

BENCHMARK

BM: CUT CROSS SET IN THE TOP AT THE SOUTHEAST SIDEWALK INTERSECTION ON THE EAST SIDE OF THE FIRE LANE OPPOSITE APARTMENT BUILDING #24

COORDINATES: N 5259.29 E 4562.25 ELEVATION: 570.84

4015 Brookhaven Club
The Pier
75 Pier No. 2, L.P.
Volume 94147 Page 195

CAUTION!!
EXISTING UTILITIES

LOCATIONS OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE BASED ON INFORMATION PROVIDED BY THE OWNERS OF THE UTILITIES AND FIELD SURVEYS. THERE MAY ALSO BE EXISTING UTILITIES THAT ARE NOT SHOWN. THE OWNER AND ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THIS INFORMATION. CONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION. IF A CONFLICT IS DISCOVERED BETWEEN EXISTING UTILITIES AND PROPOSED IMPROVEMENTS, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY. IT SHALL BE CONTRACTOR'S SOLE RESPONSIBILITY TO COORDINATE WITH UTILITY COMPANY FOR ANY NECESSARY RELOCATION OF FACILITIES AND NO SEPARATE PAYMENT SHALL BE MADE. ADDITIONALLY, CONTRACTOR SHALL NOT BE COMPENSATED FOR DELAYS OR REMOBILIZATION DUE TO UTILITY COORDINATION. ANY DAMAGE TO EXISTING UTILITIES CAUSED BY CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AT CONTRACTOR'S SOLE EXPENSE. CONTRACT TIME SHALL NOT BE EXTENDED DUE TO DELAYS CAUSED BY UTILITY COORDINATION.

END 8" WL 'B' - STA 10+79.34
BEGIN 8" WL 'C' - STA 0+00
N 5529.44
E 4536.94

END 8" WL 'D' - STA 3+12.64
CONNECT TO EXIST 8" WL
N 5724.32
E 4809.63

END 8" WL 'E' - STA 4+14.64
8" WL 'D' - STA 1+78.65
N 5711.03
E 4830.33

BEGIN 8" WL 'D' - STA 0+00
8" WL 'C' - STA 3+93.45
N 5532.38
E 4930.38

BEGIN 8" WL 'E' - STA 0+00
8" WL 'C' - STA 6+15.49
N 5507.84
E 5141.79

END WL 'A' - STA 1+78.64
BEGIN WL 'B' - STA 0+00
END WL 'C' - STA 14+01.04
N 4935.34
E 5046.58

BEGIN 12" WL 'A' - STA 0+00
CONNECT TO EXIST 8" WL
N 4916.96
E 5182.11

20' U.E. (Plat. 86225/4769)

Access & Utility Easement (75245/651)

Access & Utility Easement (75245/651)

14110 Marsh
Brookhaven Village Shopping Center
Mustang Brookhaven S/C, Ltd.
Volume 94129 Page 111

3925 Brookhaven Club
A-520 Pg. 822 Tr. 45
Devdas Limited Partnership
Volume 2002165 Page 4334

PROP 8" C909 CL150
WATER LINE 'B'

PROP 8" C909 CL150
WATER LINE 'C'

PROP 8" C909 CL150
WATER LINE 'B'

PROP 8" C909 CL150
WATER LINE 'D'

PROP 8" C909 CL150
WATER LINE 'E'

PROP 8" C909 CL150
WATER LINE 'C'

PROP 8" C909 CL150
WATER LINE 'C'

PROP 12" C909 CL150
WITH 24" CASING
WATER LINE 'A'

BROOKHAVEN CLUB DRIVE

NO.	REVISION	BY	DATE



SCALE
HORIZ
1" = 50'
VERT
N/A
DATE
FEB 2004

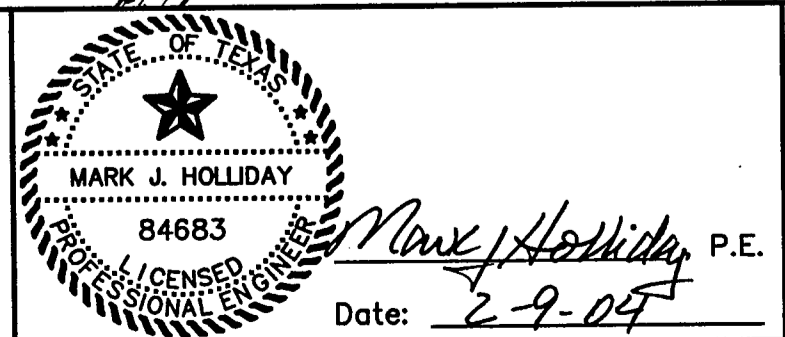


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TOWN OF ADDISON, TEXAS
TALISKER APARTMENTS
WATER LINE IMPROVEMENTS
PROJECT LAYOUT

TNP PROJECT
ADD03169
SHEET
3
OF
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