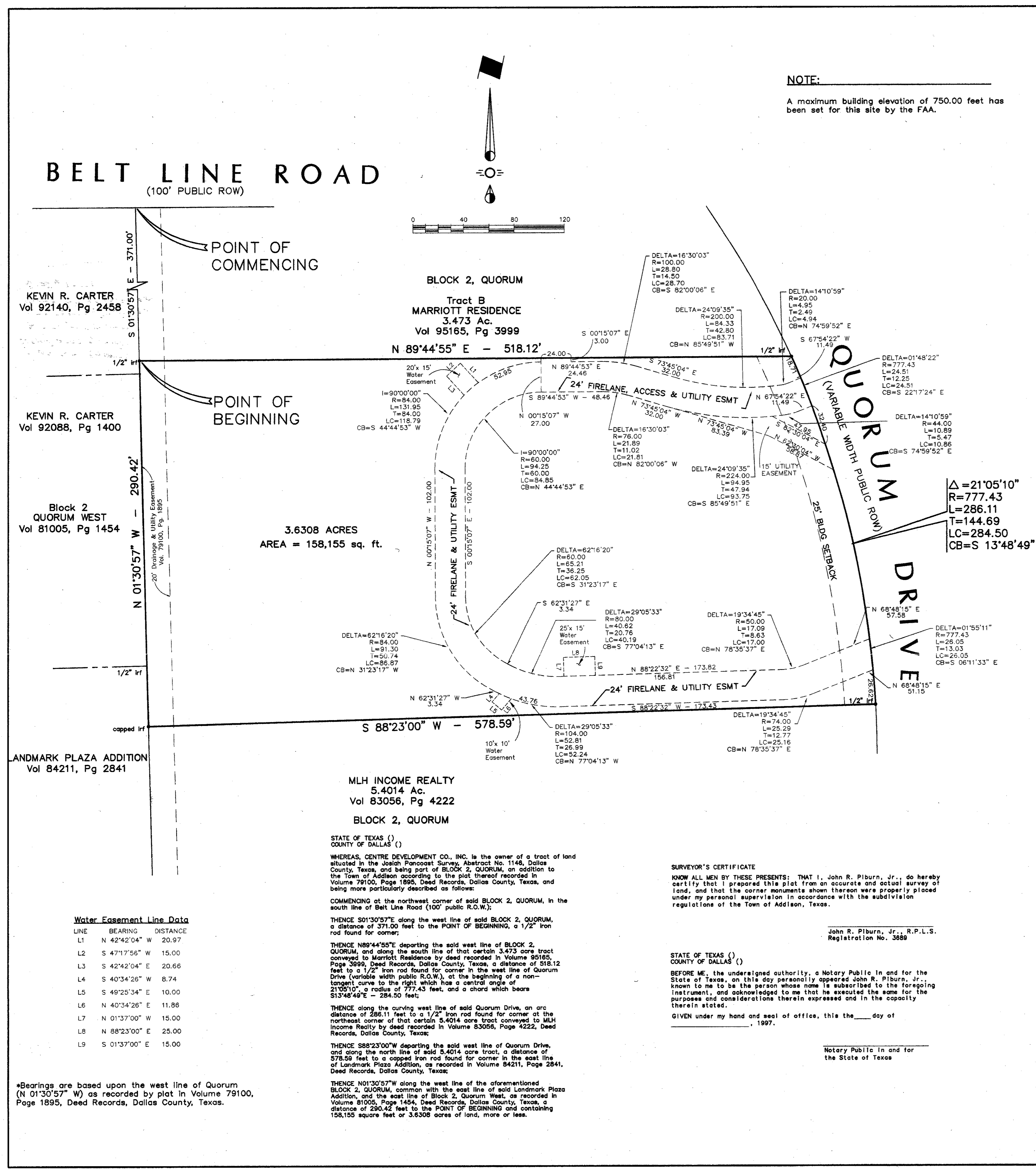


ISSUES	
06/09/97	BID SET
REVISIONS	
06/17/97	ADDENDUM #1



NOTE:
A maximum building elevation of 750.00 feet has been set for this site by the FAA.

TOWN OF ADDISON AVIATION EASEMENT
WHEREAS, CENTRE OFFICE INVESTORS, L.P., hereinafter called "Grantor", is the owner of that certain parcel of land situated in the Town of Addison, County of Dallas, State of Texas, to wit:

hereinafter called "Grantor's Property", and outlined on the attached map.
NOW, THEREFORE, for consideration of the sum of One and no/100 Dollars (\$1.00) and other good and valuable consideration paid by the Grantee, hereinafter named, to the Grantor, the receipt and sufficiency of which is hereby specifically acknowledged, the Grantor, its successors and assigns, subject to the provisions herein contained, hereby grants, bargains, sells and conveys unto the Town of Addison, State of Texas, its successors and assigns, the Grantor, for use and benefit of the public, a perpetual easement and right-of-way over that portion of the Grantor's land described in Exhibit "A", in the vicinity of Addison Airport, for the purpose of the passage of all aircraft ("aircraft" being defined for the purpose of this instrument as any device now known or hereafter invented, used or designated for navigation of, or flight in the air) by whomsoever owned and operated in the air space to an infinite height above the surface of the Grantor's property, together with the right to cause in said air space noise, vibration and all other effects that may be caused by the operation of aircraft landing at or taking off from, or operating at, or on Addison Airport located in Dallas County, Texas; Grantor hereby waives, remits and releases any right or cause of action which Grantor has now, or which Grantor may have in the future against the Grantee, its successors and assigns, or Addison Airport, due to such noise, vibration, and other effects that may be caused by the operation of aircraft landing and taking off from, or operating at, or on Addison Airport; the Grantor further grants that upon said property (A) no use shall be permitted that causes a discharge into the air of fumes, smoke or dust which will obstruct visibility and adversely affect the operation of aircraft or cause any interference with navigational facilities necessary to aircraft operation, and (B) no development or construction shall be permitted which will interfere in any way with the safe operation of aircraft in the air space over the land described herein or at or on the Addison Airport.

To have and to hold said easement and right-of-way and all rights appertaining hereto unto the Grantee, its successors and assigns, until the Addison Airport shall be abandoned and shall cease to be used for airport purposes. It is specifically understood and agreed that this easement, its covenants and agreements shall run with the land, which successors and assigns, further acknowledges that the easements herein granted contemplate and include all existing and future operations at Addison Airport, acknowledging that future aircraft numbers and types will most likely increase and noise patterns may also increase, in that the rights, obligations and covenants herein set forth shall not terminate or vary in the event of changes in the flight volume or noise, traffic patterns, runway lengths or locations or characteristics or type or category of aircraft using the Addison Airport, Town of Addison, Texas.
Executed to be effective as of Grantor's acquisition of Grantor's Property and delivery of this document to Grantee.

By: CENTRE OFFICE INVESTORS, L.P.,
a Texas limited partnership,
its sole general partner
By: CENTRE OFFICE PARTNERS, L.P.,
a Texas limited partnership,
its sole general partner
By: CENTRE DEVELOPMENT CO., Inc.,
a Texas corporation,
its sole general partner
By: Jack I. McJunkin, Sr.,
Chairman

STATE OF TEXAS
COUNTY OF DALLAS
BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Jack McJunkin, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.
GIVEN under my hand and seal of office, this ____ day of _____, 1997.

John R. Piburn, Jr., R.P.L.S.
Registration No. 3888
Notary Public in and for the State of Texas
STATE OF TEXAS
COUNTY OF DALLAS
BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared John R. Piburn, Jr., known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.
GIVEN under my hand and seal of office, this ____ day of _____, 1997.

Notary Public in and for the State of Texas

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:
That CENTRE DEVELOPMENT CO., INC. ("Owner") does hereby adopt this plat designating the herein above property as Quorum Drive Office, an addition to the Town of Addison, Texas, and subject to the conditions, restrictions and reservations stated hereinafter, owner dedicates to the public use forever the streets and alleys shown thereon.

The easements shown on this plat are hereby reserved for the purposes as indicated, including, but not limited to, the installation and maintenance of water, sanitary sewer, storm sewer, drainage, electric, telephone, gas and cable television. Owner shall have the right to use these easements, provided however, that it does not unreasonably interfere or impede with the provision of the services to others. Said utility easements are hereby being reserved by mutual use and accommodation of all public utilities using or desiring to use the same. An express easement of ingress and egress is hereby expressly granted on, over and across all such easements for the benefit of the provider of services for which easements are granted.
Any drainage and floodway easement shown hereon is hereby dedicated to the public's use forever, but including the following covenants with respect to maintenance responsibilities. The existing channels or creeks traversing the drainage and floodway easement will remain as an open channel, unless required to be enclosed by concrete, at all times and shall be maintained by the individual owners of the lot or lots that are traversed by or adjacent to the drainage and floodway easement. The city will not be responsible for the maintenance and operation of said creek or creeks or for any damage or injury of private property or person that results from the flow of water along said creek, or for the control of erosion. No obstruction to the natural flow of water run-off shall be permitted by construction of any type building, fence or any other structure within the drainage and floodway easement. Provided, however, it is understood that in the event it becomes necessary for the city to channelize or consider the drainage and floodway easement at any point or points, with all rights of ingress and egress to investigate, survey, erect, construct or maintain any drainage facility deemed necessary by the city for maintenance or efficiency of its respective system or working.

Water main and sanitary sewer easements shall also include additional area of working space for construction and maintenance of the systems. Additional easement area is also conveyed for installation and maintenance of manholes, cleanouts, fire hydrants, water services and sewer services from the main to curb or pavement line, and the descriptions of such additional easements herein granted shall be determined by their locations as installed.
This plat is approved subject to all plotting ordinances, rules, regulations and resolutions of the Town of Addison, Texas.
WITNESS MY HAND AT DALLAS, TEXAS, THIS ____ DAY OF _____, 1997.

By: QUORUM OFFICE INVESTORS, L.P.,
a Texas limited partnership
By: CENTRE OFFICE PARTNERS, L.P.,
a Texas limited partnership,
its sole general partner
By: CENTRE DEVELOPMENT CO., Inc.,
a Texas corporation,
its sole general partner
By: Jack I. McJunkin, Sr.,
Chairman

STATE OF TEXAS
COUNTY OF DALLAS
BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Jack McJunkin, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.
GIVEN under my hand and seal of office, this ____ day of _____, 1997.

Notary Public in and for the State of Texas
CERTIFICATE OF APPROVAL:
MAYOR, TOWN OF ADDISON
CITY SECRETARY
VOLUME _____ PAGE _____

FINAL PLAT
QUORUM DRIVE OFFICE BUILDING
SITUATED IN THE
JOSIAH PANCOAST SURVEY, ABSTRACT NO. 1146
AND BEING PART OF
BLOCK 2, QUORUM ADDITION
AN ADDITION TO THE
TOWN OF ADDISON, DALLAS COUNTY, TEXAS

OWNER: CENTRE DEVELOPMENT CO., INC.
14001 NORTH DALLAS PARKWAY
SUITE 900
DALLAS, TX 75240
(972) 980-8060
PREPARED BY: BROCKETT-DRAKE, INC.
4144 NORTH CENTRAL EXPRESSWAY
SUITE 1100
DALLAS, TEXAS 75204
(214) 824-3647

SHEET 1 OF 1
SCALE 1"=40'

Water Easement Line Data

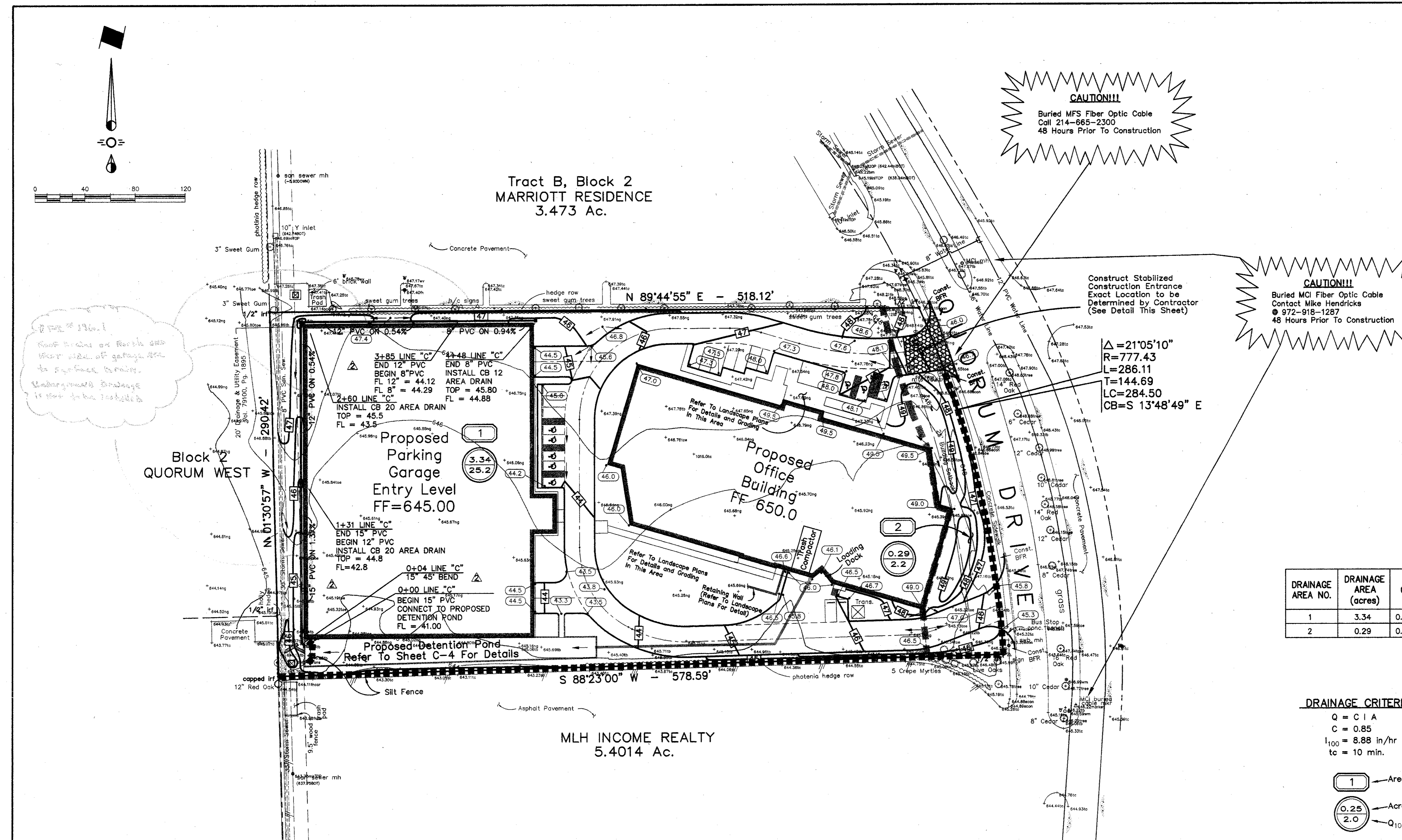
LINE	BEARING	DISTANCE
L1	N 42°42'04" W	20.97
L2	S 47°17'56" E	15.00
L3	S 42°42'04" E	20.66
L4	S 40°34'26" W	8.74
L5	S 49°25'34" E	10.00
L6	N 40°34'26" E	11.88
L7	N 01°37'00" W	15.00
L8	N 88°23'00" E	25.00
L9	S 01°37'00" E	15.00

*Bearings are based upon the west line of Quorum (N 01°30'57" W) as recorded by plat in Volume 79100, Page 1895, Deed Records, Dallas County, Texas.

MLH INCOME REALTY
5.4014 Ac.
Vol 83056, Pg 4222
BLOCK 2, QUORUM
STATE OF TEXAS ()
COUNTY OF DALLAS ()
WHEREAS, CENTRE DEVELOPMENT CO., INC. is the owner of a tract of land situated in the Josiah Pancoast Survey, Abstract No. 1146, Dallas County, Texas, and being part of BLOCK 2, QUORUM, an addition to the Town of Addison according to the plat thereof recorded in Volume 79100, Page 1895, Deed Records, Dallas County, Texas, and being more particularly described as follows:
COMMENCING at the northwest corner of said BLOCK 2, QUORUM, in the south line of Belt Line Road (100' public R.O.W.);
THENCE S01°30'57"E along the west line of said BLOCK 2, QUORUM, a distance of 371.00 feet to the POINT OF BEGINNING, a 1/2" iron rod found for corner;
THENCE N89°44'55"E departing the said west line of BLOCK 2, QUORUM, and along the south line of that certain 3.473 acre tract conveyed to Marriott Residence by deed recorded in Volume 95165, Page 3999, Deed Records, Dallas County, Texas, a distance of 518.12 feet to a 1/2" iron rod found for corner in the west line of Quorum Drive (variable width public R.O.W.), at the beginning of a non-tangent curve to the right which has a central angle of 21°05'10", a radius of 777.43 feet, and a chord which bears S13°48'49" E = 284.50 feet;
THENCE along the curving west line of said Quorum Drive, an arc distance of 286.11 feet to a 1/2" iron rod found for corner at the northeast corner of that certain 5.4014 acre tract conveyed to MLH Income Realty by deed recorded in Volume 83056, Page 4222, Deed Records, Dallas County, Texas;
THENCE S88°23'00"W departing the said west line of Quorum Drive, and along the north line of said 5.4014 acre tract, a distance of 578.59 feet to a capped iron rod found for corner in the east line of Landmark Plaza Addition, as recorded in Volume 84211, Page 2841, Deed Records, Dallas County, Texas;
THENCE N01°30'57"W along the west line of the aforementioned BLOCK 2, QUORUM, common with the east line of said Landmark Plaza Addition, and the east line of Block 2, Quorum West, as recorded in Volume 81005, Page 1454, Deed Records, Dallas County, Texas, a distance of 290.42 feet to the POINT OF BEGINNING and containing 158,155 square feet or 3.6308 acres of land, more or less.

14911 QUORUM DRIVE
Office Building, Addison, TX
CENTRE DEVELOPMENT CO., INC.

Job
Date 06/09/97
Drawn
Check
PRF
Sheet
C-1
Of



- General Notes**
- All materials and construction shall conform to the Town of Addison's Standards and Specifications except as noted herein or by the City.
 - All storm sewer pipe 18" and larger shall be Class III RCP.
 - Contractor shall be responsible for maintaining trench safety requirements in accordance with City Standards, Texas State Law, and O.S.H.A. Standards for all excavation in excess of five feet in depth.
 - Concrete for inlets and drainage structures shall be 3000 psi at 28 days.
 - Construction shall begin at downstream end of project and continue upstream with pipe grooves facing upstream.
 - Contractor shall protect all public utilities in the construction of this project.
 - The location of all utilities indicated on these plans are taken from existing public records. The exact location and elevation of all public utilities must be determined by the Contractor. It shall be the duty of the Contractor to ascertain whether any additional facilities other than those shown on the plans may be present.
 - If rock is encountered in the trench, rock spoil shall not be used in the upper 1.5 feet of the trench. The upper 1.5 feet of the trench is to be backfilled only with quality topsoil.
 - See Water and Sanitary Sewer Plan for additional information related to other utility construction.
 - All trench backfill for storm sewer shall be compacted as required by City.
 - It will be the responsibility of the contractor to protect all public utilities in the construction of this project. All manholes, clean-outs, valve boxes, fire hydrants, etc. must be adjusted to proper line and grade by the contractor prior to and after the placing of permanent paving. Utilities must be maintained to proper line and grade during construction of the paving for this development.
 - Backfill for utility lines should be carefully placed so that they will be stable. Where utility lines cross through the parking lot, the top 6" should be compacted similarly to the remainder of the lot. Utility ditches should be visually inspected during the excavation process to insure that undesirable fill is not used.
 - Prior to placing any fill material, all existing surfaces, vegetation, loose fill, and debris should be removed to a minimum depth of 6". All exposed surfaces should then be scarified, watered as required, and recompacted to a minimum density of 92% of the maximum dry density as defined by ASTM D 698 (Standard Proctor Test) at a moisture content between one (1) and four (4) percent above optimum moisture content. Refer to Reed Engineering Group, Report N. 3520.
 - Drainage should be maintained away from the foundations, both during and after construction.
 - Areas of construction shall be properly barricaded for the protection of the public.

DRAINAGE AREA NO.	DRAINAGE AREA (acres)	C	I_{100} (in/hr)	Q_{100} (cfs)	Comments
1	3.34	0.85	8.88	25.2	SHEET FLOW TO DETENTION STRUCTURE
2	0.29	0.85	8.88	2.2	SHEET FLOW TO QUORUM DRIVE

LEGEND

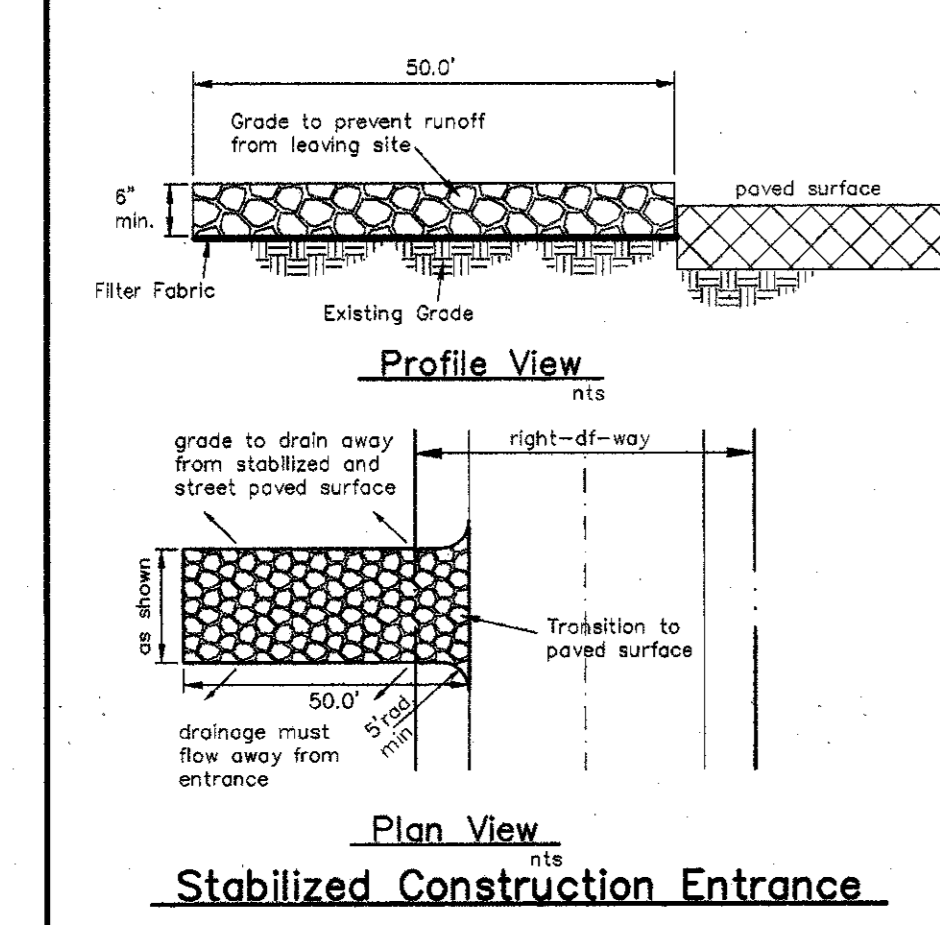
- Existing Contour
- Proposed Contour
- Existing Spot Shot
- Proposed Spot Shot
- Flow Arrow
- Barrier Free Ramp
- Existing Curb
- Proposed Curb
- Sawcut
- Drainage Divide Line
- Silt Fence

DRAINAGE CRITERIA

$Q = C I A$
 $C = 0.85$
 $I_{100} = 8.88$ in/hr
 $t_c = 10$ min.

1 - Area No.
0.29 - Acres
2.0 - Q_{100}

Benchmarks:
Disk in Brick Wall of Old Addison School Bldg.
4.0' Above Ground
Elevation : 650.61



- Notes:**
- Stone shall be 3 to 5 inch diameter crushed rock or acceptable crushed Portland Cement Concrete.
 - When necessary, vehicles shall be cleaned to remove sediment prior to entrance onto a public roadway. When washing is required, it shall be done on a area stabilized with crushed stone with drainage flowing away from both the street and the stabilized entrance. All sediment shall be prevented from entering any storm drain, ditch or watercourse using approved methods.
 - The entrance shall maintained in a condition which will prevent tracking or flowing of sediment onto paved surfaces. This may require periodic top dressing with additional stone a conditions demand. All sediment spilled, dropped, washed or tracked onto paved surfaces, must be removed immediately.
 - The entrance must be properly graded or incorporate a drainage swale to prevent runoff from leaving the construction site.

AS-BUILT

6/17/98

NOTE: THESE PLANS HAVE BEEN REVISED TO CONFORM WITH CONSTRUCTION RECORDS PROVIDED BY CONTRACTOR

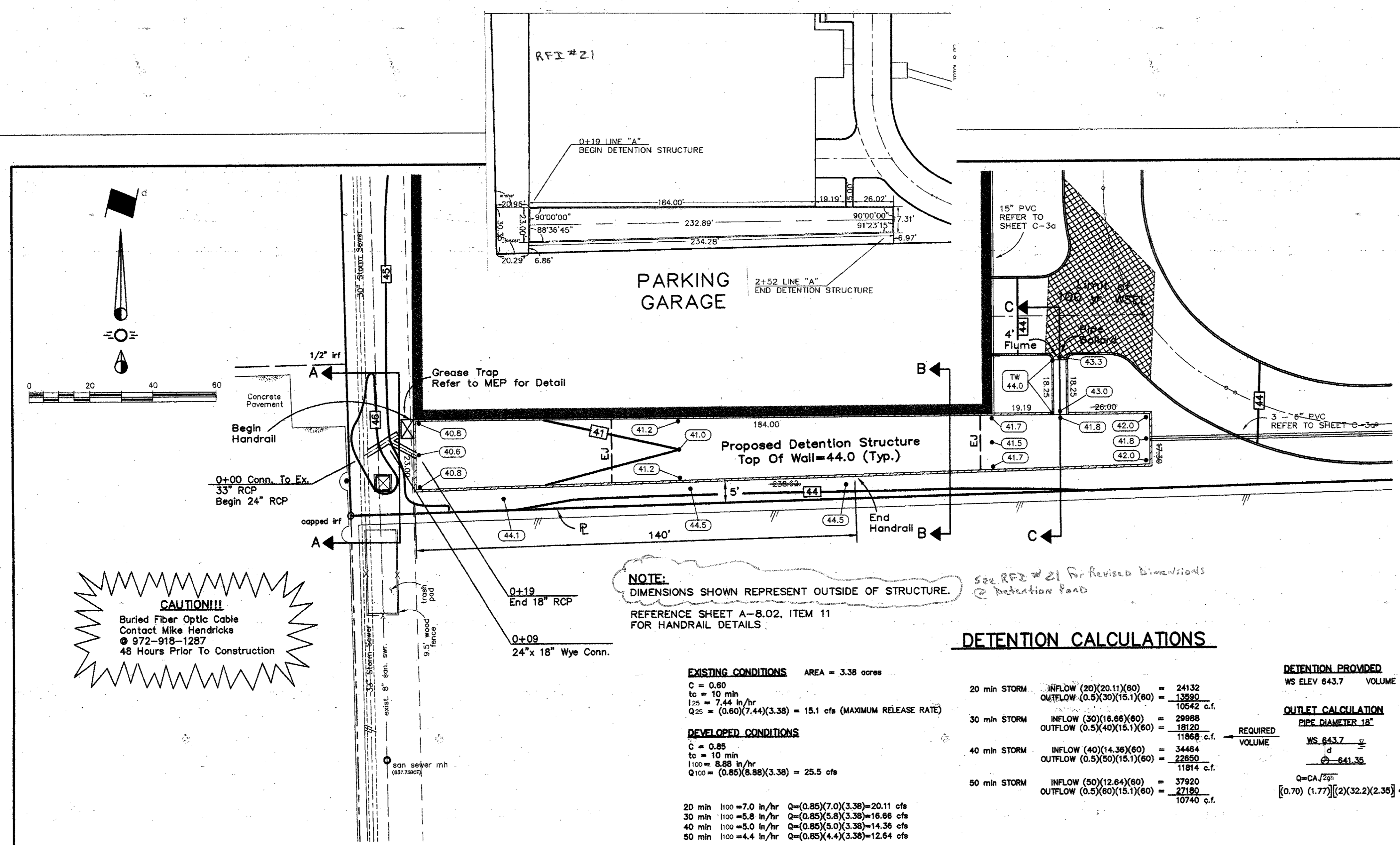
6/17/98

6/17/97

Grading/Erosion Control Plan
Quorum Drive Office
Addison, Texas

BROCKETTE • DAVIS • DRAKE, INC.
Consulting engineers
Civil & Structural Engineering • Surveying
4144 North Central Expressway, Suite 1100 • Dallas, Texas 75204
(214) 824-3647 • fax (214) 824-7064

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
HWI	STL	06/09/97	1"=40'	FG	C97138	C-2



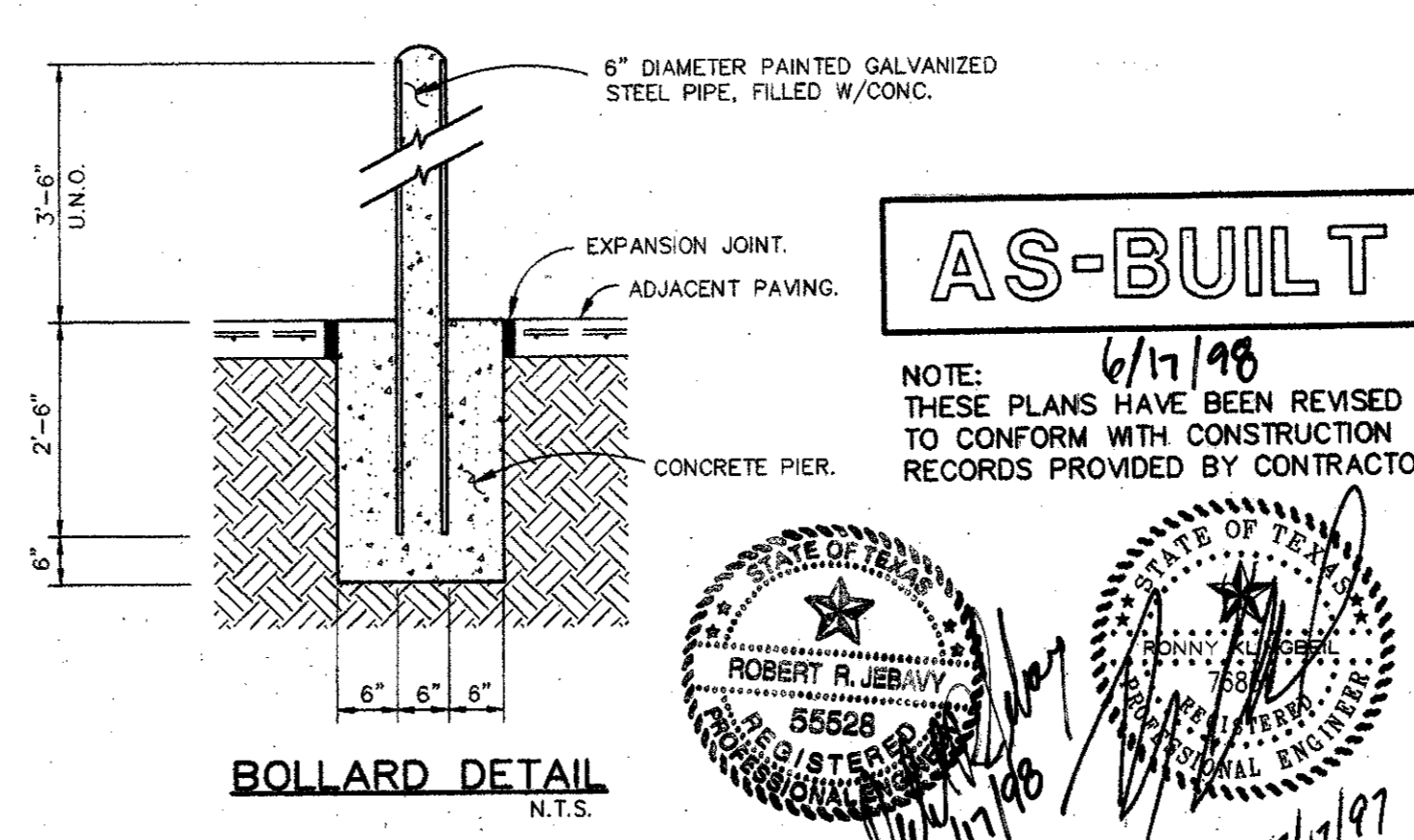
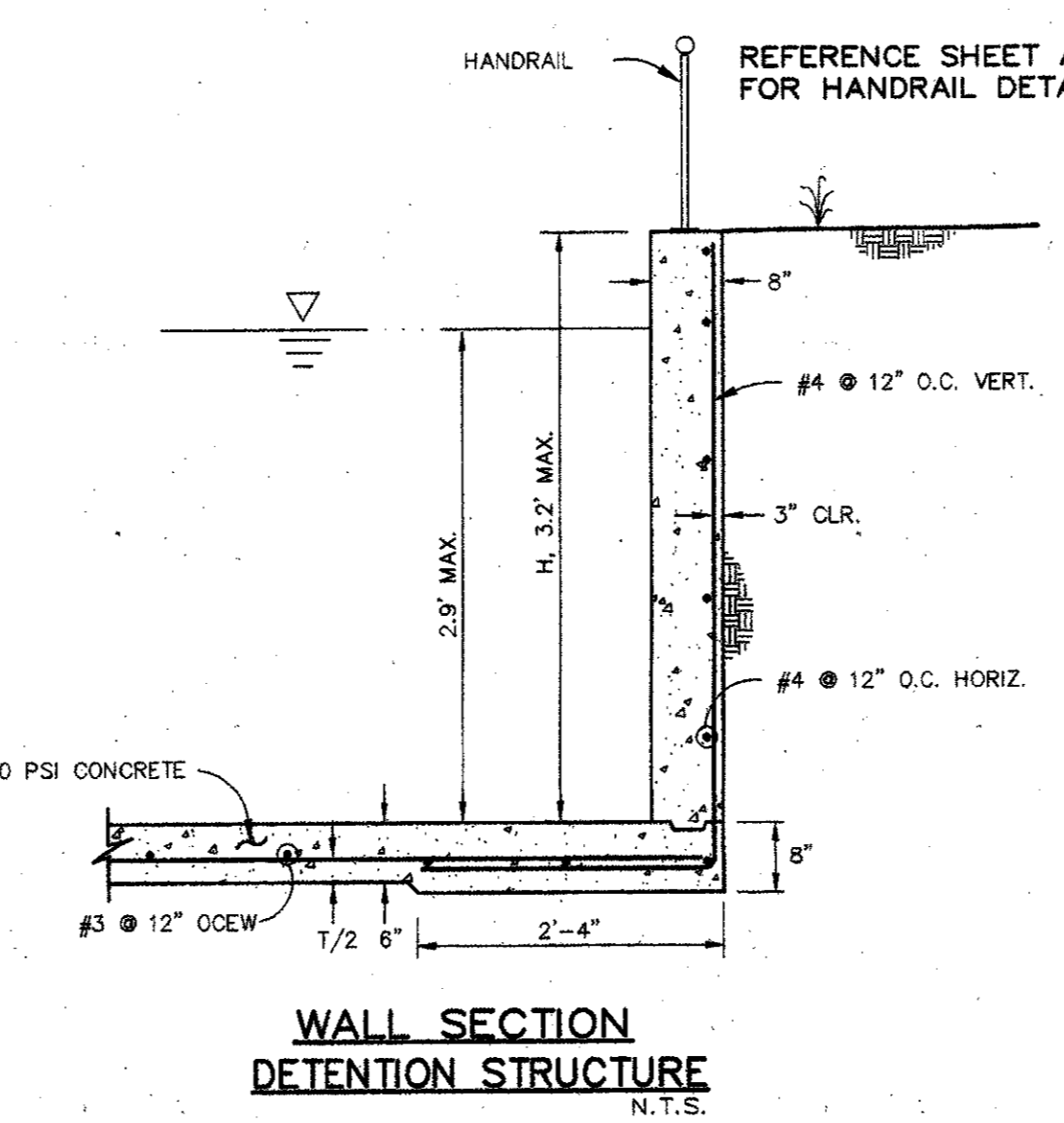
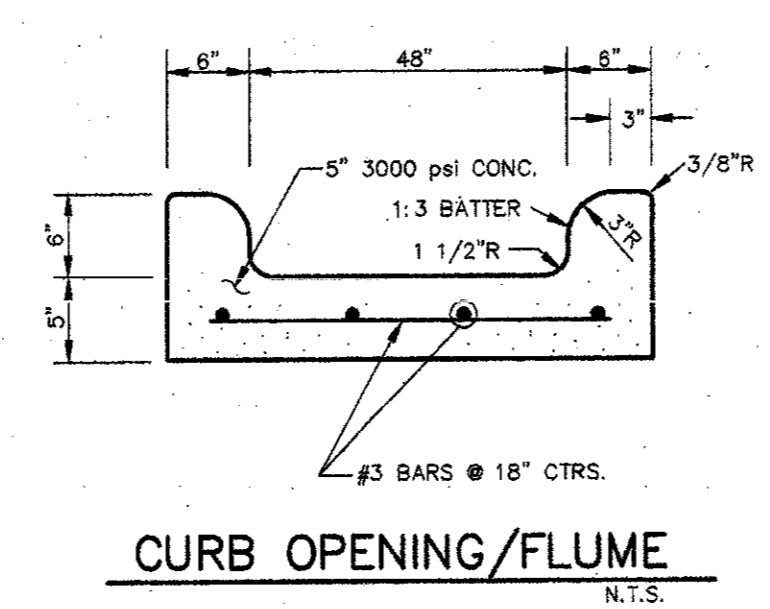
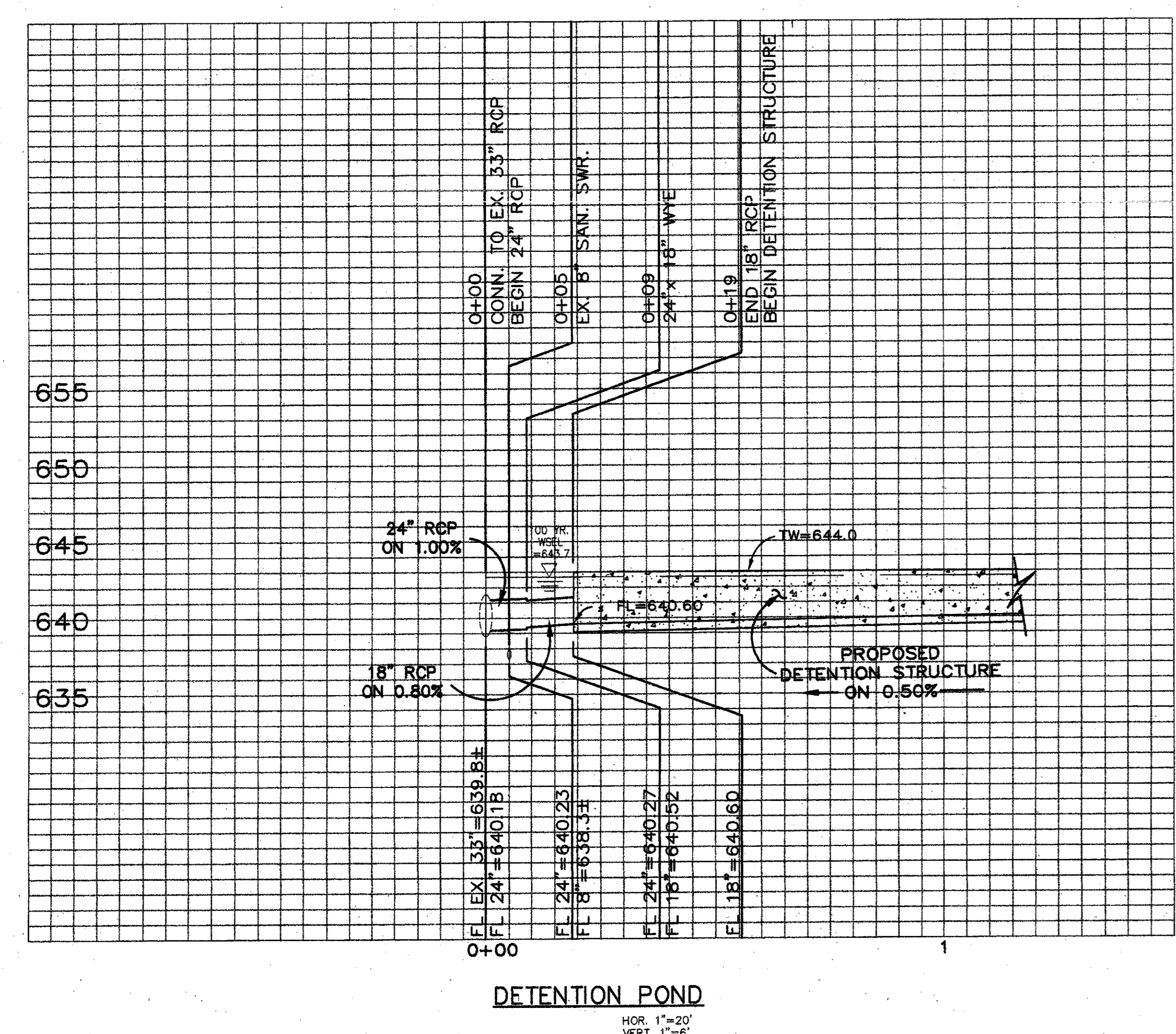
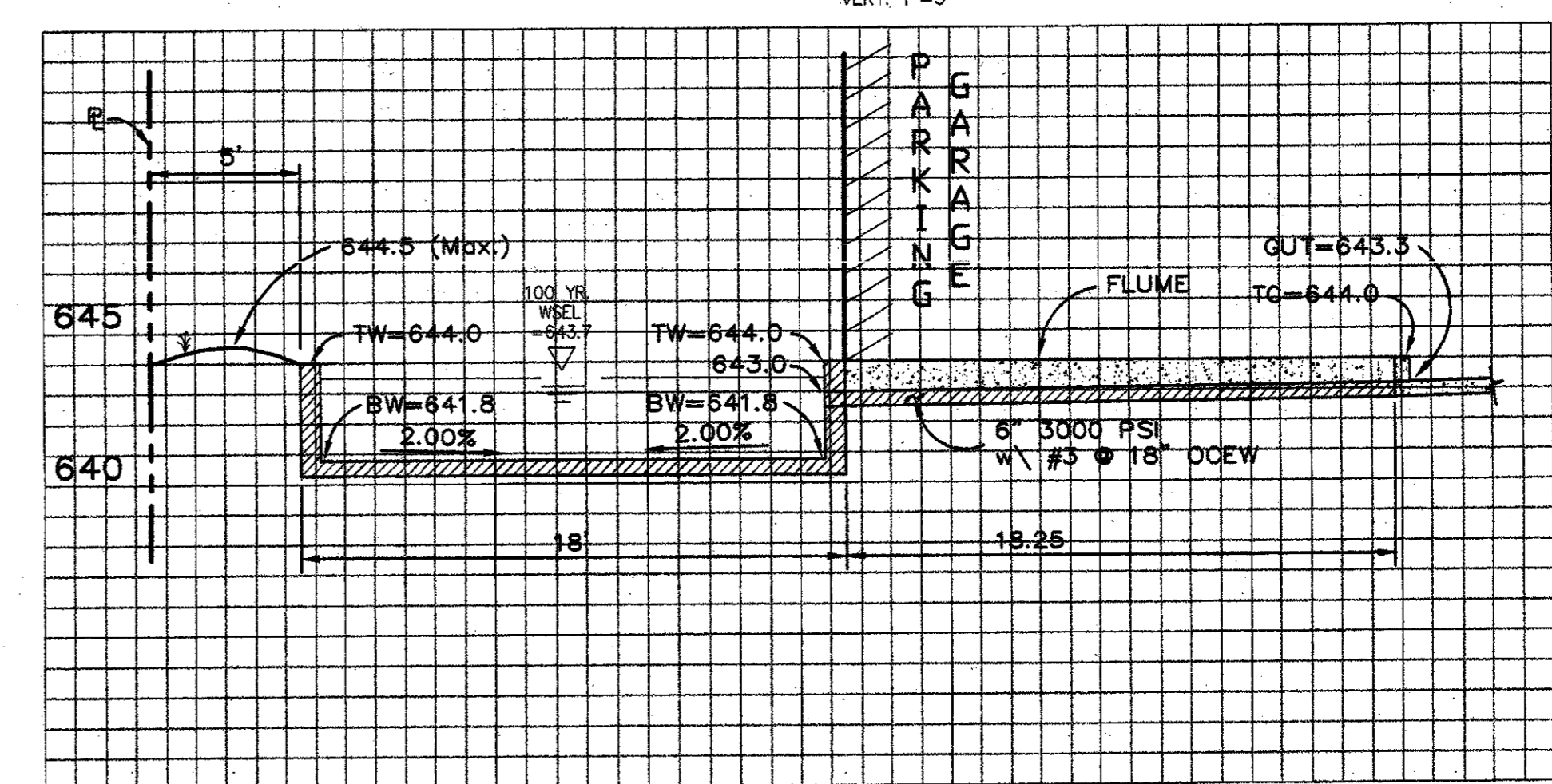
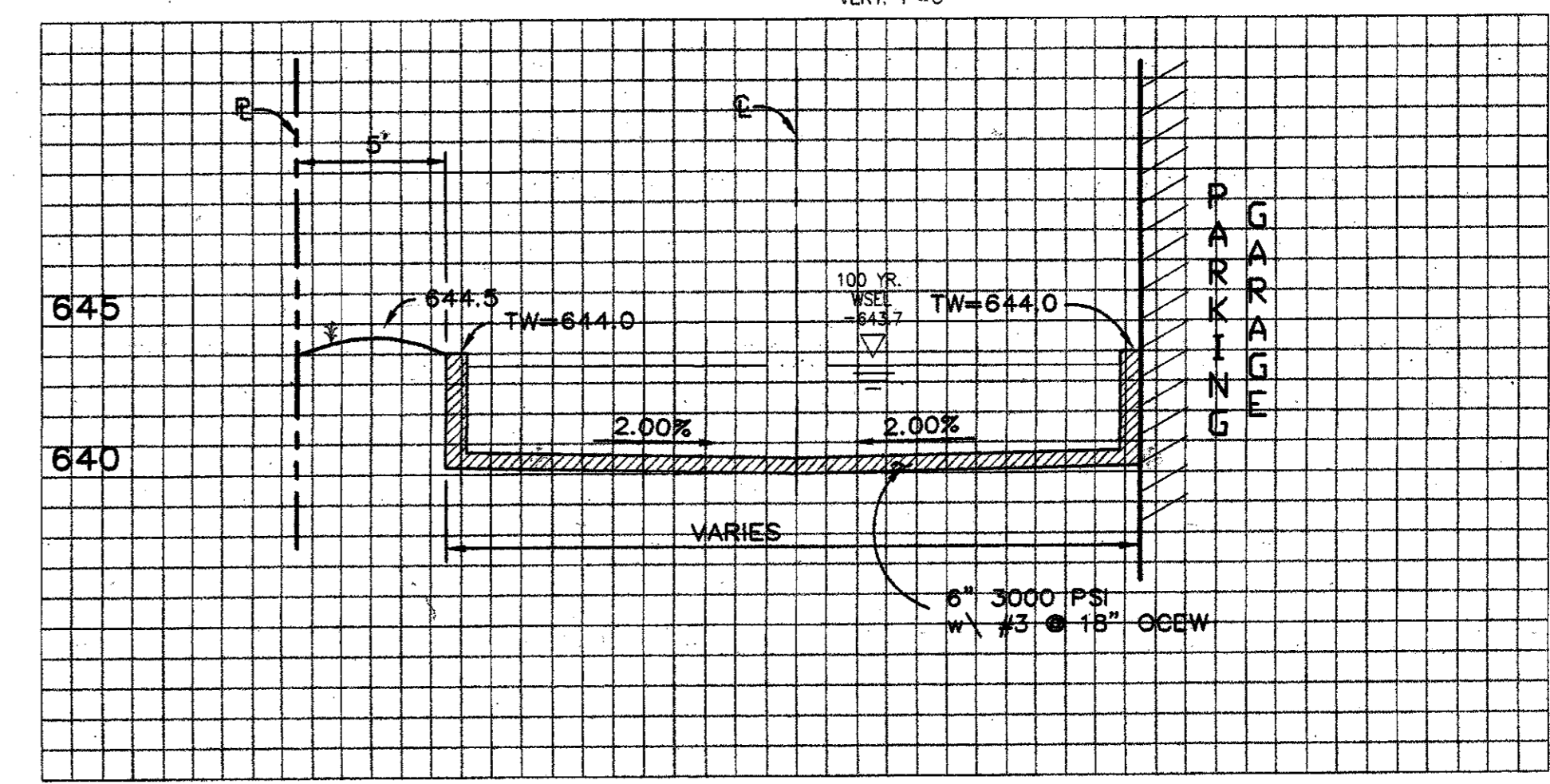
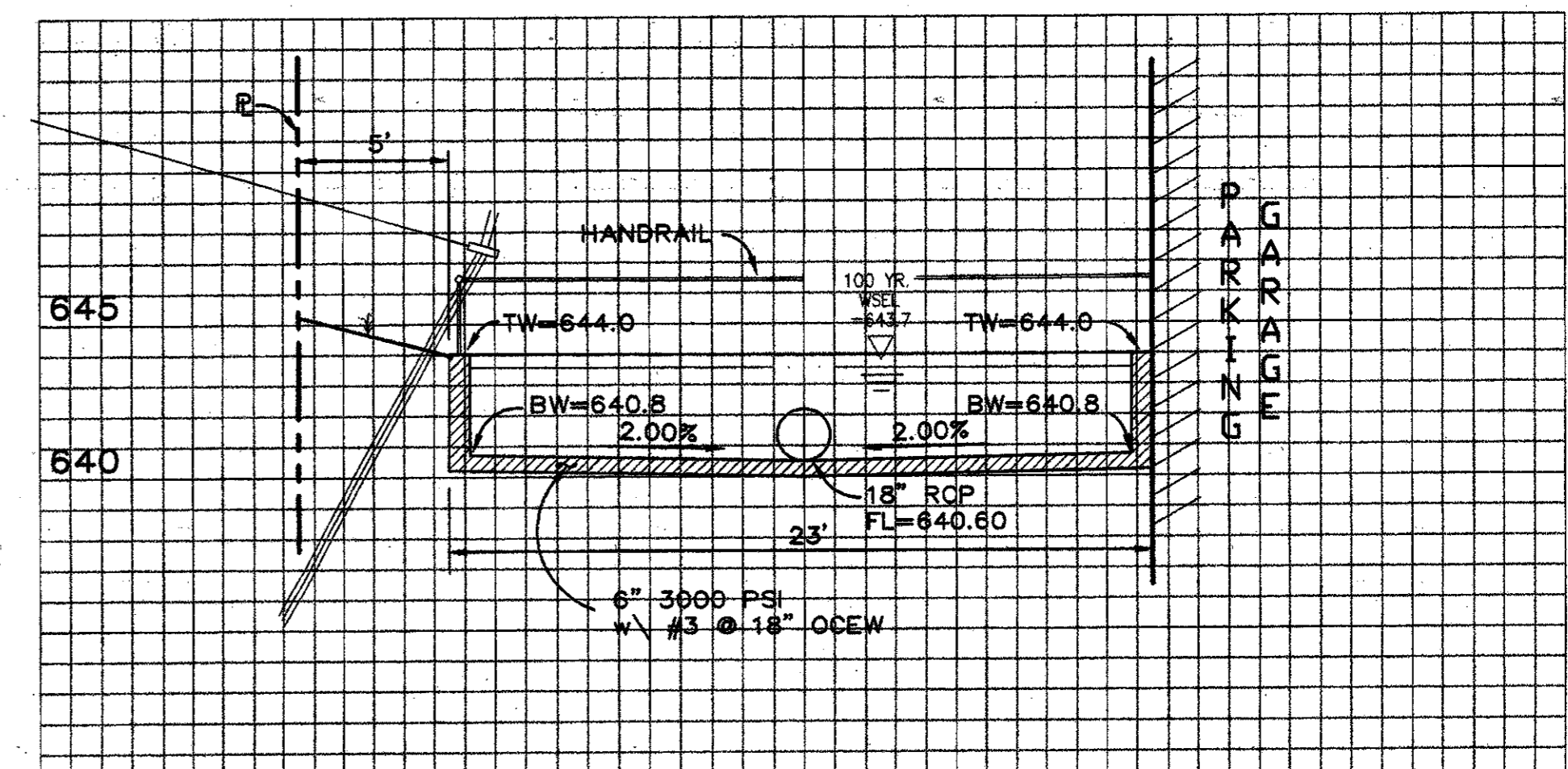
DETENTION CALCULATIONS

STORM	INFLOW	OUTFLOW	REQUIRED VOLUME	DETENTION PROVIDED
20 min	24132	13890	10242	11900 c.f.
30 min	29988	18120	11868	
40 min	34464	22550	11914	
50 min	37920	27180	10740	

EXISTING CONDITIONS AREA = 3.38 acres
C = 0.80
to = 10 min
I₂₅ = 7.44 in/hr
Q₂₅ = (0.60)(7.44)(3.38) = 15.1 cfs (MAXIMUM RELEASE RATE)

DEVELOPED CONDITIONS
C = 0.85
to = 10 min
I₁₀₀ = 8.85 in/hr
Q₁₀₀ = (0.85)(8.85)(3.38) = 25.5 cfs

OUTLET CALCULATION
PIPE DIAMETER 18"
WS 643.7
Q = CA^{2.487}
[(0.70) (1.77)] [2(32.2)(2.35)]^{2.487} = 15.2 cfs



AS-BUILT
6/11/98

NOTE: THESE PLANS HAVE BEEN REVISED TO CONFORM WITH CONSTRUCTION RECORDS PROVIDED BY CONTRACTOR.

ROBERT R. JEBBINS
REGISTERED PROFESSIONAL ENGINEER
55228
6/11/98

Detention Structure						
Quorum Drive Office						
Addison, Texas						
BROCKETTE • DAVIS • DRAKE, INC.						
consulting engineers						
Civil & Structural Engineering • Surveying						
4144 North Central Expressway, Suite 1100 • Dallas, Texas 75204						
(214) 824-3647 • fax (214) 824-7064						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
HM	STL	06/09/97	AS SHOWN	FC	C97138	C-3

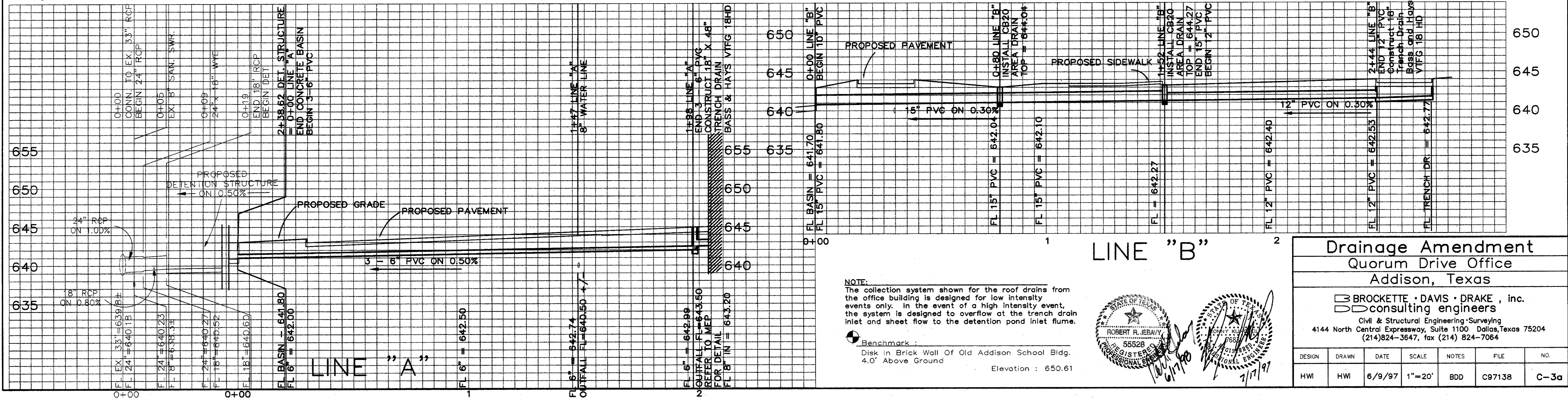
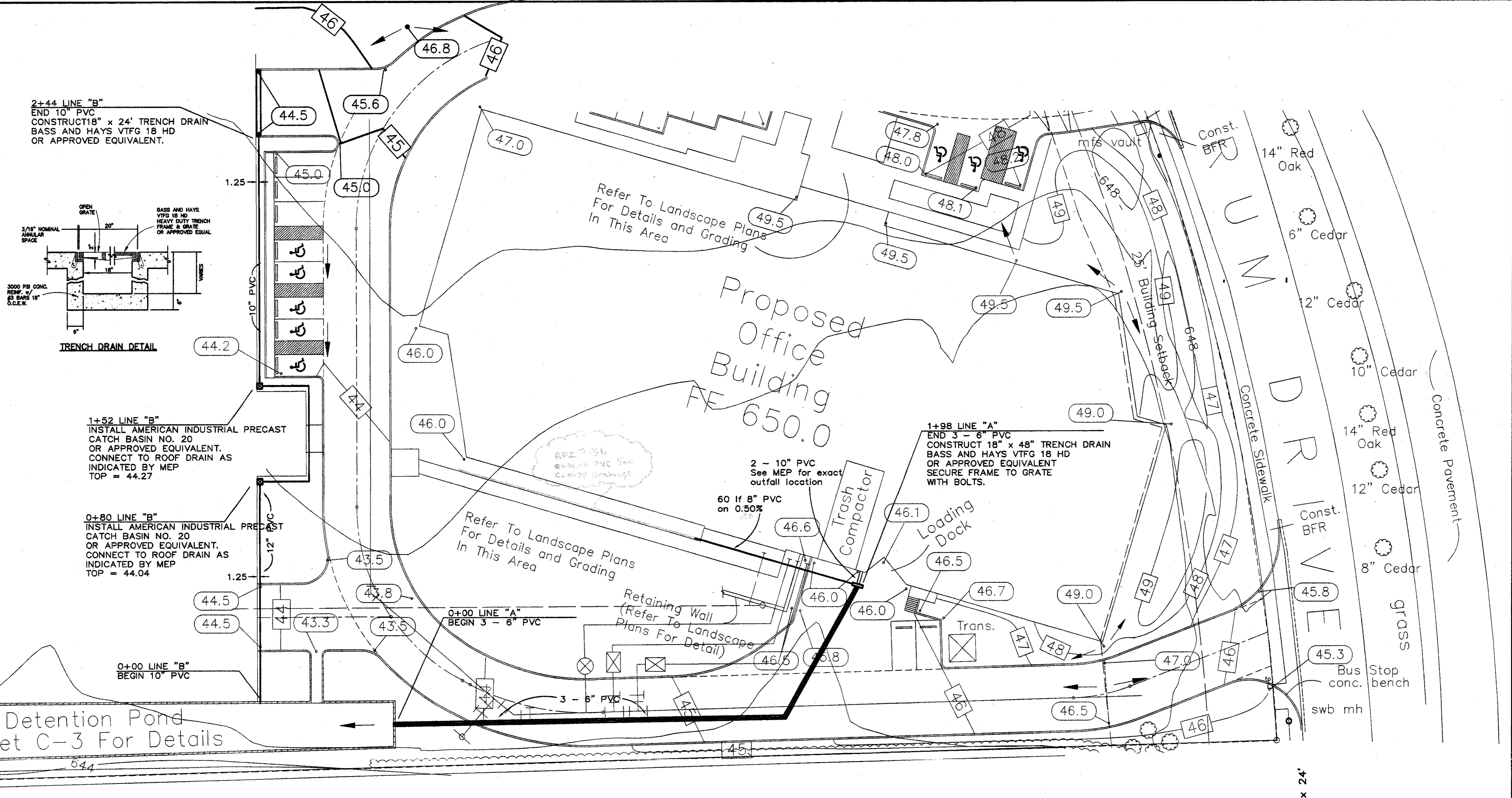
ISSUES

06/09/97	BID SET
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REVISIONS

06/17/97	ADDENDUM #1
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- General Notes**
- All materials and construction shall conform to the Town of Addison's Standards and Specifications except as noted herein or by the City.
 - All storm sewer pipe 18" and larger shall be Class III RCP. All storm sewer pipe 15" or smaller shall be SDR-35 PVC (ASTM 3034) or approved equal.
 - Contractor shall be responsible for maintaining trench safety requirements in accordance with City Standards, Texas State Law, and O.S.H.A. Standards for all excavation in excess of five feet in depth.
 - Concrete for inlets and drainage structures shall be 3000 psi at 28 days.
 - Construction shall begin at downstream end of project and continue upstream with pipe grooves facing upstream.
 - Contractor shall protect all public utilities in the construction of this project.
 - The location of all utilities indicated on these plans are taken from existing public records. The exact location and elevation of all public utilities must be determined by the Contractor. It shall be the duty of the Contractor to ascertain whether any additional facilities other than those shown on the plans may be present.
 - If rock is encountered in the trench, rock spoil shall not be used in the upper 1.5 feet of the trench. The upper 1.5 feet of the trench is to be backfilled only with quality topsoil.
 - See Water and Sanitary Sewer Plan for additional information related to other utility construction.
 - All trench backfill for storm sewer shall be compacted as required by City.
 - It will be the responsibility of the contractor to protect all public utilities in the construction of this project. All manholes, clean-outs, valve boxes, fire hydrants, etc. must be adjusted to proper line and grade by the contractor prior to and after the placing of permanent paving. Utilities must be maintained to proper line and grade during construction of the paving for this development.
 - Backfill for utility lines should be carefully placed so that they will be stable. Where utility lines cross through the parking lot, the top 6" should be compacted similarly to the remainder of the lot. Utility ditches should be visually inspected during the excavation process to insure that undesirable fill is not used.
 - Prior to placing any fill material, all existing surfaces, vegetation, loose fill, and debris should be removed to a minimum depth of 6". All exposed surfaces should then be scarified, watered as required, and recompacted to a minimum density of 92% of the maximum dry density as defined by ASTM D 698 (Standard Proctor Test 1) at a moisture content between one (1) and four (4) percent above optimum moisture content. Refer to Reed Engineering Group, Report N. 3520.
 - Drainage should be maintained away from the foundations, both during and after construction.
 - Areas of construction shall be properly barricaded for the protection of the public.



Drainage Amendment
 Quorum Drive Office
 Addison, Texas

BRCKETTE · DAVIS · DRAKE, inc.
 consulting engineers

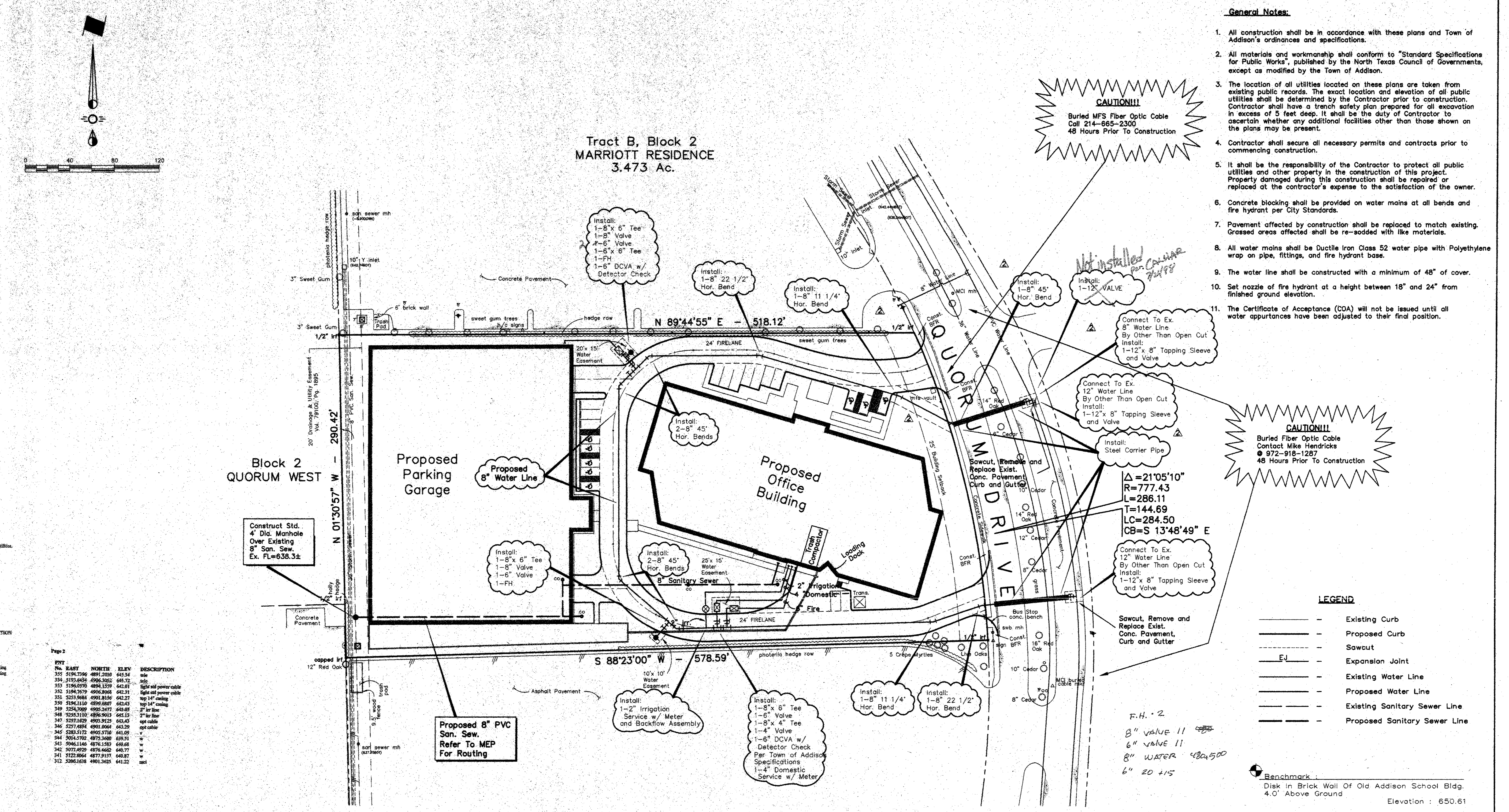
Civil & Structural Engineering · Surveying
 4144 North Central Expressway, Suite 1100 Dallas, Texas 75204
 (214) 824-3647, fax (214) 824-7084

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
HWI	HWI	6/9/97	1"=20'	BDD	C97138	C-3a

14911 QUORUM DRIVE
 Office Building, Addison, TX

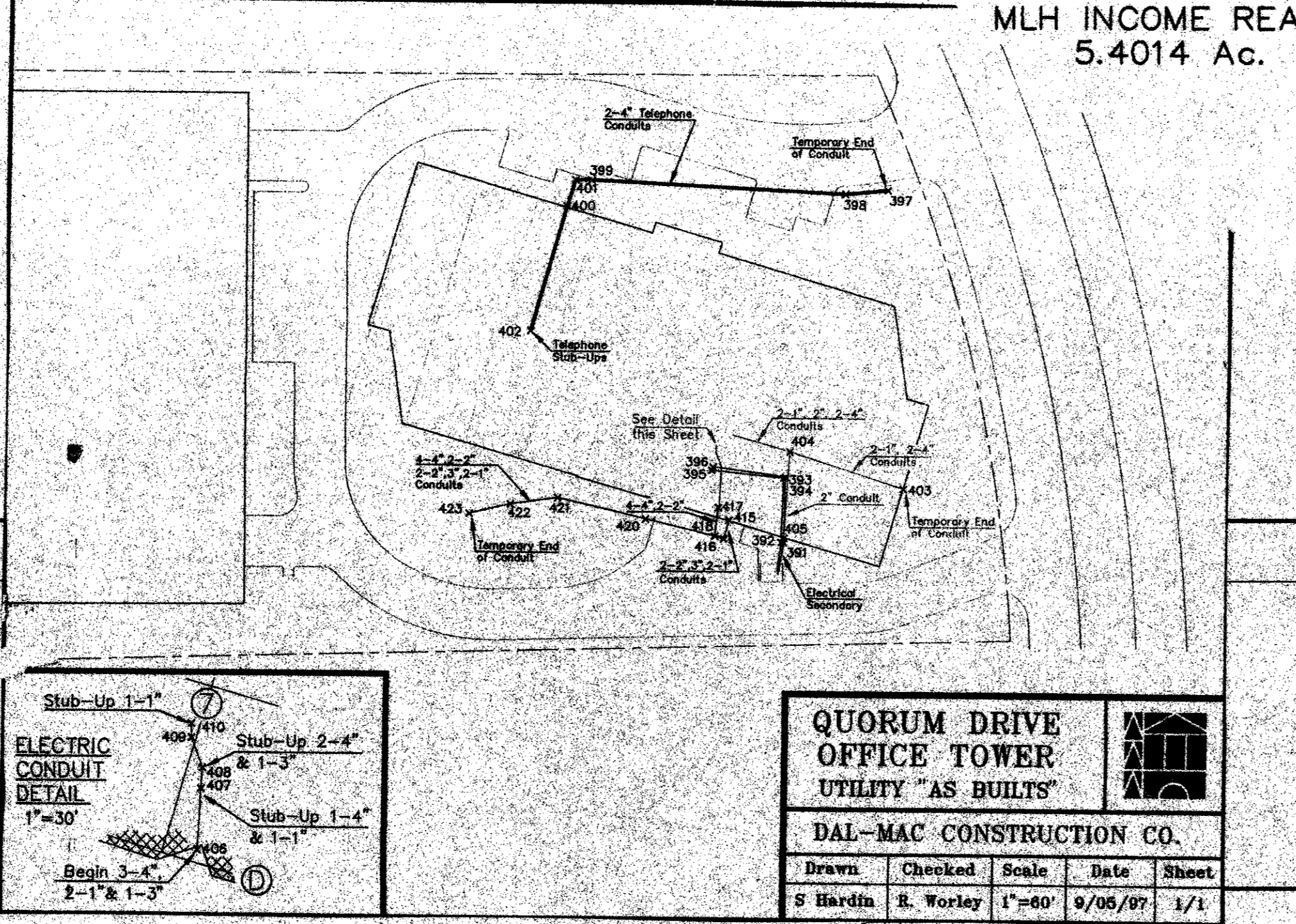
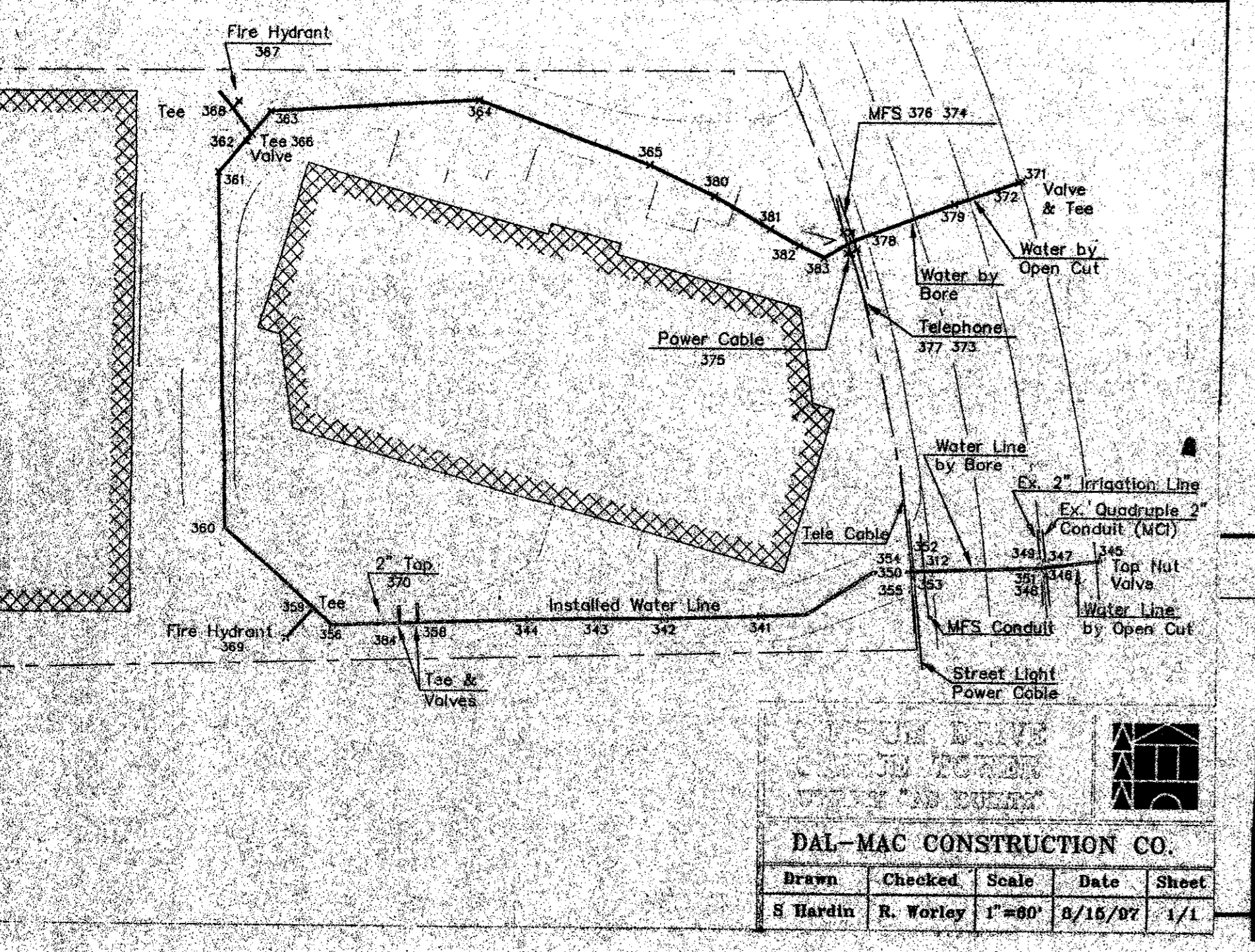
CENTRE DEVELOPMENT CO., INC.

- General Notes:**
- All construction shall be in accordance with these plans and Town of Addison's ordinances and specifications.
 - All materials and workmanship shall conform to "Standard Specifications for Public Works", published by the North Texas Council of Governments, except as modified by the Town of Addison.
 - The location of all utilities located on these plans are taken from existing public records. The exact location and elevation of all public utilities shall be determined by the Contractor prior to construction. Contractor shall have a trench safety plan prepared for all excavation in excess of 5 feet deep. It shall be the duty of Contractor to ascertain whether any additional facilities other than those shown on the plans may be present.
 - Contractor shall secure all necessary permits and contracts prior to commencing construction.
 - It shall be the responsibility of the Contractor to protect all public utilities and other property in the construction of this project. Property damaged during this construction shall be repaired or replaced at the contractor's expense to the satisfaction of the owner.
 - Concrete blocking shall be provided on water mains at all bends and fire hydrant per City Standards.
 - Pavement affected by construction shall be replaced to match existing. Graded areas affected shall be re-graded with like materials.
 - All water mains shall be Ductile Iron Class 52 water pipe with Polyethylene wrap on pipe, fittings, and fire hydrant base.
 - The water line shall be constructed with a minimum of 48" of cover.
 - Set nozzle of fire hydrant at a height between 18" and 24" from finished ground elevation.
 - The Certificate of Acceptance (COA) will not be issued until all water appurtenances have been adjusted to their final position.



Location of furnished water line and exposed existing utilities.
Survey by S. Hardin, DAL-MAC Construction Co.
Weeks of 8/23/97 through 9/22/97
Coordinates based on Staking Sheet provided by
D&S Inc. Engineers

PT	EAST	NORTH	ELEV	DESCRIPTION
364	4993.6543	4874.8396	642.00	top of water pipe
383	5149.8258	5099.2182	641.01	top of 12" manhole
382	5171.9639	5055.8614	641.84	w
381	5123.2874	5053.7004	642.57	top of 12" manhole
380	5097.8777	5079.3968	643.01	w
379	5211.8461	5076.2657	640.00	top of 12" manhole
378	5163.3186	5076.2091	641.00	top of 12" manhole
377	5120.8945	5062.5948	646.17	top of 12" manhole
376	5126.4716	5062.9029	643.19	top of 12" manhole
375	5181.6940	5052.4739	642.94	top of 12" manhole
374	5165.4191	5054.4491	642.53	top of 12" manhole
373	5182.8243	5043.4436	646.25	top of 12" manhole
372	5241.6946	5069.5136	643.57	top of 12" manhole
371	5205.8482	5097.8112	642.28	top of 12" manhole
370	4944.4735	4873.2891	640.73	top of 12" manhole
369	4875.3287	4863.4248	641.44	top of 12" manhole
368	4868.8917	5119.8719	643.54	top of 12" manhole
367	4875.3287	4863.4248	641.44	top of 12" manhole
366	4877.3832	5107.6232	642.93	top of 12" manhole
365	4868.8917	5119.8719	643.54	top of 12" manhole
364	4986.8359	5124.2723	642.20	top of 12" manhole
363	4885.8220	5118.4465	642.79	top of 12" manhole
362	4875.3287	5104.1258	644.32	top of 12" manhole
361	4861.8175	5089.3051	642.73	top of 12" manhole
360	4868.8359	5119.8719	643.54	top of 12" manhole
359	4918.3489	4879.1622	642.29	top of 12" manhole
358	4932.2847	4874.5664	642.36	top of 12" manhole
357	4902.4180	4873.3085	640.58	top of 12" manhole
356	4920.4140	4871.9355	641.11	top of 12" manhole



MLH INCOME REALTY 5.4014 Ac.

AS-BUILT

NOTE: THESE PLANS HAVE BEEN REVISED TO CONFORM WITH CONSTRUCTION RECORDS PROVIDED BY CONTRACTOR.

6/17/98

DATE: 6/17/98

PT	EAST	NORTH	ELEV	DESCRIPTION
423	4932.2904	4922.8246	646.91	top of manhole
422	4952.0996	4927.0704	645.83	top of manhole
421	4975.9641	4931.8053	649.34	top of manhole
420	5048.8857	4928.8629	645.83	top of manhole
418	5053.4637	4912.9028	642.79	top of manhole
417	5053.4637	4928.8629	645.83	top of manhole
416	5096.7644	4911.5199	642.83	top of manhole
415	5099.8442	4928.1194	644.52	top of manhole
414	5092.2291	4957.0380	639.00	top of manhole
413	5063.5410	4954.2236	647.79	top of manhole
412	5025.3141	4946.4026	647.45	top of manhole
411	5054.5744	4941.9046	646.17	top of manhole
410	5067.8455	4927.8855	645.84	top of manhole
409	5088.7796	4912.2096	644.22	top of manhole
408	5088.7796	4912.2096	644.22	top of manhole
407	5088.7796	4912.2096	644.22	top of manhole
406	5088.7796	4912.2096	644.22	top of manhole
405	5144.2991	4956.9011	645.97	top of manhole
404	4961.8229	5012.2227	639.00	top of manhole
403	4982.8841	5086.3967	648.99	top of manhole
402	4978.8759	5074.1134	645.49	top of manhole
401	4996.5969	5086.2744	645.08	top of manhole
398	5114.8662	5080.4488	644.17	top of manhole
397	5125.3489	5082.2754	645.07	top of manhole
396	5051.3095	4946.9545	644.34	top of manhole
395	5060.2940	4943.2799	644.24	top of manhole
394	5085.8259	4941.2720	647.54	top of manhole
393	5086.8999	4942.1163	645.55	top of manhole
392	5084.2024	4943.0085	644.99	top of manhole
391	5086.2638	4909.8379	645.14	top of manhole

GENERAL NOTES

- A. Prior to final acceptance by the Town of Addison,
 - 1. A Texas Registered Professional Engineer shall certify that the project was constructed in accordance with the plans and specifications approved by the Town of Addison.
 - 2. The Owner shall provide one reproducible set of as-built (sealed and certified by a Texas Registered Engineer) and two blue lines sets.
 - 3. A five foot (5') sidewalk shall be installed along the public streets. See attached detail.
 - 4. A one year 10% maintenance bond is required for the public infrastructure.
 - 5. Contractor shall demonstrate that the water and sanitary sewer systems meet the property pressure, bacteria, and mandrel tests. In addition, the Owner shall provide a VHS format video tape of the sanitary sewer.
- B. Prior to starting construction, the Contractor shall contact the utility companies to locate existing facilities. These include but may not be limited to the following:
 - 1. Town of Addison
 - 2. Lone Star Gas
 - 3. Southwestern Bell
 - 4. Storer Cable
 - 5. Planned Cable Systems
 - 6. T.U. Electric
- C. Prior to beginning construction, the Owner or his authorized representative shall convene a preconstruction conference among the Town of Addison, Consulting Engineers, Contractor(s), Utility companies and any other affected parties. Notify Bruce Ellis (972) 450-2847 at least 48 hours prior to beginning of construction.
- D. Any existing pavement, curbs, and/or sidewalks damaged or removed will be repaired by the Contractor at their expense.
- E. Lot pins shall be installed after construction and prior to final acceptance. Concrete monuments shall be placed as shown on the final plat and iron pins shall be placed at block corners, curve points and angle points in public right-of-way. Concrete monuments shall be six inches (6") in diameter and twenty-four inches (24") long. An iron rod one-half inch (1-1/2") in diameter embedded at least three inches (3") in the monument at the exact intersection point of the monument. The monuments shall be set at such an elevation that after construction, the top of the monument will be not less than twelve inches (12") below the ground surface.
- F. The Contractor shall stamp a two inch (2") "S" and a two inch (2") "W" in the curb at the location of the sewer service and water service lines, respectfully.
- G. At intersections that have valley drainage, the crown of the intersecting streets will culminate in a distance of 40 feet (40') from the intersecting curb line unless otherwise note.
- H. Temporary or permanent street barricades shall remain at all points of ingress and egress to prevent public use until such street received final acceptance.
- I. Contractor shall obtain a right-of-way permit by the Town of Addison for working within the public right-of-way.
- J. During construction, the Owner shall provide a qualified geotechnical lab to perform materials testing during the construction at the request of the Town of Addison.
- K. The Contractor shall submit material sheets to the Town of Addison for approval prior to incorporating materials into the job.
- L. The utility contractor shall submit to the Town of Addison for approval a trench safety plan sealed by a Registered Professional Engineer for the installation of utilities greater than five feet (5') in depth.
- M. All existing and proposed improvements (valves, manholes, fire hydrants, water meters, etc.) shall be adjusted to finished grade by the Contractor.

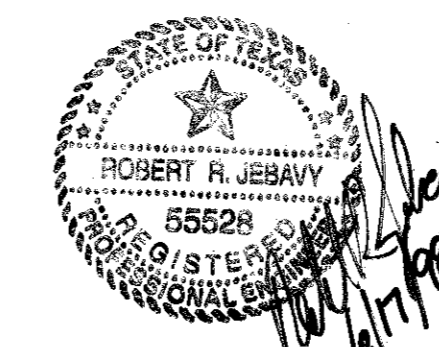
NOTE:
 The applicant shall provide certification, by an acoustical expert, that a noise level reduction on 25 dB was achieved through the construction. The certification shall be provided prior to the issuance of a Certificate of Occupancy.

CAUTION!!!
 Buried Fiber Optic Cable
 Contact Mike Hendricks
 @ 972-918-1287
 48 Hours Prior To Construction

CAUTION!!!
 Buried MFS Fiber Optic Cable
 Call 214-665-2300
 48 Hours Prior To Construction

AS-BUILT

NOTE:
 THESE PLANS HAVE BEEN REVISED
 TO CONFORM WITH CONSTRUCTION
 RECORDS PROVIDED BY CONTRACTOR.



General Notes						
Quorum Drive Office						
Addison, Texas						
BROCKETTE • DAVIS • DRAKE, INC.						
consulting engineers						
Civil & Structural Engineering • Surveying						
4144 North Central Expressway, Suite 1100 • Dallas, Texas 75204						
(214) 824-3647 • Fax (214) 824-7064						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
HW	STL	06/09/97		FG	C97138	C-6

WSE-00.DWG

ISSUES
06/09/97
BID SET

REVISIONS
06/17/97
ADDENDUM #1

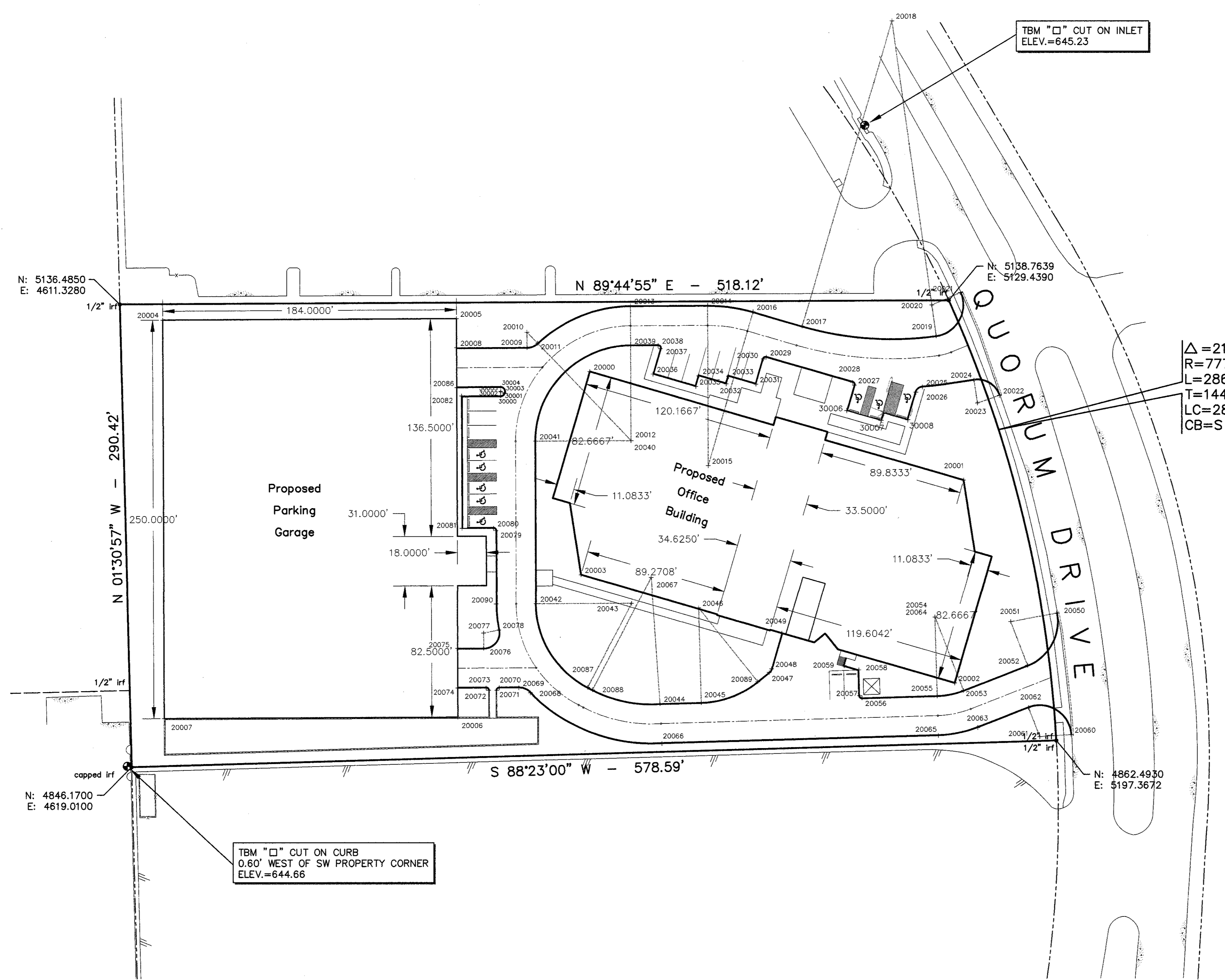
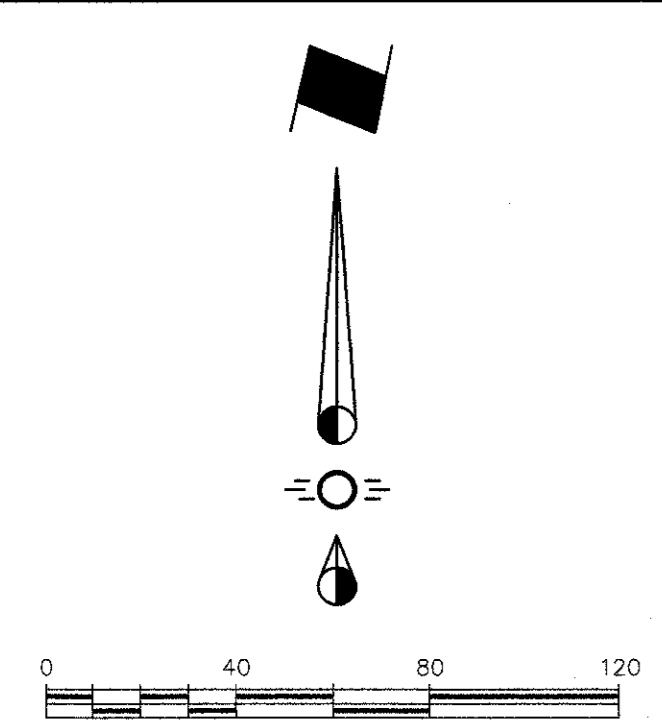
CENTRE DEVELOPMENT CO., INC.

14911 QUORUM DRIVE
 Office Building, Addison, TX

Job
 Date 06/09/97
 Drawn
 Check
 PRF
 Sheet
C-6
 Of

NOTE:
 ALL COORDINATES OF POINTS
 ON PROPOSED PAVEMENT
 ARE AT THE BACK OF CURB.

20000	5094.1860	4905.0701
20001	5026.0521	5136.8435
20002	4898.6776	5133.2153
20003	4966.8116	4899.5419
20004	5126.6025	4638.0632
20005	5127.4118	4822.0614
20006	4877.4142	4822.1610
20007	4876.6049	4639.1628
20008	5109.1620	4822.1417
20009	5109.3549	4866.0042
20010	5118.8548	4865.9625
20011	5111.9860	4872.5252
20012	5050.8898	4930.8990
20013	5135.3890	4930.5273
20014	5135.6021	4978.9862
20015	5035.1031	4979.4233
20016	5131.5886	5007.5493
20017	5122.6353	5038.2688
20018	5314.1663	5094.0911
20019	5116.5648	5121.5482
20020	5133.8792	5118.8644
20021	5143.6471	5136.7504
20022	5079.1923	5161.1946
20023	5074.4237	5147.5012
20024	5088.7659	5145.3679
20025	5084.4293	5113.0113
20026	5081.1990	5108.9992
20027	5085.5819	5070.6955
20028	5087.4417	5069.6751
20029	5103.11111	5015.9120
20030	5102.0907	5014.0522
20031	5086.2498	5009.4354
20032	5086.4862	4990.7553
20033	5091.2864	4992.1544
20034	5091.5228	4973.4742
20035	5084.8024	4971.5157
20036	5092.6371	4944.6341
20037	5108.5451	4949.2706
20038	5110.4648	4947.8239
20039	5110.3892	4930.6373
20040	5050.8898	4930.8990
20041	5050.6281	4871.3996
20042	4948.6291	4871.8482
20043	4949.8908	4931.3477
20044	4885.7919	4949.1478
20045	4886.5241	4975.0891
20046	4946.0004	4973.4105
20047	4905.3805	5017.8563
20048	4907.3616	5019.3616
20049	4929.9872	5025.8776
20050	4942.5300	5197.5821
20051	4937.1963	5168.5683
20052	4909.6920	5179.2343
20053	4894.0074	5138.7884
20054	4940.1587	5120.8913
20055	4890.6785	5122.2878
20056	4889.3630	5075.6789
20057	4890.8201	5074.1372
20058	4906.9438	5073.6822
20059	4909.6050	5064.5515
20060	4866.1968	5206.4036
20061	4864.9526	5186.9433
20062	4883.1335	5179.8929
20063	4870.6987	5147.8274
20064	4940.1587	5120.8913
20065	4865.6884	5122.9531
20066	4860.8158	4950.3467
20067	4965.9938	4943.5386
20068	4892.6541	4868.2788
20069	4895.8315	4861.1464
20070	4895.7770	4848.7681
20071	4894.2705	4847.2747
20072	4894.2485	4842.2748
20073	4895.7419	4840.7682
20074	4895.6641	4823.0807
20075	4920.6638	4822.9708
20076	4920.7385	4839.2592
20077	4930.2354	4839.2174
20078	4932.1208	4848.5285
20079	4994.5186	4846.6461
20080	4996.0121	4845.1395
20081	4995.9263	4825.6398
20082	5078.9255	4825.2747
20086	5084.1622	4822.2516
20087	4896.1021	4903.8959
20088	4894.5610	4906.2593
20089	4899.5982	5010.6541
20090	4948.5191	4846.8485
30000	5079.0320	4849.4848
30001	5080.6514	4851.8136
30002	5081.5319	4849.4738
30003	5080.8946	4851.9056
30004	5084.2823	4849.5575
30005	5081.7824	4849.5685
30006	5069.7410	5065.0786
30007	5063.5851	5087.1998
30008	5063.9084	5103.9598



$\Delta = 21'05.10''$
 $R = 777.43$
 $L = 286.11$
 $T = 144.69$
 $LC = 284.50$
 $CB = S 13'48'49'' E$

CENTER OF
 BOUNDARY ARC
 N: 4818.1400
 E: 4421.2034

TBM "□" CUT ON CURB
 0.60' WEST OF SW PROPERTY CORNER
 ELEV.=644.66

TBM "□" CUT ON INLET
 ELEV.=645.23

Benchmarks:
 Disk in Brick Wall of Old Addison School Bldg.
 4.0' Above Ground
 Elevation: 650.61

STAKING SHEET
 Quorum Drive Office
 Addison, Texas

BROCKETTE • DAVIS • DRAKE, INC.
 consulting engineers
 Civil & Structural Engineering • Surveying
 4144 North Central Expressway, Suite 1100 • Dallas, Texas 75204
 (214) 824-3647 • fax (214) 824-7064

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
HWI	STL	8/5/97	1"=40'	FG	C97138	-