR	BDD	8/30/94	HOR. 1"=40' VERT. 1"=6'	BDD	C94072	C4



LOCATION MAP NTS



$\Delta = 04^{\circ}48'01''$   
 $R = 1323.24$   
 $L = 110.86$   
 $T = 55.46$   
 $LC = 110.83$   
 $CB = N 19^{\circ}09'58'' E$

**CONSTRUCTION SET**  
ISSUED BY  
TOWN OF ADDISON  
PUBLIC WORKS DEPARTMENT

DATE: \_\_\_\_\_

**APPROVAL CERTIFICATE**

Approved by the Town of Addison this \_\_\_\_\_ day of \_\_\_\_\_, 1994.

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CITY SECRETARY

**SURVEYOR'S CERTIFICATE**

STATE OF TEXAS:  
COUNTY OF DALLAS:

THAT I, JOHN R. PIBURN, JR., a Registered Professional Land Surveyor do hereby certify that this plat is true and correct to the best of my knowledge and belief, and that the tract shown hereon was determined by a survey made on the ground during the month of July, 1994 under my supervision.

WITNESS my hand and seal at Dallas, Dallas County, Texas, this the 8th day of August, 1994.

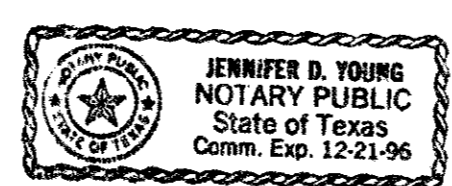
*John R. Piburn, Jr.*  
JOHN R. PIBURN, JR., REGISTERED PROFESSIONAL  
LAND SURVEYOR NO. 3689

STATE OF TEXAS  
COUNTY OF DALLAS

BEFORE ME, the undersigned authority, a Notary Public in and for Dallas County, Texas, on this day personally appeared John R. Piburn, Jr., known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the 8th day of August, 1994.

*Jennifer D. Young*  
NOTARY PUBLIC IN AND FOR DALLAS COUNTY, TEXAS



STATE OF TEXAS:  
COUNTY OF DALLAS:

WHEREAS, T.H.D.S. CORPORATION is the owner of a tract of land situated in the D. Myers Survey, Abstract No. 923, Dallas County, Texas, also being a part of Block 1, BELTLINE-MARSH BUSINESS PARK, an addition to the Town of Addison, according to the plat thereof recorded in Volume 78155, Page 0001, Map Records, Dallas County, Texas, and being more particularly described as follows:

BEGINNING at a 5/8-inch iron rod set for corner in the east line of Marsh Lane (100' R.O.W.), and the south line of a 100-foot St. Louis & Southwestern Railroad (St.L. & S.W. R.R.) R.O.W., said point also being the northwest corner of said BELTLINE-MARSH BUSINESS PARK;

THENCE S77°46'49"E, departing the said east line of Marsh Lane and along the said south line of St.L. & S.W. R.R. R.O.W., a distance of 37.53 feet to a 5/8-inch iron rod set for corner;

THENCE S77°47'59"E, continuing along the said south line of St.L. & S.W. R.R. R.O.W., a distance of 183.80 feet to a 5/8-inch iron rod set for corner;

THENCE S12°12'01"W, departing the said south line of St.L. & S.W. R.R. R.O.W., a distance of 110.00 feet to a 5/8-inch iron rod set for corner;

THENCE N77°47'59"W, a distance of 234.77 feet to a 5/8-inch iron rod set in the said east line of Marsh Lane for corner, said point also being on a circular curve to the left having a radius of 1323.24 feet and whose chord bears N19°09'58"E, a distance of 110.83 feet;

THENCE Northerly, along said curve and east line of Marsh Lane, through a central angle of 04°48'01", an arc distance of 110.86 feet, to the POINT OF BEGINNING AND CONTAINING 25,000 square feet or 0.5739 acres of land, more or less.

THEREFORE, KNOW ALL MEN BY THESE PRESENTS:  
THAT, T.H.D.S. CORPORATION does hereby adopt this plat designating the hereinabove property as The Pfluger Addition, an addition to the Town of Addison, Texas, and, subject to the conditions, restrictions, and reservations stated hereinafter, owner dedicated to the public use forever the streets and alleys shown thereon.

The easements shown on this plat are hereby reserved for the purposes as indicated including, but not limited to, the installation and maintenance of water, sanitary sewer, storm sewer, drainage, electric, telephone, gas and cable television. Owner shall have the right to use these easements provided, however, that it does not unreasonably interfere or impede with the provision of the services to others. Said utility easements are hereby being reserved by mutual use and accommodation of all public utilities using or desiring to use the same. An express easement of ingress and egress is hereby expressly granted on, over and across all such easements for the benefit of the provider of services for which easements are granted.

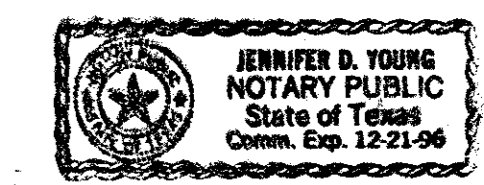
Any drainage and floodway easement shown hereon is hereby dedicated to the public's use forever, but including the following covenants with regards to maintenance responsibilities. The existing channels or creeks traversing the drainage and floodway easement will remain as an open channel, unless required to be enclosed by ordinance, at all times and shall be maintained by the individual owners of the lot or lots that are traversed by or adjacent to the drainage and floodway easement. The Town will not be responsible for the maintenance and operation of said creek or creeks or for any damage or injury of private property or person that results from the flow of water along said creek, or for the control of erosion. No obstruction to the natural flow of water run-off shall be permitted by construction of any type of building, fence or any other structure within the drainage and floodway easement. Provided, however, it is understood that, in the event it becomes necessary for the Town to channelize or consider erecting any type of drainage structure in order to improve the storm drainage then, in such event, the Town shall have the right, but not the obligation, to enter upon the drainage and floodway easement at any point, or points with all rights of ingress and egress to investigate, survey, erect, construct or maintain any drainage facility deemed necessary by the Town for drainage purposes. Each property owner shall keep the natural drainage channels and creeks traversing the drainage and floodway easement adjacent to this property clean and free of debris, silt, growth, vegetation, weeds, rubbish, refuse, matter and any substance which would result in unsanitary conditions or obstruct the flow of water, and the Town shall have the right of ingress and egress for the purpose of inspection and supervision and maintenance work by the property owner to alleviate any undesired conditions which may occur. The natural drainage channels and creeks through the drainage and floodway easement, as in the case of all natural channels, are subject to storm water overflow and natural bank erosion to an extent that cannot be definitely defined. The Town shall not be held liable for any damages or injuries of any nature resulting from the occurrence of these natural phenomena, nor resulting from the failure of any structure or structures within the natural drainage channels and the owners hereby agree to indemnify and hold harmless the Town from any such damages and injuries. Building areas outside the drainage and floodway easement line shall be filled to a minimum elevation as shown on the plat. The minimum floor of elevation of each lot shall be shown on the plat.

The maintenance or paving of the utility and fire lane easements is the responsibility of the property owner. All public utilities shall, at all times, have the full right of ingress and egress to and from and upon the said utility easements for the purpose of construction, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective system without the necessity at any time of procuring the permission of anyone. Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and any maintenance and service required or ordinarily performed by that utility. Buildings, fences, trees, shrubs or other improvements or growth may be constructed, reconstructed or placed upon, over or across the utility easement as shown; provided, however, that owner shall, at its sole cost and expense, be responsible under any and all circumstances for the maintenance and repair of such improvements or growth, and any public utility shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growth which in any way endanger or interfere with the construction, maintenance or efficiency of its respective system or service.

Water main and sanitary sewer easements shall also include additional area of working space for construction and maintenance of the systems. Additional easement area is also conveyed for installation and maintenance of manholes, cleanouts, fire hydrants, water service and sewer services from the main to curb or pavement line, and the descriptions of such additional easements herein granted shall be determined by their locations as installed.

This plat is approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Addison, Texas.  
WITNESS my hand at Dallas, Texas, this the 8th day of August, 1994.

Ken Suri, T.H.D.S. CORPORATION



STATE OF TEXAS:  
COUNTY OF DALLAS:

BEFORE ME, the undersigned authority, a Notary Public in and for Dallas County, Texas, on this day personally appeared Ken Suri, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for purposes and considerations therein expressed.

GIVEN under my hand and seal of office this the 8th day of August, 1994.

*Jennifer D. Young*  
Notary Public in and for Dallas County, Texas

**FINAL PLAT**  
**PFLUGER ADDITION**  
0.574 ACRES OF LAND  
SITUATED IN THE D. MYERS SURVEY, ABSTRACT NO. 923  
TOWN OF ADDISON, DALLAS COUNTY, TEXAS

OWNER  
T.H.D.S. CORPORATION  
3108 Andrew Lane  
Carrollton, Texas 75007

SURVEYORS  
BROCKETTE DAVIS DRAKE, INC.  
4144 North Central Expressway, Suite 1100  
Dallas, Texas 75204  
(214) 824-3647, fax (214) 824-7064

Filed September 13, 1994  
Volume 94176 Page 1650

July 15, 1994