

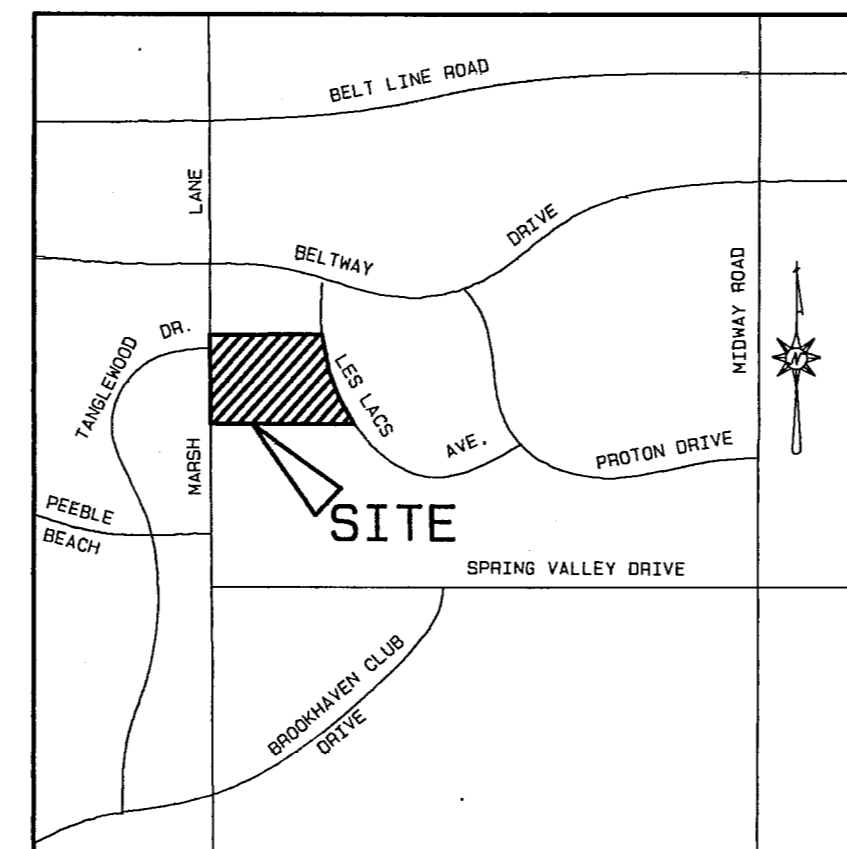
# CONSTRUCTION PLANS

## WATERFORD COURT APARTMENTS

### TOWN OF ADDISON, TEXAS

**GENERAL NOTES**

- A. Prior to final acceptance by the Town of Addison.
- 1) A Texas Registered Professional engineer shall certify that the project was constructed in accordance with the plans and specifications approved by the Town of Addison.
- The owner shall provide 4 reproducible set of as-builts (sealed and certified by a Texas Registered Engineer) and 2 blue line sets.
- 2) A five foot sidewalk shall be installed along Les Lacs Avenue. See attached detail.
  - 3) A one year maintenance bond is required for all water improvements and all construction in the right-of-ways of Les Lacs Ave. and Marsh Lane.
  - 4) Contractor shall demonstrate that the water and sanitary sewer systems meet the proper pressure, bacteria, and mandrel tests. In addition, the owner shall provide a VHS format video tape of the sanitary sewer.
- B. Prior to starting construction, the contractor shall contact the utility companies to locate existing facilities. These include but may not be limited to the following:
- 1) Town of Addison
  - 2) Lone Star Gas
  - 3) Southwestern Bell
  - 4) Storm Cable
  - 5) Planned Cable Systems
  - 6) TU Electric
- C. Prior to beginning construction, the owner or his authorized representative shall convene a Pre-Construction Conference between the Town of Addison, Consulting Engineer, Contractor(s), utility companies and any other affected parties. Notify Bruce Ellis 450-2847 at least 48-hours prior to the time of the conference and 48-hours prior to beginning of construction.
- D. Any existing pavement, curbs, and/or sidewalks damaged or removed will be repaired by the contractor at their expense.
- E. Contractor shall obtain a right-of-way permit by the Town of Addison for working within the public right-of-way.
- F. The utility contractor shall submit to the Town of Addison for approval a trench safety plan sealed by a registered professional engineer for the installation of utilities greater than five (5) feet in depth.



LOCATION MAP

| INDEX TO SHEETS<br>FOR<br>WATERFORD COURT APARTMENTS |                                                    |
|------------------------------------------------------|----------------------------------------------------|
| SHEET NO.                                            | DESCRIPTION                                        |
| 1                                                    | FINAL PLAT                                         |
| 2                                                    | SITE PLAN                                          |
| 3                                                    | DIMENSION CONTROL & PAVING PLAN                    |
| 4                                                    | DIMENSION CONTROL & PAVING PLAN                    |
| 5                                                    | GRADING & EROSION CONTROL PLAN                     |
| 6                                                    | GRADING & EROSION CONTROL PLAN                     |
| 7                                                    | DRAINAGE AREA MAP & STORM DRAINAGE PLAN & PROFILES |
| 8                                                    | WATER & SANITARY SEWER PLAN                        |
| 9                                                    | SANITARY SEWER PROFILES                            |
| 10                                                   | ROOF DRAIN PLAN                                    |
| 11                                                   | MEDIAN IMPROVEMENT PLAN                            |
| 12-19                                                | STANDARD CONSTRUCTION DETAILS                      |

JANUARY 5, 1994

ENGINEER

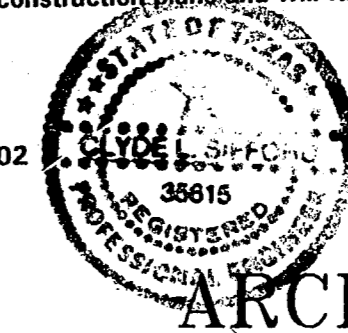
THE NELSON CORPORATION

5999 SUMMERSIDE DR., SUITE 202  
DALLAS, TEXAS 75252  
(214) 380-2805

**AS BUILTS**

Based on visual inspection of the completed improvements, it appears this project was constructed in general conformance with these construction plans and will function as designed.

Clyde L. Sifford, P.E.  
THE NELSON CORPORATION  
5999 Summerside Drive, Suite 202  
Dallas, Texas 75252



ARCHITECT

HUMPHREYS & PARTNERS ARCHITECTS, INC.

5350 ALPHA ROAD  
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(214) 701-9636

