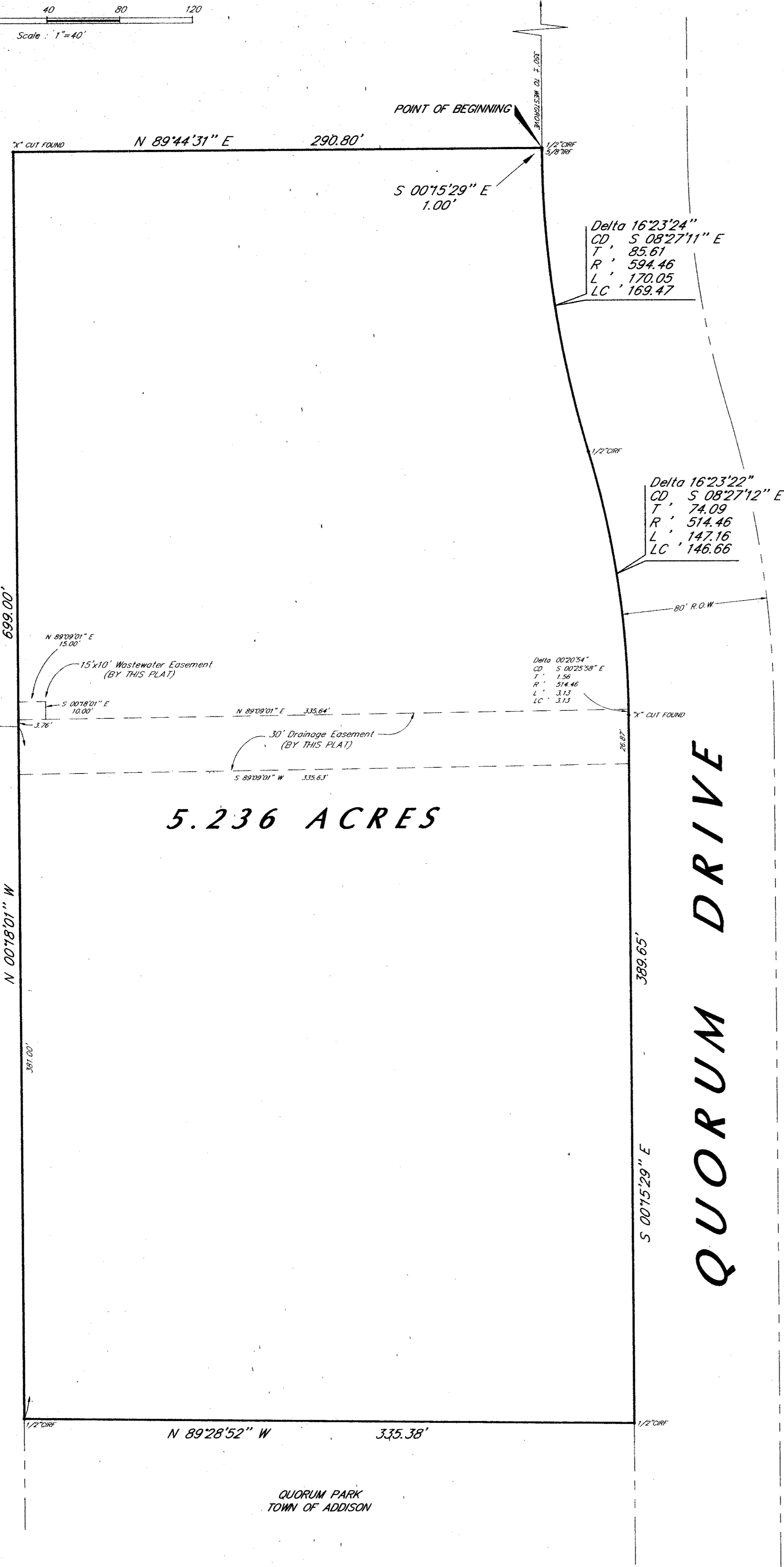


BENT TREE III ADDITION  
VOLUME 79148, PAGE 1365

BENT TREE TRAILS ADDITION  
VOLUME 80057, PAGE 0981



5.236 ACRES

QUORUM DRIVE

QUORUM PARK  
TOWN OF ADDISON

MARY KAY CORP. HEADQUARTERS

**OWNER'S CERTIFICATE**

STATE OF TEXAS  
COUNTY OF DALLAS

WHEREAS, CENTRE DEVELOPMENT COMPANY, INC. is the owner of a tract of land situated in the William Lomax Survey, Abstract No. 792, Town of Addison, Dallas County, Texas, and being part of a tract of land described as Tract No. 1, in a deed to Wirt Davis, II, Trustee, as recorded in a deed filed in Volume 5340, Page 571, Deed Records, Dallas County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod with a yellow cap stamped "RPLS 2509" found for corner in the west right-of-way line of Quorum Drive (an 80' R.O.W.); said corner also being in the north line of said Wirt Davis, II Tract No. 1, and further being the easterly northeast corner of Bent Tree III Addition to the Town of Addison, Texas as recorded in Volume 79148, Page 1365 of the Deed Records of Dallas County, Texas; said corner further being the northerly most point of that certain right-of-way Parcel A for Quorum Drive (an 80' R.O.W.) as recorded in Volume 82239, Page 3274, Deed Records of Dallas County, Texas;

THENCE S00°15'29"E, along the west right-of-way line of Quorum Drive and the east line of said Davis tract, a distance of 1.00 feet to a 5/8 inch iron rod found at the beginning of a curve to the left having a central angle of 16°23'24", a radius of 594.46 feet, a tangent distance of 85.61 feet, and a chord bearing and distance of S08°27'11"E, 169.47 feet;

THENCE along said curve to the left and along the west right-of-way line of Quorum Drive and the east line of said Davis Tract, an arc distance of 170.05 feet to a 1/2 inch iron rod found with a yellow cap stamped "RPLS 2509", said point also being the beginning of a curve to the right having a central angle of 16°23'22", a radius of 514.46 feet, a tangent distance of 74.09 feet, and a chord bearing and distance of S08°27'12"E, 146.66 feet;

THENCE along said curve to the right and along said Quorum Drive and along the east line of said Davis Tract, a distance of 147.16 feet to a "x" cut found in a concrete headwalk;

THENCE S00°15'29"E, continuing along the west line of Quorum Drive and the east line of said Davis Tract, a distance of 389.65 feet to a 1/2 inch iron rod found with a yellow cap stamped "RPLS 2509", said point further being the northeast corner of the Town of Addison Quorum Park property;

THENCE N89°28'52"W, along the south line of said Davis Tract and the north line of said Quorum Park property, a distance of 335.38 feet to a 1/2 inch iron rod found with a yellow cap stamped "RPLS 2509", said point being the southwest corner of said Davis Tract and the northwest corner of said Quorum Park property; said point further being in the east line of Bent Tree Trails Addition, an addition to the Town of Addison recorded in Volume 80057, Page 0981, Deed Records, Dallas County, Texas;

THENCE N00°18'01"W, along the west line of said Davis Tract and the east line of said Bent Tree Trails Addition, passing at 381.00 feet the northeast corner of said Bent Tree Trails Addition and also being the southeast corner of Bent Tree III Addition, continuing along the west line of said Davis Tract to the east line of said Bent Tree III Addition, a total distance of 699.00 feet to an "x" cut found for corner; said point being the northwest corner of said Davis tract and further being an inside corner of said Bent Tree III Addition;

THENCE N89°44'31"E, along the north line of said Davis Tract and the south line of said Bent Tree III Addition, a distance of 290.80 feet to the POINT OF BEGINNING and containing 5.236 acres of land.

**SURVEYOR'S CERTIFICATE**

KNOW ALL MEN BY THESE PRESENTS: THAT I, John R. Piburn, Jr., do hereby certify that I prepared this plat from an accurate and actual survey of land, and that the corner monuments shown thereon were properly placed under my personal supervision in accordance with the subdivision regulations of the Town of Addison, Texas.

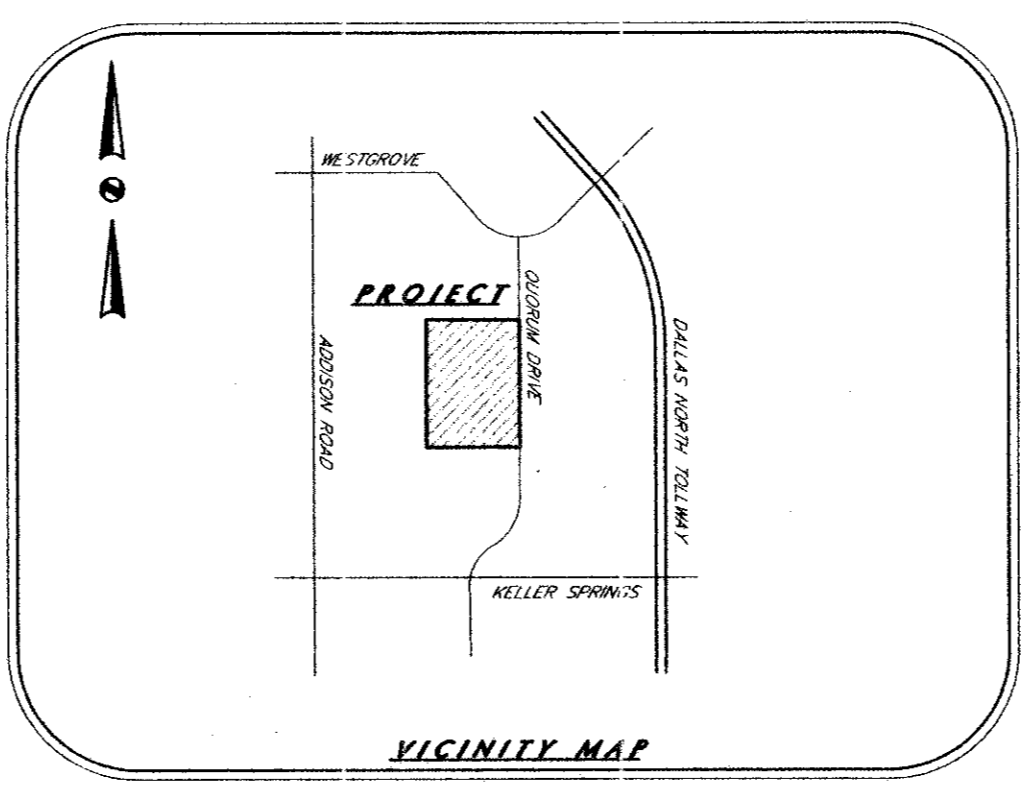
John R. Piburn, Jr., R.P.L.S.  
Registration No. 3689

**STATE OF TEXAS  
COUNTY OF DALLAS**

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared John R. Piburn, Jr., known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN under my hand and seal of office, this the \_\_\_ day of \_\_\_\_\_, 1998.

Notary Public in and for  
the State of Texas



**NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:**

That Centre Development Company, Inc. ("Owner") does hereby adopt this plat designating the herein above property as **PARKSIDE CORPORATE CENTER**, an addition to the Town of Addison, Texas, and subject to the conditions, restrictions and reservations stated hereinafter, owner dedicates to the public use forever the streets and alleys shown thereon. The easements shown on this plat are hereby reserved for the purposes as indicated, including, but not limited to, the installation and maintenance of water, sanitary sewer, storm sewer, drainage, electric, telephone, gas and cable television. Owner shall have the right to use these easements, provided however, that it does not unreasonably interfere or impede with the provision of the services to others. Said utility easements are hereby being reserved by mutual use and accommodation of all public utilities using or desiring to use the same. An express easement of ingress and egress is hereby expressly granted on, over and across all such easements for the benefit of the provider of services for which easements are granted.

Any drainage and floodway easement shown hereon is hereby dedicated to the public's use forever, but including the following covenants with regards to maintenance responsibilities. The existing channels or creeks traversing the drainage and floodway easement will remain as an open channel, unless required to be enclosed by ordinance, at all times and shall be maintained by the individual owners of the lot or lots that are traversed by or adjacent to the drainage and floodway easement. The city will not be responsible for the maintenance and operation of said creek or creeks or for any damage or injury of private property or person that results from the flow of water along said creek, or for the control of erosion. No obstruction to the natural flow of water run-off shall be permitted by construction of any type building, fence or any other structure within the drainage and floodway easement. Provided, however, it is understood that in the event it becomes necessary for the city to channelize or consider erecting any type of drainage structure in order to improve the storm drainage, then in such event, the city shall have the right, but not the obligation, to enter upon the drainage and floodway easement at any point, or points, with all rights of ingress and egress to investigate, survey, erect, construct or maintain any drainage facility deemed necessary by the city for maintenance or efficiency of its respective system or service.

Water main and sanitary sewer easements shall also include additional area of working space for construction and maintenance of the systems. Additional easement area is also conveyed for installation and maintenance of manholes, cleanouts, fire hydrants, water service and sewer services from the main to curb or pavement line, and the descriptions of such additional easements herein granted shall be determined by their locations as installed.

This plat is approved subject to all platting ordinances, rules, regulations and resolutions of the Town of Addison, Texas.

WITNESS MY HAND AT DALLAS, TEXAS, THIS THE \_\_\_ DAY OF \_\_\_\_\_, 1998.  
CENTRE DEVELOPMENT COMPANY, INC.

By: \_\_\_\_\_

STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

BEFORE ME, the undersigned authority, a Notary Public in and for the State of \_\_\_\_\_, on this day personally appeared \_\_\_\_\_ known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN under my hand and seal of office, this the \_\_\_ day of \_\_\_\_\_, 1998.

Notary Public in and for  
the State of \_\_\_\_\_

**CERTIFICATE OF APPROVAL**

MAYOR, TOWN OF ADDISON

CITY SECRETARY

VOLUME \_\_\_\_\_ PAGE \_\_\_\_\_

**PRELIMINARY PLAT**  
**PARKSIDE CORPORATE CENTER**  
SITUATED IN THE  
William Lomax Survey, Abstract No. 792  
TOWN OF ADDISON, DALLAS COUNTY, TEXAS

OWNER:  
CENTRE DEVELOPMENT COMPANY, INC.  
14001 NORTH DALLAS PARKWAY  
SUITE 900  
DALLAS, TEXAS 75204  
(972) 980-8080

PREPARED BY:  
BROCKETTE-DAVIS-DRAKE, INC.  
4144 NORTH CENTRAL EXPRESSWAY  
SUITE 1100  
DALLAS, TEXAS 75204  
(214) 824-3647