

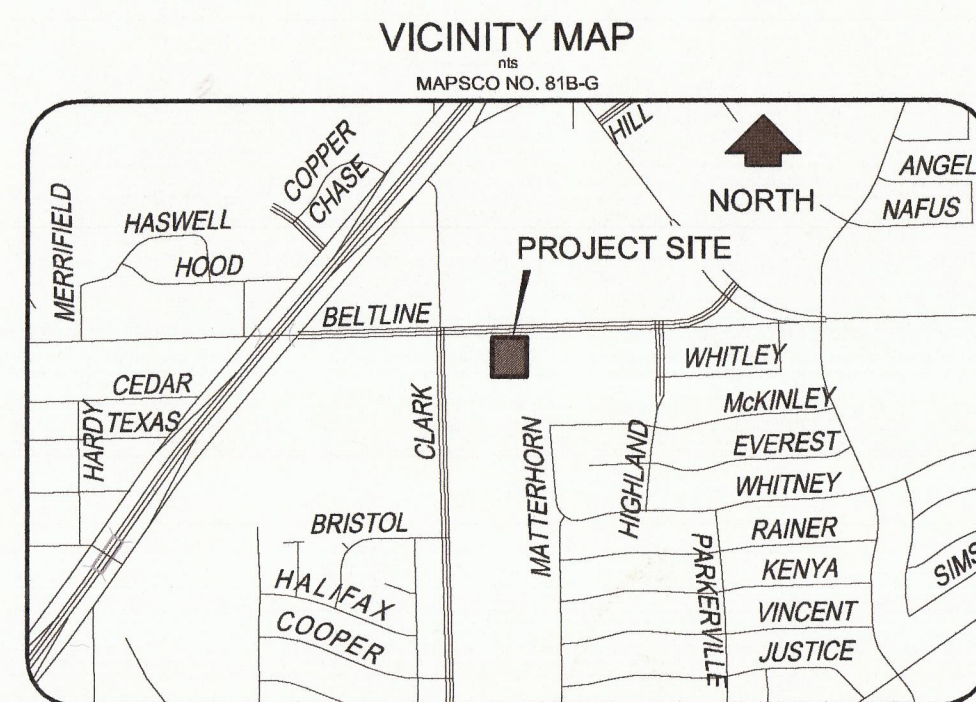
PAVING, DRAINAGE AND GRADING IMPROVEMENTS CONSTRUCTION PLANS FOR TOWN HALL CENTER TOWN OF ADDISON, TEXAS ADDISON PROJECT # 15-04

OWNER:

BELTWAY COMMERCIAL REAL ESTATE
15280 ADDISON ROAD , SUITE 301
ADDISON, TEXAS 75001

INDEX OF DRAWINGS

SHT	DESCRIPTION
	COVER SHEET
1	SITE PLAN
2	DEMOLITION PLAN
3	HORIZONTAL CONTROL PLAN
4	GRADING PLAN
5	PAVING PLAN & ELECTRICAL LAYOUT
6	PAVING DETAILS
7	EROSION CONTROL PLAN
8	EROSION CONTROL DETAILS
	LANDSCAPE PLAN



APPROVED FOR CONSTRUCTION
Town of Addison
Infrastructure Operations And Services Department
APPROVED BY: *[Signature]*
DATE: 8/24/15
16801 Westgrove Dr, Addison, TX 75001 (972)450-2871

All responsibility for the adequacy of these plans remains with the Engineer who prepared them. In approving these plans, the Town of Addison makes no representation of adequacy of the work of the Design Engineer.

[Signature]
RICHARD CARSON, JR.
40854
PROFESSIONAL ENGINEER
08/18/15



Piburn & Carson, LLC
801 E. Campbell Road - Suite 575
Richardson, Texas 75081
Ph: (214) 328-3500 Fax: (214) 328-3512
www.piburncarson.com email@piburncarson.com
Surveying Firm #100871-00 Engineering Firm #F-12324

File name: \\HD-HT\GLT\AF\share\Drawings\2015\15039 Town Hall Center Demo\Design Data\Sheets\15039-G-CVR01.dwg Date: Tuesday, August 18, 2015 Time: 1:39 PM Plotted by: Jeremy Gonzalez

PAVING, DRAINAGE AND GRADING IMPROVEMENTS - August 18, 2015

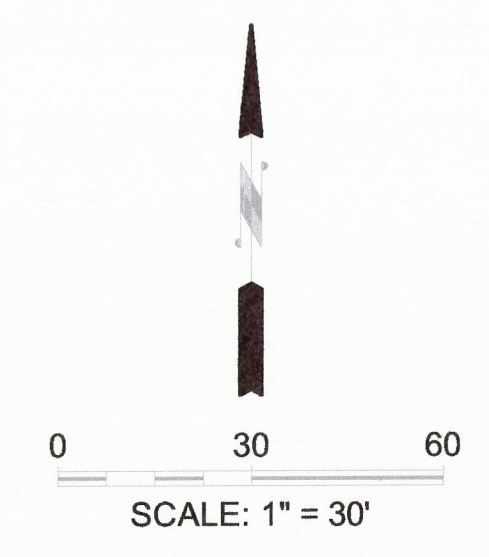
T-H parking Imp

Town Hall PKG

Filename: \\HD-HT-CL\AF\share\Drawings\2015\15039 Town Hall Center Demo\Design Data\Sheets\15039-C-ST101.dwg Date: Tuesday, August 18, 2015 Time: 1:40 PM Plotted by: Jeremy Gonzalez

BELT LINE ROAD

OAK NORTH DRIVE



benchmark
finished floor of north
entrance to building "B"
elevation = 584.98 (gps)
site plan by Hodges &
Assoc. = 585.0'

PROPOSED
SITE

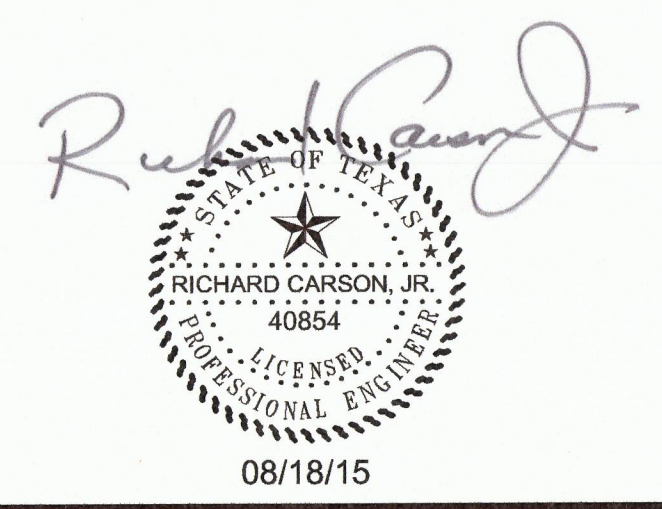
City
Offices

APPROVED FOR CONSTRUCTION
Town of Addison
Infrastructure Operations And Services Department
APPROVED BY *David E. Wade*
DATE *8/14/15*
16801 Westgrove Dr. Addison, TX 75001 (972)450-2871

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Benchmark
Finished Floor of north entrance to building "B"
Elevation = 584.98 (gps)
Site plan by Hodges & Assoc.
Elevation = 585.00

1

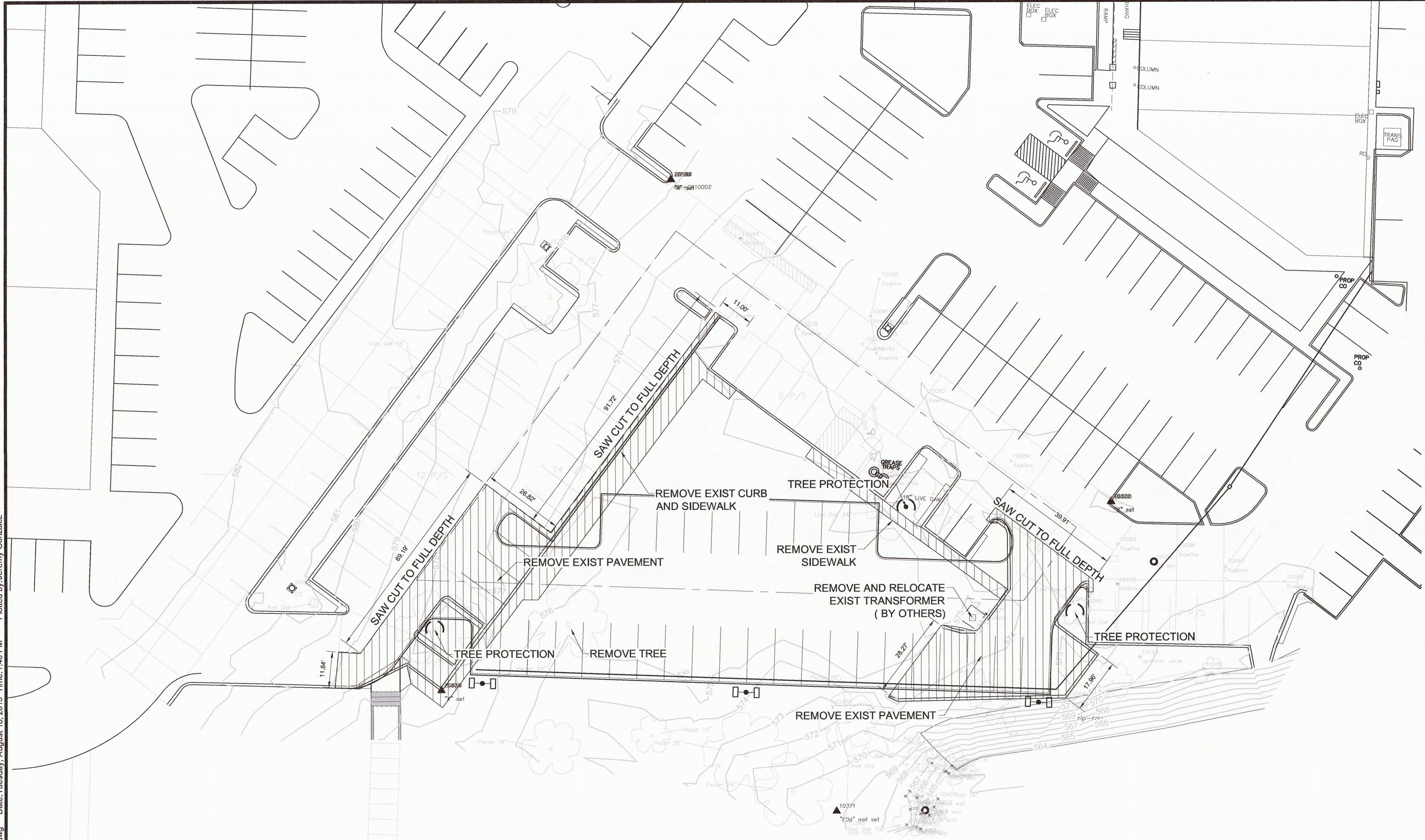


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Ph: (214) 328-3500 Fax: (214) 328-3512
www.piburncarson.com email@piburncarson.com
Surveying Firm #13887-LAS Engineering Firm #1-1224

SITE PLAN
TOWN HALL CENTER
SITE DEVELOPMENT
BELTWAY COMMERCIAL REAL ESTATE
TOWN OF ADDISON, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
RC	JAG	8/18/15	1" = 30'	PC	-	-

Filename: \\HD-HTGL\AF\share\Drawings\2015\15039 Town Hall Center Demo\Design Data\Sheets\15039-C-DEM01.dwg Date: Tuesday, August 18, 2015, 11:40 AM Plotted by: Jeremy Gonzalez



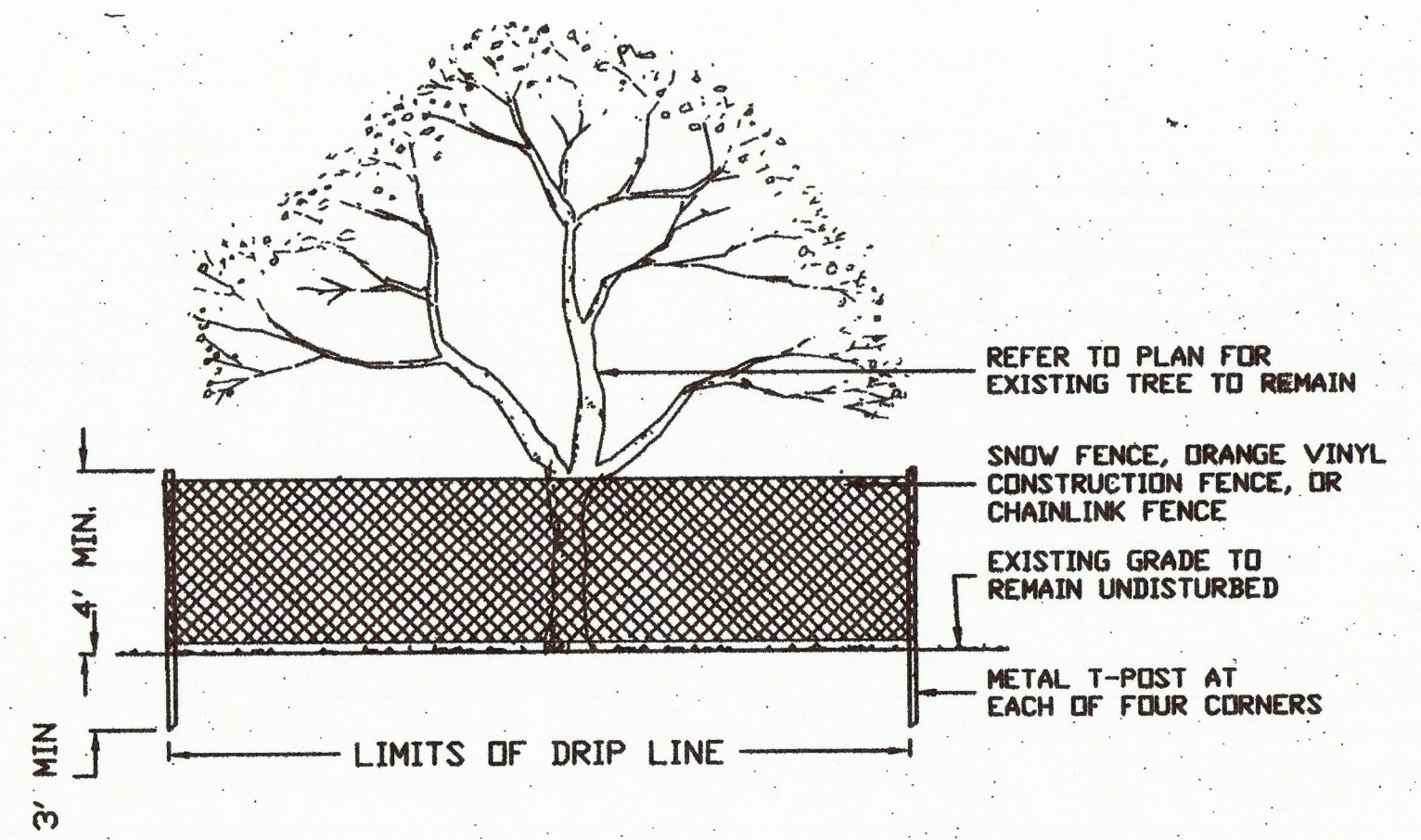
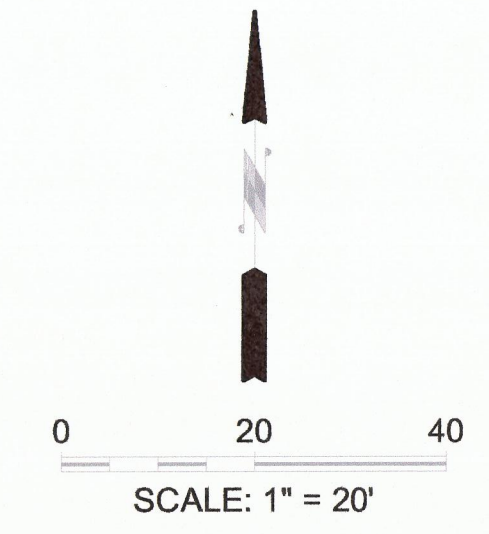
DEMOLITION GENERAL NOTES:

1. REVIEW ALL GENERAL NOTES.
2. REMOVE ALL EXISTING PAVEMENT AND STRUCTURES WITHIN THE SHADED AREA UNLESS OTHERWISE NOTED.
3. SAWCUT AND REMOVE ALL EXISTING DRIVE APPROACHES THAT ARE SHADED 2 FEET FROM THE BACK OF CURB.
4. CONSULT THE DIMENSIONAL CONTROL PLAN, VERIFY THE PORTION OF EXISTING CONCRETE CURBS WHICH ARE TO REMAIN.
5. COORDINATE WITH TXU, SOUTHWEST BELL TELEPHONE, AND THE LOCAL CABLE COMPANY PRIOR TO THE REMOVAL AND/OR RELOCATION OF EXISTING UTILITIES.
6. ALL UTILITIES SHOULD BE CUT AND PLUGGED IN COORDINATION WITH THEIR RESPECTIVE UTILITY COMPANIES AND PRIOR TO THE DEMOLITION OF THE EXISTING BUILDINGS.
7. CONTRACTOR SHALL PLUG ALL EXPOSED ENDS AND ABANDONED UTILITIES.
8. CONTRACTOR TO DETERMINE SOURCE OF ALL EXPOSED UTILITIES AND IF REQUIRED, RECONNECT TO PROPOSED UTILITIES.

DEMOLITION:

1. DEMOLITION OF EXISTING PAVEMENT - 5543 SQ. FT.
2. DEMOLITION OF EXISTING BUILDING PREVIOUSLY REMOVED - 6250 SQ. FT.

Impervious Area Pre-Development versus Post Development	
Pre-development	Area, SF
Demo'd Building	6,250
Demo'd Pavement	5,543
TOTAL PRE	12,093
Post-development	Area, SF
Proposed Pavement	11,118



TREE PROTECTION FENCING DETAIL
NOT TO SCALE

GENERAL TREE PRESERVATION NOTES:

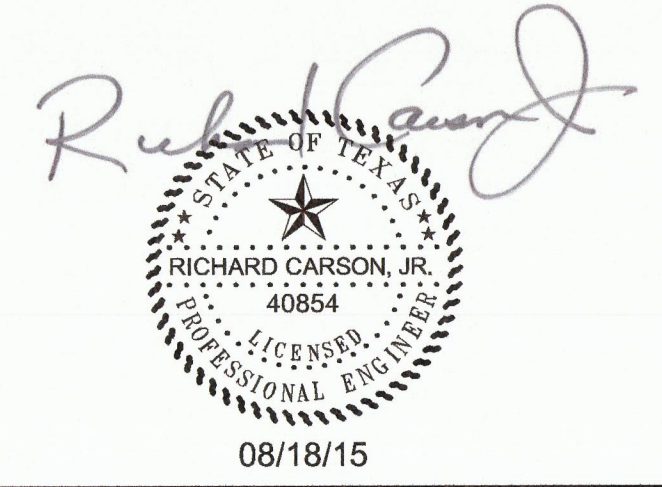
1. PRIOR TO CLEARING, GRUBBING, GRADING, OR CONSTRUCTION, THE CONTRACTOR SHALL CLEARLY TAG OR MARK ALL TREES TO BE PRESERVED.
2. THE CONTRACTOR SHALL ERECT A PROTECTIVE FENCE (SNOW FENCING, ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCE OR OTHER SIMILAR FENCING) A MINIMUM OF FOUR (4) FEET IN HEIGHT AROUND EACH TREE OR GROUP OF TREES AS SHOWN ON PLANS TO PREVENT THE PLACEMENT OF DEBRIS OR FILL WITHIN THE DRIP LINE OF THE TREES. REFER TO TREE PROTECTION DETAIL(S).
3. IN SITUATIONS WHERE A TREE REMAINS IN THE IMMEDIATE AREA OF ANTICIPATED CONSTRUCTION, THE TREE SHALL BE PROTECTED BY ENCLOSING THE ENTIRE CIRCUMFERENCE OF THE TREE'S TRUNK WITH LIMBER ENCLOSED WITH WIRE OR OTHER MEANS THAT DOES NOT DAMAGE THE TREE. REFER TO TREE PROTECTION DETAIL(S).
4. DURING THE CONSTRUCTION PHASE OF DEVELOPMENT, THE CONTRACTOR SHALL PROHIBIT CLEARING, PARKING OR STORAGE OF EQUIPMENT OR MATERIALS UNDER THE CANOPY OF ANY TREE OR GROUP OF TREES BEING PRESERVED. THE CONTRACTOR SHALL NOT ALLOW THE DISPOSAL OF ANY WASTE MATERIAL SUCH AS, BUT NOT LIMITED TO, PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, ETC., IN THE CANOPY AREA.
5. NO ATTACHMENTS OR WIRES OF ANY KIND, OTHER THAN THOSE OF A PROTECTIVE NATURE, SHALL BE AFFIXED TO ANY TREE.
6. NO FILL OR EXCAVATION MAY OCCUR WITHIN THE DRIP LINE OF A TREE TO BE PRESERVED UNLESS THERE IS A SPECIFIC APPROVED PLAN FOR USE OF TREE WELLS OR RETAINING WALLS. MAJOR CHANGES OF GRADE (SIX (6) INCHES OR GREATER) WILL REQUIRE ADDITIONAL MEASURES TO MAINTAIN PROPER OXYGEN AND WATER EXCHANGE WITH THE ROOTS.
7. ROOT PRUNING MAY BE NECESSARY WHEN THE CRITICAL ROOT ZONE IS TO BE DISTURBED BELOW DRIP LINE / CANOPY.

APPROVED FOR CONSTRUCTION

Town of Addison
Infrastructure Operations And Services Department
APPROVED BY: *[Signature]*
DATE: 8/24/15
16901 Westgrove Dr. Addison, TX 75001 (972)450-2871

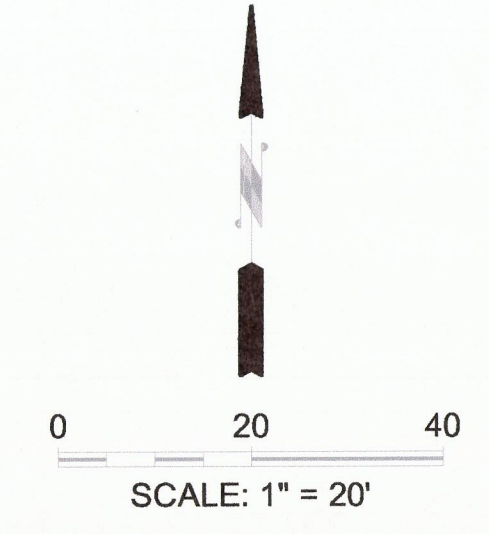
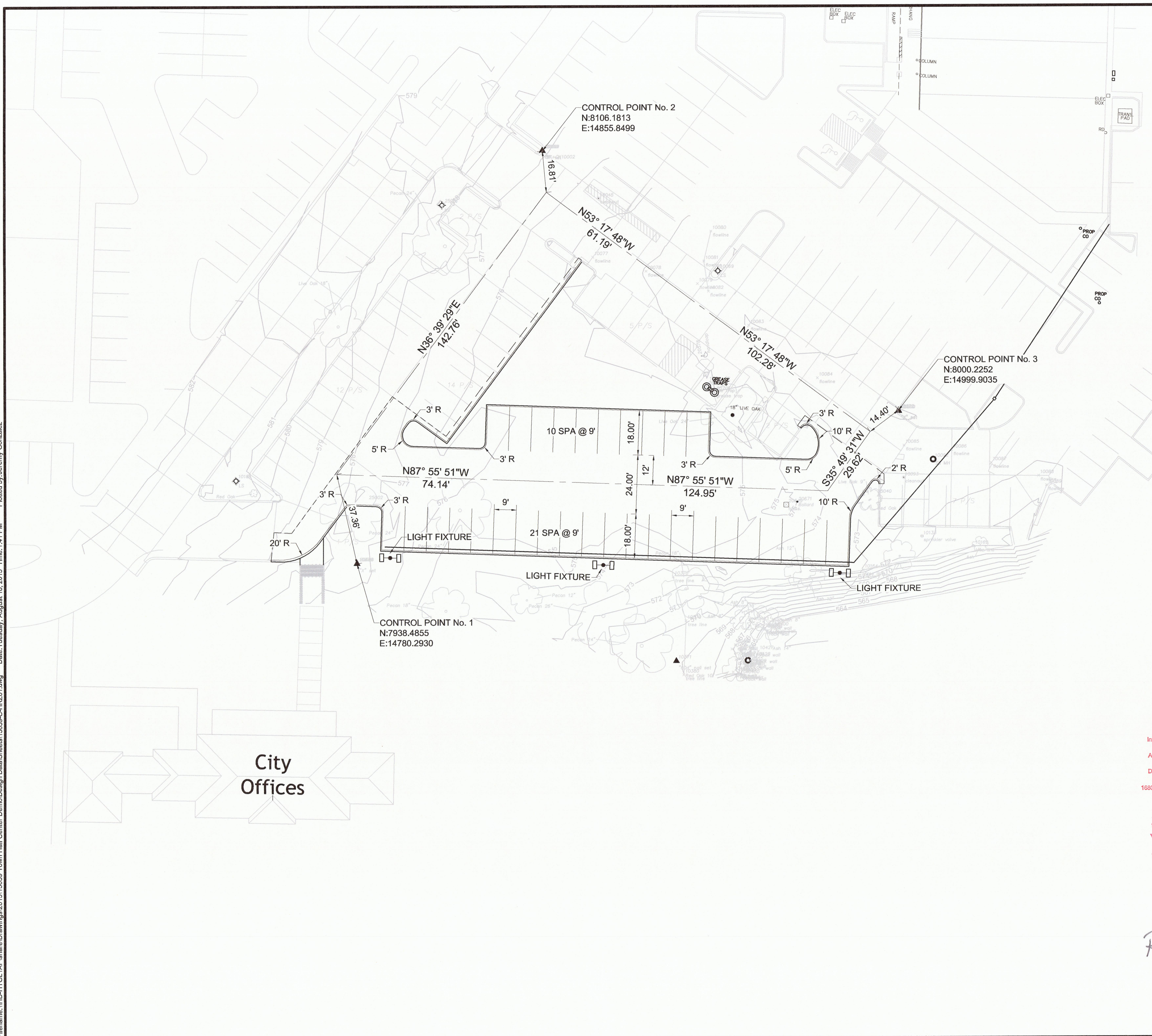
Benchmark
Finished Floor of north entrance to building "B"
Elevation = 584.98 (gps)
Site plan by Hodges & Assoc.
Elevation = 585.00

All responsibility for the adequacy of these plans remains with the Engineer who prepared them. In approving these plans, the Town of Addison makes no representation of adequacy of the work of the Design Engineer.



 Piburn & Carson, LLC 601 E. Campbell Road - Suite 515 Richardson, Texas 75081 Ph: (214) 328-5000 Fax: (214) 328-3512 www.piburncarson.com email@piburncarson.com Surveying License #10807140 Engineering Firm #1-1224						
DEMOLITION PLAN TOWN HALL CENTER SITE DEVELOPMENT BELTWAY COMMERCIAL REAL ESTATE TOWN OF ADDISON, TEXAS						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
RC	JAG	8/18/15	1" = 20'	PC	-	-

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HORIZONTAL CONTROL GENERAL NOTES:

1. ALL WORK, UNLESS OTHERWISE NOTED, SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, ISSUED BY THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENT, AND TOWN OF ADDISON STANDARD CONSTRUCTION SPECIFICATIONS.
2. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL BE FAMILIAR WITH THE PLANS INCLUDING ALL NOTES, STANDARDS SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION NORTH CENTRAL TEXAS AND THE CITY STANDARDS FOR CONSTRUCTION AND ANY OTHER APPLICABLE STANDARD AND SPECIFICATIONS RELEVANT TO THE PROPER COMPLETION OF THE WORK SPECIFIED. FAILURE ON THE PART OF THE CONTRACTOR TO BE FAMILIAR WILL ALL STANDARDS AND SPECIFICATIONS PERTAINING TO THIS WORK SHALL IN NO WAY RELIEVE THE CONTRACTOR OF RESPONSIBILITY OF PERFORMING THE WORK IN ACCORDANCE WITH ALL SUCH APPLICABLE STANDARDS AND SPECIFICATIONS.
3. THE HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING SUBSURFACE UTILITIES HAVE BEEN DETERMINED FROM DATA RECORDED BY OTHERS. CONTRACTOR SHALL VERIFY THAT NECESSARY CROSSING CLEARANCES BETWEEN EXISTING AND PROPOSED UTILITIES EXIST PRIOR TO CONSTRUCTION OF ANY SUCH CROSSING. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL UTILITIES IN THE CONSTRUCTION OF THIS PROJECT. CONTRACTOR TO VERIFY SIZE AND LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
4. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL MANHOLES, CLEANOUTS, VALVE BOXES, FIRE HYDRANTS, ETC. THEY MUST BE ADJUSTED TO PROPER LINE AND GRADE BY THE CONTRACTOR PRIOR TO AND AFTER THE PLACING OF PERMANENT PAVING AND GRADING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE DURING THE CONSTRUCTION OF THE PAVING FOR THIS DEVELOPMENT.
5.
 - 5.1. PROTECT AND MAINTAIN ROADWAY TRAFFIC THROUGHOUT THE PROJECT, PROVIDING A MINIMUM OF ONE (1) LANE OPEN IN EACH DIRECTION;
 - 5.2. PROVIDE AND MAINTAIN INTERIM ACCESS FROM ROADWAYS CURRENTLY IN USE TO ALL DRIVEWAYS AND INTERSECTING STREETS OR ALLEYS;
 - 5.3. MAINTAIN ALL WORK AND MATERIAL, STORAGE AREAS IN ORDERLY CONDITION, FREE OF DEBRIS AND WASTE; ON COMPLETION OF CONSTRUCTION, CLEAN UP THE PROJECT AND ADJACENT AFFECTED AREA TO ACCEPTABLE CONDITION, ALL AS PROVIDED IN THE GENERAL CONDITIONS.
6. PRIOR TO COMMENCEMENT OF CONSTRUCTION, BONDS AND THREE-WAY CONTRACTS SHALL BE SUBMITTED TO THE CITY AS REQUIRED.
7. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS REGARDING TRENCH SAFETY.
8. BARRICADING AND PROJECT SIGNS SHALL CONFORM TO TEXAS DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND LATEST UPDATES.

**City
Offices**

APPROVED FOR CONSTRUCTION
 Town of Addison
 Infrastructure Operations And Services Department
 APPROVED BY: *[Signature]*
 DATE: 8/24/15
 16801 Westgrove Dr, Addison, TX 75001 (872)450-2871

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Benchmark
 Finished Floor of north entrance to building "B"
 Elevation = 584.98 (gps)
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 Elevation = 585.00

3

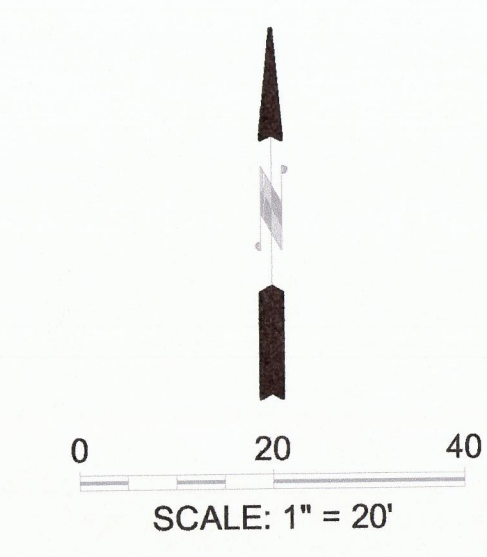


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 Surveying Firm #10027140 Engineering Firm #1-1224

HORIZONTAL CONTROL PLAN
 TOWN HALL CENTER
 SITE DEVELOPMENT
 BELTWAY COMMERCIAL REAL ESTATE
 TOWN OF ADDISON, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
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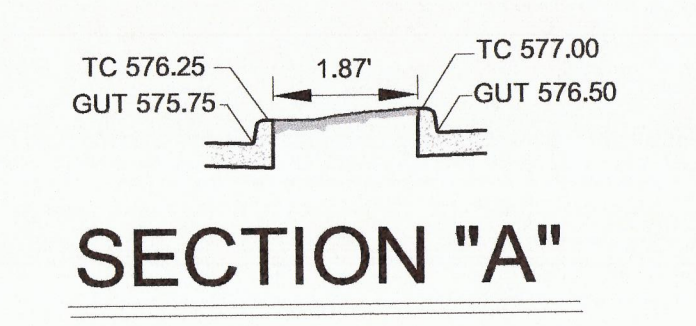
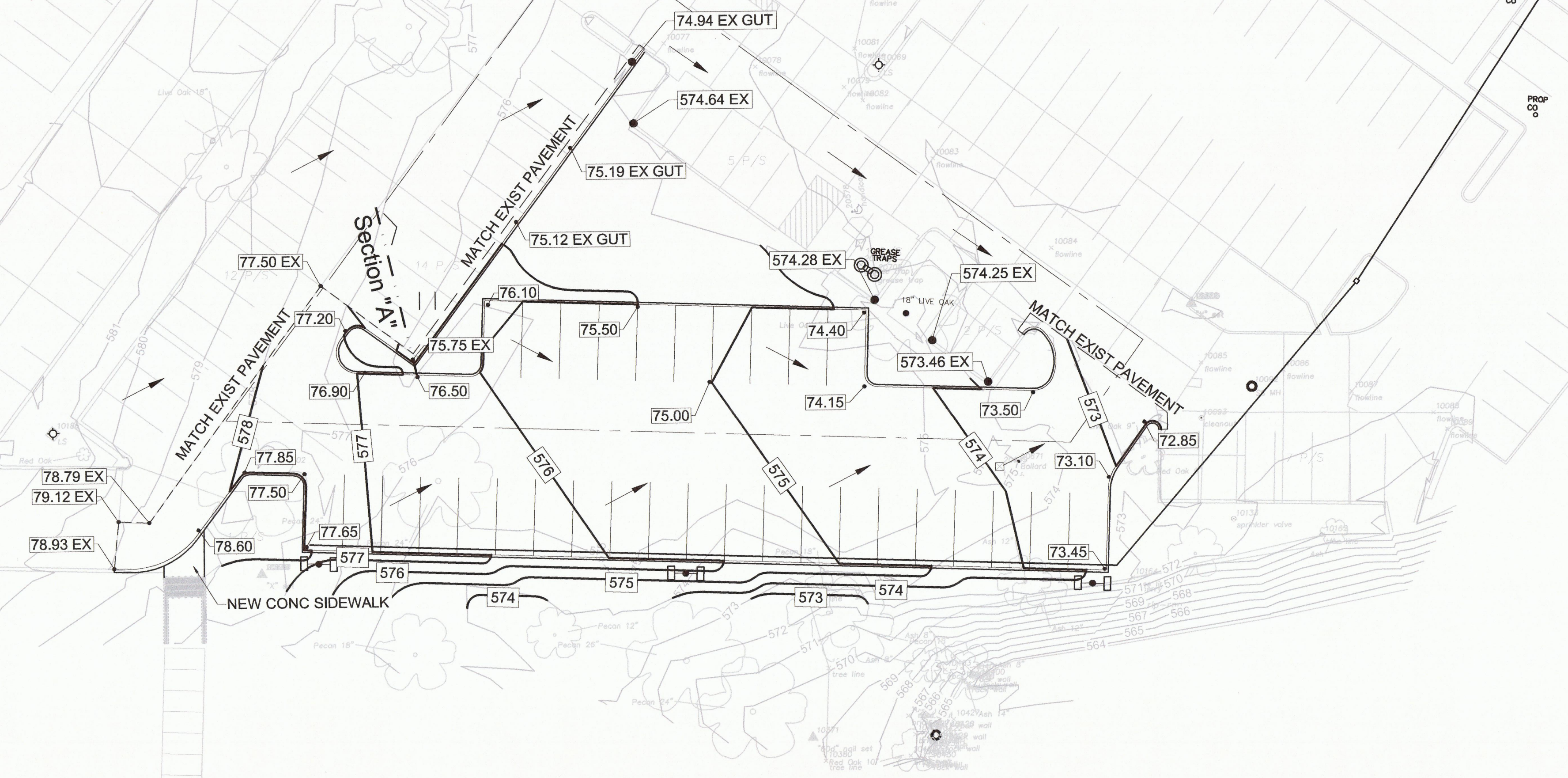
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GRADING GENERAL NOTES:

1. REFER TO GEOTECHNICAL REPORT FOR REQUIREMENTS REGARDING FILL COMPACTION AND MOISTURE CONTENT.
2. UNLESS NOTED, ALL FILL IS TO BE COMPACTED TO A MINIMUM 95% STANDARD PROCTOR DENSITY WITH IN 3% OF OPTIMUM MOISTURE CONTENT. FILL TO BE PLACED IN A MAXIMUM 6" LIFTS.
3. SIDEWALKS AND ACCESSIBLE ROUTES SHALL HAVE A SLOPE NO GREATER THAN 5% AND A CROSS FALL NO GREATER THAN 2% UNLESS OTHERWISE NOTED.
4. GRADING ALL HANDICAP SPACES AND ROUTES TO CONFORM TO STATE, LOCAL, AND FEDERAL GUIDELINES.
5. REFER TO LANDSCAPE SPECIFICATION FOR SEEDING AND SODDING REQUIREMENTS.
6. ANY CONCRETE, ROCK OR MATERIAL DEEMED UNSUITABLE FOR SUBGRADE BY ENGINEER, SHALL BE DISPOSED OF OFFSITE AT CONTRACTORS EXPENSE.
7. IF REQUIRED DUE TO CONSTRUCTION, POWER POLES TO BE BRACED OR RELOCATED AT CONTRACTORS EXPENSE.

Impervious Area Pre-Development versus Post Development	
Pre-development	Area, SF
Demo'd Building	6,250
Demo'd Pavement	5,543
TOTAL PRE	12,093
Post-development	Area, SF
Proposed Pavement	11,118



APPROVED FOR CONSTRUCTION
 Town of Addison
 Infrastructure Operations And Services Department
 APPROVED BY: *David W. Wilde*
 DATE: *8/24/15*
 16801 Westgrove Dr, Addison, TX 75001 (972)450-2871

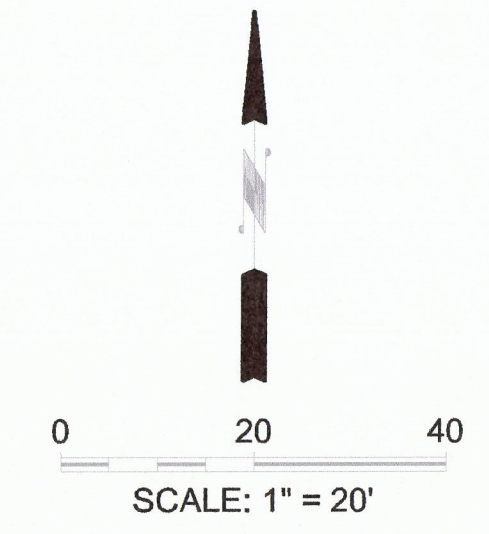
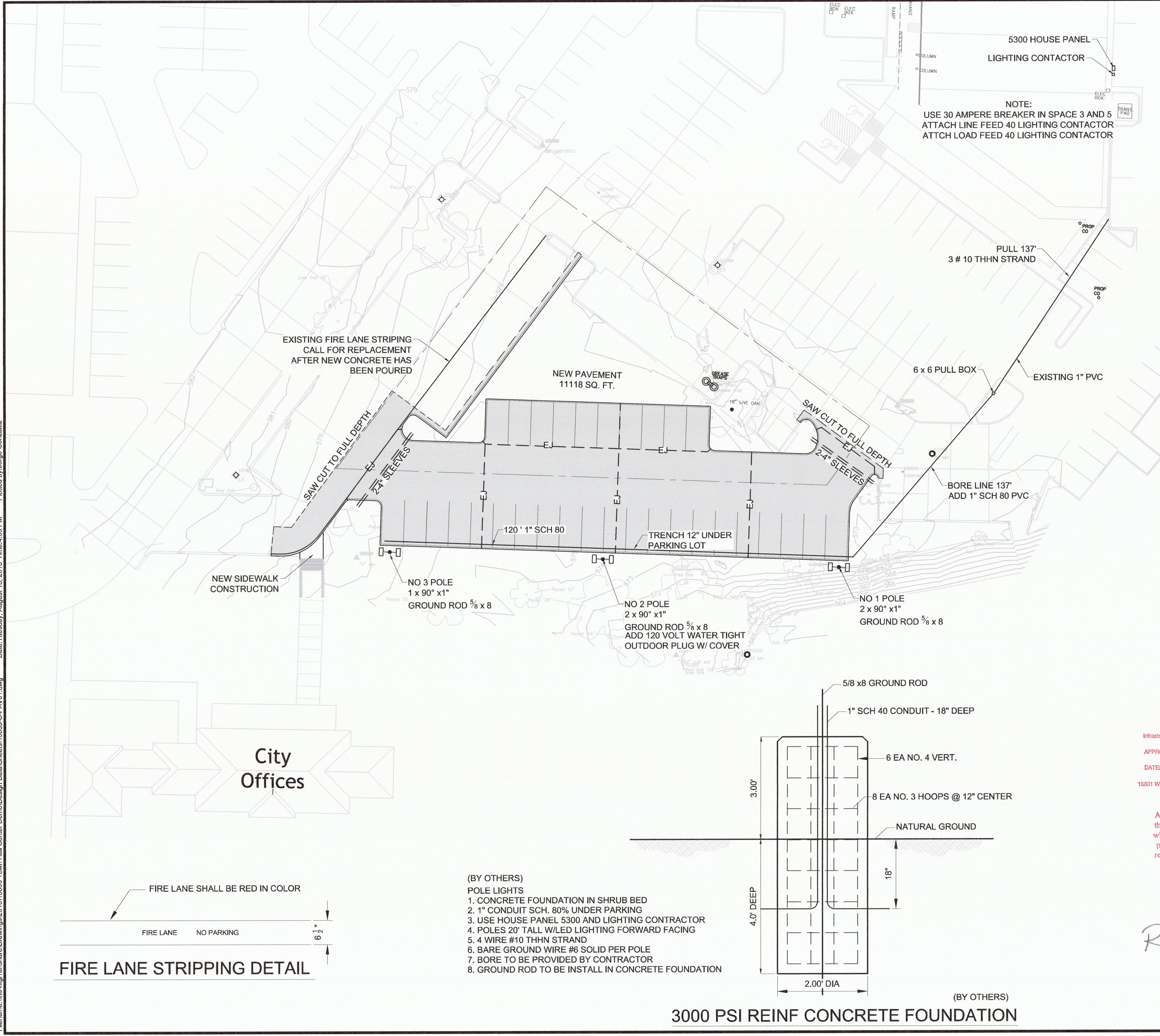
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Richard Carson, Jr.
 RICHARD CARSON, JR.
 LICENSE NO. 40854
 PROFESSIONAL ENGINEER
 CIVIL
 STATE OF TEXAS
 08/18/15

 Piburn & Carson, LLC <small>801 E. Campbell Road - Suite 575 Richardson, Texas 75081 Ph: (214) 328-3500 Fax: (214) 328-3512 www.piburncarson.com email: info@piburncarson.com Surveying Firm #168871-05 Engineering Firm #1-2324</small>						
GRADING PLAN TOWN HALL CENTER SITE DEVELOPMENT BELTWAY COMMERCIAL REAL ESTATE TOWN OF ADDISON, TEXAS						
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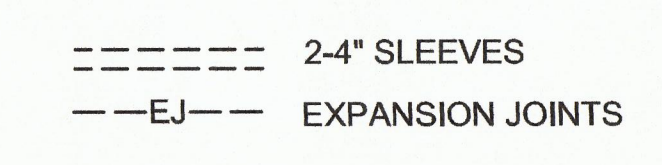
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PAVING GENERAL NOTES:

1. ALL DIMENSIONS ARE FROM FACE OF CURB UNLESS OTHERWISE NOTED.
2. UNLESS OTHERWISE NOTED, ALL CONCRETE SHALL BE CLASS "A", (3000 PSI)
3. UNLESS NOTED, ALL FILL PLACED UNDER PAVING SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY IN 6 INCH LIFTS. REFER TO STRUCTURAL SPECIFICATION FOR FILL PLACED BENEATH BUILDING AREAS.
4. THE CONTRACTOR SHALL SUBMIT A JOINT SPACING PLAN TO THE ENGINEER FOR APPROVAL. UNLESS NOTED, EXPANSION JOINT SPACING SHALL BE 90' MAXIMUM EACH WAY WITH NO KEYWAYS AND SAVED DUMMY JOINTS.
5. TRANSVERSE CONSTRUCTION JOINTS SHALL BE USED AT THE END OF EACH DAYS PAVING.
6. ALL PAVEMENTS TO BE REMOVED SHALL BE SAWCUT TO A NEAT LINE, MINIMUM 1-1/2" DEEP, AND THE PAVEMENT REMOVED IN SUCH A MANNER AS TO PRESERVE THE EXISTING TRANSVERSE REINFORCING STEEL.
7. ALL CURB AND GUTTER SHALL BE INTEGRAL WITH THE PAVEMENT AND HAVE THE SAME COMPRESSIVE STRENGTH.
8. PAVEMENT REINFORCEMENT SHALL BE #3 BARS, SPACED AT 18" CENTER TO CENTER EACH WAY EXCEPT WHERE NOTED IN THE PLANS.
9. BAR LAPS SHALL BE 30 DIAMETERS IN LENGTH.
10. ALL STRIPES SHALL BE 4" WIDE, UNLESS OTHERWISE NOTED.
11. INSTALLATION AND PLACEMENT OF IRRIGATION SLEEVES AND UTILITY CONDUITS SHALL BE IN ACCORDANCE WITH LANDSCAPE ARCHITECTS AND MEP PLANS.
12. SIDEWALKS AND ACCESSIBILITY ROUTES SHALL HAVE A SLOPE NO GREATER THAN 5% AND A CROSS SLOPE FALL NO GREATER THAN 2% UNLESS NOTED OTHERWISE.

LIGHT DUTY PAVEMENT:
 5" REINF CONCRETE, 3000 PSI WITH NO. 3 BARS AT 18" O.C.E.W. ON 6" LIME TREATED COMPACTED SUBGRADE SOILS SHALL BE COMPACTED TO A MINIMUM OF 95% (ASTM D-698) WITH MOISTURE CONTENTS AT LEAST 2 PERCENTAGE POINTS ABOVE OPTIMUM MOISTURE CONTENT. NO. 6 SMOOTH DOWELS SHOULD BE USED AT EXPANSION AND CONSTRUCTION JOINTS ON 12-INCH CENTERS.

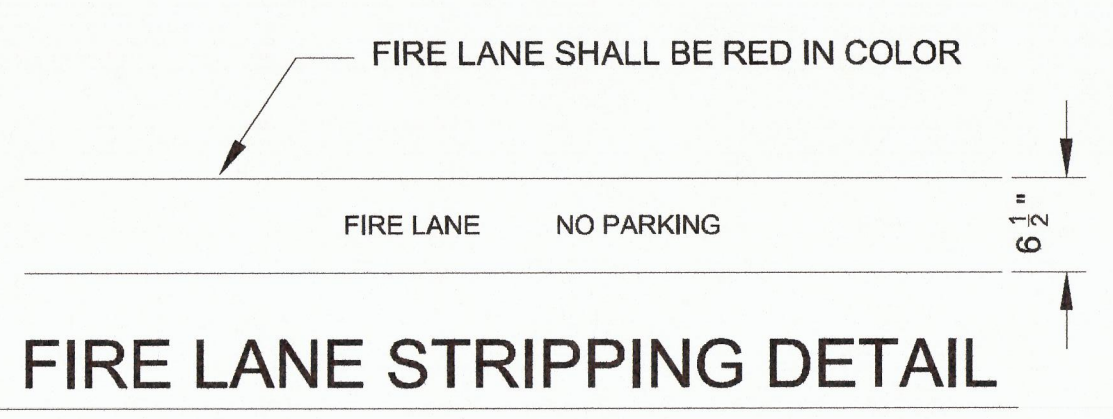


APPROVED FOR CONSTRUCTION
 Town of Addison
 Infrastructure Operations and Services Department
 APPROVED BY: *David Wilke*
 DATE: 8/24/15
 16801 Westgrove Dr. Addison, TX 76001 (972)450-2871

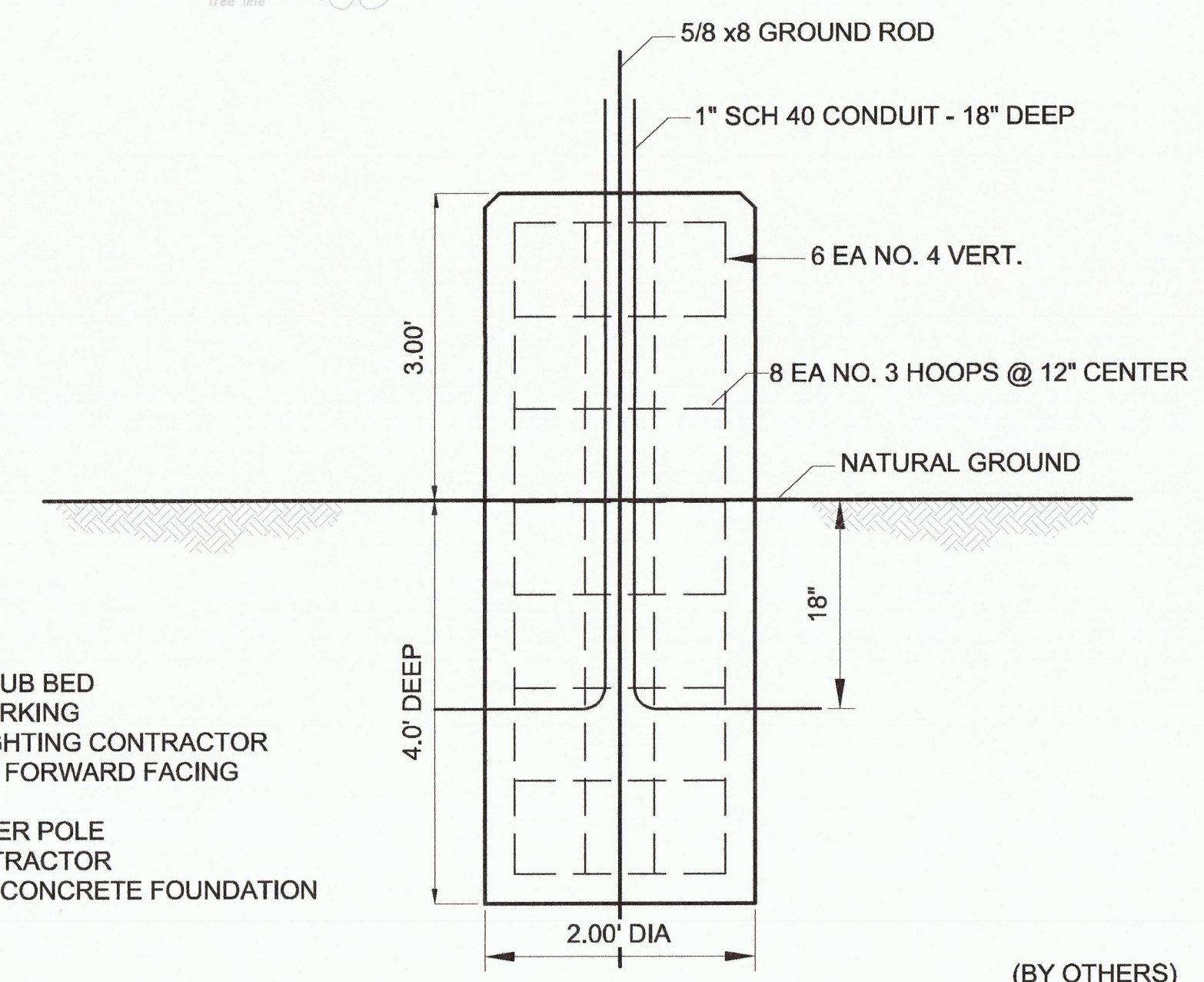
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Benchmark
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 Elevation = 585.00

5



- (BY OTHERS)
POLE LIGHTS
 1. CONCRETE FOUNDATION IN SHRUB BED
 2. 1" CONDUIT SCH. 80% UNDER PARKING
 3. USE HOUSE PANEL 5300 AND LIGHTING CONTRACTOR
 4. POLES 20' TALL W/LED LIGHTING FORWARD FACING
 5. 4 WIRE #10 THHN STRAND
 6. BARE GROUND WIRE #6 SOLID PER POLE
 7. BORE TO BE PROVIDED BY CONTRACTOR
 8. GROUND ROD TO BE INSTALL IN CONCRETE FOUNDATION

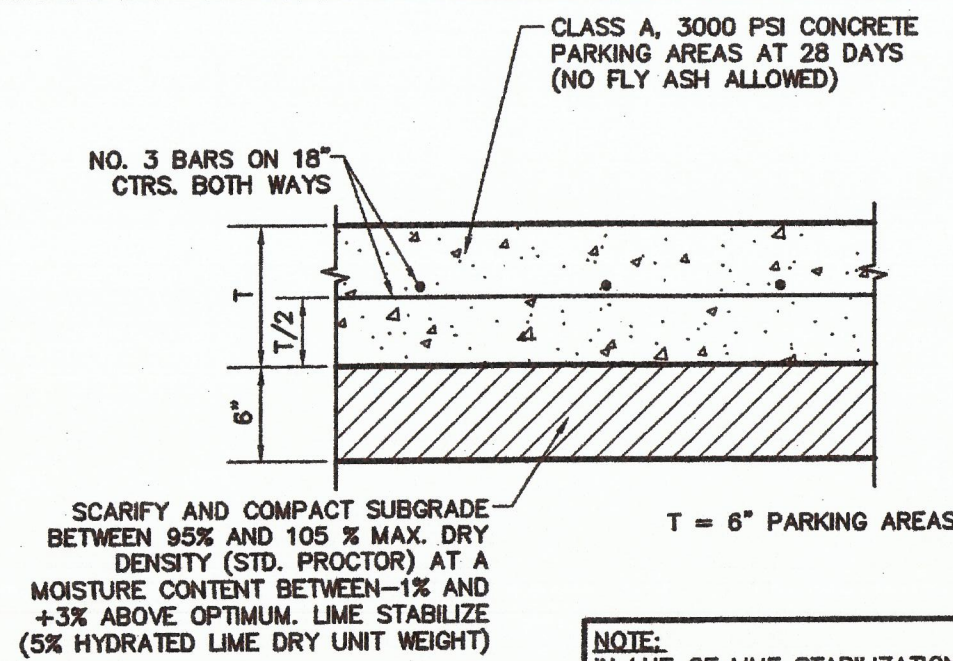


3000 PSI REINF CONCRETE FOUNDATION

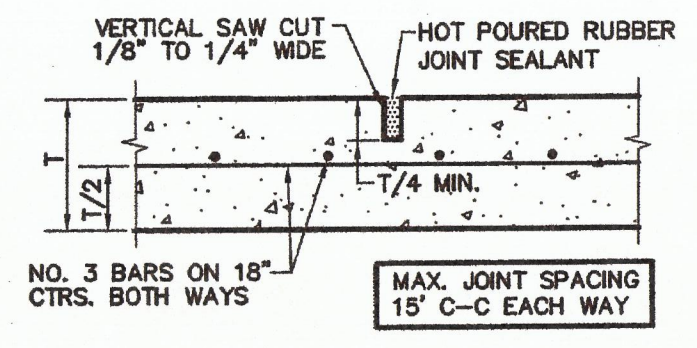
Richard Carson
 RICHARD CARSON, JR.
 40854
 LICENSED PROFESSIONAL ENGINEER
 08/18/15

PAVING PLAN TOWN HALL CENTER SITE DEVELOPMENT BELTWAY COMMERCIAL REAL ESTATE TOWN OF ADDISON, TEXAS						
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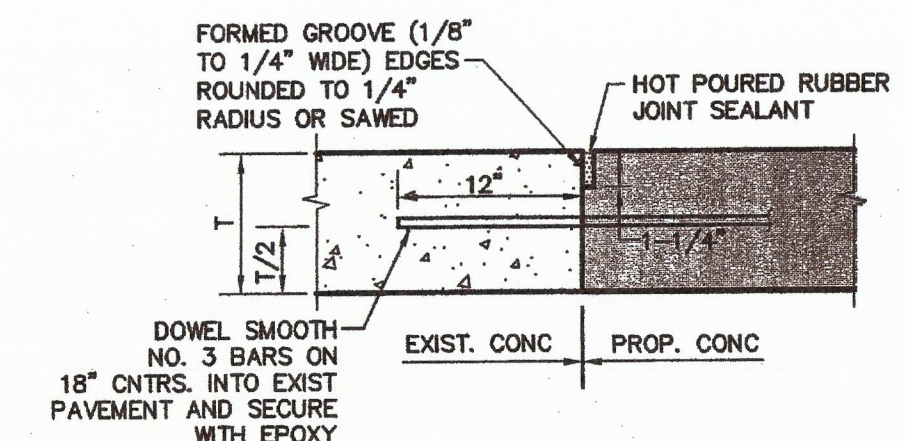
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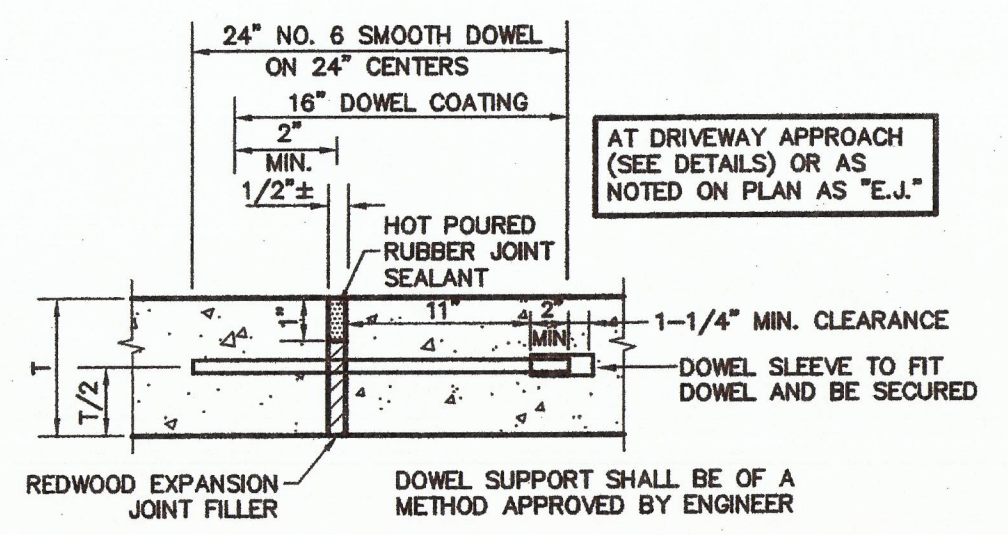
1 CONCRETE PAVEMENT SECTION
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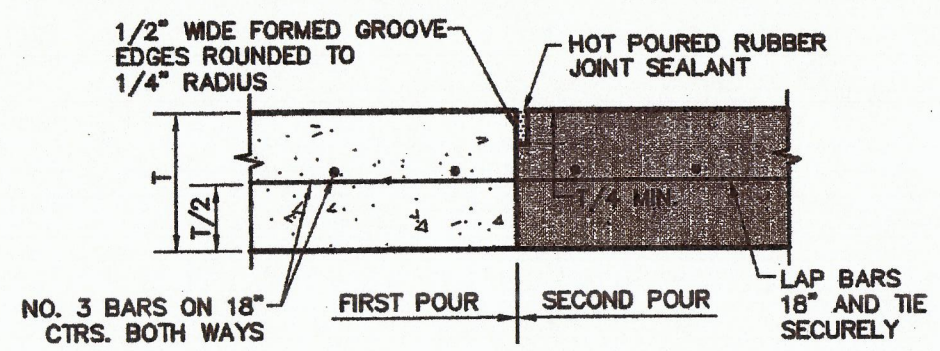
2 SAWED DUMMY JOINT
NOT TO SCALE



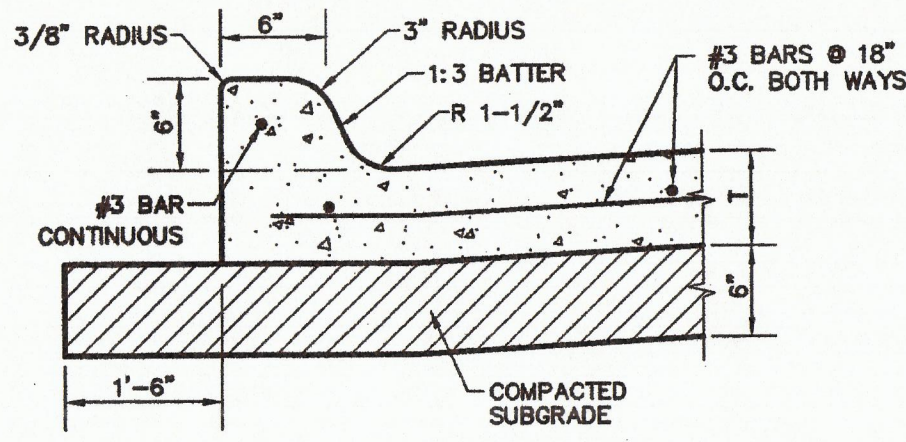
3 PAVEMENT CONNECTION
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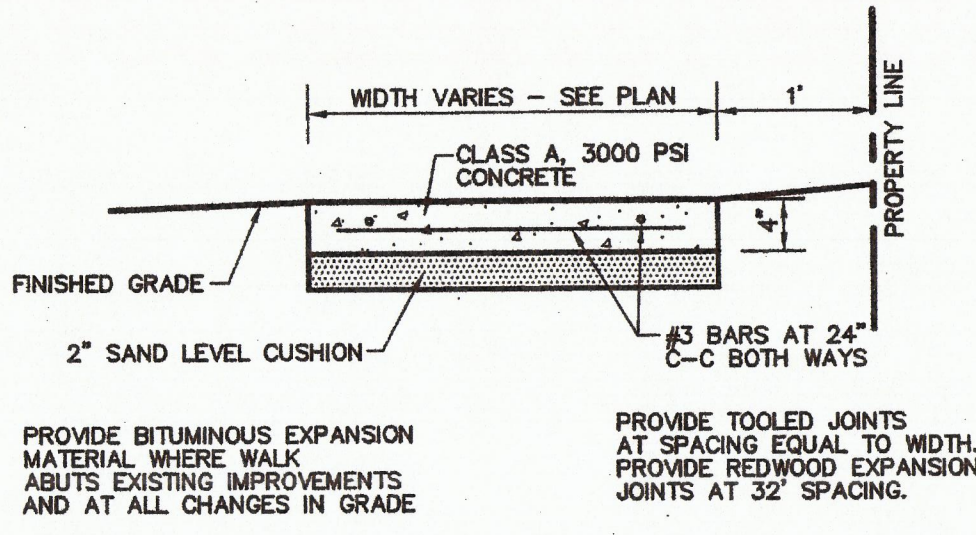
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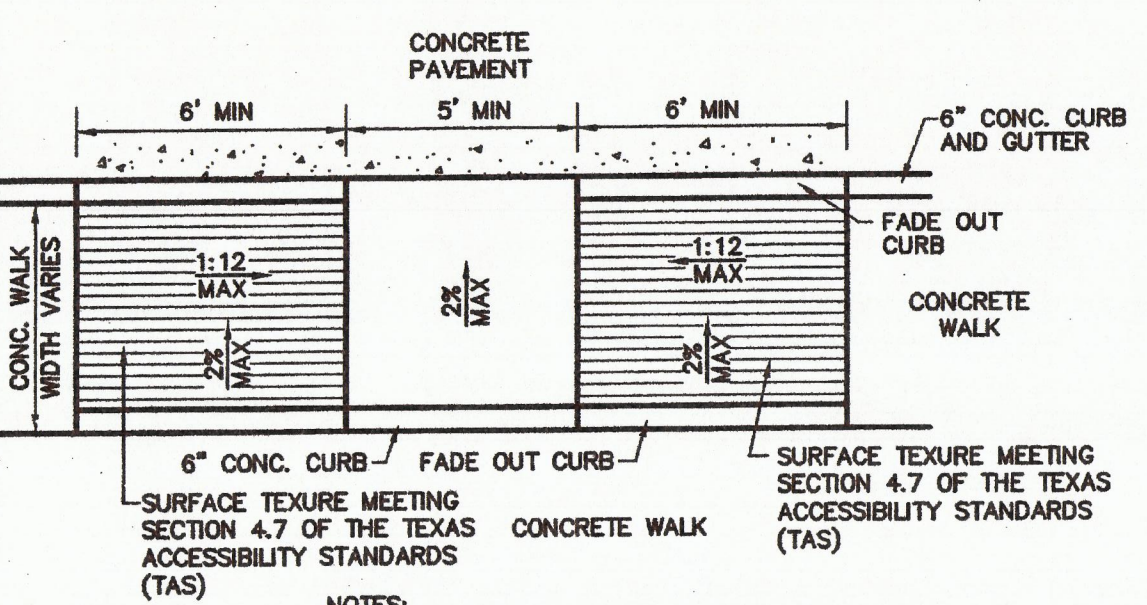
5 CONSTRUCTION JOINT
NOT TO SCALE



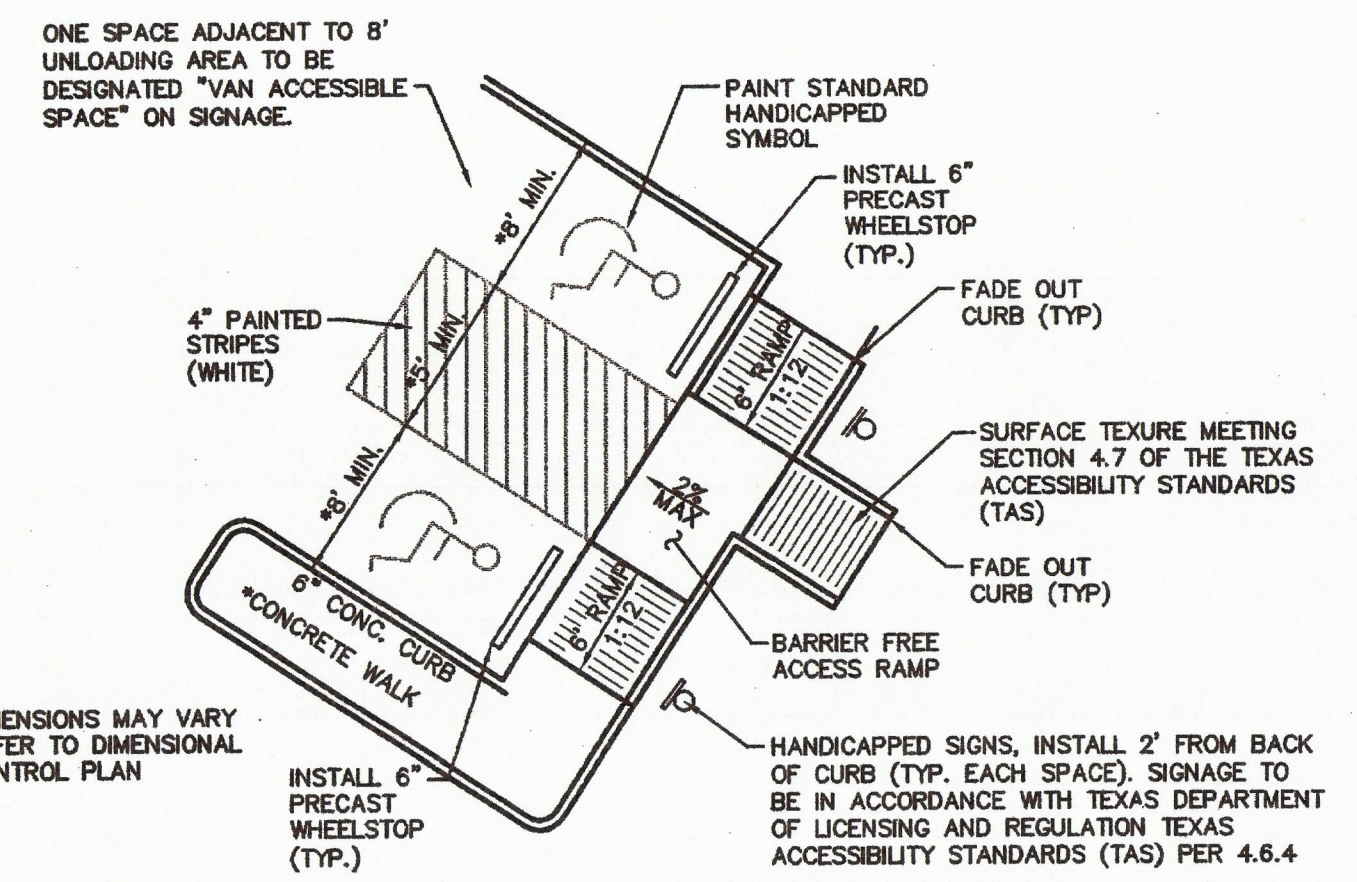
6 INTEGRAL CURB
NOT TO SCALE



7 CONCRETE WALK
NOT TO SCALE



9 ACCESS RAMP
NOT TO SCALE



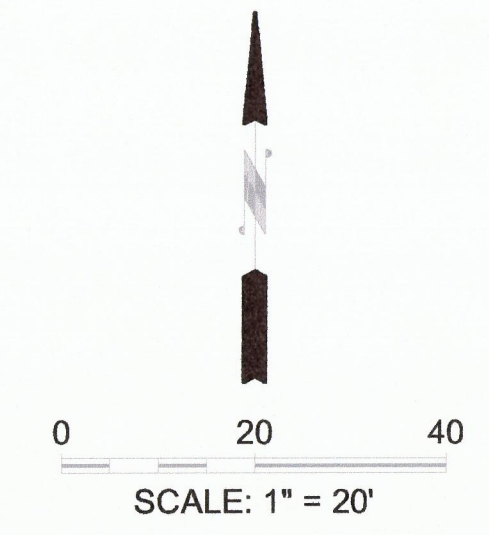
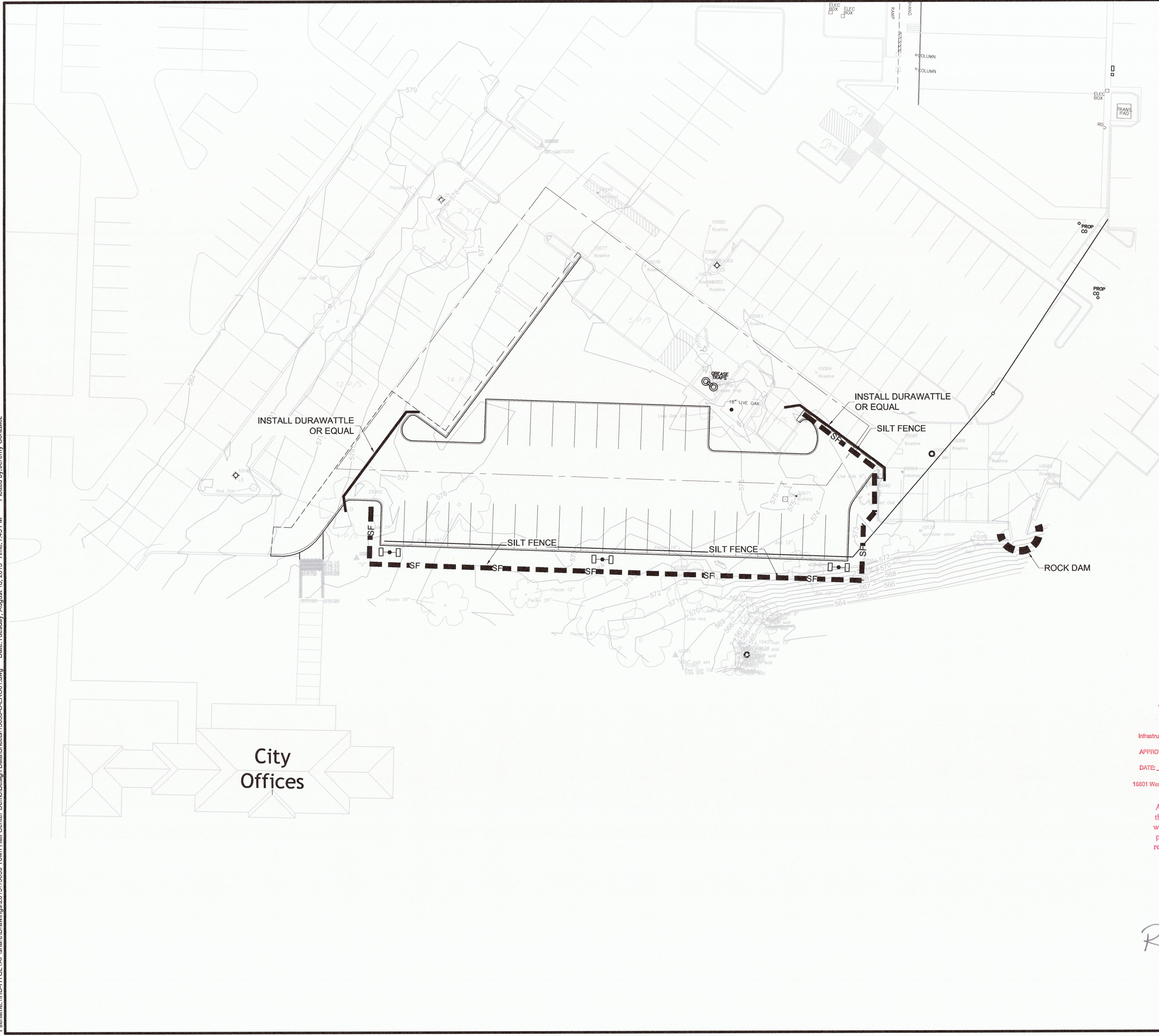
10 HANDICAP PARKING & ACCESS RAMP
NOT TO SCALE

Benchmark
 Finished Floor of north entrance to building "B"
 Elevation = 584.98 (gps)
 Site plan by Hodges & Assoc.
 Elevation = 585.00

6

PAVING DETAILS TOWN HALL CENTER SITE DEVELOPMENT BELTWAY COMMERCIAL REAL ESTATE TOWN OF ADDISON, TEXAS						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
RC	JAG	8/18/15		PC	-	-

Filename: \\HD-HTGL\AF\share\Drawings\2018\15039 Town Hall Center Demo\Design Data\Sheets\15039-C-ER001.dwg Date: Tuesday, August 18, 2015 11:43 PM Plotted by: Jeremy Gonzalez



EROSION CONTROL GENERAL NOTES:

1. THIS PLAN HAS BEEN PREPARED TO PROVIDE OR MINIMIZE POLLUTION OF STORM WATER.
2. THE CONSTRUCTION ACTIVITY IN THIS PLAN WILL INCLUDE:
 - 2.1. CLEARING AND GRUBBING
 - 2.2. ROUGH GRADING
 - 2.3. FINAL GRADING
 - 2.4. PAVEMENT INSTALLATION
3. THE TOTAL ESTIMATED LAND AREA TO BE DISTURBED IS 0.3092 ACRES.
4. THE ESTIMATED RUNOFF COEFFICIENT UPON COMPLETION OF THE PROJECT IS 95%.
5. THE STORM WATER EXITING THE SITE IS COLLECTED IN AN EXISTING CREEK MAINTAINED BY THE TOWN OF ADDISON, TEXAS.
6. THE SOILS ON THE SITE ARE GENERAL EXPANSIVE CLAYS.
7. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN EROSION PROTECTION AROUND THE WORK AREA PERIMETER AND AT ALL INLET MOUTHS PRIOR TO COMMENCING WORK AND UNTIL THE WORK AREA HAS BEEN STABILIZED.
8. THE CONTRACTOR SHALL REMOVE ALL EXCESS SOIL FROM CONSTRUCTION VEHICLES PRIOR TO EXITING SITE.
9. ALL DISTURBED AREAS WHICH WILL NOT BE RE-DISTURBED FOR A MINIMUM OF 21 DAYS MUST BE STABILIZED BY THE CONTRACTOR TO CONTROL EROSION.
10. THE CONTRACTOR SHALL UNDERTAKE PROPER METHODS TO REDUCE DUST GENERATION FROM THE SITE.
11. THE CONTRACTOR MUST COMPLY WITH FEDERAL, STATE AND LOCAL REGULATIONS REGARDING SEDIMENT AND EROSION CONTROL.
12. A COPY OF THIS PLAN MUST BE KEPT AT THE CONSTRUCTION FACILITY DURING THE ENTIRE CONSTRUCTION PERIOD.
13. ALL FINISHED GRADES ARE TO BE HYDROMULCHED, SPOT SODDED OR SEEDED AND WATERED UNTIL GROWTH IS ESTABLISHED ON AND OFF-SITE.
14. A PIT OR WASH OUT BASIN SHALL BE CONSTRUCTED ON-SITE BY THE CONTRACTOR FOR THE "WASH-OUT" OF CONCRETE TRUCKS.
15. A BERM OR OTHER SPILL PROTECTION MEASURE SHALL BE USED FOR ANY TEMPORARY FUEL STORAGE TANK ON SITE.
16. IF "SUMP" PUMPS ARE USED TO REMOVE WATER FROM EXCAVATED AREAS, FILTER THE DISCHARGE TO REMOVE SEDIMENT AND OTHER POLLUTANTS BEFORE THE WATER LEAVES THE SITE.
17. TO PREVENT DAMAGE TO VEGETATION IN DOWNSTREAM WATER COURSES, LIMIT ANY PROPOSED LIME STABILIZATION OPERATIONS TO THAT WHICH CAN BE MOVED AND COMPACTED BY THE END OF EACH WORK DAY. GEOTEXTILE FABRIC IS NOT EFFECTIVE IN FILTERING LIME SINCE THE GRAIN IS SMALLER THAN THE OPENING OF THE FABRIC.
18. VEHICLE PARKING AREAS, STAGING AREAS, STOCKPILES, SPOILS, ETC., SHALL BE LOCATED SUCH THAT THEY WILL NOT ADVERSELY AFFECT STORM WATER QUALITY. OTHERWISE, COVERING OR ENCIRCLING THE AREAS WITH PROTECTIVE MEASURES SHALL BE NECESSARY.
19. STORE ALL TRASH AND BUILDING MATERIALS WASTE IN AN ENCLOSURES UNTIL PROPER DISPOSAL AT OFF-SITE FACILITIES.
20. SEE SHEET 8 FOR EROSION CONTROL DETAILS.


APPROVED FOR CONSTRUCTION
 Town of Addison
 Infrastructure Operations And Services Department
 APPROVED BY: *David A. White*
 DATE: *8/24/15*
 16801 Westgrove Dr. Addison, TX 75001 (972)450-2871

All responsibility for the adequacy of these plans remains with the Engineer who prepared them. In approving these plans, the Town of Addison makes no representation of adequacy of the work of the Design Engineer.

Benchmark
 Finished Floor of north entrance to building "B"
 Elevation = 584.98 (gps)
 Site plan by Hodges & Assoc.
 Elevation = 585.00

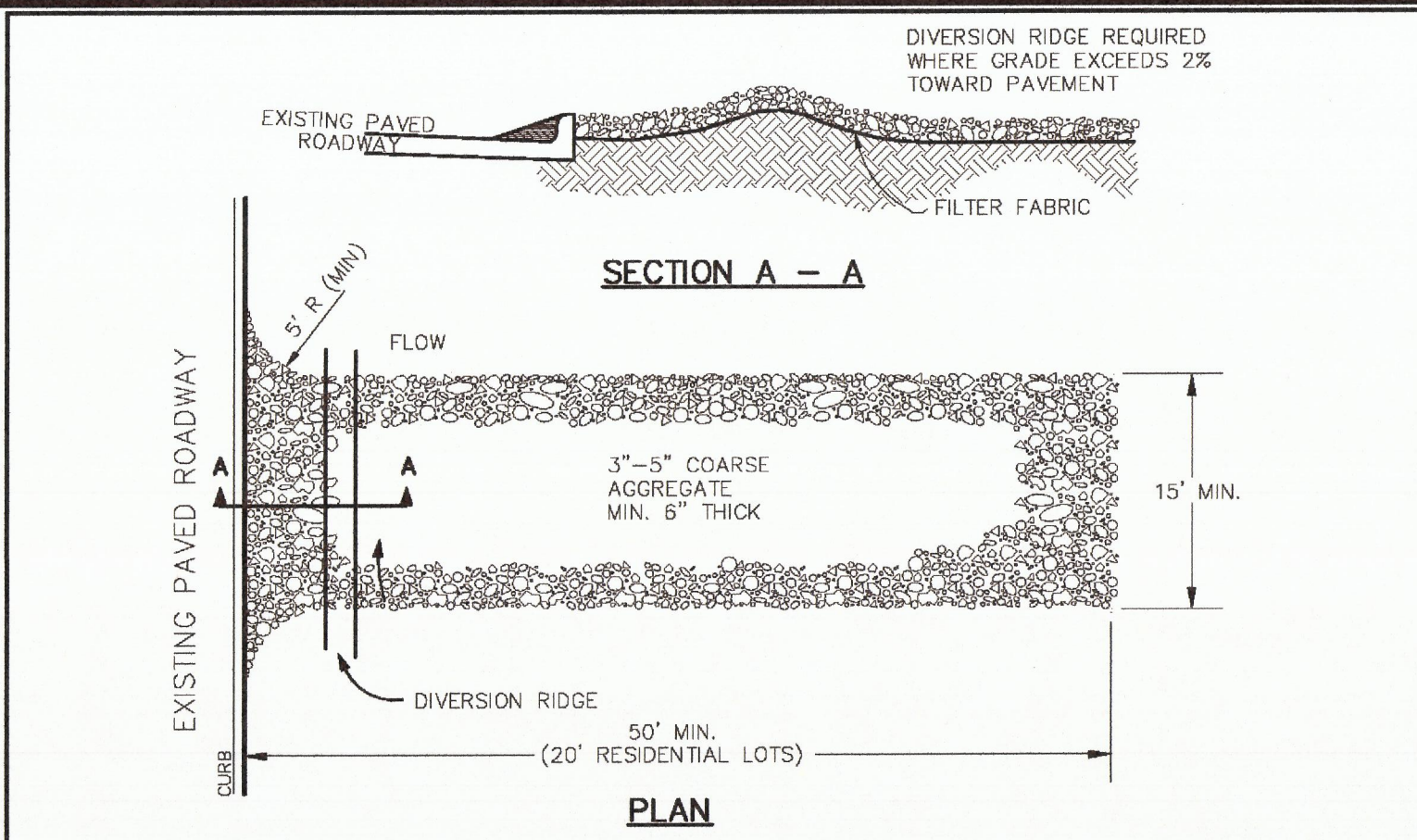
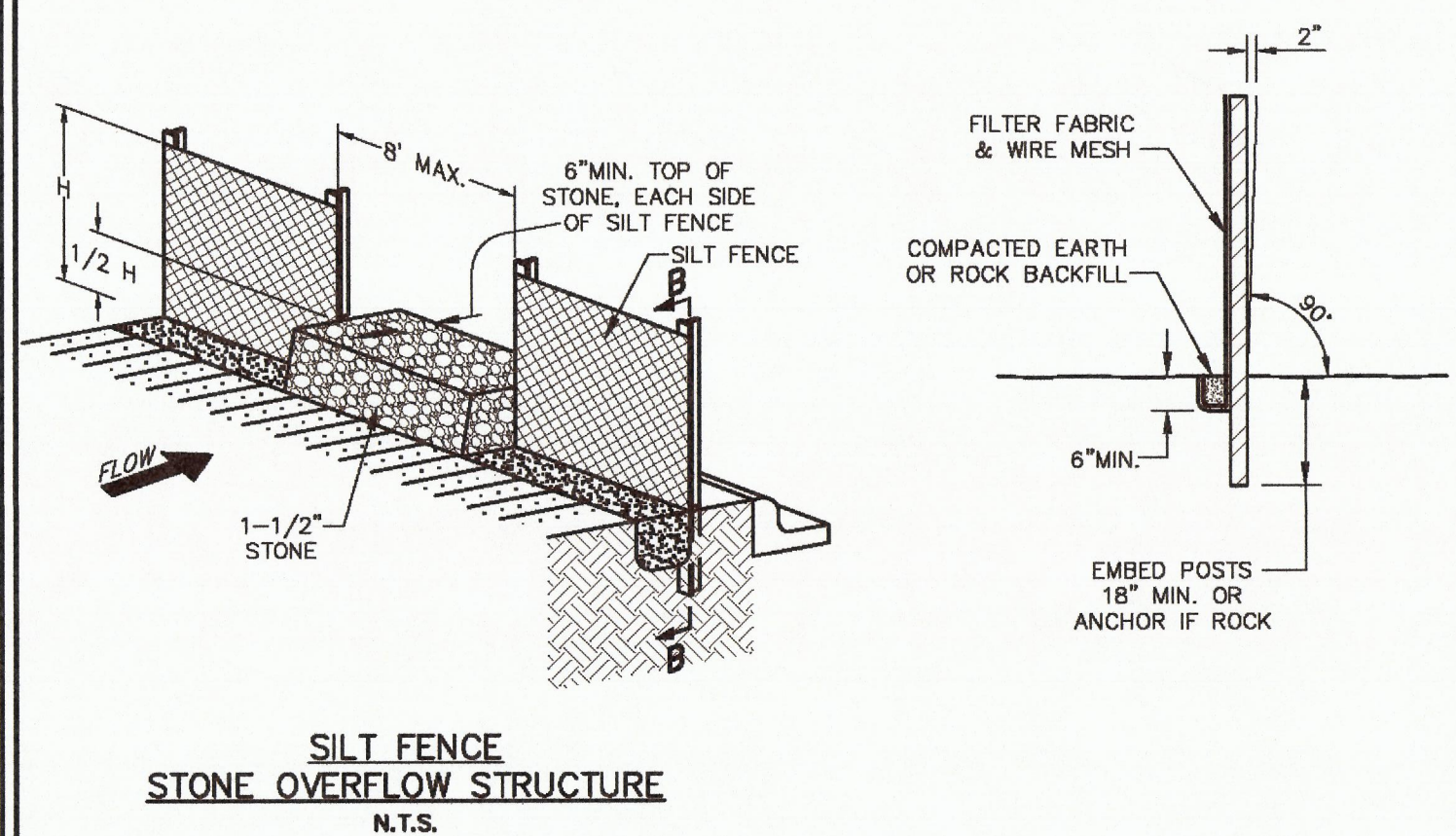
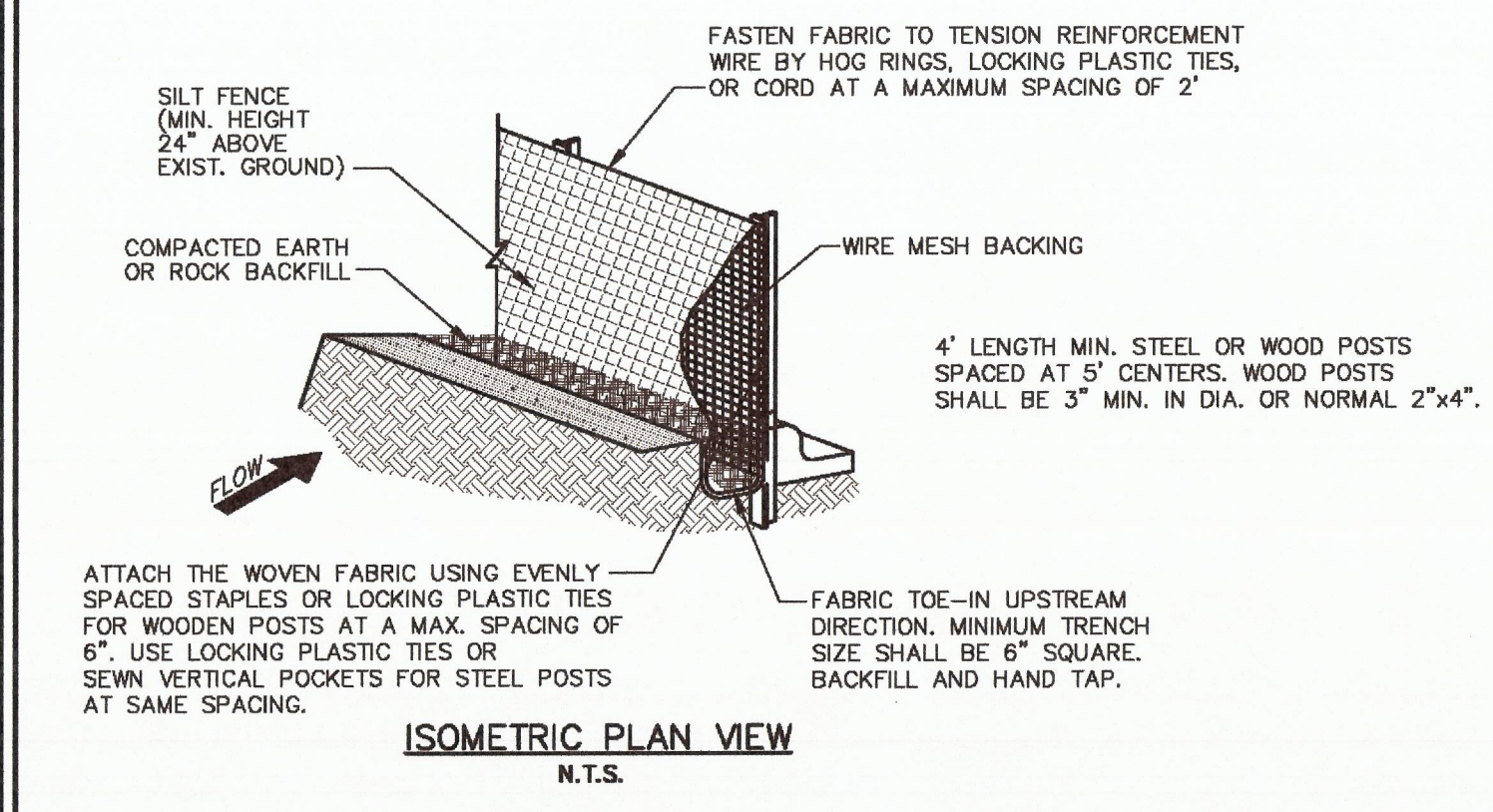
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Richard Carson
 RICHARD CARSON, JR.
 40854
 PROFESSIONAL ENGINEER
 08/18/15

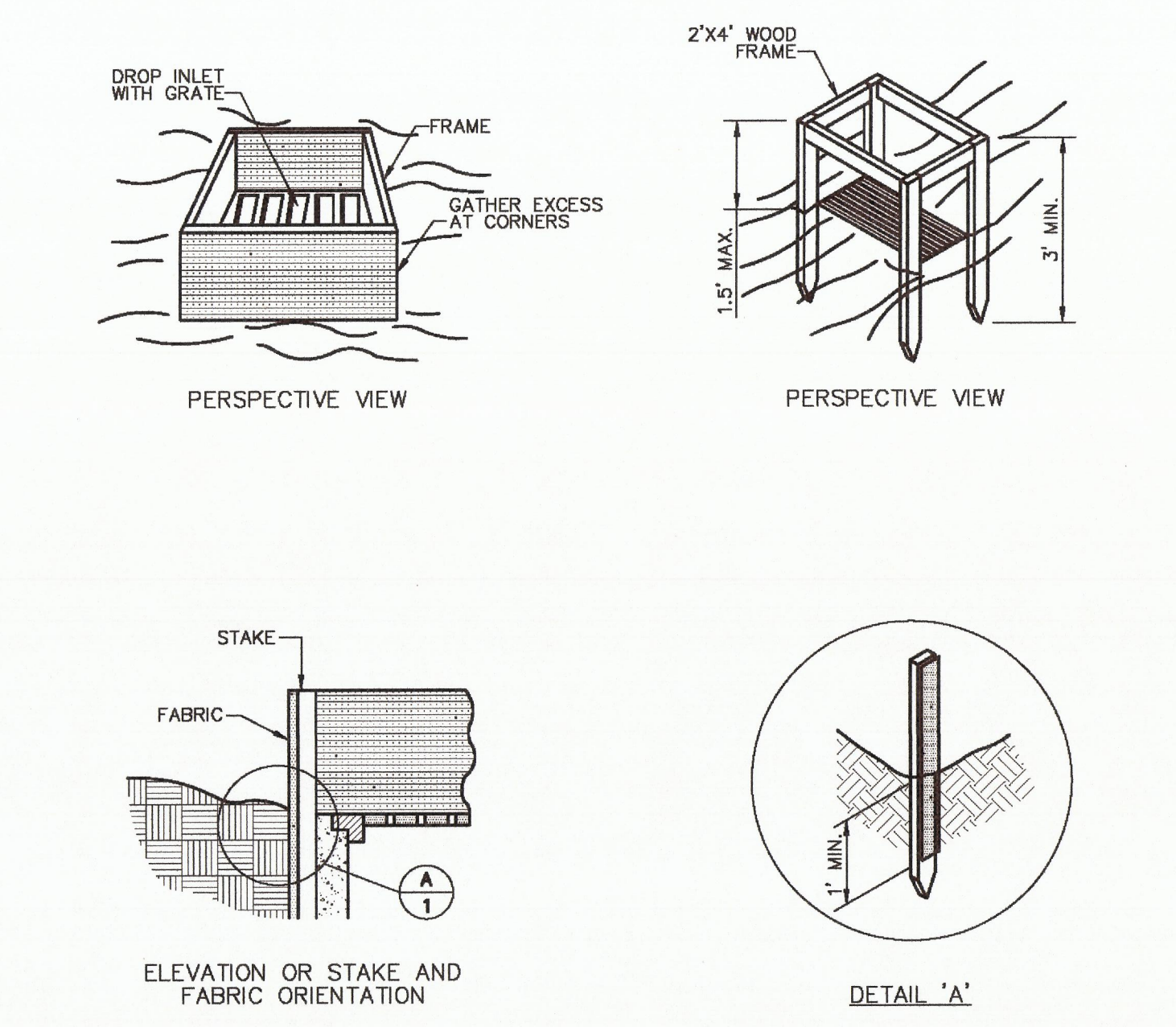
 Piburn & Carson, LLC 801 E. Campbell Road - Suite 575 Richardson, Texas 75081 Ph: (214) 328-3000 Fax: (214) 328-3512 www.piburncarson.com email@piburncarson.com Surveying License #102871-01 Engineering License #11224						
EROSION CONTROL PLAN TOWN HALL CENTER SITE DEVELOPMENT BELTWAY COMMERCIAL REAL ESTATE TOWN OF ADDISON, TEXAS						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
RC	JAG	8/18/15	1" = 20'	PC	-	-

EROSION CONTROL PLAN NOTES

1. ALL OPERATORS AND/OR CONTRACTORS SHALL CONFORM TO THE TERMS AND CONDITIONS OF THE TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ), TDES GENERAL PERMIT NO. TR9 150000 ISSUED AND DATED MARCH 5, 2003.
 2. THE NOTICE OF INTENT (NOI), AS REQUIRED BY THE GENERAL PERMIT, MUST BE PROPERLY DISPLAYED ON SITE AT ALL TIMES BY EACH OPERATOR.
 3. ALL RELEASES OF THE REPORTABLE QUANTITIES OF HAZARDOUS SUBSTANCES SHALL BE REPORTED IMMEDIATELY TO THE FACILITY OPERATOR, EPA AND TCEQ.
 4. QUALIFIED OPERATOR PERSONNEL MUST INSPECT THE SITE AT LEAST ONCE EVERY 14 DAYS AND WITHIN 24 HOURS OF A STORM EVENT OF 0.5 INCHES OR GREATER. AS AN ALTERNATIVE, AN INSPECTION CAN BE CONDUCTED ONCE EVERY SEVEN (7) CALENDAR DAYS ON A DEFINED DAY. A DECISION ON WHICH METHOD TO USE MUST BE DECIDED BEFORE WORK BEGINS AND MUST BE FOLLOWED THROUGHOUT THE PROJECT.
 5. MODIFICATIONS TO THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE IMPLEMENTED AND BE IN-PLACE WITHIN A SEVEN CALENDAR DAY PERIOD.
 6. IF ANY CONTRACTOR SEES A VIOLATION BY AN OPERATOR OR ANOTHER CONTRACTOR, THAT OPERATOR OR CONTRACTOR IN VIOLATION SHALL BE NOTIFIED AS WELL AS THE FACILITY OPERATOR.
 7. EROSION CONTROL SHALL BE INSTALLED PRIOR TO GRADING.
 8. ACCUMULATED SILT DEPOSITS SHALL BE REMOVED FROM SILT FENCES AND HAY BALE DIKES WHEN SILT DEPTH REACHES THREE INCHES OR 25%.
 9. THE CONTRACTOR SHALL ADD OR DELETE EROSION PROTECTION AT THE REQUEST AND DIRECTION OF THE OPERATOR OR TOWN.
 10. AFTER INSTALLATION OF PAVEMENT, FINAL LOT BENCHING AND GENERAL CLEANUP, THE CONTRACTOR SHALL ESTABLISH GRASS GROUNDCOVER IN ALL STREET PARKWAYS, LOT AND ALL OTHER DISTURBED AREAS. SODDING SHALL BE DONE AS SPECIFIED BY SECTION 202.5 AND SEEDING AS SPECIFIED BY SECTION 202.6 OF THE OCTOBER 2004 OR LATEST EDITION OF NCTCOG STANDARD SPECIFICATION.
 11. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTROL AND LIMIT SILT AND SEDIMENT LEAVING THE SITE. SPECIFICALLY, THE CONTRACTOR SHALL PROTECT ALL PUBLIC STREETS, ALLEYS, STREAMS AND STORM DRAINAGE SYSTEMS FROM EROSION DEPOSITS.
 12. A DRAINAGE AREA MAP WILL BE INCLUDED WITH THE EROSION CONTROL PLAN.
 13. CONSTRUCTION WASTE DISPOSAL CONTAINERS SHALL BE PROVIDED ON THE SITE FOR DISPOSAL OF ALL NON-HAZARDOUS CONSTRUCTION WASTE MATERIALS. THE CONTAINERS SHALL BE HAULED TO LANDFILL BY THE CONTRACTOR.
 14. ALL HAZARDOUS MATERIALS SHALL BE HANDLED AND DISPOSED OF BY THE CONTRACTOR IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS.
- SILT FENCE NOTES**
1. POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. THE POSTS MUST BE EMBEDDED A MINIMUM OF 18 INCHES.
 2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. THE SILT FENCE FABRIC SHALL BE TRENCHED IN WITH A MECHANICAL TRENCHER WITH WASHED GRAVEL ON THE UPHILL SIDE TO PREVENT FLOW UNDER FENCE.
 3. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
 4. SILT FENCE SHALL BE SECURELY FASTENED TO EACH SUPPORT POST OR TO WOODEN POSTS WHICH IS IN TURN ATTACHED TO THE SUPPORT POSTS. THERE SHALL BE A 6 INCH DOUBLE OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
 5. INSPECTION SHALL BE MADE EVERY TWO WEEKS OR AFTER EACH RAINFALL. REPAIR OR REPLACEMENT SHALL BE PROMPTLY AS NEEDED.
 6. SILT FENCES SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPED STORM FLOW OR DRAINAGE.
 7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 3 INCHES. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.



- TEMPORARY STONE CONSTRUCTION ENTRANCE/EXIT**
N.T.S.
- STABILIZED CONSTRUCTION ENTRANCE GENERAL NOTES:**
1. WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE STREET AND THE STABILIZED ENTRANCE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.
 2. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED SURFACES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. ALL SEDIMENT SPOILED, DROPPED, WASHED, OR TRACKED ONTO PAVED SURFACES MUST BE REMOVED IMMEDIATELY.
 3. THE ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.
 4. WHEN SEDIMENT HAS SUBSTANTIALLY CLOGGED THE VOID AREA BETWEEN THE ROCKS, THE AGGREGATE MAT MUST BE WASHED DOWN OR REPLACED. PERIODIC RE-GRADING AND TOP DRESSING WITH ADDITIONAL STONE MUST BE DONE TO KEEP THE EFFICIENCY OF THE ENTRANCE FROM DIMINISHING.



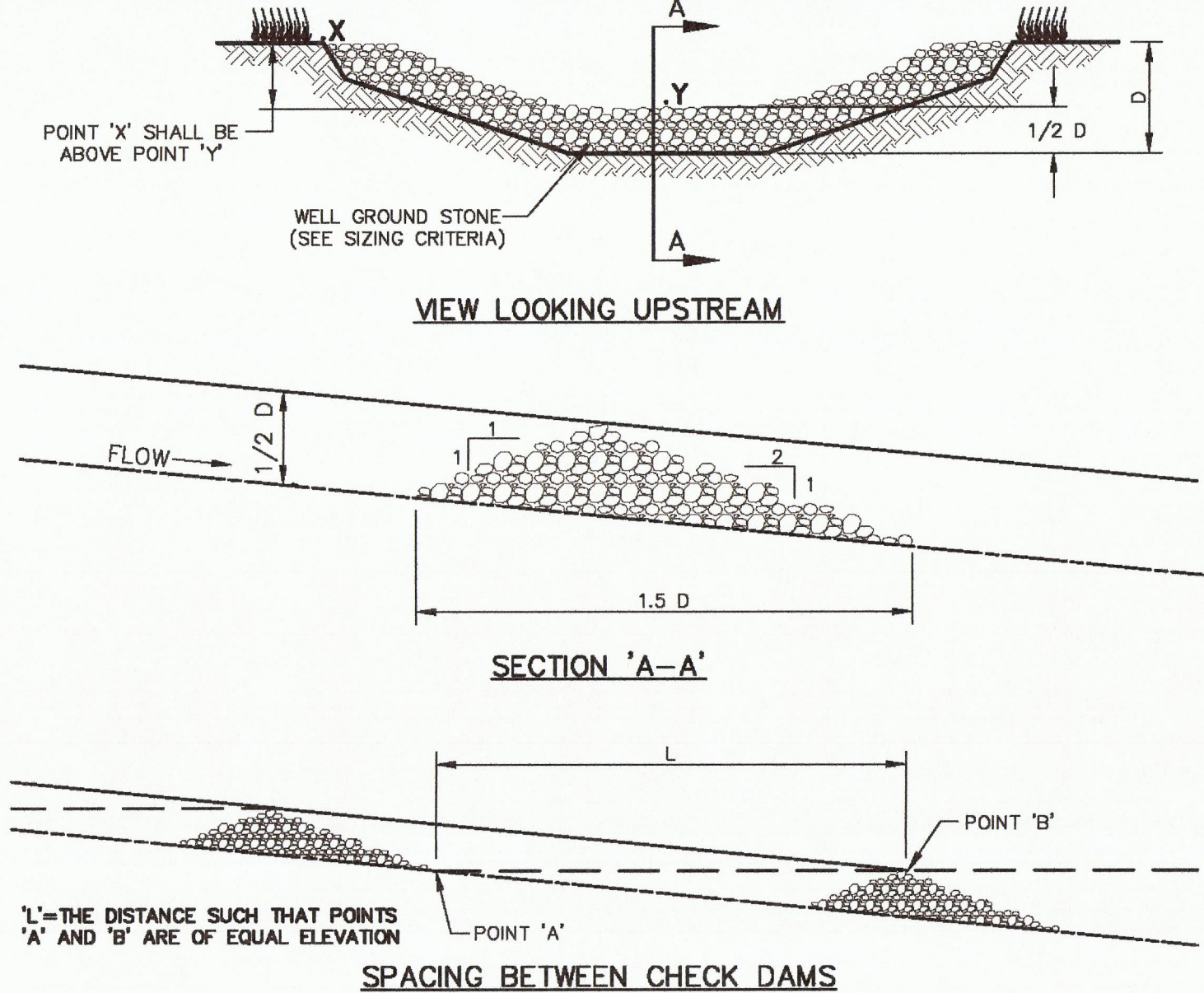
SPECIFIC APPLICATION
THIS METHOD OF INLET PROTECTION IS APPLICABLE WHERE THE INLET DRAINS A RELATIVELY FLAT AREA (SLOPE NO GREATER THAN 5%) WHERE THE INLET SHEET OR OVER-LAND FLOWS (NOT TO EXCEED 1 C.F.S.) ARE TYPICAL. THE METHOD SHALL NOT APPLY TO INLETS RECEIVING CONCENTRATED FLOWS SUCH AS IN STREETS OR HIGHWAY MEDIANS.

Addison! PUBLIC WORKS DEPARTMENT	EROSION CONTROL & SILT FENCE NOTES	STANDARD CONSTRUCTION DETAILS EROSION CONTROL		
		DATE: AUGUST, 2010	REV. DATE: -	SHEET: SD-EC01

Addison! PUBLIC WORKS DEPARTMENT	SILT FENCE DETAIL	STANDARD CONSTRUCTION DETAILS EROSION CONTROL		
		DATE: AUGUST, 2010	REV. DATE: -	SHEET: SD-EC02

Addison! PUBLIC WORKS DEPARTMENT	TEMPORARY STONE CONSTRUCTION ENTRANCE/EXIT	STANDARD CONSTRUCTION DETAILS EROSION CONTROL		
		DATE: AUGUST, 2010	REV. DATE: -	SHEET: SD-EC03

Addison! PUBLIC WORKS DEPARTMENT	GRATE AND WYE INLET PROTECTION	STANDARD CONSTRUCTION DETAILS EROSION CONTROL		
		DATE: AUGUST, 2010	REV. DATE: -	SHEET: SD-EC04



- ROCK CHECK DAM NOTES:**
1. STONE SHALL BE WELL GRADED STONE WITH SIZE RANGE FROM 1-1/2 TO 3-1/2 INCHES IN DIAMETER DEPENDING ON EXPECTED FLOWS.
 2. THE CHECK DAM SHALL BE INSPECTED AS SPECIFIED IN THE SWPPP AND SHALL BE REPLACED WHEN THE STRUCTURE CEASES TO FUNCTION AS INTENDED DUE TO SILT ACCUMULATION AMONG THE ROCKS, WASHOUT, CONSTRUCTION TRAFFIC DAMAGE, ETC.
 3. WHEN SILT REACHES A DEPTH EQUAL TO ONE-THIRD OF THE HEIGHT OF THE CHECK DAM OR ONE FOOT, WHICHEVER IS LESS, THE SILT SHALL BE REMOVED AND DISPOSED OF PROPERLY.
 4. WHEN THE SITE HAS ACHIEVED FINAL STABILIZATION OR ANOTHER EROSION OR SEDIMENT CONTROL DEVICE IS EMPLOYED, THE CHECK DAM AND ACCUMULATED SILT SHALL BE REMOVED AND DISPOSED OF IN AN APPROVED MANNER.

Addison! PUBLIC WORKS DEPARTMENT	ROCK CHECK DAM	STANDARD CONSTRUCTION DETAILS EROSION CONTROL		
		DATE: AUGUST, 2010	REV. DATE: -	SHEET: SD-EC05

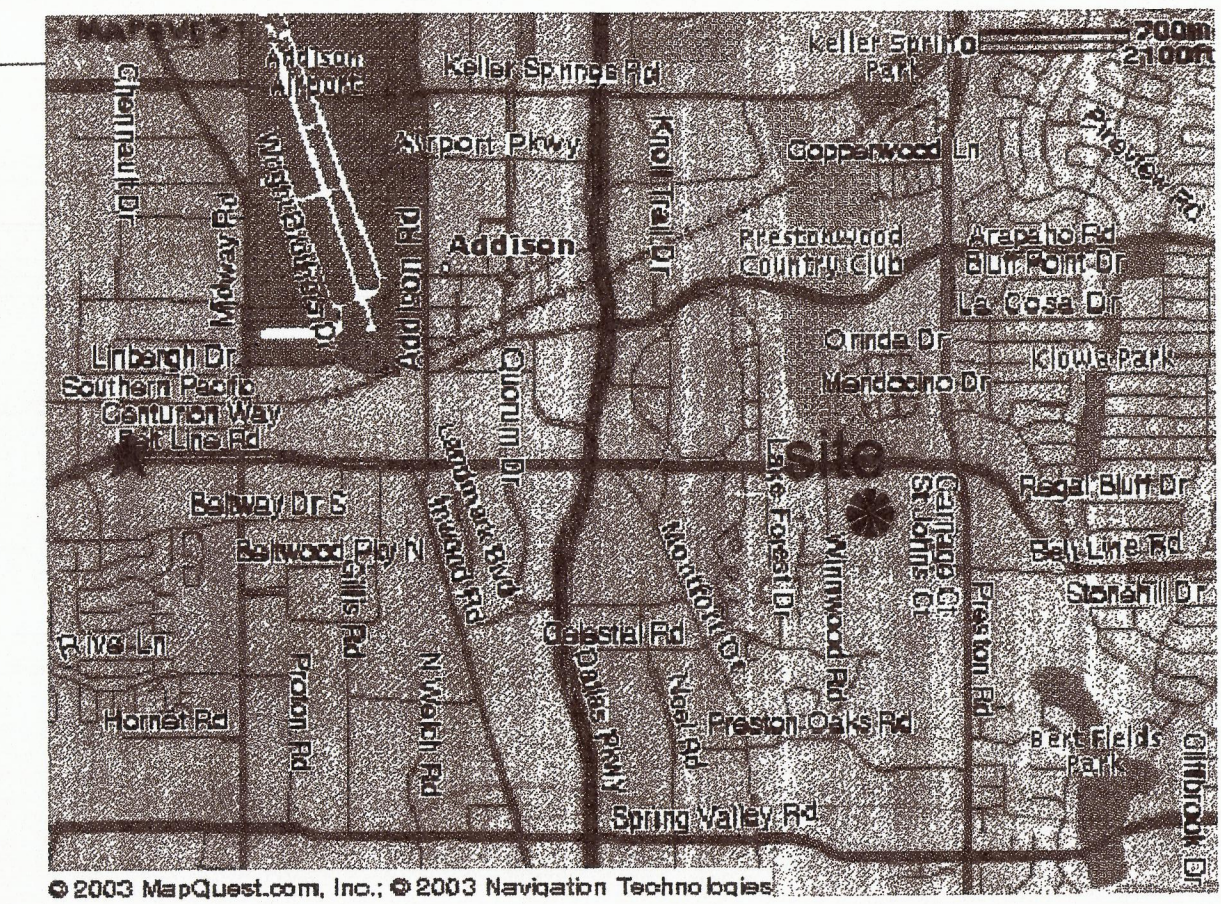
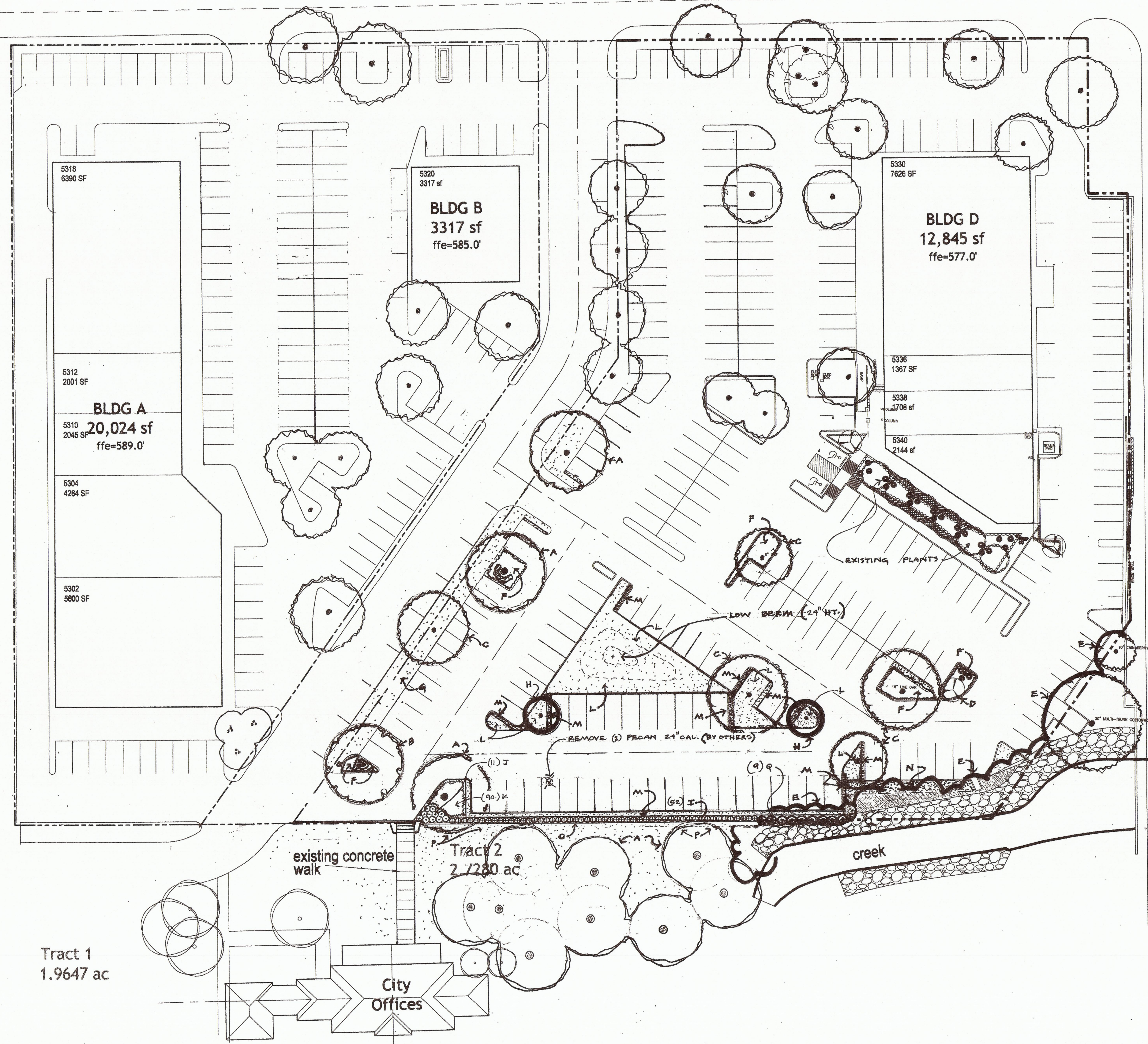
EROSION CONTROL SEQUENCING

1. THE EROSION CONTROL CONTRACTOR SHALL INSTALL SILT FENCE ALONG THE PERIMETER OF THE SITE AND CONSTRUCT THE STABILIZED CONSTRUCTION ENTRANCES AT THE LOCATIONS SHOWN ON THIS PLAN PRIOR TO CONSTRUCTION.
2. THE GRADING CONTRACTOR SHALL STRIP, CLEAR AND MASS GRADE THE SITE. THE GRADING CONTRACTOR IS TO ASSUME RESPONSIBILITY OF THE EROSION CONTROL DEVICES DURING GRADING OPERATIONS AND ENSURE THAT THESE DEVICES REMAIN IN GOOD WORKING ORDER. AFTER GRADING IS COMPLETE, THE GRADING CONTRACTOR SHALL INSPECT THE DEVICES TO ENSURE THAT THEY REMAIN IN GOOD WORKING ORDER.
3. BEGIN UTILITY INSTALLATION. THE UTILITY CONTRACTOR SHALL ASSUME RESPONSIBILITY OF THE EROSION CONTROL DEVICES DURING UTILITY CONSTRUCTION AND ENSURE THAT THESE DEVICES REMAIN IN GOOD WORKING ORDER. AFTER THE STORM DRAIN INLET INVERT AND WALLS ARE ERECTED, THE CONTRACTOR SHALL PROTECT THE INLET FROM SILTATION BY SURROUNDING IT WITH SILT FENCE OR HAY BALES. AFTER THIS PHASE OF UTILITY INSTALLATION IS COMPLETE, THE UTILITY CONTRACTOR SHALL INSPECT THE DEVICES PRIOR TO MOVING OFF SITE TO ENSURE THAT THEY REMAIN IN GOOD WORKING ORDER.
4. BEGIN PAVING CONSTRUCTION. THE PAVING CONTRACTOR SHALL ASSUME RESPONSIBILITY OF THE EROSION CONTROL DEVICES DURING PAVING CONSTRUCTION AND ENSURE THAT THESE DEVICES REMAIN IN GOOD WORKING ORDER. AFTER PAVING CONSTRUCTION IS COMPLETE, THE PARKWAYS SHALL BE BACKFILLED TO A FINISHED SLOPE OF 1/4" PER FOOT. THE PAVING CONTRACTOR SHALL INSPECT THE DEVICES PRIOR TO MOVING OFF SITE TO ENSURE THAT THEY REMAIN IN GOOD WORKING ORDER.
5. THE UTILITY CONTRACTOR SHALL REMOBILIZE AND FINISH THE STORM DRAIN INLET CONSTRUCTION BY COMPLETING THE ERECTION OF THE WALLS AND TOP. AFTER PUBLIC UTILITY CONSTRUCTION IS COMPLETE, THE UTILITY CONTRACTOR SHALL INSPECT THE DEVICES TO ENSURE THAT THEY REMAIN IN GOOD WORKING ORDER.
6. THE EROSION CONTROL CONTRACTOR SHALL INSTALL THE CURB INLET PROTECTION DETAILED ON THIS PLAN.
7. BEGIN FRANCHISE UTILITY CONSTRUCTION. EACH FRANCHISE UTILITY CONTRACTOR SHALL ASSUME RESPONSIBILITY OF THE EROSION CONTROL DEVICES DURING FRANCHISE UTILITY CONSTRUCTION AND ENSURE THAT THESE DEVICES REMAIN IN GOOD WORKING ORDER. AFTER FRANCHISE UTILITY CONSTRUCTION IS COMPLETE, THE CONTRACTOR SHALL INSPECT THE DEVICES TO ENSURE THAT THEY REMAIN IN GOOD WORKING ORDER.
8. AFTER CONSTRUCTION IS COMPLETE, THE EROSION CONTROL CONTRACTOR SHALL SEED ALL DISTURBED AREAS. WHEN SUFFICIENT GRASS GROWTH HAS BEEN ESTABLISHED, ALL SILT FENCE AND OTHER EROSION CONTROL DEVICES SHALL BE REMOVED FROM THE SITE.

		Piburn & Carson, LLC 801 E. Campbell Road - Suite 575 Richardson, Texas 75081 Ph: (214) 328-9500 Fax: (214) 328-9512 www.piburncarson.com email@piburncarson.com Surveying (SIN 010871-60) Engineering (SIN 011022)				
				EROSION CONTROL DETAILS TOWN HALL CENTER SITE DEVELOPMENT BELTWAY COMMERCIAL REAL ESTATE TOWN OF ADDISON, TEXAS		
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
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File name: \\HD-HT-CL-LAP\share\Drawings\2015\15039 Town Hall Center Demo\Design Data\Sheets\15039-C-EROC02.dwg Date: Tuesday, August 18, 2015 11:43 PM Plotted by: Jeremy Gonzalez

BELT LINE ROAD



VICINITY PLAN

OAK NORTH DRIVE

LANDSCAPE LEGEND	
KEY	QTY. DESCRIPTION
A	EXISTING PECAN TREE TO PROTECT
B	EXISTING RED OAK TREE TO PROTECT
C	EXISTING LIVE OAK TREE TO PROTECT
D	EXISTING YAUPON HOLLY TO PROTECT
E	EXISTING NATIVE TREES TO PROTECT (NEAR CREEK)
F	EXISTING GROUND COVER TO REMAIN / OK-SHRUB PLANTINGS
G	EXISTING LAWN AREA TO REMAIN
H	2 PROPOSED MATCHING LIVE OAK / 4" CAL. / 100 GAL. CONTAINER
I	52 PROPOSED SCREENING SHRUBS / EVERGREEN / NEEDLEPOINTE HOLLY 36" HT.
J	11 PROPOSED DWARF LOROPETALUM SPECIES / 3 GAL. CONTAINER
K	90 PROPOSED GIANT LIRIOPE / 1 GAL. CONTAINER, @ 16" ON CENTER
L	2,950 SQ. FT. BERMUDA 30D / 325 SQ. YDS. (APPROX.)
M	800# HARDWOOD MULCH MAINTENANCE BORDERS - 24" WIDE
N	550# NATIVE RIVER ROCK MULCH
O	230 LN. FT. HEAVY DUTY (1/4" X 1/4") STEEL EDGING - BLACK
P	REPAIR (PESQUE) LAWN AS NEEDED AT TOWN HALL (APPROX. 1,780 SQ. FT.)
Q	9 OAKLEAF (CA) NEEDLEPOINTE HOLLY 30 GAL. CONTAINER 5' TO 6' HT. (PROPOSED)
	3,750# ALL LANDSCAPE AREAS TO BE FULLY IRRIGATED / TIE INTO EXISTING IRRIGATION MAIN AND UTILIZE EXISTING CONTROLLER.
	ALL LANDSCAPE AND TREE PROTECTION TO CONFORM TO THE TOWN OF ADDISON ORDINANCE & LOCAL CODE.

Town Hall Center Addison, Texas

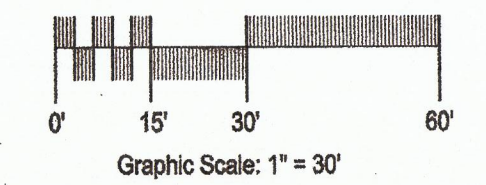


Carruthers Landscape Management, Inc.
11593 Goodnight Lane, Dallas TX. 75229
(972) 420-9560

LANDSCAPE PLAN

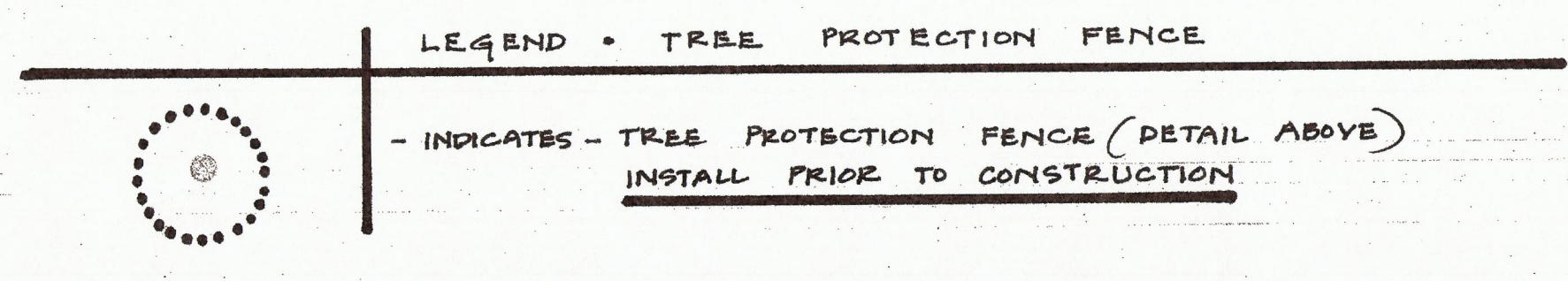
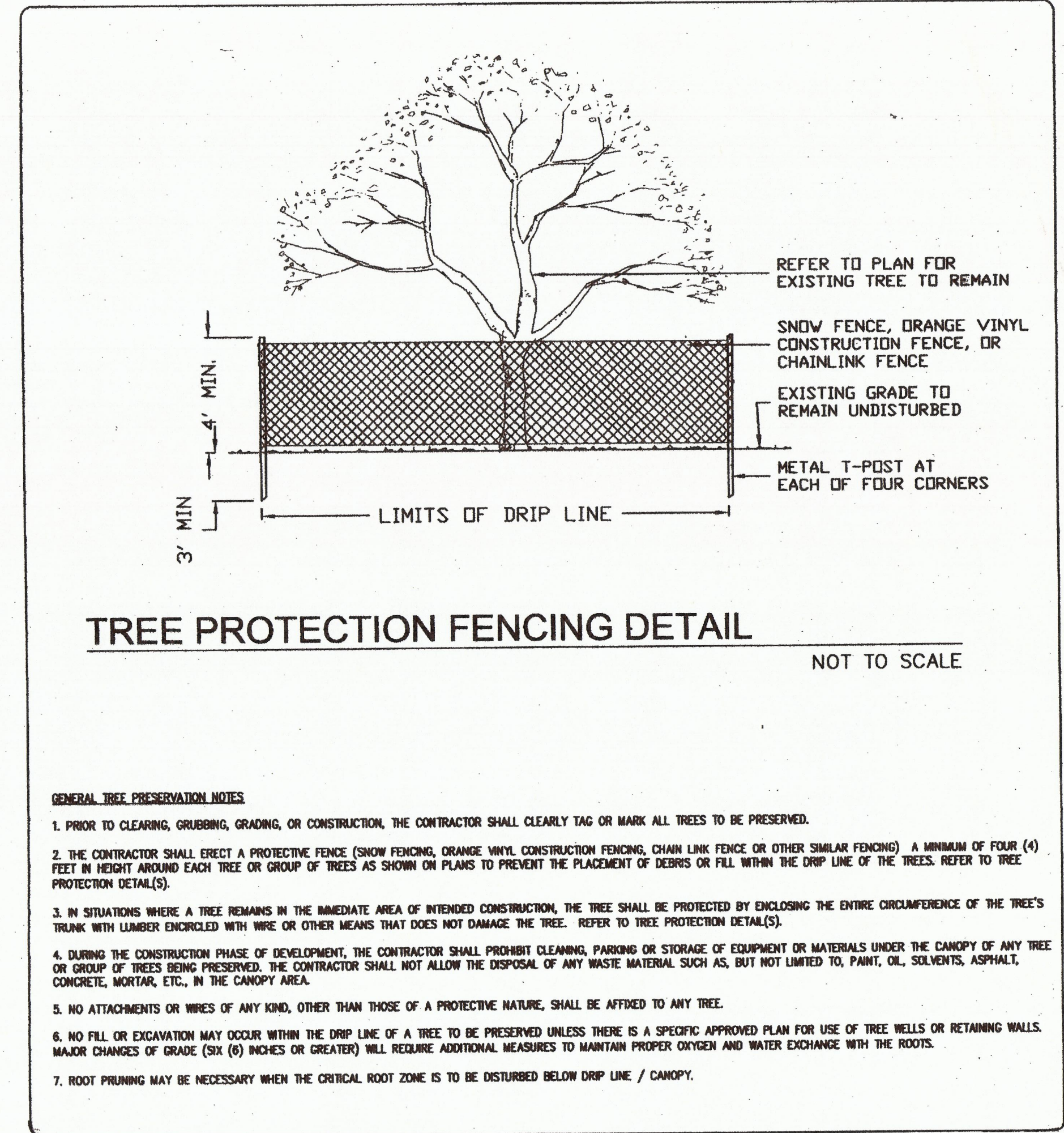
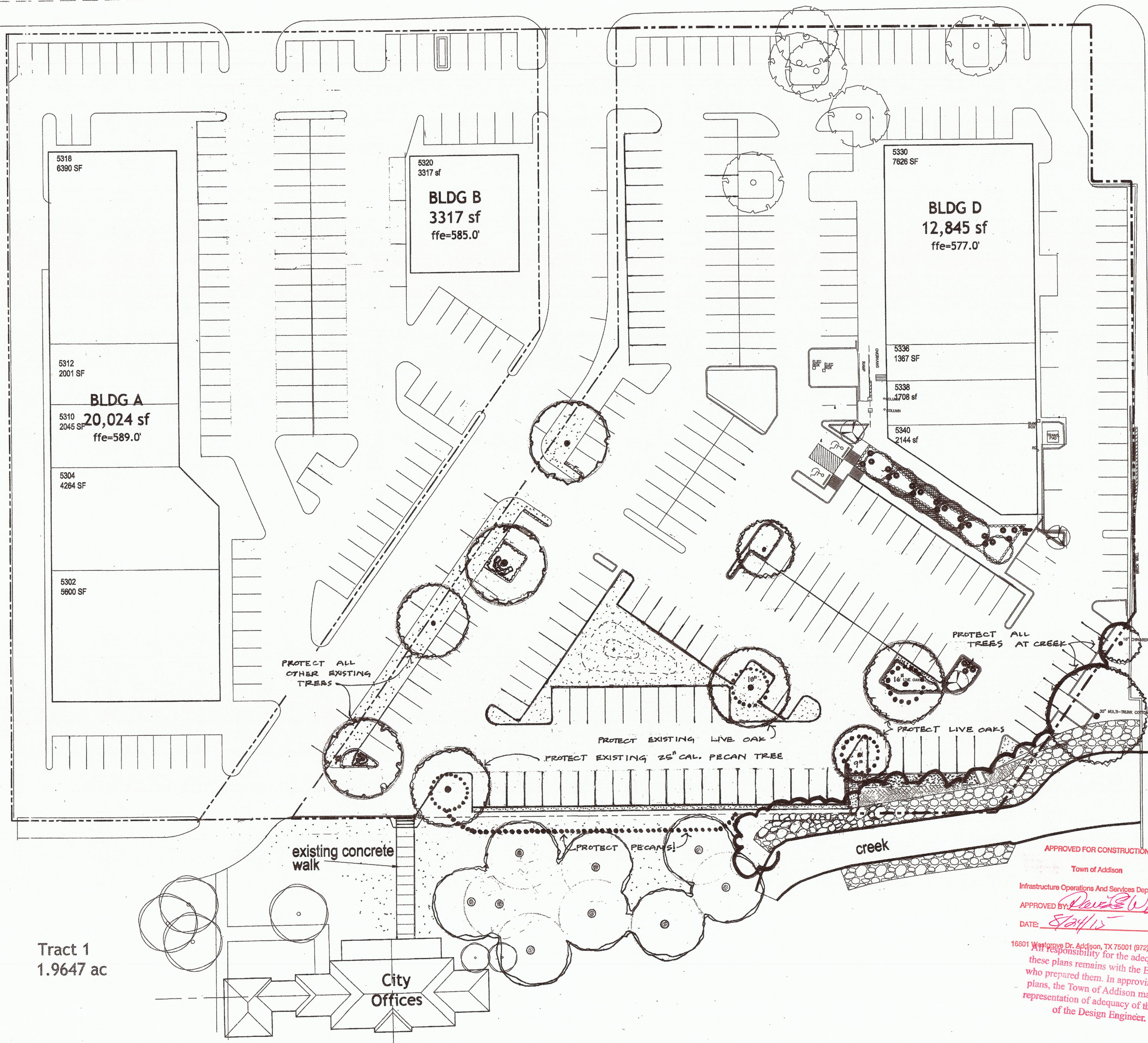
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SITE PLAN



BELT LINE ROAD

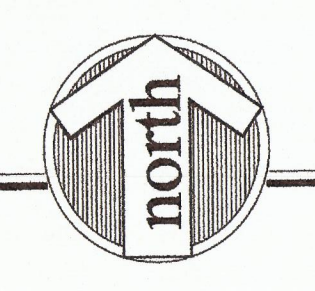
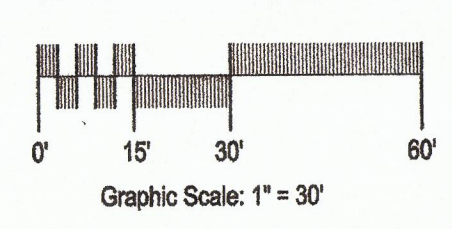
OAK NORTH DRIVE



Town Hall Center Addison, Texas

TREE PROTECTION PLAN

SCALE: 1" = 30' DATE: JULY 22, 2015



APPROVED FOR CONSTRUCTION
Town of Addison
Infrastructure Operations And Services Department
APPROVED BY: *[Signature]*
DATE: *8/11/15*
18001 Withers Dr. Addison, TX 75001 (972)450-2871
Responsibility for the adequacy of these plans remains with the Engineer who prepared them. In approving these plans, the Town of Addison makes no representation of adequacy of the work of the Design Engineer.

CARRUTHERS
Carruthers Landscape Management, Inc.
11593 Goodnight Lane, Dallas TX, 75229
(472) 420-9860

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City Offices