

WATER SERVICE SCHEDULE		
TYPE	SIZE	NO.
DOM.	1.5"	42
IRRIG.	1"	1
DOM.	4"	3

SANITARY SEWER SERVICES		
TYPE	SIZE	NO.
PVC	4"	42

**WARNING!!!**  
EXISTING UNDERGROUND UTILITIES FIELD VERIFY LOCATION PRIOR TO CONSTRUCTION OR EXCAVATION

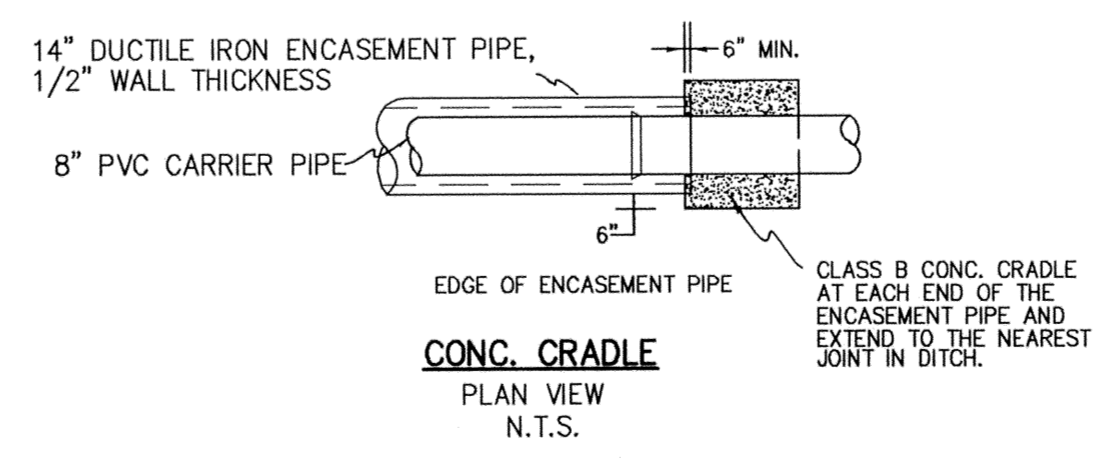
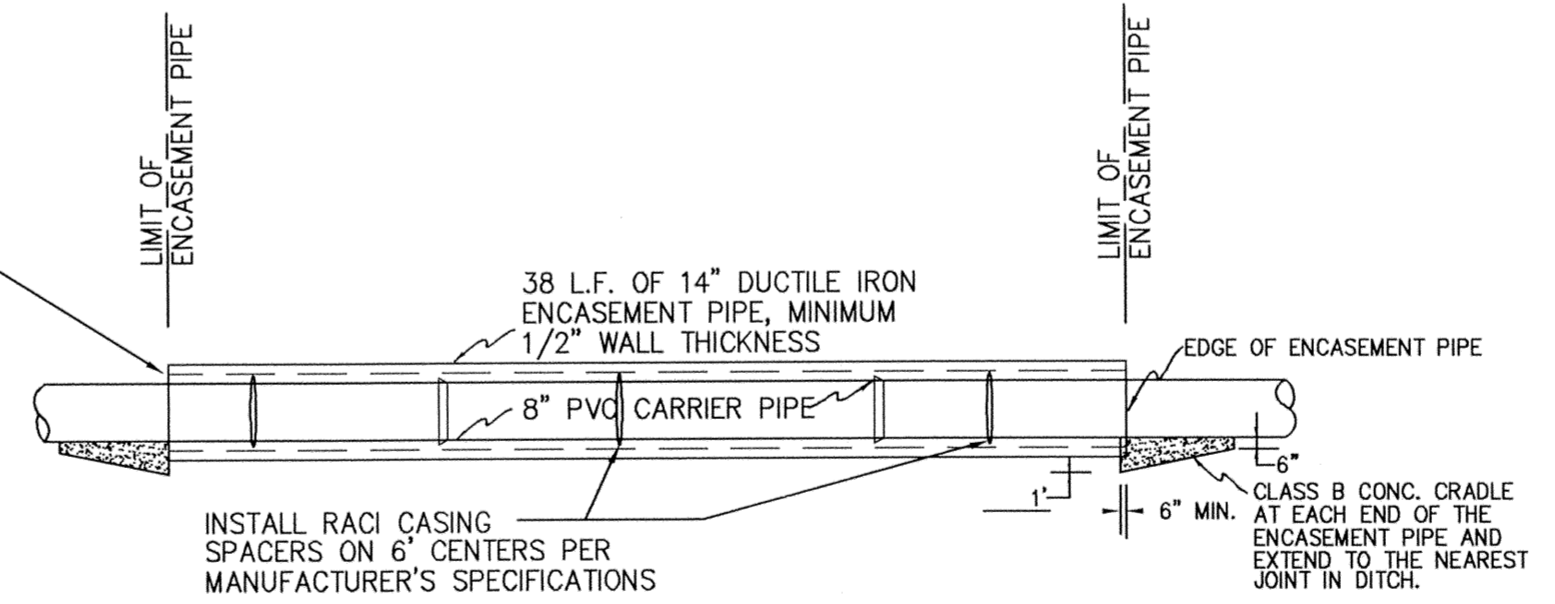
**WATER SANITARY SEWER GENERAL NOTES**

- ALL WORK AND MATERIAL, UNLESS OTHERWISE NOTED, SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR TOWN OF ADDISON.
- BASE BID. MAINS 8" AND LARGER SHALL BE AWWA C-309 CLASS 150, 6" HYDRANT LEADS SHALL BE C-909 CLASS 200. FOR PVC SERVICE TAPPING SADDLES SHALL BE USED.
- ALL WATER MAINS SHALL HAVE MINIMUM COVER AS FOLLOWS: 6", 8", 10" AND 12": 48" BELOW FINISHED PAVEMENT GRADE, OR 60" BELOW EXISTING OR FINISHED GRADE IN UNPAVED AREAS, OR AS REQUIRED TO CLEAR OTHER UTILITIES.
- EXTEND WATER DEADHEADS AND SANITARY SEWER LATERALS BEYOND PROPOSED CURB AS SHOWN ON THE WATER PLAN.
- FIRE HYDRANTS TO BE TOWN OF ADDISON APPROVED (MUELLER CENTURION MODEL).
- VALVES TO BE TOWN OF ADDISON APPROVED.
- THE WATER METER BOX SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR AFTER THE PAVING CONTRACTOR HAS COMPLETED THE FINE GRADING BEHIND THE BACK OF THE CURB. EACH SERVICE LOCATION WILL BE MARKED ON THE PAVEMENT OR CURB, WITH A BLUE DOT BY THE UTILITY CONTRACTOR AND TIED TO PROPERTY CORNERS ON THE "RECORD DRAWING."
- FIRE HYDRANTS SHALL BE PAINTED AS PER TOWN OF ADDISON STANDARDS AND SPECIFICATIONS AND LOCATED IN A PROTECTED AREA WITH 6" CURB OR BOLLARDS.
- STEAMER NOZZLES ON FIRE HYDRANTS SHALL BE 18" ABOVE THE TOP OF THE CURB ON FINISHED GRADE, AND SHALL FACE THE CENTER OF THE FIRE LANE OR STREET. FIRE HYDRANTS SHALL USUALLY BE LOCATED FOUR (4) FEET, BUT NOT LESS THAN TWO (2) FEET NOR MORE THAN SIX (6) FEET, BEHIND THE CURB.
- ALL WATER LINES SHALL BE HYDROSTATICALLY TESTED PER TOWN OF ADDISON STANDARDS AND SPECIFICATIONS.

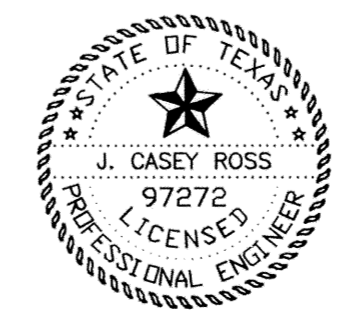
- ALL WATER LINES SHALL BE STERILIZED PER TCEQ STANDARDS AND SPECIFICATIONS.
- ALL METER BOXES SHALL BE LOCATED IN NON-TRAFFIC AREAS AND PROTECTED BY 6" CURB OR BOLLARDS.
- THE HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING SUBSURFACE UTILITIES HAVE BEEN DETERMINED FROM RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THAT NECESSARY CLEARANCES BETWEEN EXISTING AND PROPOSED UTILITIES EXIST PRIOR TO THE CONSTRUCTION OF ANY SUCH CROSSING. IT IS THE CONTRACTORS RESPONSIBILITY TO INVESTIGATE AS TO WHETHER ADDITIONAL FACILITIES EXIST.
- UTILITY TRENCHES SHALL BE BACKFILLED WITH MATERIAL PER TOWN OF ADDISON SPECIFICATIONS (95% STANDARD PROCTOR DENSITY).
- ANCHOR FITTING SHALL BE USED TO ATTACH FIRE HYDRANTS.
- ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, ETC., MUST BE ADJUSTED TO PROPER LINE AND GRADE BY CONTRACTOR PRIOR TO PLACEMENT OF PERMANENT PAVING.
- A NO. 12 PLASTIC COATED WIRE SHALL BE PLACED IN THE TRENCH OVER ALL WATER LINES. THE WIRE SHALL BE TIED TO ALL VALVES AND FIRE HYDRANTS AND ATTACHED DIRECTLY TO THE TOP OF THE PIPE AND EXTENDED TO SIX INCHES ABOVE FINISHED GRADE ALONG THE OUTSIDE OF ALL VALVE STACKS AND FIRE HYDRANTS.
- ALL LOCATION DIMENSIONS SHOWN ARE CENTERLINE OF PIPE.
- CONTRACTOR SHALL KEEP WATER AND ELECTRICAL SERVICES TO THE EXISTING LANDSCAPE MEDIANS IN SERVICE AT ALL TIMES DURING CONSTRUCTION. IF THE CONSTRUCTION OF THE PROJECT REQUIRES THE RELOCATION OF EXISTING CITY LANDSCAPE FACILITIES INCLUDING METERS, VALVES, LINES, ETC., THIS WORK WILL BE COMPLETED BY A LICENSED IRRIGATION AND/OR ELECTRICIAN AT THE CONTRACTOR'S EXPENSE.
- ALL VALVES DEEPER THAN FOUR FEET REQUIRE EXTENSION RODS TO BRING OPERATING NUT TO WITHIN FOUR FEET OF SURFACE.
- ALL FITTINGS SHALL HAVE EBAA PV 2000 RESTRAINING GLAND OR APPROVED EQUAL.
- A CAST IRON TOP ON PVC DOUBLE CLEANOUTS SHALL BE INSTALLED AT THE RIGHT-OF-WAY LINE OF ALL SANITARY SEWER SERVICES AT THE TIME OF HOME CONSTRUCTION. CONTRACTOR SHALL LEAVE DOUBLE CLEANOUT STACKS ONE FOOT BELOW GRADE. HOMEOWNER'S PLUMBER SHALL TIE IN AT THE CLEANOUT TEE.
- NO WATER METERS SHALL BE PERMITTED IN PAVEMENT.

**BENCHMARKS:**

- SQUARE CUT AT THE BACK OF CURB ON THE CENTER OF A CONCRETE INLET LOCATED ON THE EAST SIDE OF QUORUM PARKWAY APPROXIMATELY 465' SOUTH OF THE CENTERLINE INTERSECTION OF QUORUM PARKWAY AND AIRPORT PARKWAY.  
ELEVATION = 630.71'
- SQUARE CUT ON THE NORTHWEST CORNER OF A CONCRETE INLET LOCATED ON THE NORTH SIDE OF AIRPORT PARKWAY AT THE CENTERLINE INTERSECTION OF AIRPORT PARKWAY AND SPECTRUM DRIVE.  
ELEVATION = 619.31'



THESE CONSTRUCTION PLANS WERE PREPARED UNDER THE RESPONSIBLE SUPERVISION OF J. CASEY ROSS, LICENSED PROFESSIONAL ENGINEER NO. 97272.  
*J. Casey Ross 9/30/09*



RECORD DRAWINGS Sept. 30, 2009  
NOTE: THE INTENT OF THE OWNER AND ENGINEER WAS TO CONSTRUCT THE IMPROVEMENTS ACCORDING TO THESE PLANS AS APPROVED BY THE TOWN OF ADDISON. THE LINES AND GRADES WERE SET ON THE GROUND FOR CONSTRUCTION ACCORDING TO SAID PLANS. WE ARE NOT AWARE OF ANY CHANGES OR REVISIONS TO THESE PLANS DURING CONSTRUCTION EXCEPT AS NOTED ON THE PLANS.

NO.	DATE	BY	REVISION
1	2/25/08	JCR	REVISED ALL TOWNHOME LOT LINES
2	4/08/08	JCR	REVISED ALL TOWNHOME LOT LINES & ADJUSTED WHISPER LANE AND WATER ALIGNMENTS
3	4/20/08	JCR	ADDED MANHOLE TO LINE "C-1" @ STA. 1+47

**WATER & SANITARY SEWER PLAN**  
**MERIDIAN SQUARE**

TOWN OF ADDISON  
DALLAS COUNTY, TEXAS

**DOWDEY, ANDERSON & ASSOCIATES, INC.**  
5225 Village Creek Drive, Suite 200 Plano, Texas 75093 972-931-0694

DESIGN	DRAWN	CHECKED	DATE	SCALE	JOB	SHEET
MMP	MMP	JCR	11/17/2008	1"=40'	07031B	1