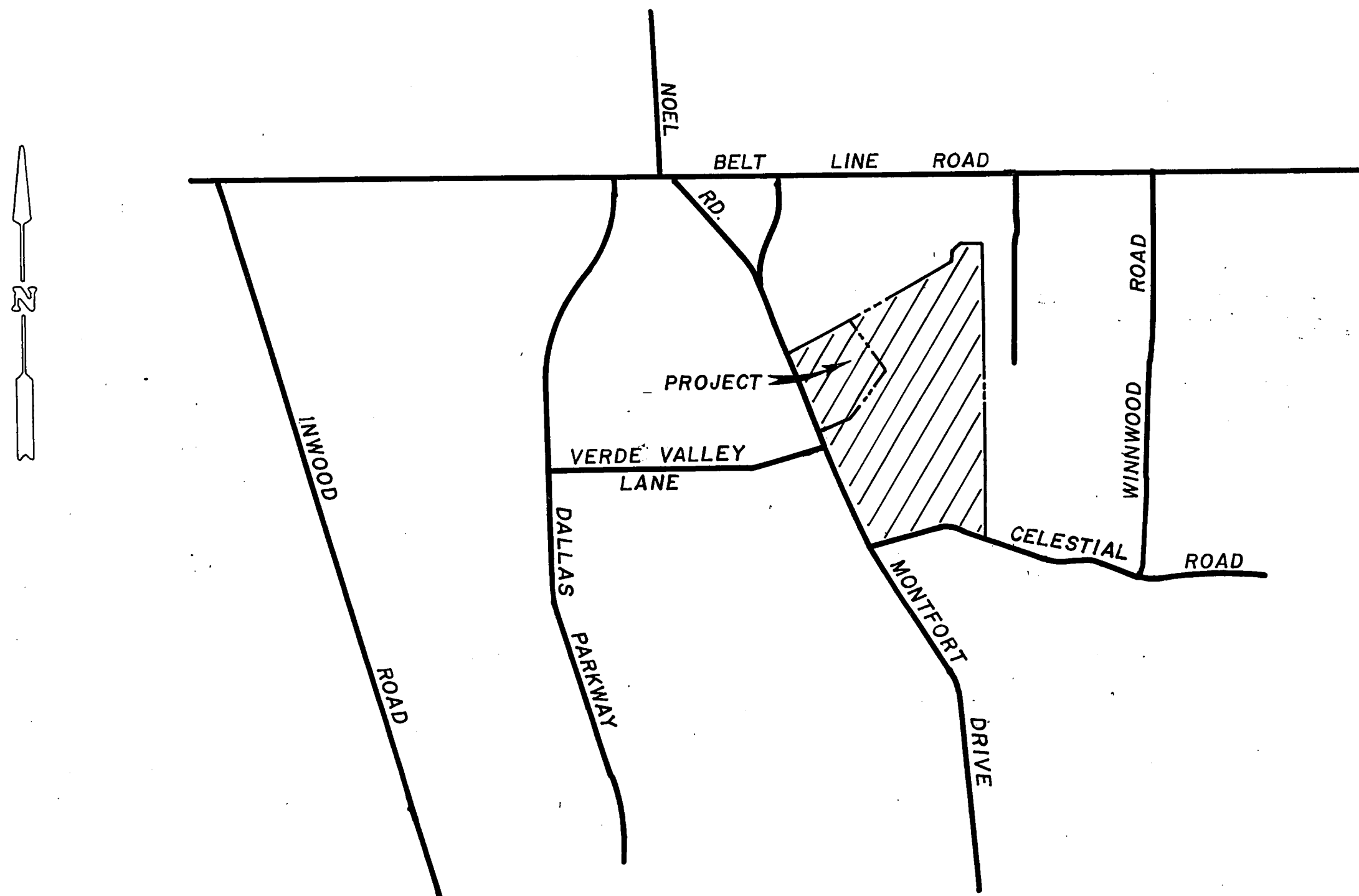


DEVELOPMENT PLANS
FOR
OAKS NORTH
CITY OF ADDISON, TEXAS

RI-10 OAKS NORTH

GENERAL NOTES

1. All street and alley intersections and connections shall be built by the developer.
2. Excavation from streets to be deposited in low areas to allow proper drainage.
3. All existing ditches, except as noted on drainage plans, are to be filled to conform to surrounding terrain.
4. It will be the responsibility of the developer and/or the contractor to protect and maintain to proper line and grade all public utilities, manholes, cleanouts, valve boxes, fire hydrants, etc. during the construction of this project, prior to and after placing permanent pavement.
5. All materials and workmanship shall conform to the City Standards and Specifications.



INDEX

SHEET NO.	DESCRIPTION
2	Final Plat
3	Drainage Map
4-11	Paving Plans & Profiles
12	Storm Sewer
13	Water & Sewer Plan
14	Sani. Sewer Profiles
15-16	Standard Details

PREPARED FOR

MONTFORT CORPORATION

JOHN C. GIBSON CO. INC. — CONSULTING ENGINEERS

9510 MILITARY PARKWAY

DALLAS, TEXAS 75227

RI-10 OAKS NORTH DEVELOPMENT 1978

OWNER'S CERTIFICATE

WHEREAS, MONTFORT CORPORATION is the owner of a tract of land situated in the ALLEN BLEDSOE SURVEY, Abstract No. 157, City of Addison, Dallas County, Texas, and being more particularly described as follows:

BEGINNING at the intersection of the Northerly property line of Celestial Drive with the Easterly Property Line of Montfort Drive, an iron stake for corner;

THENCE, N. 23°49'41"W, along said Easterly property line of Montfort Drive, and leaving said Northerly property line of Celestial Drive, a distance of 818.34 feet to an iron stake for corner;

THENCE, N. 66°10'19"E, leaving said Easterly property line of Montfort Drive, a distance of 230.0 feet to an iron stake for corner;

THENCE, N. 40°35'E, a distance of 340.0 feet to an iron stake for corner;

THENCE, N. 31°50'W, a distance of 185.0 feet to an iron stake for corner;

THENCE, N. 47°30'W, a distance of 125.0 feet to an iron stake for corner;

THENCE, N. 34°18'W, a distance of 54.10 feet to an iron stake for corner;

THENCE, N. 42°20'48"W, a distance of 98.00 feet to an iron stake for corner;

THENCE, N. 47°39'12"E, a distance of 277.00 feet to an iron stake for corner;

THENCE, S. 41°57'E, a distance of 69.00 feet to an iron stake for corner;

THENCE, N. 64°38'E, a distance of 136.00 feet to an iron stake for corner;

THENCE, N. 44°45'E, a distance of 348.0 feet to an iron stake for corner;

THENCE, N. 5°30'W, a distance of 56.0 feet to an iron stake for corner;

THENCE, N. 43°53'E, a distance of 65.0 feet to an iron stake for corner;

THENCE, N. 88°05'E, a distance of 162.62 feet to an iron stake for corner;

THENCE, S. 0°14'28"E, a distance of 1940.07 feet to a point on the Northerly property line of Celestial Drive, an iron stake for corner;

THENCE, Westerly, along said Northerly property line of Celestial Drive the following:

N. 71°12'W, a distance of 206.96 feet to an iron stake for corner;

S. 73°22'W, a distance of 467.51 feet to the PLACE OF BEGINNING and containing 29.345 Acres of Land.

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT, MONTFORT CORPORATION, does hereby adopt this plat designating the hereinabove described property as OAKS NORTH ADDITION, an addition to the City of Addison, Dallas County, Texas, and does hereby dedicate to the public use forever, the streets and alleys shown thereon, and does hereby reserve the easement strips shown on this plat for the mutual use and accommodation of all public utilities desiring to use or using same. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way, endanger or interfere with the construction, maintenance or efficiency of its respective systems on any of these easement strips; and any public utility shall, at all times, have the Right of Ingress and Egress to and from and upon the said easement strips for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, and adding to or removing all or part of its respective systems without the necessity, at any time, or procuring the permission of anyone.

WITNESS MY HAND AT DALLAS, TEXAS, this the _____ day of _____, 1978.

MONTFORT CORPORATION

Ray Williamson, President

BEFORE ME, the undersigned authority, a Notary Public in and for said County and State, on this day personally appeared Ray Williamson, President of MONTFORT CORPORATION, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same in the capacity therein stated, and for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the _____ day of _____, 1978.

Notary Public in and for Dallas County, Texas

ENGINEER'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:

THAT I, DON A. TIPTON, do hereby certify that I have prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the Platting Rules and Regulations of the City of Addison, Texas.

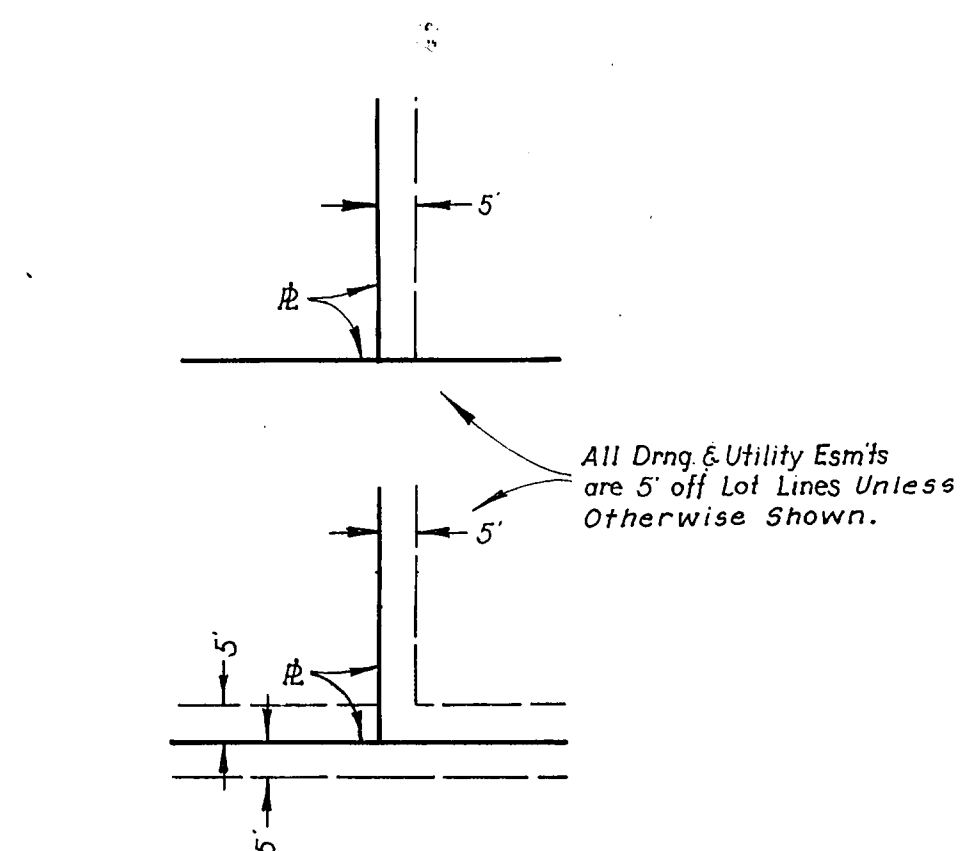
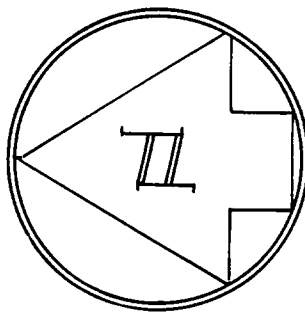
DON A. TIPTON
Registered Professional Engineer

BEFORE ME, the undersigned authority, a Notary Public in and for said County and State, on this day personally appeared DON A. TIPTON, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same in the capacity therein stated, and for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this the _____ day of _____, 1978.

Notary Public in and for Dallas County, Texas

BELT LINE ROAD



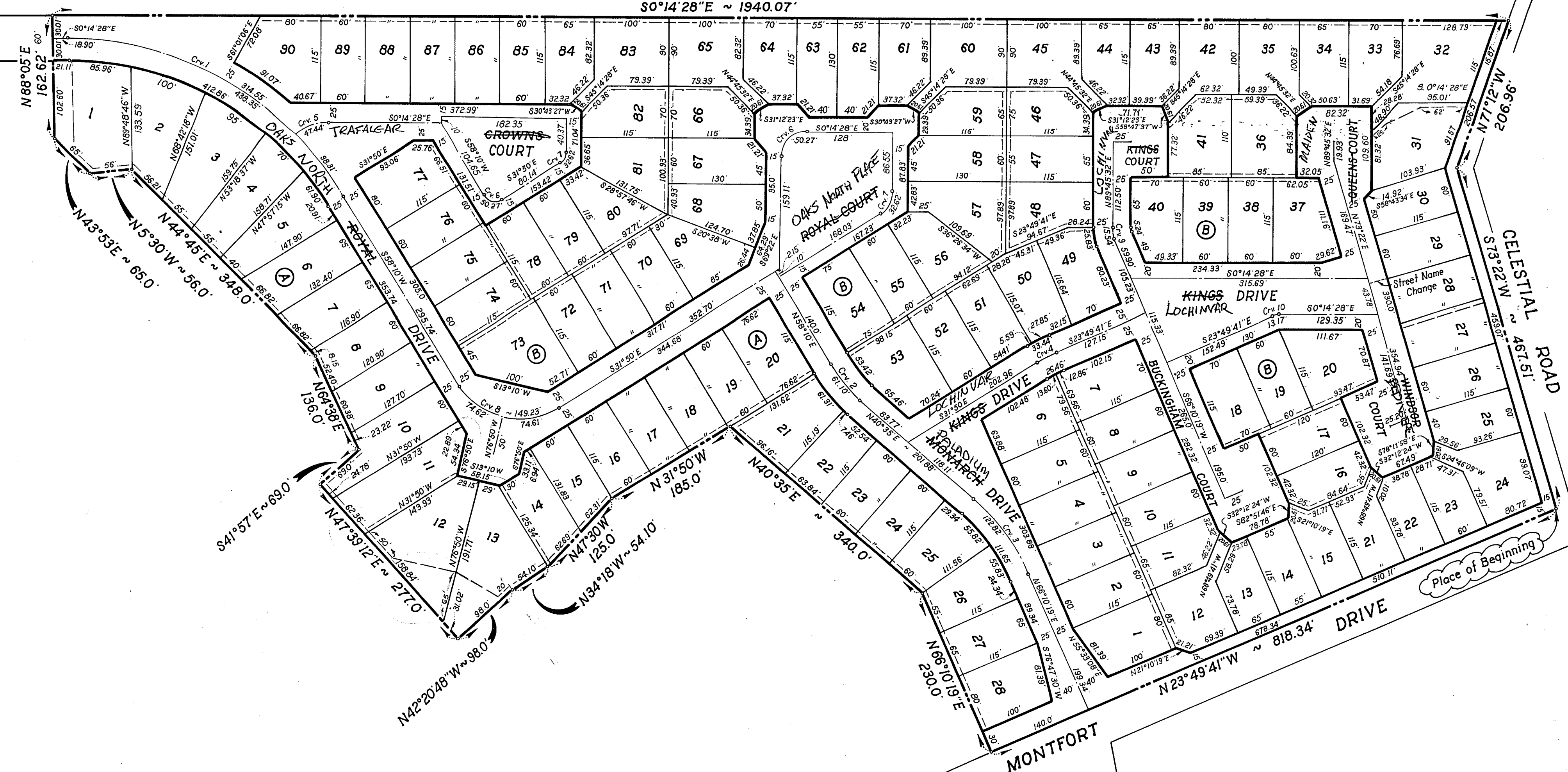
TYPICAL DRAINAGE & UTILITY ESM'TS.
No Scale

All Lot Lines Are Radial or Perpendicular to the Streets Unless Otherwise Noted By Bearing.

BUILDING LINES

- Front Yard @ Garage - 20' from #
- Front Yard @ Residence or Wall - 10' from #
- Side Yard - 10'
- Side Yard on Zero Lot Line Side - 2'
- Rear Yard - 12'
- Along "Stem" to Corner Lots - 5' on Adjacent Lots for Screening Walls

30°14'28"E ~ 1940.07'



OAKS NORTH ADDITION
ADDISON, TEXAS

ALLEN BLEDSOE SURVEY ABSTRACT NO. 157

DALLAS COUNTY, TEXAS

MONTFORT CORPORATION - OWNER

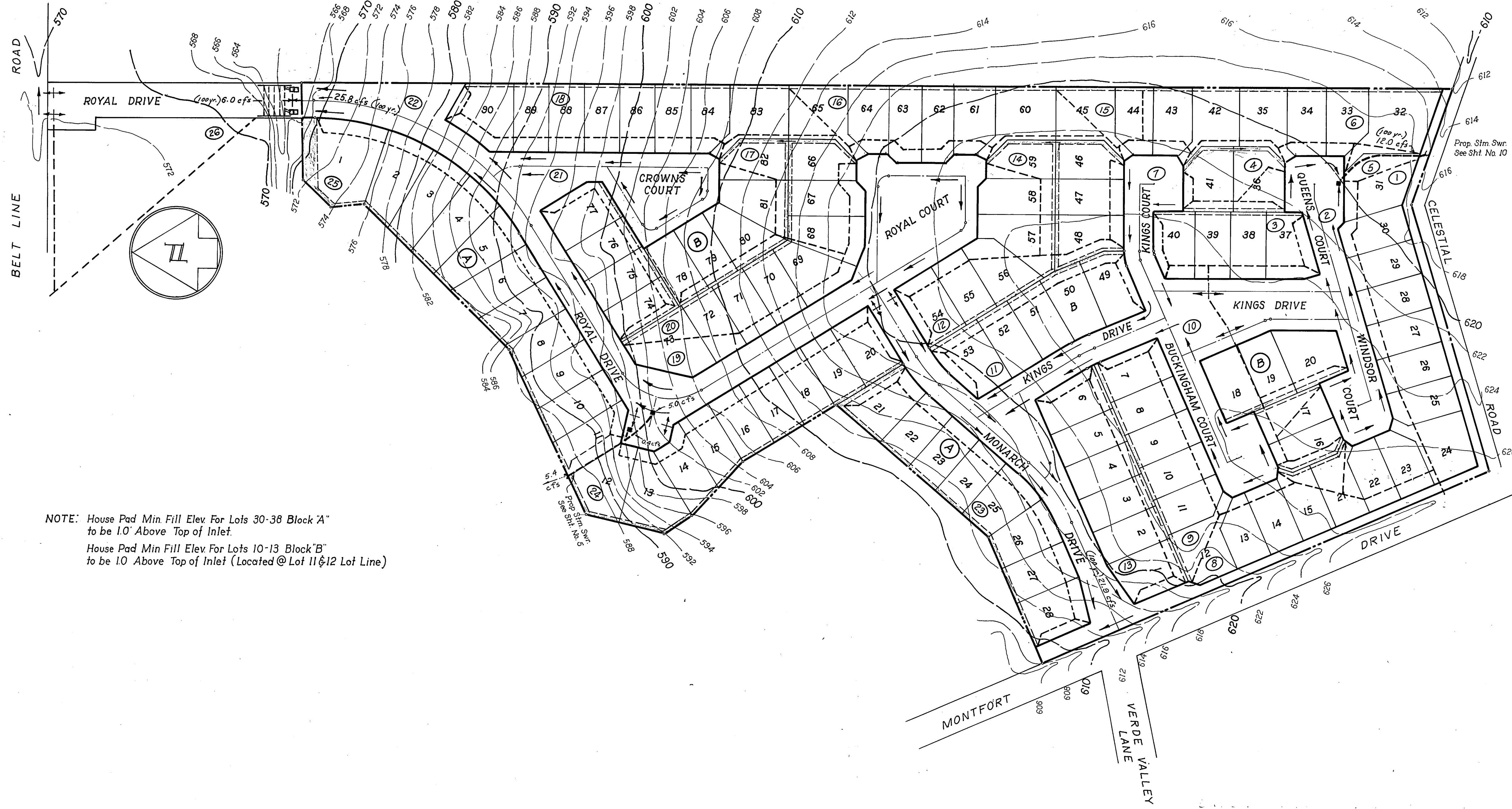
3362 - A Wiley Post Road Carrollton, Texas 75006

JOHN C. GIBSON CO., INC. ~ CONSULTING ENGINEERS

9510 Military Parkway Dallas, Texas 75227

Scale 1" = 100'

CURVE DATA							
No.	f	Inner	¢	Outer	No.	f	Outer
1	A	58°24'28"	58°24'28"	11°28'06"	A	R	90°00'
	T	405.0'	430.0'	455.0'	R	T	32.0'
	L	226.38	240.36	45.69'	T	L	50.27'
	D	412.86	438.35	31.07'	D	D	179.04938
	d	14.25269	13.32460	12.59248	d	d	0.69525
		0.07126	0.06662	0.06296			
2	A	17°35'	17°35'	17°35'	A	R	58°24'28"
	R	174.08	199.08	224.08	R	T	32.0'
	T	26.92	30.79	34.66	T	L	17.69'
	D	33.42	61.10	68.77'	D	D	32.62'
	d	32.91349	28.78029	25.56935	d	d	179.04938
		0.16457	0.14390	0.12785			0.69525
3	A	25°35'19"	25°35'19"	25°35'19"	A	R	90°00'
	R	250.0'	275.0'	300.0'	R	T	95.0'
	T	56.77'	62.45'	68.13'	T	L	95.0'
	D	111.65'	122.82'	134.00'	D	D	149.23'
	d	22.91832	20.63484	18.35137	d	d	60.31137
		0.11459	0.10417	0.09375			0.30156
4	A	8°00'19"	8°00'19"	8°00'19"	A	R	23°35'13"
	R	189.37'	214.37'	239.37'	R	T	37.74'
	T	13.25	15.0	16.75	T	L	62.74'
	L	26.46	29.95	33.44	L	L	15.54'
	D	30.25601	26.72753	23.93608	D	D	151.81717
	d	0.15128	0.13364	0.11968	d	d	179.04938
							0.45661
5	A	44°41'29"	44°41'29"	44°41'29"	A	R	23°35'13"
	R	60.82'	60.82'	60.82'	R	T	32.0'
	T	25.0	25.0	25.0	T	L	6.68'
	L	47.44'	47.44'	47.44'	L	L	13.17'
	D	34.20552	34.20552	34.20552	D	D	179.04938
	d	0.47103	0.47103	0.47103	d	d	0.69525



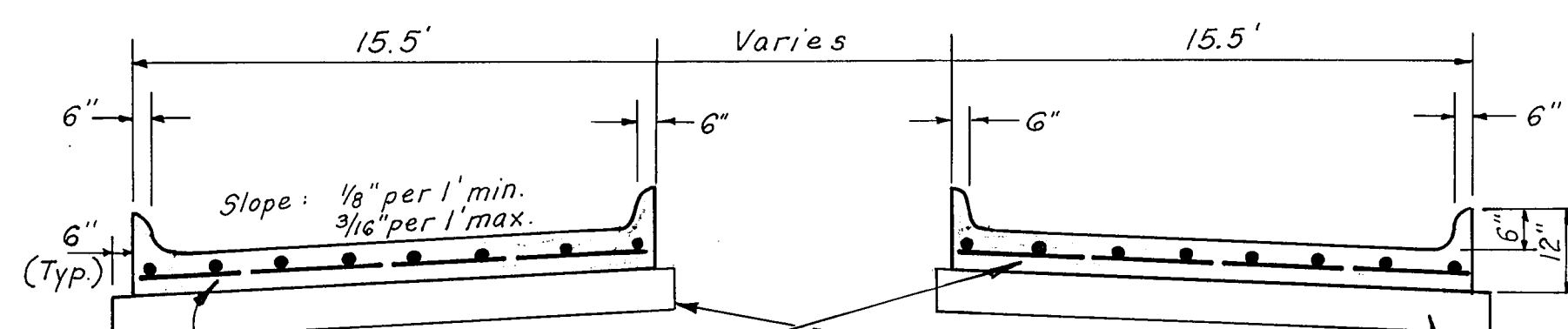
NOTE: House Pad Min Fill Elev. For Lots 30-38 Block 'A'
to be 1.0' Above Top of Inlet.
House Pad Min Fill Elev. For Lots 10-13 Block 'B'
to be 1.0' Above Top of Inlet (Located @ Lot 11 & 12 Lot Line)

DRAINAGE DATA				
AREA	ACRES	5yr. CFS	25yr. CFS	100yr. CFS
1	1.4	3.1	4.1	4.9
2	2.4	5.3	7.0	8.4
3	0.5	1.1	1.5	1.8
4	0.3	0.7	0.9	1.1
5	0.2	0.4	0.6	0.7
6	0.9	2.0	2.6	3.2
7	0.9	2.0	2.6	3.2
8	1.0	2.2	2.9	3.5
9	0.8	1.8	2.3	2.8
10	1.6	3.5	4.6	5.6
11	1.1	2.4	3.2	3.9
12	0.5	1.1	1.5	1.8
13	2.1	4.6	6.1	7.4
14	0.7	1.5	2.0	2.5
15	0.4	0.9	1.2	1.4
16	0.9	2.0	2.6	3.2
17	0.6	1.3	1.7	2.1
18	1.1	2.4	3.2	3.9
19	2.9	6.4	8.4	10.2
20	0.8	1.8	2.3	2.8
21	1.9	4.2	5.5	6.6
22	1.9	4.2	5.5	6.6
23	1.0	2.2	2.9	3.5
24	1.0	2.2	2.9	3.5
25	2.1	4.6	6.1	7.4
26	1.7	3.7	4.9	6.0

Time = 15 minutes
C = 0.50
I₅ = 4.4
I₂₅ = 5.8
I₁₀₀ = 7.0

5yr. R.F. = 2.2 cfs per Ac.
25yr. R.F. = 2.9 cfs per Ac.
100yr. R.F. = 3.5 cfs per Ac.

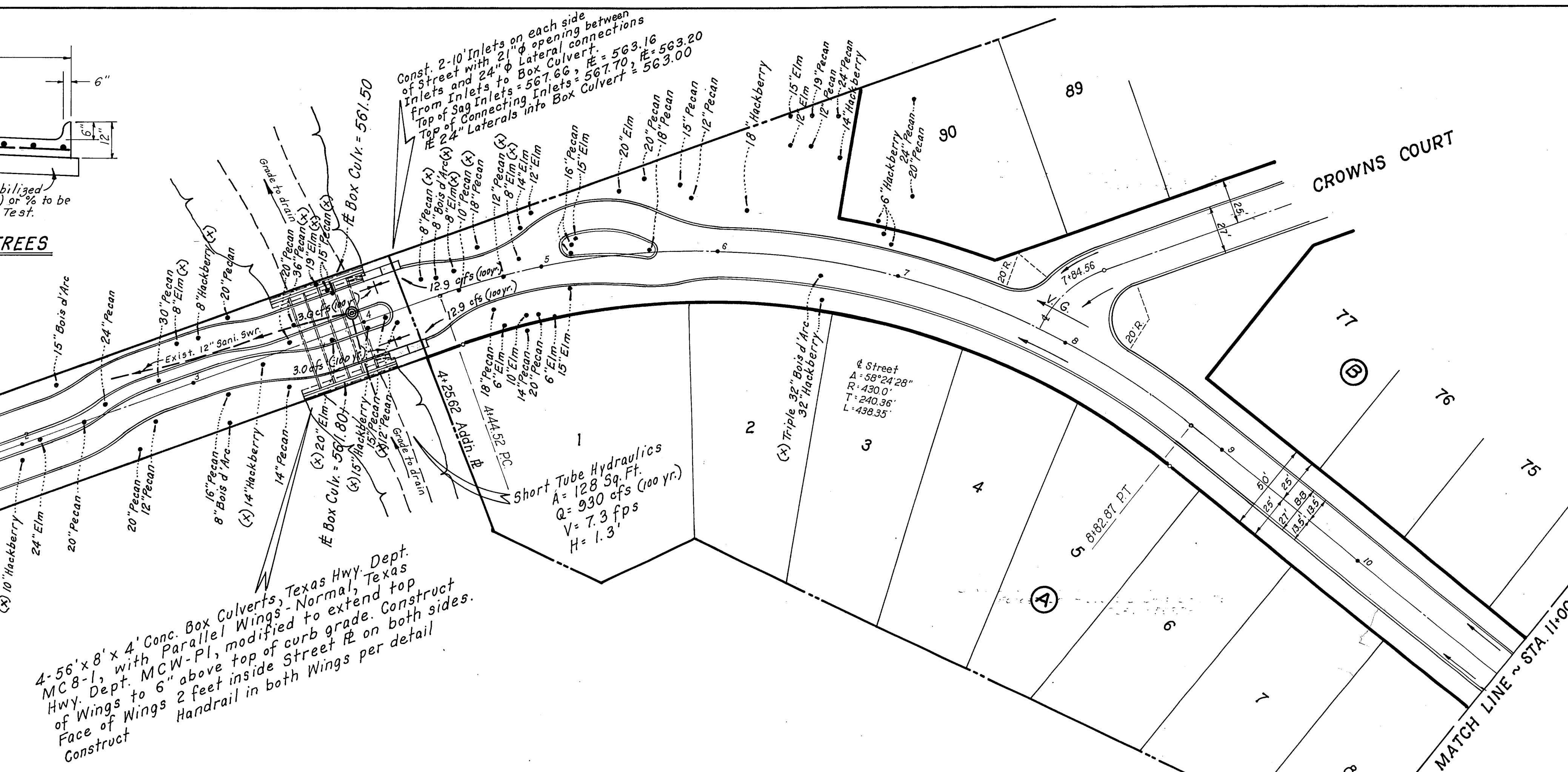
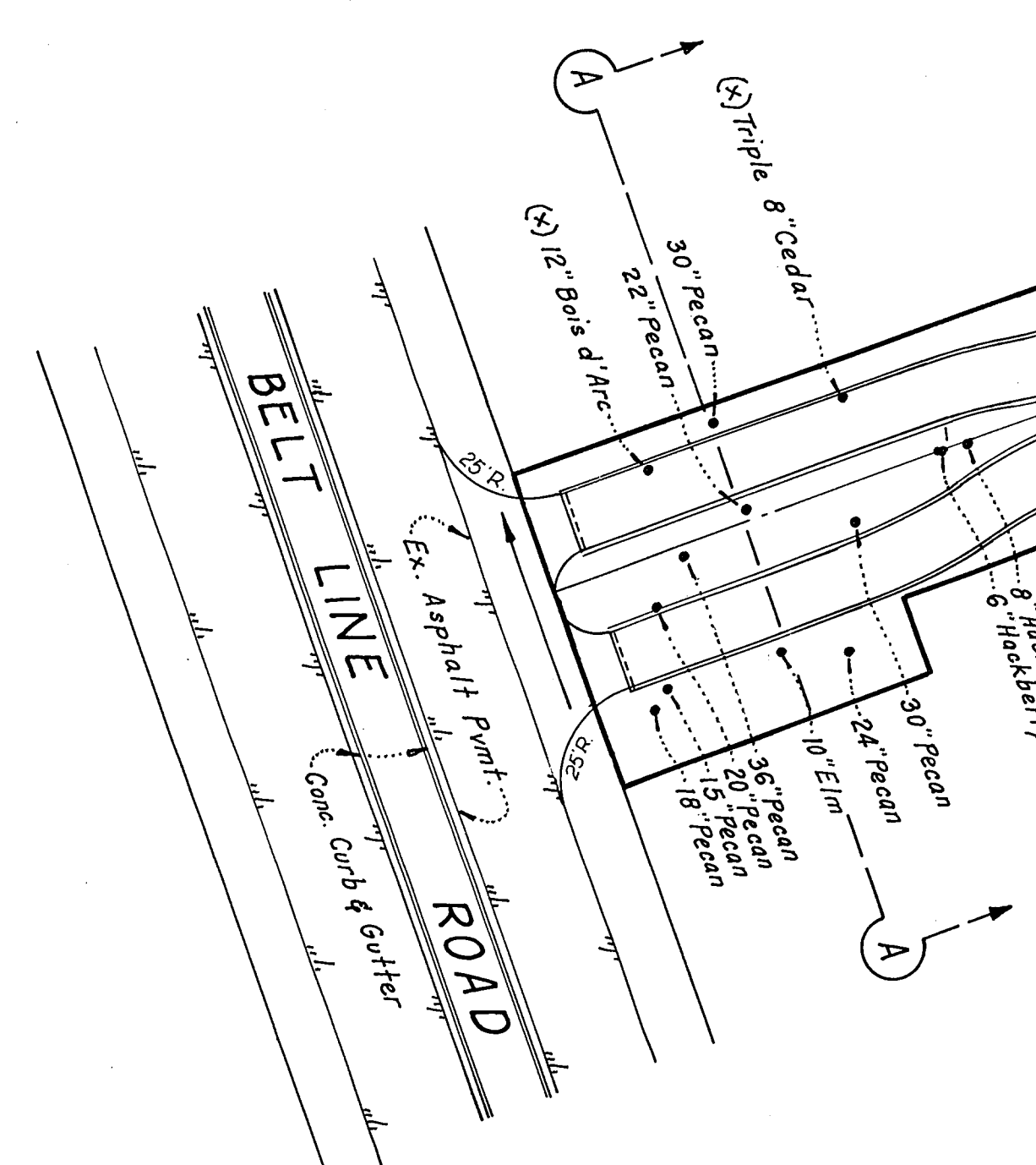
DRAINAGE MAP						
OAKS NORTH ADDITION						
ADDISON, TEXAS						
John C. Gibson Co., Inc. Consulting Engineers						
9510 Military Parkway Dallas, Texas 75227						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
A.D.M.	A.D.M.	Aug 23, 1978	1" = 100'	D.B.	Oaks North Addition	3 16



PAVING SECTION FOR DIVIDED LANES TO SAVE TREES

Prop. 6" thick 3000 psi Reinf. Conc. Pmnt. w/ No. 3 bars on 24" centers both ways.

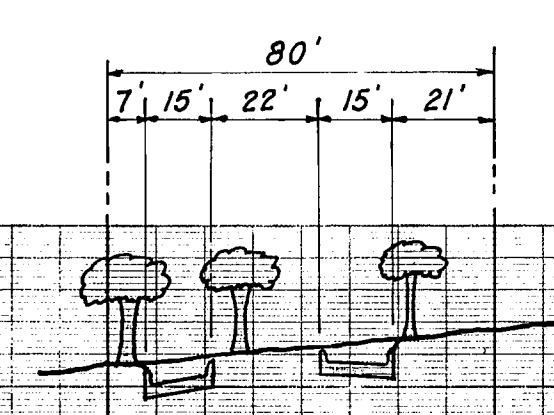
6" 6% max. Lime Stabilized Subgrade (If Required) or % to be determined by Lab Test.



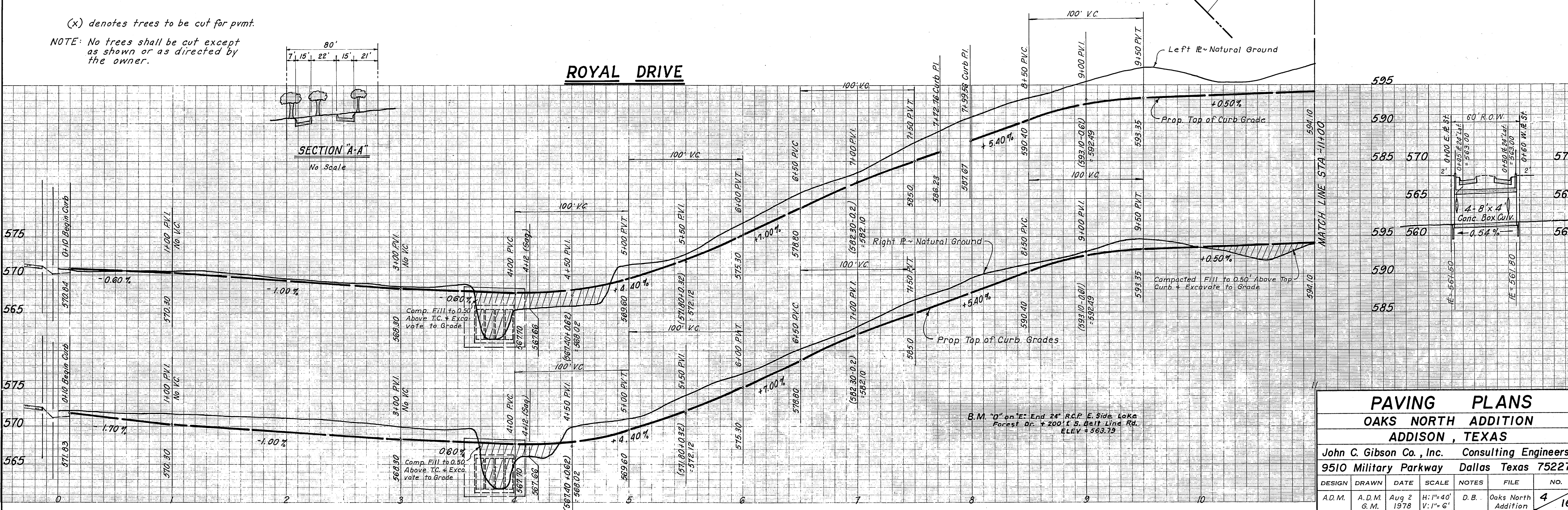
FOR HANDRAIL DETAIL SEE LANDSCAPE ARCHITECT PLAN

NOTE: On All Streets w/ Islands Contractor to verify island Configuration with owner prior to Start of Construction.

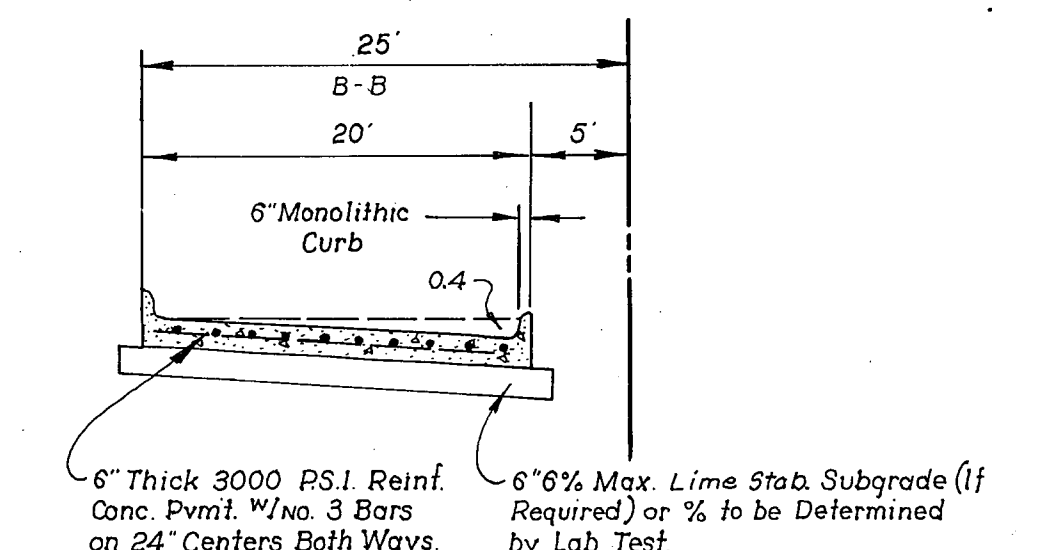
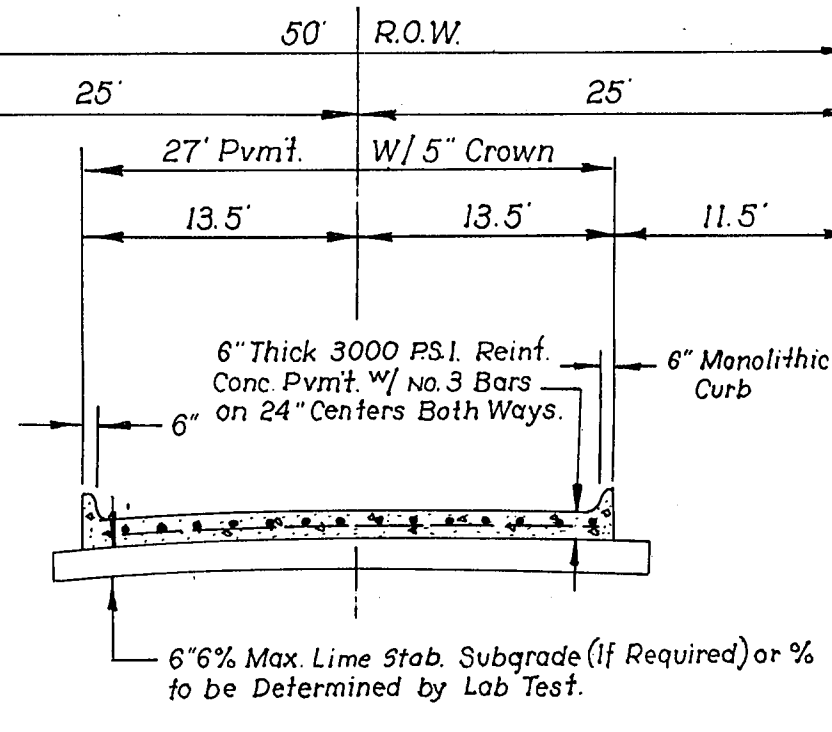
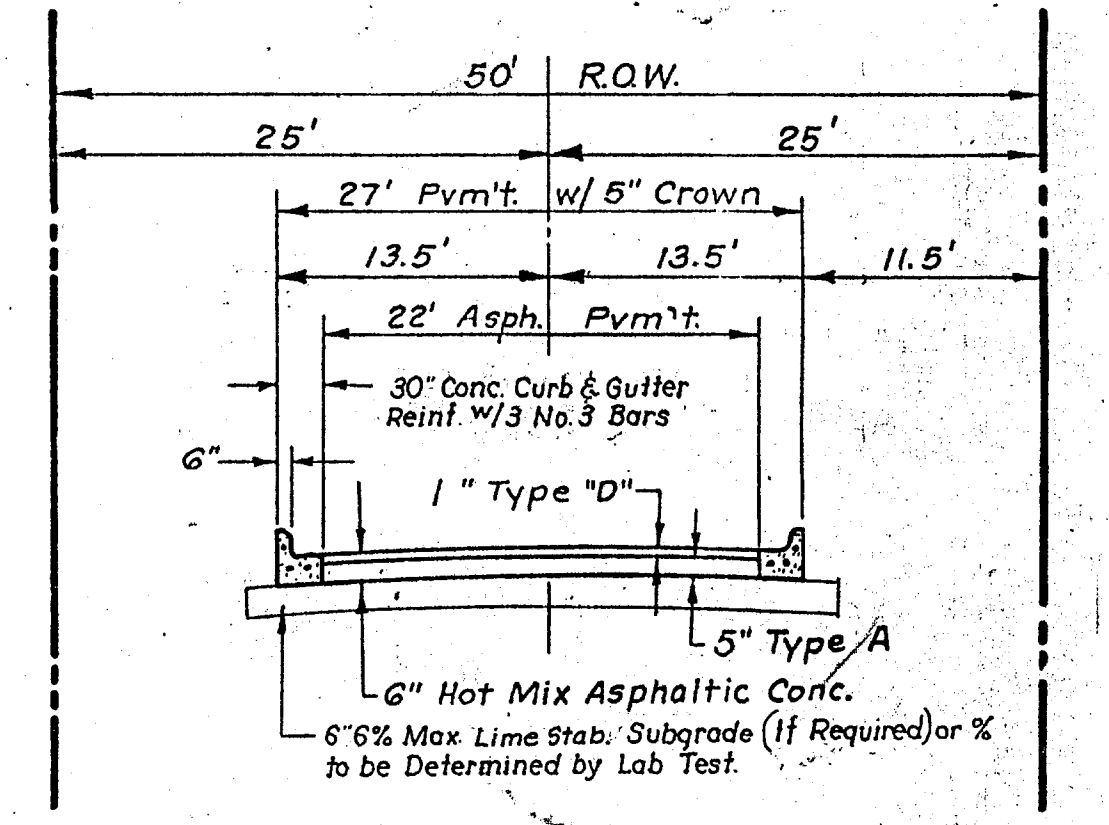
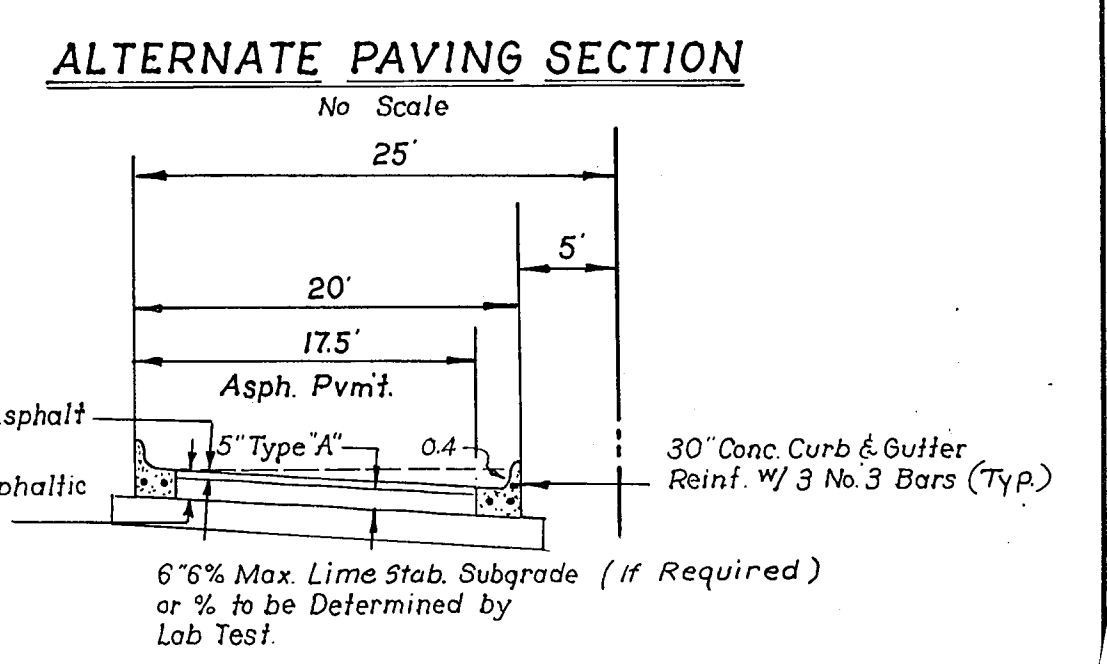
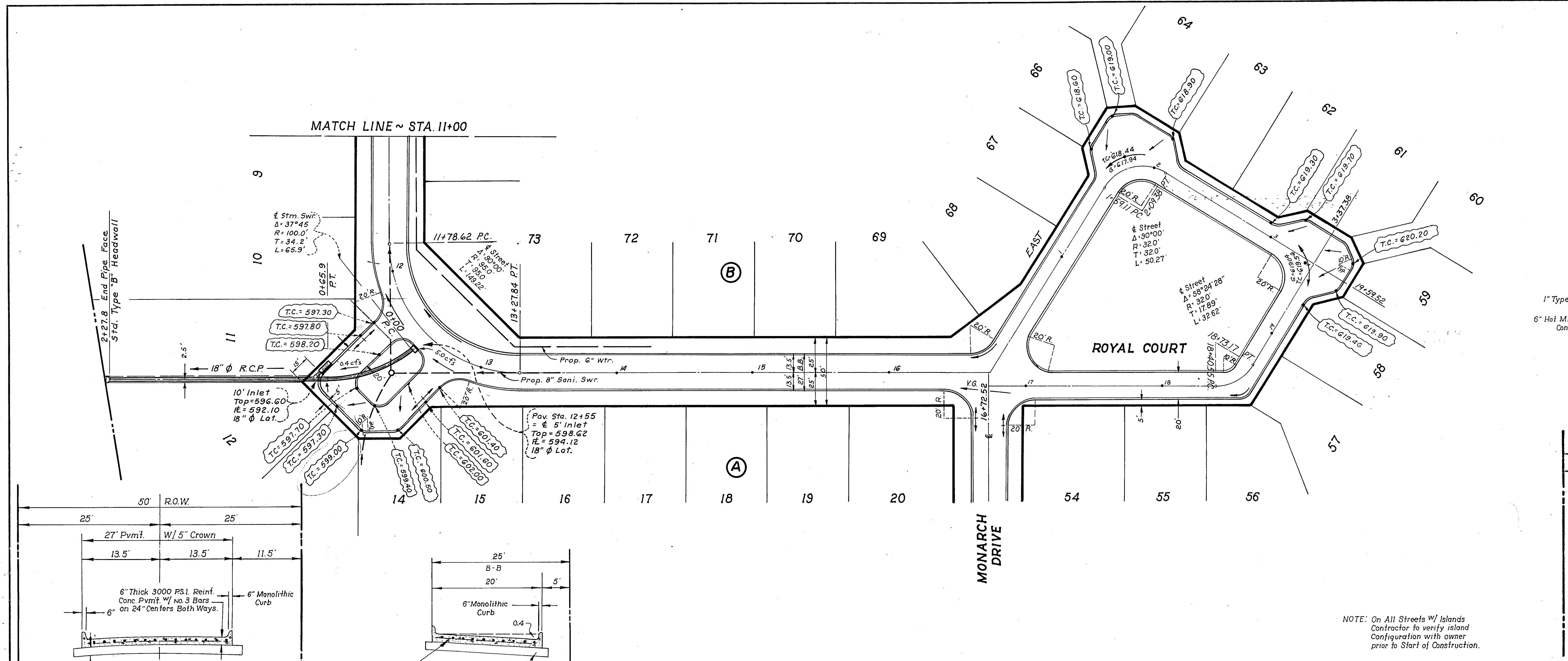
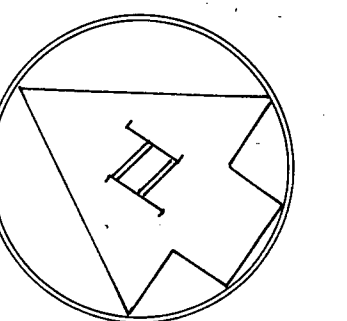
(x) denotes trees to be cut for pvmt.
 NOTE: No trees shall be cut except as shown or as directed by the owner.



ROYAL DRIVE



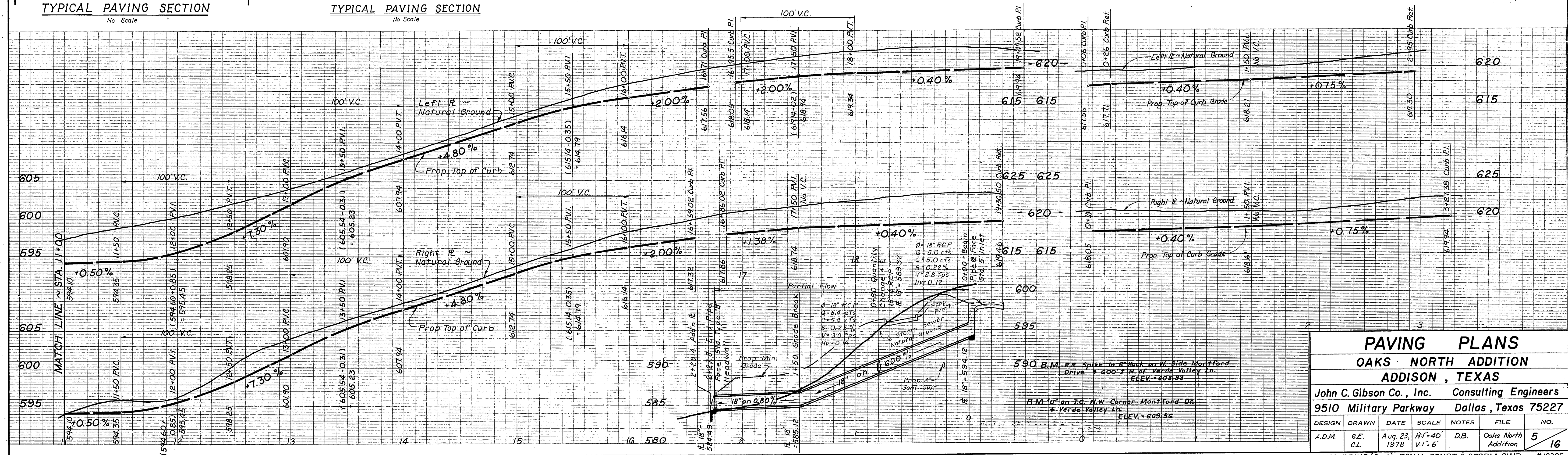
PAVING PLANS						
OAKS NORTH ADDITION						
ADDISON, TEXAS						
John C. Gibson Co., Inc. Consulting Engineers						
9510 Military Parkway Dallas Texas 75227						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
A.D.M.	A.D.M. G.M.	Aug 2 1978	H: 1" = 40' V: 1" = 6'	D.B.	Oaks North Addition	4 16



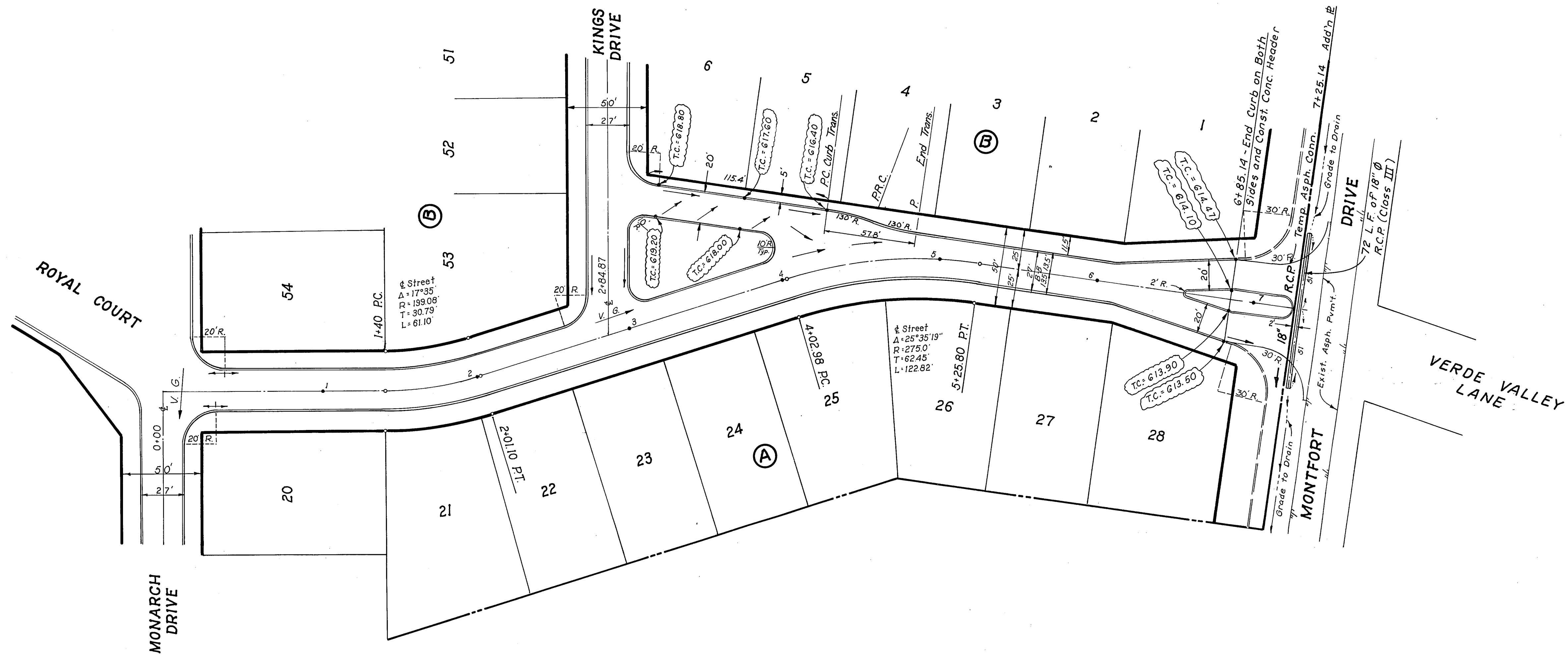
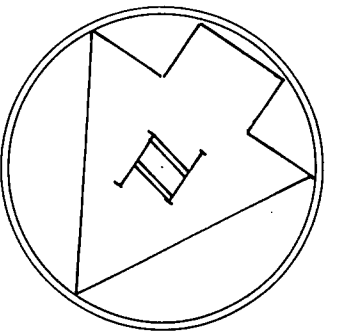
ROYAL DRIVE

ROYAL COURT

NOTE: On All Streets w/ Islands Contractor to verify island Configuration with owner prior to Start of Construction.

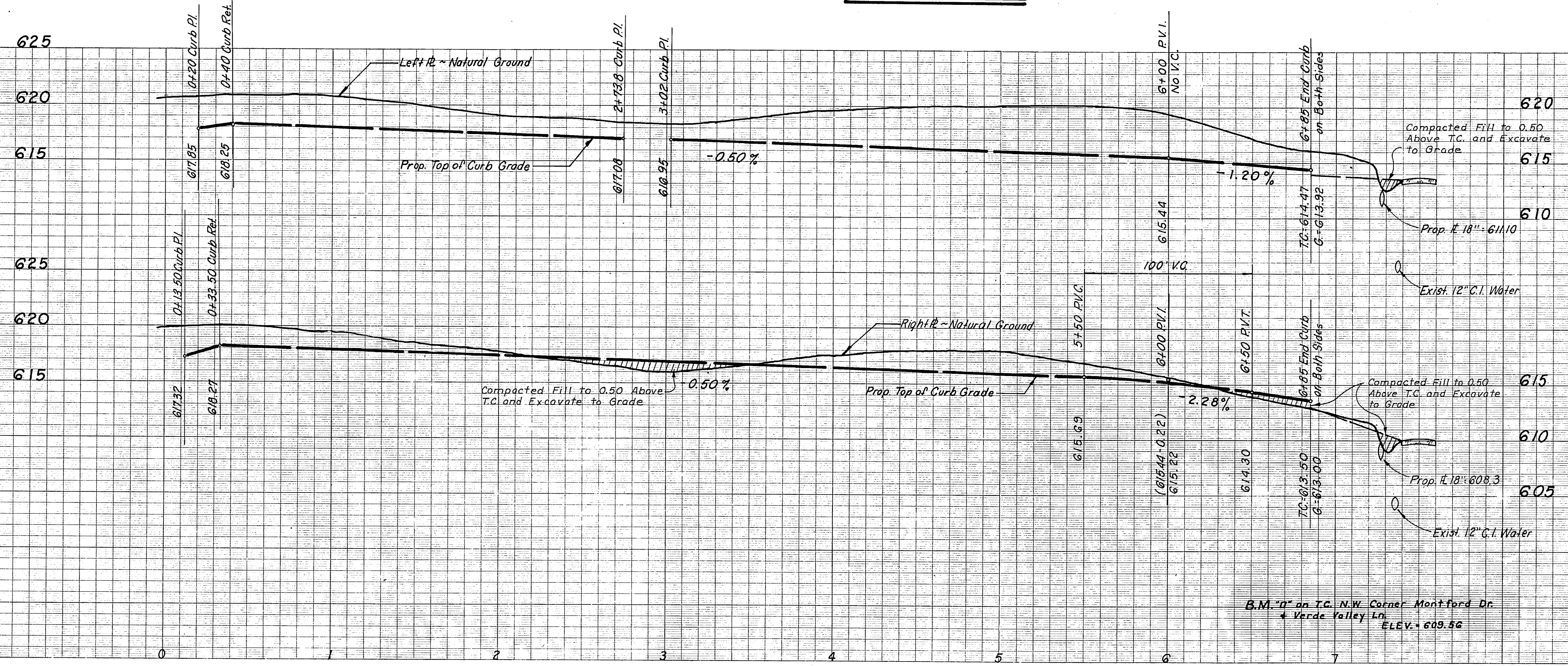


PAVING PLANS						
OAKS NORTH ADDITION						
ADDISON, TEXAS						
John C. Gibson Co., Inc.			Consulting Engineers			
9510 Military Parkway			Dallas, Texas 75227			
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
A.D.M.	G.E.	Aug. 23, 1978	1/1" = 6'	D.B.	Oaks North Addition	5
ROYAL DRIVE (Cont.) ROYAL COURT & STORM SWR.						#10386



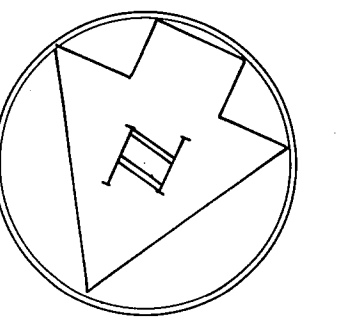
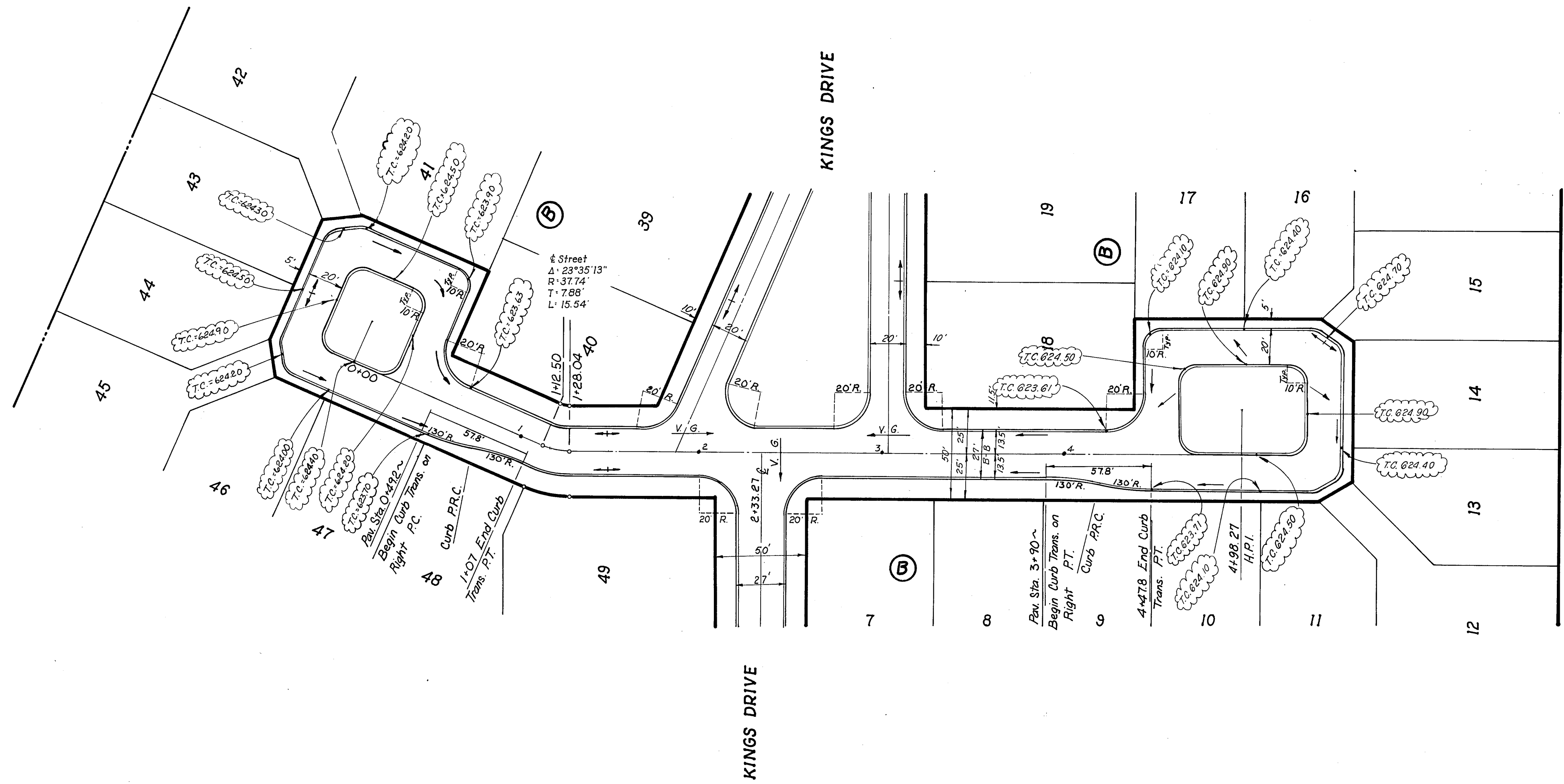
NOTE: On All Streets w/ Islands
Contractor to verify Island
Configuration with owner
prior to Start of Construction

KINGS DRIVE



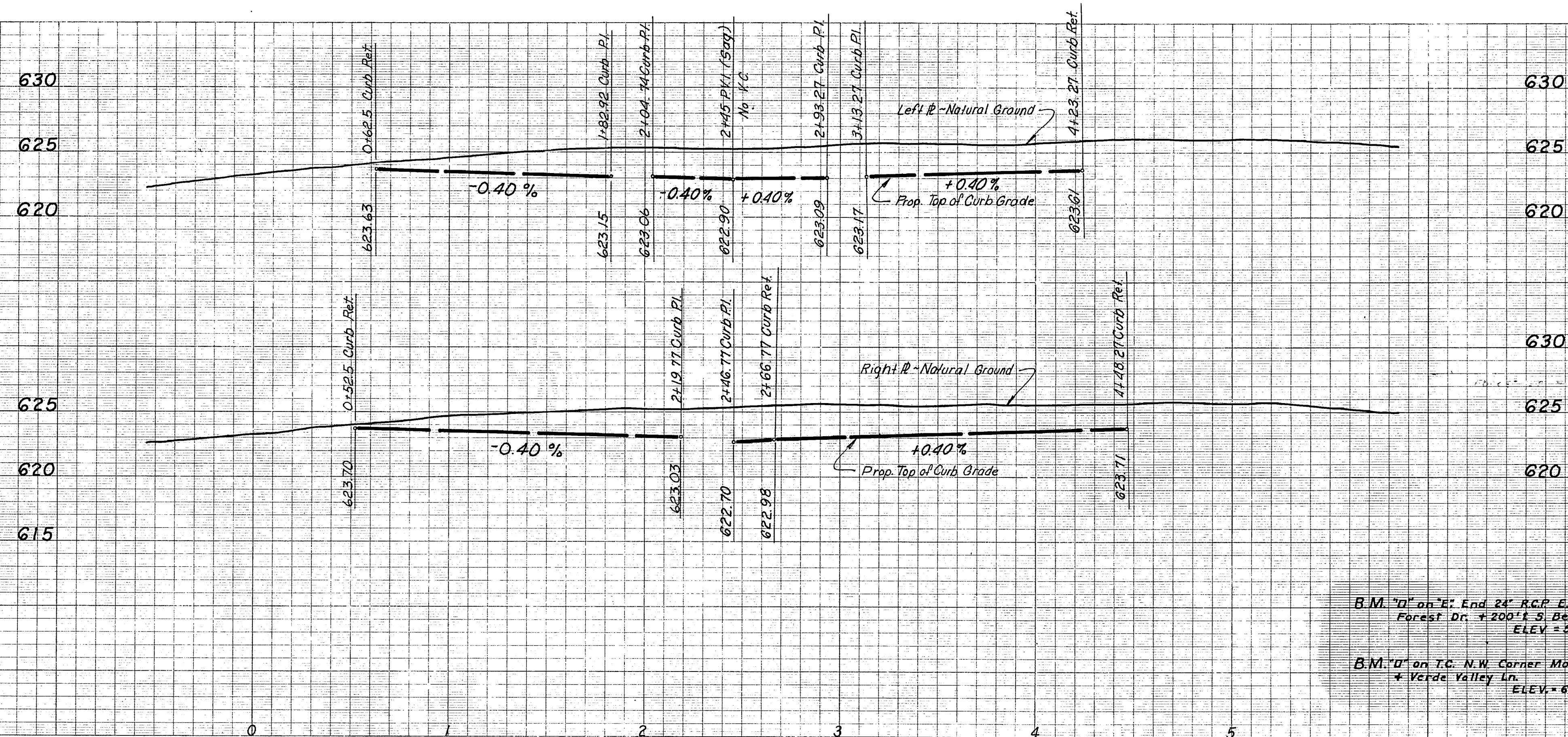
B.M. "0" on T.C. N.W. Corner Montford Dr.
+ Verde Valley Ln.
ELEV. 609.56

PAVING PLANS						
OAKS NORTH ADDITION						
ADDISON, TEXAS						
John C. Gibson Co., Inc. Consulting Engineers						
9510 Military Parkway Dallas, Texas 75227						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
A.D.M.	G.E.	Aug 23, 1978	H: 1"=40' V: 1"=6'	d.b.	Oaks North Addition	7/16



KINGS COURT

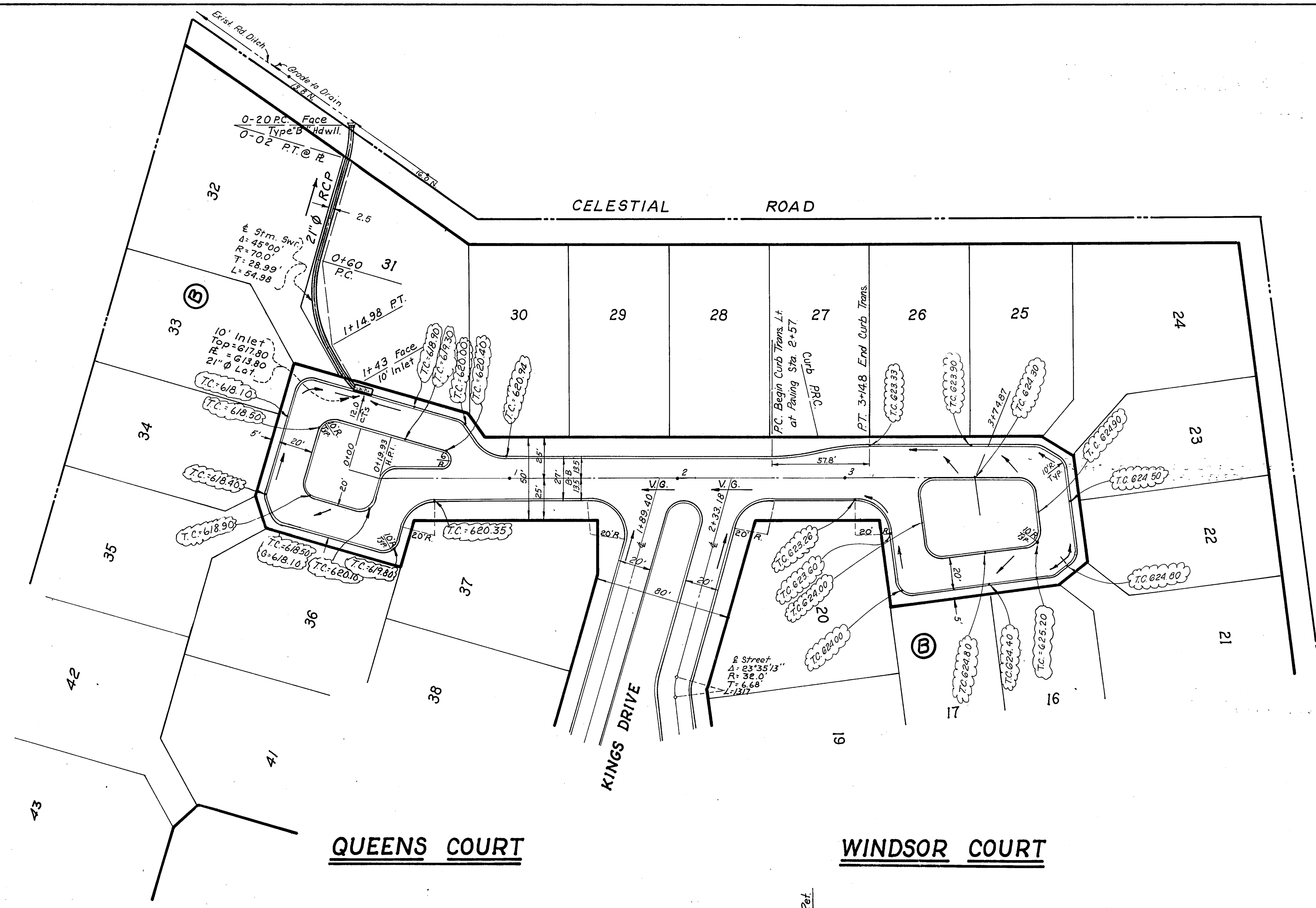
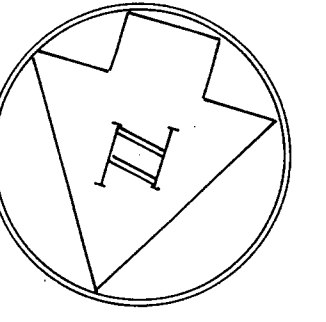
BUCKINGHAM COURT



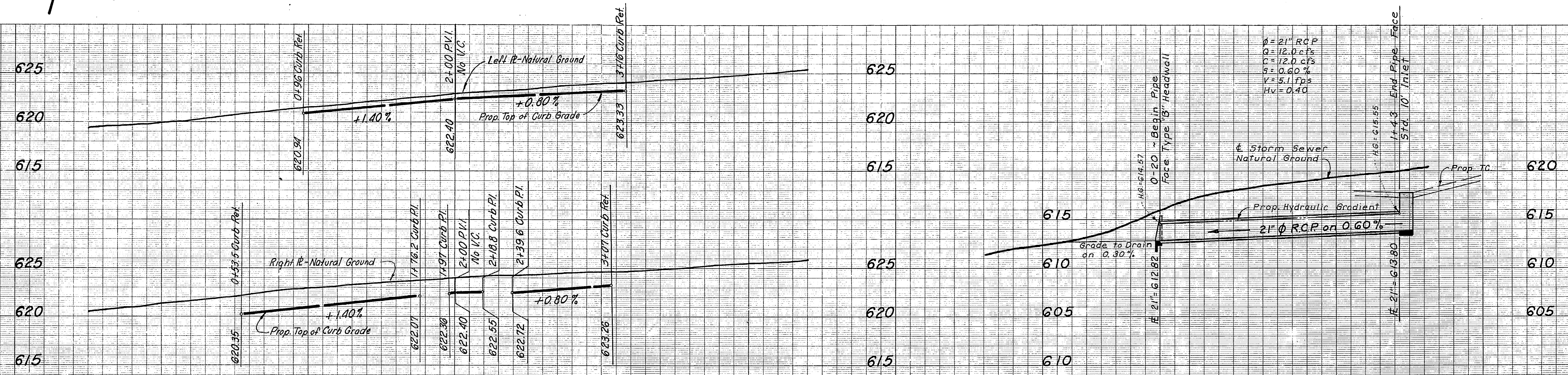
B.M. "D" on "E" End 24" R.C.P. E. Side Lake Forest Dr. +200' S. Belt Line Rd. ELEV. = 563.73

B.M. "D" on T.C. N.W. Corner Montford Dr. + Verde Valley Ln. ELEV. = 609.56

PAVING PLANS						
OAKS NORTH ADDITION						
ADDISON, TEXAS						
John C. Gibson Co., Inc. ~ Consulting Engineers						
9510 Military Parkway ~ Dallas, Texas 75227						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
A.D.M.	G.F.	Aug 23, 1978	H/1"=40'	D.B.	Oaks North Addition	9
	G.D.		V/1"=6'			16

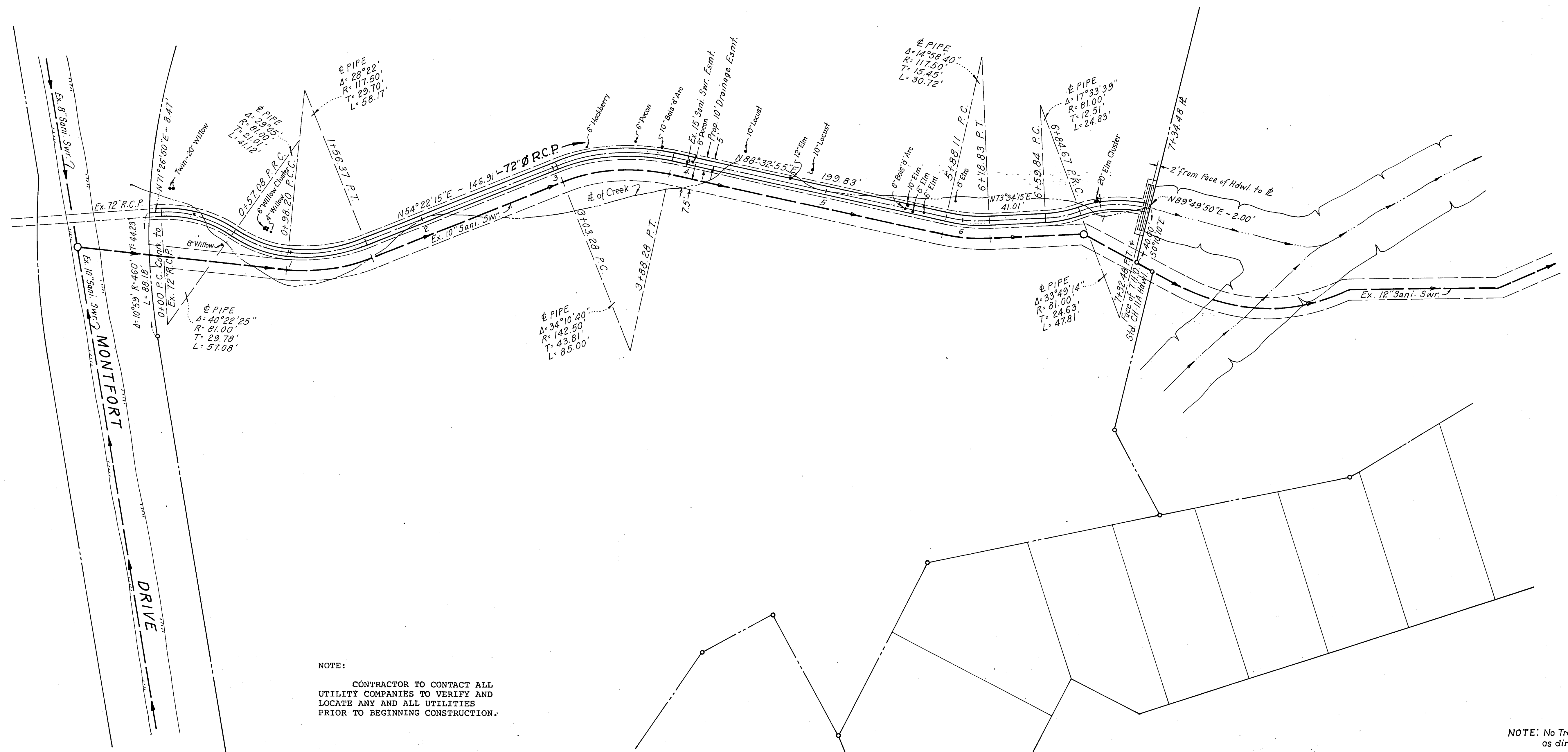
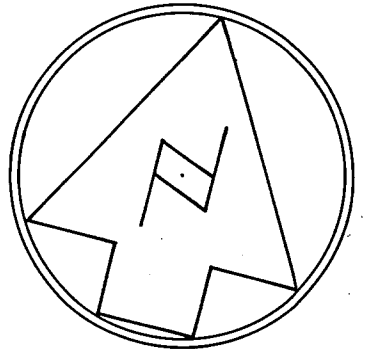


NOTE: On All Streets w/ Islands
Contractor to Verify Island
Configuration With Owner
Prior to Start of Construction.



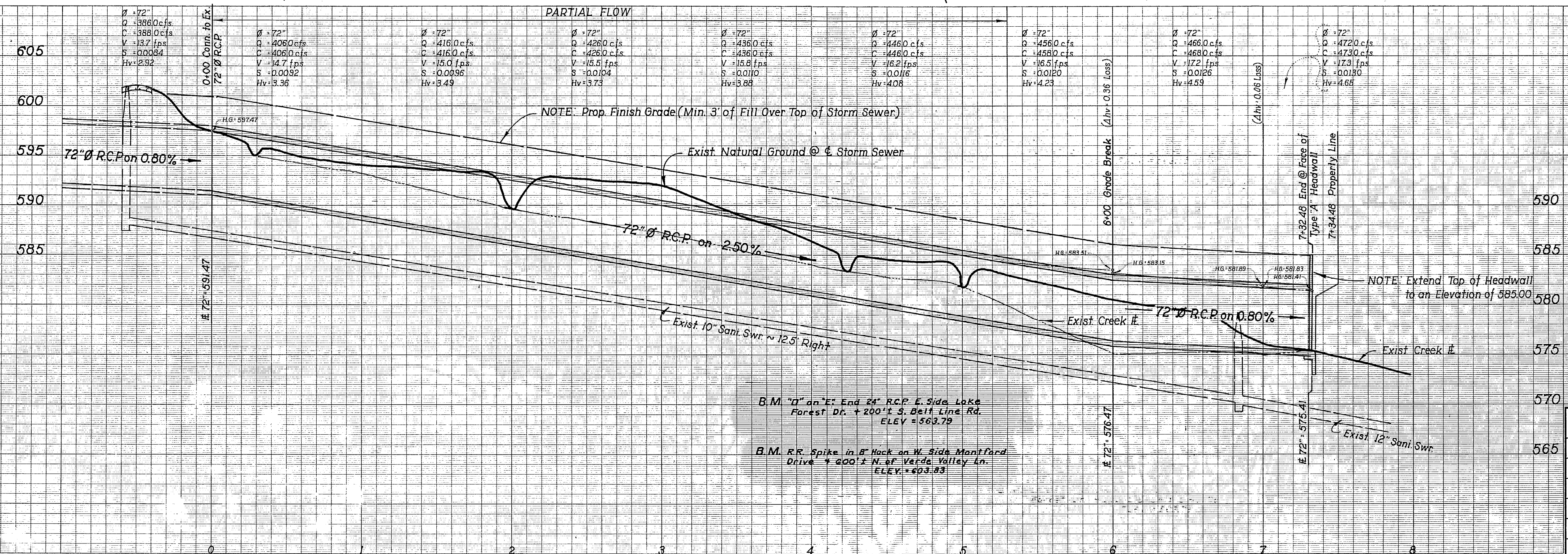
B.M. "D" on T.C. N.W. Corner Montford Dr.
+ Verde Valley Ln.
ELEV. = 609.56

PAVING PLANS						
OAKS NORTH ADDITION						
ADDISON, TEXAS						
John C. Gibson Co. Inc. ~ Consulting Engineers						
9510 Military Parkway ~ Dallas, Texas 75227						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
A.D.M.	G.E. G.D.	Aug. 23, 1978	H: 1/2"=40' V: 1"=6'	D.B.	Oaks North Addition	10 16



NOTE:
CONTRACTOR TO CONTACT ALL
UTILITY COMPANIES TO VERIFY AND
LOCATE ANY AND ALL UTILITIES
PRIOR TO BEGINNING CONSTRUCTION.

NOTE: No Trees shall be cut except
as directed by the owner.



PARTIAL FLOW

Station	Flow (Q)	Velocity (V)	Head (Hv)
0+00	386.0 cfs	13.7 fps	2.32
1+00	406.0 cfs	14.7 fps	3.36
2+00	416.0 cfs	15.0 fps	3.49
3+00	426.0 cfs	15.5 fps	3.73
4+00	436.0 cfs	16.2 fps	4.08
5+00	446.0 cfs	16.5 fps	4.23
6+00	456.0 cfs	16.5 fps	4.23
7+00	466.0 cfs	17.2 fps	4.59
8+00	472.0 cfs	17.3 fps	4.65

NOTE: Prop. Finish Grade (Min. 3' of Fill Over Top of Storm Sewer)

NOTE: Extend Top of Headwall
to an Elevation of 585.00

B.M. "A" on E. End of R.C.P. E. Side Lake
Forest Dr. + 200' x S. Bell Line Rd.
ELEV. = 563.79

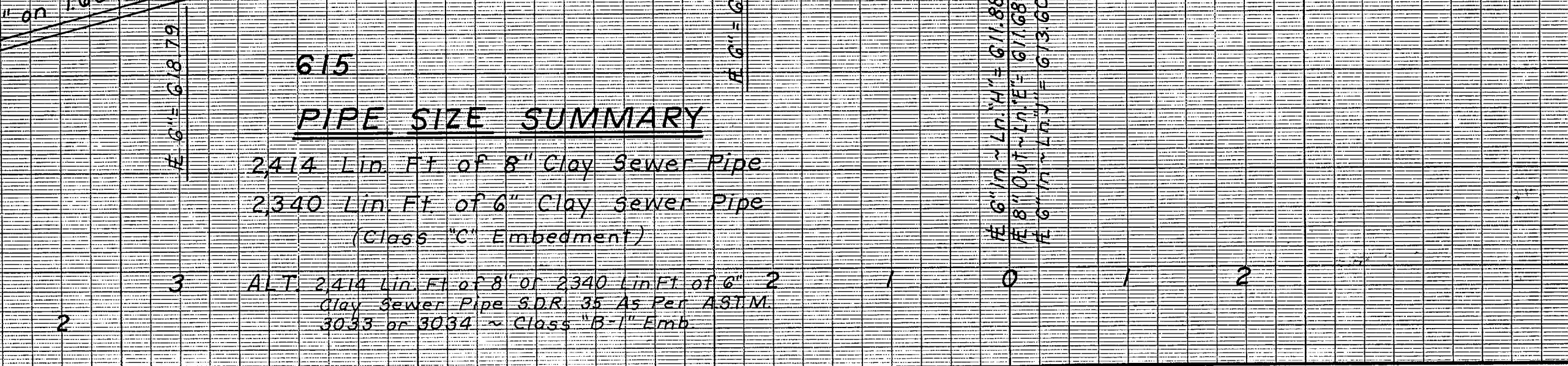
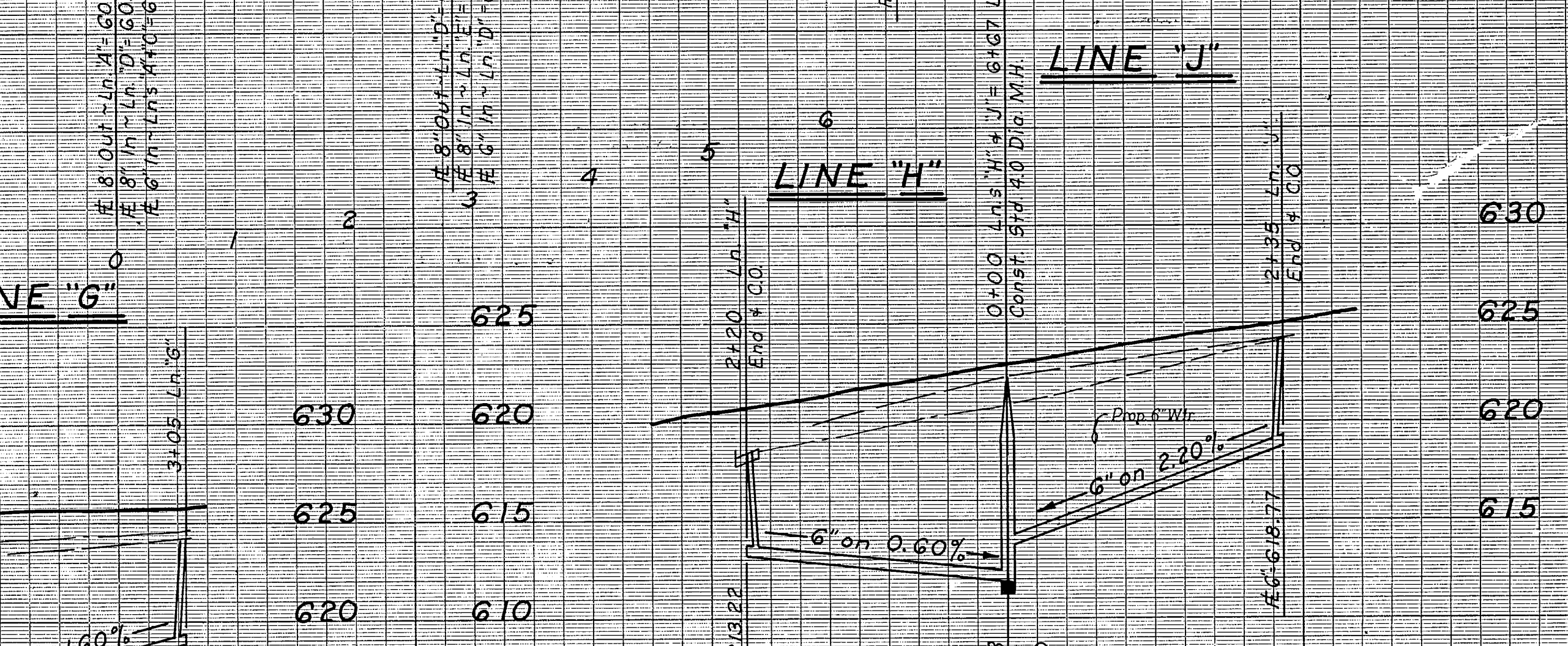
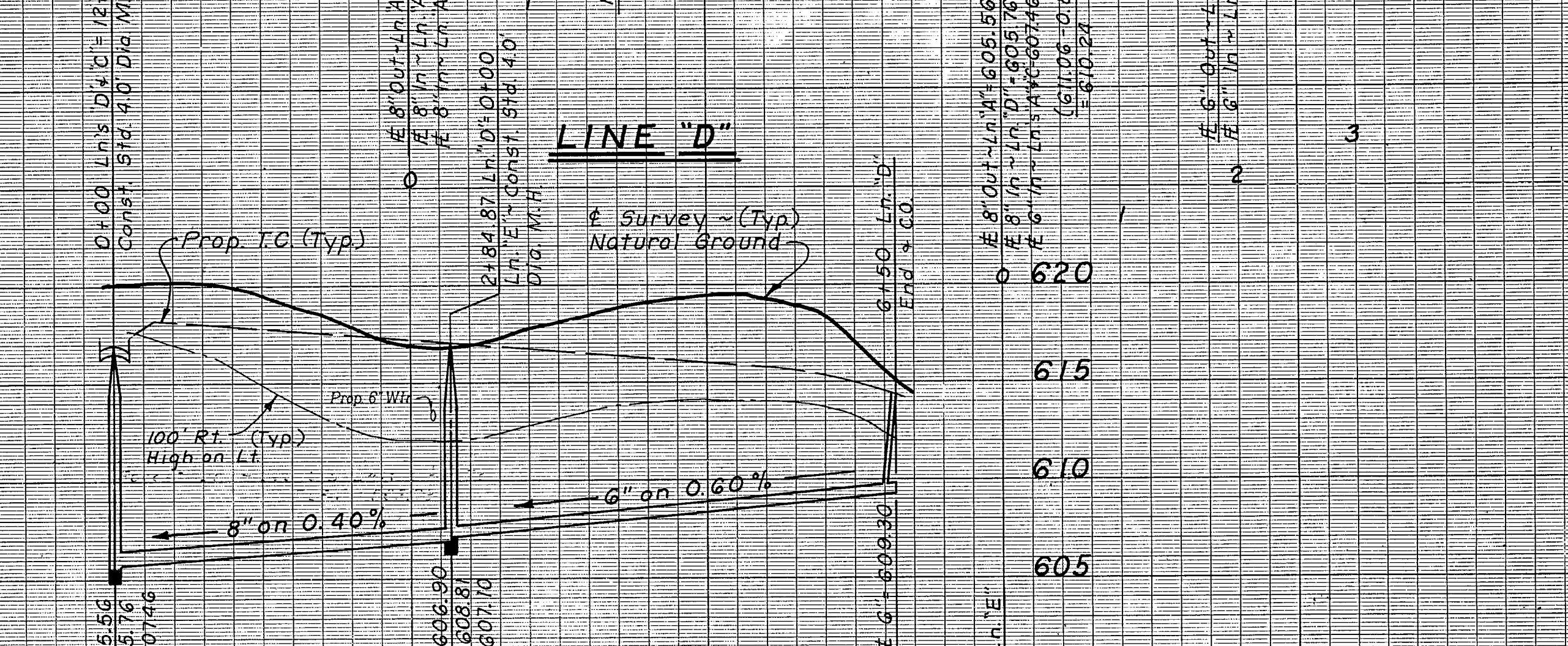
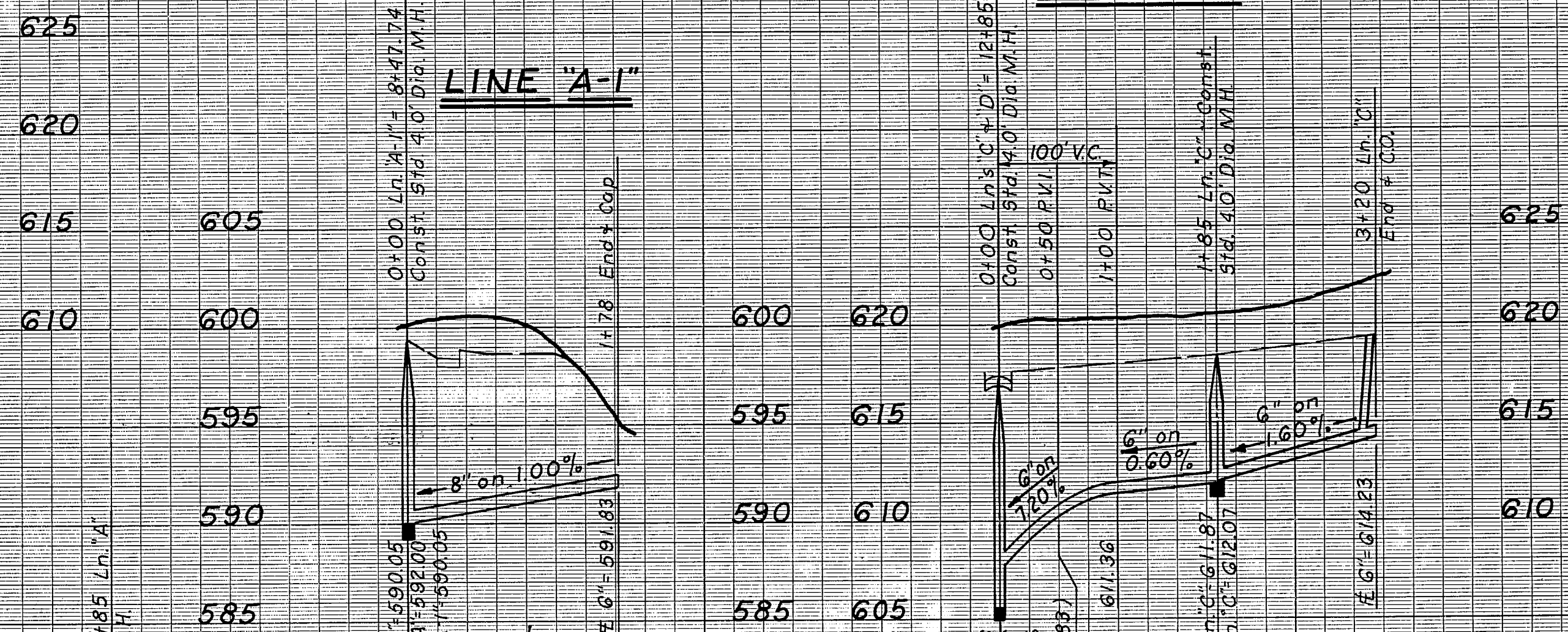
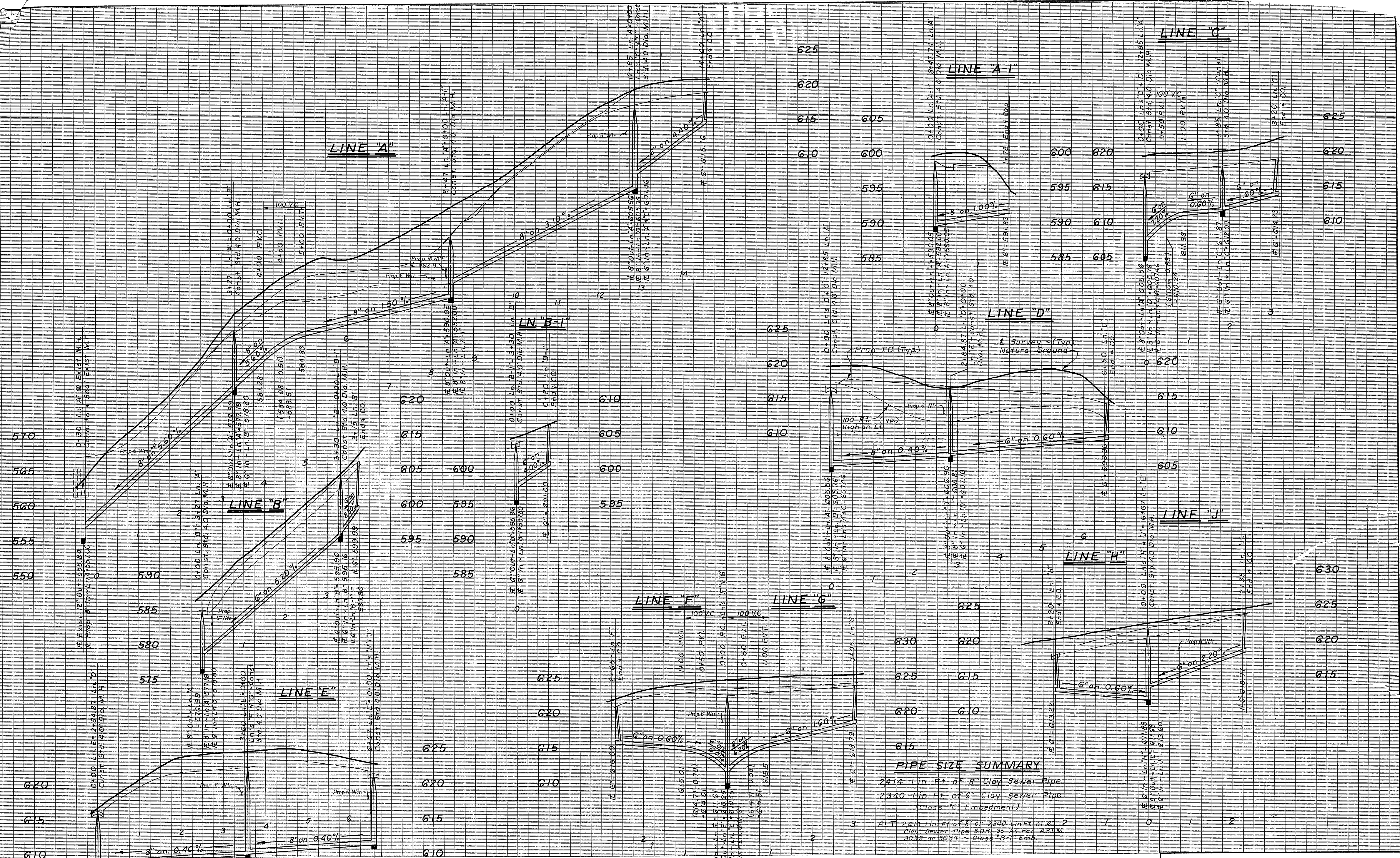
B.M. RR Spike in R. Hook on W. Side Montford
Drive + 200' x N. of Verde Valley Ln.
ELEV. = 603.83

STORM SEWER
OAKS NORTH ADDITION
ADDISON, TEXAS

John C. Gibson Co., Inc. - Consulting Engineers
9510 Military Parkway - Dallas, Texas 75227

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
A.D.M.	A.D.M.	Aug. 23, 1978	H: 1" = 40' V: 1" = 6'	D. B.	Oaks North Addition	12

STORM SEWER #10386



PIPE SIZE SUMMARY

2414 Lin. Ft. of 8" Clay Sewer Pipe
 2340 Lin. Ft. of 6" Clay Sewer Pipe
 (Class "C" Embedment)

ALT. 2414 Lin. Ft. of 8" or 2340 Lin. Ft. of 6" 2
 Clay Sewer Pipe S.D.R. 35 As Per ASTM
 3033 or 3034 ~ Class "B-1" Emb.

B.M. "D" on "E" End 24" R.C.P. E. Side Lake
 Forest Dr. + 200' S. Bell Line Rd.
 ELEV. = 663.79

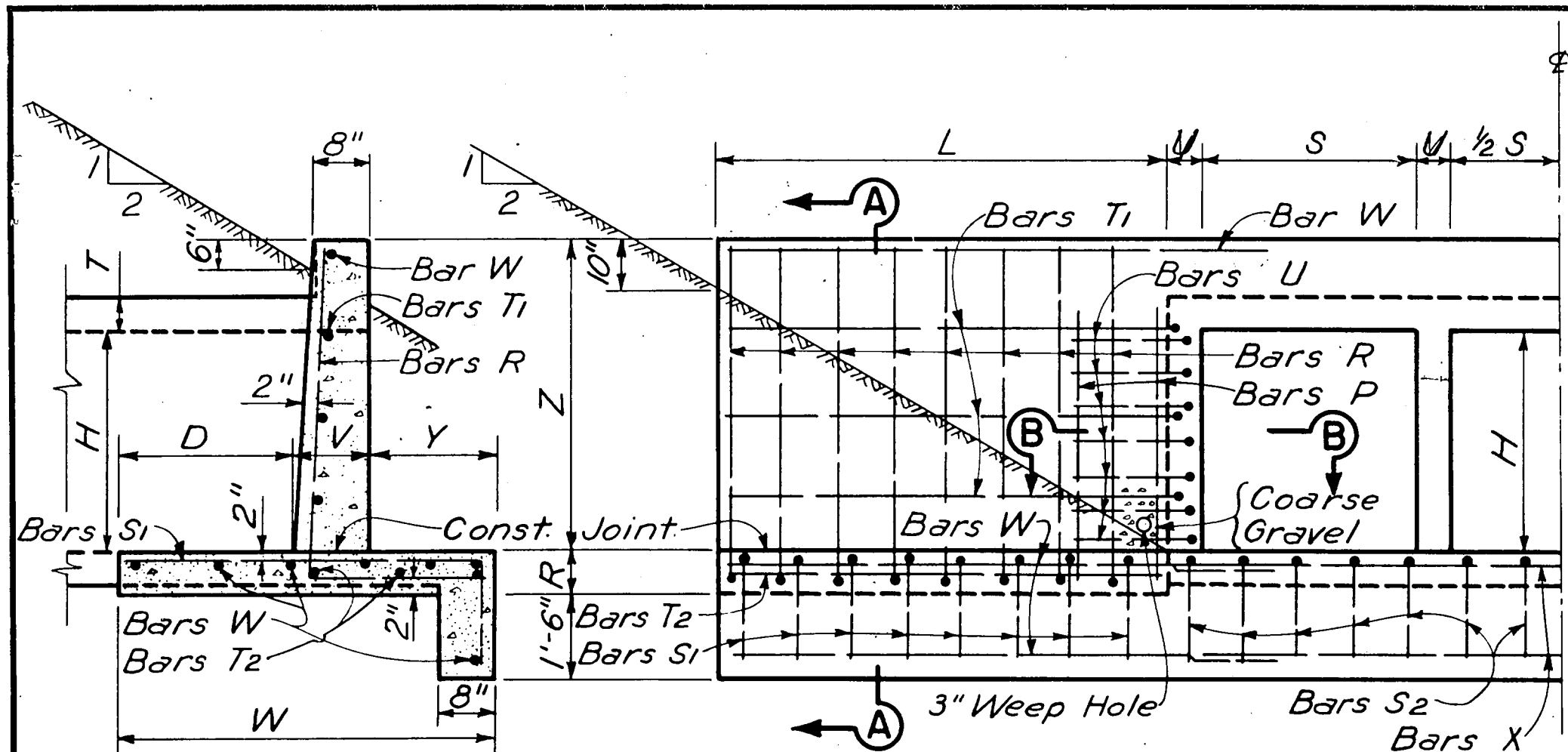
B.M. "D" on T.C. N.W. Corner Montford Dr.
 + Verde Valley Ln.
 ELEV. = 609.56

B.M. RR. Spike in 8" Hack on W. Side Montford
 Drive + 600' ± N. of Verde Valley Ln.
 ELEV. = 603.83

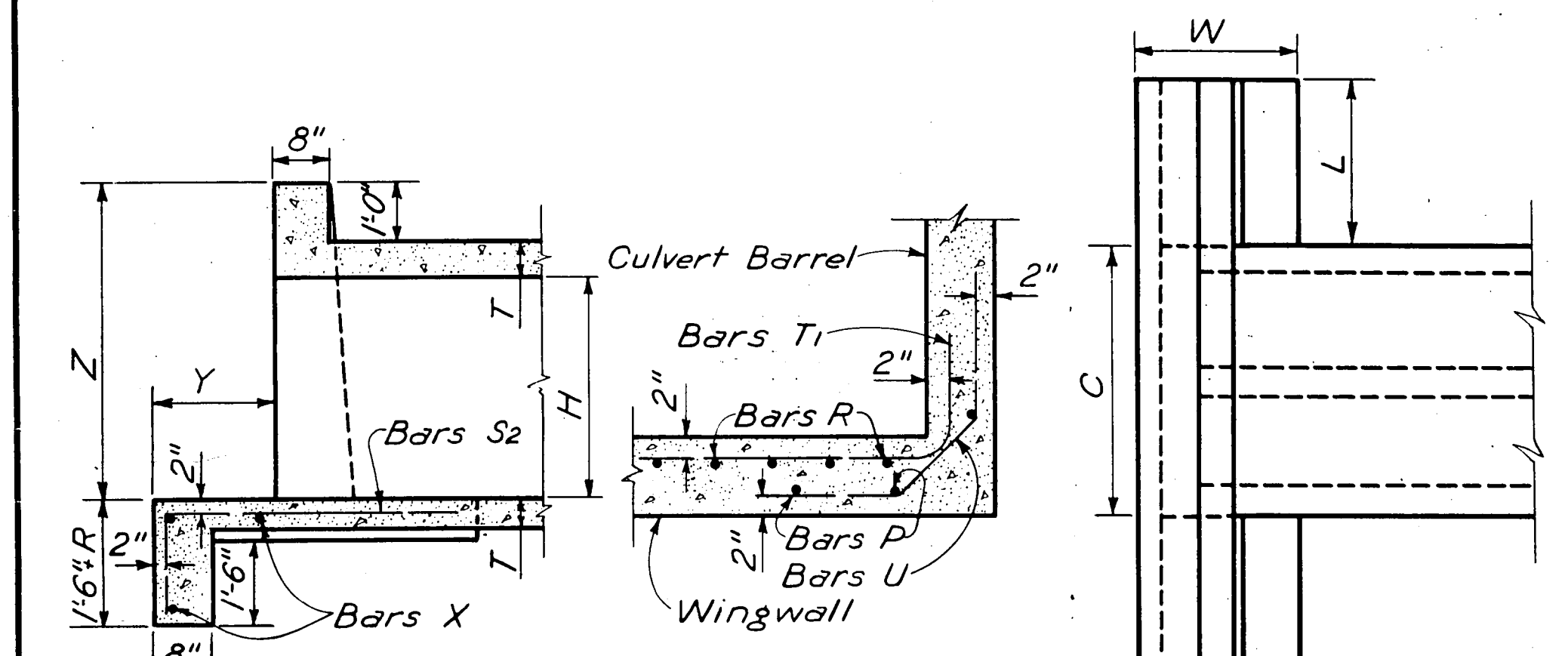
SANI. SEWER PROFILES
OAKS NORTH ADDITION
ADDISON, TEXAS
 John C. Gibson Co., Inc. — Consulting Engineers
 9510 Military Parkway — Dallas, Texas 75227

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
ADM.	G.M.	Aug. 23, 1978	H/1"=40' V/J"=6'	D.B.	Oaks North Addition	14

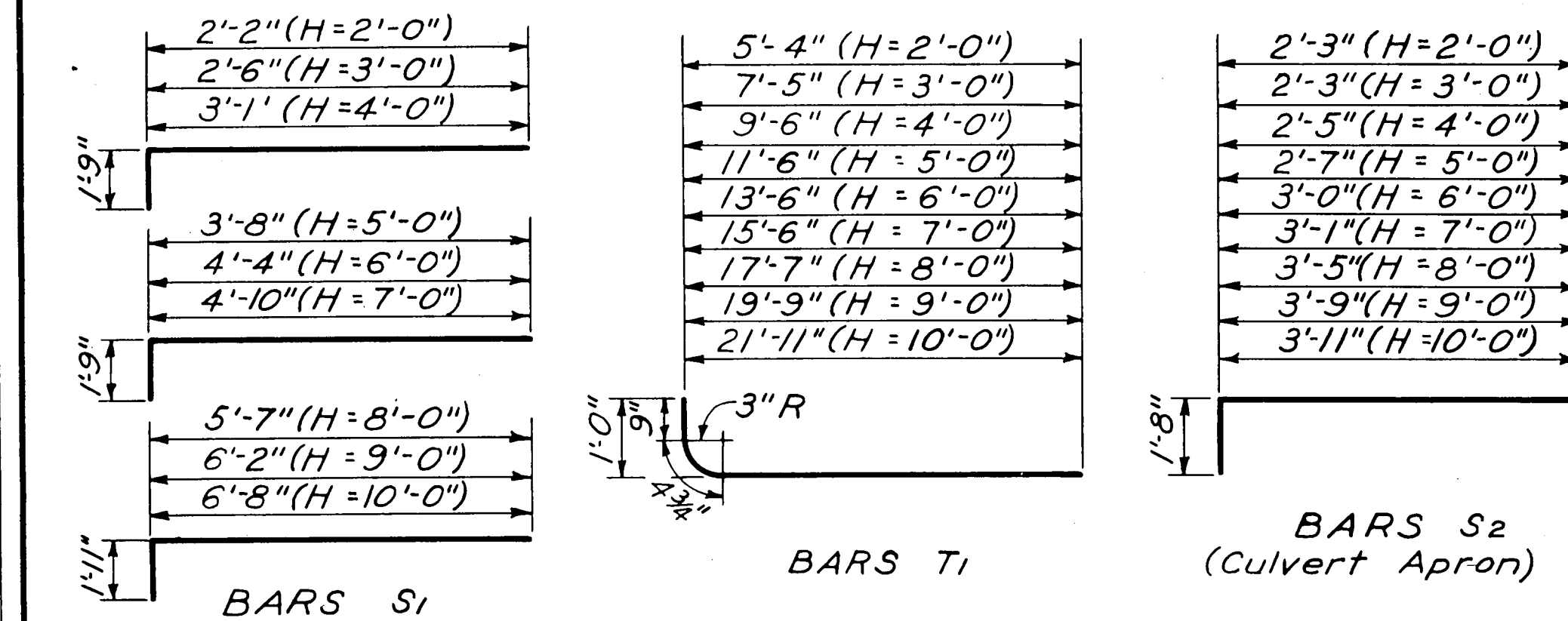
SANI. SEWER PROFILES 16



SECTION A-A HALF ELEVATION
DETAIL OF WINGWALL



LONGITUDINAL SECTION THRU BOX SHOWING DETAIL OF APRON
SECTION B-B
PLAN VIEW OF WINGWALL



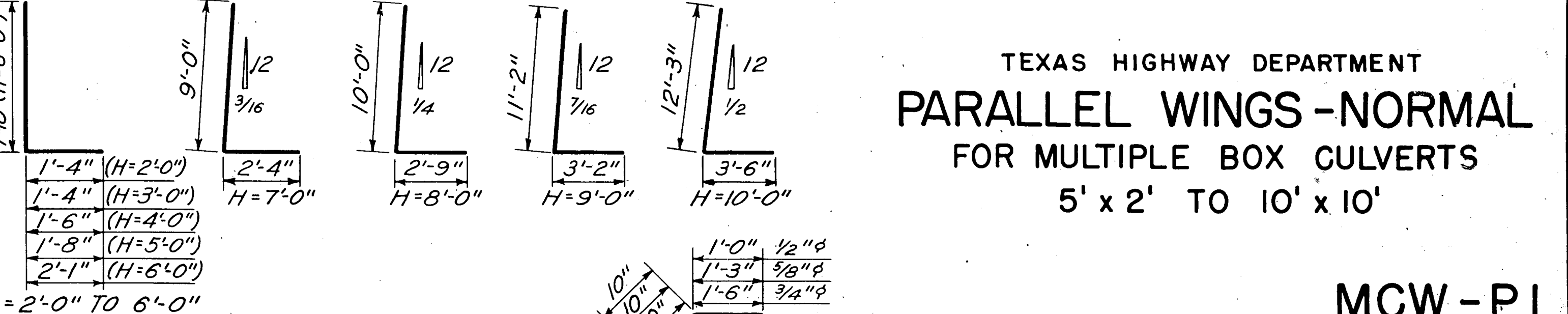
REINFORCING FOR 2 CULVERT APRONS

*BARS X - 1/2" @ 12" ±		BARS S2 - 1/2" @ 12" ±												CULVERT SIZE	TABLE OF DIMENSIONS												TOTAL QUANTITIES (FOR 4 WINGS AND 2 APRONS)												
NUMBER OF SPANS		NUMBER OF SPANS													S	WING						APRON						NUMBER OF SPANS											
2	3	4	5	6	2	3	4	5	6	2	3	4	5			6	2	3	4	5	6	2	3	4	5	6	2	3	4	5	6								
31	45	60	75	90	3 1/2"	24	63	36	94	46	120	58	152	68	178	5 x 2	6"	3'-6"	5'-4"	7"	2'-6"	8"	10"	1'-0"	11'-6"	17'-0"	22'-6"	28'-0"	33'-6"	5.11	425	5.75	470	6.38	511	7.01	558	7.65	599

*NO. BARS X (Lgth. = Dim. "C")		GENERAL NOTES: All concrete shall be Class A. Chamfer all exposed corners 3/4" unless specified otherwise. All dimensions relating to reinforcing steel are to centers of bars. Provide Weep Holes for H = 5'-0" and greater. The bottom slab of the barrel, wing footings and toewalls shall be placed in one continuous operation.											
2 Bars when H = 2', 3' & 4'	3 Bars when H = 5', 6' & 7'	4 Bars when H = 8', 9' & 10'											

TABLE OF REINFORCING STEEL FOR 4 WINGWALLS

WING SIZE	BARS R	BARS S1	1/2" BARS T1 @ 12"	1/2" BARS P @ 12"	BARS U	3/4" BARS W @ 12"	TOTAL WEIGHT
2'-0"	5'-4" 24 1/2" @ 12" 5'-11" 81	24 1/2" @ 12" 3'-11" 63	8 6'-3" 33	8 5'-0" 27	12 1/2" @ 12" 2'-10" 23	15" 3'-0" 16	20 6'-7" 88

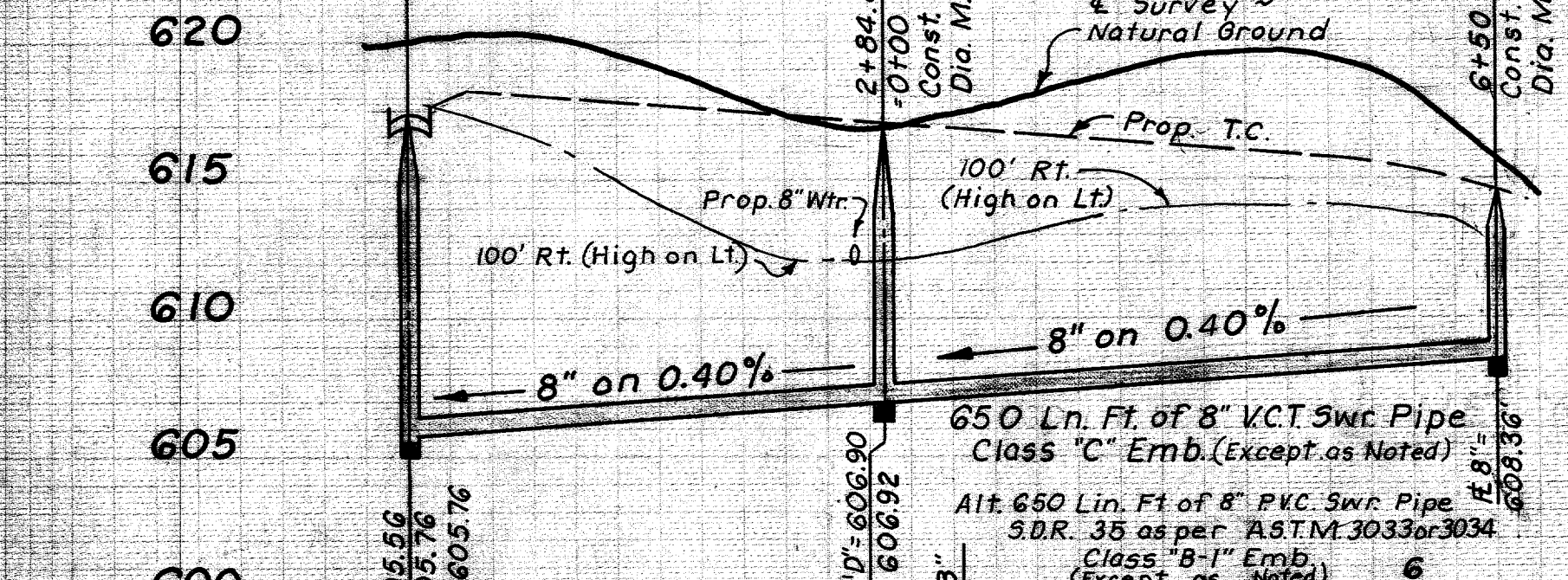


TEXAS HIGHWAY DEPARTMENT
PARALLEL WINGS-NORMAL
FOR MULTIPLE BOX CULVERTS
5' x 2' TO 10' x 10'

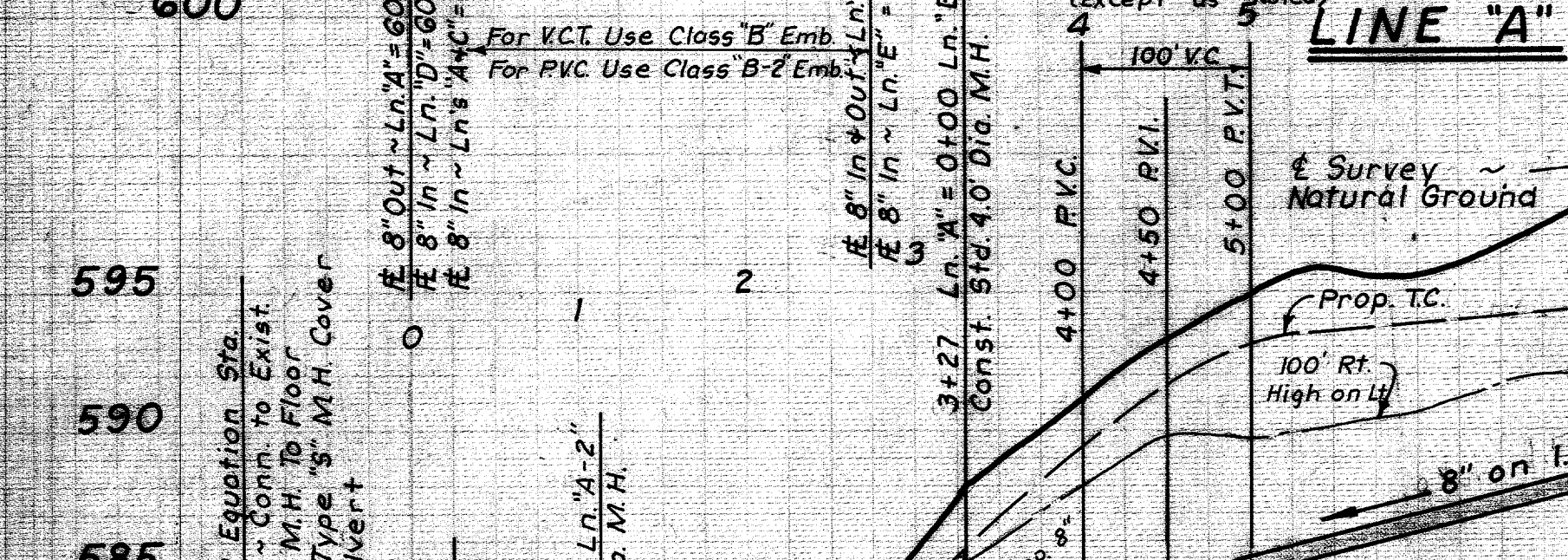
MCW-P1

DN: CFSWH	DRAWING	DATE	FED. ROAD DIST. NO.	STATE	FEDERAL AID PROJECT NO.	SHEET NO.
CK: DN: WH	Original	Nov. 1949	6	TEXAS		
DW: W: KMA						
CK: DN: KMA						
CK: TR: A: O: B						
CK: TR: MDA						

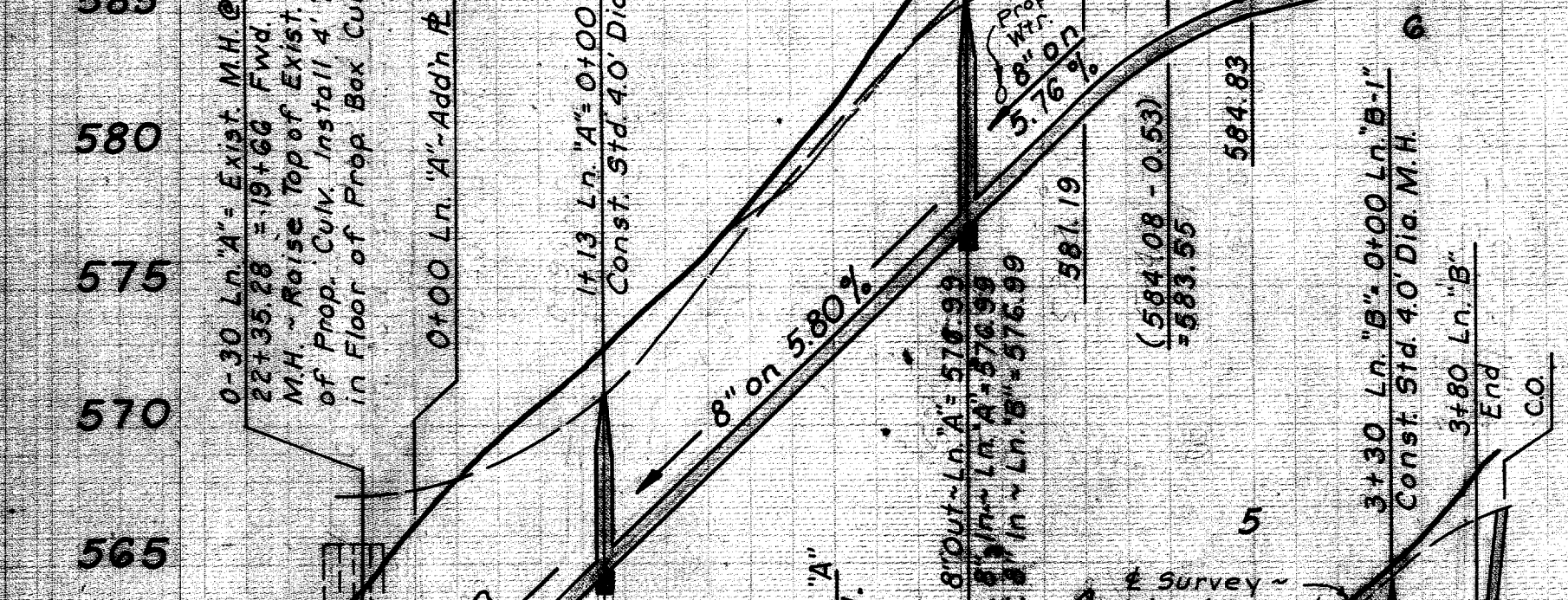
0+00 Ln. D+C = 12+85
Ln. A'-Const. Std. 4.0
Dia. M.H.



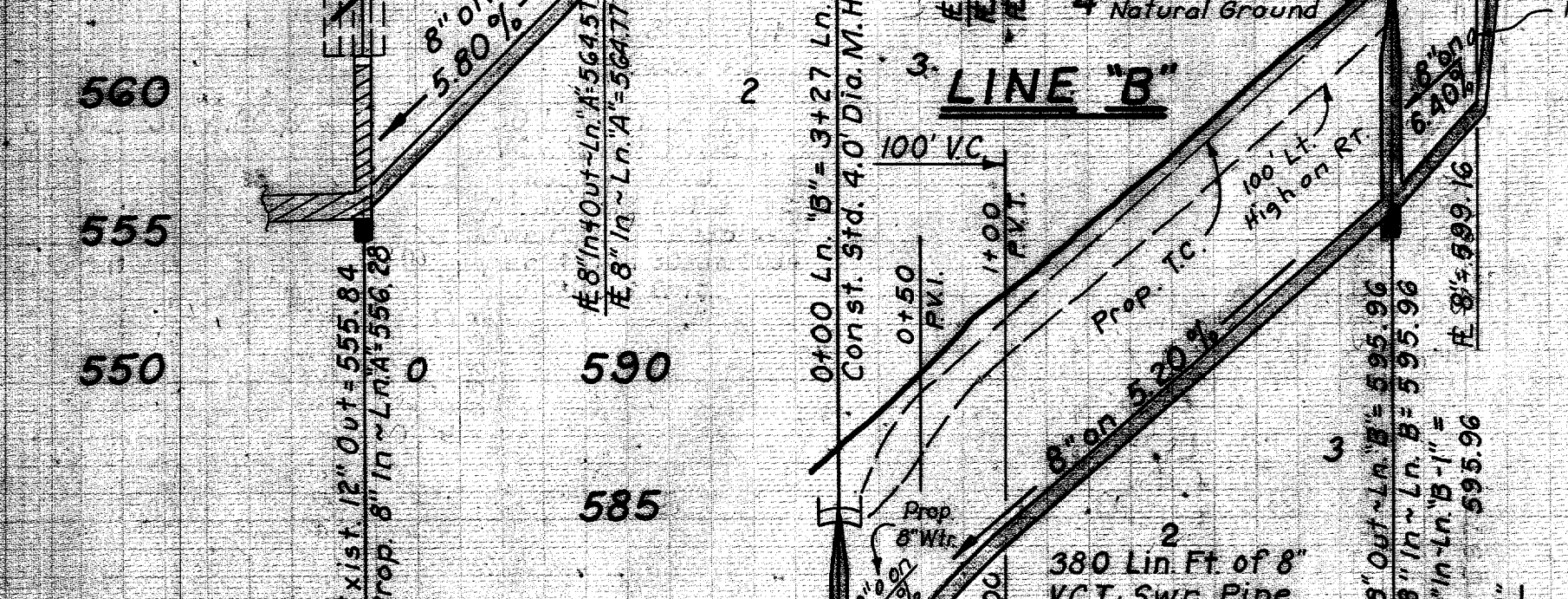
LINE "D"



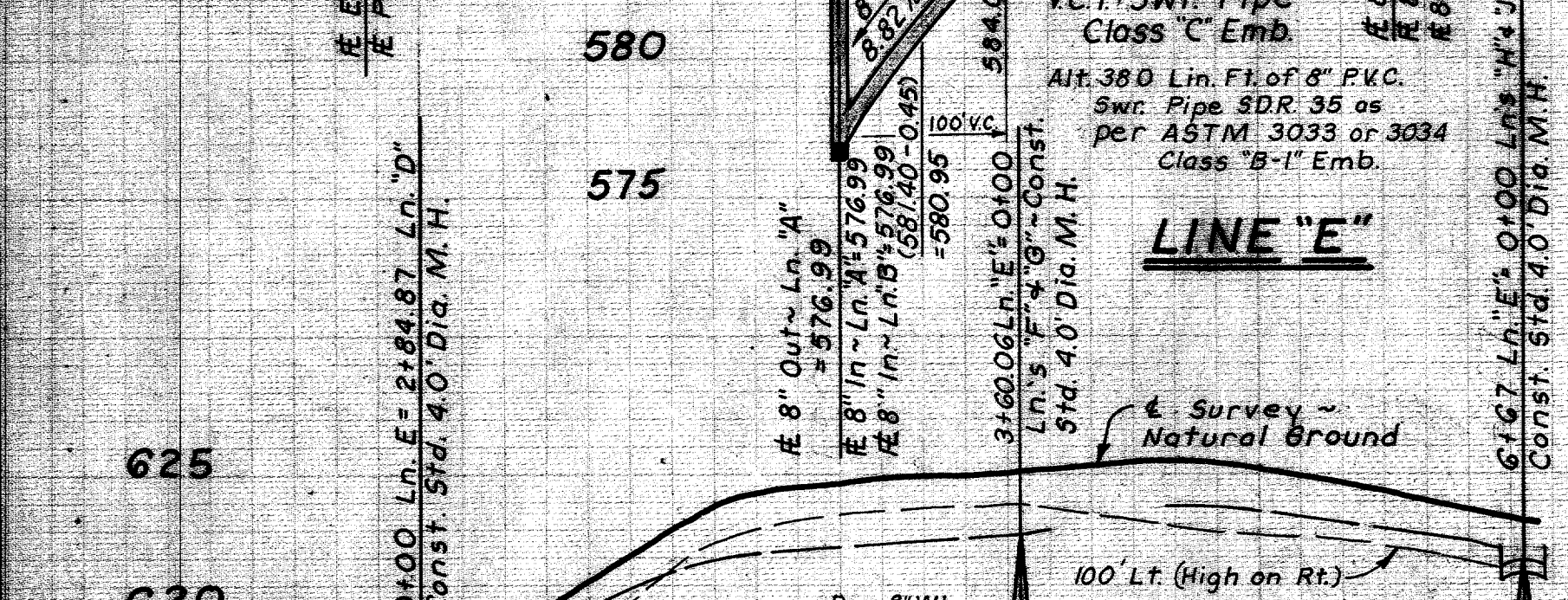
LINE "A"



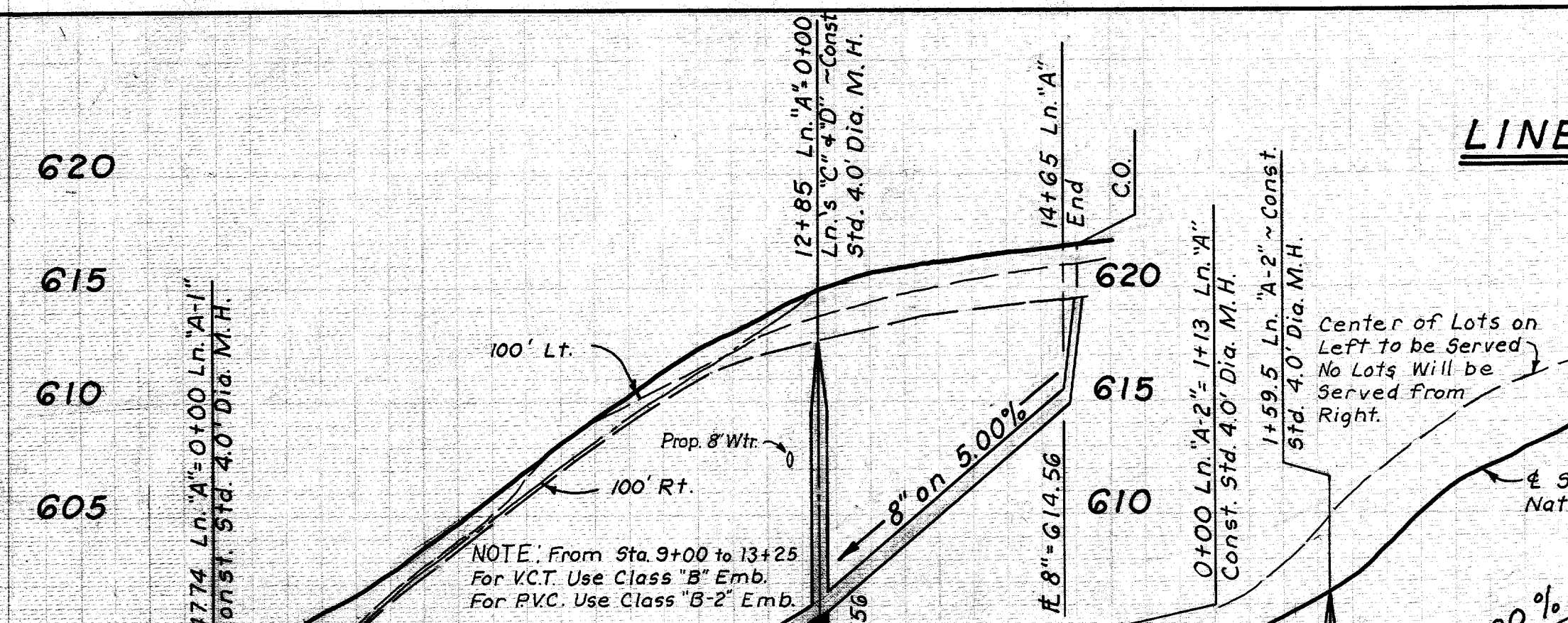
LINE "B"



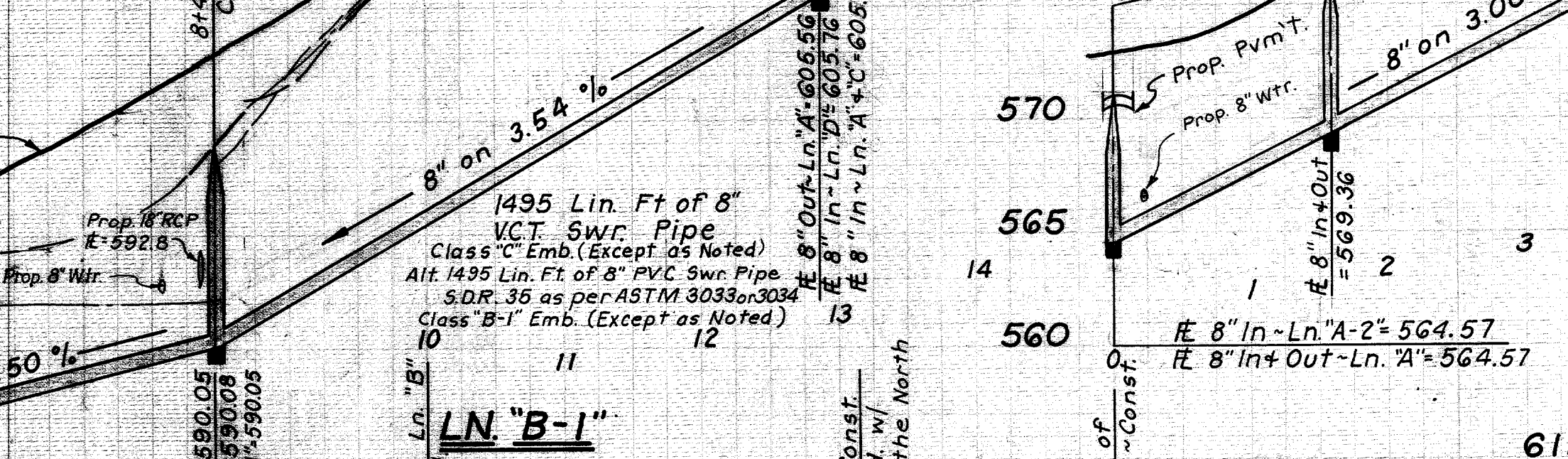
LINE "E"



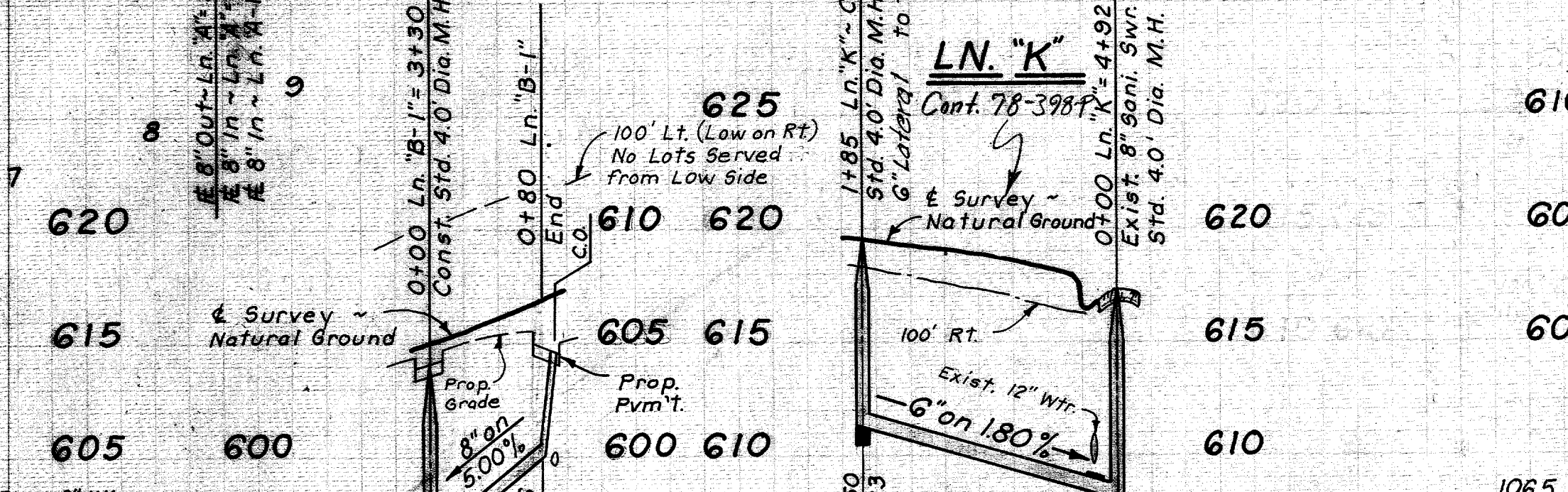
LINE "A-1"



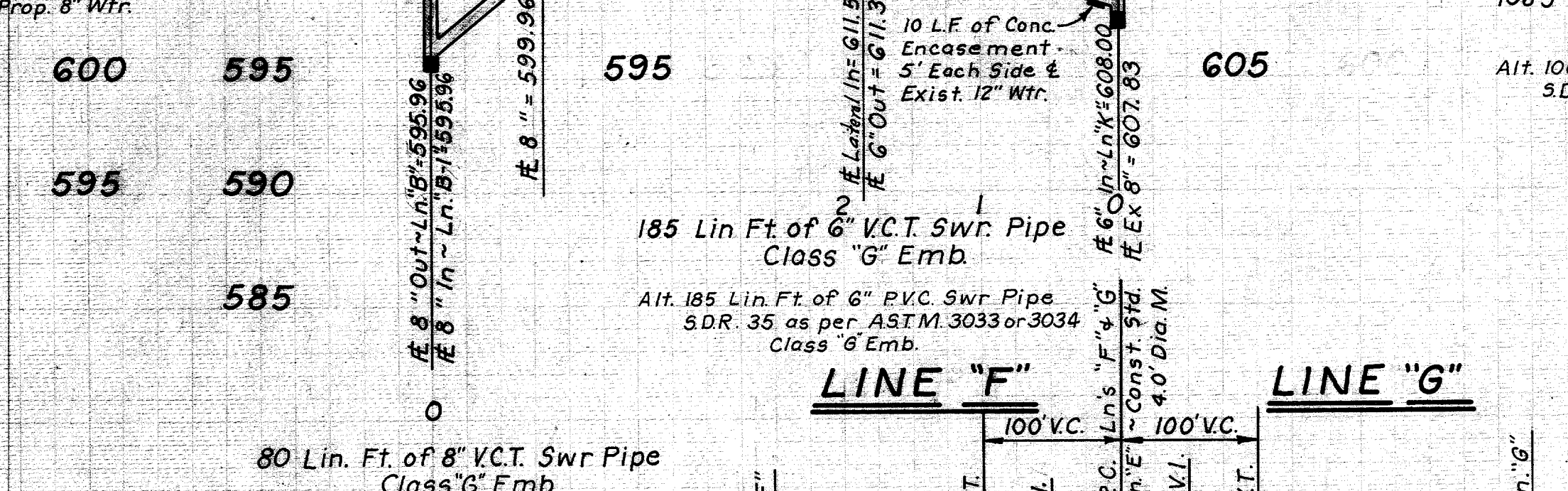
LINE "A-2"



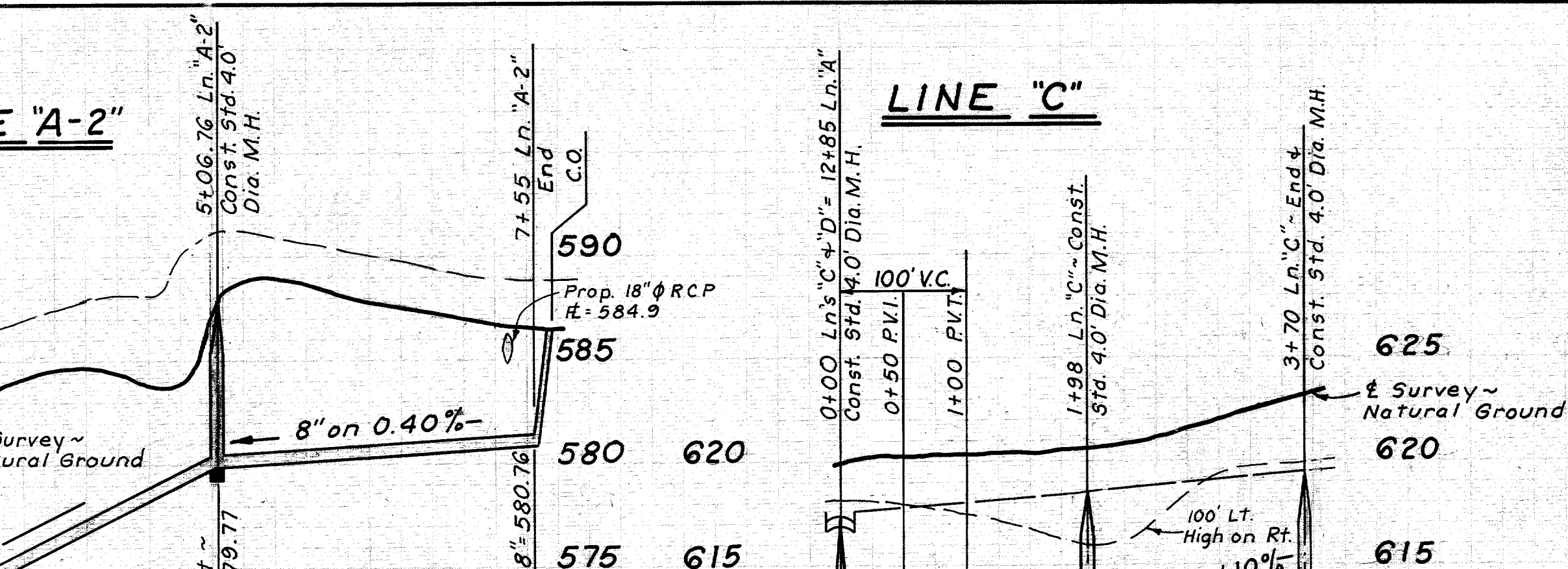
LINE "K"



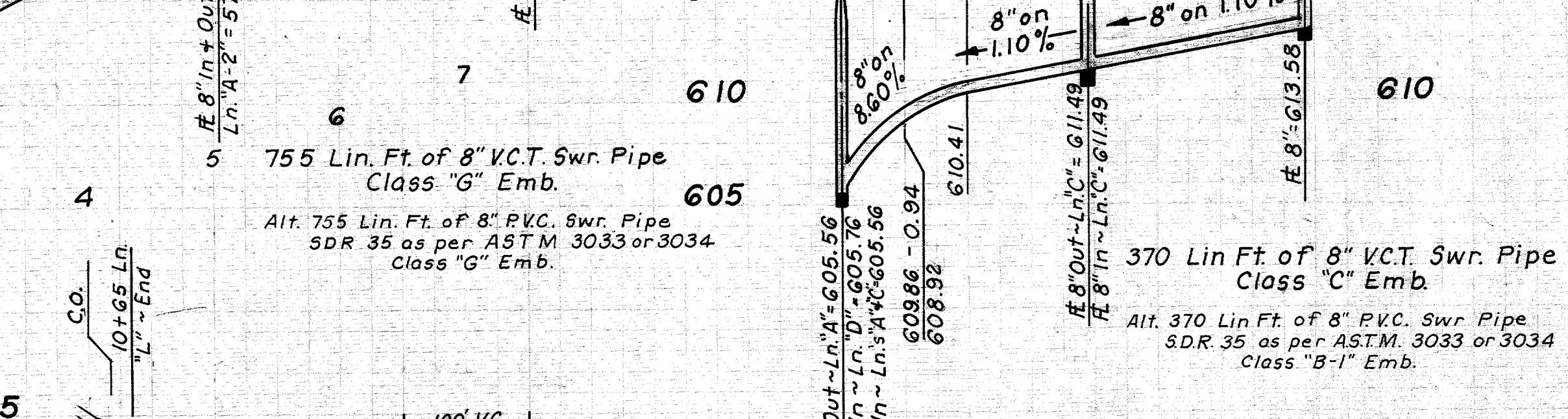
LINE "F"



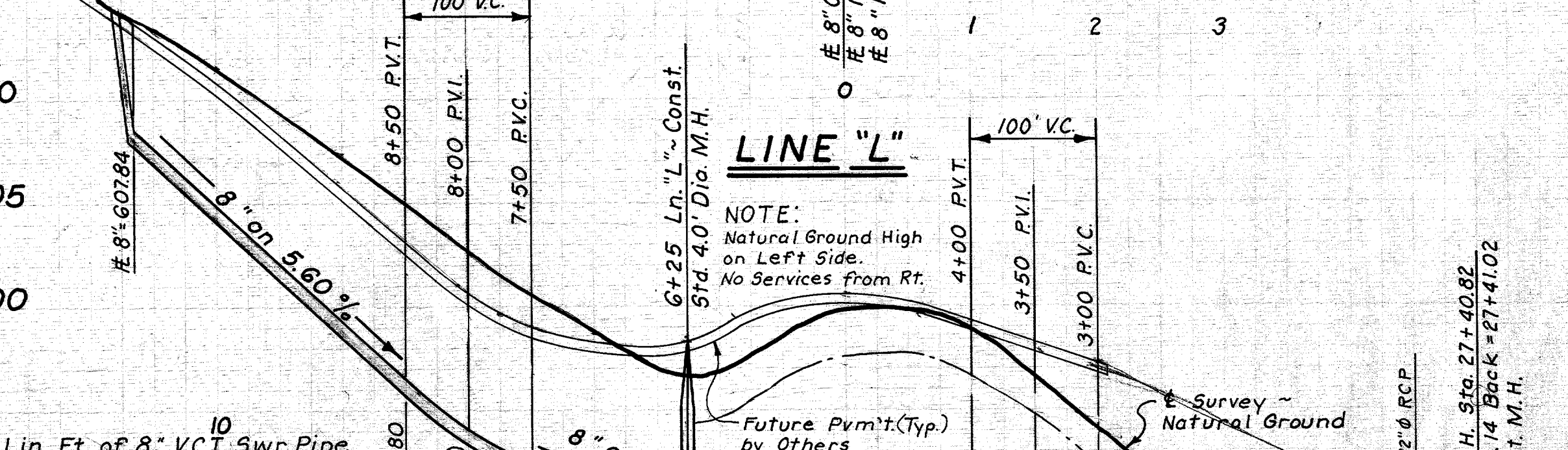
LINE "G"



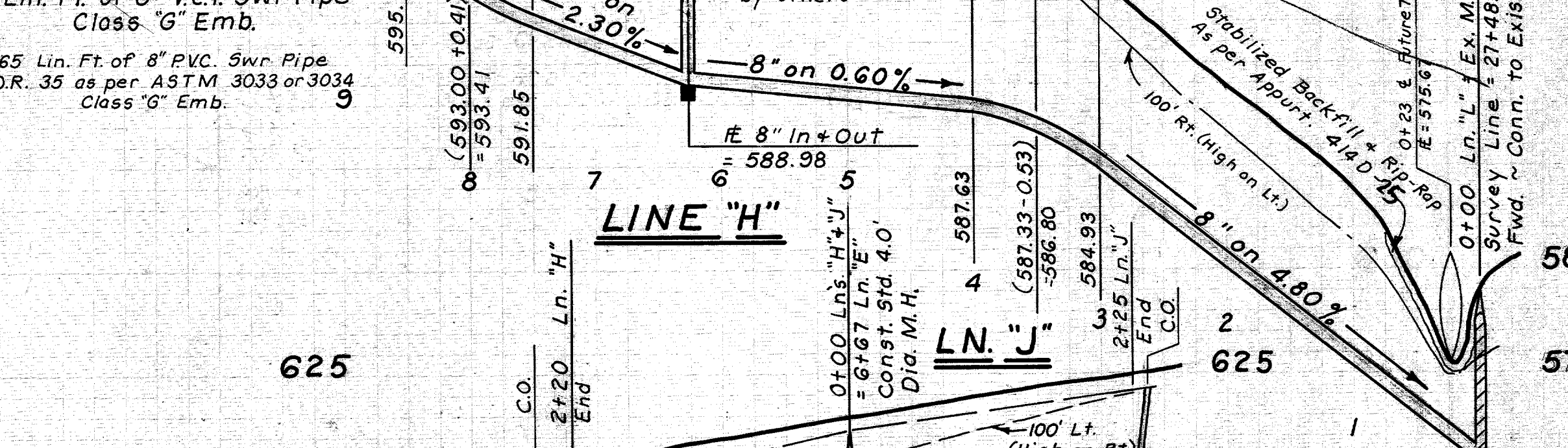
LINE "C"



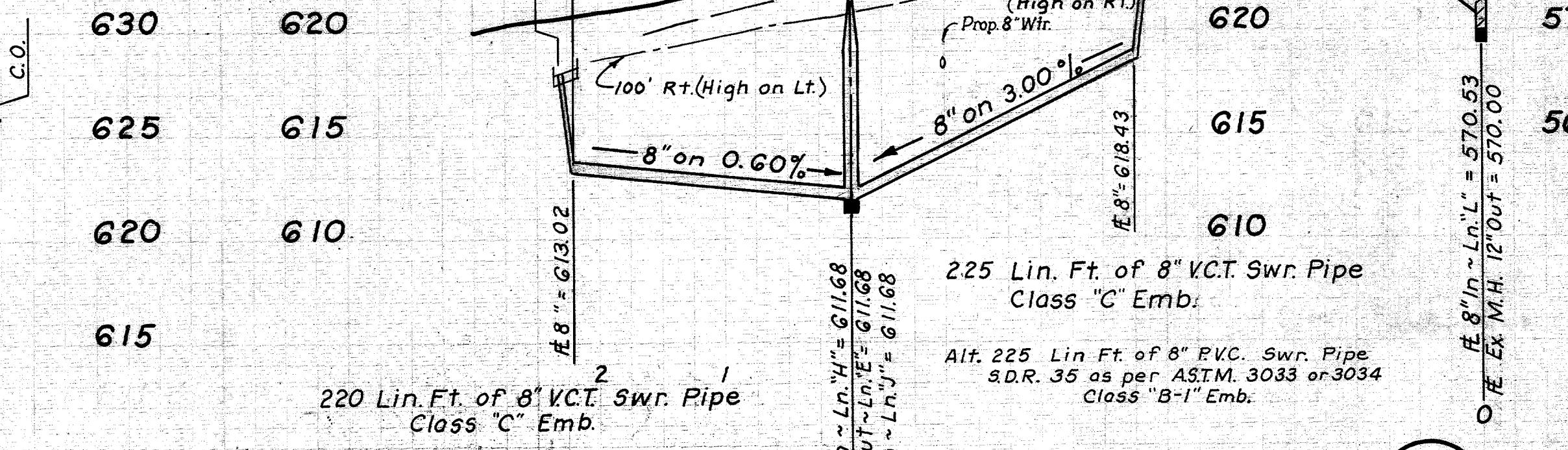
LINE "L"



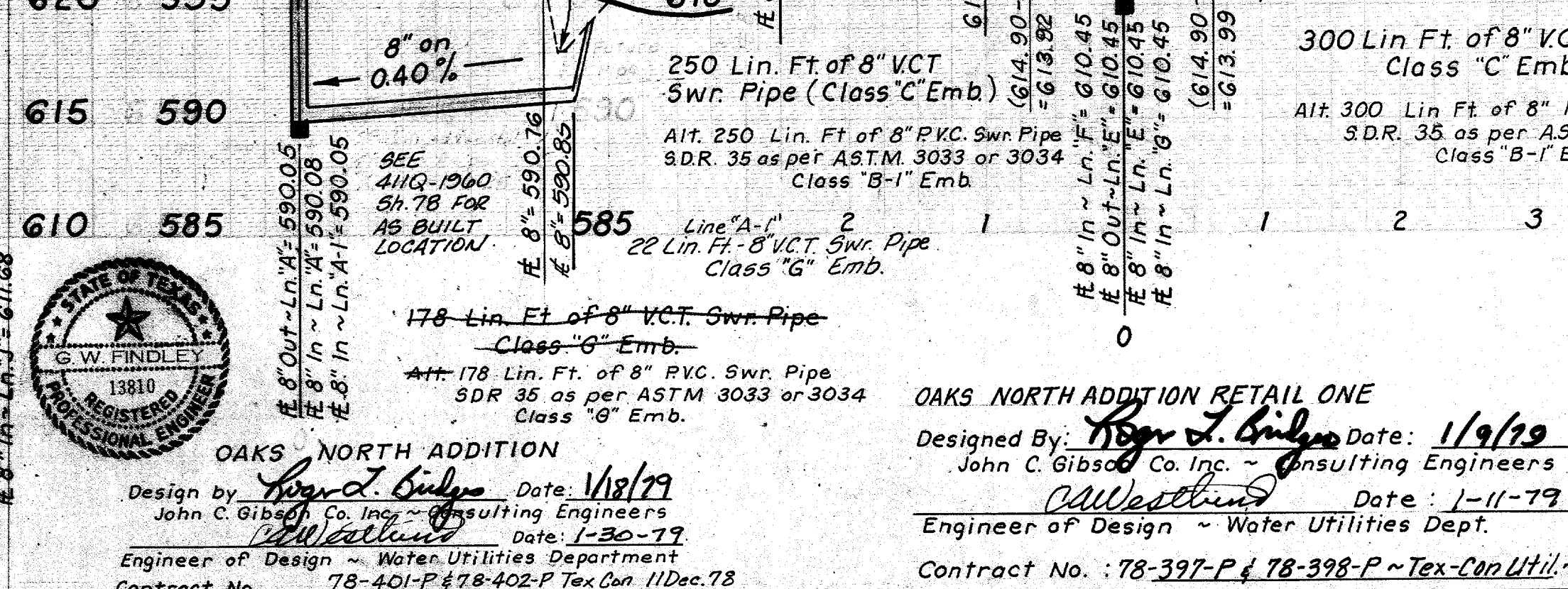
LINE "H"



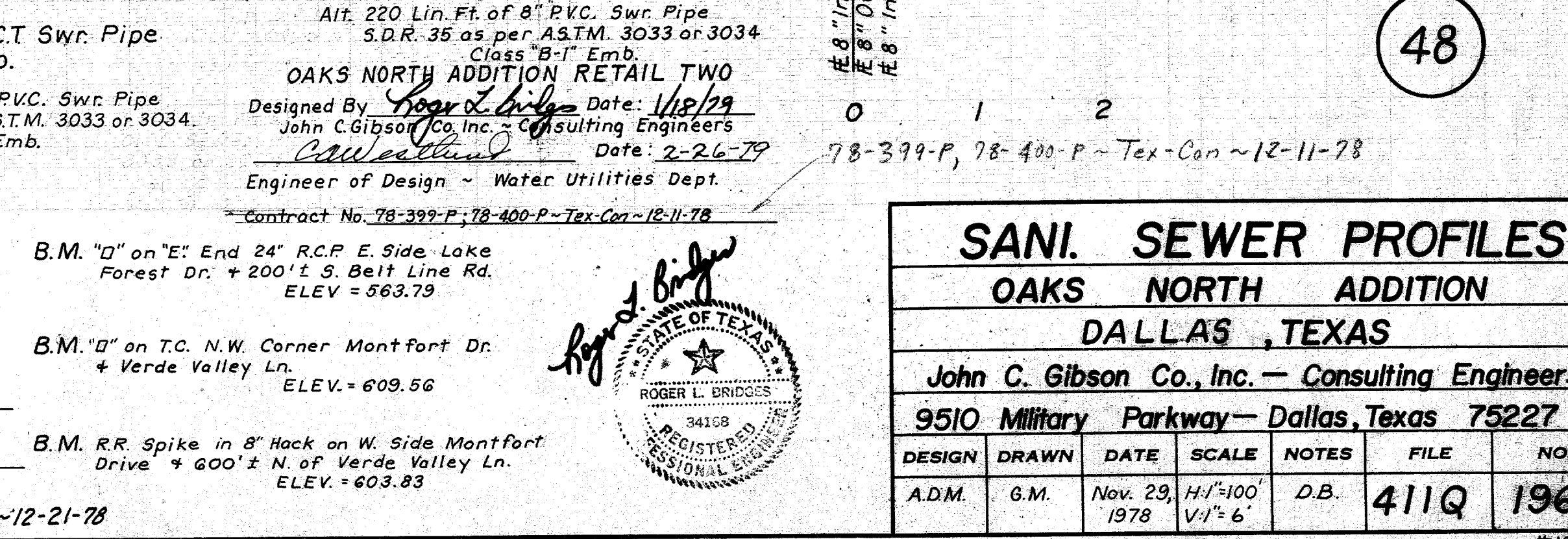
LINE "J"



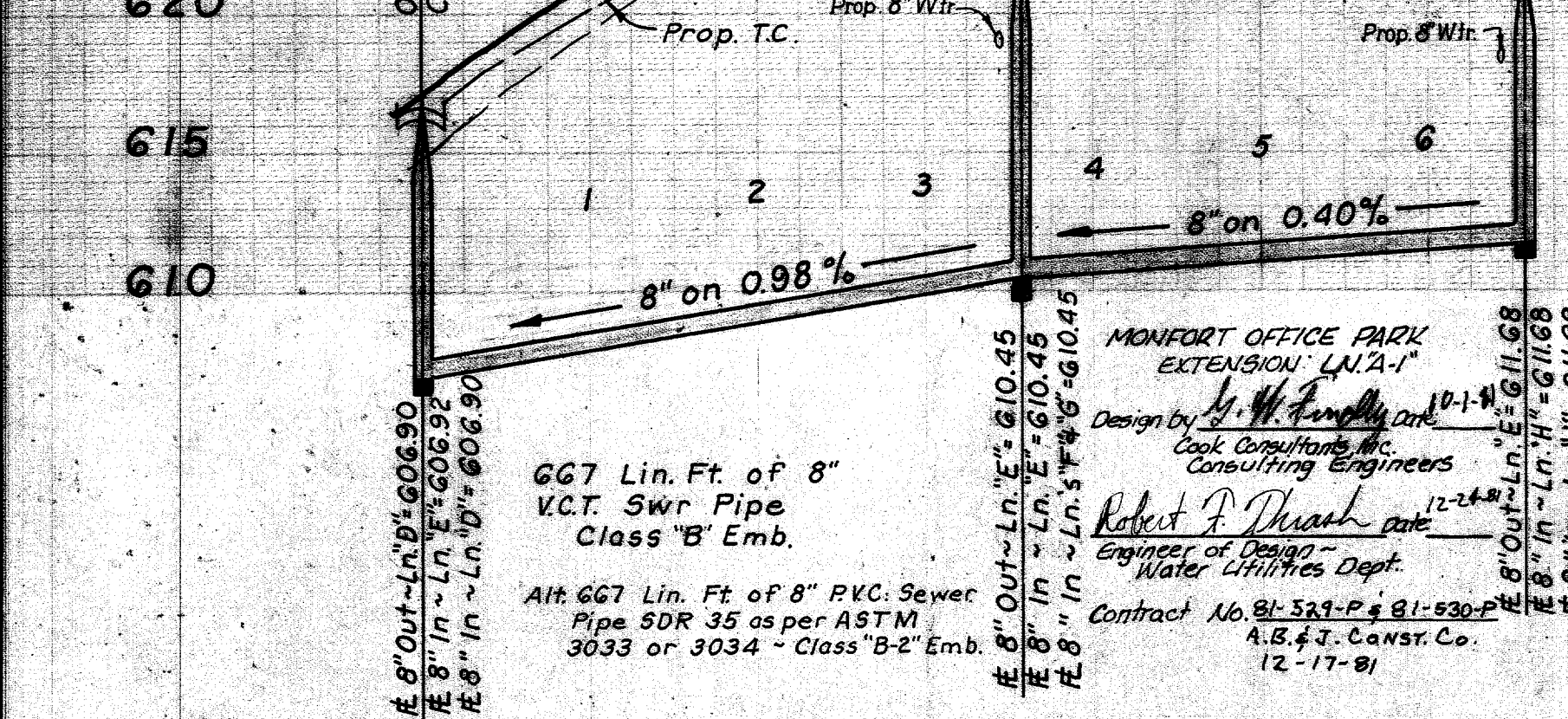
LINE "H"



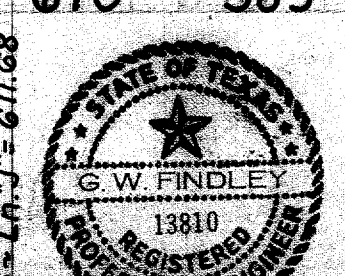
LINE "A-1"



LINE "H"



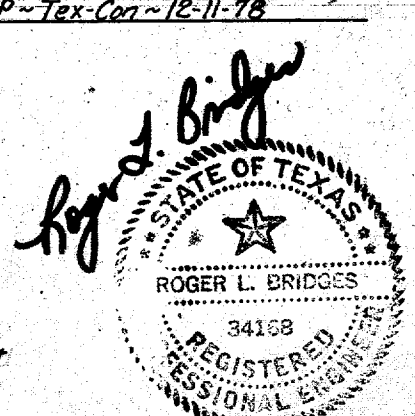
LINE "A-1"



OAKS NORTH ADDITION
Designed by: *John C. Gibson* Date: 11/9/79
John C. Gibson Co., Inc. - Consulting Engineers
Date: 1-30-79
Engineer of Design - Water Utilities Department
Contract No. 78-401-P-78-402-P Tex-Con 112c-78

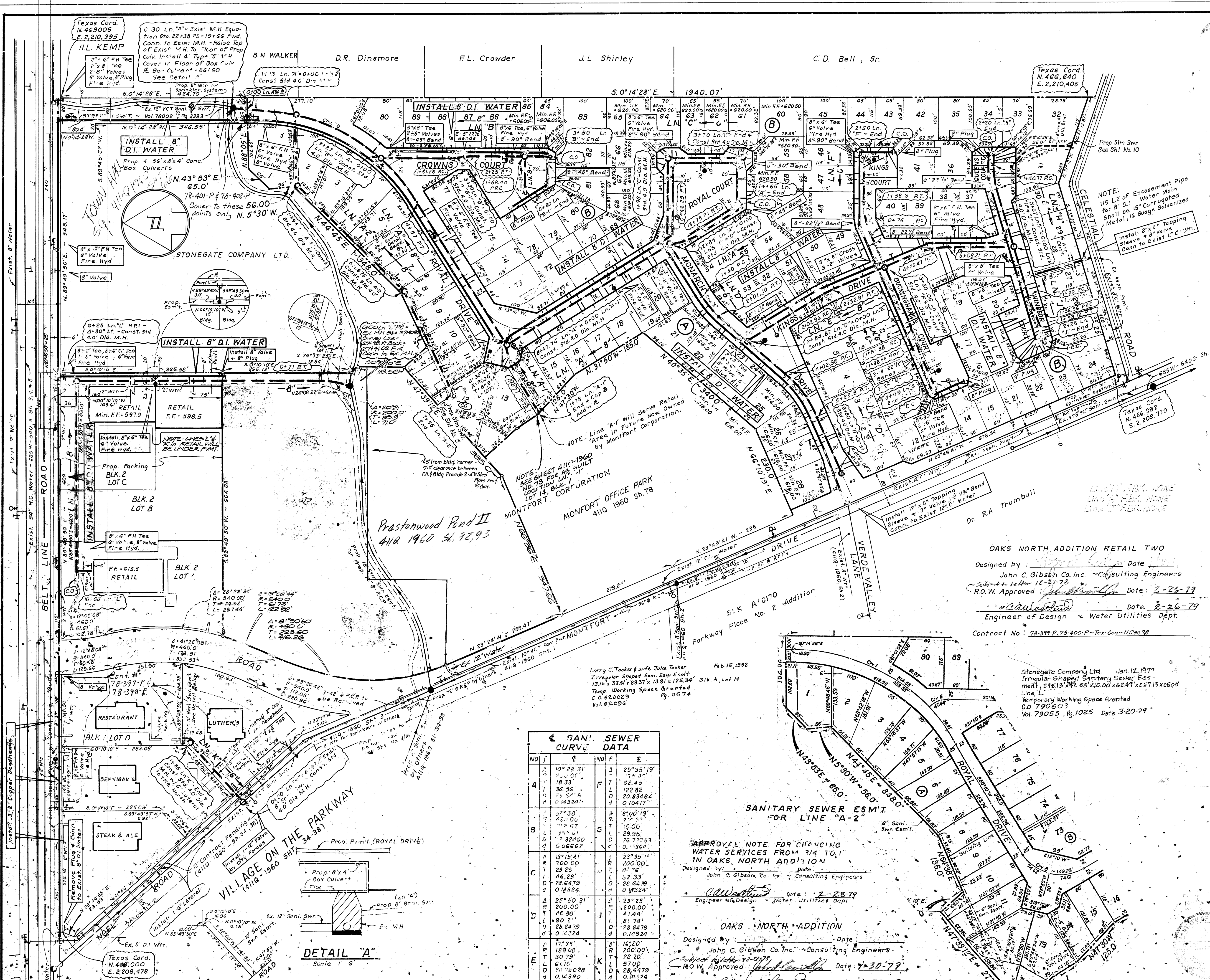
OAKS NORTH ADDITION RETAIL ONE
Designed by: *John C. Gibson* Date: 1/9/79
John C. Gibson Co., Inc. - Consulting Engineers
Date: 1-11-79
Engineer of Design - Water Utilities Dept.
Contract No. : 78-397-P & 78-398-P - Tex-Con Util. - 12-21-78

B.M. "D" on "E": End 24' R.C.P. E. Side Lake Forest Dr. + 200' S. Belt Line Rd. ELEV. = 563.79
B.M. "D" on T.C. N.W. Corner Montfort Dr. + Verde Valley Ln. ELEV. = 609.56
B.M. RR Spike in 8' Hack on W. Side Montfort Drive + 600' N. of Verde Valley Ln. ELEV. = 603.83



Contract No. 78-399-P, 78-400-P - Tex-Con - 12-11-78

SANI. SEWER PROFILES						
OAKS NORTH ADDITION						
DALLAS, TEXAS						
John C. Gibson Co., Inc. - Consulting Engineers						
9510 Military Parkway - Dallas, Texas 75227						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
ADM.	G.M.	Nov. 29, 1978	H/I=100' V/I=6'	D.B.	411Q	1960



GENERAL NOTES

- All water mains shall be ductile iron class 51 water pipe.
- Alt. All 6" & 8" water mains shall be PVC class 200 water pipe. (Except in all major, secondary thoroughfares, & fill areas).
Note: P.V.C. water pipe-on services 1" and larger, tapping saddles will be used.
- All water mains shall have a minimum cover below finished grades as follows: 6" & 8" - 48"
Or as required to clear other utilities.
- All water services shall be 2" copper and located as shown, except as noted.
- All sanitary sewer laterals shall be 6" and located as shown.
- Due to soil resistivity readings of less than 2000 OHMS per C.C. All D.I. water pipe shall have 8 Mil. thickness polyethylene tube wrap.
- Sidewalks shall be 5 feet wide, adjacent to the curb line except as shown.
- Water and sanitary sewer easements shall also include additional area of working space for construction and maintenance of the systems. Additional easement area is also conveyed for installation and maintenance of manholes, cleanouts, fire hydrants, services, operation of the systems. (Also, must be shown on final plat or easement).
- Extend Water services and sewer laterals 2 feet beyond proposed curbs, except as noted.
- Fire Hydrants to be Mueller Centurion

TREE TIE LIST FOR SANITARY SEWER LINE "A-2"
(Ties from Centerline and along Stationing of said line A-2)

0 + 86	7.8' Rt.	10" Pecan
1 + 45	1.5' Rt.	8" Bois-d-Arc
1 + 53	Centerline	14" Pecan
1 + 77	0.4' Rt.	6" Pecan
1 + 89	3.0' Lt.	6" Pecan
2 + 04	6.0' Lt.	24" Hack
2 + 08	8.6' Lt.	8" Hack
2 + 13	7.7' Lt.	8" Hack
2 + 21	0.5' Lt.	10" Hack
2 + 21	3.0' Rt.	6" Pecan
2 + 35	3.5' Lt.	8" Hack
2 + 51	3.5' Lt.	14" Bois-d-Arc
2 + 71	2.0' Lt.	12" Bois-d-Arc
2 + 79	9.0' Lt.	12" Hack
6 + 03	1.5' Rt.	10" Hack
5 + 66	1.3' Rt.	Old telephone pole not in use
7 + 41	10.0' Lt.	20" Hack
7 + 46	5.0' Lt.	22" Hack

OAKS NORTH ADDITION RETAIL TWO
 Designed by: _____ Date: _____
 John C. Gibson Co. Inc. Consulting Engineers
 Submittal to 10/12/78
 R.O.W. Approved: _____ Date: 2-26-79
 Engineer of Design: _____ Water Utilities Dept.
 Contract No.: 78-399-P-78-400-P-Tex-Con-11Dec-78

NOTES:
 Contractor to contact all utility companies to verify and locate any and all utilities prior to beginning of construction.
 No trees to be cut except as directed by owner.
 Contractor to verify location of proposed transformer pads prior to start of construction. No water and sanitary sewer mains, storm drainage mains or laterals, water services or sanitary sewer laterals to be constructed under transformer pad locations.

DO NOT PULL P.V.C. PIPE @ JOINTS.
OAKS NORTH ADDITION RETAIL ONE
 Designed by: _____ Date: _____
 John C. Gibson Co. Inc. Consulting Engineers
 R.O.W. Approved: _____ Date: 1-11-79
 Engineer of Design: _____ Water Utilities Dept.
 Contract No.: 78-397-P-78-388-P-Tex-Con-11-12-21-78

9" SANITARY SEWER CURVE DATA

NO	f	Δ	NO	f	Δ
A	10° 28' 31"	25° 35' 19"	F	17° 30'	175.3'
A	18.33'	62.45'	F	15.00'	23.25'
A	36.36'	122.82'	F	15.00'	23.25'
A	54.39'	183.19'	F	15.00'	23.25'
A	72.42'	243.56'	F	15.00'	23.25'
A	90.45'	303.93'	F	15.00'	23.25'
A	108.48'	364.30'	F	15.00'	23.25'
A	126.51'	424.67'	F	15.00'	23.25'
A	144.54'	485.04'	F	15.00'	23.25'
A	162.57'	545.41'	F	15.00'	23.25'
A	180.60'	605.78'	F	15.00'	23.25'
A	198.63'	666.15'	F	15.00'	23.25'
A	216.66'	726.52'	F	15.00'	23.25'
A	234.69'	786.89'	F	15.00'	23.25'
A	252.72'	847.26'	F	15.00'	23.25'
A	270.75'	907.63'	F	15.00'	23.25'
A	288.78'	968.00'	F	15.00'	23.25'
A	306.81'	1028.37'	F	15.00'	23.25'
A	324.84'	1088.74'	F	15.00'	23.25'
A	342.87'	1149.11'	F	15.00'	23.25'
A	360.90'	1209.48'	F	15.00'	23.25'
A	378.93'	1269.85'	F	15.00'	23.25'
A	396.96'	1330.22'	F	15.00'	23.25'
A	414.99'	1390.59'	F	15.00'	23.25'
A	433.02'	1450.96'	F	15.00'	23.25'
A	451.05'	1511.33'	F	15.00'	23.25'
A	469.08'	1571.70'	F	15.00'	23.25'
A	487.11'	1632.07'	F	15.00'	23.25'
A	505.14'	1692.44'	F	15.00'	23.25'
A	523.17'	1752.81'	F	15.00'	23.25'
A	541.20'	1813.18'	F	15.00'	23.25'
A	559.23'	1873.55'	F	15.00'	23.25'
A	577.26'	1933.92'	F	15.00'	23.25'
A	595.29'	1994.29'	F	15.00'	23.25'
A	613.32'	2054.66'	F	15.00'	23.25'
A	631.35'	2115.03'	F	15.00'	23.25'
A	649.38'	2175.40'	F	15.00'	23.25'
A	667.41'	2235.77'	F	15.00'	23.25'
A	685.44'	2296.14'	F	15.00'	23.25'
A	703.47'	2356.51'	F	15.00'	23.25'
A	721.50'	2416.88'	F	15.00'	23.25'
A	739.53'	2477.25'	F	15.00'	23.25'
A	757.56'	2537.62'	F	15.00'	23.25'
A	775.59'	2597.99'	F	15.00'	23.25'
A	793.62'	2658.36'	F	15.00'	23.25'
A	811.65'	2718.73'	F	15.00'	23.25'
A	829.68'	2779.10'	F	15.00'	23.25'
A	847.71'	2839.47'	F	15.00'	23.25'
A	865.74'	2899.84'	F	15.00'	23.25'
A	883.77'	2960.21'	F	15.00'	23.25'
A	901.80'	3020.58'	F	15.00'	23.25'
A	919.83'	3080.95'	F	15.00'	23.25'
A	937.86'	3141.32'	F	15.00'	23.25'
A	955.89'	3201.69'	F	15.00'	23.25'
A	973.92'	3262.06'	F	15.00'	23.25'
A	991.95'	3322.43'	F	15.00'	23.25'
A	1009.98'	3382.80'	F	15.00'	23.25'
A	1028.01'	3443.17'	F	15.00'	23.25'
A	1046.04'	3503.54'	F	15.00'	23.25'
A	1064.07'	3563.91'	F	15.00'	23.25'
A	1082.10'	3624.28'	F	15.00'	23.25'
A	1100.13'	3684.65'	F	15.00'	23.25'
A	1118.16'	3745.02'	F	15.00'	23.25'
A	1136.19'	3805.39'	F	15.00'	23.25'
A	1154.22'	3865.76'	F	15.00'	23.25'
A	1172.25'	3926.13'	F	15.00'	23.25'
A	1190.28'	3986.50'	F	15.00'	23.25'
A	1208.31'	4046.87'	F	15.00'	23.25'
A	1226.34'	4107.24'	F	15.00'	23.25'
A	1244.37'	4167.61'	F	15.00'	23.25'
A	1262.40'	4227.98'	F	15.00'	23.25'
A	1280.43'	4288.35'	F	15.00'	23.25'
A	1298.46'	4348.72'	F	15.00'	23.25'
A	1316.49'	4409.09'	F	15.00'	23.25'
A	1334.52'	4469.46'	F	15.00'	23.25'
A	1352.55'	4529.83'	F	15.00'	23.25'
A	1370.58'	4590.20'	F	15.00'	23.25'
A	1388.61'	4650.57'	F	15.00'	23.25'
A	1406.64'	4710.94'	F	15.00'	23.25'
A	1424.67'	4771.31'	F	15.00'	23.25'
A	1442.70'	4831.68'	F	15.00'	23.25'
A	1460.73'	4892.05'	F	15.00'	23.25'
A	1478.76'	4952.42'	F	15.00'	23.25'
A	1496.79'	5012.79'	F	15.00'	23.25'
A	1514.82'	5073.16'	F	15.00'	23.25'
A	1532.85'	5133.53'	F	15.00'	23.25'
A	1550.88'	5193.90'	F	15.00'	23.25'
A	1568.91'	5254.27'	F	15.00'	23.25'
A	1586.94'	5314.64'	F	15.00'	23.25'
A	1604.97'	5375.01'	F	15.00'	23.25'
A	1623.00'	5435.38'	F	15.00'	23.25'
A	1641.03'	5495.75'	F	15.00'	23.25'
A	1659.06'	5556.12'	F	15.00'	23.25'
A	1677.09'	5616.49'	F	15.00'	23.25'
A	1695.12'	5676.86'	F	15.00'	23.25'
A	1713.15'	5737.23'	F	15.00'	23.25'
A	1731.18'	5797.60'	F	15.00'	23.25'
A	1749.21'	5857.97'	F	15.00'	23.25'
A	1767.24'	5918.34'	F	15.00'	23.25'
A	1785.27'	5978.71'	F	15.00'	23.25'
A	1803.30'	6039.08'	F	15.00'	23.25'
A	1821.33'	6099.45'	F	15.00'	23.25'
A	1839.36'	6159.82'	F	15.00'	23.25'
A	1857.39'	6220.19'	F	15.00'	23.25'
A	1875.42'	6280.56'	F	15.00'	23.25'
A	1893.45'	6340.93'	F	15.00'	23.25'
A	1911.48'	6401.30'	F	15.00'	23.25'
A	1929.51'	6461.67'	F	15.00'	23.25'
A	1947.54'	6522.04'	F	15.00'	23.25'
A	1965.57'	6582.41'	F	15.00'	23.25'
A	1983.60'	6642.78'	F	15.00'	23.25'
A	2001.63'	6703.15'	F	15.00'	23.25'
A	2019.66'	6763.52'	F	15.00'	23.25'
A	2037.69'	6823.89'	F	15.00'	23.25'
A	2055.72'	6884.26'	F	15.00'	23.25'
A	2073.75'	6944.63'	F	15.00'	23.25'
A	2091.78'	7005.00'	F	15.00'	23.25'
A	2109.81'	7065.37'	F	15.00'	23.25'
A	2127.84'	7125.74'	F	15.00'	23.25'
A	2145.87'	7186.11'	F	15.00'	23.25'
A	2163.90'	7246.48'	F	15.00'	23.25'
A	2181.93'	7306.85'	F	15.00'	23.25'
A	2200.96'	7367.22'	F	15.00'	23.25'
A	2218.99'	7427.59'	F	15.00'	23.25'
A	2237.02'	7487.96'	F	15.00'	23.25'
A	2255.05'	7548.33'	F	15.00'	23.25'
A	2273.08'	7608.70'	F	15.00'	23.25'
A	2291.11'	7669.07'	F	15.00'	23.25'
A	2309.14'	7729.44'	F	15.00'	23.25'
A	2327.17'	7789.81'	F	15.00'	23.25'
A	2345.20'	7850.18'	F	15.00'	23.25'
A	2363.23'	7910.55'	F	15.00'	23.25'
A	2381.26'	7970.92'	F	15.00'	23.25'
A	2399.29'	8031.29'	F	15.00'	23.25'
A	2417.32'	8091.66'	F	15.00'	23.25'
A	2435.35'	8152.03'	F	15.00'	23.25'
A	2453.38'	8212.40'	F	15.00'	23.25'
A	2471.41'	8272.77'	F	15.00'	23.25'
A	2489.44'	8333.14'	F	15.00'	23.25'
A	2507.47'	8393.51'	F	15.00'	23.25'
A	2525.50'	8453.88'	F	15.00'	23.25'
A	2543.53'	8514.25'	F	15.00'	23.25'
A	2561.56'	8574.62'	F	15.00'	23.25'
A	2579.59'	8634.99'	F	15.00'	23.25'
A	2597.62'	8695.36'	F	15.00'	23.25'
A	2615.65'	8755.73'	F	15.00'	23.25'
A	2633.68'	8816.10'	F	15.00'	23.25'
A	2651.71'	8876.47'	F	15.00'	23.25'
A	2669.74'	8936.84'	F	15.00'	23.25'
A	2687.77'	8997.21'	F	15.00'	23.25'
A	2705.80'	9057.58'	F	15.00'	23.25'
A	2723.83'	9117.95'	F	15.00'	23.25'
A	2741.86'	9178.32'	F	15.00'	23.25'
A	2759.89'	9238.69'	F	15.00'	23.25'
A	2777.92'	9299.06'	F	15.00'	23.25'
A	2795.95'	9359.43'	F	15.00'	23.25'
A	2813.98'	9419.80'	F	15.00'	23.25'
A	2832.01'	9480.17'	F	15.00'	23.25'
A	2850.04'	9540.54'	F	15.00'	23.25'
A	2868.07'	9600.91'	F	15.00'	23.25'
A	2886.10'	9661.28'	F	15.00'	23.25'
A	2904.13'	9721.65'	F	15.00'	23.25'
A	2922.16'	9782.02'	F	15.00'	23.25'
A	2940.19'	9842.39'	F	15.00'	23.25'
A	2958.22'	9902.76'	F	15.00'	23.25'
A	2976.25'	9963.13'	F	15.00'	23.25'
A	2994.28'	10023.50'	F	15.00'	23.25'
A	3012.31'	10083.87'	F	15.00'	23.25'
A	3030.34'	10144.24'	F	15.00'	23.25'
A	3048.37'	10204.61'	F	15.00'	23.25'
A	3066.40'	10264.98'	F	15.00'	23.25'
A	3084.43'	10325.35'	F	15.00'	23.25'
A	3102.46'	10385.72'	F	15.00'	23.25'
A	3120.49'	10446.09'	F	15.00'	23.25'
A	3138.52'	10506.46'	F	15.00'	23.25'
A	3156.55'	10566.83'	F	15.00'	23.25'
A	3174.58'	10627.20'	F	15.00'	23.25'
A	3192.61'	10687.57'	F	15.00'	23.25