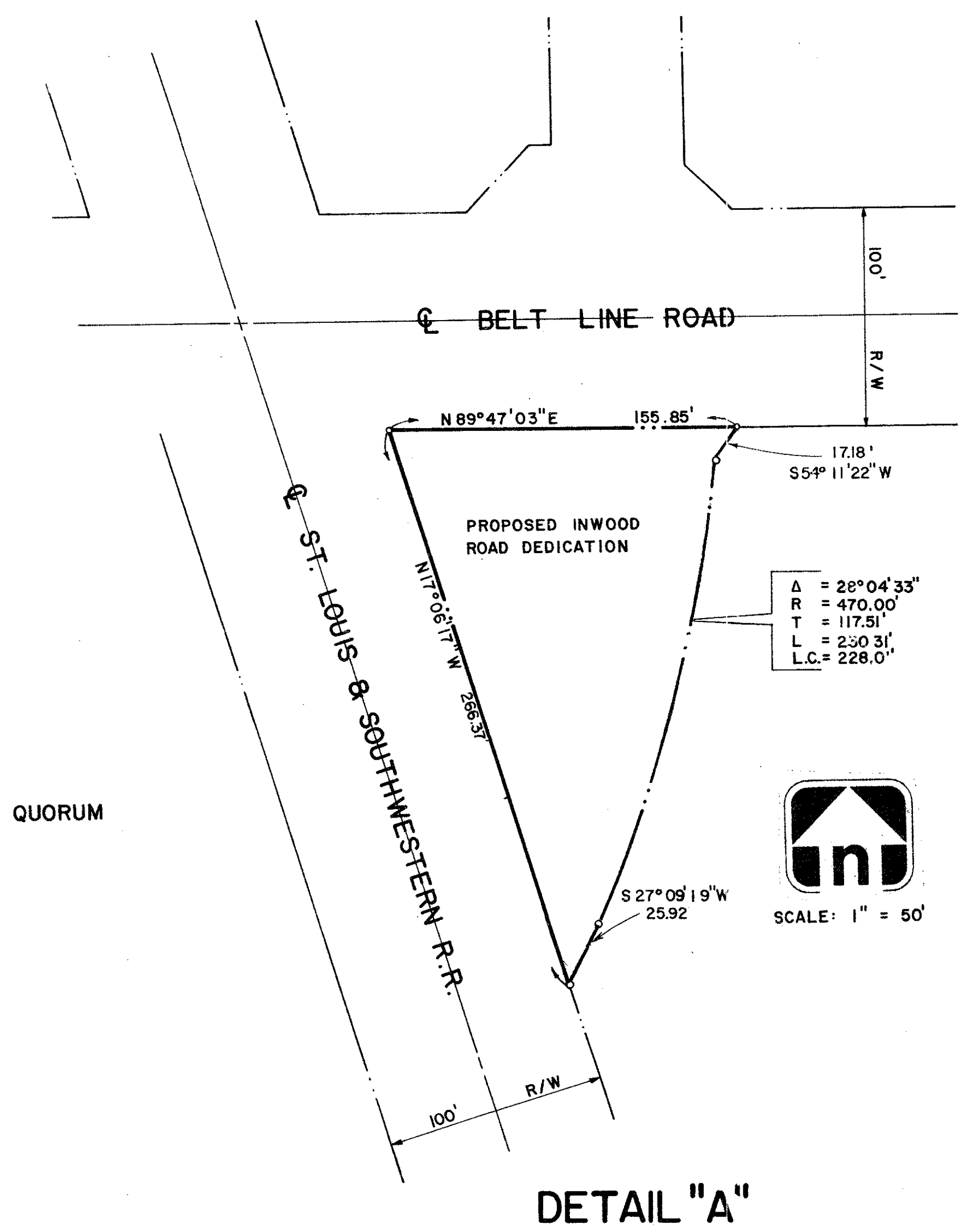


CURVE DATA		
<b>C-1</b>	<b>C-2</b>	<b>C-3</b>
Δ = 22°00'00"	Δ = 22°00'00"	Δ = 24°42'00"
R = 1323.31'	R = 1403.31'	R = 1304.44'
T = 257.23'	T = 272.78'	T = 285.61'
L = 508.11'	L = 538.83'	L = 562.34'
LC = 505.00'	LC = 535.53'	LC = 558.00'
<b>C-4</b>	<b>C-5</b>	<b>C-6</b>
Δ = 24°42'00"	Δ = 94°00'00"	Δ = 94°00'00"
R = 1224.44'	R = 110.00'	R = 190.00'
T = 258.09'	T = 117.96'	T = 203.75'
L = 527.85'	L = 180.47'	L = 311.72'
LC = 523.77'	LC = 160.90'	LC = 277.91'



**OXFORD NU-WEST QUORUM ASSOC. INC.**  
4230 L.B.J DALLAS, TEXAS

STATE OF TEXAS  
COUNTY OF DALLAS

Whereas, Dunn Nu-West Quorum Associates Inc., is the owner of a tract of land situated in Dallas County, Texas; said tract being a part of the City of Addison, Texas and being more particularly described as follows:

Being a tract of land out of the Josiah Pancoast Survey, A-1146 in Dallas County, Texas and being the same tract conveyed by deed recorded in Volume 67226, Page 0969, Deed Records, Dallas County, Texas and being more particularly described as follows:

BEGINNING at an iron rod for corner at the intersection of the northeast right-of-way of the St. Louis and Southwestern Railroad with the south right-of-way line of Belt Line Road;

THENCE with the south right-of-way line of Belt Line Road, N 89°47'03" E 893.85 feet to an iron rod found for corner;

THENCE S 01°30'57" E, along the West line of a 71.90 acre tract of land called Quorum, as recorded in Volume 79100, Page 1895, Deed Records, Dallas County, Texas, a distance of 2596.18 feet to a point for corner;

THENCE S 89°55'46" W, 164.86 feet to an iron rod for corner in the Northeast right-of-way line of the St. Louis and Southwestern Railroad.

THENCE with the said railroad right-of-way line, N 17°06'17" W, 2712.06 feet to the POINT OF BEGINNING and CONTAINING 31.537 acres of land, or 1,373,747.67 square feet.

THEREFORE, KNOW ALL MEN BY THESE PRESENTS: THAT, Dunn Nu-West Quorum Associates, Inc., does hereby adopt this plat designating the hereinabove described property as Quorum West, an Addition to the City of Addison, Texas, and does hereby dedicate to the Public use forever any streets shown thereon. The easements shown thereon are hereby reserved for the purpose as indicated. No buildings, fences, trees, shrubs, or other improvements or growths shall be constructed, reconstructed or placed upon, over or across the easements as shown. Said easements being hereby reserved for the mutual use and accommodation of all public utilities using or desiring to use same. All, and any public utility shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which in any way endanger or interfere with the construction, maintenance or efficiency of its respective system on the easements and all public utilities shall at all times have the full right of ingress and egress to and from and upon the said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective systems without the necessity at any time of procuring the permission of anyone. (Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and any maintenance and service required or ordinarily performed by that utility).

WITNESS MY HAND AT \_\_\_\_\_, TEXAS, THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 19\_\_\_\_

ATTEST: \_\_\_\_\_  
DUNN NU-WEST QUORUM ASSOCIATES, INC.

STATE OF TEXAS  
COUNTY OF DALLAS

BEFORE ME, the undersigned authority, a Notary Public in and for said County and State, on this day personally appeared an Officer of Dunn Nu-West Quorum Associates, Inc., known to me to be the person and officer whose name is subscribed to the foregoing instrument and acknowledged to me that the same was the act of the said Dunn Nu-West Associates, Inc. and that he executed the same as the act of such corporation for the purposes and consideration therein expressed and in the capacity therein stated.

GIVEN UNDER my hand and seal of office, the \_\_\_\_\_ day of \_\_\_\_\_, A.D. 19\_\_\_\_

\_\_\_\_\_  
Notary Public, Dallas County, Texas

ENGINEER'S CERTIFICATE

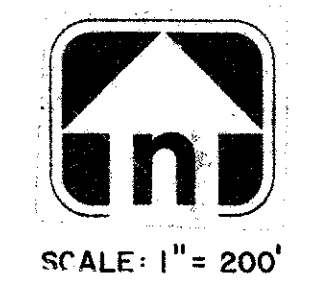
This is to certify that the plat hereon is a true, correct and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat. There are no encroachments, conflicts or protrusions, except as shown hereon.

*Donald Stewart Peebles*  
Donald Stewart Peebles  
Registered Professional Engineer  
License No. 38946

CERTIFICATE OF APPROVAL  
APPROVED BY CITY OF ADDISON  
This \_\_\_\_\_ Day of \_\_\_\_\_, 19\_\_\_\_

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Secretary



FINAL PLAT

**QUORUM WEST**  
ADDISON, TEXAS

**Graham Associates, Inc.**  
CONSULTING ENGINEERS & PLANNERS  
520 AVENUE H ARLINGTON, TEXAS

Date: 3 7 80  
File: 425 2248  
Drawn By: G-A-1  
Sheet 2 of 15