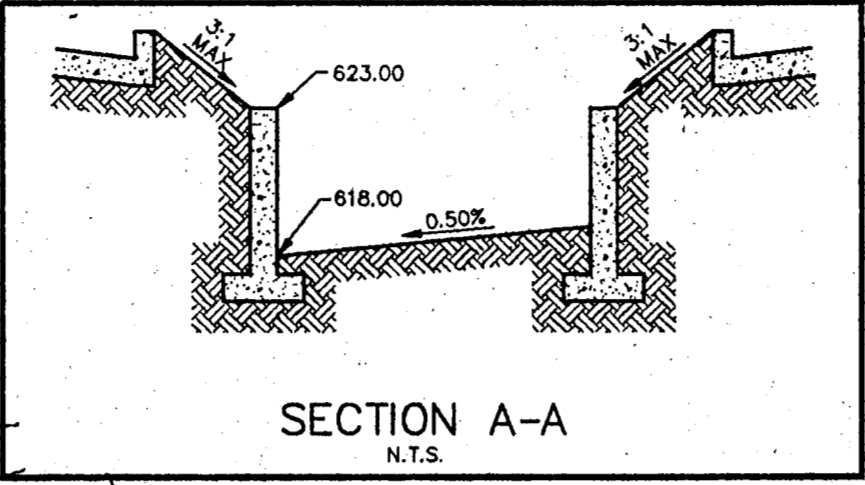


LEGEND	
	EXISTING CONTOURS
	PROPOSED CONTOURS
	TOP OF CURB ELEVATION
	MATCH EXISTING TOP OF CURB ELEVATION
	MATCH EXISTING TOP OF PAVEMENT
	FLOW ARROWS

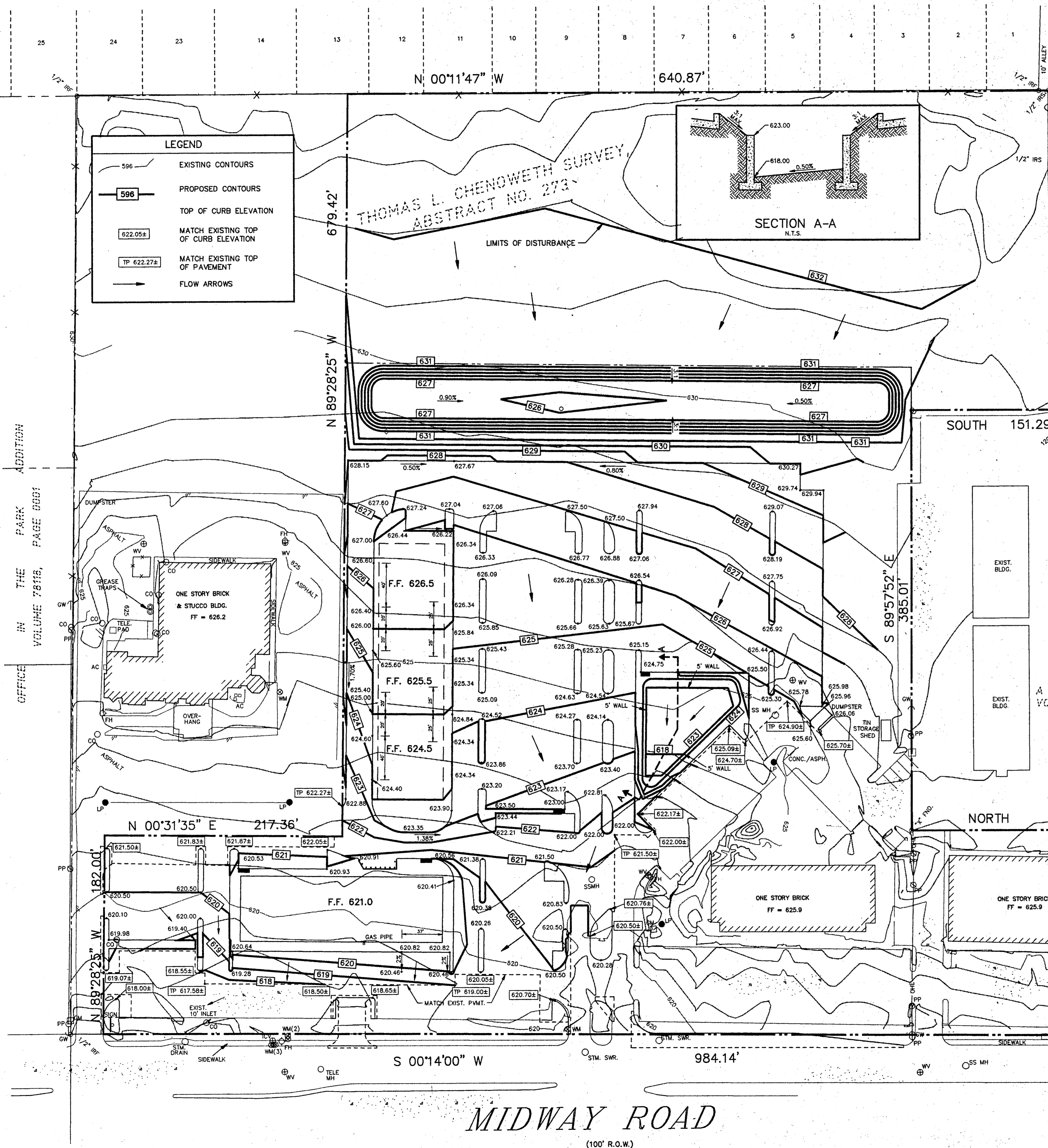
THOMAS L. CHENOWETH SURVEY  
ABSTRACT NO. 273



$\Delta = 13'11'28''$   
 $R = 1005.00'$   
 $T = 116.20'$   
 $L = 231.38'$   
 $CD = 230.87'$   
 $CB = N 83'31'34'' E$

- SITE GRADING GENERAL NOTES**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF ADDISON STANDARDS, SPECIFICATIONS, DETAILS AND NOTED SPECIFICATIONS.
  - VEGETATION, DEBRIS, AND TOPSOIL CONTAINING ORGANIC MATERIALS SHOULD BE CLEARED AND GRUBBED FROM THE ENTIRE SITE (APPROX. DEPTH OF 8 INCHES) AT THE BEGINNING OF EARTHWORK.
  - REFERENCE CIVIL SPECIFICATIONS AND SHEET 2 FOR PAVEMENT SUBGRADE PREPARATION REQUIREMENTS. REFERENCE ARCHITECTURAL SPECIFICATIONS FOR BUILDING PAD PREPARATION. PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN IN PAVED AREAS REFLECT TOP OF PAVEMENT SURFACE. THE LIMITS OF EARTHWORK IN PAVED AREAS IS THE BOTTOM OF PAVEMENT. PROPOSED CONTOURS SHOWN OUTSIDE THE PAVED AREAS ARE THE EXACT LIMITS OF GRADING.
  - THE CONTRACTOR SHALL VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO START OF EARTHWORK AND SHALL NOTIFY THE ARCHITECT AND ENGINEER OF ANY CONFLICTS DISCOVERED. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN WITHIN SCOPE OF CONSTRUCTION). IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT HIS OWN EXPENSE.
  - THE CONTRACTOR SHALL MAINTAIN ADEQUATE SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION. THE CONTRACTOR SHALL USE SILT FENCES AND/OR STRAW BALES (OR OTHER METHOD APPROVED BY THE TOWN OF ADDISON) AS REQUIRED TO PREVENT SILT AND CONSTRUCTION DEBRIS FROM FLOWING ONTO ADJACENT PROPERTIES. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, OR LOCAL EROSION, CONSERVATION, AND SEDIMENTATION REGULATIONS. CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL DEVICES UPON COMPLETION OF PERMANENT DRAINAGE FACILITIES AND THE ESTABLISHMENT OF STAND OF GRASS OR OTHER GROWTH TO PREVENT EROSION.
  - ROUGH GRADING UNDER PROPOSED PAVING AND ALL GENERAL SITE ROUGH GRADING SHALL BE BROUGHT TO WITHIN +/- 0.1 FOOT. SEE ARCHITECTURAL PLANS FOR ROUGH GRADING ELEVATIONS IN BUILDING PAD AREA.
  - THE CONTRACTOR SHALL TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL DUST. CONTRACTOR SHALL CONTROL DUST BY SPRINKLING WATER, OR BY OTHER MEANS APPROVED BY THE ARCHITECT, ENGINEER, AND THE OWNER, AT NO ADDITIONAL COST TO THE OWNER.
  - THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY EXISTING STRUCTURES, FENCES, DEBRIS, OR TREES ON SITE, AND SHALL COORDINATE ALL REMOVAL WITH THE GENERAL CONTRACTOR. NO TREES OR OTHER ITEMS SHALL BE REMOVED WITHOUT THE APPROVAL OF THE ARCHITECT, ENGINEER, AND OWNER. ALL TREES NOT REMOVED SHALL BE GUARDED AND PRESERVED DURING CONSTRUCTION. IF DAMAGED, THE EXISTING TREE WILL BE REPLACED (EQUAL CALIPER) AT THE CONTRACTOR'S EXPENSE.
  - THE CONTRACTOR SHALL EMPLOY, AT HIS EXPENSE, A QUALIFIED SOILS LAB TO DETERMINE THE EXISTING SUBGRADE AND ON SITE NATIVE MATERIAL IS WITHIN SPECIFICATIONS PRIOR TO STARTING FILL OPERATIONS.
  - ALL EXCAVATING IS UNCLASSIFIED AND SHALL INCLUDE ALL MATERIALS ENCOUNTERED. UNUSABLE EXCAVATED MATERIAL AND ALL WASTE RESULTING FROM SITE CLEARING AND GRUBBING SHALL BE DISPOSED OF OFF SITE BY THE GRADING CONTRACTOR AT HIS EXPENSE.
  - BEFORE ANY EARTHWORK IS DONE, THE CONTRACTOR SHALL STAKE OUT AND MARK THE LIMITS OF PAVEMENT AND OTHER ITEMS ESTABLISHED BY THE PLANS. THE CONTRACTOR SHALL PROTECT AND PRESERVE CONTROL POINTS AT ALL TIME DURING THE COURSE OF THE PROJECT. THE GRADING CONTRACTOR SHALL PROVIDE ALL NECESSARY ENGINEERING AND SURVEYING FOR LINE AND GRADE CONTROL POINTS RELATED TO EARTHWORK.
  - THE CONTRACTOR SHALL SALVAGE AND PROTECT ALL EXISTING POWER POLES, SIGNS, MANHOLES, TELEPHONE RISERS, WATER VALVES, ETC. DURING ALL CONSTRUCTION PHASES.

OFFICE IN THE PARK ADDITION  
VOLUME 78118, PAGE 0001

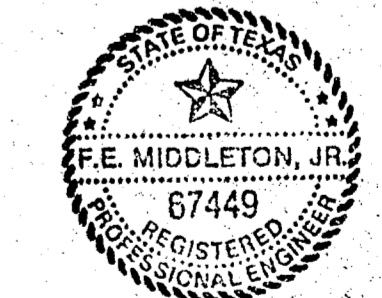


$\Delta = 04'07'59''$   
 $R = 945.00'$   
 $T = 34.10'$   
 $L = 68.17'$   
 $CD = 68.15'$   
 $CB = N 88'05'28'' E$

**AS BUILT**

Winkelmann & Associates, Inc. hereby certifies that this plan, to the best of our knowledge is "As Built." All modifications from the originally approved construction documents have been made as per information provided by the contractor. Winkelmann & Associates, Inc. does not certify as to the correctness or quality of construction as no field inspection was performed.

*[Signature]*  
WINKELMANN & ASSOCIATES, INC. DATE: 10-14-94



BENCHMARK NO. 1:  
1" CUT IN CURB LOCATED ON NORTHEAST CORNER OF AN INLET ON THE WEST SIDE OF MIDWAY ROAD APPROXIMATELY 911 FEET SOUTH OF BELTWAY DRIVE. ELEV. = 615.72

BENCHMARK NO. 2:  
1" CUT IN CURB LOCATED ON SOUTH SIDE OF BELTWAY DRIVE APPROXIMATELY 627 FEET EAST OF MIDWAY ROAD. ELEV. = 631.63

REVISED POND	CITY COMMENTS	REVISION	DATE	APPROVAL
3	2-2-94			
2	1-7-94			
1	12/76/93			

**Winkelmann & Associates, Inc.**  
CONSULTING CIVIL ENGINEERS & SURVEYORS  
14902 PRESTON ROAD, SUITE 200  
DALLAS, TEXAS 75244  
(214) 490-7999 FAX

THOMAS L. CHENOWETH SURVEY,  
ABSTRACT NO. 273  
TOWN OF ADDISON, DALLAS COUNTY, TEXAS  
CLIENT: MCGOUGH PROPERTIES,  
14902 PRESTON ROAD, SUITE 200  
DALLAS, TEXAS 75244

**GRADING PLAN**

Scale: 1" = 50' Date: 10/93  
Designed By: T.L.  
Drawn By: T.L.  
Checked By: F.E.M.  
File: 15602RRD.twy  
Project No.: 1560201

**SHEET**  
4A  
OF  
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