

CROWN PLAZA
BALLROOM - Prelim

CONSTRUCTION PLAN FOR BANQUET ROOM ADDITION

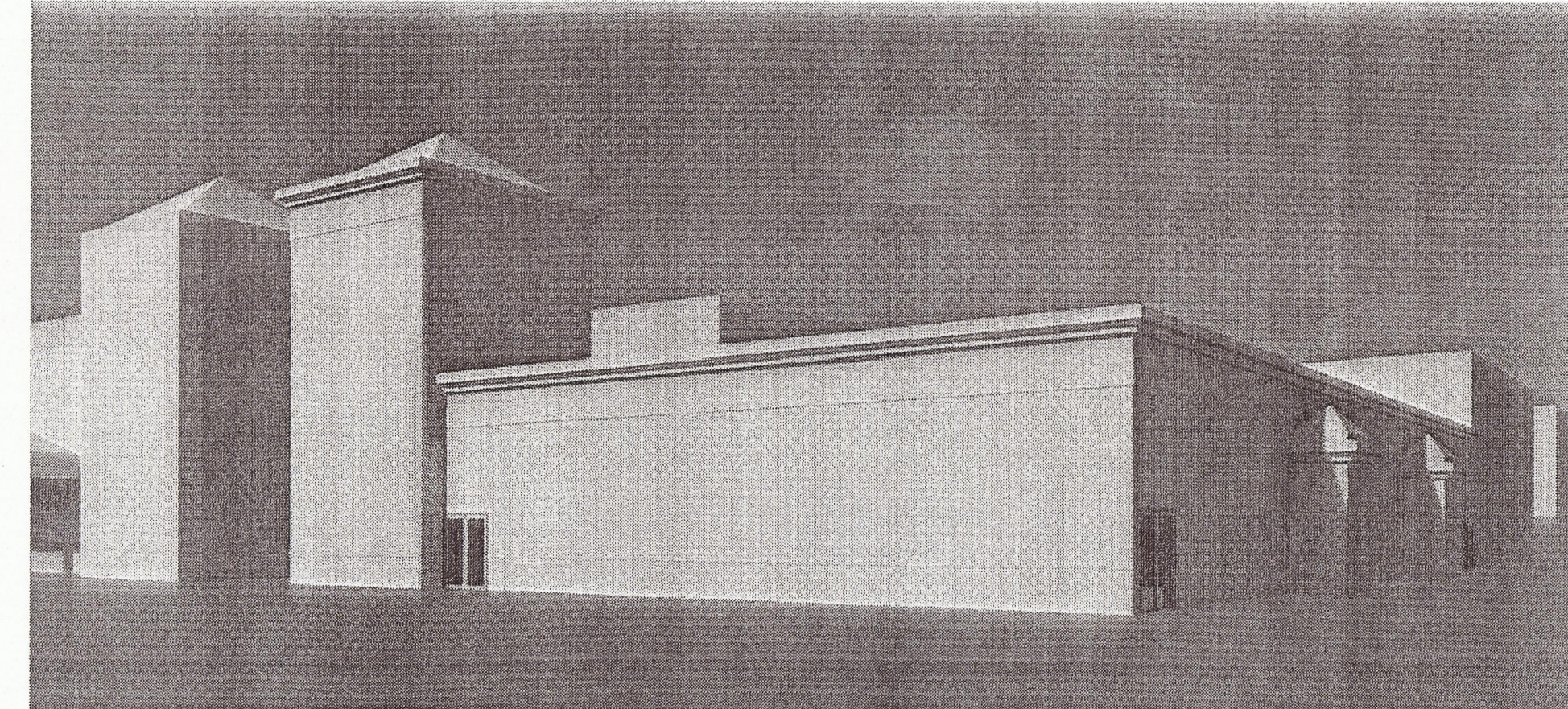
GENERAL NOTES

1. THE CONTRACTOR SHALL CONDUCT A COMPLETE ON SITE INSPECTION TO FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS PRIOR TO BIDDING THIS PROJECT.
2. ALL WORK IN THIS CONTRACT SHALL BE PERFORMED IN ACCORDANCE WITH INDUSTRY STANDARDS, ESTABLISHED GOOD CONSTRUCTION PRACTICES AND ALL NATIONAL, STATE, AND LOCAL CODES AND ORDINANCES WHICH APPLY.
3. THE CONTRACTOR SHALL FURNISH A LIST OF SUBCONTRACTORS BEFORE WORK IS COMMENCED.
4. THE CONTRACTOR SHALL PROVIDE PERIODIC AND FINAL CLEAN-UP TO KEEP THE PROJECT CLEAN AND SHALL PROVIDE TRASH PICK-UP SERVICE SEPARATE FROM ANY EXISTING SERVICE.
5. THE GENERAL CONTRACTOR FOR THIS PROJECT IS RESPONSIBLE FOR CARRYING THE BUILDERS RISK INSURANCE. THE INSURANCE POLICY SHALL NAME NOT ONLY THE GENERAL CONTRACTOR BUT THE SUBCONTRACTOR, THE OWNER, AND THE ARCHITECT AS ADDITIONAL INSUREDS UNDER THE BUILDERS RISK POLICY PURCHASED TO PROTECT THIS PROJECT DURING CONSTRUCTION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ANY AND ALL UTILITIES ON SITE PRIOR TO AND DURING CONSTRUCTION.
7. THIS ARCHITECT SHALL NOT BE RESPONSIBLE FOR DEVIATIONS FROM THESE PLANS AND SPECIFICATIONS DURING OR AFTER CONSTRUCTION WITHOUT WRITTEN APPROVAL FROM THIS ARCHITECT.
8. THE OWNER SHALL OBTAIN ALL PERMITS AND THE CONTRACTOR SHALL OBTAIN CERTIFICATE OF OCCUPANCY, ETC. AS REQUIRED TO COMPLETE THE WORK.
9. CONTRACTOR SHALL PROVIDE GENERAL AND FINAL CLEAN UP TO THE OWNER'S SATISFACTION.
10. CONTRACTOR SHALL CHECK THE EXISTING BUILT CONDITIONS, PLANS, ETC. FOR THE UNDERSTANDING OF THE EXTENT OF THE DEMOLITION WORK. IF ANY DISCREPANCY, CONFLICT IS FOUND, IT IS CONTRACTOR'S RESPONSIBILITY TO BRING TO THE OWNER & THE ARCHITECT'S ATTENTION IMMEDIATELY FOR DIRECTION(S).
11. ALL CONSTRUCTION IS TO BE IN COMPLIANCE WITH ALL GOVERNING CODES AND AUTHORITIES.
12. ALL MECHANICAL, ELECTRICAL & PLUMBING SYSTEMS SHALL BE COMPLETE AND WORKING AT COMPLETION OF CONSTRUCTIONS.
13. CONTRACTOR TO GUARANTEE ALL WORK AND MATERIALS FINISHED UNDER THIS CONTRACT FOR A PERIOD OF ONE YEAR FROM THE DATE THE CERTIFICATE OF OCCUPANCY IS ISSUED.
14. GENERAL CONTRACTOR IS TO VERIFY ALL POWER REQUIREMENTS W/ OWNER PRIOR TO INSTALLATION.

@ CROWN PLAZA HOTEL
14315 MIDWAY RD
ADDISON, TX 75001

PROJECT DATA

BUILDING CODE: 2006 IBC
2006 IPC
2006 IMC
2008 NEC
2006 IFC
ACCESSIBILITY- STATE OF TEXAS ACCESSIBILITY STANDARDS (TAS)
ENERGY- IECC 2006
REGULATIONS-TDLR-TEXAS ACCESSIBILITY STANDARDS (TAS)
BUILDING AREA: 10150 S.F.
OCCUPANCY TYPE: A2 (BANQUET ROOM)
DESIGN OCCUPANT LOAD: 9000/15 = 600
1150/200=6,
TOTAL 606
NUMBER OF EXITS REQUIRED: 2
NUMBER OF EXITS PROVIDED: 2
TOTAL EGRESS WIDTH REQUIRED: 91" (0.15 INCH PER)
TOTAL EGRESS WIDTH PROVIDED: 468"
MAXIMUM TRAVEL DISTANCE ALLOWED: 140'
MAXIMUM TRAVEL DISTANCE PROVIDED: 70'



BANQUET ROOM ADDITION

INDEX OF CIVIL SHEETS

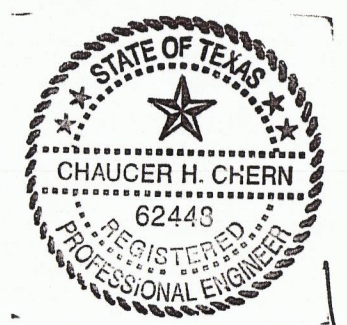
SHEET NO.	DESCRIPTION
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E2	LIGHTING PLAN
P1	PLUMBING, RESTROOM & GAS PLAN

OWNER:

NAME: TABAN GROUP
ADDRESS: 16600 DALLAS PKWY, ADDISON TX 75001
PHONE: 2214-455-3472

SUBMITTED BY: *Chaucer Chern* P.E.

ENGINEERING FIRM LOGO



Chaucer Chern

03/03/10

ENGINEER NAME, PE

DATE



PROJECT SITE

PROJECT VICINITY MAP