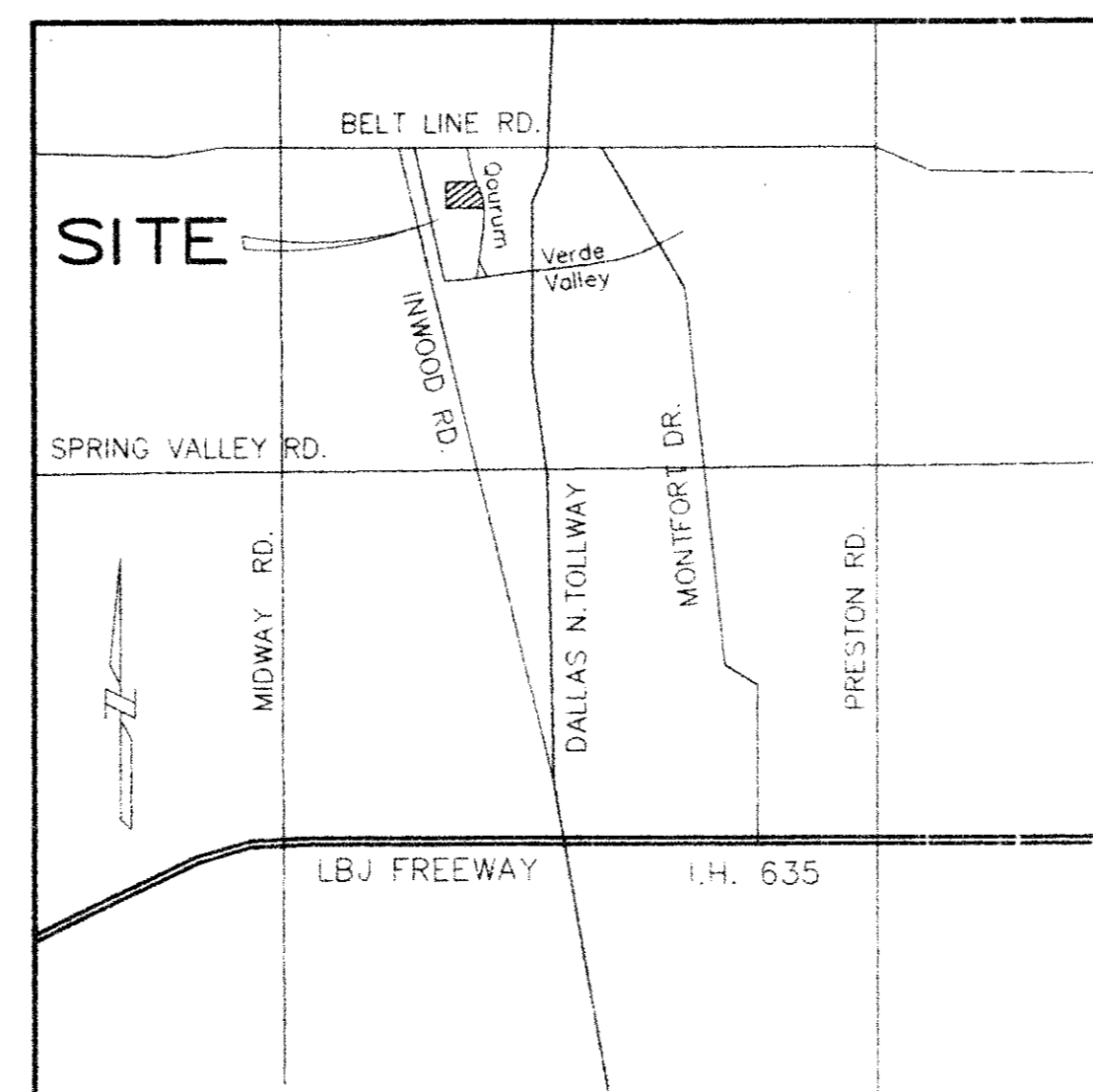


DEVELOPMENT PLANS FOR MARRIOTT RESIDENCE

ADDISON, TEXAS



VICINITY MAP
N.T.S.

PREPARED FOR:
ADHOTEL ASSOCIATES, LTD.
12850 SPURLING ROAD, SUITE 114
DALLAS, TEXAS 75230

INDEX
SHEET NO. DESCRIPTION

1. COVER SHEET
2. FINAL PLAT
3. DIMENSION CONTROL
4. GRADING & STORM SEWER PLAN
5. DRAINAGE AREA MAP
6. WATER & SANITARY SEWER PLAN
7. STORM SEWER PROFILES
8. EROSION CONTROL & RESTORATION PLAN

1. Prior to C.O. a utility easement shall be prepared and dedicated to the town of Addison for the fire loop ^{and} water meter assemblies.
2. Prior to C.O. certification from the design professional shall be provided that a 25dB noise level reduction was achieved.

COOK CONSULTANTS, INC.
CIVIL AND STRUCTURAL ENGINEERING
LAND SURVEYING AND LAND PLANNING
12250 Inwood road - suite 10 Dallas, Texas 75244
[214] 387-1890 fax [214] 387-5210

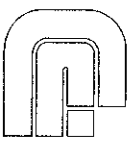
JUNE 1995

DATE: _____
ISSUED BY
TOWN OF ADDISON
PUBLIC WORKS DEPARTMENT
CONSTRUCTION SET

CONSTRUCTION SET
ISSUED BY
TOWN OF ADDISON
PUBLIC WORKS DEPARTMENT
NAME: JEB DATE: 6-9-95

PROJECT RECORD

PROJECT NAME Marriott Residence



Cook Consultants, Inc.
 12250 Inwood Road, Suite 10
 Dallas, Texas 75244
 (214) 387-1890, 1-800-545-8093, fax (214) 387-8210

LOCATION Addison, Tx.

DATE 8-28-95

JOB NUMBER YR seq co ph dp sc
 93 063 06 3 2 31

ADDRESSEE:

Mr. John Baumgartner, P.E.
 Director of Public Works
 16801 Westgrove Dr.
 Addison, Tx. 75001-0144
 Phone/fax (214) 450-2886/931-6643

COPY:

Mr. Perry Pittman, V.P.
 Abstract Construction Co.
 11157 Ables
 Dallas, Tx. 75229
 Phone (214) 620-9438

Transmittal Proj. Memo Survey Request Print Request Bus Dev Tel. Conv. Other
 Fax Cover Sheet sheets including this cover sheet Addendum No. Page 1 of 1

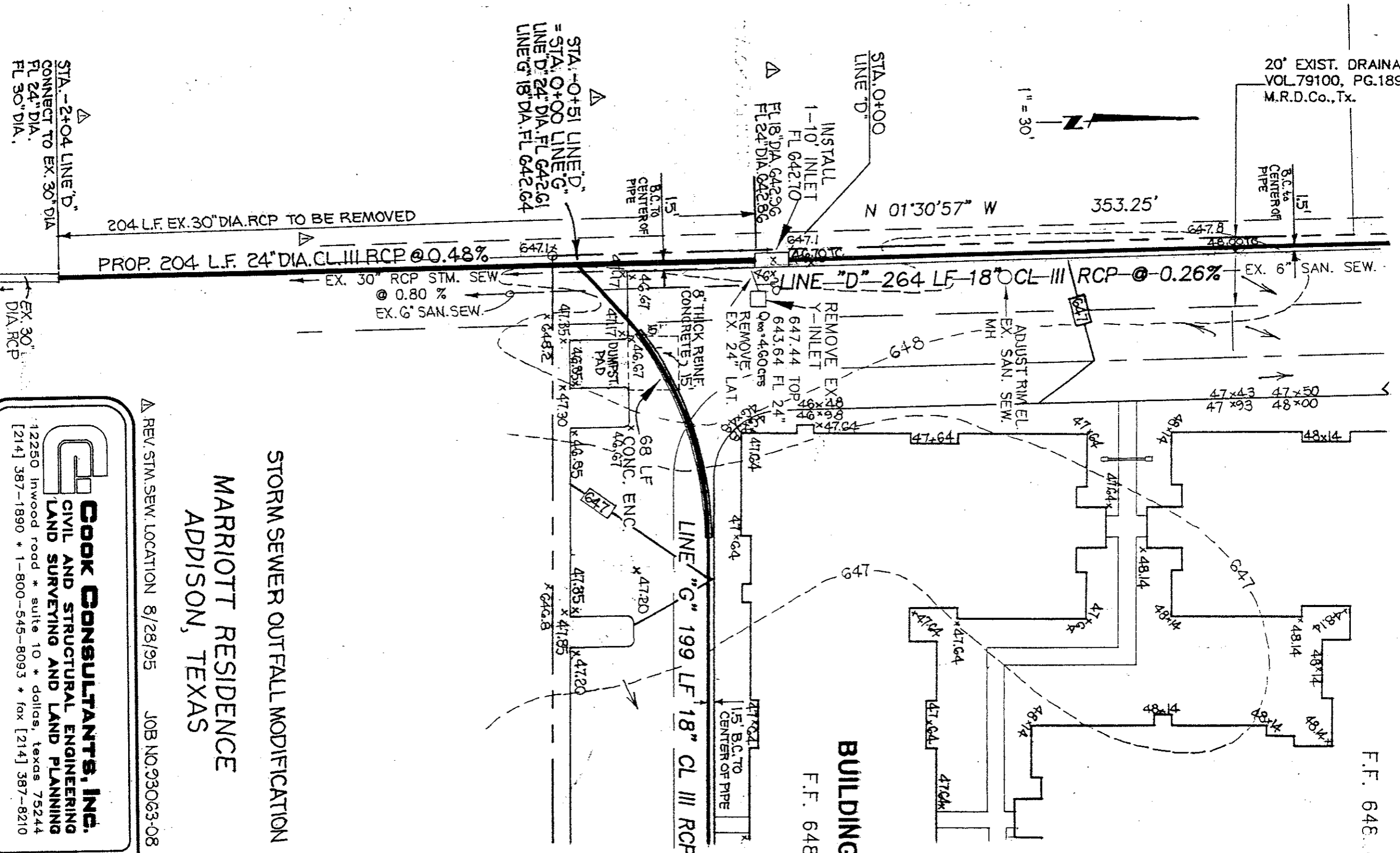
We have found that the existing 30 inch diameter storm sewer pipe at the southwest corner of the project was not installed to the grades per the plans by others. We obtained existing grades at five locations by survey on the 30" diameter pipe at approximately 50 feet intervals. It is apparent that approximately 204 L.F. of the existing 30" diameter pipe needs to be re-installed. The proposed 24 inch diameter RCP has the required capacity of the Marriott project and allows additional capacity to .5 acres minimum on the area of the undeveloped tract to the adjacent southern boundary. There is blue rock existing in this area of the existing 30" diameter pipe As you know, this project is under construction and has been stalled due to resolving this utility problem. Your review and assistance is greatly appreciated.

Enclosures or Attachments: Prints, Set of Plans, Copies, Other
 Copy to: Client Agency Bus File Civil Arch Struct Survey GeoTech
 Transmitted To:

Transmitted By: Messenger Mail Express In Person Fax Other

By: 
 Lloyd A. Dicken Assoc./ Proj. Mgr

1" = 30'



F.F. 648

BUILDING

F.F. 648

STORM SEWER OUTFALL MODIFICATION
MARRIOTT RESIDENCE
ADDISON, TEXAS

REV. STIM. SEW. LOCATION 8/28/95 JOB NO. 93063-08

COOK CONSULTANTS, INC.
CIVIL AND STRUCTURAL ENGINEERING
LAND SURVEYING AND LAND PLANNING
12250 Inwood road * suite 10 * dallas, texas 75244
[214] 387-1890 * 1-800-545-8093 * fax [214] 387-8210

STATIONING:
STA. -2+04 LINE "D"
CONNECT TO EX. 30" DIA.
FL 24" DIA.
FL 30" DIA.

STATIONING:
STA. -0+51 LINE "D"
= STA. 0+00 LINE "G"
LINE "D" 24" DIA. FL 642.61
LINE "G" 18" DIA. FL 642.64

204 L.F. EX. 30" DIA. RCP TO BE REMOVED
PROP. 204 L.F. 24" DIA. CL. III RCP @ 0.48%

STATIONING:
STA. 0+00
LINE "D"
INSTALL
1-10" INLET
FL 642.70

N 01°30'57" W 353.25'

LINE "D" - 264 LF - 18" CL. III RCP @ 0.26%
EX. 6" SAN. SEW.

EX. 30" RCP STM. SEW @ 0.80 %
EX. 6" SAN. SEW.

8" THICK REIN. CONCRETE 15'

DUMPST. PAD

68 LF CONC. ENC.

LINE "G" 199 LF 18" CL. III RCP

EX. 30" DIA. RCP

B.C. TO CENTER OF PIPE

15' B.C. TO CENTER OF PIPE

B.C. TO CENTER OF PIPE

ADJUST RIM EL. EX. SAN. SEW.

REMOVE EX. Y-INLET
647.44 TOP
643.64 FL 24"
Q_{max} = 4.60 cfs
REMOVE EX. 24" LAT.

DUMPST. PAD

CONC. ENC.

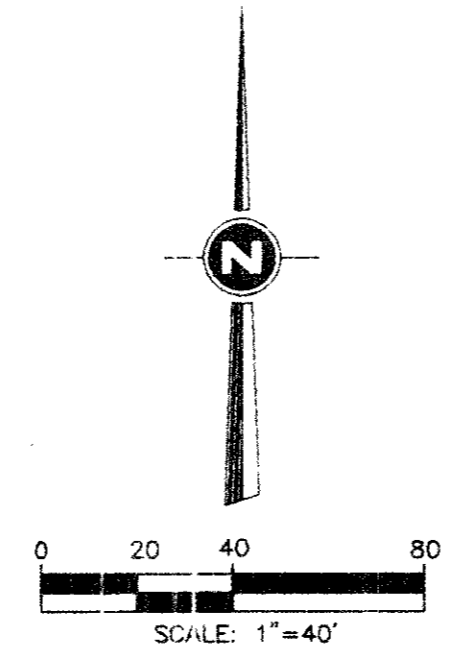
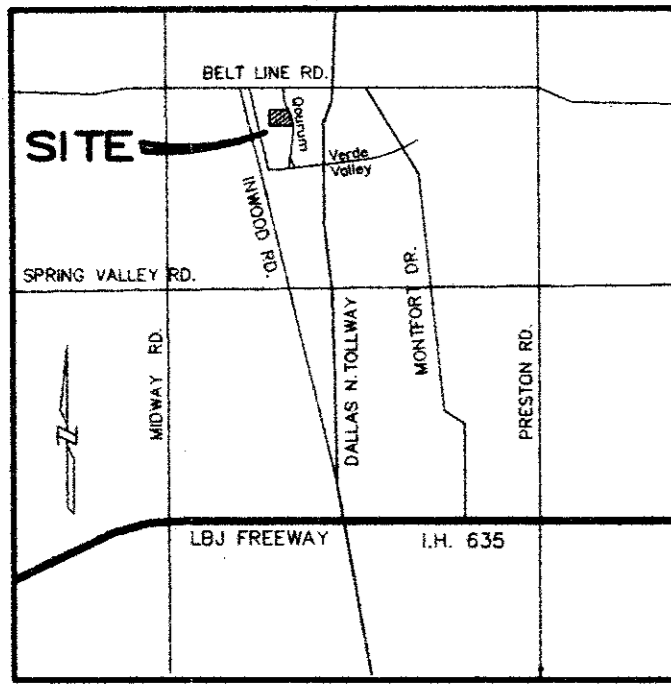
CONC. ENC.

CONC. ENC.

CONC. ENC.

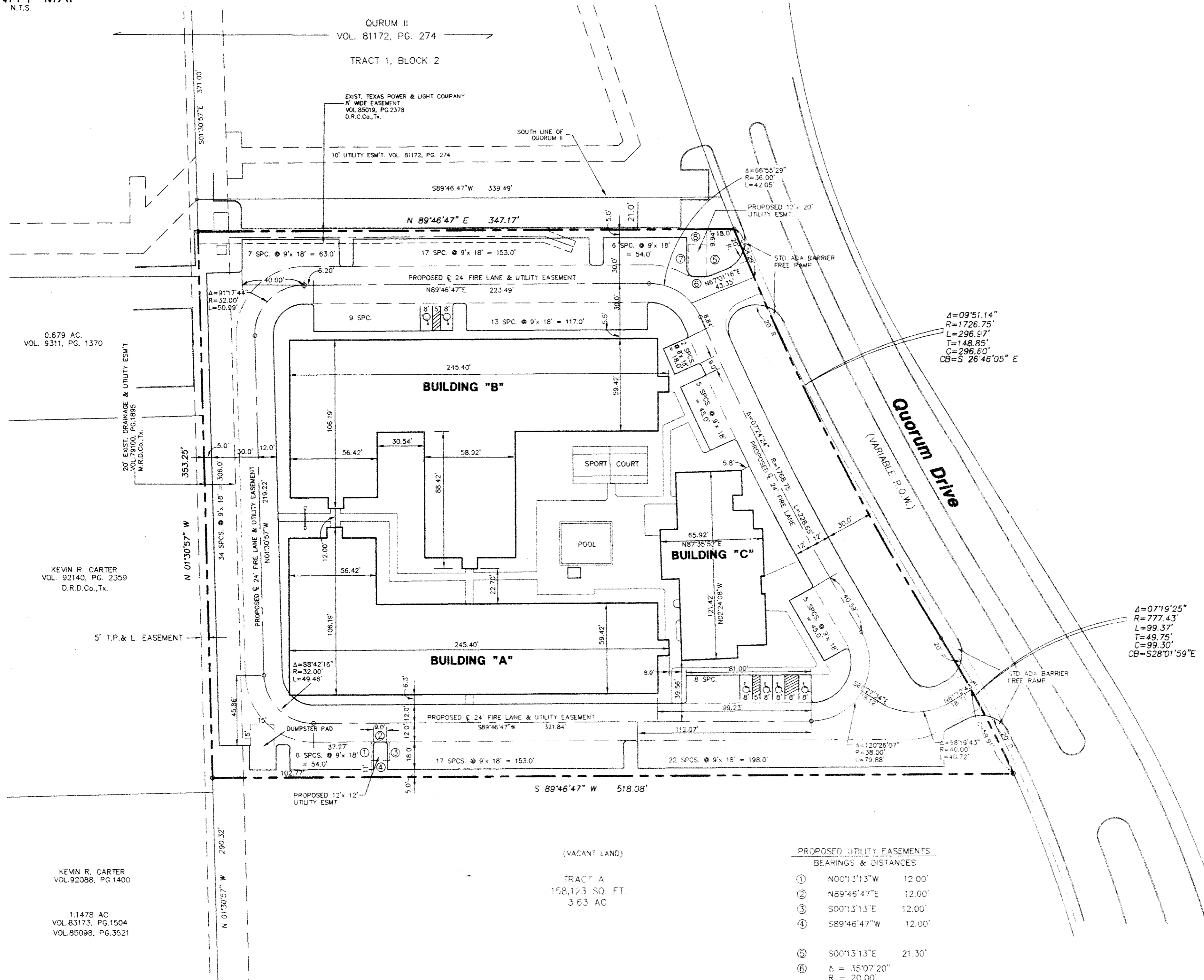
CONC. ENC.

CONC. ENC.



GENERAL NOTES

- A. Prior to final acceptance by the Town of Addison:
 - 1) A Texas Registered Professional Engineer shall certify that the project was constructed in accordance with the plans and specifications approved by the Town of Addison.
 - 2) The owner shall provide one (1) reproducible set of as-builts (sealed and certified by a Texas Registered Engineer) and two (2) blue line sets.
 - 3) A five foot sidewalk shall be installed along Quorum Drive. See attached detail.
 - 4) A one year 10% maintenance bond is required for the internal subdivision infrastructure.
 - 5) Contractor shall demonstrate that the water and sanitary sewer systems meet the proper pressure, bacteria, and mandrel tests. In addition, the owner shall provide a VHS format video tape of the sanitary sewer.
- B. Prior to starting construction, the contractor shall contact the utility companies to locate existing facilities. These include but may not be limited to the following:
 - 1) Town of Addison
 - 2) Lone Star Gas
 - 3) Southwestern Bell
 - 4) Sterer Cable
 - 5) Planned Cable Systems
 - 6) TU Electric
- C. Prior to beginning construction, the owner or his authorized representative shall convene a Pre-Construction Conference between the City of Addison, Consulting Engineer, Contractor(s), Utility companies and any other affect parties. Notify Bruce Elds 450-2847 at least 48-hours prior to beginning of construction.
- D. Any existing pavement, curbs, and/or sidewalks damaged or removed will be repaired by the contractor at their expense.
- E. Lot pins shall be installed after construction and prior to final acceptance. Concrete monuments shall be placed as shown on the final plat and iron pins shall be placed at block corners, curve points and angle points in public right-of-way. Concrete monuments shall be six (6) inches in diameter and twenty-four (24) inches long. An iron rod one-half inch in diameter embedded at least three (3) inches in the monument at the exact intersection point of the monument. The monuments shall be set at such an elevation that after construction, the top of the monument will be not less than twelve (12) inches below the ground surface.
- F. The contractor shall stamp a 2-inch "S" and a 2-inch "W" in the curb at the location of the sewer service and water service lines respectfully.
- G. At intersections that have valley drainage, the crown of the intersecting streets will culminate in a distance of 40 feet from the intersecting curb line unless otherwise noted.
- H. Temporary or permanent street barricades shall remain at all points of ingress and egress to prevent public use until such street received final acceptance.
- I. Contractor shall obtain a right-of-way permit by the Town of Addison for working within the public right-of-way.
- J. During construction, the owner shall provide a qualified geotechnical lab to perform materials testing during the construction at the request of the Town of Addison.
- K. The contractor shall submit material sheets to the Town of Addison for approval prior to incorporating materials into the job.
- L. The utility contractor shall submit to the Town of Addison for approval a trench safety plan sealed by a registered professional engineer for the installation of utilities greater than five (5) feet in depth.



0.679 AC.
VOL. 9311, PG. 1370

KEVIN R. CARTER
VOL. 92140, PG. 2359
D.R.D.Co., Tx.

KEVIN R. CARTER
VOL. 92088, PG. 1400

1.1479 AC.
VOL. 63173, PG. 1504
VOL. 85098, PG. 3521

(VACANT LAND)
TRACT A
158,123 SQ. FT.
3.63 AC.

PROPOSED UTILITY EASEMENTS
BEARINGS & DISTANCES

①	N00°13'13"W	12.00'
②	N89°46'47"E	12.00'
③	S00°13'13"E	12.00'
④	S89°46'47"W	12.00'
⑤	S00°13'13"E	21.30'
⑥	Δ = 35°07'20"	
	R = 20.00'	
	T = 6.33'	
	L = 12.26'	
	CB = N84°02'24"W	
	CL = 12.07'	
⑦	N00°13'13"W	20.00'
⑧	N89°46'47"E	12.00'

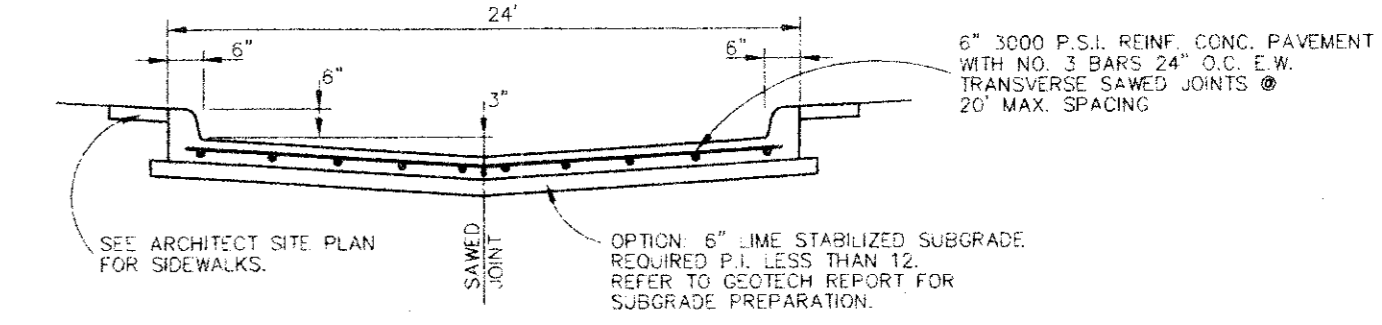
Cook Consultants, Inc.
CIVIL AND STRUCTURAL ENGINEERING
LAND SURVEYING AND LAND PLANNING
12250 Inwood road, suite 10 dallas, texas 75244
[214] 387-1890 fax [214] 387-8210



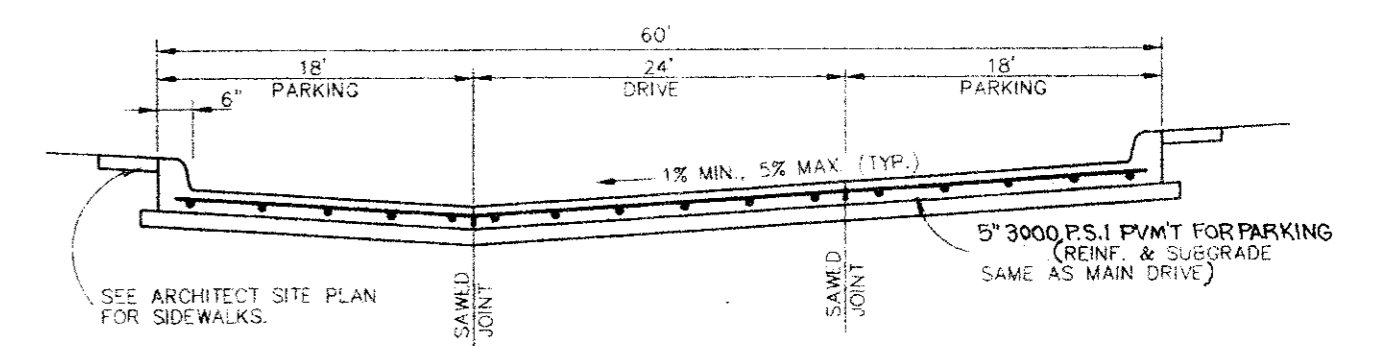
DIMENSION CONTROL PLAN
MARRIOTT RESIDENCE
ADDISON, TEXAS

DATE	6/9/95	DESIGNED	LD	DRAWN	LAC	DATE	4-21-95	SCALE	1"=40'	NOTES		FILE		NO.	
PROJECT NO.	93063-06														
REV. NO.		PROJ. NO.		DESCRIPTION		DATE									
				ADD UTILITY EASEMENTS		6-8-95									

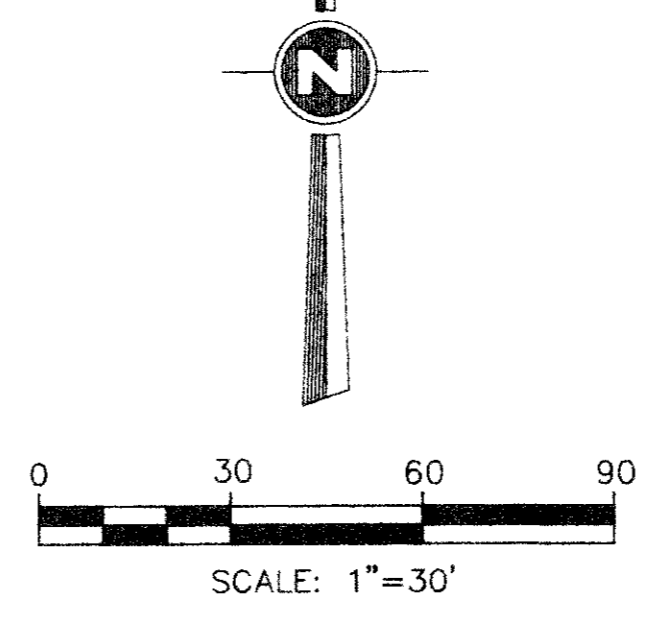
QUORUM II
VOL. 81172, PG. 274
TRACT 1, BLOCK 2



TYPICAL SECTION - MAIN DRIVE



TYPICAL PARKING SECTION

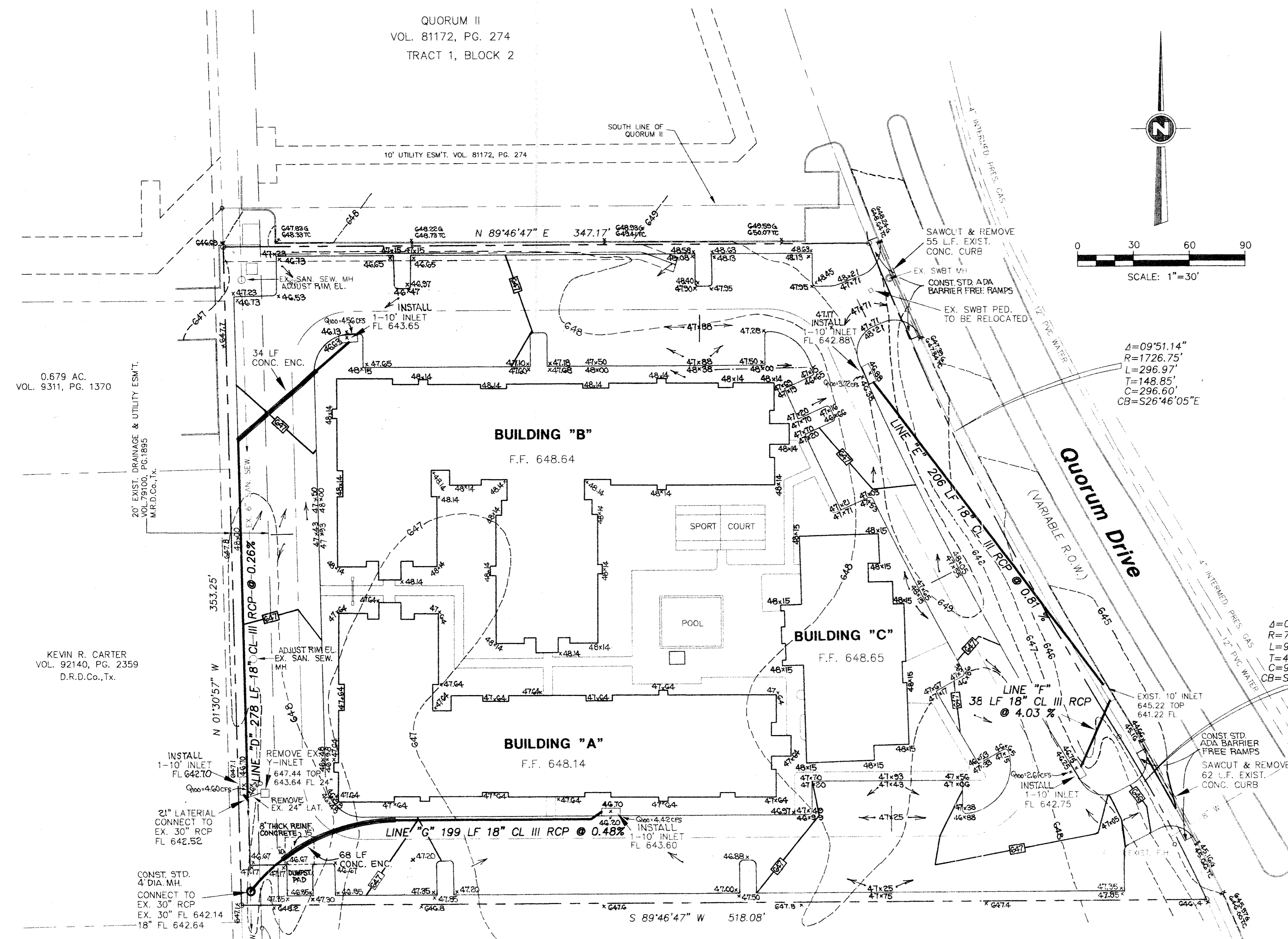


0.679 AC.
VOL. 9311, PG. 1370

KEVIN R. CARTER
VOL. 92140, PG. 2359
D.R.D.Co.,Tx.

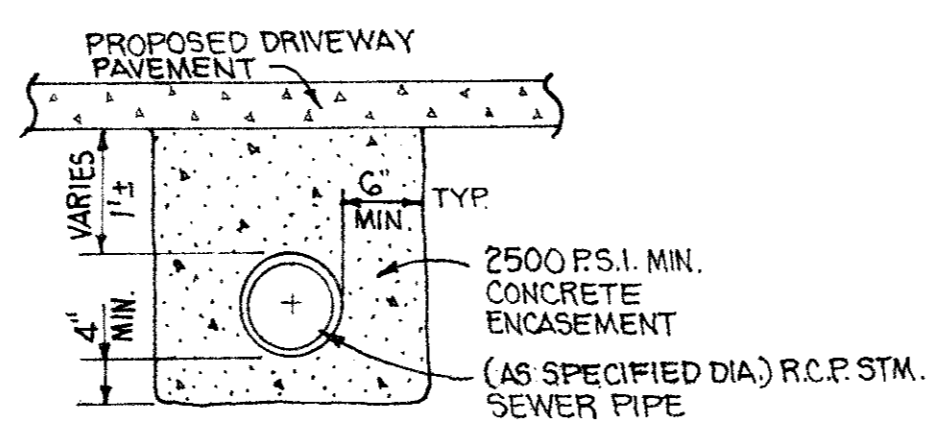
KEVIN R. CARTER
VOL.92088, PG.1400

1.1478 AC.
VOL.83173, PG.1504
VOL.85098, PG.3521



- GENERAL PAVING NOTES
- All pavement elevations are to top of pavement or top of curb as noted, and shall be staked as such unless written instructions are provided to the contrary by an authorized representative of the owner.
 - All pavement within the limits of this project is proposed. Maximum crossfall sidewalk is 1/4 inch per ft. (U.O.N.). Grades outside buildings shall be 6 inches to 10 inches below finished floor elevation for slab-on-grade foundations unless otherwise noted. (Load grades below F.F. elevation may vary: 8 inches, 9 inches, 10 inches, etc. Verify prior to construction.) For pier and beam or structural foundations ref. grading plan.
 - All fill under slab-on-grade foundations, paving areas, and other earth supported structures (swimming pools, retaining walls, etc.) shall be lifted and compacted in 6 inches to 12 inches layers to 95% Standard Proctor Density, unless otherwise noted. Fill in all other areas shall be lifted and compacted in 6 inches to 12 inches layers to 90% Standard Proctor Density. Earth support structures in non-fill or cut areas shall have sub-grade compacted to 95% Standard Proctor Density, unless otherwise noted.
 - No trees shall be removed unless authorized by the plans or the engineer or architect or owner on the job.
 - Wells shall be constructed around trees with more than 12 inches of fill or cut.
 - Steps in walks shall be installed where necessary to keep walks to 5% grade or less. Risers shall not exceed 6 inches unless otherwise noted. Treads to be 12 inches maximum.
 - Refer to approved architect plans prior to staking final building pads and to approved dimension control plans for final building location.
 - Refer to approved utility plans prior to staking final grades.
 - Final work specifications to be provided by others.
 - Field construction shall be in accordance with latest approved architectural and engineering plans and the appropriate governing specifications. These plans shall be provided to Cook Consultants, Inc. prior to construction. Building foundations shall be accurately placed within the site and shall not be placed until surveyor has placed the appropriate markers. There shall be no deviation from this procedure. Appropriate City Inspector shall be present as required for work as required.
 - For additional perimeter grade beams that are to be deepened, refer to the approved grading plan for specific locations, and cross check with the architectural and structural foundation plans.
 - Any buildings with interior depressed areas shall be checked for waterproofing, drainage, and foundation coordination between civil, structural, mechanical, and architectural prior to pouring foundations. For depressed areas of buildings adjacent to the building perimeter "up turned" concrete stem walls are required and outside concrete surface areas are to be waterproofed.
 - For preservation of trees; during staking, a unit or building which can be moved to save significant trees shall not be moved without first notifying the engineer, architect, owner and proper city official. There shall be no exception to this procedure.
 - Please notify surveying department manager at phone number on plans at least 24 hours in advance. Our survey trucks are radio equipped for emergency problem service; however, please consider our other clients when requesting shorter notice.
 - Location of existing underground utilities or pipelines shown on this drawing is based upon existing plans by others and field location of above ground appurtenances. It shall be the responsibility of any contractor excavating in the area of underground facilities to notify the owner thereof and to exercise extreme caution in the protection of said utilities or pipelines. Contractor shall verify locations of all utilities prior to construction.
 - Refer to local municipality or special agencies details, plans and specifications where not specifically addressed in other general notes for additional clarification and specific details. These approved plans, other City and/or County Engineer Plans indicated or applicable shall be in contractor's possession prior to construction.
 - Cook Consultants, Inc. shall not be responsible for the consequences resulting from information provided by or actions of municipalities, utility companies, contractors, or others. It shall be the responsibility of the contractor to verify and coordinate all of the above information with the appropriate agencies prior to construction.
 - Cook Consultants, Inc. will not be held liable for any claim of errors in setting stakes for construction if said stakes depicting the area in question are not in the ground for inspection at the time the claim is made.
 - Fill areas shall be stripped of existing vegetation and any unsuitable material or trash shall be removed. Strippings of soil and grass only may be spread in areas not to be filled, to a maximum of one foot depth. Surface drainage shall not be blocked by placement of strippings.
 - Paving Contractor shall adjust all proposed and existing manhole tops to match proposed grades.

(VACANT LAND)
TRACT A
158,123 SQ. FT.
3.63 AC.



STORM SEWER TRENCH DETAIL
AT DRIVEWAY CROSSINGS
LOAD CONDITION
N.T.S.

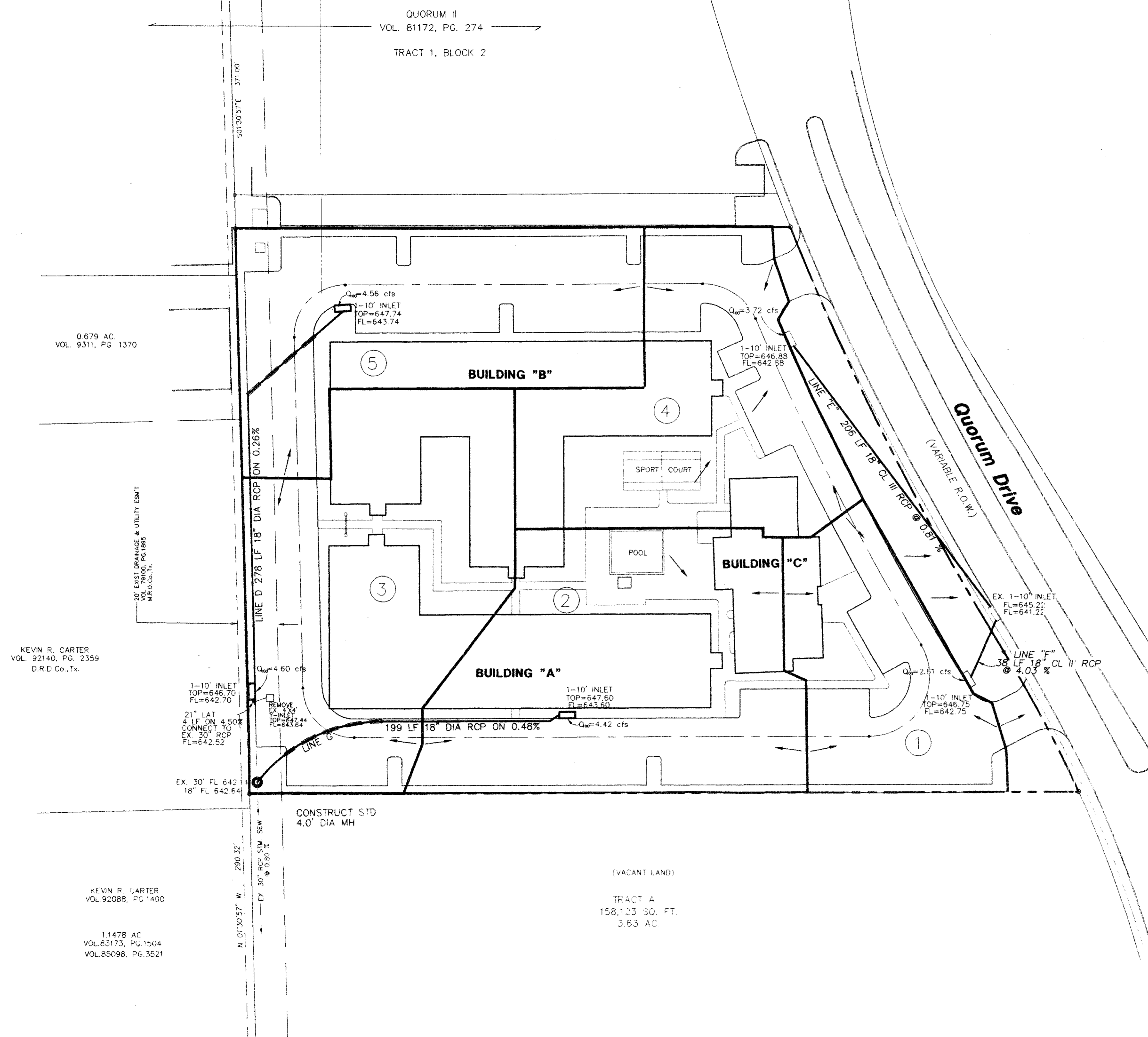
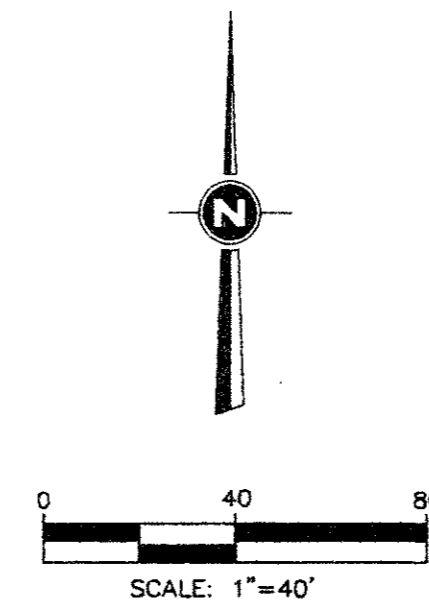
BENCH MARK
1. "□" CUT ON T.C. OF INLET ON WEST SIDE OF
QUORUM DRIVE @ 400'± NORTH OF S.E.
PROPERTY CORNER
ELEVATION: 645.22

Justin Cochran
6/14/95

4
8

Cook Consultants, Inc.
CIVIL AND STRUCTURAL ENGINEERING
LAND SURVEYING AND LAND PLANNING
12250 Inwood Road - Suite 10 Dallas, Texas 75244
(214) 387-1890 fax (214) 387-8210

GRADING PLAN & STORM SEWER PLAN						
MARRIOTT RESIDENCE INN ADDISON, TEXAS						
DATE	DESIGNED	DRAWN	DATE	SCALE	NOTES	FILE NO.
PROJECT NO. 93003-06	LD	LAC	5-01-95	1"=30'		



DA	C	I ₁₀₀	A	Q ₁₀₀
1	0.64	8.88	0.46	2.61
2	0.66	8.88	.754	4.42
3	0.64	8.88	0.81	4.60
4	0.68	8.88	0.62	3.72
5	0.79	8.88	0.65	4.56

AREA 1

"C" FACTORS

- (X) ROOF=0.60; 0.156 ACRES (21%)
 - (Y) PAVEMENT =0.95; 0.2100 ACRES (44%)
 - (Z) SOIL =0.35; 0.2235 ACRES (46%)
- .6(.10) + .95(.44) + .35(.46)=0.64

AREA 2

"C" FACTORS

- (X) ROOF=0.60; 0.3698 ACRES (37%)
 - (Y) PAVEMENT =0.95; 0.3708 ACRES (37%)
 - (Z) SOIL =0.35; 0.2594 ACRES (26%)
- .6(.37) + .95(.37) + .35(.26)=0.66

AREA 3

"C" FACTORS

- (X) ROOF=0.60; 0.3212 ACRES (44%)
 - (Y) PAVEMENT =0.95; 0.2179 ACRES (30%)
 - (Z) SOIL =0.35; 0.1928 ACRES (26%)
- .6(.44) + .95(.30) + .35(.26)=0.64

AREA 4

"C" FACTORS

- (X) ROOF=0.60; 0.0756 ACRES (15%)
 - (Y) PAVEMENT =0.95; 0.2386 ACRES (48%)
 - (Z) SOIL =0.35; 0.1858 ACRES (37%)
- .6(.15) + .95(.48) + .35(.37)=0.68

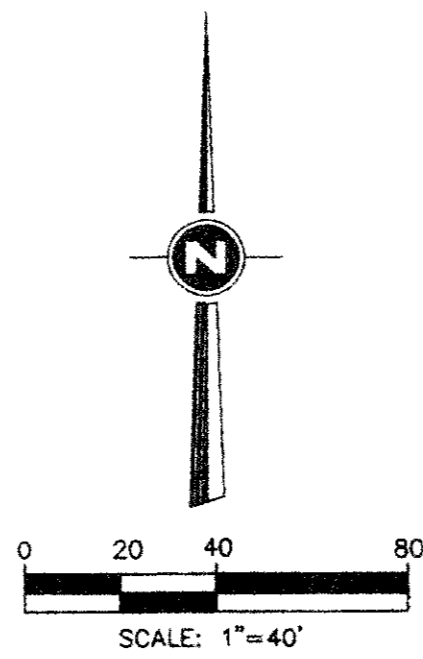
AREA 5

"C" FACTORS

- (X) ROOF=0.60; 0.1516 ACRES (21%)
 - (Y) PAVEMENT =0.95; 0.4758 ACRES (64%)
 - (Z) SOIL =0.35; 0.1126 ACRES (15%)
- .6(.21) + .95(.64) + .35(.15)=0.79



Cook Consultants, Inc. CIVIL AND STRUCTURAL ENGINEERING LAND SURVEYING AND LAND PLANNING 12250 Inwood road • suite 10 dallas, texas 75244 [214] 387-1890 fax [214] 387-8210		DRAINAGE AREA MAP MARRIOTT RESIDENCE ADDISON, TEXAS					
DATE	DESIGNED	DRAWN	DATE	SCALE	NOTES	FILE	NO.
PROJECT NO. 93063-06	LD	LAC	4-21-95	1"=40'			
REV. NO.	PROJ. NO.	DESCRIPTION	DATE				



QUORUM II
VOL. 81172, PG. 274
TRACT 1, BLOCK 2

EXIST. TEXAS POWER & LIGHT COMPANY
5' WIDE EASEMENT
VOL. 85019, PG. 2378
D.R.C.Co., Tx.

10' UTILITY ESMT. VOL. 81172, PG. 274

SOUTH LINE OF QUORUM II

EX. F.H.

S89°46'47" W 339.49'

N 89°46'47" E 347.17'

12' x 20' WATER ESMT.

INSTALL
1-8"x6" TEE
1-6" VALVE
1-FH

1- WET TAP CONN.
TO EX. 12" PVC

JACK & BORE
60 L.F.

$\Delta=09^{\circ}51'14"$
 $R=1726.75'$
 $L=296.97'$
 $T=146.45'$
 $C=296.60'$
 $CB=S 26^{\circ}46'05" E$

Quorum Drive
(VARIABLE R.O.W.)

$\Delta=07^{\circ}19'25"$
 $R=777.43'$
 $L=99.37'$
 $T=49.75'$
 $C=99.30'$
 $CB=S 28^{\circ}01'59" E$

0.679 AC.
VOL. 9311, PG. 1370

8" PVC SAN SEW
ON 1.0%
FL 641.00 IN

EX. SAN. SEW. MH
647.80 TOP
641.00 FL IN
640.95 FL OUT

20' EXIST DRAINAGE & UTILITY ESMT.
VOL. 79100, PG. 1895
M.R.D.Co., Tx.

KEVIN R. CARTER
VOL. 92140, PG. 2359
D.R.D.Co., Tx.

REMOVE EX.
1" INLET
& 24" LAT.
INSTALL PLUG

INSTALL
1-8"x6" TEE
1-6" VALVE

REMOVE EX. PLUG
CONNECT TO
EX. 8" WATER
LINE

INSTALL
1-8"x6" TEE
1-8" VALVE
1-FH

S 89°46'47" W 518.08'

(VACANT LAND)

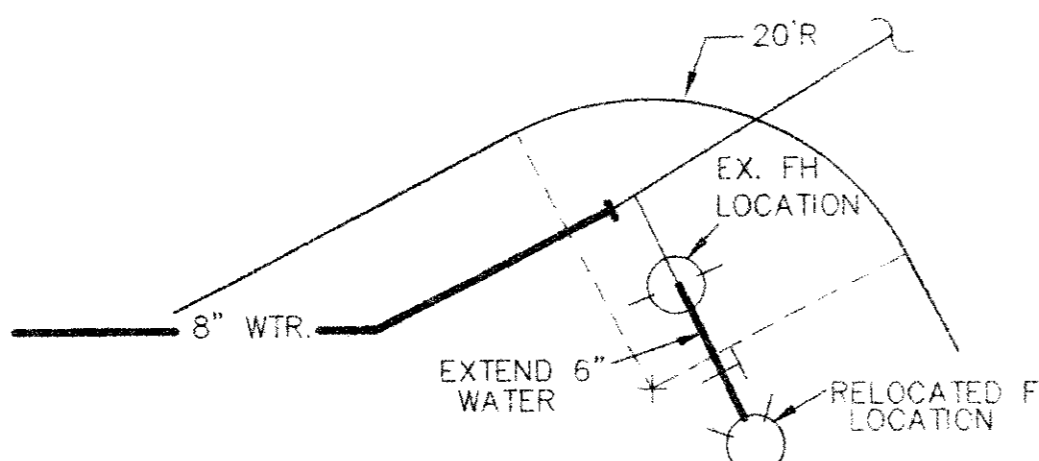
TRACT A
158,123 SQ. FT.
3.63 AC

KEVIN R. CARTER
VOL. 92088, PG. 1400

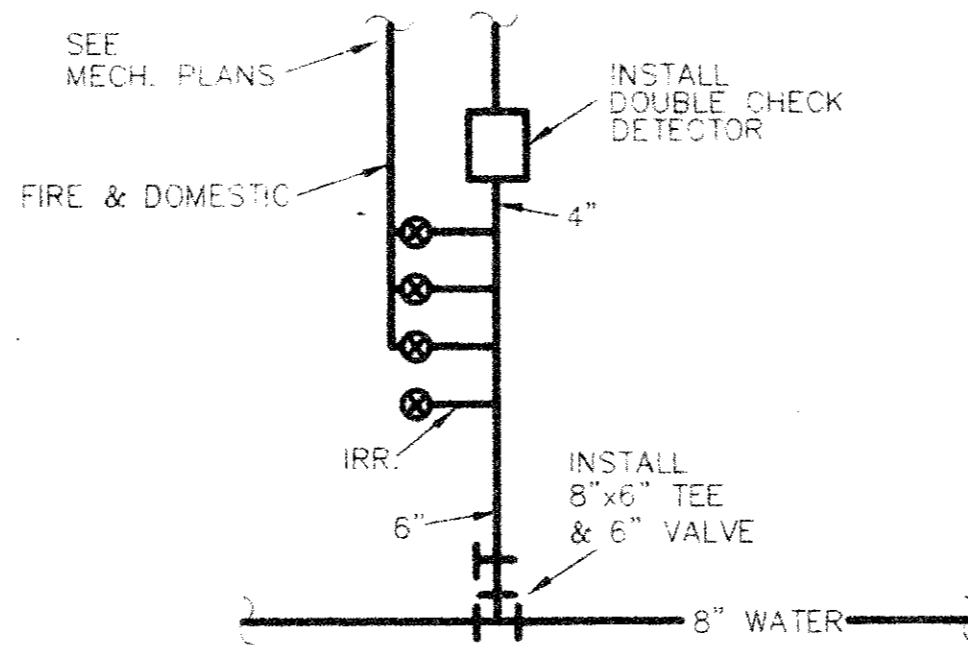
1.1478 AC.
VOL. 83173, PG. 1504
VOL. 85098, PG. 3521

BENCH MARKS:

1. "B" CUT ON T.C. OF INLET ON WEST SIDE OF
QUORUM DRIVE @ 400' NORTH OF S.E.
PROPERTY CORNER
ELEVATION: 645.22

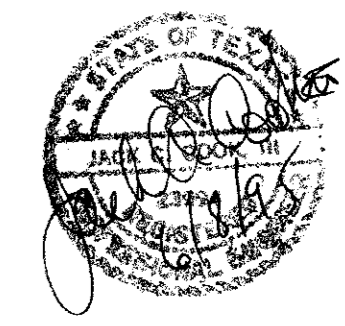


DETAIL A
SCALE 1"=10'



DETAIL B
NO SCALE

- GENERAL NOTES
1. ALL WATER MAINS SHALL BE DUCTILE IRON CLASS 52 WATER PIPE WITH POLYETHYLENE WRAP ON PIPE, FITTINGS AND FIRE HYDRANT BASES.
 2. ALL WATER MAINS SHALL HAVE MINIMUM COVER AS FOLLOWS: 6", 8" AND 12" - 48" BELOW FINISHED STREET GRADE OR 60" DEPTH IN UNIMPROVED STREETS OR AS REQUIRED TO CLEAR OTHER UTILITIES.
 3. REFER TO MECHANICAL PLANS FOR SANITARY SEWER SERVICES AND WATER SERVICES.
 4. ALL CONSTRUCTION SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE TOWN OF ADDISON, TEXAS
 5. ALL WATER MAINS SHALL BE PVC SDR18 OR C900 AS A MINIMUM.
 6. ALL WATER CONNECTIONS SHALL HAVE TESTABLE BACKFLOW ASSEMBLIES.
 7. THE WATER SERVICES SHALL HAVE TESTABLE DOUBLE CHECKS.
 8. THE FIRE LANE SHALL BE A TESTABLE DOUBLE DETECTOR CHECK WITH A REMOTE READ.
 9. ALL BACKFLOW PREVENTION DEVICES SHALL BE TESTED AND CERTIFIED THAT THEY ARE FUNCTIONING AS DESIGNED UPON INSTALLATION.
 10. ALL VALVES, MANHOLES, CLEANOUTS, ETC., SHALL BE ADJUSTED TO FINISHED GRADE.



6
8

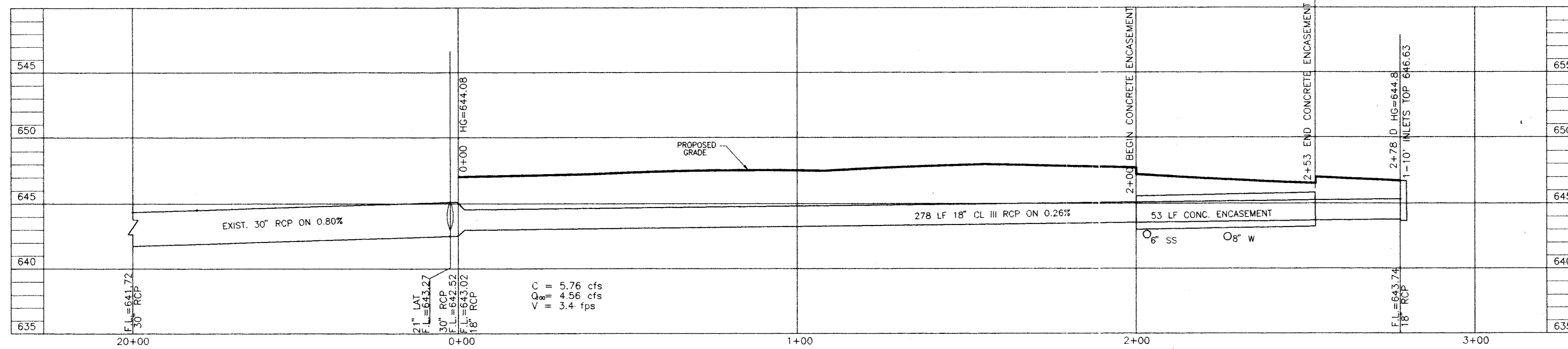
COOK CONSULTANTS, INC.
CIVIL AND STRUCTURAL ENGINEERING
LAND SURVEYING AND LAND PLANNING
12250 Inwood road, suite 10 dallas, texas 75244
(214) 387-1890 fax (214) 387-8210

WATER & SANITARY SEWER PLAN
MARRIOTT RESIDENCE
ADDISON, TEXAS

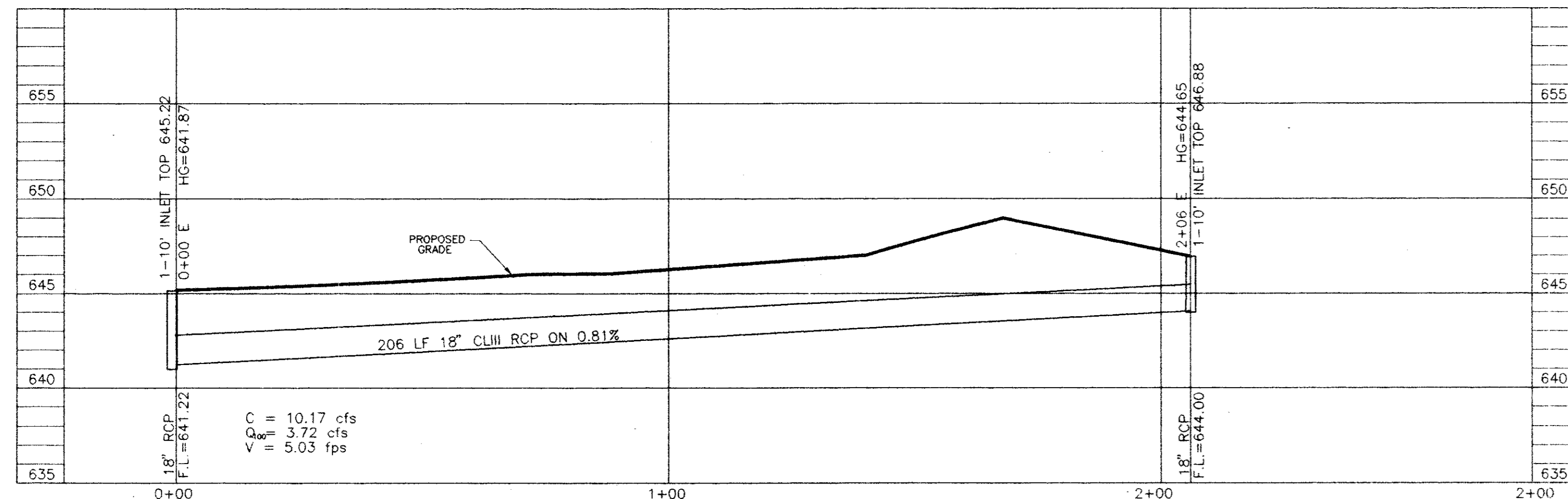
REV. NO.	C.O.	ADD WTR. V. DIST. CHG'S DESCRIPTION	DATE

DATE
PROJECT NO. 9.3063-06

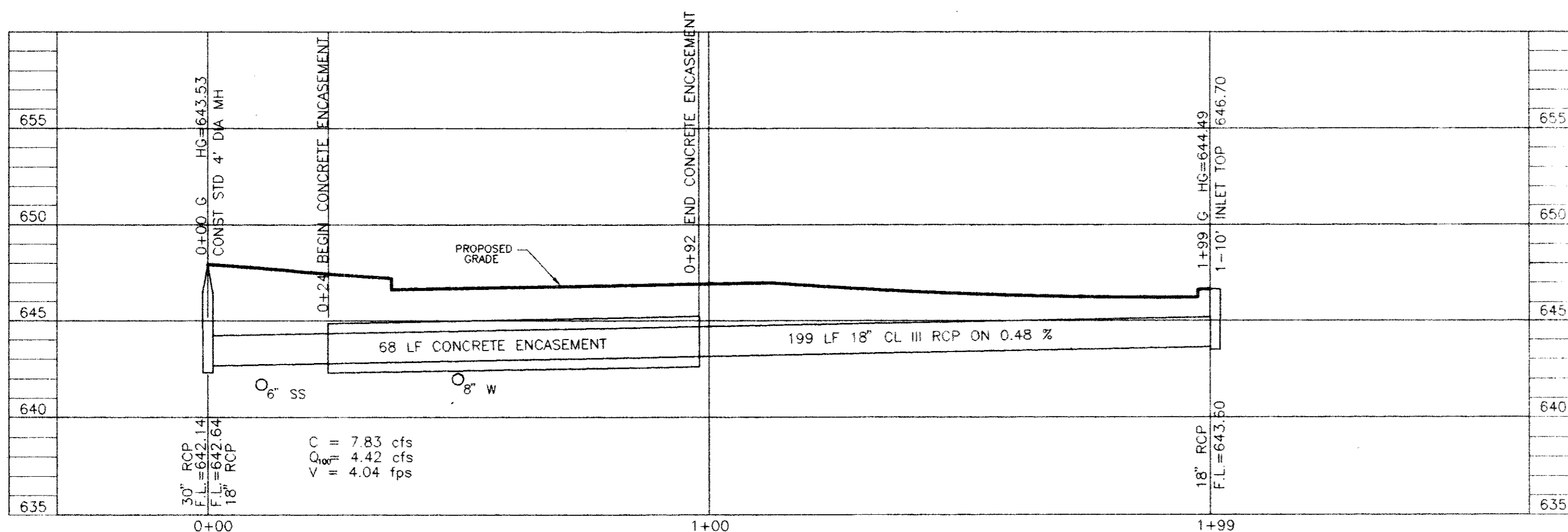
DESIGNED	DRAWN	DATE	SCALE	NOTES	FILE	NO.
LD	LAC	4-21-95	1"=40'			



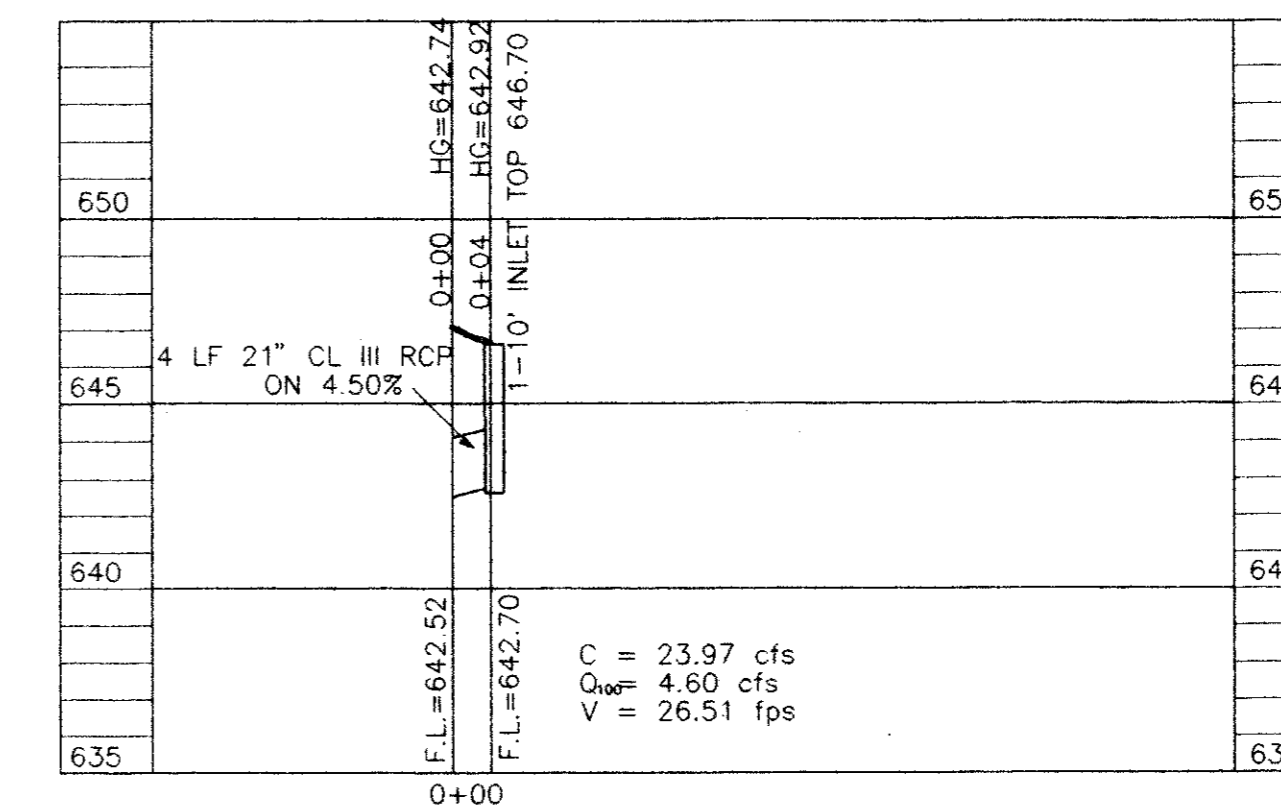
LINE D



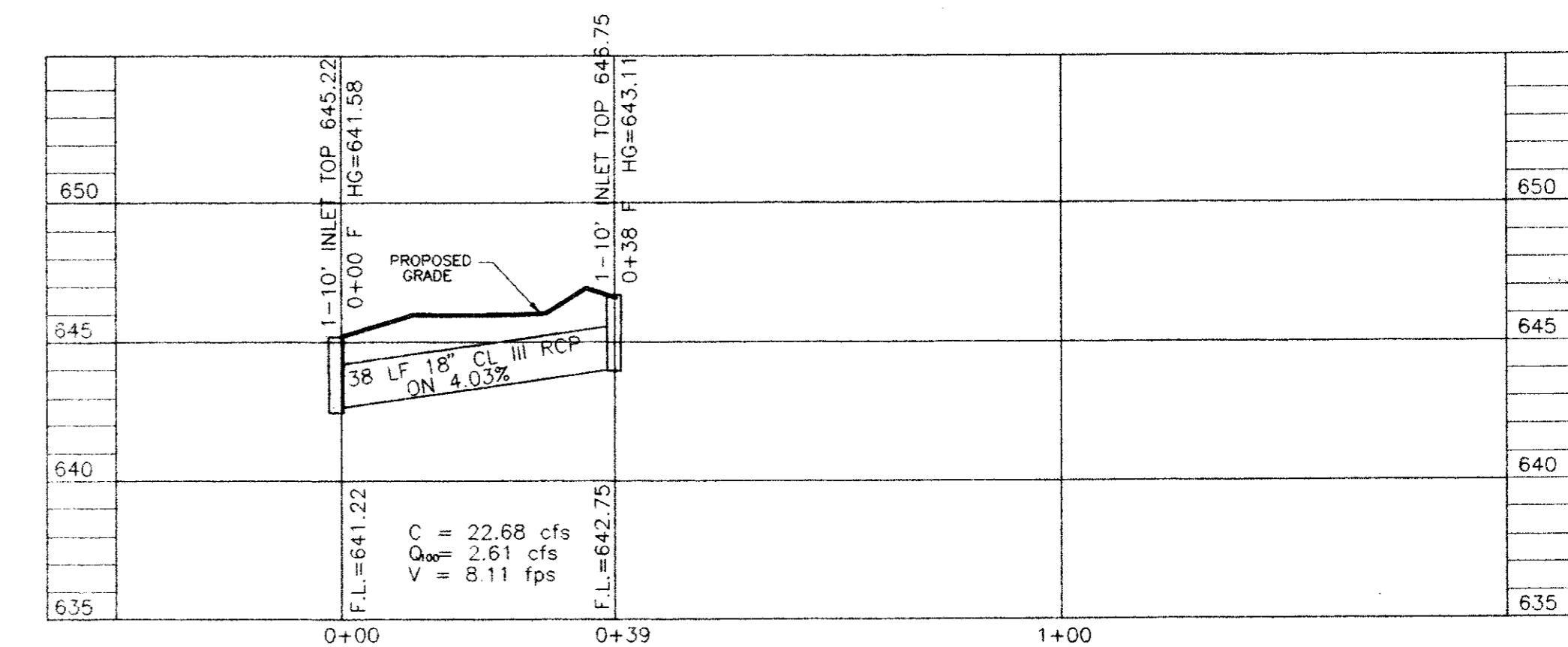
LINE E



LINE G



LAT D1



LINE F



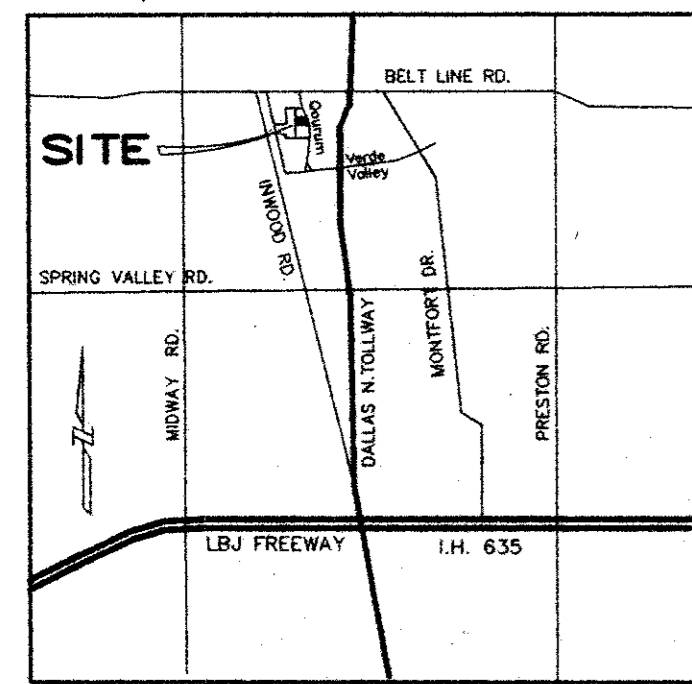
Cook Consultants, Inc.
 CIVIL AND STRUCTURAL ENGINEERING
 LAND SURVEYING AND LAND PLANNING
 12250 Inwood Road • Suite 10 Dallas, Texas 75244
 (214) 387-1890 fax (214) 387-8210

REV. NO.	PROJ. NO.	DESCRIPTION	DATE

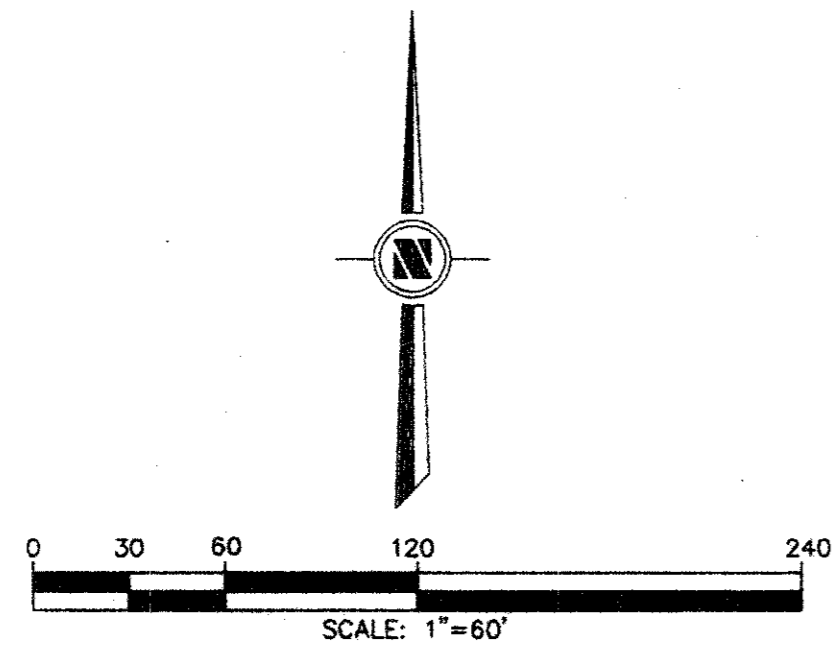
STORM SEWER PROFILES
MARRIOTT RESIDENCE
ADDISON, TEXAS

DESIGNED	DRAWN	DATE	SCALE	NOTES	FILE	NO.
SC	SC	4/8/95	1"=20'H 1"=5'V			

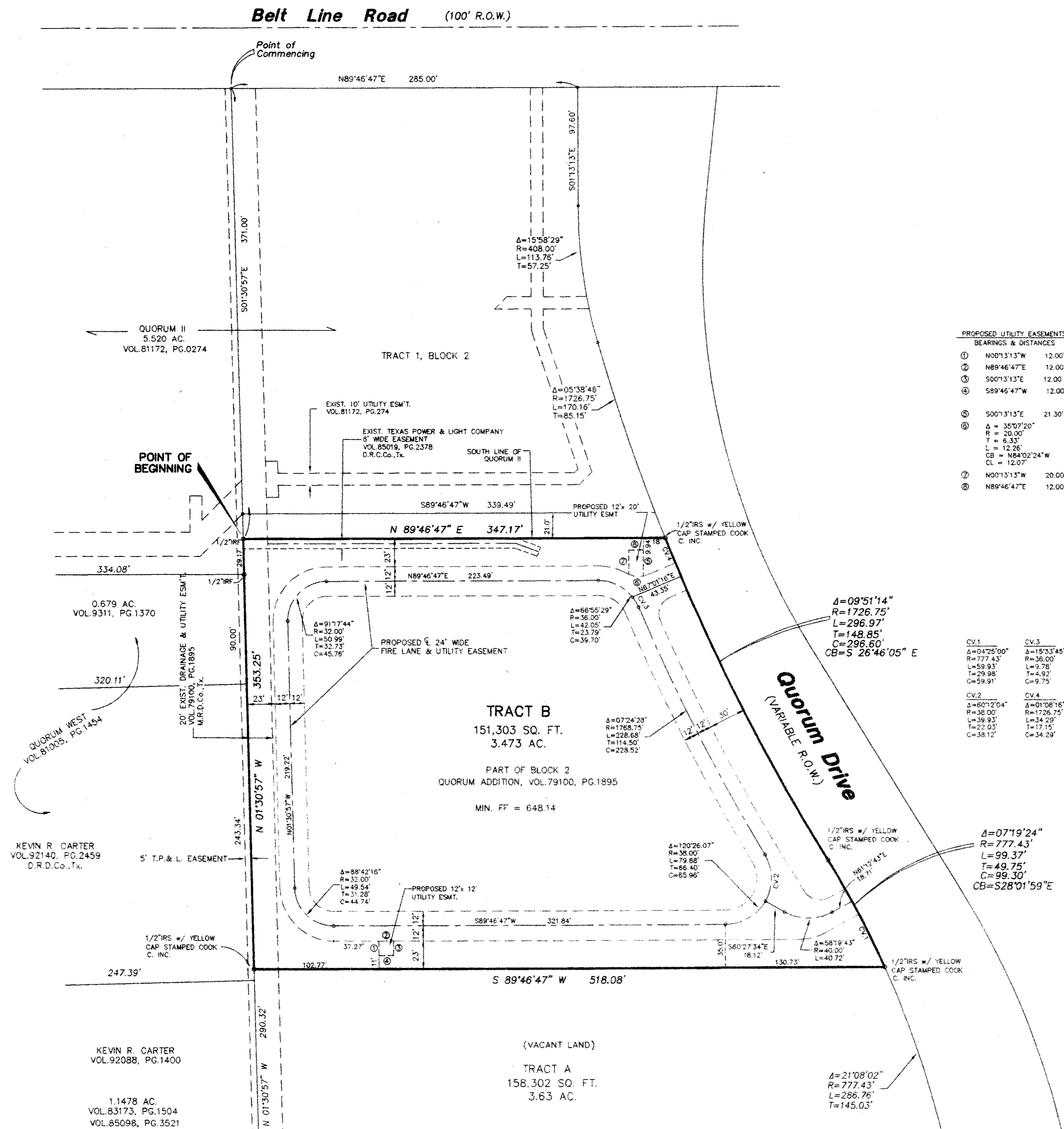
DATE PROJECT NO. 93063-06



VICINITY MAP
N.T.S.



BASIS OF BEARING IS THE WEST LINE OF
TRACT 1, BLOCK 2 (S01°30'57"E)
PER PLAT QUORUM II - VOL. 81172, PG. 0274



OWNER'S CERTIFICATE

STATE OF TEXAS ()
COUNTY OF DALLAS ()

STATE OF TEXAS ()
COUNTY OF DALLAS ()

Being a tract of land situated in the Josiah Pancoast Survey, Abstract No. 1146, and also being out of the Block 2, of Quorum, and addition to the Town of Addison, Texas as recorded in Volume 79100, Page 1895, Plat Records of Dallas County, Texas and being more particularly described as follows:

BEFORE ME, the undersigned, a Notary Public in and for Dallas County, Texas on this day personally appeared _____, known to me to be the person and officer whose name is subscribed to the foregoing instrument and acknowledge to me that the same is the act of the said _____, and that he executed the same as the act of such purposes and consideration therein expressed, and in the capacity therein stated.

Commencing at the northwest corner of said Quorum Addition, said point being on the south right-of-way line of Belt line Road (100 foot right-of-way), and being S 89°46'47" W, a distance of 285.00 feet from the west right of way line of Quorum Drive (variable right-of-way);

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this _____ day of _____, 1995

THENCE, S 01°30'57" E, for a distance of 371.00 feet to a one-half inch iron rod found for the POINT OF BEGINNING;

Notary Public in and for Dallas County, Texas

THENCE, N 89°46'47" E, for a distance of 347.17 feet to a one-half inch iron rod with yellow cap stamped Cook C. Inc. set for corner on the west right-of-way line of Quorum Drive with a curve to the left having a central angle of 09°51'14", a radius of 1,726.75 feet, a tangent of 148.85 feet and a chord bearing and distance of S 26°46'05" E, 296.60 feet;

KNOWN ALL MEN BY THESE PRESENTS:

THENCE, Southeasterly along said west right-of-way line of Quorum Drive and along said curve for an arc distance of 296.97 feet to a one-half inch iron rod with yellow cap stamped Cook C. Inc. set for corner at the end of said curve to the left and the beginning of a curve to the right having a central angle of 07°19'24", a radius of 777.43 feet, a tangent of 49.75 feet and a chord bearing and distance of S 28°01'59" E, 99.30 feet;

THAT, I Thomas W. Mauk, do hereby certify that I prepared this plat from an actual survey of the land and that corner monuments shown hereon were placed under my personal supervision in accordance with platting rules and regulations of the City Planning and Zoning Commission of the Town of Addison, Texas.

THENCE, Southeasterly along said curve to the right for an arc distance of 99.37 feet to a one-half inch iron rod set for corner with yellow cap stamped Cook C. Inc.

Thomas W. Mauk
Registered Professional Land Surveyor No.5119
Cook Consultants, Inc.
12250 Inwood Road, Suite 10
Dallas, Texas 75244
May 4, 1995

THENCE, S 89°46'47" W, for a distance of 518.08 feet to a one-half inch iron rod set for corner with yellow cap stamped Cook C. Inc.

STATE OF TEXAS ()
COUNTY OF DALLAS ()

THENCE, N 01°30'57" W, with the west line of Quorum Addition for a distance of 353.25 feet to the POINT OF BEGINNING and containing 151.303 feet or 3.473 acres of land, more or less.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS;

That ADHotel Associates, LTD. does hereby adopt this plat designating the herein above property as **MARRIOTT RESIDENCE**, an addition to the Town of Addison, Texas, and, subject to the conditions, restrictions and reservations stated hereinafter, owner dedicates to the public use forever the streets and alleys shown thereon. The easements shown on this plat are hereby reserved for the purposes as indicated, including, but not limited to, the installation and maintenance of water, sanitary sewer, storm sewer, drainage, electric, telephone, gas and cable television. Owner shall have the right to use these easements, provided however, that it does not unreasonably interfere or impede with the provision of the services to others. Said utility easements are hereby being reserved by mutual use, and accommodation of all public utilities using or desiring to use the same. An express easement of ingress and egress is hereby expressly granted on, over and across all such easements for the benefit of the provider of services for which easements are granted. Any drainage and floodway easement shown hereon is hereby dedicated to the public's use forever, but including the following covenants with regards to maintenance responsibilities. The existing channels or creeks traversing the drainage and floodway easement will remain as an open channel, unless required to be enclosed by ordinance, at all times and shall be maintained by the individual owners of the lot or lots that are traversed by or adjacent to the drainage and floodway easement. The City will not be responsible for the maintenance and operation of said creek or creeks or for any damage or injury of private property or person that results from the flow of water along said creek, or for the control of erosion. No obstruction to the natural flow of water run-off shall be permitted by construction of any type building, fence or any other structure within the drainage and floodway easement. Provided, however, it is understood that in the event it becomes necessary for the City to channelize or consider erecting any type drainage structure in order to improve the storm drainage, then in such event, the City shall have the right, but not the obligation, to enter upon the drainage and floodway easement at any point, or points, with all rights of ingress and egress to investigate, survey, erect, construct or maintain any drainage facility deemed necessary by the City for drainage purposes. Each property owner shall keep the natural drainage channels and creeks traversing the drainage and floodway easement adjacent to his property clean and free of debris, silt, growth, vegetation, weeds, rubbish, refuse, matter and any substance which would result in unsanitary conditions or obstruct the flow of water, and the City shall have the right of ingress and egress for the purpose of inspection and supervision and maintenance work by the property owner to alleviate any undesirable conditions which may occur. The natural drainage channels and creeks through the drainage and floodway easement, as in the case of all natural channels, are subject to storm water perflow and natural bank erosion to an extent that cannot be definitely defined. The City shall not be held liable for any damages or injuries of any nature resulting from the occurrence of these natural phenomena, nor resulting from the failure of any structure or structures, within the natural drainage channels, and the owners hereby agree to indemnify and hold harmless the City from any such damages and injuries. Building areas outside the drainage and floodway easement line shall be filled to a minimum elevation as shown on the plat. The minimum floor of elevation of each lot shall be shown on the plat. The maintenance or paving of the utility and fire lane easements is the responsibility of the property owner. All public utilities shall at all times have the full right of ingress and egress to and from and upon the said utility easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective system without the necessity at any time of procuring and permission of anyone. Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and any maintenance and services required or ordinarily performed by that utility. Buildings, fence, trees, shrubs or other improvements or growth may be constructed, reconstructed or placed upon, over or across the utility easements as shown; provided, however, that owner shall at its sole cost and expense be responsible under any and all circumstances for the maintenance and repair of such improvements or growths, and any public utility shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growth which in any way endanger or interfere with the construction, maintenance or efficiency of its respective system or services. Water main and sanitary sewer easements shall also include additional area of working space for construction and maintenance of the systems. Additional easement area is also conveyed for installation and maintenance of manholes, cleanouts, fire hydrants, water service and sewer service from the main to curb or pavement line, and the descriptions of such additional easements herein granted shall be determined by their locations as installed.

Notary Public in and for Dallas County, Texas

This plat is approved subject to all platting ordinances, rules, regulations, and resolutions of the Town of Addison, Texas.

APPROVED BY THE TOWN OF
ADDISON, DALLAS COUNTY, TEXAS

Mayor _____ Date _____

City Secretary _____ Date _____

Approved by City Council _____ Date _____

Tax No. _____

FINAL PLAT
OF
MARRIOTT RESIDENCE
AN ADDITION TO THE TOWN OF ADDISON, TEXAS
3.473 ACRES
OUT OF THE
JOSIAH PANCOAST SURVEY, ABSTRACT No. 1146
TOWN OF ADDISON, DALLAS COUNTY, TEXAS
OWNER:
ADHOTEL ASSOCIATES, LTD.
12850 SPURLING ROAD, SUITE 114
DALLAS, TEXAS 75230
[214] 934-8699

EXECUTED _____ day of _____, 1995

By: _____
ADhotel, L.C., General Partner

COOK CONSULTANTS, INC.
CIVIL AND STRUCTURAL ENGINEERING
LAND SURVEYING AND LAND PLANNING
12250 Inwood Road • Suite 10 • Dallas, Texas 75244
[214] 387-1890 • 1-800-545-8093 • fax [214] 387-8210
PROJECT No. 93063-06 DATE: JUNE, 1995